DRAWINGS AND SPECIFICATIONS AS INSTRUMENTS OF SERVICE ARE AND SHALL REMAIN THE IS EXECUTED OR NOT. THEY ARE NOT TO BE USED BY THE CLIENT ON OTHER PROJECTS OR AS AN EXTENSION TO THIS PROJECT EXCEPT BY AGREEMENT IN WRITING WITH APPROPRIATE COMPENSATION TO DON BLESSEN & ASSOCIATES.

NEW RESIDENCE FOR THE SINGH FAMILY

project data:

I. DESCRIPTION:

RAVIPAL AND AMRIK SINGH - OWNERS 791 HERITAGE PL. FOLSOM, CA. 95630

A.P.N. 072-2170-018-0000

TYPE CONSTRUCTION

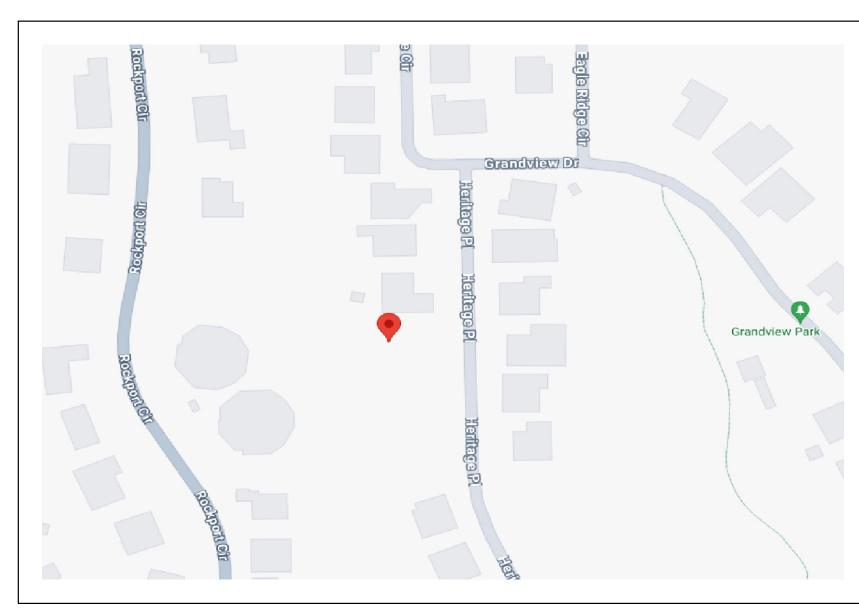
V-B (EQUIPPED WITH A SPRINKLER SYSTEM)

VICINITY MAP

OCCUPANCY CLASSIFICATION R-3/U BUILDING

NUMBER OF STORIES

THREE





<u>LOADS</u> FLOOR ROOFING (TILE FLOORING 10.0 psf SHEATHING SHEATHING 2.5 2.0 FRAMING FRAMING 3.5 CEILING CEILING 2.5 2 5 SPRINKLERS SOLAR PANELS 10.0 psf 40.0 SLOPE FACTOR X 50.0 psf D.L. 25.0 psf 20.0 45.0 psf DESIGN TO CONFORM TO THE 2022 CALIFORNIA RESIDENTIAL CODE. .ALTERNATE SIMPLIFIED SEISMIC DESIGN PER 2022 CBC OF ASCE-7-16. HORIZONTAL FRAMING TO BE DOUG. FIR #2 UNLESS OTHERWISE NOTED. .6x BEAMS TO BE DOUG. FIR #1 U.O.N. .PRE-FAB TRUSS BY TRUSS MANUFACTURER. .GLU-LAM BEAMS TO BE COMBINATION 24F-V4 DF/DF. CONCRETE STRENGTH AT 28 DAYS TO BE 2500 psi. REINF. STEEL TO CONFORM TO A.S.T.M. A615-40. STRUCTURAL STEEL TO CONFORM TO A.S.T.M. A-36. PROJECT DATA: WIND DESIGN: SPEED: V = 110 MPH <u>SOILS DATA:</u> EXPOSURE: C BEARING CAPACITY NOT TO EXCEED SNOW LOAD DESIGN: WHEN OCCURS 2500 psf REPORT BY: design load: N/A YOUNGDAHL & ASSOC. PROJ. NO. E03057.174 DATED: FEB. 2024 LOAD DURATION FACTOR ALLOWED: SEISMIC DESIGN: SITE CLASS: C SEISMIC DESIGN CATEGORY: D REDUCTION FOR SLOPE: SDS = 0.40R = 6.5LONGITUDE = 38.67 LATITUDE = 121.11 EQUIVALENT LATERAL FORCE PROCEDURE SEISMIC FORCE-RESISTING SYSTEM LIGHT FRAMED WALLS SHEATHED WITH STRUCTURAL SHEAR PANELS RISK CATEGORY I/II/III SEISMIC IMPORTANCE = 1.0

THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS IN THE FIELD PRIOR TO COMMENCEMENT OF WORK. ANY DISCREPANCIES OR ERRORS, APPARENT OR SUSPECTED, SHALL BE REPORTED TO DON BLESSEN & ASSOCIATES IMMEDIATELY. THESE PLANS ARE FOR GENERAL CONSTRUCTION PURPOSES ONLY. THEY ARE NOT FULLY SPECIFIED. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO SELECT, VERIFY, AND RESOLVE AND INSTALL ALL MATERIALS AND EQUIPMENT. ALL CONSTRUCTION SHALL MEET OR EXCEED THE 2022 EDITION OF CODES ADOPTED BY THE LOCAL GOVERNING AGENCIES. THESE SHALL INCLUDE THE 2022 CALIFORNIA BUILDING CODE (CBC), 2022 CALIFORNIA RESIDENTIAL CODE (CRC), 2022 CALIFORNIA GREEN BUILDING STANDARDS (CGBSC), 2022 CALIFORNIA MECHANICAL CODE (CMC), 2022 CALIFORNIA PLUMBING CODE (CPC), 2022 CALIFORNIA ENERGY STANDARDS (CEC PART 6), 2022 CALIFORNIA FIRE CODE (CFC), 2022 CALIFORNIA ELECTRIC CODE (CEC), AND THE 2022 CALIFORNIA BUILDING DON BLESSEN & ASSOCIATES WILL NOT BE OBSERVING CONSTRUCTION

OF THIS PROJECT. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR

THE QUALITY CONTROL AND CONSTRUCTION STANDARDS FOR THIS

PROJECT.

MAIN LEVEL FLOOR PLAN SECOND LEVEL FLOOR PLAN BASEMENT LEVEL FLOOR PLAN ELEVATIONS ELEVATIONS FOUNDATION PLAN MAIN LEVEL FLOOR FRAMING SECOND LEVEL FLOOR FRAMING ROOF FRAMING BUILDING SECTION MAIN LEVEL ELECTRICAL PLAN SECOND LEVEL ELECTRICAL PLAN BASEMENT LEVEL ELECTRICAL PLAN SCHEDULES AND SPECIFICATIONS STRUCTURAL DETAILS STRUCTURAL DETAILS STRUCTURAL DETAILS GENERAL NOTES

index:

AREA TABULATION sq. ft.

MAIN LEVEL FLOOR (LIVABLE) 3557 SECOND LEVEL FLOOR 1839 BASEMENT LEVEL FLOOR 1258 GARAGE 862 1603 PATIO(S), PORCH(S), BALCONY 6654 TOTAL (LIVABLE)

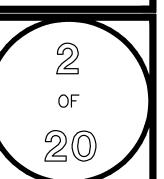
3/16" = 1'-0" FILE NAME:

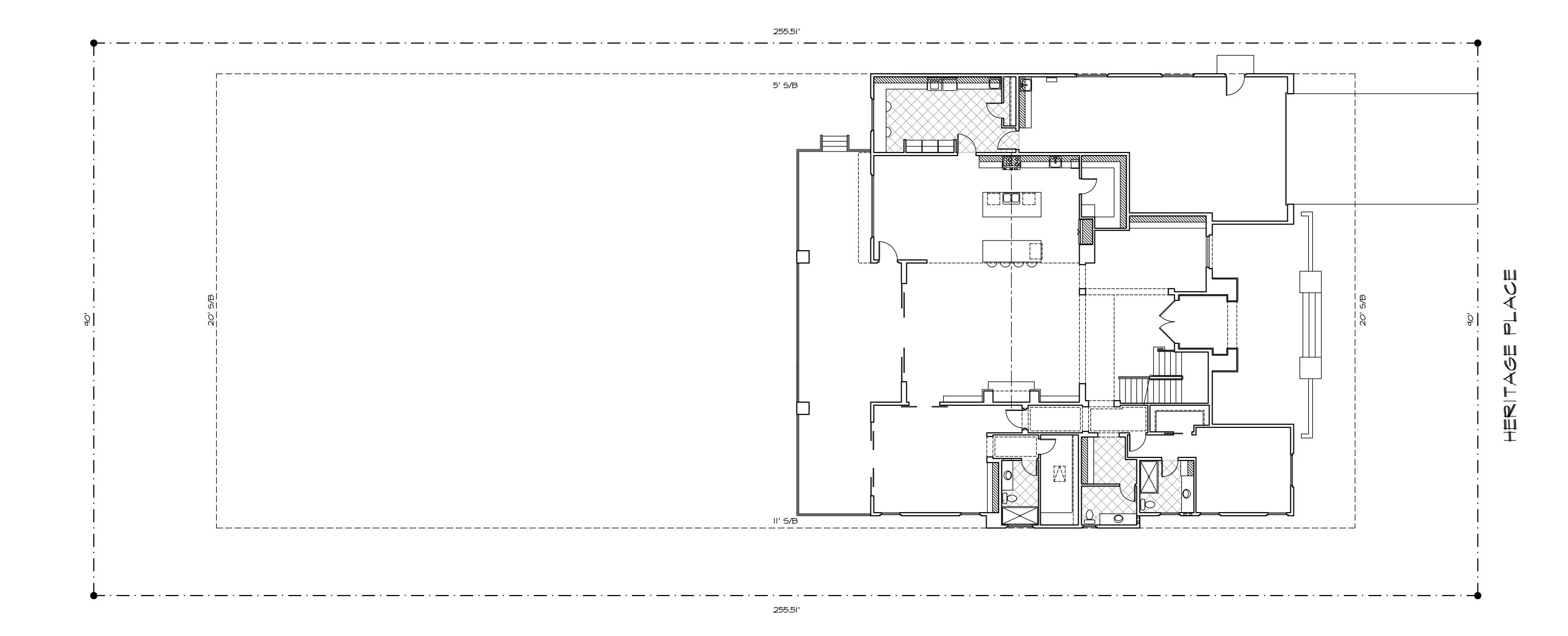
VERSION: SEPT. 2022



1/8" = 1'-0"

FILE NAME:





SITE / GRADING NOTES:

- FINISH GRADE SHALL SLOPE AT 5% MINIMUM AWAY FROM ALL STRUCTURES FOR A MINIMUM OF 10'. 2. THE FOUNDATION DESIGN IS ONE WHICH IS BASED UPON STABLE, DRY, NON-EXPANSIVE / NON-FILL TYPE MATERIAL. ANY CONDITION WHICH DEVIATES FROM THIS, BY OBSERVATION, THE CONTRACTOR SHALL REQUIRE THAT THE SOIL BE EVALUATED FOR SOIL STRENGTH, INCLUDING THE EFFECTS OF MOISTURE VARIATION, SOIL BEARING CAPACITY, COMPRESSIBILITY, LIQUEFACTION AND EXPANSIVENESS.
- REMOVE ALL TREES AND PLANTS, INCLUDING ALL ROOTS, WITHIN 5' FROM FOUNDATION.
- ON GRADED SITES, THE TOP OF ANY EXTERIOR FOUNDATION SHALL EXTEND ABOVE THE ELEVATION OF THE STREET GUTTER AT POINT OF DISCHARGE AT THE INLET OR AN APPROVED DRAINAGE DEVICE A
- MIN. OF 12" + 2%. 5. BUILDING FOUNDATIONS SHALL BE LOCATED CLEAR OF TOE OF ALL SLOPES BY A MIN. DISTANCE OF 1/2 THE HEIGHT OF THE SLOPE, BUT NEED NOT EXCEED 15 ' MAXIMUM.
- 6. BUILDING FOUNDATIONS SHALL BE LOCATED CLEAR OF TOP OF ALL SLOPES OR RETAINING STRUCTURES BY A DISTANCE OF 1/3 THE HEIGHT OF THE SLOPE, BUT NEED NOT EXCEED 40'.
- 7. PROJECTIONS BEYOND THE EXTERIOR WALL OF DWELLINGS AND ACCESSORY STRUCTURES SHALL NOT EXTEND CLOSED THAN 2' FROM THE PROPERTY LINE. PROJECTIONS LOCATED LESS THAN 5' FROM THE PROPERTY LINE SHALL HAVE A MIN. ONE—HOUR FIRE RESISTANCE RATING ON THE UNDERSIDE UNLESS FIREBLOCKING IS PROVIDED FROM THE WALL TOP PLATE TO THE UNDERSIDE OF THE ROOF SHEATHING OR GABLE VENTS ARE NOT INSTALLED.
- 8. ALL FILL AREAS SHALL BE COMPACTED TO 95% RELATIVE COMPACTION, TESTED, BY A QUALIFIED GEOTECH ENGINEER, AND A REPORT WRITTEN.

KEYNOTES:

1. WATER EFFICIENCY STANDARDS REQUIRE THE FOLLOWING MAXIMUM FLOW RATES: SHOWER HEADS - LESS THAN OR EQUAL TO 1.8 gpm AT 80psi
LAVATORY FAUCETS - LESS THAN OR EQUAL TO 1.2 gpm AT 60psi
KITCHENUTILITY FAUCETS - LESS THAN OR EQUAL TO 1.8 gpm AT 60psi
WATER CLOSET - LESS THAN OR EQUAL TO 1.28 GALLONS OPER FLUSH

FINISHED MATERIAL - FLAME SPREAD INDEX:
 WALL & CEILING FINISHES - FLAME SPREAD INDEX OF NOT MORE THAN 200.
 WALL & CEILING FINISHES - SMOKE-DEVELOPED INDEX OF NOT MORE THAN 450.
 TESTING SHALL BE IN ACCORDANCE WITH ASTM E 84 OR UL 723.

3. THE SHOWER DOORS SHALL HAVE TEMPERED GLASS.

CONSTRUCTION DOCUMENT:

AMENDED CONSTRUCTION DOCUMENTS:

THAT ARE REQUIRED BY THIS CODE.

TO ALLOW INSPECTION.

UPON INSPECTIONS.

WORK SHALL BE INSTALLED IN ACCORDANCE WITH THE

(DRAWINGS AND ANY CALCULATIONS, ETC.) SHALL BE

SUBMITTED TO PROJECTDOX (ON EPERMIT CENTER AT

INSPECTIONS: IT SHALL BE THE DUTY OF THE HOLDER OF THE BUILDING

PERMIT OR THEIR DULY AUTHORIZED AGENT TO NOTIFY THE

BUILDING OFFICIAL WHEN WORK IS READY FOR INSPECTION.

ACCESS TO AND MEANS FOR INSPECTIONS OF SUCH WORK

ALL CONSTRUCTION OR WORK SHALL BE SUBJECTED TO

INSPECTION BY THE CITY OF FOLSOM BUILDING OFFICIAL

(OR HIS/HER REPRESENTATIVES) AND SUCH CONSTRUCTION

OR WORK SHALL REMAIN ACCESSIBLE AND EXPOSED FOR

RESULT OF AN INSPECTION SHALL NOT BE CONSTRUED TO

OR CANCEL THE PROVISIONS OF THIS CODE OR OF OTHER

ORDINANCES OF THE JURISDICTION SHALL NOT BE VALID.

THE WORK TO REMAIN ACCESSIBLE AND EXPOSED FOR

INSPECTION PURPOSES UNTIL APPROVED. APPROVAL AS A

BE AN APPROVAL OF A VIOLATION OF THE PROVISIONS OF

THIS CODE OR OF OTHER ORDINANCES OF THE JURISDICTION. INSPECTIONS PRESUMING TO GIVE AUTHORITY TO VIOLATE

IT SHALL BE THE DUTY OF THE PERMIT APPLICANT TO CAUSE

INPECTION PURPOSES. NEITHER THE BUILDING OFFICIAL NOR

ALL EQUIPMENT SHALL BE INSTALLED IN ACCORDANCE OF MANUFACTURER'S SPECIFICATIONS AND INSTALLATION

INSTALLATION INSTURCTION MANUAL SHALL BE PRESENTED

INSTURCTION MANUALS. A COPY OF EACH EQUIPMENT

THE JURISDICTION SHALL BE LIABLE FOR EXPENSE ENTAILED IN THE REMOVAL OR REPLACEMENT OF ANY MATERIAL REQUIRED

IT SHALL BE THE DUTY OF THE PERMIT HOLDER TO PROVIDE

EPC@FOLSOM.CA.US) FOR PLAN CHECK APPROVAL.

APPROVED CONSTRUCTION DOCUMENTS, AND ANY CHANGES

MADE DURING CONSTRUCTION THAT ARE NOT IN COMPLIANCE

WITH THE APPROVED CONSTRUCTION DOCUMENTS SHALL BE RESUBMITTED FOR APPROVAL AS AN AMENDED SET OF CONSTRUCTION DOCUMENTS. THE RESUBMITTAL DOCUMENT

VERSION: APR. 2022

3/16" = 1'-0" FILE NAME:

100 IOO/APPL REFRIGERATOR PROVIDE RECESS W/ HOSE BIBB FOR ICE MAKER (102) 102/APPL DISHWASHER AN APPROVED DISHWASHER AIR GAP FITTING IS REQUIRED

RANGE WITH DOUBLE OVENS, HOOD AND EXHAUST FAN VENTED TO OUTSIDE 105 IO5/APPL ZERO CLEARANCE FIREPLACE WITH RAISED HEARTH, DIRECT VENT SEALED COMBUSTION TYPE. PROVIDE INSULATED FLUE, RAIN CAP, AND FIRESTOPS AS REQUIRED FOR A COMPLETE INSTALLATION. ALL GAS OUTLETS LOCATED IN A FIREPLACE SHALL BE CONTROLLED BY AN APPROVED VALVE LOCATED IN THE SAME ROOM & OUTSIDE THE HEARTH BUT NOT MORE THAN 4' FROM SUCH OUTLETS AS PER 2022 C.P.C. IF THE FIREPLACE IS EQUIPPED WITH A GAS LOG THE DAMPER SHALL BE PERMANENTLY BLOCKED OPEN TO A SUFFICIENT AMOUNT TO PREVENT SPILLAGE OF COMBUSTION PRODUCTS INTO THE ROOM. WHEN EQUIPPED WITH A PILOT, GAS LOGS

SHALL HAVE A LISTED SAFETY SHUTOFF VALVE

201 201/PLUMB DOUBLE SINK WITH DISPOSAL

208 208/PLUMB WASHER - PROVIDE RECESSED VALVE AND DRAIN BOX

209 209/PLUMB DRYER - VENT TO OUTSIDE MOISTURE EXHAUST DUCT IS LIMITED TO 14' WITH ELBOWS FROM THE CLOTHES DRYER TO POINT OF TERMINATION. REDUCE THIS LENGTH BY 2' FOR EVERY ELBOW IN EXCESS OF 2. DRYER VENT MAY NOT BE VENTED TO UNDER FLOOR SPACE.

211 211/PLUMB TANKLESS DIRECT VENT WATERHEATER GAS PIPING SHALL BE CAPABLE OF 200,000 BTU PER THE 2022 CALIFORNIA ENERGY CODE A PERMITTED GROUNDING ELECTRODE TYPE

> SHALL BE INSTALLED AS LISTED IN CEC 250.52 ALL 120-VOLT, SINGLE PHASE, 15 \$ 20-AMP BRANCH CIRCUUITS SUPPLYING OUTLETS INSTALLED IN KITCHENS, DINING ROOMS, FAMILY ROOMS, LIVING ROOMS, PARLORS, LIBRARIES, DENS, BEDROOMS, SUNROOMS, REC ROMMS, CLOSETS, LAUNDRY AREAS, HALLWAYS, AND SIMILAR ROOMS SHALL BE PROTECTED BY A LISTED ARC-FAULT CIRCUIT INTERRUPTER, OR COMBINATION TYPE, INSTALLED TO PROVIDE PROTECTION OF THE BRANCH CIRCUIT.

