CLR. CLEAR
COL. COLUMN
CONC..A.A. CONCRETE
CONT.A. CONTINUOUS
CTR. CENTER
DET. DETAIL
DH DOUBLE HUNG WINDOW
DN. DOWN

DN. DOWN
DWG. DRAWING
(E) EXISTING
EA. EACH
EQ. EQUAL
EXT. EXTERIOR
F.A. FINISH FLOOR
FIN. FINISH

FOF FACE OF FINISHED MATERIAL
FOS FACE OF STUD
FX FIXED WINDOW
GA. GAUGE
GC GENERAL CONTRACTOR

HDR. HEADER
HDWR. HARDWARE
HT. HEIGHT
INT. INTERIOR
JST. JOIST
MAX. MAXIMUM
MFR. MANUFACTURER
MIN. MINIMUM
MTD. MOUNTED
(N) NEW
NIC NOT IN CONTRACT
N.T.S. NOT TO SCALE
O.C. ON CENTER
O.H. OVERHANG

REQD. REQUIRED
SIM. SIMILAR
S SLIDER WINDOW
STD. STANDARD
S.O.G. SLAB ON GRADE
T.O.C. TOP OF CURB
T.O.S. TOP OF SLAB
T.O.SF. TOP OF SUB-FLOOR
T.O.P. TOP OF PLATE
T.O.WDW TOP OF WINDOW
TYP. TYPICAL
U.N.O. UNLESS NOTED OTHERWISE

V.I.F. VERIFY IN FIELD WDW WINDOW

# 174 SF DINING ROOM EXTENSION

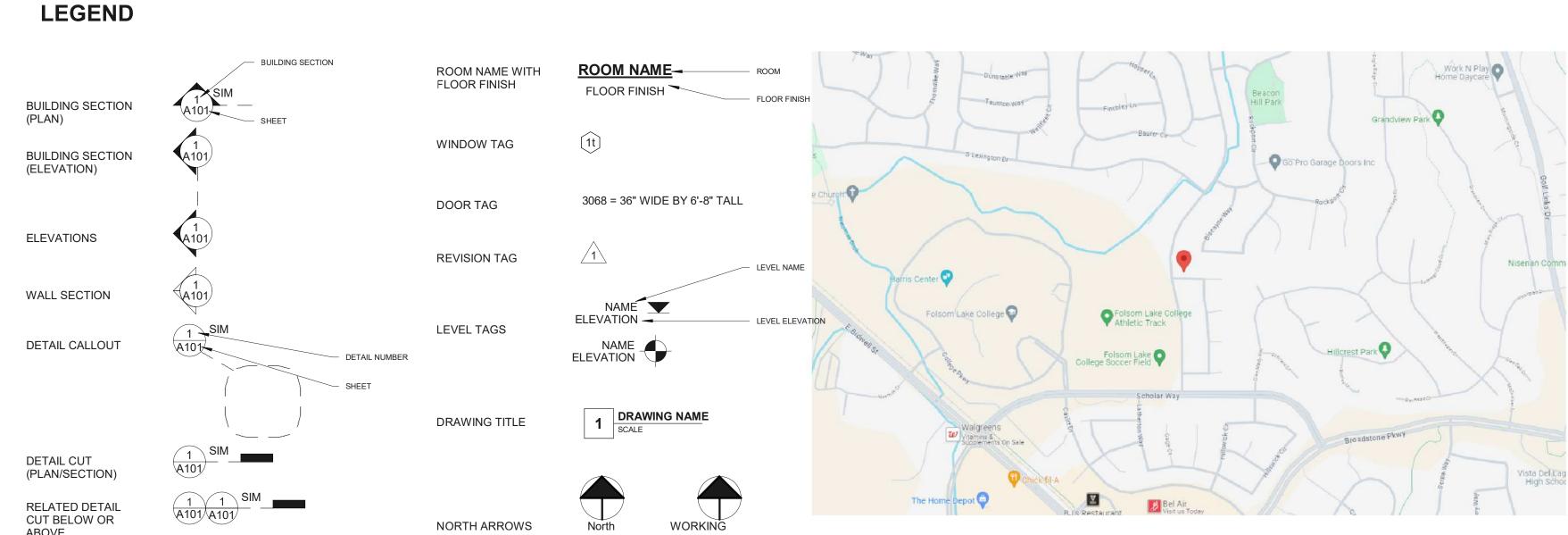
Beth & Jonathan Walburger
504 Wenham Way
Folsom, CA 95630
APN: 072-0780-002



**VICINITY MAP** 

COVER SHEET VIEW

#### LECEND



## CODE INFORMATION

BUILDING CODE: 2022 CALIFORNIA RESIDENTIAL CODE (C.R.C.)

MECHANICAL CODE: 2022 CALIFORNIA MECHANICAL CODE

ELECTRICAL CODE: 2022 NATIONAL ELECTRICAL CODE AND 2022 CALIFORNIA ELECTRICAL CODE

ELECTRICAL CODE 2022 CALIFORNIA ELECTRICAL CODE

PLUMBING CODE: 2022 CALIFORNIA PLUMBING CODE

FIRE CODE: 2022 CALIFORNIA FIRE CODE

ENERGY CODE: 2022 CALIFORNIA ENERGY CODE

ALL CODE REFERENCES INCLUDE THE LATEST ADOPTED AMENDMENTS AND MUNICIPAL CODE AND ORDINANCES

2022 CALIFORNIA GREEN BUILDING CODE

#### **DRAWING INDEX**

NO. NAME

ARCHITECTURAL

A000 COVER SHEET

A020 TITLE 24

A022 TITLE 24 MANDATORY MEASURES

A050 CAL GREEN MANDATORY MEASURES

A101 SITE PLAN, NOTES AND DETAILS

EXISTING FLOOR PLAN
 FLOOR PLANS, FOUNDATION AND FRAMING PLANS AND ROOF PLAN

A301 ELEVATIONS
A302 COLOR BOARD & EXISTING PHOTOS
ELECTRICAL
E101 1ST FLOOR ELECTRICAL PLANS

STRUCTURAL
S105 STANDARD DETAILS



DESIGN & DRAFTING SERVICES

John Neal

Suisun City CA 94585 707-717-5826 jneal.dc@gmail.com www.designcollaborativeservice.com



#### PROJECT DIRECTORY

OWNER

Beth & Jonathan Walburger 504 Wenham Way Folsom, CA 95630 phone: 916-337-1005 fax:

email: interlynk@gmail.com contact: Johathan Walburger

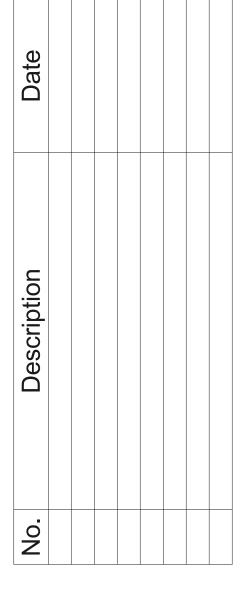
#### DESIGNER

DESIGN COLLABORATIVE SERVICES

SUISUN CITY, CA 94585
phone: 707-718-5826
fax:
email: jneal.dc@gmail.com
contact: JOHN NEAL

# CONTRACTOR VISTA BUILDERS 9276 Mott Court Orangevale CA 95662 phone: 916-247-6282

fax:
email: interlynk@gmail.com
contact: Robert Statham



## 174 SF DINING ROOM EXTENSION

Beth & Jonathan Walburger

504 Wenham Way Folsom, CA 95630 APN: 072-0780-002

#### **SCOPE OF WORK**

174 SF DINING ROOM EXTENSION

#### TITLE 24

HERS VERIFICATION NOT REQUIRED BY T-24 ENERGY REPORT.

#### **BUILDING SUMMARY**

ZONING: OCCPANCY: CONSTRUCTION TYPE: SPRINKLERED:

R1-CSU-RV-HO R-3 V-B NO

COVER SHEET

#### PROJECT DATA

Area Schedule (Inhabitable)

<u></u>		
<u>Name</u>	<u>Level</u>	<u>Area</u>
(E) 1st FLOOR AREA	1st Flr Ivl	1471 SF
(E) 2nd FLOOR AREA	2nd lvl	439 SF
(N) 1ST FLOOR AREA (Addition)	1st Flr Ivl	174 SF
Total Area		2085 SF

#### Area Schedule (Uninhabitable)

<u>Name</u>	Level	<u>Area</u>
GARAGE AREA	Garage Slab	731 SF
Total Area		731 SF

2376/8300 = 28.6%

### LOT DATA

LOT COVERAGE:

LOT AREA: 8300 SQ.FT.
(E) BLDG FOOTPRINT: 2202 SQ.FT.
(N) BLDG FOOTPRINT: 174 SQ. FT.
(N) TOTAL FOOTPRINT: 2376 SQ.FT.

CHECKED BY
JOHN NEAL

DRAWN BY
LAONA HALL

SCALE

1/2" = 1'-0"

DATE

02.24.2024

PROJECT NO.

24.003

PHASE NO.

A000

1 of 12

C:\Users\John R\Dropbox\ DC\ PROJECTS\2024\24.003 5

Project Name:

Dwelling Address:

City and Zip Code

A. General Information

01 Project Name 03 Project Location

05 CA City

07 Zip Code 09 Climate Zone

Tag/ID

11 Building Type

Assembly

CERTIFICATE OF COMPLIANCE

Walburger Dining Room Addition

05

Spacing

(inches)

@ 16 in. O.

@ 16 in. O.

Cavity R-value

504 Wenham Way

Single family

Fenestration

B. Building Insulation Details - Framed Walls/ Framed Floors (Section 150.2(a))

02 03 04

Frame Type

Registration Number: 224-D010025067A-000-000-0000000-0000

CA Building Energy Efficiency Standards - 2022 Residential Compliance

Addition 300 ft<sup>2</sup>

Walburger Dining Room Addition | Enforcement Agency:

504 Wenham Way | Permit Number:

Folsom, 95630 | Permit Application Date:

02 Date Prepared

04 Building Front Orientation (deg)

06 Number of Dwelling Units with Additions

12 Slab Area (ft<sup>2</sup>)

0.08

0.08

Registration Date/Time: 2024-02-24 15:40:53

Total Conditioned Floor Area (ft<sup>2</sup>) (Addition) 2161

07 08 09 10

Appendix JA4 Reference

Cell

City of Folsom

11

Comments

HERS Provider: CalCERTS

Report Generated: 2024-02-24 15:40:53

2024-02-24

Required

150.1-A

0.102

0.102

2024-02-24

(Page 1 of 6)

Refer to Reference Appendices, Residential Appendix RA4.2.1.

Roof Pitch

Registration Number: 224-D010025067A-000-000-0000000-0000

CALIFORNIA ENERGY COMMISSION

cumentation Author Name:

Design Collaborative Services

Design Collaborative Services

808 Yosemite Way

Suisun CA 94594585

John Neal

808 Yosemite Way

Suisun CA 94594585

DOCUMENTATION AUTHOR'S DECLARATION STATEMENT

RESPONSIBLE PERSON'S DECLARATION STATEMENT

Compliance (responsible designer).

Registration Number: 224-D010025067A-000-000-0000000-0000

CA Building Energy Efficiency Standards - 2022 Residential Compliance

I certify that this Certificate of Compliance documentation is accurate and complete.

certify the following under penalty of perjury, under the laws of the State of California: 1. The information provided on this Certificate of Compliance is true and correct.

occupancy, and I will take the necessary steps to accomplish these requirements.

CA Building Energy Efficiency Standards - 2022 Residential Compliance

Radiant Barrier installed below the roof deck and on all gable end walls

Compliance

Liquid field applied coatings must comply with installation criteria from Section 110.8(i)4

Exception 2: Roof construction with a weight of 25 pounds per square foot (lb/ft²) are also exempt.

F. Radiant Barrier (Section 150.1(c).2)

to allow for full airflow to the venting.

G. Roofing Products (Cool Roof) (Section 150.1(c).11)

Exception

Tag/ID

CF1R-ADD-01-E

(Page 2 of 6)

Radiant barriers shall meet specific eligibility and installation criteria to receive energy credit for compliance with the Building Energy Efficiency Standards for low-rise residential buildings.

For Prescriptive Compliance the attic shall be ventilated to provide a minimum free ventilation area of not less than 1 square foot (ft2 of vent area for each 300 square feet ft2 of attic floor

Initial Solar

Registration Date/Time: 2024-02-24 15:40:53

ocumentation Author Signature:

CEA/ HERS Certification Identification (if applicable):

2024-02-24 15:40:53

2024-02-24 15:40:53

Registration Date/Time: 2024-02-24 15:40:53

707-470-6130

2. I am eligible under Division 3 of the Business and Professions Code to accept responsibility for the building design or system design identified on this Certificate of

3. The energy features and performance specifications, materials, components, and manufactured devices for the building design or system design identified on this

4. The building design features or system design features identified on this Certificate of Compliance are consistent with the information provided on other applicable

5. I understand that a registered copy of this Certificate of Compliance shall be made available with the building permit(s) issued for the building, and made available to

6. I understand that a registered copy of this Certificate of Compliance is required to be included with the documentation the builder provides to the building owner at

compliance documents, worksheets, calculations, plans and specifications submitted to the enforcement agency for approval with this building permit application.

12345

707-470-6130

Report Version: 2022.0.000

Schema Version: rev 20220101

Certificate of Compliance conform to the requirements of Title 24, Part f 1 and Part f 6 of the California Code of Regulations.

the enforcement agency for all applicable inspections, and I will take the necessary steps to accomplish this requirement.