PROVIDE A 100 SQ. IN. LOUVER VENT IS TO BE LOCATED ABOVE THE DOOR TO ALLOW FOR MAKEUP AIR PER CMC 504.3.1

214 214/BATHROOMS I. 30" MIN. CLEARANCE SIDE-TO-SIDE OF WATER CLOSETS.
2. TEMPERED GLASS REQUIRED FOR ALL SHOWER 3. I.28 GALLON PER FLUSH FOR WATER CLOSETS 4. I.8 GPM AT 80 psi FOR SHOWER HEADS 5. I.2 apm AT 60 psi FOR LAVATORY FAUCETS

. 5.7 MIN. SQUARE FOOTAGE MINIMUM WINDOW DIMENSIONS ARE TO BE 20" WIDE x 24" HEIGHT 3. MAXIMUM HEIGHT, OF BOTTOM OF WINDOW, IS NOT TO EXCEED 44" MEASURED VERTICALLY FROM FLOOR 4. FOR BASEMENTS, WINDOW DIMENSIONS ARE TO BE A MINIMUM OF 36" WIDE x 36" HEIGHT, WITH A FULLY FUNCTIONING WINDOW OPENING. EGRESS WINDOWS AT BASEMENTS MUST ALSO INCLUDE WINDOW WELLS THAT PROVIDE ENOUGH CLEARANCE

THIRTY INCH MINIMUM HEADROOM AT ATTIC ACCESS. ACCESS REQUIRED IS 22" x 30" WITH NO EQUIPMENT IN ATTIC. NOT TO BE LOCATED ABOVE CLOSET SHELF OR POLE. WITH EQUIPMENT PROVIDE 30" x 30". EXCEPTION THE ACCESS OPENING INTO THE SPACE MAY BE 22" x 30" PROVIDED THE LARGEST PIECE OF EQUIPMENT CAN BE REMOVED THROUGH

FOR ESCAPE, INCLUDING LADDERS.

A. AN ACCESS OPENING LARGE ENOUGH TO REMOVE THE LARGEST PIECE OF EQUIPMENT, BUT NOT LESS

B. AN UNOBSTRUCTED PASSAGEWAY WHICH: I. IS LARGE ENOUGH TO REMOVE THE LARGEST PIECE OF EQUIPMENT BUT NOT LESS THAN 30" WIDE, 2. IS NO MORE THAN 20' IN LENGTH WHEN MEASURED ALONG THE CENTER LINE OF THE PASSAGEWAY FROM THE ACCESS OPENING TO THE EQUIPMENT, AND 3. HAS CONTINUOUS SOLID FLOORING NOT LESS THAN 24" WIDE THROUGHOUT ITS LENGTH; AND C. A LEVEL SERVICE SPACE (INSPECTION, REPAIR, AND REPLACEMENT) NOT LESS THAN 30" IN DEPTH, WIDTH, AND HEIGHT OF THE WORKING SPACE AND 30" WIDE LOCATED AT THE FRONT OR SERVICE SIDE OF THE EQUIPMENT. D. PROVIDE A PERMANENT ELECTRIC OUTLET WITHIN 25' OF THE MECHANICAL UNITS AND FLUORESCENT LIGHT FIXTURE. FLUORESCENT LIGHT CONTROLLED BY A SWITCH LOCATED AT THE REQUIRED PASSAGEWAY OPENING OR NEAR THE FURNACE. LIGHT FIXTURE MUST BE FLUORESCENT OR OCCUPANCY SENSOR SENSOR OPTION IS RECOMMENDED ONLY IF THE SENSOR CAN "SEE" THE ENTIRE ATTIC AS PER TITLE-24 LIGHTING DESIGN. PROVIDE AN ADDITIONAL WATERTIGHT CORROSION RESISTANT METAL PAN BENEATH CONDENSATE PRODUCING EQUIPMENT WHERE OCCURS (COOLING UNIT / FURNACE) INSTALLED IN

305 305/WHOLE HOUSE FAN WHOLE HOUSE VENTILATION TO BE PROVIDED ONE CONTINUOUS OPERATING BATH OR LAUNDRY FAN T CAN BE ON SMITCH IF LABELED "MARK FAN SHOULD BE ON WHENEVER THE HOME IS OCCUPIED" THE FAN MUST BE LISTED AT ONE SONE OR LESS FOR NOISE. THE RATING MUST BE BASED ON A WATER COLUMN OF .25 OR GREATER, FAN SIZE, DUCT SIZE AND CUT SHEET ARE TO BE PROVIDED BY THE INSTALLING CONTRACTOR TO THE BUILDING INSPECTOR.

ALL LANDINGS SHALL BE A MINIMUM OF 36" DEEP (MEASURED IN THE DIRECTION OF TRAVEL). THE EXTERIOR LANDING AT THE EXTERIOR DOOR SHALL BE A MAXIMUM OF 7 3/4" BELOW THE TOP OF THE THRESHOLD, PROVIDED THE DOOR DOES NOT SWING OVER THE LANDING OR FLOOR. LANDINGS AT ALL EGRESS DOORS ARE NOT TO BE MORE THAN 1.5" LOWER THAN THE TOP OF THE THRESHOLD. EXIT DOOR LANDINGS ARE TO HAVE A 2% MAXIMUM SLOPE SLOPE AWAY FROM THE FOUNDATIONS.

ALL ELEMENTS (WALLS, POSTS, AND BEAMS) SUPPORTING FLOOR ABOVE GARAGE OR CEILING COMMON TO THE DWELLING, TO HAVE ONE-HOUR, FIRE RESISTIVE PROTECTION ON THE GARAGE SIDE. MAXIMUM SPACING OF FRAMING SUPPORTING 5/8" TYPE "X" GYPSUM BOARD IS 16" o.c. MAX. THIS INCLUDES THE ENCLOSED SPACE UNDER INTERIOR STAIRS.

602 602/GENERAL 1 3/8" SOLID CORE, SELF-CLOSING, DOOR WITH WEATHER STRIPPING

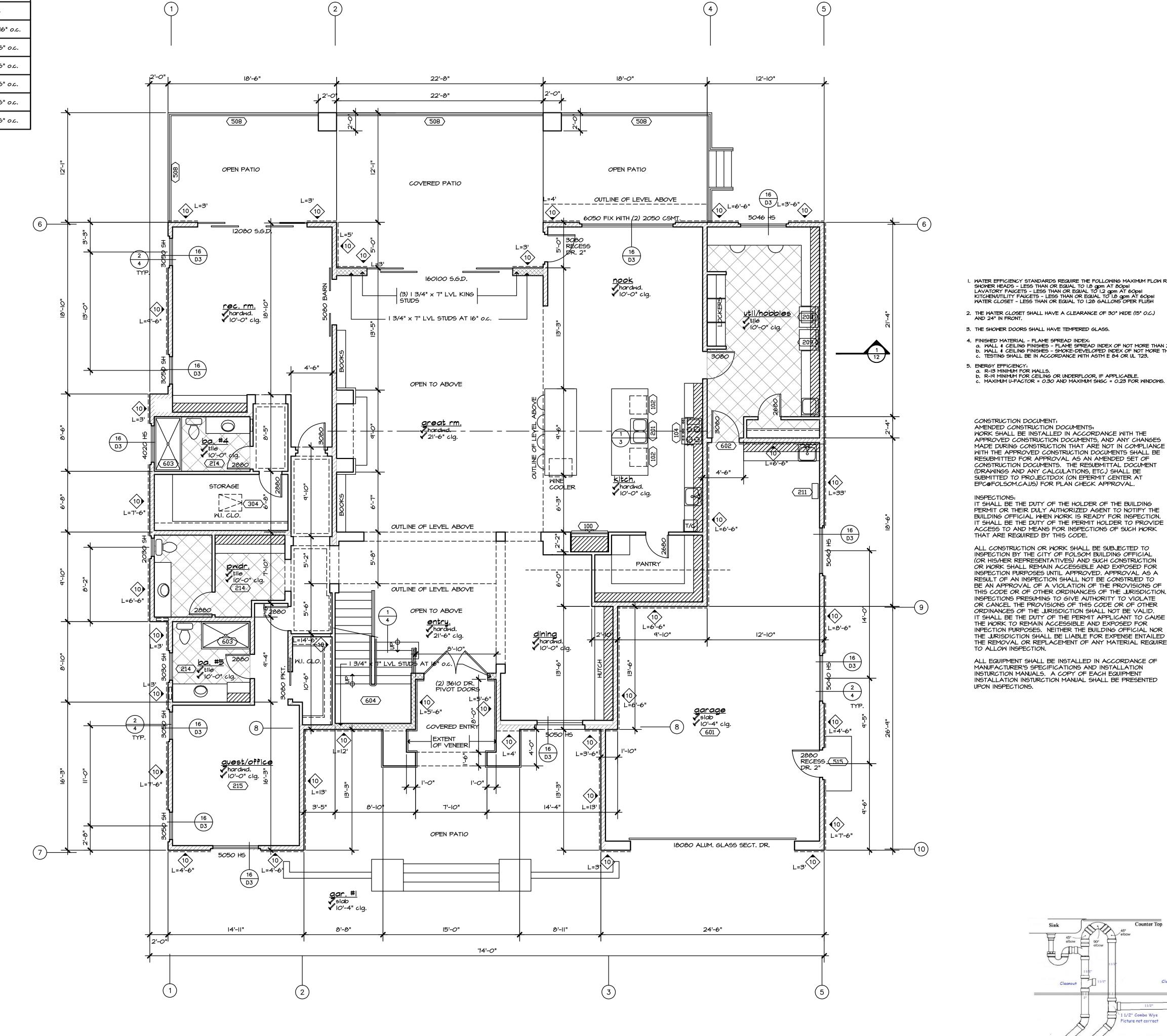
603 603/PLUMB SHOWER SHALL BE CAPABLE OF ENCOMPASSING A 30" CIRCLE. THE SHALL BE MAINTAINED UP TO TO INCHES OF HEIGHT ABOVE SHOWER DRAIN. SHOWER DOORS SHALL BE TEMPERED, MIN. 22" CLEAR UNOBSTRUCTED OPENING AND SWING OUT.

604 604/GENERAL ENCLOSED ACCESSIBLE SPACE UNDER STAIRS SHALL HAVE WALLS, UNDER-STAIR SURFACES AND ANY SOFFITS PROTECTED ON THE ENCLOSED SIDE WITH 5/8" TYPE 'X' GYPSUM BOARD

605 605/GENERAL THRESHOLDS AT DOORS SHALL NOT BE MORE THAN 7 3/4" ABOVE THE LANDING ON EACH SIDE. ENTRY DOOR THRESHOLD SHALL NOT BE MORE THAN I I/2" ABOVE THE LANDING ON THE SWING SIDE.

MINIMUM STUD SCHEDULE MAX. STUD HEIGHT INTERIOR WALLS EXTERIOR WALLS 10'-0" 2 × 6 DF #2 AT 16" o.c. 2 x 4 DF #2 AT 16" o.c. 12'-0" 2 × 6 DF #2 AT 16" o.c. 2 x 4 DF #1 AT 16" o.c. 14'-0" 2 × 6 DF #1 AT 16" o.c. 2 x 6 DF #1 AT 16" o.c. 16'-0" 2 × 6 DF #I AT 12" o.c. 2 × 6 DF #1 AT 16" o.c. | 3/4" × 5 |/2" LVL AT |6" o. 18'-O" 2 x 6 DF #1 AT 16" o.c. | 3/4" × 5 |/2" LVL AT |2" o. 2 x 6 DF #1 AT 16" o.c.

I. SEE FRAMING PLAN AND ARCHITECTURAL DRAWINGS FOR CONDITIONS NOT NOTED ABOVE 2. ALL EXTERIOR WALLS SHALL HAVE A TYVEK (OR EQUAL) INFILTRATION BARRIER



NOTE: COVER ALL EXTERIOR WALLS WITH 3/8" STRUCT. I, CDX, PLYMD. WITH 8d's AT 6" o.c. EDGE / 12" o.c. FIELD UNLESS OTHERWISE NOTED. PLYWOOD SHALL RUN CONTINUOUS FROM TOP PLATE TO SOLE PLATE WITH ALL PLYWOOD EDGES BLOCKED. PLYWOOD EDGES SHALL BE SPACED TO ALLOW FOR PLYWOOD EXPANSION.

MAIN LEVEL FLOOR PLAN EGRESS WINDOW OPERATION SHALL BE FROM INSIDE THE ROOM WITHOUT THE USE OF SPECIAL KEYS, TOOLS OR KNOWLEDGE. 508 508/

FOR BALCONY AND OPEN SIDES OF STAIR LANDING. OPENINGS BETWEEN RAILINGS SHALL BE LESS THAN 4" HANDRAILS TO HAVE A 1 1/4" TO 2" INCH GRASP CROSS SECTION WITH NO SHARP CORNERS AND HEIGHT OF 34" TO 38" ABOVE NOSING EXTEND CONTINUOUSLY FROM TO TO BOTTOM RISER AND TERMINATE AT NEWEL POSTS OR RETURN TO WALLS

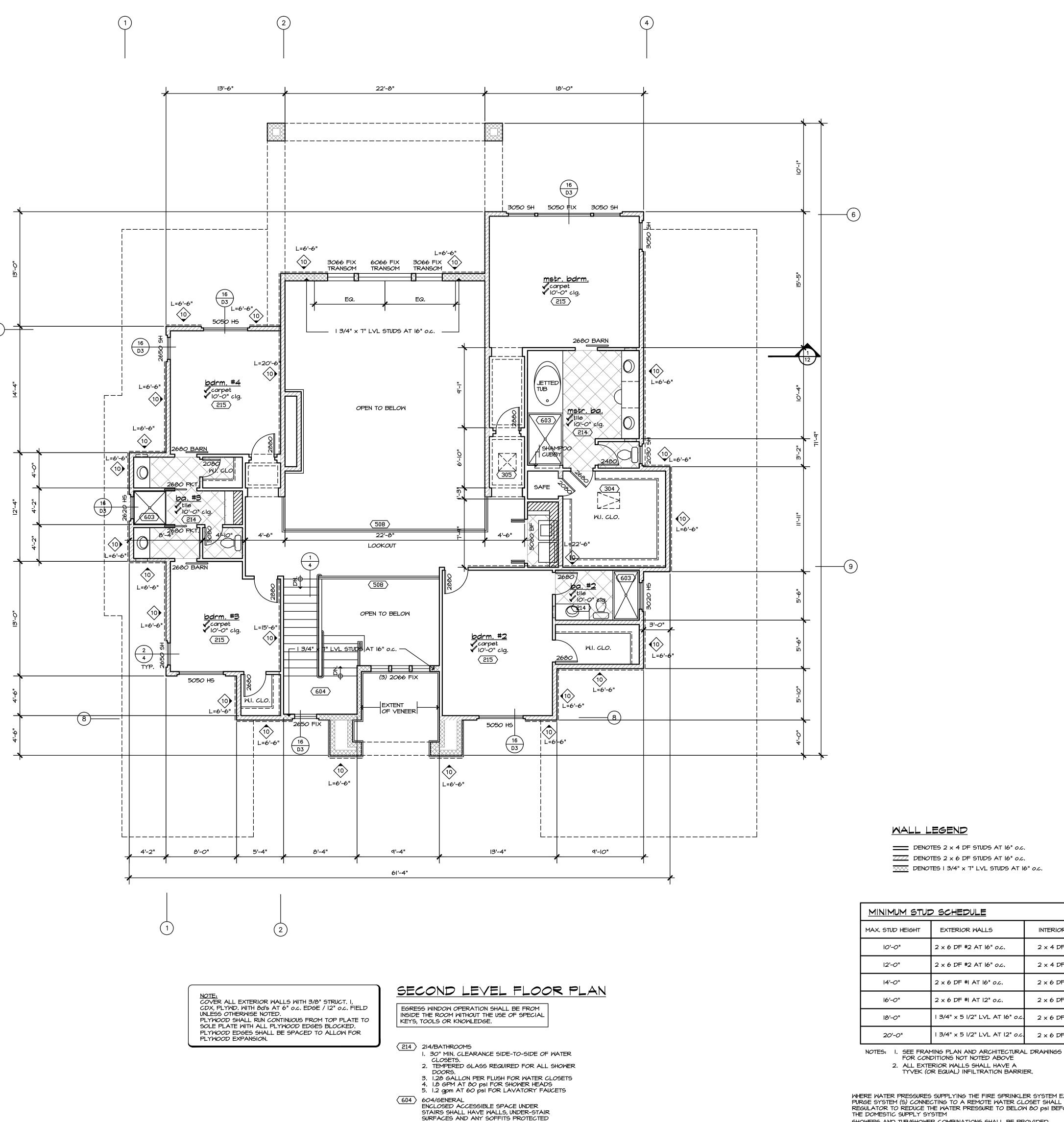
PROVIDE 42" HIGH PROTECTIVE RAILING

WHERE WATER PRESSURES SUPPLYING THE FIRE SPRINKLER SYSTEM EXCEEDS 80 psi, THE PASSIVE PURGE SYSTEM (S) CONNECTING TO A REMOTE WATER CLOSET SHALL BE EQUIPPED WITH AN APPROVED REGULATOR TO REDUCE THE WATER PRESSURE TO BELOW 80 psi BEFORE REINTRODUCING THE WATER TO THE DOMESTIC SUPPLY SYSTEM SHOWERS AND TUB/SHOWER COMBINATIONS SHALL BE PROVIDED WITH INDIVIDUAL CONTROL VALVES OF THE PRESSURE BALANCE THERMOSTATIC MIXING VALVE TYPE THAT PROVIDES SCALD AND THERMAL SHOCK PROTECTION FOR THE RATED FLOW RATE OF THE INSTALLED SHOWER HEAD, VALVES SHALL BE INSTALLED AT THE POINT OF USE MECHANICAL VENTILATION FOR ALL BATHROOMS
SHALL BE PROVIDED WITH A MINIMUM OF 50 CU-FT. PER
MINUTE (FOR INTERMITTENT VENTILATION, OR 25 CU-FT. PER MINUTE FOR
CONTINUOUS VENTILATION, THE VENTILATION AIR FROM THIS SPACE

SHALL BE EXHAUSTED DIRECTLY TO OUTSIDE

loop vent

SEE SHEET D1 FOR SHEAR WALL, HOLDOWN, SILL PLATE AND ANCHOR BOLT SCHEDULES



ON THE ENCLOSED SIDE WITH 5/8" TYPE 'X'

THRESHOLDS AT DOORS SHALL NOT BE MORE THAN
7 3/4" ABOVE THE LANDING ON EACH SIDE. ENTRY DOOR
THRESHOLD SHALL NOT BE MORE THAN I I/2" ABOVE THE
LANDING ON THE SWING SIDE.

GYPSUM BOARD

605 605/GENERAL

VERSION: APR. 2022

3/16" = 1'-0"

FILE NAME:

WHERE WATER PRESSURES SUPPLYING THE FIRE SPRINKLER SYSTEM EXCEEDS 80 psi, THE PASSIVE PURGE SYSTEM (S) CONNECTING TO A REMOTE WATER CLOSET SHALL BE EQUIPPED WITH AN APPROVED REGULATOR TO REDUCE THE WATER PRESSURE TO BELOW 80 psi BEFORE REINTRODUCING THE WATER TO THE DOMESTIC SUPPLY SYSTEM SHOWERS AND TUB/SHOWER COMBINATIONS SHALL BE PROVIDED WITH INDIVIDUAL CONTROL VALVES OF THE PRESSURE BALANCE THERMOSTATIC MIXING VALVE TYPE THAT PROVIDES SCALD AND THERMAL SHOCK PROTECTION FOR THE RATED FLOW RATE OF THE

INTERIOR WALLS

2 × 4 DF #2 AT 16" o.c.

2 x 4 DF #1 AT 16" o.c.

2 x 6 DF #1 AT 16" o.c.

2 × 6 DF #1 AT 16" o.c.

2 x 6 DF #I AT 16" o.c.

2 x 6 DF #1 AT 16" o.c.

EXTERIOR WALLS

2 x 6 DF #2 AT 16" o.c.

2 x 6 DF #2 AT 16" o.c.

2 x 6 DF #1 AT 16" o.c.

2 x 6 DF #1 AT 12" o.c.

INSTALLED SHOWER HEAD, VALVES SHALL BE INSTALLED AT THE POINT OF USE

MINUTE (FOR INTERMITTENT VENTILATION, OR 25 CU-FT. PER MINUTE FOR CONTINUOUS VENTILATION, THE VENTILATION AIR FROM THIS SPACE

MECHANICAL VENTILATION FOR ALL BATHROOMS SHALL BE PROVIDED WITH A MINIMUM OF 50 CU-FT. PER

SHALL BE EXHAUSTED DIRECTLY TO OUTSIDE

3/4" x 5 1/2" LVL AT 16" o.c.

| 3/4" x 5 |/2" LVL AT |2" o.c.

NEWEL POST CAP DETAILS 1. RESIDENTIAL STAIRWAYS SERVING AN OCCUPANT LOAD OF LESS THAN 10 MAY BE CONSTRUCTED WITH A 7 3/4" MAX. / 4" MIN. RISE AND A 10" MIN. RUN. 2. HANDRAILS TO BE NOT LESS THAN 1 4", STAIRS SHALL BE CAPABLE NOR MORE THAN 2" IN CROSS SECTIONAL DIMENSION. RAILS TO BE SPACED NO OF SUPPORTING 50 psf UNIFORMLY GREATER THAN 4" AND NO MORE THAN 6" DISTRIBUTED LOAD. ABOVE TREAD. 2 X 2 PICKETS 3. MINIMUM CLEAR STAIR WIDTH SHALL BE 36". 4. RISE & RUN SHALL NOT VARY MORE THAN 2x TREAD MATERIAL OR OPTIONAL 1 1/4"

THICK VERT. GRAIN ¾" BETWEEN TREADS. . THE NOSING RADIUS SHALL NOT EXCEED 0.5". TREAD PROJECTION SHALL BE 0.75" DOUG FIR TREADS | WITH BULLNOSE EDGE TO 1.25" WHERE THE RUN IS LESS THAN 11". 1x CLOSED | RISER TOP-MOUNTED RAIL SECTIONS TREAD DETAIL HANDGRIP 2 X 6 SHAPED (2) 5/8" DIA.
TOPRAIL THRU BOLTS WITH TOPRAIL WASHERS TO STRINGER 4" DIA. SPHERE L 2 X 2 PICKETS SHALL NOT PASS OR SHAPED BALUSTERS SQUARE EDGE FOR SIMPLE POST, OGEE OR CHAMFERED STRINGERS AT 16 HUS1.81 15/8" TYPE 'X' HGRS GYP. BOARD STYLE OF FOR DETAILED POST STRUCTURE AT INTERIORS 1 X 6 BASE TRIM — | 6" DIA. SPHERE DRAIN AWAY, 2% MAX.

AT EXTERIOR LANDINGS

STAIR DETAIL

36" MIN. LANDING, TOP AND BOTTOM

(OR WIDTH OF STAIRWAY, IF GREATER, 48" MAX.)

RECESSED WINDOW DETAIL

1x NAILER SET 1" FROM EXTERIOR

SET 1 x 4 NAILER TO INTERIOR WALL AND COVE STUCCO 2" MIN. FLUSH TO WINDOW SILL

WALL SURFACE

— 2 x 6 STUDS PER PLAN

AT WINDOW OPENINGS

— 2" MIN. WINDOW RECESS

WINDOW NAILING FLANGE

— 3−2 x 4 STUDS PER PLAN

FLASH AND CAULK TO SILL FLANGE UNDER STUCCO OVER PAPER

→ SHALL NOT

_ "SIMP." L70 CLIP

STAIRWAY ELEVATION

PROVIDE BEVELLED

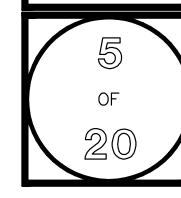
PROVIDE CONTIN. FLASHING AT TOP AND

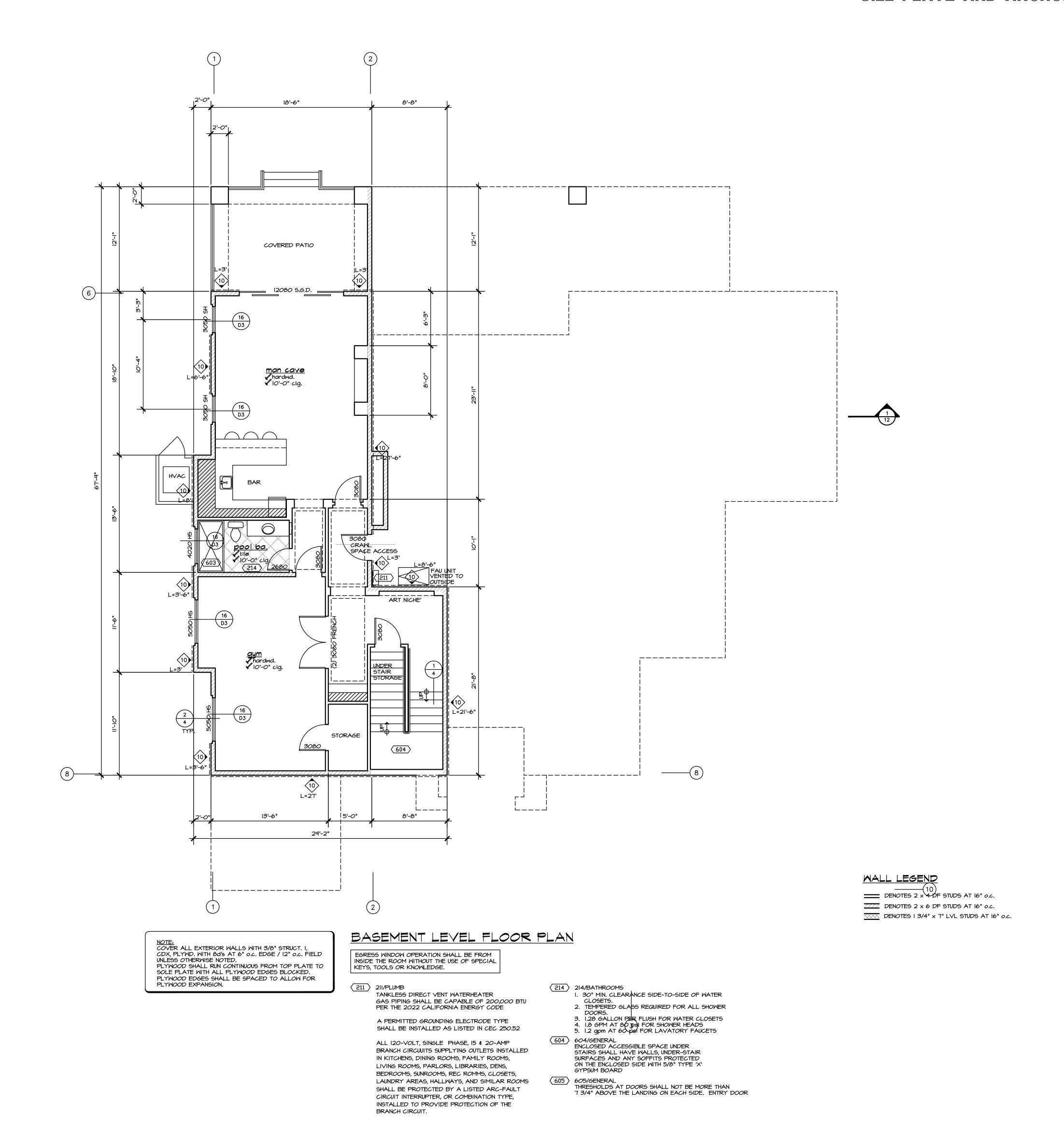
| SMOOTH TROWELLED STUCCO-COVED

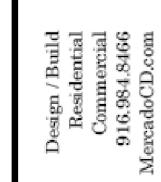
VERSION:

3/16" = 1'-0"

DEC. 2023







VERSION:



- I. STUCCO SCREED LINE TO RUN PARALLEL TO GRADE (NOT STEPPED) AND WITHIN 6" OF GRADE.
- 2. ALL GUTTERS ARE TO BE FASCIA STYLE 7" THROUGHOUT

UNLESS OTHERWISE NOTED.

PLYWOOD EXPANSION.

CDX, PLYWD. WITH 8d's AT 6" o.c. EDGE / 12" o.c. FIELD

PLYWOOD SHALL RUN CONTINUOUS FROM TOP PLATE TO SOLE PLATE WITH ALL PLYWOOD EDGES BLOCKED.

PLYWOOD EDGES SHALL BE SPACED TO ALLOW FOR



- CONCRETE TILE CLASS 'A' ROOFING OVER 30 lb. FELT MIN. CLASS 'A' FIRE RETARDANT ROOFING OVER 5/8" CDX PLYMD. MAX. INSTALLED WEIGHT SHALL NOT EXCEED 10 psf.
- 2x SPRUCE FASCIA BOARD WITH
- IX SHINGLE TRIM (508) 508/GUARDRAIL PROVIDE 42" HIGH PROTECTIVE RAILING FOR BALCONY AND OPEN SIDES OF STAIR
 - LANDING. OPENINGS BETWEEN RAILINGS SHALL BE LESS THAN 4" HANDRAILS TO HAVE A 1 1/4" TO 2" INCH GRASP ABLE CROSS SECTION WITH NO SHARP CORNERS AND HEIGHT OF 34" TO 38" ABOVE NOSING EXTEND CONTINUOUSLY FROM TO TO BOTTOM RISER AND TERMINATE AT NEWEL POSTS OR RETURN TO WALLS
- 512 512/EXTERIOR EXTERIOR PLASTER SHALL BE 3-COAT, 7/8" MIN. THICK, WITH TWO LAYERS OF GRADE 'D' PAPER UNDER PLASTER WHERE OCCURS OVER SHEATHING AND HAS 26 GA. G.S.M. WEEP SCREED AT FOUNDATION PLATE LINE AT LEAST 8" ABOYE GRADE OR 4" ABOYE CONCRETE CONCRETE OR

PROVIDES A SEPARATE CONTINUOUS PLANE

- WATER RESISTIVE BARRIERS SHALL BE INSTALLED AS REQUIRED AND WHERE APPLIED OVER WOOD-BASED SHEATHING SHALL INCLUDE A WATER RESISTIVE VAPOR PERMEABLE BARRIER WITH A PERFORMANCE AT LEAST EQUIVALENT TO TWO LATER OF GRADE D PAPER. INDIVIDUAL LAYERS SHALL BE INSTALLED INDEPENDENTLY SUCH THAT EACH LATER
- 513 513/SOFFITS DENSGLASS SOFFIT SHEATHING TO THE UNDERSIDE OF THE CEILING AT SOFFITS AND CEILINGS WITH REINFORCING MESH EMBEDDED INTO AN OMEGA BASE COAT MATERIAL AT THE DENSGLASS JOINTS FOLLOWED WITH AN OMEGA ACRYLIC FINISH STUCCO COAT. PROVIDE CONTROLS AT 15' O.C. MAX. IN EITHER DIRECTION OR WHERE THE MAXIMUM LENGTH TO WIDTH RATIO IS 2 1/2 TO 1
- (515) 515/LANDINGS ALL LANDINGS SHALL BE A MINIMUM OF 36" DEEP (MEASURED IN THE DIRECTION OF TRAVEL). THE EXTERIOR LANDING AT THE EXTERIOR DOOR SHALL BE A MAXIMUM OF 7 3/4" BELOW THE TOP OF THE THRESHOLD, PROVIDED THE DOOR DOES NOT SWING OVER THE LANDING OR FLOOR ALL EGRESS DOORS ARE NOT TO BE MORE THAN 1.5" LOWER THAN THE TOP OF THE THRESHOLD EXIT DOOR LANDINGS ARE TO HAVE A 2% MAXIMUM SLOPE AWAY FROM THE FOUNDATIONS
- 514 514/SREET NUMBERS PROVIDE ADDRESS NUMBERS WHICH ARE PLAINLY LEGIBLE AND VISIBLE FROM THE STREET FRONTING THE PROPERTY. CHARACTERS SHALL CONTRAST WITH THE BACKGROUND AND SHALL BE ARABIC NUMERALS OR ALPHABETICAL LETERS. NUMBERS SHALL NOT BE SPELLED OUT. EACH CHARACTER SHALL BE NOT LESS THAN 4" IN HEIGHT WITH A STROKE WIDTH OF NOT LESS THAN 0.5". WHERE REQUIRED BY FIRE CODE OFFICIAL, ADDRESS SHALL BE PROVIDED IN ADDITIONAL LOCATIONS TO FACILITATE EMERGENCY RESPONSE. WHERE ACCESS IS A PRIVATE ROAD, A MONUMENT, POLE OR OTHER SIGN SHALL BE USED.
- 2 x 12 STUCCO FOAM BELLY BAND

CONCRETE TILE CLASS 'A' ROOFING OVER 30 lb. FELT MIN. CLASS 'A' FIRE RETARDANT ROOFING OVER 5/8" CDX PLYWD. MAX. INSTALLED WEIGHT SHALL NOT EXCEED 10 psf.

504 504/ 2x SPRUCE FASCIA BOARD WITH

IX SHINGLE TRIM 508 508/GUARDRAIL

KEYNOTES:

PROVIDE 42" HIGH PROTECTIVE RAILING FOR BALCONY AND OPEN SIDES OF STAIR LANDING. OPENINGS BETWEEN RAILINGS SHALL BE LESS THAN 4" HANDRAILS TO HAVE A 1 1/4" TO 2" INCH GRASP ABLE CROSS SECTION WITH NO SHARP CORNERS AND HEIGHT OF 34" TO 38" ABOVE NOSING EXTEND CONTINUOUSLY FROM TO TO BOTTOM RISER AND TERMINATE AT NEWEL POSTS OR RETURN TO WALLS

512 512/EXTERIOR EXTERIOR PLASTER SHALL BE 3-COAT, 7/8" MIN. THICK, WITH TWO LAYERS OF GRADE 'D' PAPER UNDER PLASTER WHERE OCCURS OVER SHEATHING AND HAS 26 GA. G.S.M. WEEP SCREED AT FOUNDATION PLATE LINE AT LEAST 8" ABOVE GRADE OR 4" ABOVE CONCRETE CONCRETE OR

PAYING. MATER RESISTIVE BARRIERS SHALL BE INSTALLED AS REQUIRED AND WHERE APPLIED OVER MOOD-BASED SHEATHING SHALL INCLUDE A WATER RESISTIVE VAPOR PERMEABLE BARRIER WITH A PERFORMANCE AT LEAST EQUIVALENT TO TWO LATER OF GRADE D PAPER. INDIVIDUAL LAYERS SHALL BE INSTALLED INDEPENDENTLY SUCH THAT EACH LATER PROVIDES A SEPARATE CONTINUOUS PLANE

513 513/SOFFITS

DENSGLASS SOFFIT SHEATHING TO THE UNDERSIDE OF THE CEILING AT SOFFITS AND CEILINGS WITH REINFORCING MESH EMBEDDED INTO AN OMEGA BASE COAT MATERIAL AT THE DENSGLASS JOINTS FOLLOWED WITH AN OMEGA ACRYLIC FINISH STUCCO COAT. PROVIDE CONTROLS AT 15' O.C. MAX. IN EITHER DIRECTION OR WHERE THE MAXIMUM LENGTH TO WIDTH RATIO IS 2 1/2 TO 1

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PROVIDE ADDRESS NUMBERS WHICH ARE PLAINLY LEGIBLE AND VISIBLE FROM THE STREET FRONTING THE PROPERTY. CHARACTERS SHALL CONTRAST WITH THE BACKGROUND AND SHALL BE ARABIC NUMERALS OR ALPHABETICAL LETERS. NUMBERS SHALL NOT BE SPELLED OUT. EACH CHARACTER SHALL BE NOT LESS THAN 4" IN HEIGHT WITH A STROKE WIDTH OF NOT LESS THAN 0.5". WHERE REQUIRED BY FIRE CODE OFFICIAL, ADDRESS SHALL BE PROVIDED IN ADDITIONAL LOCATIONS TO FACILITATE EMERGENCY RESPONSE. WHERE ACCESS IS A PRIVATE ROAD, A MONUMENT, POLE OR OTHER SIGN SHALL BE USED.

(520) 52*0*/ 2 x I2 STUCCO FOAM BELLY BAND

REAR ELEVATION <u>NOTE:</u> COVER ALL EXTERIOR WALLS WITH 3/8" STRUCT. I, CDX, PLYMD. WITH 8d's AT 6" o.c. EDGE / 12" o.c. FIELD UNLESS OTHERWISE NOTED. PLYWOOD SHALL RUN CONTINUOUS FROM TOP PLATE TO SOLE PLATE WITH ALL PLYWOOD EDGES BLOCKED. PLYWOOD EDGES SHALL BE SPACED TO ALLOW FOR PLYWOOD EXPANSION.

NOTES:

I. STUCCO SCREED LINE TO RUN PARALLEL TO GRADE (NOT STEPPED) AND WITHIN 6" OF GRADE.

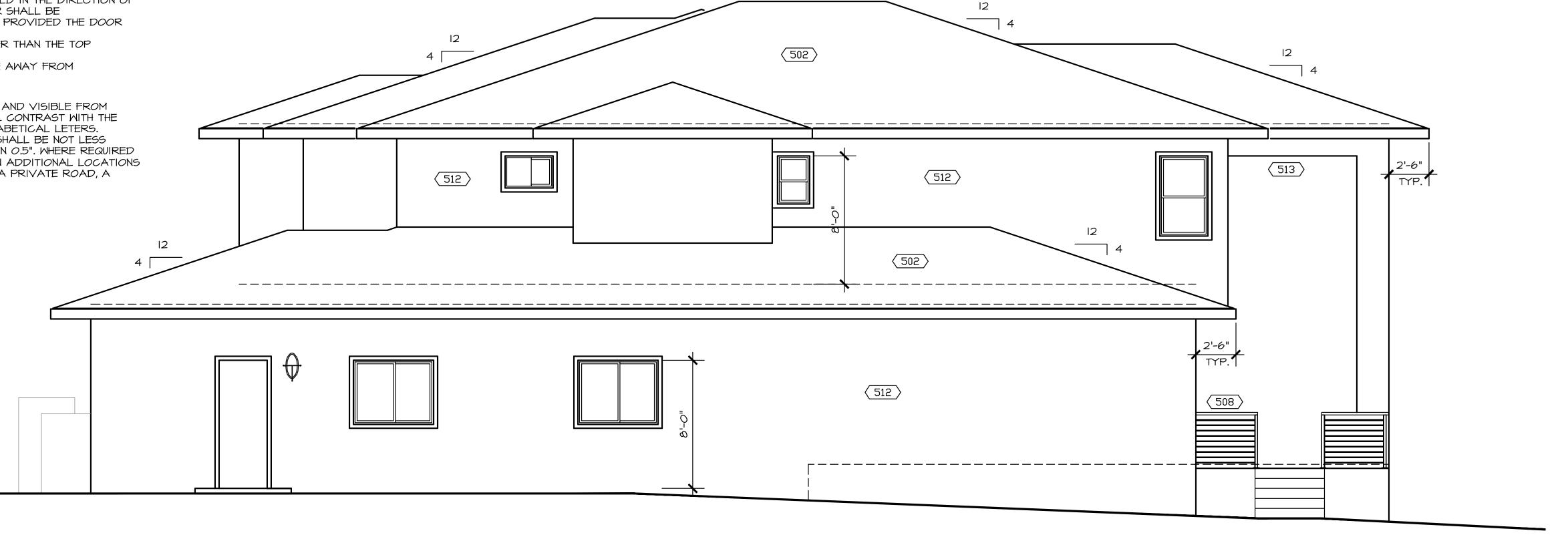
ENGINEERED

COMPACTED FILL

(508)

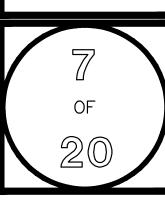
APPROX. NATURAL GRADE

2. ALL GUTTERS ARE TO BE FASCIA STYLE 7" THROUGHOUT



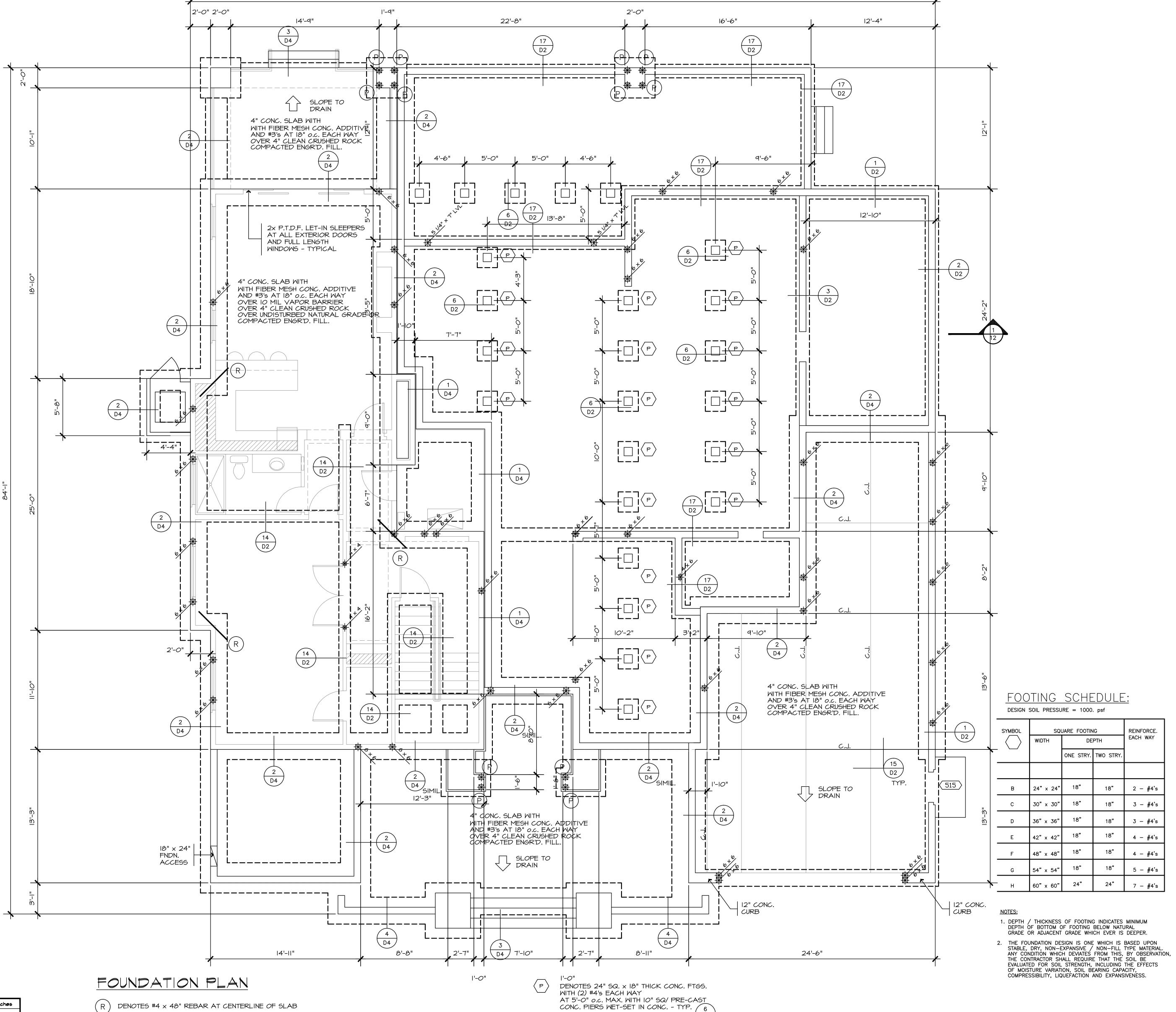
RIGHT ELEVATION

VERSION:



OWNERSHIP OF DOCUMENTS

DRAWINGS AND SPECIFICATIONS AS INSTRUMENTS OF SERVICE ARE AND SHALL REMAIN THE PROPERTY OF DON BLESSEN & ASSOCIATES WHETHER THE PROJECT FOR WHICH THEY ARE MADE IS EXECUTED OR NOT. THEY ARE NOT TO BE USED BY THE CLIENT ON OTHER PROJECTS OR AS AN EXTENSION TO THIS PROJECT EXCEPT BY AGREEMENT IN WRITING WITH APPROPRIATE COMPENSATION TO DON BLESSEN & ASSOCIATES.