Digitally signed by CalCERTS. This digital signature is provided in order to secure the content of this registered document, and in no way implies Registration Provider responsibility for the accuracy of the information.

John Neal

John Neal

Easy to Verify at CalCERTS.c

HERS Provider: CalCERTS

Report Generated: 2024-02-24 15:40:53

Report Version: 2022.0.000

PRESCRIPTIVE ADDITIONS 1000 FT2 OR LESS

Schema Version: rev 20220101

• Exception 1 Any roof area covered by building integrated photovoltaic (PV) panels and so ar thermal panels are exempt from the above Cool Roof requirements

area with a minimum of 40 percent to no more than 50 percent upper vents. Ridge vents or gable end vents are recommended to achieve the best performance. The material should be cut

The emittance of the radiant barrier shall be less than or equal to 0.05 as tested in accordance with American Society for Testing and Materials (ASTM) C1371 or ASTM E408.

Emittance

HERS Provider: CalCERTS

CF1R-ADD-01-E

(Page 6 of 6)

Report Generated: 2024-02-24 15:40:53

Comments

design collaborative

s e r v i c e s

CHECKED BY Checker

02.24.2024

174 SF DINING **EXTENSION** 

TITLE 24

DRAWN BY

PRESCRIPTIVE ADDITIONS 1000 FT2 OR LESS CALIFORNIA ENERGY COMMISSION

01	02	03	04	05	C	06	07	08	09	10	11									
					Proposed		Required													
Tag/ID	Assembly Type	Frame Type	Frame Depth (inches)	Frame Spacing (inches)	Spacing		Spacing	Spacing	Spacing	Cavity Continuous		Cavity I		cing			Appendix JA4 Reference		U-Factor from Table	Comments
			A	, ,	R-value Insulation R-value	1	I	Table	Cell	150.1-A										
Northwest Wall 1	Wall	Wood	2x4	@ 16 in. O. C.	13	0	0.08	4.3.1	3A	0.102										
North Wall 2	Wall	Wood	2x4	@ 16 in. O. C.	13	0	0.08	4.3.1	3A	0.102										
Northeast Wall	Wall	Wood	2x4	@ 16 in. O. C.	21	0	0.08	4.3.1	3A	0.102										
East Wall	Wall	Wood	2x4	@ 16 in. O. C.	13	0	0.08	4.3.1	3A	0.102										

• Where insulation is installed above the roofing membrane, or above the layer used to seal the roof from water penetration, the insulation shall have a maximum water absorption of 0.3

Extensions of existing wood-framed walls may retain the dimensions of the existing walls and shall install cavity insulation of R-15 in a 2x4 framing and R-21 in a 2x6 framing.

C. Building Insulation Details - Non-framed (Section 150.1(c)1)	
	This section does not apply to this project.
D. Building Insulation Details - Mass Walls (Section 150.1(c)1Bii)	
	This section does not apply to this project.
E. Slab On Grade/Concrete Raised Floor Insulation (Table 150.1-A)	
	This section does not apply to this project

Registration Number: 224-D010025067A-000-000-0000000-0000 Registration Date/Time: 2024-02-24 15:40:53

PRESCRIPTIVE ADDITIONS 1000 FT2 OR LESS CF1R-ADD-01-E CALIFORNIA ENERGY COMMISSION

Report Version: 2022.0.000

Schema Version: rev 20220101

Insulation

TENETOY COMMISSION I									(Page 4 of
H. Fenestration	Glazing Allowed A	Areas and Efficien	cies (Section 150.2	2(a)1)					
01	02	03	04	05	06	07	08	09	10
Addition Type	Maximum Allowed For All Orien The Gr	ntations ft <sup>2</sup>	Maximum Allow Fenestration The Gi	Area Only ft <sup>2</sup>	Maximum Allowed	Maximum Allowed	Maximum Allowed SHGC	Maximum Allowed SHGC	Community
ft <sup>2</sup>			(Windows)	(Skylights)	Comments				
Addition 300 ft <sup>2</sup>	648.3	75	n/a	60	0.3	0.30	0.23	0.23	

	ion Proposed Ai			or equal to 3 s	guare feet (ft <sup>2</sup> )	glass in door, it is	assumed to mee	t the minimum	required U-facto	or (0.30) and SI	IGC (0.23).		
If meeting	Exception 1 to 150 n greater than or e	0.1(c)3A, Installi	ing less than or	equal to 3 squa	re feet (ft <sup>2</sup> ) tubu	ılar skylight, it is	assumed to meet	the minimum r					
01	02	03	04	05	06	07	08	09	10	11	12	13	14
Tag/ID	Fenestration Type	Frame Type	Dynamic Glazing	Orientation N, S, W, E	Number of Panes	Proposed Fenestration Area ft <sup>2</sup>	Proposed West Facing Fenestration Area ft <sup>2</sup>	Proposed U-factor	Proposed U-factor Source	Proposed SHGC	Proposed SHGC Source	Exterior Shading Device	Combined SHGC from CF1R-ENV-03
Door	Fixed window	Non-metal	None	West	Double pane	n/a	37.5	0.3	NFRC	0.23	NFRC	None	n/a
15	Total Proposed	l Fenestration	Area								•	37	7.5
16	Maximum Allo	wed Fenestra	tion Area									64	8.3
17	Compliance St	atement	Design comp	lies with the t	otal allowed fe	enestration are	a						
18	Total Propose	West-Facing F	enestration Ar	ea								37	7.5
19	Maximum Allo	wed West Fac	ing Fenestrati	on Area								60	
20	Compliance St	Compliance Statement Design complies with the total allowed west-facing fenestration area											
21	Proposed Fene	Proposed Fenestration U-factor (Windows) 0.3											
22	Required Fene	Required Fenestration U-factor (Windows) 0.3											
23	Compliance St	atement	Design comp	lies with the t	otal allowed fe	enestration are	a						
24	Proposed Fene	estration SHG0	(Windows)									0.23	

Registration Number: 224-D010025067A-000-000-0000000-0000 Registration Date/Time: 2024-02-24 15:40:53 HERS Provider: CalCERTS

CA Building Energy Efficiency Standards - 2022 Residential Compliance Report Generated: 2024-02-24 15:40:53 Report Version: 2022.0.000 Schema Version: rev 20220101

PRESCRIPTIVE ADDITIONS 1000 FT2 OR LESS CALIFORNIA ENERGY COMMISSION 25 Required Fenestration SHGC (Windows) 0.23 26 Compliance Statement Design complies with the maximum allowed fenestration SHGC 27 Proposed Fenestration U-factor (Skylights) n/a 28 Required Fenestration U-factor (Skylights) 0.30 29 Compliance Statement n/a 30 Proposed Fenestration SHGC (Skylights) 31 Required Fenestration SHGC (Skylights) 0.23 32 Compliance Statement n/a J. Opaque Swinging Doors to Exterior (Section 150.1(c)5) This section does not apply to this project. K. Space Conditioning (SC) Systems - Heating/ Cooling (Section 150.2(b) or (Section 150.1(c)7) This section does not apply to this project. L. Water Heating Systems (Section 150.2(a)1D) HERS PROVIDER This section does not apply to this project. M. Indoor Air Quality (IAQ) Fan Information This section does not apply to this project.

Registration Number: 224-D010025067A-000-000-0000000-0000 Registration Date/Time: 2024-02-24 15:40:53 HERS Provider: CalCERTS CA Building Energy Efficiency Standards - 2022 Residential Compliance Report Version: 2022.0.000 Report Generated: 2024-02-24 15:40:53 Schema Version: rev 20220101

percent by volume when tested according to American Society for Testing and Materials (ASTM) Standard C272. This section does not apply to this project. HERS Provider: CalCERTS CA Building Energy Efficiency Standards - 2022 Residential Compliance Report Version: 2022.0.000 Report Generated: 2024-02-24 15:40:53 Schema Version: rev 20220101 CF1R-ADD-01-E (Page 5 of 6)



#### 2022 Single-Family Residential Mandatory Requirements Summary

NOTE: Single-family residential buildings subject to the Energy Codes must comply with all applicable mandatory measures, regardless of the compliance approach used. Review the respective section for more information.

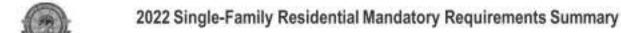
used. Review the ( (04/2022)	respective section for more information.
uilding Envelope	E .
§ 110.6(a)1:	Air Leakage. Manufactured fenestration, exterior doors, and exterior pet doors must limit air leakage to 0.3 CFM per square foot or less when tested per NFRC-400, ASTM E283, or AAMA/VDMA/CSA 101/I.S.2/A440-2011. *
110.6(a)5:	Labeling. Fenestration products and exterior doors must have a label meeting the requirements of § 10-111(a).
110.6(b):	Field fabricated exterior doors and fenestration products must use U-factors and solar heat gain coefficient (SHGC) values from Tables 110.6-A, 110.6-B, or JA4.5 for exterior doors. They must be caulked and/or weather-stripped.
110.7:	Air Leakage. All joints, penetrations, and other openings in the building envelope that are potential sources of air leakage must be caulked, gasketed, or weather stripped.
110.8(a):	Insulation Certification by Manufacturers. Insulation must be certified by the Department of Consumer Affairs, Bureau of Household Goods and Services (BHGS).
§ 110.8(g):	Insulation Requirements for Heated Slab Floors. Heated slab floors must be insulated per the requirements of § 110.8(g).
§ 110.8(i):	Roofing Products Solar Reflectance and Thermal Emittance. The thermal emittance and aged solar reflectance values of the roofing material must meet the requirements of § 110.8(i) and be labeled per §10-113 when the installation of a cool roof is specified on the CF1R.
§ 110.8(j):	Radiant Barrier. When required, radiant barriers must have an emittance of 0.05 or less and be certified to the Department of Consumer Affairs.
§ 150.0(a):	Roof Deck, Ceiling and Rafter Roof Insulation, Roof decks in newly constructed attics in climate zones 4 and 8-16 area-weighted average U-factor not exceeding U-0.184. Ceiling and rafter roofs minimum R-22 insulation in wood-frame ceiling; or area-weighted average U-factor must not exceed 0.043. Rafter roof alterations minimum R-19 or area-weighted average U-factor of 0.054 or less. Attic access doors must have permanently attached insulation using adhesive or mechanical fasteners. The attic access must be gasketed to prevent air leakage. Insulation must be installed in direct contact with a roof or ceiling which is sealed to limit infiltration and exfiltration as specified in § 110.7, including but not limited to placing insulation either above or below the roof deck or on top of a drywall ceiling.
§ 150.0(b):	Loose-fill Insulation. Loose fill insulation must meet the manufacturer's required density for the labeled R-value.
§ 150.0(c):	Wall Insulation. Minimum R-13 insulation in 2x4 inch wood framing wail or have a U-factor of 0.102 or less, or R-20 in 2x6 inch wood framing or have a U-factor of 0.071 or less. Opaque non-framed assemblies must have an overall assembly U-factor not exceeding 0.102 Masonry walls must meet Tables 150.1-A or B. *
150.0(4)-	
§ 150.0(d): § 150.0(f):	Raised-floor Insulation. Minimum R-19 insulation in raised wood framed floor or 0.037 maximum U-factor,  Slab Edge Insulation. Slab edge insulation must meet all of the following: have a water absorption rate, for the insulation material alone without facings, no greater than 0.3 percent; have a water vapor permeance no greater than 2.0 perm per inch; be protected from physical damage and UV light deterioration; and, when installed as part of a heated slab floor, meet the requirements of § 110.8(g).
§ 150.0(g)1:	Vapor Retarder. In climate zones 1 through 16, the earth floor of unvented crawl space must be covered with a Class I or Class II vapor retarder. This requirement also applies to controlled ventilation crawl space for buildings complying with the exception to §150.0(d).
§ 150.0(g)2:	Vapor Retarder. In climate zones 14 and 16, a Class I or Class II vapor retarder must be installed on the conditioned space side of all insulation in all exterior walls, vented attics, and unvented attics with air-permeable insulation.
§ 150.0(q):	Fenestration Products. Fenestration, including skylights, separating conditioned space from unconditioned space or outdoors must have a maximum U-factor of 0.45; or area-weighted average U-factor of all fenestration must not exceed 0.45.
replaces, Decor	ative Gas Appliances, and Gas Log:
110.5(e)	Pilot Light. Continuously burning pilot lights are not allowed for indoor and outdoor freplaces.
150.0(e)1:	Closable Doors. Masonry or factory-built fireplaces must have a closable metal or glass door covering the entire opening of the firebox.
§ 150.0(e)2:	Combustion Intake. Masonry or factory-built fireplaces must have a combustion outside air intake, which is at least six square inches in area and is equipped with a readily accessible, operable, and tight-fitting damper or combustion-air control device.
§ 150.0(e)3:	Flue Damper. Masonry or factory-built fireplaces must have a flue damper with a readily accessible control. *
pace Conditioning	ng, Water Heating, and Plumbing System:
§ 110.0-§ 110.3:	Certification. Heating, ventilation, and air conditioning (HVAC) equipment, water heaters, showerheads, faucets, and all other regulated appliances must be certified by the manufacturer to the California Energy Commission.
§ 110.2(a):	HVAC Efficiency. Equipment must meet the applicable efficiency requirements in Table 110.2-A through Table 110.2-N.
§ 110.2(b):	Controls for Heat Pumps with Supplementary Electric Resistance Heaters. Heat pumps with supplementary electric resistance heaters must have controls that prevent supplementary heater operation when the heating load can be met by the heat pump alone; and in which the cut-on temperature for compression heating is higher than the cut-on temperature for supplementary heating, and the cut-off temperature for compression heating is higher than the cut-off temperature for supplementary heating.
§ 110.2(c):	Thermostats. All heating or cooling systems not controlled by a central energy management control system (EMCS) must have a setback thermostat. *
§ 110.3(c)3:	Insulation. Unfired service water heater storage tanks and solar water-heating backup tanks must have adequate insulation, or tank surface heat loss rating.
§ 110.3(c)6:	Isolation Valves. Instantaneous water heaters with an input rating greater than 6.8 kBtu per hour (2 kW) must have isolation valves with hose bibbs or other fittings on both cold and hot water lines to allow for flushing the water heater when the valves are closed.



#### 2022 Single-Family Residential Mandatory Requirements Summary

	2022 Single-Family Residential Mandatory Requirements Summary
§ 150.0(k)1G:	Screw based luminaires. Screw based luminaires must contain lamps that comply with Reference Joint Appendix JAS. *
§ 150.0(k)1H:	Light Sources in Enclosed or Recessed Luminaires. Lamps and other separable light sources that are not compliant with the JA8 elevated temperature requirements, including marking requirements, must not be installed in enclosed or recessed luminaires.
§ 150.0(k)11:	Light Sources in Drawers, Cabinets, and Linen Closets. Light sources internal to drawers, cabinetry or linen closets are not required to comply with Table 150.0-A or be controlled by vacancy sensors provided that they are rated to consume no more than 5 watts of power, emit no more than 150 lumens, and are equipped with controls that automatically turn the lighting off when the drawer, cabinet or linen closet is closed.
§ 150.0(k)2A:	Interior Switches and Controls. All forward phase cut dimmers used with LED light sources must comply with NEMA SSL 7A.
§ 150.0(k)2B:	Interior Switches and Controls. Exhaust fans must be controlled separately from lighting systems.
§ 150.0(k);2A:	Accessible Controls. Lighting must have readily accessible wall-mounted controls that allow the lighting to be manually turned on and off."
§ 150.0(k)2B:	Multiple Controls. Controls must not bypass a dimmer, occupant sensor, or vacancy sensor function if the dimmer or sensor is installed to comply with § 150.0(k).
§ 150.0(k)2C:	Mandatory Requirements. Lighting controls must comply with the applicable requirements of § 110.9.
§ 150.0(k)2D:	Energy Management Control Systems. An energy management control system (EMCS) may be used to comply with dimming, occupancy, and control requirements if it provides the functionality of the specified control per § 110.9 and the physical controls specified in § 150.0(k)2A.
§ 150.0(k)2E:	Automatic Shutoff Controls. In bathrooms, garages, laundry rooms, utility rooms and walk-in closets, at least one installed luminaire must be controlled by an occupancy or vacancy sensor providing automatic-off functionality. Lighting inside drawers and cabinets with opeque fronts or doors must have controls that turn the light off when the drawer or door is closed.
§ 150.0(k)2F:	Dimmers. Lighting in habitable spaces (e.g., living rooms, dining rooms, kitchens, and bedrooms) must have readily accessible wall-mounted dimming controls that allow the lighting to be manually adjusted up and down. Forward phase cut dimmers controlling LED light sources in these spaces must comply with NEMA SSL 7A.
§ 150.0(k)2K:	Independent controls. Integrated lighting of exhaust fans shall be controlled independently from the fans. Lighting under cabinets or shelves, lighting in display cabinets, and switched outlets must be controlled separately from ceiling-installed lighting.
§ 150.0(k)3A:	Residential Outdoor Lighting. For single-family residential buildings, outdoor lighting permanently mounted to a residential building, or to other buildings on the same lot, must have a manual on/off switch and either a photocell and motion sensor or automatic time switch control) or an astronomical time clock. An energy management control system that provides the specified control functionality and meets applicable requirements may be used to meet these requirements.
§ 150.0(k)4:	Internally illuminated address signs. Internally illuminated address signs must either comply with § 140.8 or consume no more than 5 watts of power.
§ 150.0(k)5:	Residential Garages for Eight or More Vehicles. Lighting for residential parking garages for eight or more vehicles must comply with the applicable requirements for nonresidential garages in §§ 110.9, 130.0, 130.1, 130.4, 140.6, and 141.0.
olar Readiness;	
§ 110.10(a)1;	Single-family Residences. Single-family residences located in subdivisions with 10 or more single-family residences and where the application for a tentative subdivision map for the residences has been deemed complete and approved by the enforcement agency, which do not have a photovoltaic system installed, must comply with the requirements of § 110.10(b)-(e).
§110.10(b)1A:	Minimum Solar Zone Area. The solar zone must have a minimum total area as described below. The solar zone must comply with access, pathway, smoke ventilation, and spacing requirements as specified in Title 24. Part 9 or other parts of Title 24 or in any requirements adopted by a local jurisdiction. The solar zone total area must be comprised of areas that have no dimension less than 5 feet and are no less than 80 square feet each for buildings with roof areas less than or equal to 10,000 square feet or no less than 160 square feet each for buildings with roof areas greater than 10,000 square feet. For single-family residences, the solar zone must be located on the roof or overhang of the building and have a total area no less than 250 square feet.
§ 110.10(b)2:	Azimuth, All sections of the solar zone located on steep-sloped roofs must have an azimuth between 90-300° of true north.
§ 110.10(b)3A:	Shading. The solar zone must not contain any obstructions, including but not limited to: vents, chimneys, architectural features, and roof mounted equipment.
§ 110.10(b)3B:	Shading. Any obstruction located on the roof or any other part of the building that projects above a solar zone must be located at least twice the horizontal distance of the height difference between the highest point of the obstruction and the horizontal projection of the nearest point of the solar zone, measured in the vertical plane."
§ 110.10(b)4:	Structural Design Loads on Construction Documents. For areas of the roof designated as a solar zone, the structural design loads for roof dead load and roof live load must be clearly indicated on the construction documents.
§ 110:10(c):	Interconnection Pathways. The construction documents must indicate: a location reserved for inverters and metering equipment and a pathway reserved for routing of conduit from the solar zone to the point of interconnection with the electrical service; and for single-family residences and central water-heating systems, a pathway reserved for routing plumbing from the solar zone to the water-heating system.  Documentation. A copy of the construction documents or a comparable document indicating the information from § 110.10(b)-(c) must be received to the construction.
3 110/10(0)	provided to the occupant.  Main Electrical Service Penal. The main electrical service nanel must have a minimum busher ration of 200 arms.

§ 110.10(e)2: circuit breaker for a future solar electric installation. The reserved space must be permanently marked as "For Future Solar Electric." Electric and Energy Storage Ready:



all miles offe	
§ 110.5:	Pilot Lights. Continuously burning pilot lights are prohibited for natural gas: fan-type central furnaces; household cooking appliances (except appliances without an electrical supply voltage connection with pilot lights that consume less than 150 Btu per hour ); and pool and soa heaters.
§ 150.0(h)1:	Building Cooling and Heating Loads, Heating and/or cooling loads are calculated in accordance with the ASHRAE Handbook, Equipment Volume, Applications Volume, and Fundamentals Volume; the SMACNA Residential Comfort System Installation Standards Manual; or the ACCA Manual J using design conditions specified in § 150.0(h)2.
§ 150.0(h)3A:	Clearances. Air conditioner and heat pump outdoor condensing units must have a clearance of at least five feet from the outlet of any dryer.
§ 150.0(h)38:	Liquid Line Drier. Air conditioners and heat pump systems must be equipped with liquid line filter driers if required, as specified by the manufacturer's instructions.
§ 150.0(j)1:	Water Piping, Solar Water-heating System Piping, and Space Conditioning System Line Insulation. All domestic hot water piping must be insulated as specified in § 609.11 of the California Plumbing Code."
§ 150.0(j)2:	Insulation Protection. Piping insulation must be protected from damage, including that due to sunlight, moisture, equipment' maintenance, and wind as required by §120.3(b). Insulation exposed to weather must be water retardant and protected from UV light (no adhesive tapes). Insulation covering chilled water piping and refrigerant suction piping located outside the conditioned space must include, or be protected by, a Class I or Class II vapor retarder. Pipe insulation buried below grade must be installed in a waterproof and non-crushable casing or sleeve.
§ 150.0(n)1:	Gas or Propane Water Heating Systems. Systems using gas or propane water heaters to serve individual dwelling units must designate a space at least 2.5' x 2.5' x 7' suitable for the future installation of a heat pump water heater, and meet electrical and plumbing requirements, based on the distance between this designated space and the water heater location; and a condensate drain no more than 2" higher than the base of the water heater
§ 150.0(n)3:	Solar Water-heating Systems. Solar water-heating systems and collectors must be certified and rated by the Solar Rating and Certification Corporation (SRCC), the International Association of Plumbing and Mechanical Officials, Research and Testing (IAPMO R&T), or by a listing agency that is approved by the executive director.
oucts and Fans:	
§ 110.8(d)3:	Ducts. Insulation installed on an existing space-conditioning duct must comply with § 604.0 of the California Mechanical Code (CMC). If a contractor installs the insulation, the contractor must certify to the customer, in writing, that the insulation meets this requirement.
§ 150.0(m)1:	CMC Compliance. All air-distribution system ducts and plenums must meet CMC §§ 601.0-605.0 and ANSI/SMACNA-006-2006 HVAC Duct Construction Standards Metal and Flexible 3rd Edition. Portions of supply-air and return-air ducts and plenums must be insulated to R-6.0 or higher, ducts located entirely in conditioned space as confirmed through field verification and diagnostic testing (RA3.1.4.3.8) do not require insulation. Connections of metal ducts and inner core of flexible ducts must be mechanically fastened. Openings must be sealed with mastic, tape, or other duct-closure system that meets the applicable UL requirements, or aerosol sealant that meets UL 723. The combination of mastic and either mesh or tape must be used to seal openings greater than W, if mastic or tape is used. Building cavities, air handler support platforms, and plenums designed or constructed with materials other than sealed sheet metal, duct board or flexible duct must not be used to convey conditioned air. Building cavities and support platforms may contain ducts; ducts installed in
	these spaces must not be compressed.

Factory-Fabricated Duct Systems. Factory-fabricated duct systems must comply with applicable requirements for duct construction, § 150.0(m)2: connections, and closures; joints and seams of duct systems and their components must not be sealed with cloth back rubber adhesive duct tapes unless such tape is used in combination with mastic and draw bands. Field-Fabricated Duct Systems. Field-fabricated duct systems must comply with applicable requirements for: pressure-sensitive tape § 150.0(m)3: mastics, sealants, and other requirements specified for duct construction. Backdraft Damper. Fan systems that exchange air between the conditioned space and outdoors must have backdraft or automatic § 150.0(m)7: Gravity Ventilation Dampers. Gravity ventilating systems serving conditioned space must have either automatic or readily accessible § 150.0(m)8: manually operated dampers in all openings to the outside, except combustion infet and outlet air openings and elevator shaft vents. Protection of Insulation. Insulation must be protected from damage due to sunlight, moisture, equipment maintenance, and wind. insulation exposed to weather must be suitable for outdoor service (e.g., protected by aluminum, sheet metal, painted carryas, or plas cover). Cellular foam insulation must be protected as above or painted with a water retardant and solar radiation-resistant coating.

§ 150.0(m)10: Porous Inner Core Flex Duct. Porous inner cores of flex ducts must have a non-porous layer or air barrier between the inner core an outer vapor barrier, Duct System Sealing and Leakage Test. When space conditioning systems use forced air duct systems to supply conditioned air to § 150.0(m)11: occupiable space, the ducts must be sealed and duct leakage tested, as confirmed through field verification and diagnostic testing, in accordance with Reference Residential Appendix RA3.1.

Air Filtration. Space conditioning systems with ducts exceeding 10 feet and the supply side of ventilation systems must have MERV 13 § 150.0(m)12: or equivalent fillers. Filters for space conditioning systems must have a two inch depth or can be one inch if sized per Equation 150.0-A. Clean-filter pressure drop and labeling must meet the requirements in §150.0(m)12. Filters must be accessible for regular service. Filter racks or grilles must use gaskets, sealing, or other means to close gaps around the inserted filters to and prevents air from bypassing the

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#### 2022 Single-Family Residential Mandatory Requirements Summary

ENERGY COMMISSION	
§ 150.0(s)	Energy Storage System (ESS) Ready. All single-family residences must meet all of the following: Either ESS-ready interconnection equipment with backed up capacity of 60 amps or more and four or more ESS supplied branch circuits, <u>or</u> a dedicated raceway from the main service to a subpanel that supplies the branch circuits in § 150.0(s); at least four branch circuits must be identified and have their source collocated at a single panelboard suitable to be supplied by the ESS, with one circuit supplying the refrigerator, one lighting circuit near the primary exit, and one circuit supplying a sleeping room receptacle outlet; main panelboard must have a minimum busbar rating of 225 amps; sufficient space must be reserved to allow future installation of a system isolation equipment/transfer switch within 3' of the mai panelboard, with raceways installed between the panelboard and the switch location to allow the connection of backup power source.
§ 150.0(t)	Heat Pump Space Heater Ready. Systems using gas or propane furnaces to serve individual dwelling units must include: A dedicated unobstructed 240V branch circuit wiring installed within 3' of the furnace with circuit conductors rated at least 30 amps with the blank cover identified as "240V ready;" and a reserved main electrical service panel space to allow for the installation of a double pole circuit breaker permanently marked as "For Future 240V use."
§ 150.0(u)	Electric Cooktop Ready. Systems using gas or propane cooktop to serve individual dwelling units must include: A dedicated unobstructed 240V branch circuit wiring installed within 3' of the cooktop with circuit conductors rated at least 50 amps with the blank cover identified as "240V ready;" and a reserved main electrical service panel space to allow for the installation of a double pole circuit breaker permanently marked as "For Future 240V use."
§ 150.0(v)	Electric Clothes Dryer Ready. Clothes dryer locations with gas or propane plumbing to serve individual dwelling units must include: A dedicated unobstructed 240V branch circuit wiring installed within 3' of the dryer location with circuit conductors rated at least 30 amps with the blank cover identified as "240V ready;" and a reserved main electrical service panel space to allow for the installation of a double pole circuit breaker permanently marked as "For Future 240V use."