74'-0"

CONCRETE PROTECTION
MINIMUM CONCRETE COVER SHALL BE PROVIDED FOR REINFORCEMENT

	MINIMUM COVER, inches
A: CONCRETE CAST AGAINST AND PERMANENTLY EXPOSED TO EARTH	3
B: CONCRETE EXPOSED TO EARTH OR WEATHER: NO. 6 THROUGH NO. 18 BAR NO. 5 BAR AND SMALLER	2 1/2
C: CONCRETE NOT EXPOSED TO WEATHER OR IN CONTACT WITH GROUND SLABS, WALLS, JOISTS: NO. 6 THROUGH NO. 18 BAR NO. 11 BAR AND SMALLER	1/2 3/4
BEAMS, COLUMNS PRIMARY REINFORCEMENT, TIES, STIRRUPS, SPIRALS	l I/2
SHELLS, FOLDED PLATE MEMBERS: NO. 6 AND LARGER NO. 5 BAR AND SMALLER	3/4 1/2

R DENOTES #4 x 48" REBAR AT CENTERLINE OF SLAB

DENOTES 15" WIDE X 24" DEEP CONT. FTG.
WITH (3) #4's CONT. AT TOP AND (3) #4's

CONT. AT BOTTOM

P DENOTES 7" x 7" 2.0E PSL PARALLAM POST

SEE SHEET D1 FOR SHEAR WALL, HOLDOWN, SILL PLATE AND ANCHOR BOLT SCHEDULES

all footings to be a min. of 18" below grade u.o.n.

1/4" = 1'-0"

FILE NAME:

OF

20

VERSION:

FEB. 2021





VERSION:

DEC. 2023 SCALE: 1/4" = 1'-0"

FILE NAME:

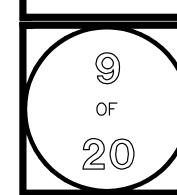
UNDER FLOOR VENTILATION REQUIREMENT

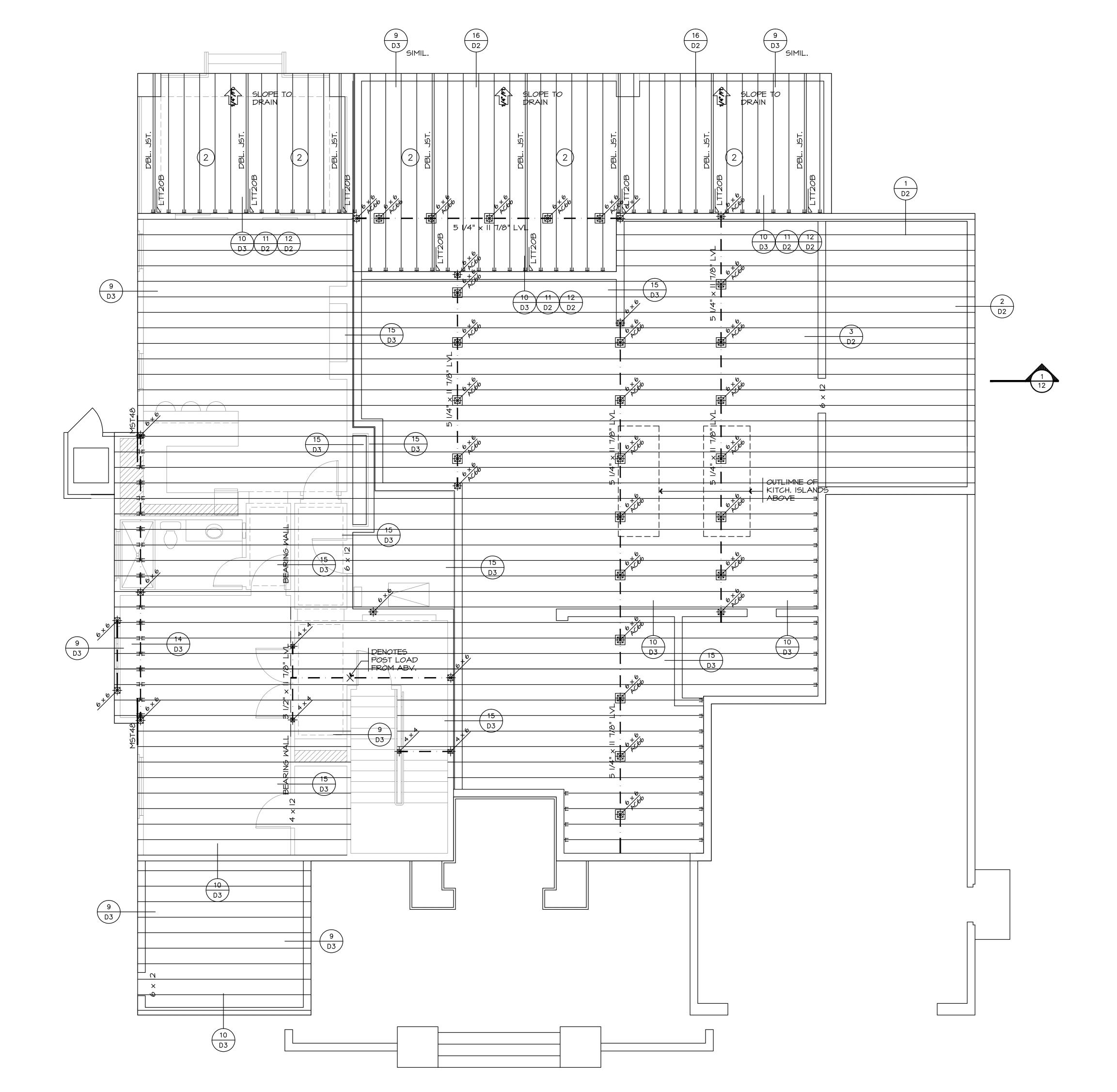
TOTAL SQUARE FOOTAGE = 4394 SQ. FT.

REQUIRED VENTILATION = 4394 / 150 = 29.3 SQ. FT.

NUMBER OF 7" x 14" VENTS (A= 98 SQ, IN.) = 43 VENTS

USE (45) MIN. 7" x 14" UNDER FLOOR VENTS EVENLY SPACED





1 DENOTES 16" DEEP x TJI / 360 FLOOR JOISTS AT 16" o.c. (OR EQUAL)

(2) DENOTES I 3/4" \times II 7/8" LVL DECK JOISTS AT I6" o.c. WITH HUSI.81/10 HANGERS AT SINGLE JSTS. HU412 AT DBL. JOISTS WITH COMPLETE ELASTOMERIC WATERPROOF DECKING INSTALLED PER MFGR. SPECS. RIPPED AT 1/4" PER FOOT FOR POSITIVE DRAINAGE FLASH / COUNTERFLASH AS REQ'D.

DRAG - DENOTES | 3/4" x |4" LVL, FLUSH WITH IOd's AT 6" o.c. FULL LENGTH USE HUSI.8|/|O HGRS. - WHERE OCCURS

FLOOR SHEATHING:
3/4" STANDARD T & G PLYWOOD, APA #48/24
GLUE AND NAILED TO FRAMING WITH 10d NAILS AT
6" o.c. EDGE AND BOUNDARY NAILING (E.N.) AND 10" o.c.
FIELD NAILING (F.N.) UNLESS OTHERWISE NOTED.
STAGGER ALL END JOINTS AND RUN PLYWOOD
PERPENDICULAR TO THE DIRECTION OF THE
FRAMING. (NOTE: 10d RING SHANKS ARE RECOMMENDED
IN LIEU OF 10d NAILS.

DECK SHEATHING: 3/4" STANDARD T & G PLYWOOD, APA #48/24 GLUE AND NAILED TO FRAMING WITH 10d NAILS AT GLUE AND NAILED TO FRAMING WITH 10d NAILS AT 6" o.c. EDGE AND BOUNDARY NAILING (E.N.) AND 10" o.c. FIELD NAILING (F.N.) UNLESS OTHERWISE NOTED. STAGGER ALL END JOINTS AND RUN PLYWOOD PERPENDICULAR TO THE DIRECTION OF THE FRAMING. (NOTE: 10d RING SHANKS ARE RECOMMENDED IN LIEU OF 10d NAILS.

MAIN LEVEL FLOOR FRAMING

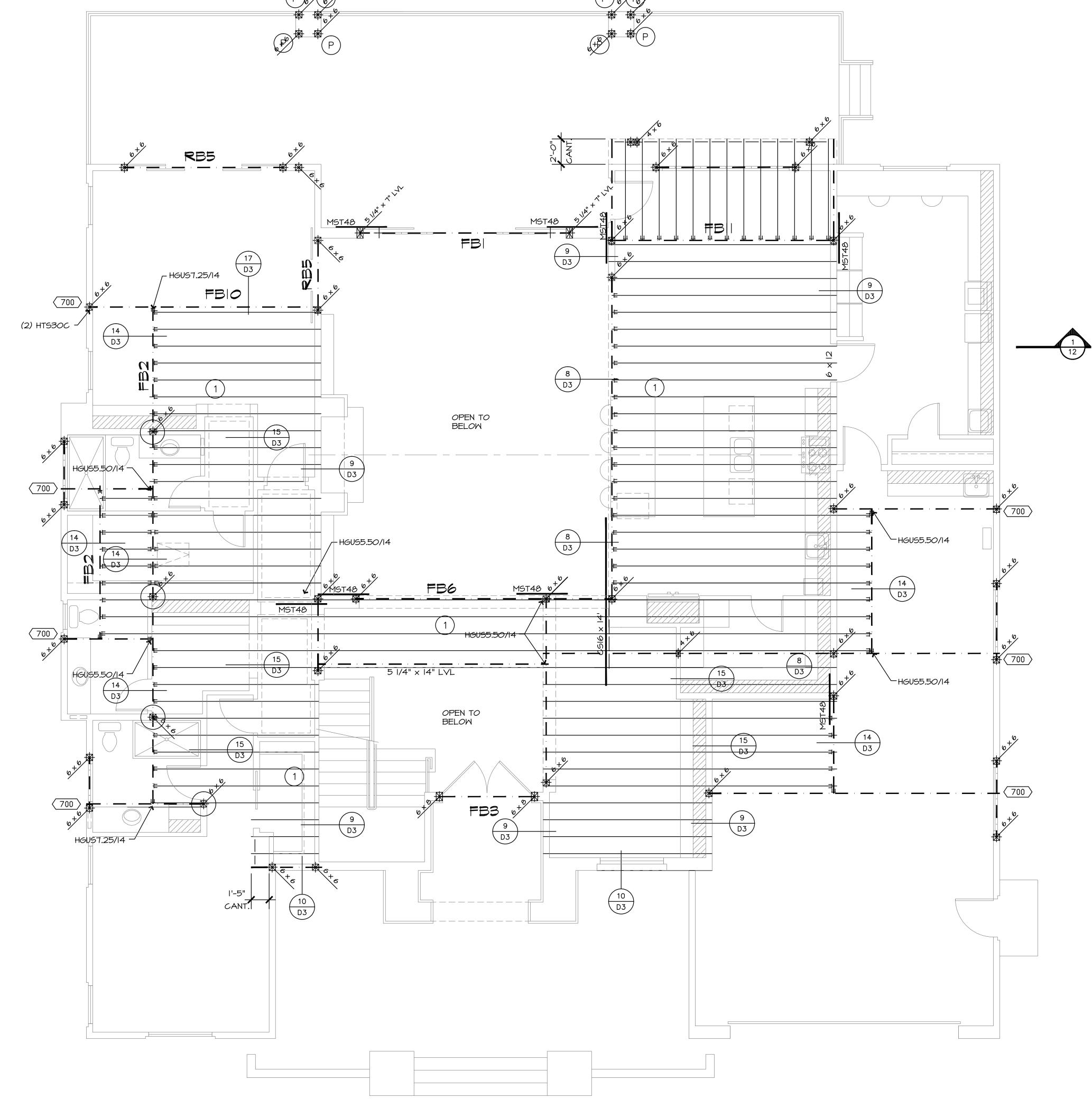
HEADER SCHEDULE (UNLESS OTHERWISE NOTED ON PLANS)

opening size	HEADER SIZE		TRIMMER POST (1,2)	KING POST (1,2)		(1,2)
	2 x 4 STUD WALL	2 × 6 STUD WALL	2 × 4 ST	UD WALL	2 × 6 ST	ud wall
LESS THAN 4'	4 × 10	6 x 10 DF #1	(I) 2 × 4	(I) 2 × 4	(I) 2 × 6	(I) 2 × 6
4' TO 6' MAX.	4 × 12	6 x 12 DF #1	(2) 2 × 4 <i>O</i> R 4 × 4	(2) 2 × 4	(2) 2 × 6 OR 4 × 6	(2) 2 × 6
6' TO 8' MAX.	3 1/2" x 11 7/8" PSL	5 1/4" x 11 7/8" PSL	(2) 2 × 4 OR 4 × 4	(2) 2 × 4	(2) 2 × 6 OR 4 × 6	(2) 2 × 6

HANGER SCHEDULE (16" DP. x TJI / PRO 230 FLOOR TRUSSES)

MEMBER	FACE MOUNT HANGER	Top flange hanger
SINGLE JST.	IUT3516	MIT3516
DOUBLE JST.	MIU4.75/16	LBV3516-2

1/4" = 1'-0" FILE NAME:



BEAM	1 SCHEDULE	
BEAM ID.	SIZE	REMARKS
FBI	7" × 16" 1.9E LVL MICROLAM (OR EQUAL)	
FB2		
FB2A		
FB3		
FB4		
FB5		
FB6		
FB7		
FB8		
FB9		
FBI <i>O</i>		
FBII		
DDI.		
RBI		
RB2		
RB3		
RB4		
RB5		

OWNERSHIP OF DOCUMENTS

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SECOND LEVEL FLOOR FRAMING



(I) 2 × 4

(2) 2×4 OR 4×4

(2) 2×4 OR 4×4



l) 2 × 6

(2) 2×6 OR 4×6

(2) 2×6 OR 4×6

 2×6 STUD WALL

(I) 2 × 6

(2) 2 × 6

(2) 2 × 6

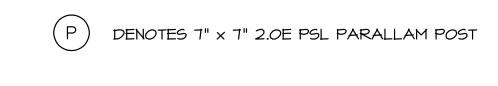
TRIMMER POST (1,2) KING POST (1,2) TRIMMER POST (1,2) KING POST (1,2)

2 x 4 STUD WALL

(I) 2 × 4

(2) 2 × 4

(2) 2 × 4



DOUBLE JST.

MIU4.75/16

ÞΕ	ENOTES 7" × 7" 2.0E	E PSL PARALLAM POS CHEDULE (16" I	GLUE AND I 6" o.c. EDG FIELD NAILIN STAGGER AL ST PERPENDICU	DARD T & G PLYWOOD, APA #48/NAILED TO FRAMING WITH 10d NAISE AND BOUNDARY NAILING (E.N.) NG (F.N.) UNLESS OTHERWISE NOT LEND JOINTS AND RUN PLYWOOD JLAR TO THE DIRECTION OF THE NOTE: 10d RING SHANKS ARE RECTION NAILS.	LS AT AND 10" o.c. ED. D
	MEMBER	FACE MOUNT HANGER	₹	TOP FLANGE HANGER	
	SINGLE JST.	IUT3516		MIT3516	

LBV3516-2

OPENING SIZE

LESS THAN 4'

4' TO 6' MAX.

6' TO 8' MAX.

I. STITCH MULTIPLE STUDS TOGETHER WITH 16d's AT 8" o.c. STAGGERED.

HEADER SCHEDULE (UNLESS OTHERWISE NOTED ON PLANS)

HEADER SIZE

3 1/2" × 11 7/8" PSL

 2×4 STUD WALL

4 × 10

4 x 12

THE SPECIFIC POST SIZE REFERENCED IN THE HOLDOWN SCHEDULE SHALL TAKE PRESIDENCE OVER THE STATED POST SIZE, IN THIS HEADER SCHEDULE, WHERE HOLDOWNS OCCUR.

2 × 6 STUD WALL

6 x 10 DF #1

6 x |2 DF #|

5 1/4" x 11 7/8" PSL

HEADER SCHEDULE (UNLESS OTHERWISE NOTED ON PLANS)

opening size	HEADER SIZE		TRIMMER POST (1,2)	King Post (1,2)	TRIMMER POST (1,2)	KING POST (1,2)
	2 x 4 STUD WALL	2 x 6 STUD WALL	2 x 4 ST	UD MALL	2 x 6 ST	UD WALL
LESS THAN 4'	4 × 10	6 × 10 DF #1	(I) 2 × 4	(I) 2 × 4	(I) 2 × 6	(I) 2 × 6
4' TO 6' MAX.	4 × 12	6 x 12 DF #1	(2) 2 × 4 OR 4 × 4	(2) 2 × 4	(2) 2 × 6 OR 4 × 6	(2) 2 × 6
6' TO 8' MAX.	3 1/2" x 11 7/8" PSL	5 1/4" x 11 7/8" PSL	(2) 2 × 4 OR 4 × 4	(2) 2 × 4	(2) 2 × 6 OR 4 × 6	(2) 2 × 6

2. THE SPECIFIC POST SIZE REFERENCED IN THE HOLDOWN SCHEDULE SHALL TAKE PRESIDENCE OVER THE STATED POST SIZE, IN THIS HEADER SCHEDULE, WHERE HOLDOWNS OCCUR.

REAM SCHEDULE

BEAM	1 SCHEDULE	
BEAM ID.	SIZE	remarks
RBI	5 1/4" × 16" 1.9E LVL MICROLAM (OR EQUAL)	
RB2	5 /4" \times 7/8" .9E LVL MICROLAM (OR EQUAL)	
RB3	5 1/4" \times 18" 1.9E LVL MICROLAM (OR EQUAL)	
RB4	5 1/4" \times 18" 1.9E LVL MICROLAM (OR EQUAL)	
RB5	5 1/4" × 11 7/8" 1.9E LVL MICROLAM (OR EQUAL)	
RB6	5 1/4" × 14" 1.9E LVL MICROLAM (OR EQUAL)	
RB7	$7" \times 14"$ 1.9E LVL MICROLAM (OR EQUAL)	

I. ALL DRAG TRUSSES ARE TO BE NAILED WITH 8d's AT 6" o.c. FULL LENGTH OF TRUSS TOP CHORD STRAP TO END WALLS WITH HORIZ.

OTHERWISE ALTERED IN ANY WAY WITHOUT THE APPROVAL OF

MST48 STRAP, WHERE OCCURS 2. ENGINEERED WOOD PRODUCTS SUCH AS ROOF TRUSSES, I-JOISTS, STRUCTURAL GLU-LAM BEAMS, LAMINATED TIMBER AND STRUCTURAL COMPOSITE LUMBER CANNOT BE CUT, NOTCHED, DRILLED, SPLICED OR

THE ENGINEER OF RECORD.

LAT GIRDER / DRAG TRUSS HOLDOWN SCHEDULE

LG GIRDER / DRAG	IRUSS HOLD	JAN SCHEDULE
DRAG TRUSS AND/OR GIRDER TRUSS	HOLDOWN STRAP	COMMENTS
ONE PLY TRUSS	LGT2	WITH 2 x 6 x 48" SCAB WITH (2) ROWS OF 16d's AT 6" o.c. STAGGERED
TWO PLY TRUSSES	LGT2	
THREE PLY TRUSSES	LGT3-SDS2.5	
FOUR PLY TRUSSES	LGT4-SDS3	

USE 2-2×6 STUDS BENEATH EACH GIRDER AND DRAG TRUSS SUPPORT STITCH MULT. MEMBERS TOGETHER WITH 16d's AT 8" o.c.