\*Exceptions may apply.

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#### 2022 Single-Family Residential Mandatory Requirements Summary

Space Conditioning System Airflow Rate and Fan Efficacy. Space conditioning systems that use ducts to supply cooling must have

	§ 150.0(m)13:	a hole for the placement of a static pressure probe, or a permanently installed static pressure probe in the supply plenum. Airflow must be ≥ 350 CFM per ton of nominal cooling capacity, and an air-handling unit fan efficacy ≤ 0.45 watts per CFM for gas furnace air handlers and ≤ 0.58 watts per CFM for all others. Small duct high velocity systems must provide an airflow ≥ 250 CFM per ton of nominal cooling capacity, and an air-handling unit fan efficacy ≤ 0.62 watts per CFM. Field verification testing is required in accordance with Reference Residential Appendix RA3.3.*
	(0)	Reletence Residential Appendix RAS.S.
1	Ventilation and In	
-	§ 150.0(o)1:	Requirements for Ventilation and Indoor Air Quality. All dwelling units must meet the requirements of ASHRAE Standard 62.2, Ventilation and Acceptable Indoor Air Quality in Residential Buildings subject to the amendments specified in § 150.0(o)1.*
	§ 150.0(a)1B:	Central Fan Integrated (CFI) Ventilation Systems. Continuous operation of CFI air handlers is not allowed to provide the whole- dwelling unit ventilation airflow required per §150.0(o)1C. A motorized damper(s) must be installed on the ventilation duct(s) that prevents all airflow through the space conditioning duct system when the damper(s) is closed and controlled per §150.0(o)1Biii&iv. CFI ventilation systems must have controls that track outdoor air ventilation run time, and either open or close the motorized damper(s) for compliance with §150.0(o)1C.
1	§ 150.0(o)1C:	Whole-Dwelling Unit Mechanical Ventilation for Single-Family Detached and townhouses. Single-family detached dwelling units, and attached dwelling units not sharing ceilings or floors with other dwelling units, occupiable spaces, public garages, or commercial spaces must have mechanical ventilation airflow specified in § 150.0(o)1Ci-iii.
	§ 150.0(a)1G;	Local Mechanical Exhaust, Kitchens and bethrooms must have local mechanical exhaust; nonenclosed kitchens must have demand- controlled exhaust system meeting requirements of §150.0(o)1Gii,enclosed kitchens and bathrooms can use demand-controlled or continuous exhaust meeting §150.0(o)1Gii-iv. Airflow must be measured by the installer per §150.0(o)1Gv, and rated for sound per §150.0(o)1Gvi. *
а	§ 150.0(o)1H&I:	Airflow Measurement and Sound Ratings of Whole-Dwelling Unit Ventilation Systems. The airflow required per § 150.0(o)1C must be measured by using a flow hood, flow grid, or other airflow measuring device at the fan's inlet or outlet terminals/grilles per Reference Residential Appendix RA3.7. Whole-Dwelling unit ventilation systems must be rated for sound per ASHRAE 62.2 §7.2 at no less than the minimum airflow rate required by §150.0(o)1C.
	§ 150.0(o)2:	Field Verification and Diagnostic Testing. Whole-Dwelling Unit ventilation airflow, vented range hood airflow and sound rating, and HRV and ERV fan efficacy must be verified in accordance with Reference Residential Appendix RA3.7. Vented range hoods must be verified per Reference Residential Appendix RA3.7.4.3 to confirm if it is rated by HVI or AHAM to comply with the airflow rates and sound requirements per §150.0(o)1G
ii .	Pool and Spa Sys	stems and Equipment:
-	§ 110.4(a):	Certification by Manufacturers. Any pool or spa heating system or equipment must be certified to have all of the following: compliance with the Appliance Efficiency Regulations and listing in MAEDbS; an on-off switch mounted outside of the heater that allows shutting off the heater without adjusting the thermostat setting; a permanent weatherproof plate or card with operating instructions; and must not use electric resistance heating. *
-	§ 110.4(b)1:	Piping. Any pool or spa heating system or equipment must be installed with at least 36 inches of pipe between the filter and the heater, or dedicated suction and return lines, or built-in or built-up connections to allow for future solar heating.
	§ 110.4(b)2:	Covers. Outdoor pools or spas that have a heat pump or gas heater must have a cover.
1	§ 110.4(b)3:	Directional Inlets and Time Switches for Pools. Pools must have directional inlets that adequately mix the pool water, and a time switch that will allow all pumps to be set or programmed to run only during off-peak electric demand periods.
7	§ 110.5:	Pilot Light. Natural gas pool and spa heaters must not have a continuously burning pilot light.
2	§ 150.0(p):	Pool Systems and Equipment Installation. Residential pool systems or equipment must meet the specified requirements for pump sizing, flow rate, piping, filters, and valves.
8	Lighting:	
	§ 110.9:	Lighting Controls and Components. All lighting control devices and systems, ballasts, and luminaires must meet the applicable requirements of § 110.9.
	§ 150.0(k)1A:	Luminaire Efficacy. All installed luminaires must meet the requirements in Table 150.0-A, except lighting integral to exhaust fans, kitchen range hoods, bath vanity mirrors, and garage door openers; navigation lighting less than 5 watts; and lighting internal to drawers, cabinets, and linen closets with an efficacy of at least 45 lumens per watt.
l.	8 150 0/W1R	

Screw based luminaires. Screw based luminaires must contain lamps that comply with Reference Joint Appendix JAS.

and must be sealed with a gasket or caulk. California Electrical Code § 410.116 must also be met.

hoods) must meet the applicable requirements of § 150.0(k).

Recessed Downlight Luminaires in Ceilings. Luminaires recessed into ceilings must not contain screw based sockets, must be airtight,

Light Sources in Enclosed or Recessed Luminaires. Lamps and other separable light sources that are not compliant with the JAS

elevated temperature requirements, including marking requirements, must not be installed in enclosed or recessed luminaires.

Blank Electrical Boxes. The number of electrical boxes that are more than five feet above the finished floor and do not contain a luminaire or other device shall be no more than the number of bedrooms. These boxes must be served by a dimmer, vacancy sensor control, low voltage wiring, or fan speed opntrol.

Lighting Integral to Exhaust Fans. Lighting integral to exhaust fans (except when installed by the manufacturer in kitchen exhaust

5/6/22

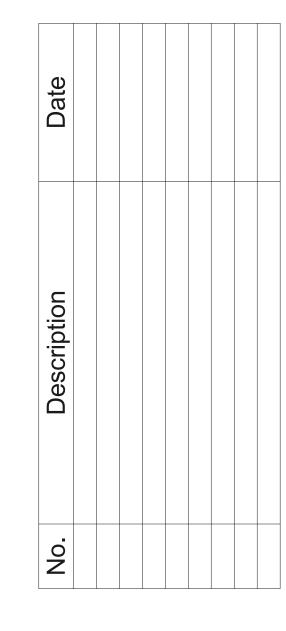
§ 150.0(k)1C:

design collaborative

**DESIGN & DRAFTING SERVICES** 

John Neal

Suisun City CA 94585 707-717-5826 jneal.dc@gmail.com www.designcollaborativeservice.com



174 SF DINING **EXTENSION** 

504 Wenham Way Folsom, CA 95630 APN: 072-0780-002

TITLE 24 MANDATORY **MEASURES** 

24.003

Main Electrical Service Panel. The main electrical service panel must have a reserved space to allow for the installation of a double pole

§ 110,10(e)1: Main Electrical Service Panel. The main electrical service panel must have a minimum busbar rating of 200 amps.

#### 2022 CALIFORNIA GREEN BUILDING CODE **RESIDENTIAL CHECKLIST**

New Residential Buildings must be designed to include the Green Building Mandatory Measures specified in this checklist. These Green Building Mandatory Measures also apply to additions or alterations of existing Residential Buildings which increase the building's conditioned area, volume, or size. These requirements only apply to the specific area of addition or alteration. 2022 CGC §301.1.1

Permit Number:	Project Address:	504 Wenham Way, Folsom CA 95630

Specify which sheet includes the Measure, and add specific details listing where the measure is located on that page. Include exact code sections on plans.

Green Building Measure					
ENERGY EFFICIENCY(2022 CEC §150.0)					
(2022 California Building Energy Efficiency Standar	ds)				
2022 Energy Code performance (CF1R) compliance documentation mudigitally in $8-1/2^{\circ}$ X 11" format, and, must be replicated on the plans	-	A020			
SITE DEVELOPMENT (2022 CGC §4.106)					
Plans shall indicate how Grading and Paving will prevent surface waterflows	from entering				
buildings. Exception: Projects that do not alter the drainage path.	2022 CGC §4.106.3	N/A			
Electric Vehicle (EV) Charging, parking spaces: comply with all relevant sections. 2022 CGC §4.106.4					
INDOOR WATER USE (2022 CGC §4.303)					
Standards for Plumbing fixtures and fittings. Plumbing fixtures and fittings sh	all be installed in				
accordance with the California Plumbing Code, and shall meet the applicable standards referenced in					
Table 1701.1 of the <i>California Plumbing Code</i> . 2022 CGC §4.303.3					
OUTDOOR WATER USE (2022 CGC §4.304)					
Residential developments shall submit a California Department of Water Re	sources' Model	N/A			
Water Use Efficient Landscape (MWELO) checklist.	2022 CGC §4.304.1	IN/A			
ENHANCED DURABILITY AND REDUCED MAINTENANCE (202)	2 CGC §4.406)				
Annular spaces around pipes, electric cables, conduits or other openings in s	•				
exterior walls, shall be protected against the passage of rodents by closing su					
cement mortar, concrete masonry, or similar method acceptable to the enforcing agency.					
•	2022 CGC §4.406.1				
CONSTRUCTION WASTE MANAGEMENT (2022 CGC §	1.408)				
Recycle and/or salvage a minimum 65% of the non-hazardous construction a					
This is not applicable to soil and land clearing debris.	2022 CGC §4.408.1				

Green Building Measure	Plan Sheet and Detail
BUILDING MAINTENANCE AND OPERATION (2022 CGC §4.410)	
An operation and maintenance manual will be provided at final inspection. 2022 CGC §4.410.1 Where 5 or more multi-family dwelling units are constructed on a building site, provide readily accessible areas that serve all buildings on site and are identified for the depositing, storage, and collection of nonhazardous materials for recycling, including paper, corrugated cardboard, glass, plastics, organic waste and metals, or, meet local ordinance, if more restrictive. 2022 CGC §4.410.2	N/A
FIREPLACES (2022 CGC §4.503)	
Any installed gas fireplaces will be direct-vent sealed-combustion type. Any installed woodstove or pellet stove shall comply with US EPA NSPS emission limits. 2022 CGC 4.503.1 GAS IS NOT ALLOWED FOR NEW CONSTRUCTION BASED ON BURLINGAME'S REACH CODE.	N/A
POLLUTANT CONTROL (2022 CGC §4.504)	
At the time of rough installation, during storage on the construction site, and until final startup of the HVAC equipment, all duct and other related air distribution component openings will be covered with tape, plastic, sheet metal, or other methods acceptable to the enforcing agency to reduce the amount of water, dust and debris that may enter the system.  2022 CGC §4.504.1	
Adhesives, sealants, and caulks used on the project shall follow local and regional air pollution or air quality management district standards.  2022CGC §4.504.2.1	
Paints and coatings will comply with VOC limits. 2022CGC §4.504.2.2	
Aerosol paints and coatings will meet the Product-weighted MIR limits for ROC, and comply with percent VOC by weight of product limits, Regulation 8, Rule 49. 2022 CGC §4.504.2.3	
Documentation shall verify compliance for VOC finish materials. 2022 CGC §4.504.2.4	
Carpet systems will meet CALGREEN testing and product requirements. 2022 CGC §4.504.3	
Where resilient flooring is installed, at least 80% of the floor area receiving resilient flooring will comply with the California Green Building Code requirements. 2022 CGC §4.504.4	
Hardwood plywood, particleboard, and medium density fiberboard composite wood products shall comply with the low formaldehyde emission standards. 2022 CGC §4.504.5	
INTERIOR MOISTURE CONTROL (2022 CGC §4.505)	
A capillary break will be installed if a slab on grade foundation system is used. 2022 CGC §4.505.2.1	
Building materials with visible signs of water damage will not be installed. Wall and floor framing will not be enclosed when the framing members exceed 19% moisture content. Moisture content will be verified prior to finish material being applied. Replace wet insulation products, or allow to dry before enclosure.  2022 CGC §4.505.3	
INDOOR AIR QUALITY AND EXHAUST (CGC §4.506)	
Exhaust fans that are ENERGY STAR compliant, ducted and that terminate outside the building will be provided in every bathroom (bathtub, shower, or shower/tub combo). 2019 CGC §4.506.1 Unless functioning as a component of a whole-house ventilation system, fans must be controlled by a humidity control.  2022 CGC §4.506.2	

ENVIRONMENTAL COMFORT (2022 CGC §4.507)  The heating and air-conditioning system will be sized, designed and have their equipment selected using the following methods: Heat Loss/Heat Gain values in accordance with ANSI/ACCA 2 Manual J-2016 or equal; Duct systems aire sized according to ANSI/ACCA 1, Manual D-2016 or equivalent; Select heating and cooling equipment in accordance with ANSI/ACCA 3, Manual S-2014 or equivalent.  VERIFICATION (2022 CGC §703)  Upon request, verification of compliance with this code may include construction documents, plans, specifications, builder or installer certification, inspection reports, or other methods acceptable to the Building Division that will show substantial conformance with the 2022 Code requirements.  Responsible Designer's Declaration Statement  I hereby certify that this project has been designed to meet the requirements of the 2022 Green Build Name:  John R Neal  May  City/State/Zip Code:  Suisun City CA 94585  Signature:  Date:  Contractor's Declaration Statement  I hereby certify, as the builder or installer, fathat this project will be constructed to meet the requirement of reen Building Code.  Name:  Address:  City/State/Zip Code:  Signature:  Date:			Green B	uilding M	leasure			Plan S
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City/State/Zip Code: Suisun City CA 94585  Signature: Date: 02.13.2024  Contractor's Declaration Statement  I hereby certify, as the builder or installer, Green Building Code.  Name:  Address:  City/State/Zip Code:	lame:	John F	R Neal					
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John R Neal Digitally Signed by R Neal  Contractor's Declaration Statement  I hereby certify, as the builder or installer, that this project will be constructed to meet the requirement Green Building Code.  Name:  Address:  City/State/Zip Code:	City/State/Zip (	Code:	Suisun City CA	94585				
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DESIGN & DRAFTING SERVICES John Neal Suisun City CA 94585 707-717-5826 jneal.dc@gmail.com www.designcollaborativeservice.com

> 174 SF DINING ROOM **EXTENSION**

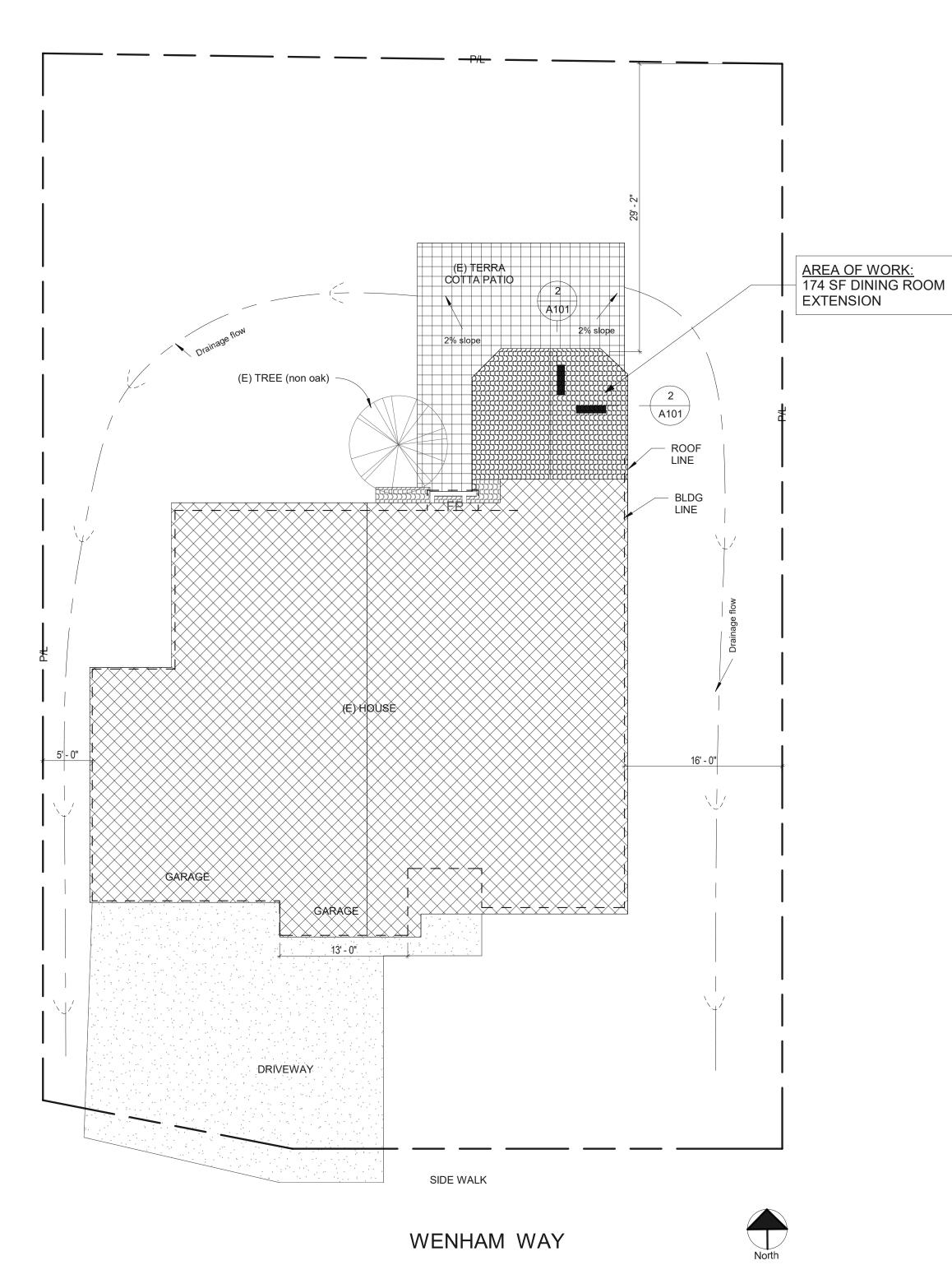
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504 Wenham Way Folsom, CA 95630 APN: 072-0780-002

CAL GREEN MANDATORY MEASURES

DATE 02.24.2024
PROJECT NO. 24.003

A050



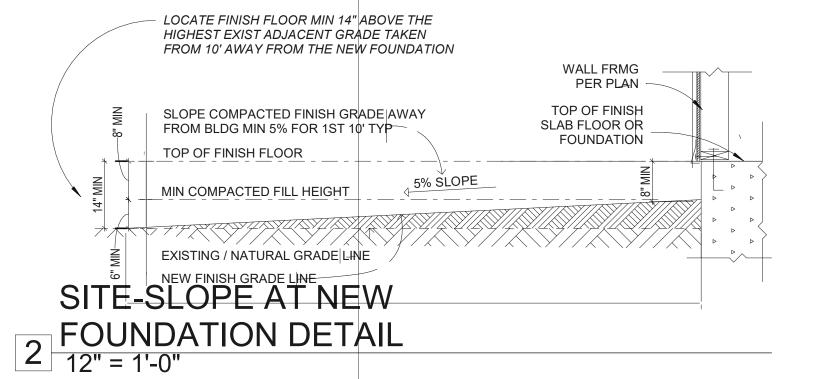
1 SITE PLAN 1/8" = 1'-0"

#### GENERAL NOTES

- 1. BOUNDARY INFORMATION SHOWN IS BASED UPON ASSESSOR MAP INFORMATION AND DATA.
- THE PROPOSED IMPROVEMENTS WERE BASED ON RECORD INFORMATION GIVEN TO THE DESIGNER AT THE TIME OF PREPARATION. IF THERE ARE ANY DISCREPANCIES BETWEEN THE PROPOSED IMPROVEMENTS CONTAINED IN THESE PLANS AND PREVIOUS APPROVED PLAN SUBMITTALS, CONTRACTOR IS TO CONSULT WITH THE DESIGNER AND OWNER PRIOR TO ANY CONSTRUCTION ACTIVITY.
- EXISTING STRUCTURES AND UTILITIES ARE SHOWN IN THEIR APPROXIMATE LOCATIONS BASED UPON RECORD INFORMATION AVAILABLE TO THE DESIGNER AT THE TIME OF THE PREPARATION OF THESE PLANS. LOCATIONS MAY NOT HAVE BEEN VERIFIED IN THE FIELD AND NO GUARANTEE IS MADE AS TO THE ACCURACY OR COMPLETENESS OF THE INFORMATION SHOWN.
- 4. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALE DIMENSIONS
- GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND SITE CONDITIONS BEFORE STARTING WORK. THE DESIGNER SHALL BE NOTIFIED IN WRITING OF ANY DISCREPANCY PRIOR TO THE START OF WORK. THIS NOTE ALSO PERTAINS TO ALL SUB-CONTRACTORS. CONTRACTOR IS LIABLE FOR ALL ADJUSTMENTS MADE WITHOUT ENGINEER'S WRITTEN APPROVAL.
- CONTRACTOR IS RESPONSIBLE TO MEET ALL BUILDING CODES REGARDLESS OF PLAN SPECIFICATIONS.
- THE WORD "TYPICAL" OR "TYP" WHERE IT OCCURS MEANS THAT THE SAME WORK APPLIES WHERE SIMILAR CONDITIONS OCCUR. DETAILS ARE UNDERSTOOD TO BE TYPICAL WHERE SIMILAR CONDITIONS OCCUR UNLESS OTHERWISE NOTED.
- UNAUTHORIZED CHANGES & USES: THE DESIGNER PREPARING THESE PLANS WILL NOT BE RESPONSIBLE FOR, OR LIABLE FOR, UNAUTHORIZED CHANGES TO OR USES OF THESE PLANS. ALL CHANGES TO THE PLANS MUST BE IN WRITING AND MUST BE APPROVED BY THE PREPARER OF THESE PLANS.
- 9. SLOPE AWAY FROM STRUCTURE A MINIMUM OF 5' @ 2%.

#### EROSION CONTROL NOTES

- 1. ALL EROSION CONTROL STANDARD MEASURES SHALL BE IN-PLACE PRIOR TO OCTOBER 15 THRU APRIL 15 OF EACH CALENDAR YEAR AND OR 24 HOURS BEFORE THE WEATHER REPORT CALLS FOR MORE THAN A 20% CHANCE OF RAIN USING WEATHER.GOV.
- UTILITY TRENCHES SHALL BE COMPACTED WITH THE SURFACE FINISH SLIGHTLY MOUNDED TO PREVENT THE CHANNELING OF WATERING IN THE TRENCH AREA.
- THE TOP OF THE FILL OR CUT SLOPES SHOULD BE GRADED IN SUCH A WAY AS TO PREVENT WATER FROM FLOWING FREELY DOWN THE
- ALL PERMANENT SLOPES FILL OR CUT, SHOULD BE PROTECTED AGAINST EROSION BY MEANS OF EROSION CONTROL PLANTING, MULCHING, AND IN SOME CASES BY INSTALLATION ON JUTTE MATTING OR EQUIVALENT.
- GRADED SLOPES MAY EXPERIENCE SEVERE EROSION WHEN GRADING IS HALTED BY HEAVY RAIN, THEREFORE BEFORE WORK IS STOPPED A POSITIVE GRADIENT AWAY FROM THE SLOPES SHOULD BE PROVIDED TO CARRY THE SURFACE RUNOFF WATER AWAY FROM THE SLOPES AND TO AREAS WHERE EROSION CAN BE CONTROLLED. IT IS VITAL THAT NO COMPLETED SLOPE BE LEFT STANDING THROUGH A WINTER SEASON WITHOUT EROSION CONTROL MEASURES HAVING BEEN
- STORM WATER DRAINAGE: WHERE STORM WATER IS CONVEYED TO A PUBLIC DRAINAGE SYSTEM, COLLECTION POINT, AND GUTTER, OR SIMILAR DISPOSAL METHOD, WATER SHALL BE FILTERED BY USE OF A BARRIER SYSTEM, WATTLE, OR OTHER METHOD APPROVED BY THE ENFORCING AGENCY.
- DUST CONTROL: SHALL BE MAINTAINED AT ALL TIMES DURING CONSTRUCTION UNTIL THE PROJECT IS COMPLETE. THE BUILDER SHALL PREVENT ANY AIRBORNE NUISANCE DUST BY WATERING AND OR TREATING THE SITE TO PREVENT DUST. ADDITIONAL WATERING SHALL BE PROVIDED DURING DRY WEATHER AND WIND CONDITIONS. THE BUILDER SHALL BE RESPONSIBLE FOR ANY DAMAGES, FINES, AND OR CHARGES FROM DUST RELATED DAMAGES. DUST CONTROL SHALL BE MAINTAINED ON A DAILY BASIS.
- VEGETATE NEW SLOPES WITH TACTIFIER, FERTILIZER, AND SEED SHALL APPLIED INITIALLY. A FIBER MULCH OF STRAW OR APPROVED EQUAL SHALL BE APPLIED AFTER THE SEED. SEEDED SLOPES SHALL BE IRRIGATED TO ENCOURAGE GROWTH BETWEEN THE DATE OF APPLICATION AND THE FIRST RAINY PERIOD. HYDROSEED ALL CUT AND FILL SLOPES. CUT SLOPES SHALL BE COMPACTED AND CAT WALKED PRIOR TO SEEDING.