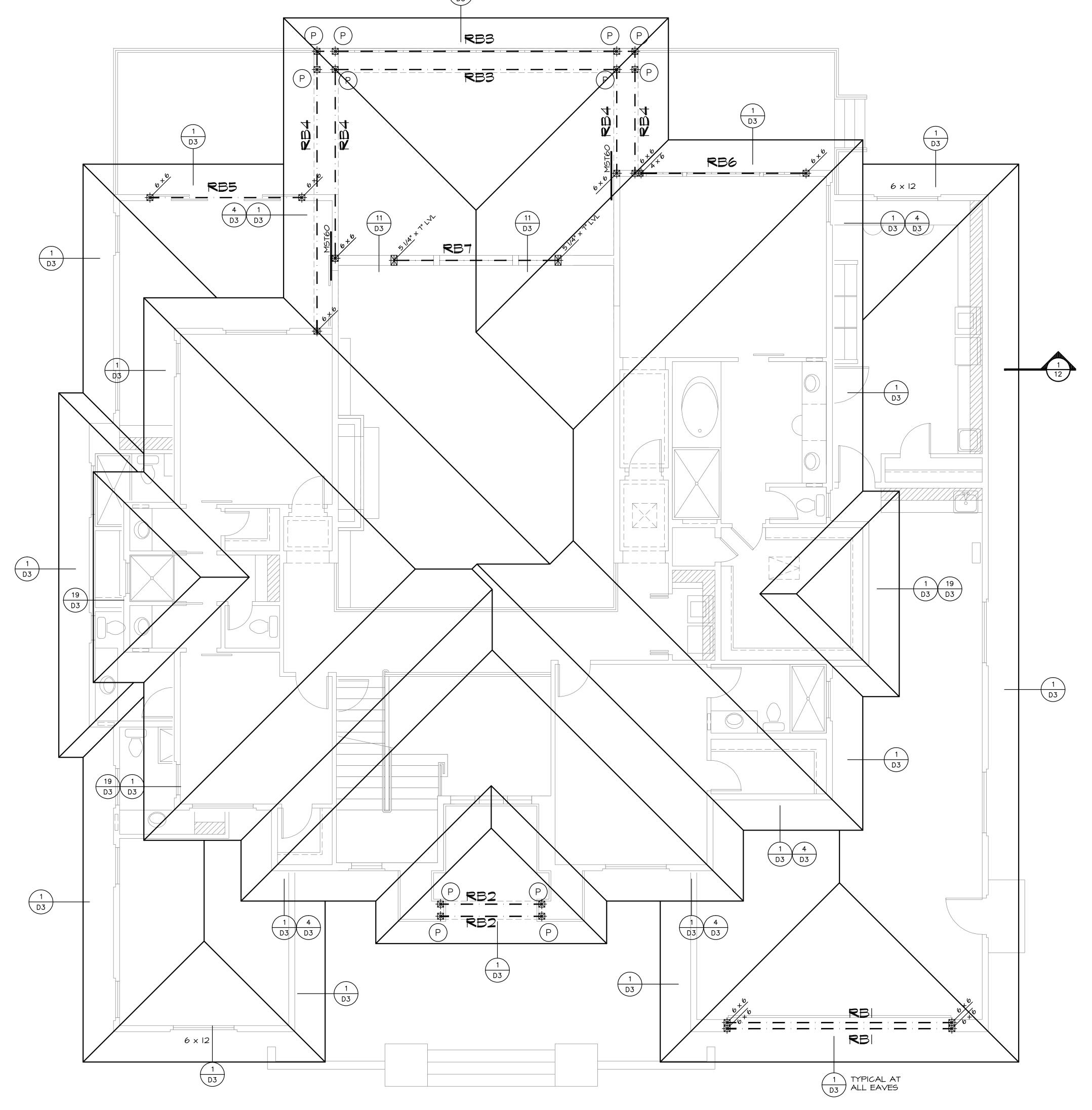
FULL LENGTH UNLESS OTHERWISE NOTED

ALL GIRDER AND DRAG TRUSSES ARE TO BE CONNECTED TO SUPPORT POST WITH "SIMP." LGT GIRDER HOLDOWNS

USE 2 x 6 CONT. RIDGE BLOCKING ALONG ALL RIDGE LINES

SPAN TABLE (DF #2 OR BETTER)

MEMBER	Max. Allow Span
2 x 6 RAFTERS AT 24" o.c.	T'-O"
2 x 8 RAFTERS AT 24" o.c.	10'-0"
2 x 6 RAFTERS AT 16" o.c.	9'-0"
2 x 8 RAFTERS AT 16" o.c.	12'-0"



ROOF FRAMING PLAN

ROOF SHEATHING:
5/8", STANDARD (OR O.S.B.), CDX, PLYWOOD, APA #32/16 MIN.
NAILED TO FRAMING WITH 8d NAILS AT 6" o.c.
EDGE AND BOUNDARY NAILING (E.N.) AND 12" o.c.
FIELD NAILING (F.N.) UNLESS OTHERWISE NOTED.
STAGGER ALL END JOINTS AND RUN PLYWOOD
PERPENDICULAR TO THE DIRECTION OF THE
FRAMING WITH PANEL CLIPS AT ALL PLYWD. EDGES.

DENOTES 7" x 7" 2.0E PSL PARALLAM POST

ATTIC VENTILATION REQUIREMENT

TOTAL SQUARE FOOTAGE = 4954 SQ. FT. REQUIRED VENTILATION = 4954 / 150 = 33 SQ. FT. 33 / 2 = 16.5 SQ. FT OF SOFFIT EAVE VENTING 33 / 2 = 16.5 SQ. FT OF VENTING (GABLE, DORMER VENTS) NUMBER OF 4" x 22" VENTS (A= 88 SQ. IN.) = 27 VENTS INSTALL A MIN. OF (30) ATTIC VENTS EVENLY SPACED
INSTALL A MIN. OF 16.5 SQ. FT. OF GABLE END, DORMER VENTS A MIN. OF 36" ABOVE EAVE HEIGHT

VERSION: DEC. 2023

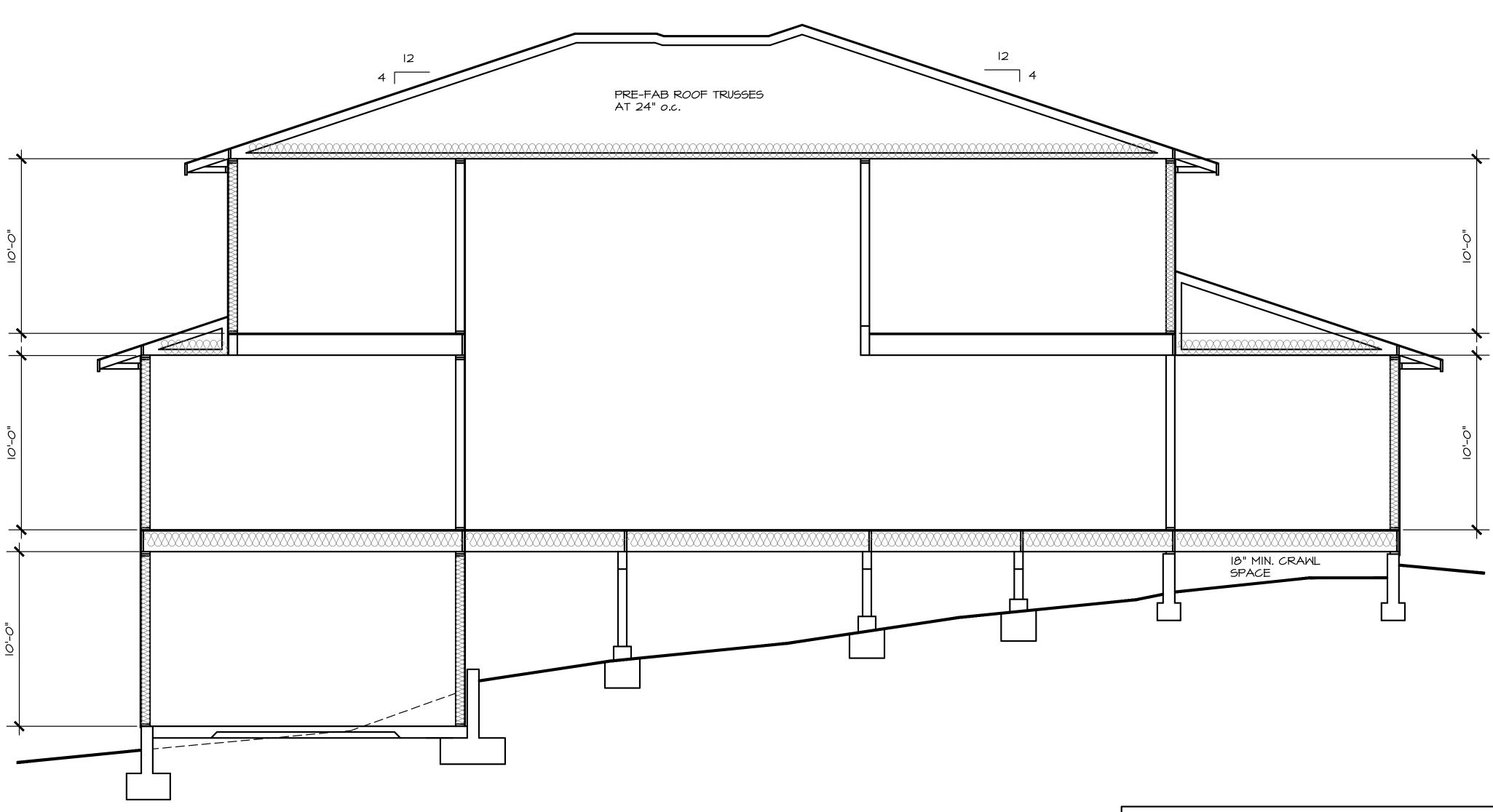
SCALE: 1/4" = 1'-0"

FILE NAME:

I. STITCH MULTIPLE STUDS TOGETHER WITH 16d's AT 8" o.c. STAGGERED.

VERSION: DEC. 2023

SCALE: 1/4" = 1'-0"



BUILDING SECTION

MINIMUM STUD SCHEDULE			
MAX. STUD HEIGHT	EXTERIOR WALLS	INTERIOR WALLS	
<i>O</i> '- <i>O</i> "	2 x 6 DF #2 AT 16" o.c.	2 x 4 DF #2 AT 16" o.c.	
12'-0"	2 x 6 DF #2 AT 16" o.c.	2 x 4 DF #1 AT 16" o.c.	
4'-0"	2 x 6 DF #1 AT 16" o.c.	2 x 6 DF #1 AT 16" o.c.	
l6'-0"	2 x 6 DF #1 AT 12" o.c.	2 × 6 DF #1 AT 16" o.c.	
8'-O"	3/4" x 5 /2" LVL AT 6" o.c.	2 × 6 DF #1 AT 16" o.c.	
20'-0"	3/4" x 5 /2" LVL AT 2" o.c.	2 × 6 DF #1 AT 16" o.c.	

NOTES: I. SEE FRAMING PLAN AND ARCHITECTURAL DRAWINGS FOR CONDITIONS NOT NOTED ABOVE

ALL EXTERIOR WALLS SHALL HAVE A TYVEK (OR EQUAL) INFILTRATION BARRIER.

SYMBOLS:

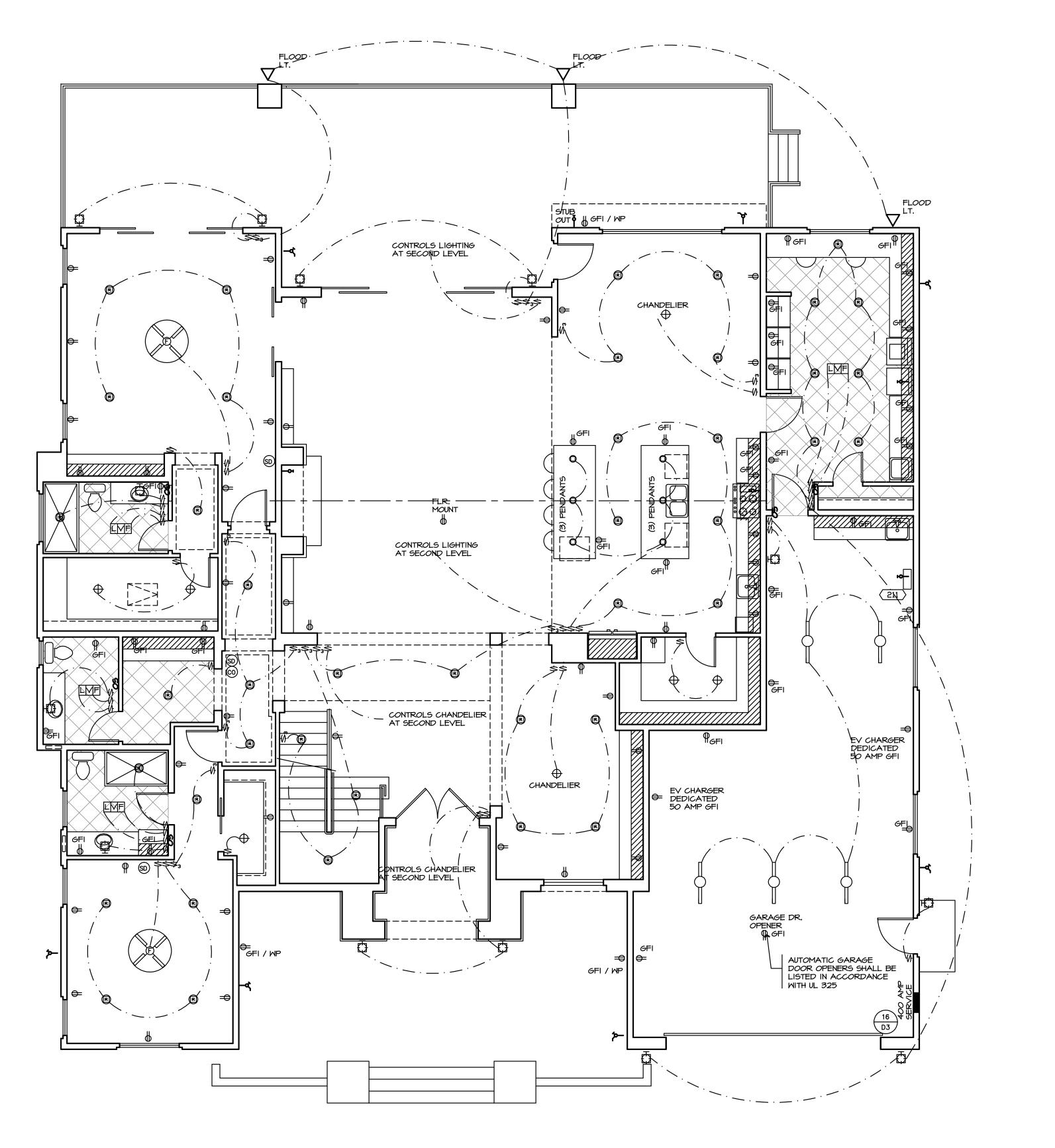
- DUPLEX (M.P. WEATHERPROOF)
- TRIPLEX (220v)
- QUADRUPLEX
- DUPLEX SPLIT WIRE
- ⇒ WALL SWITCH
- \$₃ 3 WAY WALL SWITCH SMITCH WITH OCCUPANT SENSOR
- Sp WALL SMITCH W/ DIMMER CONTROL
- CEILING MOUNTED LIGHT FIXTURE
- TH WALL MOUNTED LIGHT
- RECESSED LIGHT FIXTURE



- GAS LIGHTER / SHUT OFF VALVE
- LMF LIGHT, VENT FAN COMBO

- 211 211/PLUMB
 TANKLESS DIRECT VENT WATERHEATER
 TO THE CAPABLE OF 200 GAS PIPING SHALL BE CAPABLE OF 200,000 BTU PER THE 2019 CALIFORNIA ENERGY CODE
 - A PERMITTED GROUNDING ELECTRODE TYPE
 - SHALL BE INSTALLED AS LISTED IN CEC 250.52 ALL 120-VOLT, SINGLE PHASE, 15 & 20-AMP BRANCH CIRCUUITS SUPPLYING OUTLETS INSTALLED
 - IN KITCHENS, DINING ROOMS, FAMILY ROOMS, LIVING ROOMS, PARLORS, LIBRARIES, DENS, BEDROOMS, SUNROOMS, REC ROMMS, CLOSETS, LAUNDRY AREAS, HALLWAYS, AND SIMILAR ROOMS SHALL BE PROTECTED BY A LISTED ARC-FAULT
 - CIRCUIT INTERRUPTER, OR COMBINATION TYPE, INSTALLED TO PROVIDE PROTECTION OF THE BRANCH CIRCUIT.
- AT LEAST I LUMINAIRE IN BATHROOMS, GARAGE, LAUNDRY FLUORESCENT LIGHT FIXTURE (2) x 48" LONG ROOMS AND UTILITY ROOMS SHALL BE CONTROLLED BY A VACANCY OR OCCUPANT SENSOR PROGRAMMED AS A VACANCY SENSOR (MANUAL-ON OPERATION)
 - SD SMOKE DETECTORS SHALL BE INTERCONNECTED AND MUST BE INSTALLED IN EXISTING AND NEW ROOMS, SMOKE DETECTORS MUST BE BATTERY OPERATED IN EXISTING ROOMS AND HALLS ONLY AND HARD WIRED FOR NEW ROOMS AND HALLS, PER 2022 CALIFORNIA RESIDENTIAL CODE.
 - HOSE BIBB WITH APPROVED BACK FLOW (CO) CARBON MONOXIDE DETECTORS SHALL BE PREVENTION DEVICE INTERCONNECTED AND ARE REQUIRED OUTSIDE INTERCONNECTED AND ARE REQUIRED OUTSIDE OF EACH SLEEPING AREA IN THE IMMEDIATE VICINITY OF BEDROOMS, AND ON EVERY LEVEL OF THE DWELLING UNIT.
 - CARBON MONOXIDE DETECTORS ARE PERMITTED TO BE SOLELY BATTERY OPERATED WHEN THE PROPOSED WORK DOES NOT RESULT IN THE REMOVAL OF WALL AND CEILING FINISHES OR IS NO ACCESS BY MEANS OF ATTIC, BASEMENT, OR CRAWL SPACE, PER 2022 CALIFORNIA

RESIDENTIAL CODE.