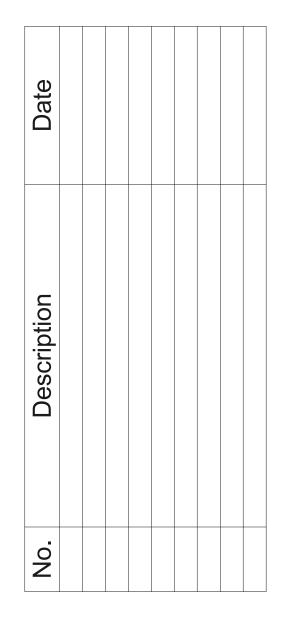


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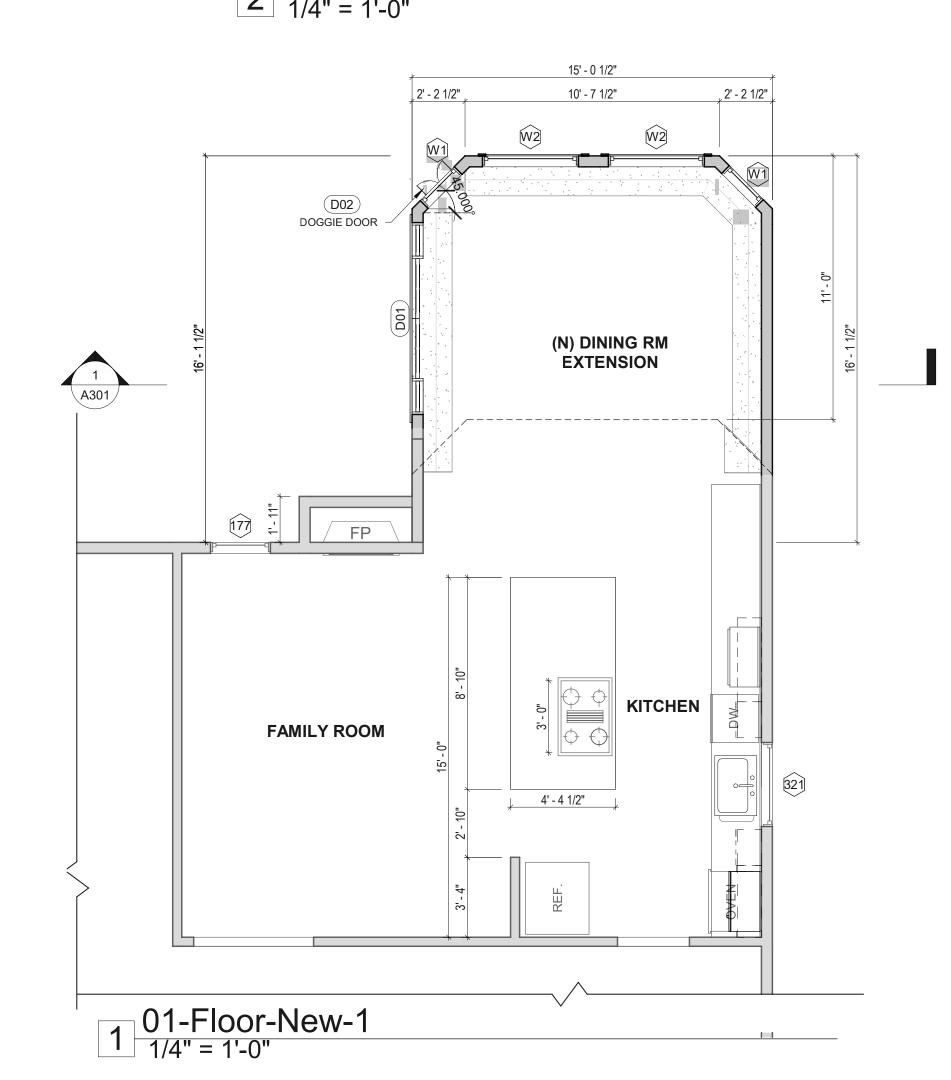
174 SF DINING ROOM **EXTENSION** 

504 Wenham Way Folsom, CA 95630 APN: 072-0780-002

SITE PLAN, NOTES AND **DETAILS** 

> CHECKED BY John Neal Laona Hall As indicated 02.24.2024 24.003 PHASE NO.

A101



#### ATTIC VENT CALCULATIONS

#### AREA 'A'

**ROOF AREA:** 

174 SQ.FT. CALCULATION: (174 SQ.FT. ÷ 150 x 144)

Grand total: 2

Grand total: 4

REQUIRED AREA: 166 SQ.IN. (4) 3.5"x14.5" SCREENED EAVE VENTS = 203 SQ. IN. TO BE PROVIDED BY:

TOTAL = 203 SQ. IN.

(50.75 SQ.IN PER VENT)

#### 1. LUMBER GRADES TO BE AS FOLLOWS:

2X4 ...... DF #2 2X6 ..... DF #2 2X8 ...... DF #1 2X10...... DF #1 2X12..... DF #1

- 2. STRUCTURAL PLYWOOD... CD-EXT WITH THICKNESS SHOWN ON PLANS. GC MAY REPLACE PLYWOOD WITH OSB OF SAME THICKNESS AND STRENGTH GRADE.
- 3. ALL STRUCTURAL WOOD FRAMING SHALL BE DOUGLAS FIR LARCH (NO. 1) (UNLESS
- 4. ALL POSTS SHALL BE DOUGLAS FIR LARCH (NO. 1).

OTHERWISE NOTED ABOVE OR ON PLANS).

LUMBER SPECIFICATIONS

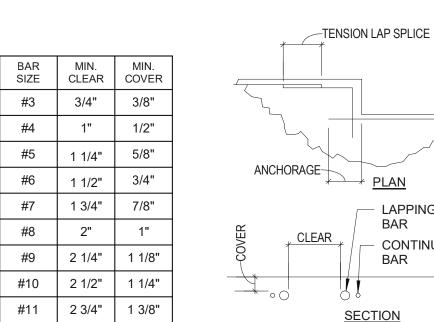
- 5. GLUE LAMINATED BEAMS: SHALL BE 24F-V4, DRY CONDITION, WITH SIZE AND CAMBER AS SHOWN ON PLANS. (24F-V8 AT CANTILEVERED BEAMS)
- 6. PLYWOOD SHEETS ON WALLS SHALL BE LAID WITH THE LONG DIMENSIONS HORIZONTAL OR VERTICAL. BLOCK ALL EDGES AT SHEARWALLS.
- 7. ALL NEW FRAMINMG LUMBER SHALL HAVE A 19% MAXIMUM MOISTURE CONTENT AT TIME OF INSTALLATION AND FABRICATION.

#### STRUCTURAL LOADS

WIND LOADS						
IMPORTANCE FACTOR	1.00					
BASIC WIND SPEED	110.00					
(MPH) WIND EXPOSURE	С					
WIND HORIZ. (PSF)	16.00					

SEISMIC LOADS						
S.DESIGN CAT.	D					
SS ACC. %G	1.96					
S1 ACC. %G	0.74					

VERTICAL LOADS							
	DL (PSF)	LL (PSF)					
FLOOR	20	40					
DECK / BALCONY	25	60					
ROOF	20	20					
WALLS	15	-					



- LAPPING BAR

BAR

<u>SECTION</u>

CONTINUOUS

DOOR SCHEDULE - NEW							
Type Mark	TYPE	WIDTH	HEIGHT	COMMENTS*	Phase Created		
1st Flr Ivl							
D01	5-0 x 7-6 x 1-6 SH	5' - 0"	7' - 6"		New Construction		
D02	Doghouse Door 15041-small	1' - 6"	2' - 0"		New Construction		

WINDOW SCHEDULE - NEW											
Type Mark	Count	Egress	Family and Type	Width	Height	Туре	Level	Comments	Phase Created		
W2	2		All-In-One Window: Fixed 48" x 60"	4' - 0"	5' - 0"	Fixed 48" x 60"	1st Flr Ivl		New Construction		
W1	2		All-In-One Window: Single Hung 24" x 54"	2' - 0"	4' - 6"	Single Hung 24" x 54"	1st Flr Ivl		New Construction		

#### GENERAL NOTES

- 1. GENERAL DETAILS AND NOTES ON THESE SHEETS SHALL APPLY UNLESS SPECIFICALLY SHOWN OR NOTED OTHERWISE. ALL WORK OR CONSTRUCTION SHALL COMPLY WITH ALL APPLICABLE BUILDING CODES, REGULATIONS AND SAFETY REQUIREMENTS.
- 2. DISCREPANCIES: THE CONTRACTOR SHALL INFORM THE ENGINEER, IN WRITING, OF ANY DISCREPANCIES OR OMISSIONS NOTED ON THE DRAWINGS OR IN THE SPECIFICATIONS OR OF ANY VARIATIONS NEEDED IN ORDER TO CONFORM TO CODES, RULES AND REGULATIONS. UPON RECEIPT OF SUCH INFORMATION, THE ENGINEER WILL SEND WRITTEN INSTRUCTIONS TO ALL CONCERNED. ANY SUCH DISCREPANCY, OMISSION OR VARIATION NOT REPORTED SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR, AND WORK SHALL BE PERFORMED IN A MANNER AS
- 3. SHORING: IT SHALL BE THE CONTRACTOR'S SOLE RESPONSIBILITY TO DESIGN AND PROVIDE ADEQUATE SHORING, BRACING, AND FORMWORK, ETC., AS REQUIRED, FOR THE PROTECTION OF LIFE AND PROPERTY DURING THE CONSTRUCTION OF THIS BUILDING.
- EXCAVATION: THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL EXCAVATION PROCEDURES INCLUDING LAGGING, SHORING AND PROTECTION OF ADJACENT PROPERTY, STRUCTURES, STREETS AND UTILITIES IN ACCORDANCE WITH THE LOCAL BUILDING DEPARTMENT AND OSHA REGULATIONS.
- 5. OTHER TRADES: SEE ARCHITECTURAL, ELECTRICAL, AND MECHANICAL DRAWINGS FOR SIZE AND LOCATION OF PIPE, VENT, DUCT AND OTHER OPENINGS AND DETAILS NOT SHOWN ON THESE STRUCTURAL DRAWINGS. ALL DIMENSIONS ARE TO BE CHECKED AND VERIFIED WITH THE ARCHITECTURAL DRAWINGS. THE CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS PRIOR TO ANY WORK AND SHALL BE RESPONSIBLE FOR ALL WORK AND MATERIALS,
- INCLUDING THOSE FURNISHED BY SUBCONTRACTORS. 6. BACKFILL: BACKFILL AROUND RETAINING WALLS SHALL NOT BE PLACED UNTIL AFTER THE WALLS ARE SUPPORTED BY THE COMPLETION OF INTERIOR FLOOR SYSTEMS AND WALLS ARE ADEQUATELY BRACED. BACKFILL SHALL NOT BE PLACED UNTIL AFTER COMPLETION AND INSPECTION OF DRAINAGE SYSTEM AND WATERPROOFING WHERE WATERPROOFING OCCURS.
- 7. BRACING: TEMPORARY BRACING DESIGNED BY THE GENERAL CONTRACTOR SHALL BE PROVIDED AS REQUIRED TO HOLD ALL COMPONENTS OF THE STRUCTURE IN PLACE UNTIL FINAL SUPPORT IS SECURELY ANCHORED.
- 8. WELDING: ALL WELDING SHALL BE PERFORMED BY WELDERS CERTIFIED FOR THE WELDS TO BE MADE. SEE SPECIFICATIONS FOR WELDING PROCESS TO BE USED. WELDING OF REINFORCING STEEL FOR USE IN THE STRUCTURAL CONCRETE OR STRUCTURAL MASONRY SHALL BE PERMITTED ONLY WHERE SPECIFICALLY DESIGNATED ON THESE PLANS OR WHERE SPECIFICALLY APPROVED BY THE ENGINEER.
- 9. SIDEWALK PROTECTION: PEDESTRIAN TRAFFIC SHALL BE PROTECTED AS SPECIFIED IN THE CBC, OR BY LOCAL OSHA OR MUNICIPAL REQUIREMENTS. THE 2016 CALIFORNIA BUILDING CODE (CBC) AND 2016 CALIFLORNIA RESIDENTAIL CODE (CRC) ARE THE GOVERNING CRITERA FOR THIS
- 10. MATERIALS AND WORKMANSHIP: THE CONTRACTOR SHALL SUPPLY ALL LABOR, MATERIALS. EQUIPMENT AND SERVICES OF EVERY KIND, INCLUDING WATER AND POWER, NECESSARY FOR THE PROPER EXECUTION OF THE WORK SHOWN OR INDICATED IN THESE DRAWINGS. ALL MATERIAL SHALL BE NEW AND MATERIALS AND WORKMANSHIP SHALL BE IN GOOD QUALITY. ALL WORKMEN AND SUBCONTRACTORS SHALL BE SKILLED IN THEIR TRADE.
- 11. MATERIALS AND WORKMANSHIP WARRANTY: THE CONTRACTOR SHALL REPLACE ANY DEFECTIVE MATERIALS AND CORRECT POOR WORKMANSHIP WITH NO ADDITIONAL COSTS TO THE OWNER, AND SHALL REMEDY ANY DEFECTS IN MATERIAL OR WORKMANSHIP WHICH APPEAR IN ONE YEAR FROM THE DATE OF COMPLETION OF THE JOB. THIS WARRANTY APPLIES TO THE WORK DONE BY THE SUBCONTRACTORS AS WELL AS THE WORK DONE BY THE EMPLOYEES OF
- 12. SAFETY: THE CONTRACTOR SHALL ADEQUATELY PROTECT HIS WORK, ADJACENT PROPERTY, AND THE PUBLIC, AND BE RESPONSIBLE FOR DAMAGE OR INJURY DUE TO HIS ACT OR NEGLECT.
- 13. INSPECTIONS: ANY INSPECTIONS, SPECIAL OR OTHERWISE, THAT ARE REQUIRED BY THE BUILDING CODES, LOCAL BUILDING DEPARTMENTS, OR THESE PLANS SHALL BE DONE BY THE LOCAL BUILDING DEPARTMENT AND/OR BY AN INDEPENDENT INSPECTION COMPANY. JOB SITE VISITS BY THE ENGINEER DO NOT CONSTITUTE AN OFFICIAL INSPECTION.
- 14. SHOP DRAWINGS: SHOP DRAWINGS ARE AN AID FOR FIELD PLACEMENT, AND ARE SUPERSEDED BY THE STRUCTURAL DRAWINGS. IT SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO MAKE CERTAIN THAT ALL CONSTRUCTION IS IN FULL AGREEMENT WITH THE LATEST STRUCTURAL DRAWINGS.
- 15. SHOP DRAWING CHECK: THE CONTRACTOR SHALL SUPPLY THE ENGINEER WITH ONE SEPIA COPY AND ONE BLUELINE COPY OF CHECKED SHOP DRAWINGS BEARING THE CONTRACTOR'S STAMP OF APPROVAL AND SIGNATURE A MINIMUM OF ONE MONTH PRIOR TO PLACEMENT. THE REVIEW OF SHOP DRAWINGS BY THE ENGINEER IS ONLY FOR GENERAL COMPLIANCE WITH THE STRUCTURAL PRAWINGS AND SPECIFICATIONS. THIS REVIEW DOES NOT GUARANTEE IN ANY WAY THAT THE SHOP DRAWINGS ARE CORRECT, COMPLETE, NOR DOES IT INFER THAT THEY SUPERSEDE THE STRUCTURAL DRAWINGS.
- 16. SCALE: CONTRACTORS SHALL FOLLOW SIZES IN SPECIFICATIONS OR FIGURES ON DRAWINGS IN PREFERENCE TO SCALE MEASUREMENTS, AND FOLLOW DETAIL DRAWINGS IN PREFERENCE TO GENERAL DRAWINGS, AND FOLLOW ACTUAL FIELD CONDITIONS.
- 17. HARDWARE ALLOWANCE: THE GENERAL CONTRACTOR SHALL PROVIDE A HARDWARE FRAMING ALLOWANCE OF \$1,500. ADDITIONAL HARDWARE SHALL BE ADDED AT THE DISCRETION OF THE
- 18. REINFORCING STEEL ALLOWANCE: THE CONTRACTOR SHALL PROVIDE 500 POUNDS OF REINFORCING STEEL FOR THE ENGINEER TO USE AT HIS DISCRETION DURING CONSTRUCTION.

THE CONTRACTOR SHALL REIMBURSE THE OWNER FOR THE UNUSED PORTION.

#### CONCRETE NOTES

	ı	DESCRIPTION	MINIMUM COVER	TOLERANCES (±)
SLABS ON	GRAD	ÞΕ	1 1/2"	1/4"
CAST AGA	NST E	EARTH OR WEATHER	3" CLEAR	3/8"
EXPOSED	TO.	#5 AND SMALLER BARS	3/4"	1/8"
EARTH OR	₹	#5 AND SMALLER BARS	1 1/2"	3/8"
WEATHER	ζ	#5 AND LARGER BARS	2"	3/8"
NOT		ROOF SLABS	1"	1/8"
TO WEAT OR IN		STRUCTURAL SLABS AND WALLS	3/4"	1/8"
CONTACT WITH THE GRO		BEAMS AND COLUMNS (PRIMARY REINFORCEMENT TIES, STIRRUPS AND SPIRALS)	1 1/2"	3/8"

CONCRETE USE	STRENGTH AT 28 DAYS	MAX SLUMP	AIR	MAX AGGREGATE SIZE	AGGREGATE TYPE
EXTERIOR WALKS AND CURBS	3,000 [1]	4"	-	1"	HARDROCK
UTILITY VAULT WALLS AND SLABS	3,000 [1]	4"	-	1"	HARDROCK
FOOTINGS, PIERS	3,000 [1]	4"	-	1"	HARDROCK
SLAB ON GRADE	3,000 [1]	4"	-	1"	HARDROCK
NOTE: WATER/CEN	MENT RATIO SI	HALL BE 0.45	OR LESS	•	

AGGREGATE SIZE	SIZE NUMBER
3/4"	67
1"	57
1 1/2"	467

[1] DESIGNED FOR 2500 PSI (SPECIAL INSPECTION NOT REQUIRED)

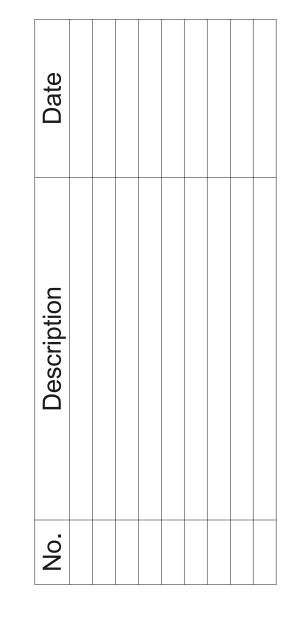
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s e r v i c e s

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174 SF DINING ROOM **EXTENSION** 

504 Wenham Way Folsom, CA 95630 APN: 072-0780-002

FLOOR PLANS, FOUNDATION AND FRAMING PLANS AND **ROOF PLAN** 

> CHECKED BY K GEYER ' J NEAL As indicated 02.24.2024 24.003

PHASE NO.

A201.1

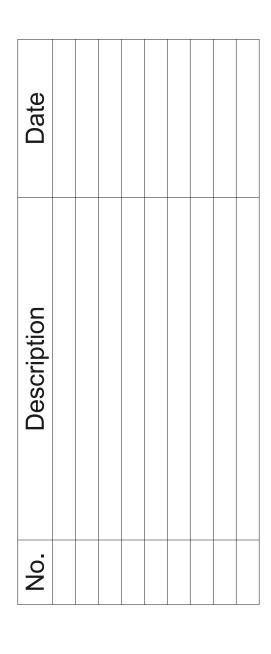
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JohRMA



174 SF DINING ROOM EXTENSION

504 Wenham Way Folsom, CA 95630 APN: 072-0780-002

**ELEVATIONS** 

CHECKED BY
Checker

DRAWN BY
Author

SCALE
As indicated

DATE
02.24.2024

PROJECT NO.

24.003

PHASE NO.

SHEET NO.

A301

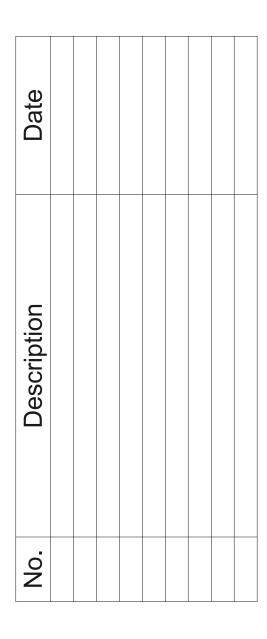


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174 SF DINING ROOM EXTENSION

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COLOR BOARD & EXISTING PHOTOS

CHECKED BY
Checker

DRAWN BY
Author

SCALE 1/4" = 1'-0"

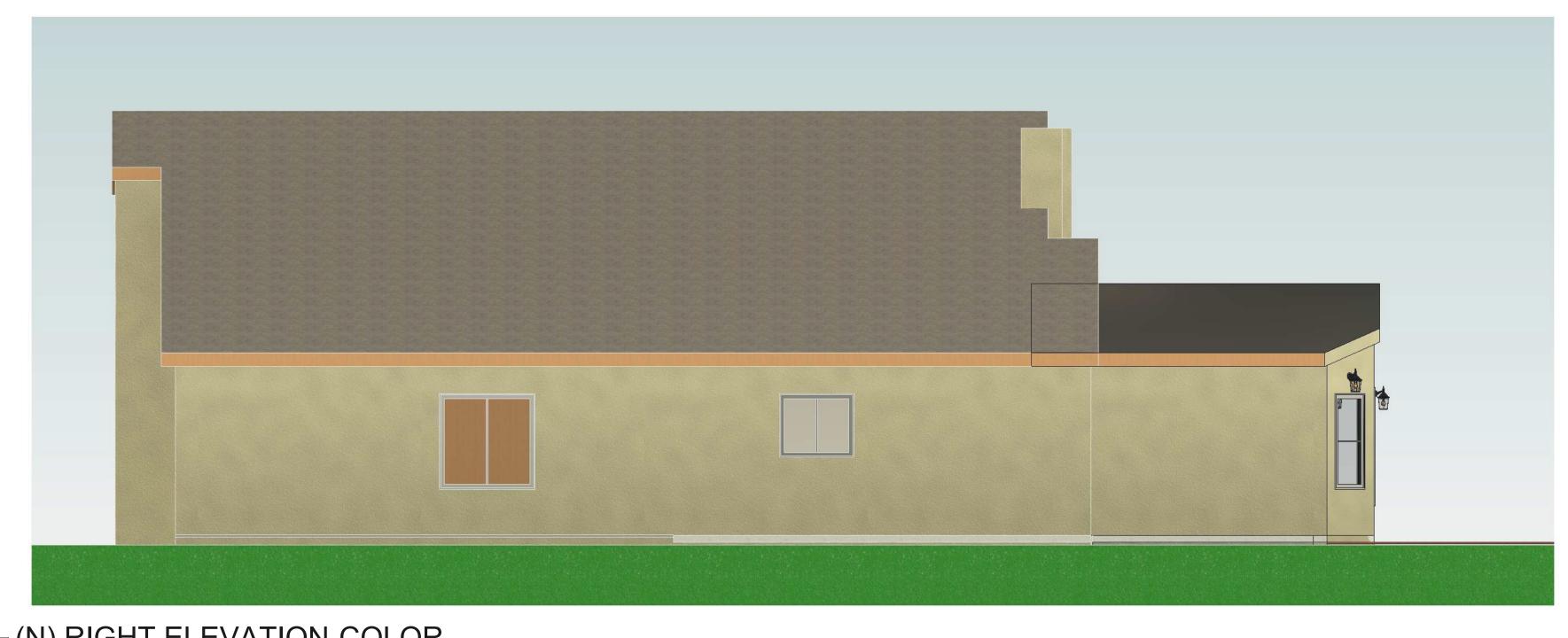
DATE 02.24.2024

DATE 02.24.2024
PROJECT NO. 24.003

PHASE NO.

SHEET NO.

A302



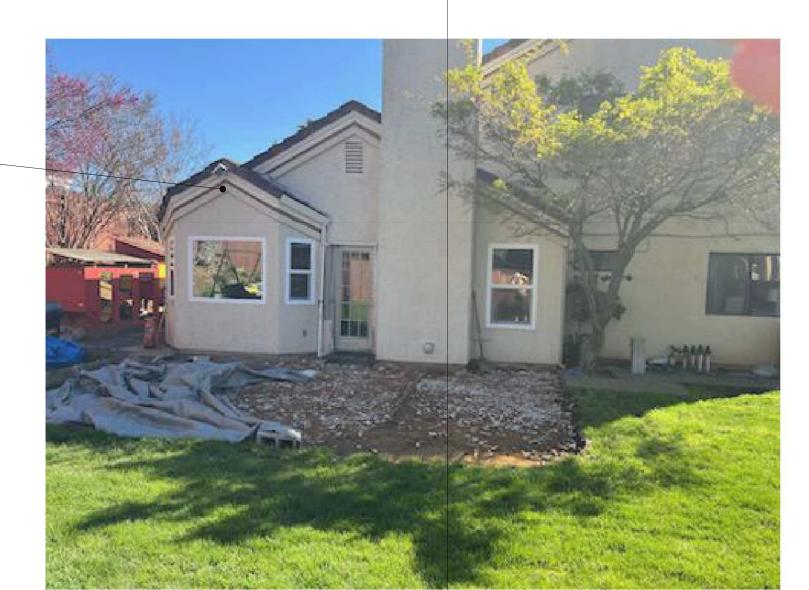
1 (N) RIGHT ELEVATION-COLOR 1/4" = 1'-0"