MAIN LEVEL ELECTRICAL PLAN

NOTE: ALL EAVE RECEPTACLES ARE TO BE WIRED TOGETHER WITH CONTROL SWITCH

SYMBOLS:

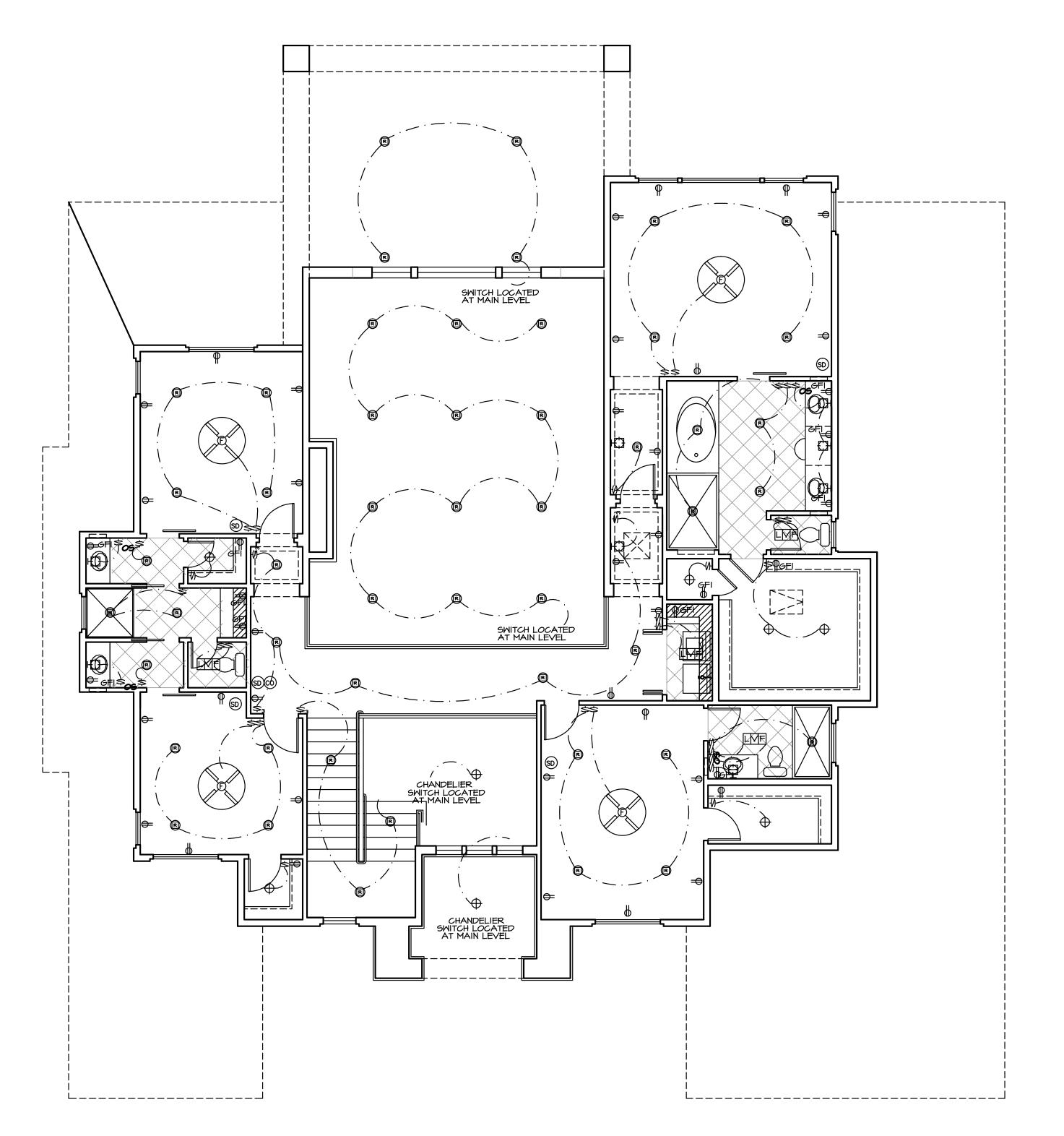
- DUPLEX (W.P. WEATHERPROOF) ■ TRIPLEX (220v)
- → QUADRUPLEX
- DUPLEX SPLIT WIRE
- ⇒ WALL SWITCH \$₃ 3 MAY WALL SMITCH
- SMITCH WITH OCCUPANT SENSOR
- Sp WALL SWITCH W/ DIMMER CONTROL CEILING MOUNTED LIGHT FIXTURE
- H WALL MOUNTED LIGHT
- RECESSED LIGHT FIXTURE





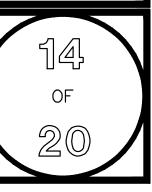
- HOSE BIBB WITH APPROVED BACK FLOW PREVENTION DEVICE
- GAS LIGHTER / SHUT OFF VALVE
- LMF LIGHT, VENT FAN COMBO

- 211 211/PLUMB
 TANKLESS DIRECT VENT WATERHEATER
 TO SEE CAPABLE OF 200
- GAS PIPING SHALL BE CAPABLE OF 200,000 BTU PER THE 2019 CALIFORNIA ENERGY CODE
- A PERMITTED GROUNDING ELECTRODE TYPE SHALL BE INSTALLED AS LISTED IN CEC 250.52
- ALL 120-VOLT, SINGLE PHASE, 15 & 20-AMP BRANCH CIRCUUITS SUPPLYING OUTLETS INSTALLED IN KITCHENS, DINING ROOMS, FAMILY ROOMS, LIVING ROOMS, PARLORS, LIBRARIES, DENS, BEDROOMS, SUNROOMS, REC ROMMS, CLOSETS, LAUNDRY AREAS, HALLWAYS, AND SIMILAR ROOMS SHALL BE PROTECTED BY A LISTED ARC-FAULT CIRCUIT INTERRUPTER, OR COMBINATION TYPE, INSTALLED TO PROVIDE PROTECTION OF THE BRANCH CIRCUIT.
- AT LEAST I LUMINAIRE IN BATHROOMS, GARAGE, LAUNDRY FLUORESCENT LIGHT FIXTURE (2) × 48" LONG ROOMS AND UTILITY ROOMS SHALL BE CONTROLLED BY A VACANCY OR OCCUPANT SENSOR PROGRAMMED AS A VACANCY SENSOR (MANUAL-ON OPERATION)
 - (SD) SMOKE DETECTORS SHALL BE INTERCONNECTED AND MUST BE INSTALLED IN EXISTING AND NEW ROOMS. SMOKE DETECTORS MUST BE BATTERY OPERATED IN EXISTING ROOMS AND HALLS ONLY AND HARD WIRED FOR NEW ROOMS AND HALLS, PER 2022 CALIFORNIA RESIDENTIAL CODE.
 - (CO) CARBON MONOXIDE DETECTORS SHALL BE INTERCONNECTED AND ARE REQUIRED OUTSIDE OF EACH SLEEPING AREA IN THE IMMEDIATE VICINITY OF BEDROOMS, AND ON EVERY LEVEL OF THE DWELLING UNIT.
 - CARBON MONOXIDE DETECTORS ARE PERMITTED TO BE SOLELY BATTERY OPERATED WHEN THE PROPOSED WORK DOES NOT RESULT IN THE REMOVAL OF WALL AND CEILING FINISHES OR IS NO ACCESS BY MEANS OF ATTIC, BASEMENT, OR CRAWL SPACE, PER 2022 CALIFORNIA RESIDENTIAL CODE.



SECOND LEVEL ELECTRICAL PLAN

NOTE: ALL EAVE RECEPTACLES ARE TO BE WIRED TOGETHER WITH CONTROL SWITCH



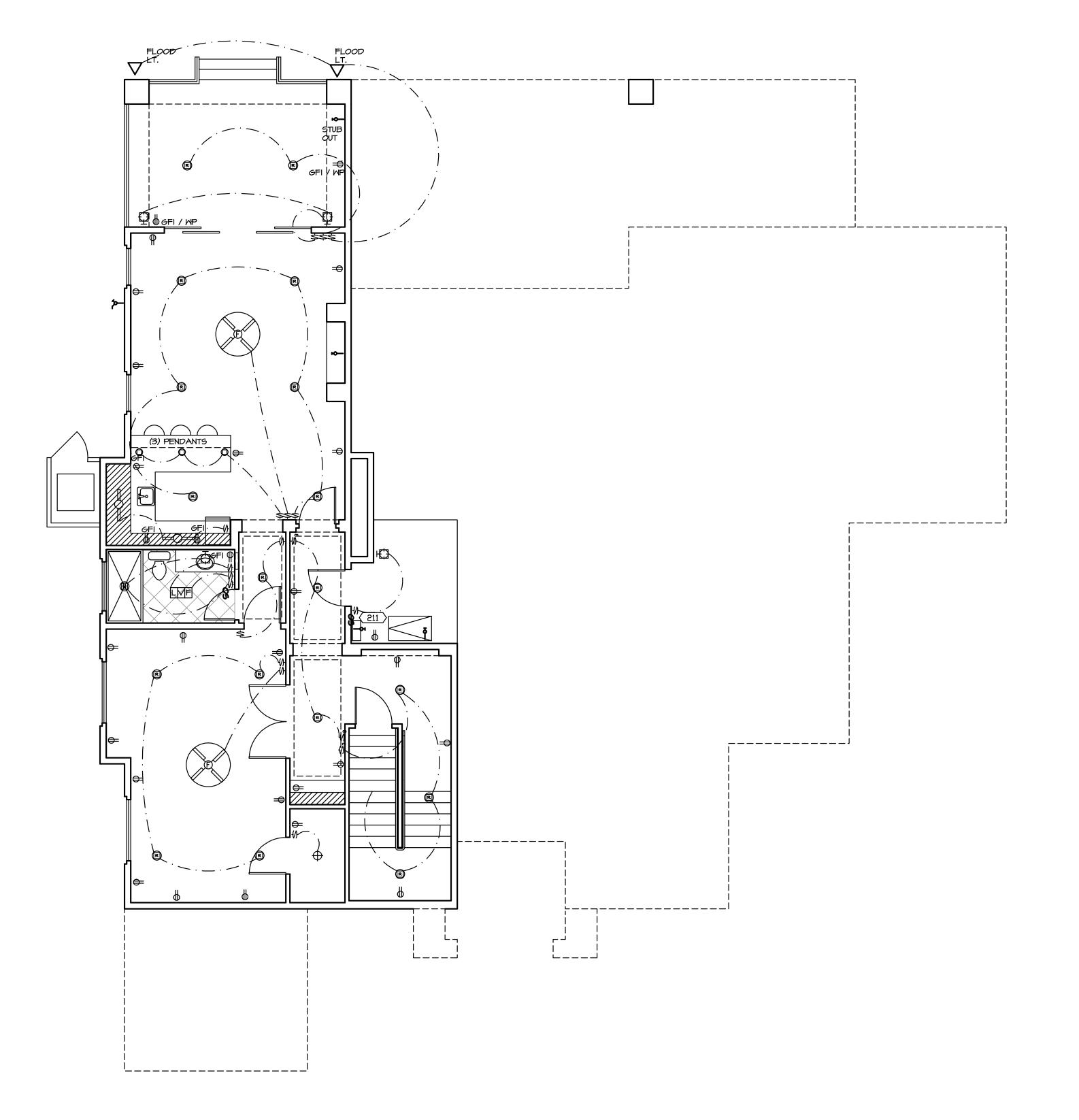
SYMBOLS:

- DUPLEX (M.P. WEATHERPROOF) ■ TRIPLEX (220v)
- → QUADRUPLEX
- DUPLEX SPLIT WIRE
- ⇒ WALL SWITCH \$₃ 3 WAY WALL SWITCH
- SMITCH WITH OCCUPANT SENSOR Sp WALL SMITCH W/ DIMMER CONTROL
- CEILING MOUNTED LIGHT FIXTURE
- H WALL MOUNTED LIGHT
- RECESSED LIGHT FIXTURE
- EXHAUST FAN



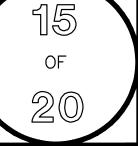
- GAS LIGHTER / SHUT OFF VALVE
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 TANKLESS DIRECT VENT WATERHEATER
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 - A PERMITTED GROUNDING ELECTRODE TYPE SHALL BE INSTALLED AS LISTED IN CEC 250.52
 - ALL 120-VOLT, SINGLE PHASE, 15 & 20-AMP BRANCH CIRCUUITS SUPPLYING OUTLETS INSTALLED IN KITCHENS, DINING ROOMS, FAMILY ROOMS, LIVING ROOMS, PARLORS, LIBRARIES, DENS, BEDROOMS, SUNROOMS, REC ROMMS, CLOSETS, LAUNDRY AREAS, HALLWAYS, AND SIMILAR ROOMS SHALL BE PROTECTED BY A LISTED ARC-FAULT
 - CIRCUIT INTERRUPTER, OR COMBINATION TYPE, INSTALLED TO PROVIDE PROTECTION OF THE BRANCH CIRCUIT.
- AT LEAST I LUMINAIRE IN BATHROOMS, GARAGE, LAUNDRY FLUORESCENT LIGHT FIXTURE (2) x 48" LONG ROOMS AND UTILITY ROOMS SHALL BE CONTROLLED BY A VACANCY OR OCCUPANT SENSOR PROGRAMMED AS A VACANCY SENSOR (MANUAL-ON OPERATION)
 - (SD) SMOKE DETECTORS SHALL BE INTERCONNECTED AND MUST BE INSTALLED IN EXISTING AND NEW ROOMS, SMOKE DETECTORS MUST BE BATTERY OPERATED IN EXISTING ROOMS AND HALLS ONLY AND HARD WIRED FOR NEW ROOMS AND HALLS, PER 2022 CALIFORNIA RESIDENTIAL CODE.
 - HOSE BIBB WITH APPROVED BACK FLOW (CO) CARBON MONOXIDE DETECTORS SHALL BE PREVENTION DEVICE INTERCONNECTED AND ARE REQUIRED OUTSIDE INTERCONNECTED AND ARE REQUIRED OUTSIDE OF EACH SLEEPING AREA IN THE IMMEDIATE VICINITY OF BEDROOMS, AND ON EVERY LEVEL
 - OF THE DWELLING UNIT. CARBON MONOXIDE DETECTORS ARE PERMITTED TO BE SOLELY BATTERY OPERATED WHEN THE PROPOSED WORK DOES NOT RESULT IN THE REMOVAL OF WALL AND CEILING FINISHES OR IS NO ACCESS BY MEANS OF ATTIC, BASEMENT, OR CRAWL SPACE, PER 2022 CALIFORNIA RESIDENTIAL CODE.



BASEMENT LEVEL ELECTRICAL PLAN

NOTE: ALL EAVE RECEPTACLES ARE TO BE WIRED TOGETHER WITH CONTROL SWITCH



- THE FOUNDATION DESIGN IS ONE WHICH IS BASED UPON STABLE, DRY, NON-EXPANSIVE / NON-FILL TYPE MATERIAL. ANY CONDITION WHICH DEVIATES FROM THIS, BY OBSERVATION, THE CONTRACTOR SHALL REQUIRE THAT THE SOIL BE EVALUATED FOR SOIL STRENGTH, INCLUDING THE EFFECTS OF MOISTURE VARIATION, SOIL BEARING CAPACITY, COMPRESSIBILITY, LIQUEFACTION AND EXPANSIVENESS
- 3. REMOVE ALL TREES AND PLANTS, INCLUDING ALL ROOTS, WITHIN 5' FROM FOUNDATION.
- 4. ON GRADED SITES, THE TOP OF ANY EXTERIOR FOUNDATION SHALL EXTEND ABOVE THE ELEVATION OF THE STREET GUTTER AT POINT OF 3. DISCHARGE AT THE INLET OR AN APPROVED DRAINAGE DEVICE A MIN. OF 12" + 2%.
- 5. BUILDING FOUNDATIONS SHALL BE LOCATED CLEAR OF TOE OF ALL SLOPES BY A MIN. DISTANCE OF 1/2 THE HEIGHT OF THE SLOPE, BUT 4. PROVIDE EDGE NAILING TO ALL BLOCKING OR RIM NEED NOT EXCEED 15 'MAXIMUM.
- 6. BUILDING FOUNDATIONS SHALL BE LOCATED CLEAR OF TOP OF ALL SLOPES OR RETAINING STRUCTURES BY A DISTANCE OF 1/3 THE HEIGHT OF THE SLOPE, BUT NEED NOT EXCEED 40'.
- 7. PROJECTIONS BEYOND THE EXTERIOR WALL OF DWELLINGS AND ACCESSORY STRUCTURES SHALL NOT EXTEND CLOSED THAN 2' FROM THE PROPERTY LINE. PROJECTIONS LOCATED LESS THAN 5' FROM THE 6. NO PLYWOOD SHALL BE LESS THAN 24" IN ITS PROPERTY LINE SHALL HAVE A MIN. ONE-HOUR FIRE RESISTANCE RATING ON THE UNDERSIDE UNLESS FIREBLOCKING IS PROVIDED FROM THE WALL TOP PLATE TO THE UNDERSIDE OF THE ROOF SHEATHING OR GABLE VENTS ARE NOT INSTALLED.
- 8. ALL FILL AREAS SHALL BE COMPACTED TO 95% RELATIVE COMPACTION. TESTED, BY A QUALIFIED GEOTECH ENGINEER, AND A REPORT WRITTEN.

ROOF FRAMING:

ROOF SHEATHING: 5/8", STANDARD (OR O.S.B.), CDX, PLYWOOD, APA #32/16 MIN. NAILED TO FRAMING WITH 8d NAILS AT 6" o.c. EDGE AND BOUNDARY NAILING (E.N.) AND 6" o.c. FIELD NAILING (F.N.) UNLESS OTHERWISE NOTED. STAGGER ALL END JOINTS AND RUN PLYWOOD PERPENDICULAR TO THE DIRECTION OF THE FRAMING WITH PANEL CLIPS AT ALL PLYWD. EDGES.

- SYMBOL INDICATES ROOF SUPPORT. USE 2 - 2 x 4 ROOF BRACES WHERE BRACE LENGTH IS LESS THAN 72". USE 2 - 2 x 6 ROOF BRACES WHERE BRACE LENGTH EXCEEDS 72".
- TRUSS DESIGN BY TRUSS MANUFACTURER (WHERE APPLICABLE). NOTE: TJI, MICRO-LAM, AND PARALLAM ARE TRADE MARK NAMES OF
- WHICH OCCUR IN SHEAR WALL LINES, TO TOP PLATES WITH "SIMP." A35 FRAMING CLIPS AT 48" o.c.
- 5. PROVIDE CONTINUOUS BLOCKING OVER ALL BEARING WALLS, SHEAR WALLS, BEAMS, AND
- THICK GYPSUM BOARD (SHEET ROCK)
- WHERE WOOD FRAMING IS SPACED AT 24" o.c. ATTACH TO FRAMING WITH GYP. BOARD SCREWS AT 10" o.c. MAX. SCREWS SHALL BE LONG ENOUGH TO PENETRATE INTO THE WOOD FRAMING A MINIMUM OF 3/4". STAGGER ALL END JOINTS AND RUN THE GYP. BOARD PERPENDICULAR TO THE
- 8. PROVIDE FREE VENTILATING AREA NOT LESS THAN 1/150 OF THE AREA OF THE SPACE VENTILATED.
- 9. LEAVE 1/8" SPACE AT ALL PANEL EDGE AND END JOINTS, UNLESS OTHERWISE RECOMMENDED BY
- 10. COVER SHEATHING AS SOON AS POSSIBLE WITH ROOFING FELT FOR EXTRA PROTECTION AGAINST EXCESSIVE MOISTURE PRIOR TO ROOFING
- 11. PROVIDE PANEL SHEATHING CLIPS OR TONGUE AND GROOVE EDGES IF REQUIRED.

FLOOR FRAMING:

- FLOOR SHEATHING: 3/4" STANDARD T & G PLYWOOD, APA #48/24 GLUE AND NAILED TO FRAMING WITH 10d NAILS AT 6" o.c. EDGE AND BOUNDARY NAILING (E.N.) AND 6" o.c. FIELD NAILING (F.N.) UNLESS OTHERWISE NOTED. STAGGER ALL END JOINTS AND RUN PLYWOOD PERPENDICULAR TO THE DIRECTION OF THE FRAMING. (NOTE: 10d RING SHANKS ARE RECOMMENDED
- 2. TRUSS DESIGN BY TRUSS MANUFACTURER (WHERE APPLICABLE). NOTE: TJI, MICRO-LAM, AND PARALLAM ÁRE TRADE MARK NAMES OF "TRUS-JOIST" CORP.
- 3. PROVIDE DOUBLE JOISTS UNDER ALL PARALLEL PARTITION WALLS.
- 4. PROVIDE EDGE NAILING TO ALL BLOCKING OR RIM JOISTS. CONNECT ALL BLOCKING OR RIM JOISTS, WHICH OCCUR IN SHEAR WALL LINES, TO TOP PLATES WITH "SIMP." A35 FRAMING CLIPS AT 32" o.c. UNLESS OTHERWISE NOTED.
- 5. PROVIDE CONTINUOUS BLOCKING OVER ALL BEARING WALLS, SHEAR WALLS, BEAMS, AND HEADERS.
- 6. CARRY UPPER LEVEL POSTS INTO LOWER LEVELS AND PROVIDE SOLID BLOCKING UNDER ALL POSTS IN FLOORS.
- 7. NO PLYWOOD SHALL BE LESS THAN 24" IN ITS LEAST DIMENSION.
- 8. USE 5/8" THICK GYPSUM BOARD (SHEET ROCK) WHERE WOOD FRAMING IS SPACED AT 24" o.c. ATTACH TO FRAMING WITH GYP. BOARD SCREWS AT 10" o.c. MAX. SCREWS SHALL BE LONG ENOUGH TO PENETRATE INTO THE WOOD FRAMING A MINIMUM OF 3/4". STAGGER ALL END JOINTS AND RUN THE GYP. BOARD PERPENDICULAR TO THE DIRECTION OF THE FRAMING.

SHEET METAL AND FLASHING: 1. FLASH ALL EXTERIOR OPENINGS.

2. FLASH AND COUNTERFLASH ALL ROOF TO WALL CONDITIONS.

3. G.I. FLASH AND CAULK WOOD BEAMS. OUTRIGGERS AND PROJECTIONS FROM EXTERIOR WALL AND ROOF SURFACES.

ROOF TRUSS SPECS: TOP CHORD (SLOPED ROOFS): BOTTOM CHORD:

1. ROOF TRUSSES SHALL BE AS SHOWN ON PLANS AND AS

- MFG. BY A QUALIFIED TRUSS MANUFACTURING COMPANY. 2. PRIOR TO FABRICATION OF TRUSSES, TWO (2) COPIES OF TRUSS LAYOUT DRAWINGS WITH TRUSS CALCS. AND DETAILS CLEARLY INDICATING THAT THE DESIGNS CONFORM TO THE 2022 CBC AND SHALL BE SUBMITTED TO THE BUILDING OFFICIAL FOR
- 3. DESIGN AND FABRICATION SHALL MEET THE REQUIREMENTS OF THE LATEST APPROVED CALIFORNIA BUILDING CODE.

REVIEW PRIOR TO PROJECT APPROVAL.