2 (N) LEFT ELEVATION-COLOR

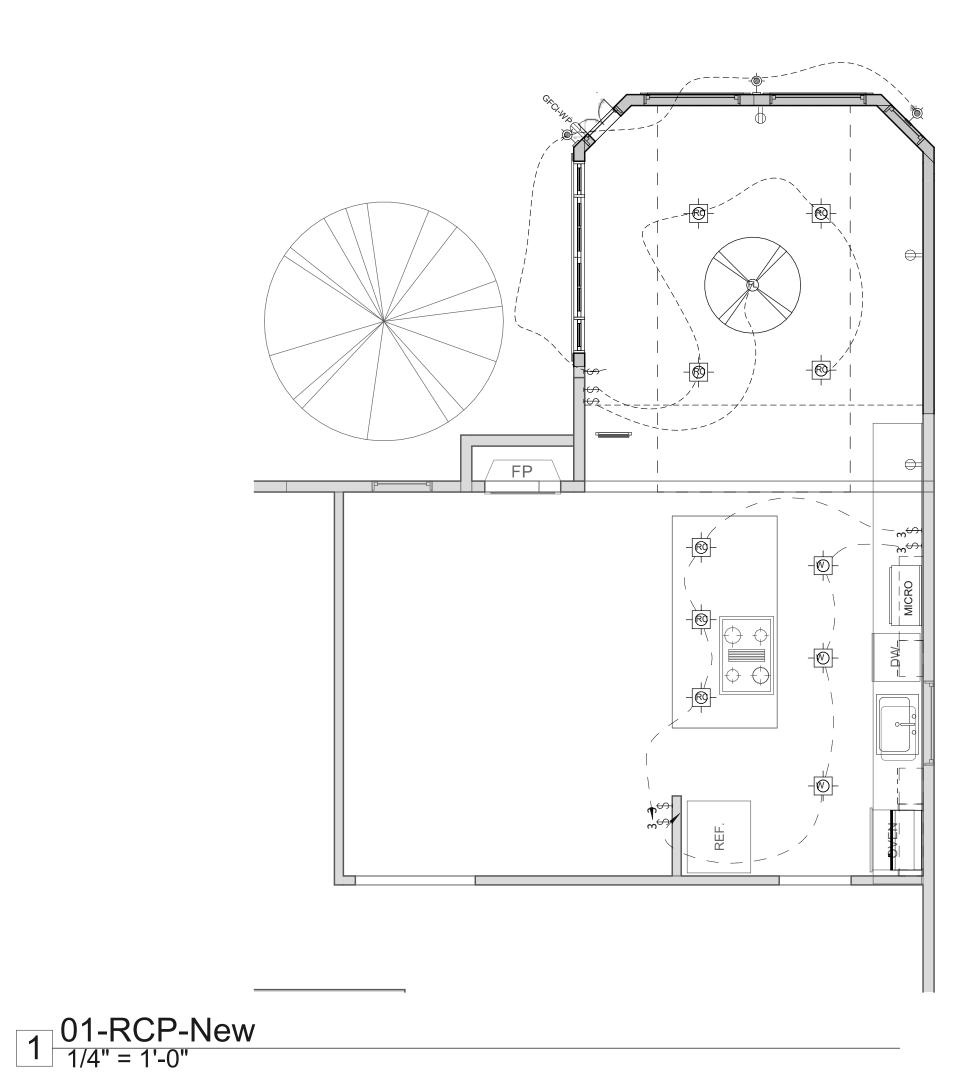


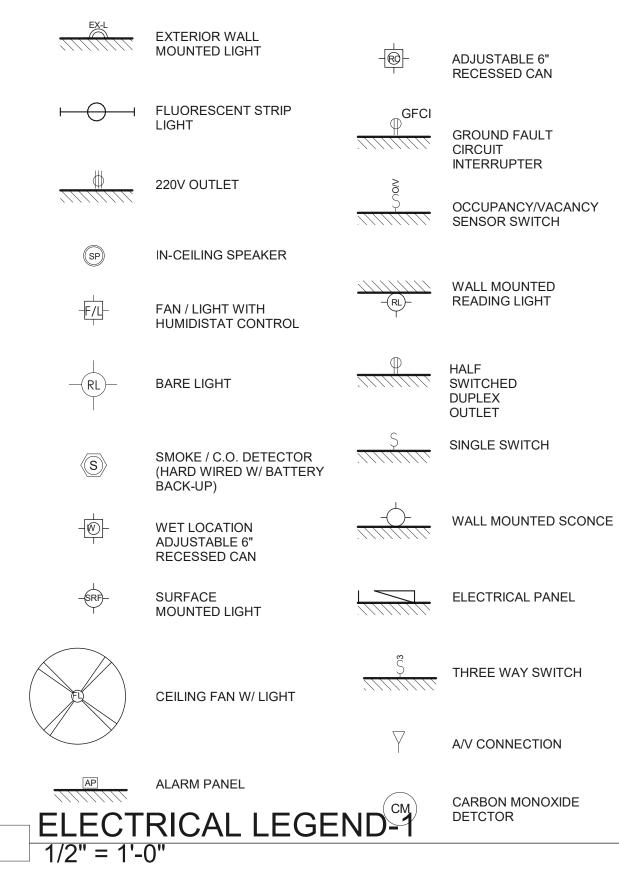
3 (N) REAR ELEVATION-COLOR

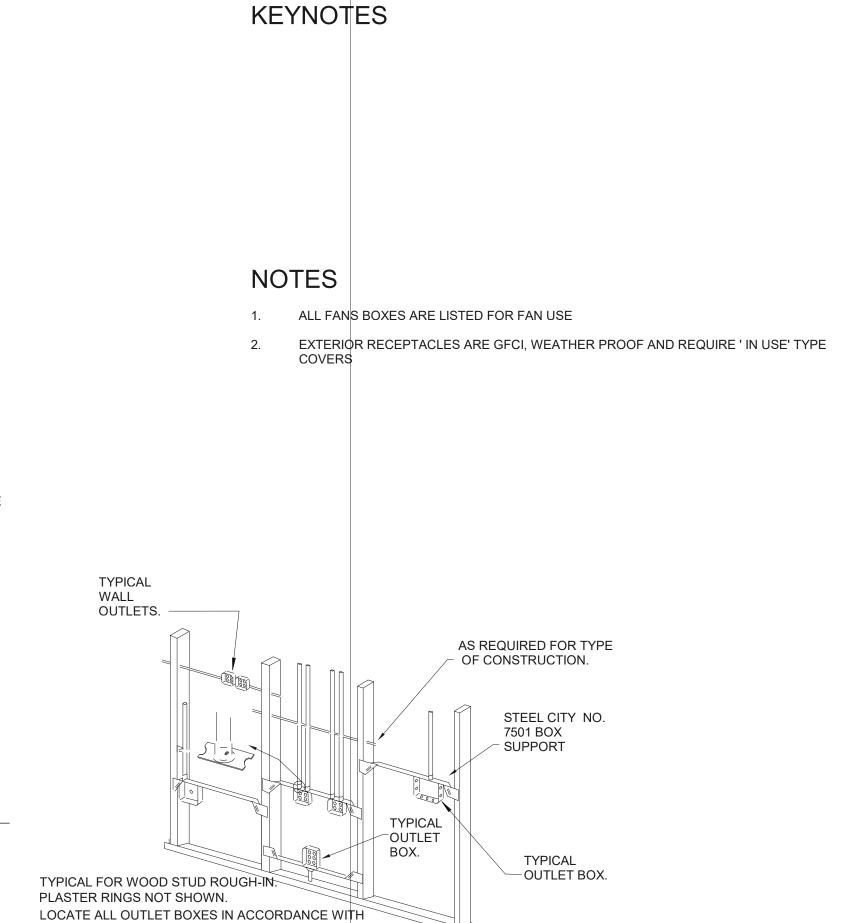


(E) PHOTOGRAPH -1

LIGHTING FIXTURE SCHEDULE							
ITEM TYPE COU							
Downlight - Recessed Can 2010	6" 100 watt Incandescent	7					
Downlight - Wet Location	6" 60 watt Incandescent	3					
Electrical_Ext Wall Light	3						





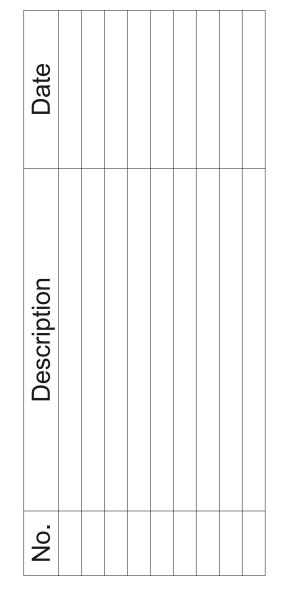




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174 SF DINING

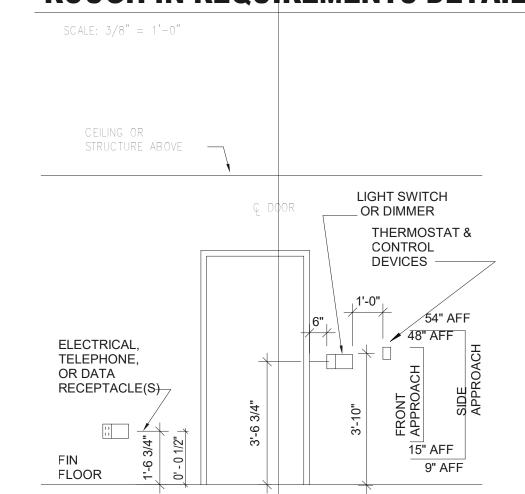
ROOM

**EXTENSION** 

504 Wenham Way

Folsom, CA 95630 APN: 072-0780-002

### ROUGH-IN REQUIREMENTS DETAIL



1ST FLOOR ELECTRICAL PLANS

FIXTURE HEIGTH LOCATION

SCALE: 3/8" = 1'-0"

ARCHITECTURAL AND MECHANICAL DRAWINGS,

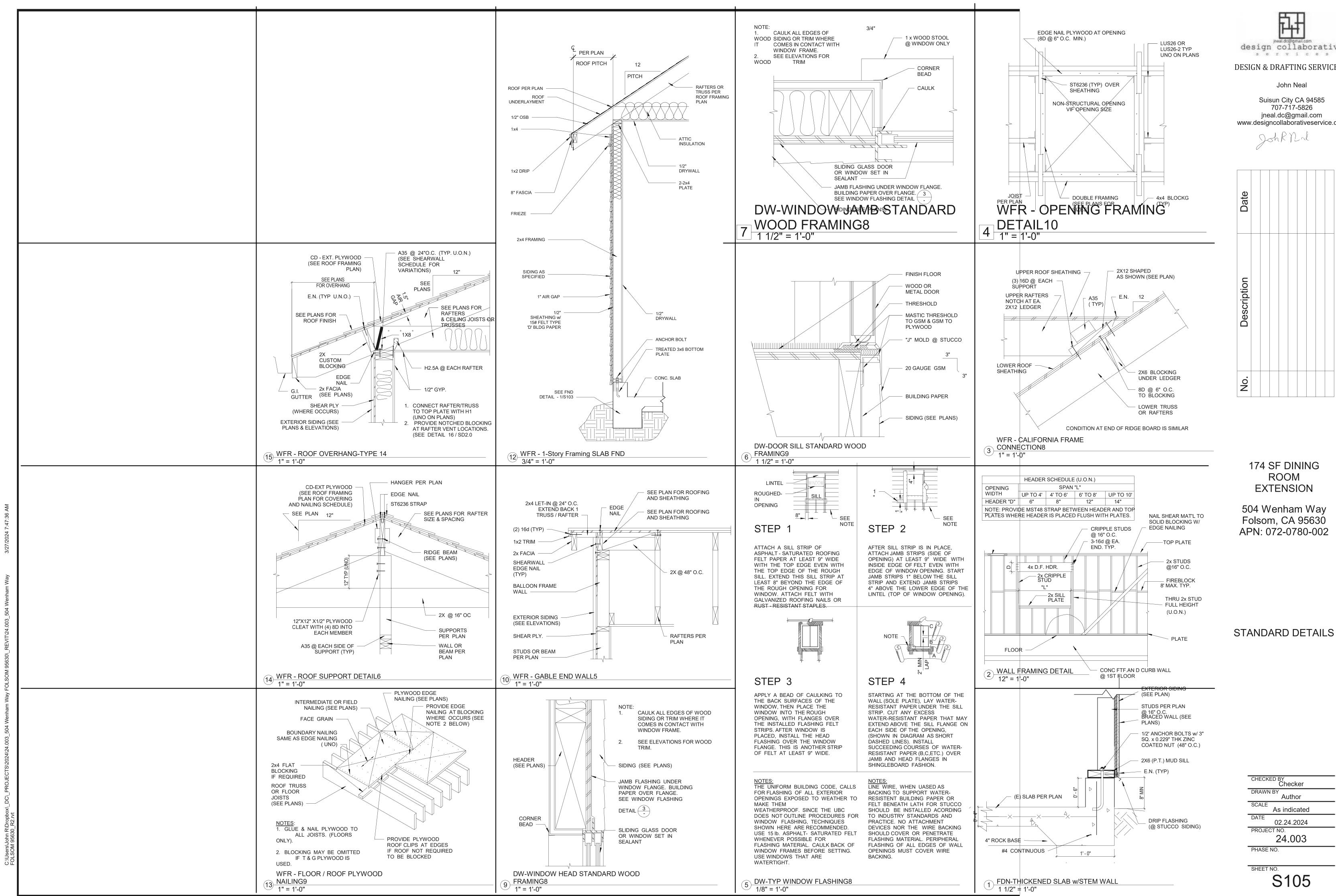
HORIZONTAL DISTANCE.

IN ACCORDANCE WITH UBC 4304 OUTLETS ON OPPOSITE SIDES OF WALLS OR PARTITIONS IN THE SAME STUD SPACE MUST BE SEPARATED BY A MINIMUM OF 24"

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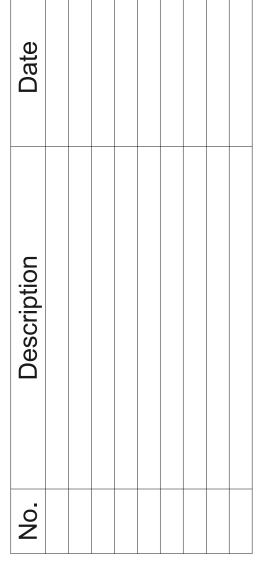
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S105