- 4. PROVIDE 1/2" GAP BETWEEN BOTTOM OF BOTTOM CHORD OF TRUSS AND ALL NON-BEARING WALLS.
- 5. PRIOR TO FABRICATIONS OF TRUSSES, TWO COPIES OF THE SHOP DRAWINGS MUST BE SUBMITTED TO THE BUILDING DEPARTMENT BEARING THE APPROVAL FROM THE ENGINEER OF RECORD AT LEAST TWO WEEKS PRIOR TO FRAME INSPECTION: . TRUSS LAYOUT DRAWING 2. TRUSS CALCULATIONS AND DETAILS WITH AXIAL AND BENDING

FOUNDATION:

- 1. FOUNDATIONS ARE TO BE DESIGNED FOR A 2500 POUNDS PER SQUARE FOOT ALLOW. SOIL BEARING PRESSURE UNLESS OTHERWISE NOTED.
- MINIMUM CONCRETE COMPRESSIVE STRENGTH AT 28 DAYS TO BE 2500 psi. (5 SACKS OF CEMENT PER CUBIC YARD, 4" MAXIMUM SLUMP, 3/4" MAXIMUM AGGREGATE SIZE.)
- 3. ALL CEMENT USED SHALL CONFORM TO A.S.T.M. C-150. 4. REINF. STEEL TO CONFORM TO A.S.T.M. A615-40 GRADE 40 MINIMUM.
- 5. HORIZONTAL OR VERTICAL REINFORCEMENT NOTED "CONT." SHALL HAVE A MINIMUM SPICE EQUAL TO 30 BAR DIAMETERS IN CONCRETE.
- 48" MINIMUM. 7. #5 OR LARGER REINFORCEMENT STEEL SHALL NOT BE REBENT.

6. STAGGER ALL ADJACENT REINFORCEMENT SPLICES

8. USE 4" CONC. SLAB WITH #3's AT 18" o.c. EACH WAY OVER 10 MIL VAPOR BARRIER OVER 4" CRUSHED ROCK OVER COMPACTED SUBGRADE AT LIVING SPACES. USE 4" CONCRETE SLAB WITH #3's AT 18" o.c. EACH WAY OVER 4" CRUSHED ROCK OVER COMPACTED SUBGRADE AT OTHER SLAB AREAS. INSTALL SLAB REINFORCEMENT AT CENTER

LINE OF CROSS SECTIONAL AREA OF SLAB - TYPICAL

- 9. CONTINUOUS CONC. FOOTINGS SHALL BE 1'-3" WIDE BY 1'-6" MINIMUM BELOW NATURAL GRADE AT TWO STORY CONDITIONS AND 1'-0" WIDE BY 1'-6" MINIMUM BELOW NATURAL GRADE AT ONE STORY CONDITIONS. REINF. WITH (2) #4 HORIZONTAL REINF. BAR AT 4" CLEAR FROM TOP WITH (2) #4 HORIZ. BAR AND AT 3" CLEAR FROM EARTH UNLESS OTHERWISE NOTED. PROVIDE #4 VERT. REINFORCEMENT BARS AT 16" o.c. WHEN STEM WALL HEIGHT EXCEEDS 36". MEASURED FROM TOP OF FOOTING, OR WHERE CONSTRUCTION JOINTS OCCUR.
- 10. FOUNDATION SILL PLATES SHALL BE BOLTED TO THE FOUNDATION WITH 1/2" DIA. x 10" ANCH. BOLTS AT 48" o.c. UNLESS OTHERWISE NOTED. BOLTS SHALL BE EMBEDDED 7" INTO REINFORCED CONCRETE. THERE SHALL BE A MINIMUM OF TWO BOLTS PER PIECE WITH ONE BOLT LOCATED WITHIN 12" OF EACH END OF EACH
- 11. ALL WOOD BEARING ON CONCRETE OR MASONRY, OR WITHIN 8" FROM THE GROUND SURFACE, SHALL BE PRESSURE TREATED DOUG FIR. 12. SAWCUT ALL SLABS WITH 1 1/2" DEEP CRACK CONTROL JOINTS AT INTERVALS NOT TO EXCEED 20' o.c. EACH WAY. SAWCUTTING SHALL OCCUR 16 TO 20 HOURS
- 13. REMOVE ALL TREES AND PLANTS, INCLUDING ALL ROOTS, WITHIN 5' FROM FOUNDATION.
- 14. FINISH GRADE SHALL SLOPE AT 5% MINIMUM AWAY FROM ALL STRUCTURES FOR A MINIMUM OF 10'.
- 15. PROVIDE UNDER FLOOR VENTILATION NOT LESS THAN 1/150 SQUARE FEET OF THE TOTAL UNDER FLOOR AREA.
- 16. PROVIDE A MINIMUM OF A 18" x 24" FOUNDATION ACCESS TO ALL UNDER FLOOR AREAS. 17. CONCRETE AGGREGATES SHALL CONFORM TO A.S.T.M. C-33.

18. PIPES MAY PASS THROUGH STRUCTURAL CONCRETE IN

- SLEEVES OR OTHER APPROVED METHOD, BUT MAY NOT BE EMBEDDED THEREIN. 19. BOTTOM OF ALL FOOTING TRENCHES SHALL BE CLEAN AND
- 20. ALL ANCHOR BOLTS SHALL HAVE A MINIMUM OF A 3" x 3" x 0.229" THICK SQUARE WASHER. 21. WHERE ANCHOR BOLTS HAVE NOT BEEN PROPERLY LOCATED
- INSTALL PER MANUFACTURER'S RECOMMENDATIONS. 22. HOLDOWN ANCHORS MUST BE TIED IN PLACE PRIOR TO FOUNDATION INSPECTION.

BOLTS, WITH 7" MIN. EMBEDMENT INTO CONCRETE.

BOLTING NOTES:

- 1. HOLES FOR THROUGH BOLTS SHALL BE DRILLED 1/16"
- 2. HOLES FOR LAG BOLTS SHALL BE FIRST BORED TO THE SAME NOMINAL DIAMETER AND DEPTH AS THE SHANK. THE REST SHALL BE NO LARGER THAN THE ROOT OF THE THREAD. 3. LAG BOLTS SHALL BE SCREWED (NOT DRIVEN) INTO PLACE.
- 4. ALL NUTS AND BOLTS SHALL BE PROVIDED WITH FLAT OR MALLEABLE WASHERS WHERE BEARING AGAINST WOOD. 5. ALL BOLTS AND LAG BOLTS SHALL BE RETIGHTENED UPON INSTALLATION AND RE-TIGHTENED BEFORE CLOSING IN OR
- AT THE COMPLETION OF THE JOB. 6. ALL BOLTS SHALL BE A.S.T.M. A-307 MINIMUM UNLESS OTHERWISE NOTED. BOLTS SHALL BE NEW AND WITHOUT EXCESSIVE RUST. ALL BOLTS SHALL BE EMBEDDED INTO CONCRETE 7" MIN.

WORKMANSHIP:

1. CONSTRUCTION SHALL BE OF THE HIGHEST QUALITY OF WORKMANSHIP. ALL WALLS SHALL BE PLUMB AND TRUE. ALL CONNECTIONS SHALL BE MADE SECURE ACCORDING TO ACCEPTED CONSTRUCTION PRACTICES OR AS SPECIFIED HEREIN OR AS PER THE CURRENT CALIFORNIA BUILDING CODE.

HARDWARE & STRUCTURA

- 1. ALL HARDWARE SPECIFIED SHALL BE "SIMPSON STRONG-TIE CO.". OR EQUAL, INSTALLED PER MANUFACTURER'S SPECIFICATIONS. STRUCTURAL STEEL SHALL CONFORM TO ASTM A36. PIPE COLUMNS SHALL CONFORM TO ASTM A501.
- ALL WELDING SHALL CONFORM TO THE AMERICAN WELDING SOCIETY SPECIFICATIONS. ALL WELDING SHALL BE DONE BY WELDERS CERTIFIED BY THE LOCAL BUILDING AUTHORITY. ALL WELDING SHALL BE E70XX OR SHIELDED WIRES WITH Fy<70 ksi.

GENERAL INFORMATION:

1. PLANS ARE TO COMPLY WITH THE 2022 C.R.C., C.M.C., C.P.C., C.E.C., 2022

SYM.

BW BLOCKED WALL

PLYWOOD OR O.S.B.

PLYWOOD OR

PLYWOOD OR

CALIFORNIA GREEN BUILDING STANDARDS, AND THE 2022 B.E.E.S. (BUILDING ENERGY EFFICIENCY STANDARDS) AS AMENDED BY THE STATE OF CALIFORNIA 2. CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO START OF CONSTRUCTION. SHOULD A DISCREPANCY EXIST. NOTIFY

DON BLESSEN & ASSOCIATES IMMEDIATELY.

- 3. IN ALL CASES, NOTED DIMENSIONS SHALL SUPERSEDE SCALED DIMENSIONS. 4. DON BLESSEN & ASSOCIATES ASSUMES NO RESPONSIBILITY FOR ANY CHANGES, ERRORS, OMISSIONS, OR DEVIATIONS BY THE OWNER OR
- CONTRACTOR, EITHER INTENTIONAL OR ACCIDENTAL. THIS BUILDING SHALL CONFORM TO THE REQUIREMENTS OF TITLE-24 OF THE CALIFORNIA ADMINISTRATIVE CODE AND COMPLY WITH

REGULATIONS AS SET FORTH BY THE ENERGY

- COMMISSION. SEE ACCOMPANYING COMPLIANCE DOCUMENTATION. 6. U.O.N. DENOTES UNLESS OTHERWISE NOTED.
- 7. THE FOUNDATION DESIGN IS ONE WHICH IS BASED UPON STABLE, DRY, NON-EXPANSIVE / NON-FILL TYPE MATERIAL ANY CONDITION WHICH DEVIATES FROM THIS, BY OBSERVATIO THE CONTRACTOR SHALL REQUIRE THAT THE SOIL BE EVALUATED FOR SOIL STRENGTH, INCLUDING THE EFFECTS OF MOISTURE VARIATION, SOIL BEARING CAPACITY, COMPRESSIBILITY, LIQUEFACTION AND EXPANSIVENESS

GENERAL STRUCTURAL

- 1. HORIZONTAL FRAMING TO BE DOUG. FIR #2 OR BETTER UNLESS OTHERWISE NOTED (U.O.N.).
- 2. ALL POSTS SHALL BE DOUG. FIR #1 U.O.N. 3. 6x BEAMS AND LARGER SHALL BE DOUG. FIR #1 UNLESS OTHERWISE NOTED.
- 4. SIMPLE SPAN GLU-LAM BEAMS SHALL BE 24F-V4 DF/DF.
- 5. CANTILEVERED GLU-LAM BEAMS SHALL BE 24F-V8 DF/DF.
- 6. HARDWARE IS TO BE "SIMPSON STRONG-TIE CO." OR
- . HEADERS ARE TO BE 4 x 12 DF #2 FOR 2 x 4 FRAMED WALLS AND 6 x 12 DF #1 FOR 2 x 6 FRAMED WALLS UNLESS OTHERWISE NOTED. SUPPORT EACH HEADER WITH DOUBLE TRIMMER STUDS WHERE OPENINGS ARE 6'-0" WIDE OR
- . PROVIDE FULL BEARING SUPPORT FOR ALL BEAMS i.e. 4x BEAMS ARE TO BE SUPPORTED BY 2 - 2x OR 4x POSTS i.e. 6x AND 8x BEAMS ARE TO BE SUPPORTED BY 6x AND 8x POSTS RESPECTIVELY.
- 9. PROVIDE POSITIVE TYPE POST BEAM CONNECTION i.e. CC, BC, AC, PC, L, T etc. 10. WHERE MULTIPLE 2x JOISTS ARE STITCHED TOGETHER FOR 2 OR 3 -- USE (2) 16d's AT 12" o.c.
- 11. MINIMUM NAILING REQUIREMENTS SHALL CONFORM

FOR 4 OR MORE USE (2) 1/2" DIA. THROUGH BOLTS

12. JOINTS IN DOUBLE TOP PLATES OF STUD BEARING WALLS SHALL OCCUR AT THE CENTER LINE OF SUPPORTING STUD.

TO TABLE 2304.10.1 OF THE CALIFORNIA BUILDING CODE.

- 13. ALL TOP PLATE SPLICES OF STUD WALLS SHALL BE A MINIMUM OF USE "HILTI" KWIK-BOLTS, OF THE SAME DIAMETER AS ANCHOR 48" LONG WITH (8) 16d's EACH SIDE OF EACH SPLICE. ALL INTERSECTING WALLS NOT AT 90 DEGREES WITH RESPECT TO EACH OTHER SHALL BE STRAPPED TOGETHER WITH "SIMP." ST22 STRAPS U.O.N. ALL STRAPS ARE TO BE CENTERED ON SPLICE.
 - 14. ALL MEMBERS SHALL BE FRAMED, ANCHORED, TIED AND BRACED SO AS TO DEVELOP THE STRENGTH AND RIGIDITY NECESSARY FOR THE PURPOSES FOR WHICH THEY ARE USED.
 - 15. FOUNDATION CRIPPLE STUDS SHALL BE 2 x 6 DF AT 16" o.c. WITH A MINIMUM LENGTH OF 14" SHALL BE SHEATHED WITH PLYWOOD OR SOLID BLOCKED. 16. NOTCHING OF EXTERIOR BEARING, NON-BEARING STUD WALLS AND TOP PLATES SHALL BE NO MORE THAN 25% OF STUD / PLATE WIDTH.
 - 40% OF THE STUD WIDTH IN BEARING WALLS AND 60% IN NON-BEARING 17. FIRE BLOCK STUD WALLS AND PARTITIONS (INCLUDING FURED SPACES) AT FLOOR, CEILING, SOFFIT, AND AT MID-HEIGHT OF WALLS

BORED HOLES IN STUDS AND TOP PLATES SHALL BE NO MORE THAN

18. MINIMUM CLEARANCE BETWEEN BOTTOM OF FLOOR JOIST AND THE GROUND SURFACE SHALL BE 18" MINIMUM. MINIMUM CLEARANCE FOR GIRDERS TO GROUND SURFACE SHALL BE 12" MINIMUM. 19. BEARING AND EXTERIOR WALL STUDS TO BE CAPPED WITH DOUBLE

OVER 10 FEET IN HEIGHT.

TOP PLATES SHALL BE OFFSET AT LEAST 48". 20. PROVIDE BLOCKING BETWEEN ALL FLOOR JOISTS, TRUSSES AND

TOP PLATE INSTALLED TO PROVIDE OVERLAPPING AT CORNERS AND

AT INTERSECTIONS WITH OTHER PARTITIONS. END JOINTS IN DOUBLE

- RAFTERS AT ALL BEARING WALLS, GIRDERS, HEADERS AND BEAMS. 21. ALL STRUCTURAL LUMBER SHALL HAVE A MAXIMUM MOISTURE CONTENT OF 19% AT THE TIME OF FABRICATION OR CONSTRUCTION.
- 22. GLU-LAMINATED BEAM INSPECTION CERTIFICATES SHALL BE SUBMITTED TO THE FIELD INSPECTOR PER THE CBC. 23. ALL FABRICATION SHALL BE PERFORMED IN AN APPROVED FABRICATORS SHOP IN ACCORDANCE WITH THE CBC.

24. DEFERRED SUBMITTALS, INCLUDING ROOF TRUSS CALCULATIONS WHFRF

- OCCURS, SHALL BE SUBMITTED TO DON BLESSEN AND ASSOC. FOR REVIEW PRIOR TO START OF CONSTRUCTION. 25. PSL - DENOTES 2.0E DF PARALLAM AS MANUFACTURED BY "TRUS-JOIST" LVL - DENOTES 1.9E DF MICRO-LAM AS MANUFACTURED BY "TRUS-JOIST"
- 26. PROVIDE SQUASH BLOCKS IN CAVITY UNDER POSTS SUPPORTING BEAMS ABOVE. MATCH POSTS WIDTH IN FLOOR CAVITY AND PROVIDE THE SAME SIZE AND TYPE OF POSTS (AS POST ABOVE) DOWN TO FOUNDATION.

27. WHERE TOP OR SOLE PLATES ARE CUT FOR PIPES, A METAL TIE MINIMUM 0.058 INCHES THICK AND 1 1/2" INCHES WIDE SHALL BE FASTENED ACROSS THE OPENING WITH (6) 16d's ÉA. SIDE ("SIMP." RPS18).

DENOTES SHEATHING APPLIED

TO BOTH SIDES OF WALL

ANCHOR BOLT SPACING (3, 8, 12, 13)

1/2" DIA. |5/8" DIA. |3/4" DIA.

48" o.c.

48" o.c.

28" o.c. 14" o.c.

24" o.c.

12" o.c.

48" o.c.

48" o.c.

FANCH. BOLTS ANCH. BOLTS ANCH. BOLTS 16d NAILS

36" o.c. 48" o.c. 18" o.c. 24" o.c.

[ALTERNATE ANCHOR BOLT] SINKERS

48" o.c.

48" o.c.

19" o.c.

13. WHERE THE ALLOWABLE SHEAR VALUES EXCEED 350 plf SILL PLATES AND ALL FRAMING MEMBERS RECEIVING EDGE NAILING FROM ABUTTING PANELS SHALL NOT BE LESS THAN A SINGLE 3x MEMBER. ANCHOR BOLTS TO BE EMBEDDED INTO CONCRETE 7" MINIMUM. EXCEPTION: WHERE THE ALLOWABLE SHEAR IS LESS THAN 600 plf. THE SILL PLATE MAY BE 2x PROVIDED THE ANCHOR BOLT SPACING IS 14. ALL ANCHOR BOLTS ARE TO BE 12" LONG

12. ALL ANCHOR BOLTS SHALL HAVE A MINIMUM OF MIN. WHERE 3x SILL PLATES ARE REQUIRED. A 3" x 3" x 0.229" THICK SQUARE WASHER. 15. USE 2-20d NAILS MIN. REQUIRED TO SECURE

NON-BEARING WALLS ONLY)

NOTES:

NOTES

SOLE PLATE

32" o.c. | 2" o.c. | 1.1/2" o.c. | 4, 10 | 6.

STAGGERED

INSTALL IN ACCORDANCE WITH ALL

FOR 3/8" STRUCT I PLYWOOD, NAIL

ALL CONTINUOUS FOOTINGS SHALL

48" o.c. UNLESS OTHERWISE NOTED.

DESIGNATES SILL BOLTING OR NAILING

APPLIED TO **BOTH** SIDES OF WALL.

AVOID SPLITTING OF THE LUMBER.

DEPTH 2x SOLID BLOCKING.

TOP OR BOTTOM OF THE POST.

OF PLATE NAILING AND/OR CLIP.

PER SHEAR WALL PANEL.

OR GREEN VINYL SINKERS.

WHERE SHEAR WALL SHEATHING MAT'L. IS

STUDS AT SHEAR WALL LINES SHALL BE

SPACED AT NO MORE THAN 16" o.c. SHEAR

ALL VERTICAL JOINTS OF PLYWOOD OR SHEET

HORIZONTAL JOINTS SHALL OCCUR OVER FULL

PROVIDE SHEARWALL EDGE NAILING (AS NOTED)

TO ALL POSTS WHICH HAVE HOLDOWNS AT THE

SEE APPROPRIATE DETAILS FOR APPLICATION

PROVIDE A MINIMUM OF (2) ANCHOR BOLTS

ALL NAILS USED IN SHEAR WALLS ARE TO BE

10d COMMON NAILS TO BE 0.148" x 3" MIN.

10. WHERE PLYWOOD IS ON BOTH SIDES OF A WALL AND NAIL SPACING IS LESS THAN 6" o.c. ON

EITHER SIDE, PANEL JOINTS SHALL BE OFFSET

NAILS ON EACH SIDE SHALL BE STAGGERED.

EQUAL AT 16" o.c. (AT NON-SHEAR WALL

INSTALLATION OF SHOT PINS MAY BE USED IN

LIEU OF ANCHOR BOLTS AT SLAB FOUNDATION

TO FALL ON DIFFERENT FRAMING MEMBERS OR

FRAMING SHALL BE 3x NOMINAL OR THICKER AND

8d COMMON NAILS TO BE 0.131" x 2 1/2" MIN.

SILL PLATE NAILS ONLY MAY BE COMMON NAILS

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 $\sum_{i=1}^{n}$

NAILING SHALL BE DONE IN A MANNER TO

ROCK PANELS SHALL OCCUR OVER STUDS.

VERTICAL EDGES OF ALL SHEETS. USE

HAVE 1/2" DIA. x 10" ANCH. BOLTS AT

5/8" T1-11 SIDING MAY BE SUBSTITUTED

PROVISIONS OF 2022 C.B.C.

10d HOT DIP GALV. NAILS.

2x STUDS TO 3x SILL PLATE 16. FASTENERS IN CONTACT WITH PRESERVATIVE TREATED WOOD SHALL BE HOT DIPPED ZINC COATED GALVANIZED STEEL,

STAINLESS STEEL, SILICON BRONZE OR COPPER.

HOLD DOWN SCHEDULE

SHEAR WALL SCHEDULE:

 ONE
 8d
 6" o.c.
 12" o.c.
 230
 2x
 2x

 BOTH
 8d
 6" o.c.
 12" o.c.
 460
 3x MIN.
 3x

 ONE
 8d
 4" o.c.
 12" o.c.
 360
 3x MIN.
 3x
 24" o.c.

 BOTH
 8d
 4" o.c.
 12" o.c.
 720
 3x MIN.
 3x
 12" o.c.

 ONE
 8d
 3" o.c.
 12" o.c.
 460
 3x MIN.
 3x
 18" o.c.

 BOTH
 8d
 3" o.c.
 12" o.c.
 920
 3x MIN.
 3x
 18" o.c.

 ONE
 10d
 3" o.c.
 12" o.c.
 665
 3x MIN.
 3x
 12" o.c.

 BOTH
 10d
 3" o.c.
 12" o.c.
 1330
 3x MIN.
 3x
 12" o.c.

SHEAR PANEL (plf) EDGES

WALL NAIL SPACING SHEAR SIDES SIZE EDGE FIELD (plf)

/2" SHEET ROCK **ONE** | 5d | 7" o.c. | 7" o.c. | — | 2x

DENOTES SHEATHING APPLIED

TYPICAL NAILS

SIZE: DIAM:

12d

0.113

0.131

0.148

0.148

0.162

0.135

2 1/2"

TO ONE SIDE OF WALL

COMMON

COMMON

COMMON

COMMON

BOX BOX BOX

		DOWN 30		<u> </u>								
SYMBOL (1, 2, 3, 4)	(3) MODEL NUMBER	(3) ALTERNATE HOLDOWNS	(10) MINIMUM POST SIZE	LOAD LIMIT	POST ATTACHMENT	ANCHOR		8) SB ANCHOR BOLTS (12)	THREA RODS DIA.		DIST. FROM CENTER OF CONC. ANCH. TO FACE OF POST	NOTE
\$ 5	HD5B	HTT4 HDU4-SDS2.5 HDU5-SDS2.5 HDU8-SDS2.5	2-2 x 4 2-2 x 4 2-2 x 4 4 x 4 4 x 4	2405 3000 4565 5645 6765	(2) 3/4" DIA. BOLTS (18) 16d X 2 1/2" NAILS (10) SDS 1/4" X 2 1/2" (12) SDS 1/4" X 2 1/2" (20) SDS 1/4" X 3"	SSTB16 SSTB20 SSTB24	SSTB24 SSTB20 SSTB24 SSTB24 SSTB24	SB 7/8 x 24	5/8" 5/8" 5/8" 5/8" 7/8"	14" 15" 17" 18" 15"	2 1/8" 1 3/8" 1 5/16" 1 13/16" 1 1/4"	
-\$ 7	HD7B	 HDU8-SDS2.5 HDU11-SDS2.5	4 × 4 4 × 4 6 × 6	6645 6765 9335	(3) 7/8" DIA. BOLTS (20) SDS 1/4" x 2 1/2" (30) SDS 1/4" X 2 1/2"	SSTB28 SSTB28	SSTB34 SSTB34	SB 7/8 x 24	7/8" 7/8" 7/8"	17" 19" 22"	2 1/8" 1 3/8" 1 3/8"	
ф 9	HD9B	—— HHDQ11-SDS2.5	6 x 6 6 x 6	7740 11810	(3) 1" DIA. BOLTS (24) SDS 1/4" x 2 1/2"	SSTB28	SSTB34	SB 1 x 30 SB 1 x 30	7/8" 1"	28" 28"	2 1/8" 1 1/2"	
+ 12	HD12	HHDQ14-SDS2.5	6 × 6 6 × 6	15510 13015	(4) 1" DIA. BOLTS (36) SDS 1/4" X 2 1/2"	=		SB 1 x 30 SB 1 x 30	1" 1"	34" 35"	2 1/8" 2 1/8"	
∢ H	STHD14	<u> </u>	4 × 4	3815	(24) 16d NAILS				_	_		6
■ 48 ■ 60 ■ 78	MST48 MST60 MSTC78		4 x 4 6 x 6 6 x 6	3695 4830 5860	(32) 16d NAILS (46) 16d NAILS (76) 16d NAILS							

FOOTING SCHEDULE: DESIGN SOIL PRESSURE = 2500, psf

DESIGN SOIL FRESSORE = 2500. psi								
SYMBOL	SQI	REINFORCE.						
	WIDTH	DE	EACH WAY					
		ONE STRY. TWO STRY.						
В	24" x 24"	18"	18"	2 – #4's				
С	30" x 30"	18"	18"	3 — #4's				
D	36" x 36"	18"	18"	3 — #4's				
E	42" × 42"	18"	18"	4 — #4's				
F	48" × 48"	18"	18"	4 — #4's				
G	54" x 54"	18"	18"	5 — #4 's				

HOLDOWN NOTES:

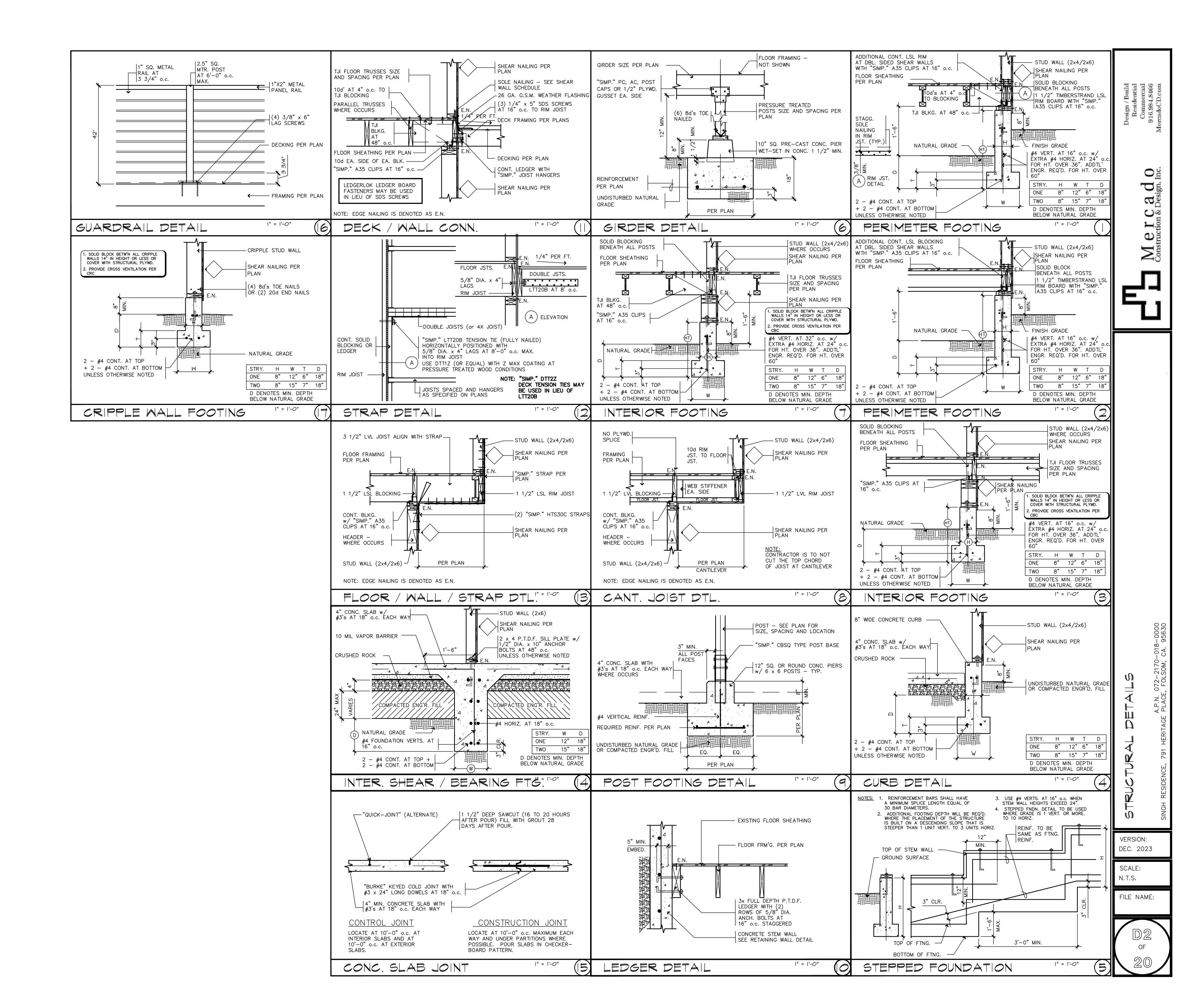
- 1. EDGE NAIL SHEAR WALL SHEATHING TO POSTS FASTENED TO HOLD DOWNS.
- 2. THE MINIMUM CONCRETE STRENGTH AT 28 DAYS TO BE 2500 psi.
- 3. ALL HOLDOWNS SHALL BE INSTALLED IN STRICT ACCORDANCE WITH ALL OF THE MANUFACTURERS INSTALLATION RECOMMENDATIONS.
- 4. HOLD DOWN HARDWARE SHALL BE MANUFACTURED BY "SIMPSON STRONG-TIE" CORP. OR EQUAL. 5. FOOTING DEPTHS SHALL BE INCREASED AT HOLDOWN LOCATIONS
- TO PROVIDE 3" MINIMUM CONCRETE COVER BENEATH EACH HOLDOWN BOLT. 6. USE "SIMP." HPAHD22-2P HOLDOWNS IN LIEU OF HPAHD22 HOLDOWNS AT ALL TWO POUR FOUNDATION SYSTEMS.
- 7. INSTALL STANDARD NUTS, WASHERS AND COUPLERS AS REQUIRED. 8. ALL HOLDOWNS SHALL BE SET IN PLACE BY TEMPLATE PRIOR TO
- FOUNDATION INSPECTION.
- 9. SDS. DENOTES "SIMP." WOOD SCREWS. 10. INCREASE HOLDOWN POST SIZE TO MATCH FULL DEPTH OF STUD WALLS WHERE OCCURS.
- 11. ALL STEM WALLS ARE TO BE 8" MINIMUM THICKNESS. 12. THREADED RODS ARE TO BE INSTALLED WITH DOUBLES AND PLAIN

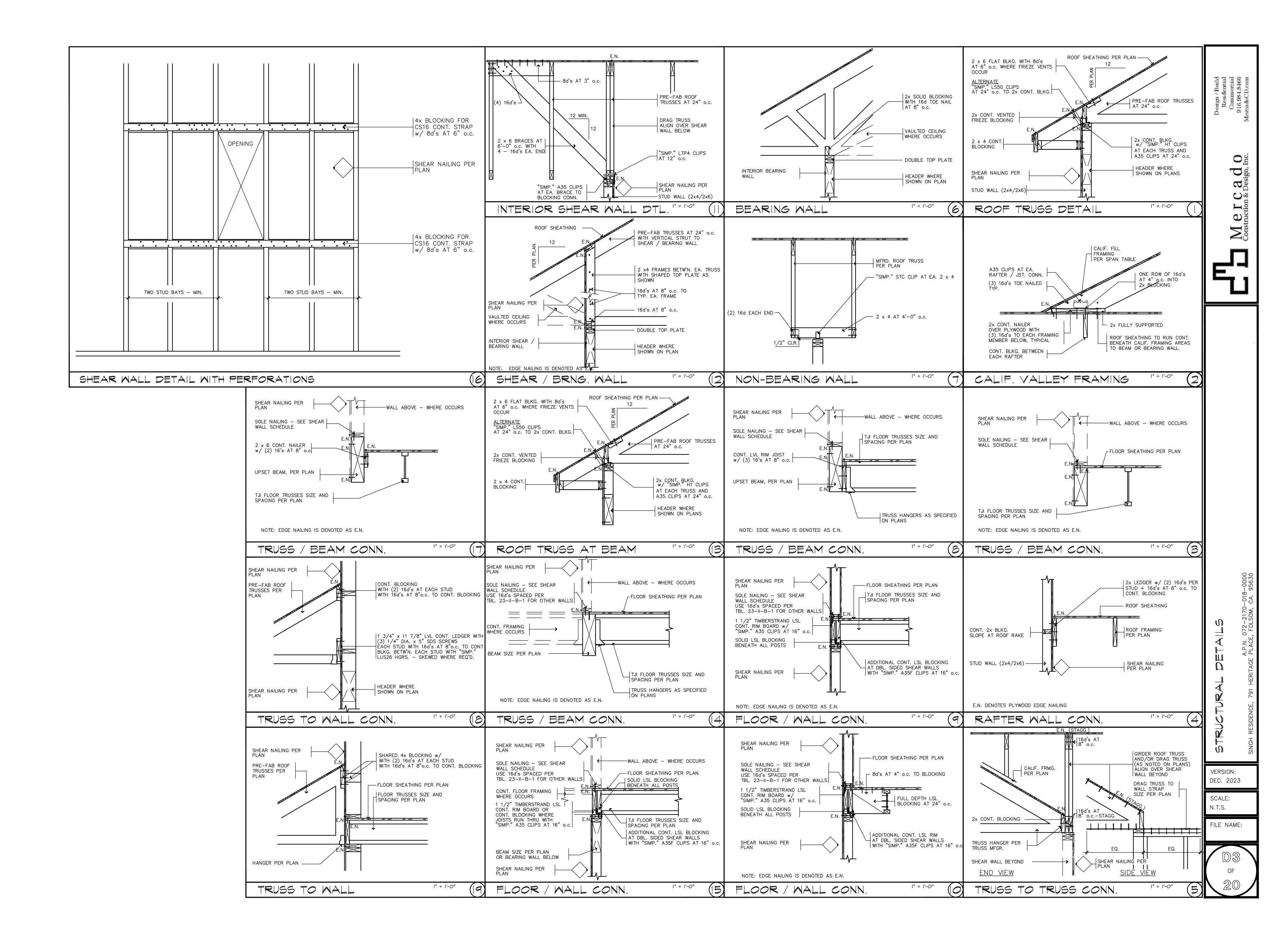
1. DEPTH / THICKNESS OF FOOTING INDICATES MINIMUM 2. DEPTH OF BOTTOM OF FOOTING BELOW NATURAL GRADE OR ADJACENT GRADE WHICH EVER IS DEEPER.

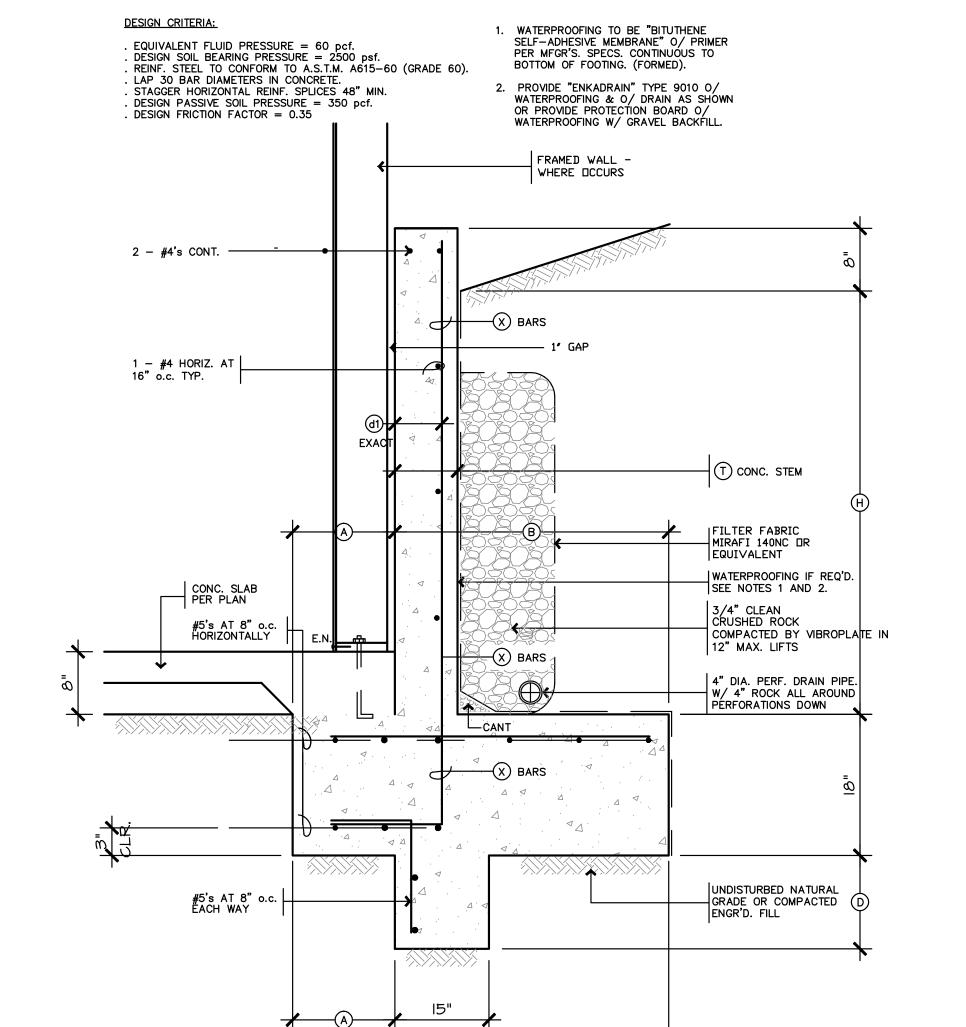
THE FOUNDATION DESIGN IS ONE WHICH IS BASED UPON STABLE, DRY, NON-EXPANSIVE / NON-FILL TYPE MATERIAL ANY CONDITION WHICH DEVIATES FROM THIS, BY OBSERVATION, THE CONTRACTOR SHALL REQUIRE THAT THE SOIL BE EVALUATED FOR SOIL STRENGTH, INCLUDING THE EFFECTS OF MOISTURE VARIATION, SOIL BEARING CAPACITY, COMPRESSIBILITY, LIQUEFACTION AND EXPANSIVENESS.

WIDE WASHERS.

0

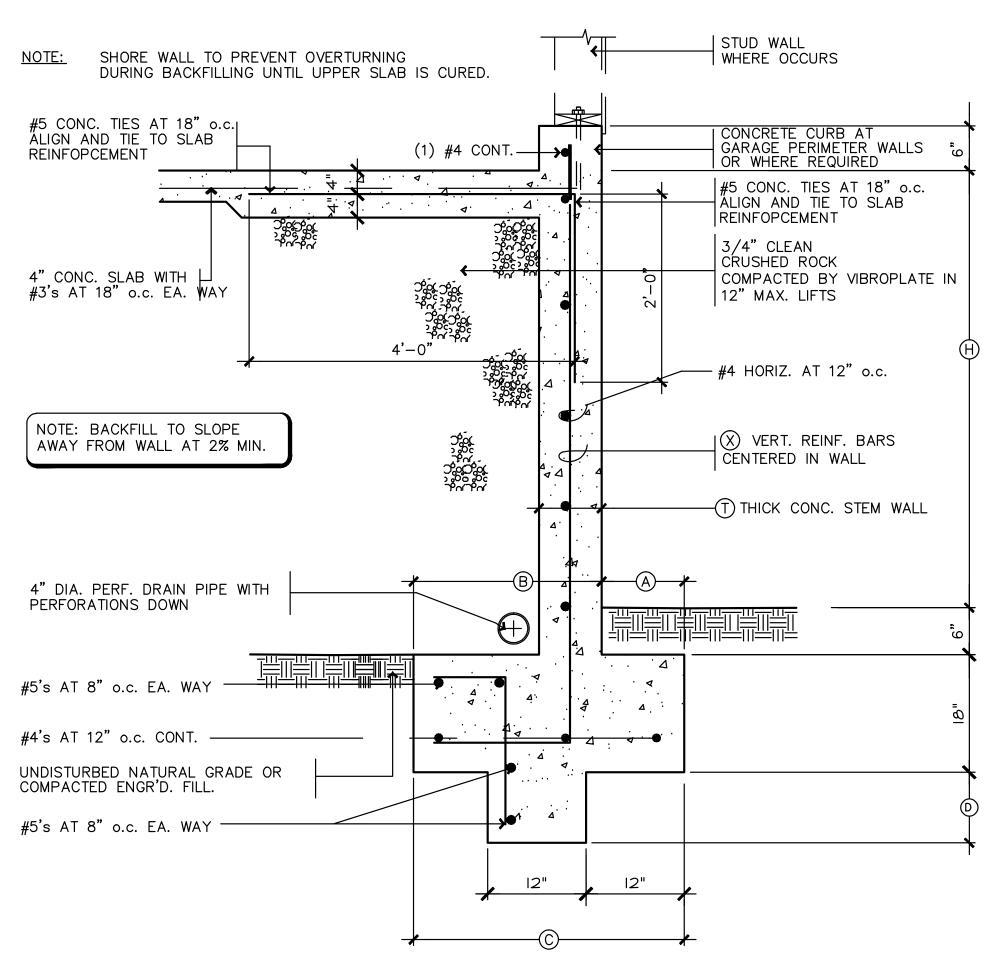






H DENOTES MAX. STEM WALL HEIGHT	X BARS	A	В	0	(0)	Ţ	d 1
6'-0" - 7'-0"	#5 VERT. AT 8" o.c.	1'-8"	3'-6"	5'-2"	14"	8"	6.19"
4'-0" - 6'-0"	#5 VERT. AT 10" o.c.	1'-8"	2'-6"	4'-2"	12"	8"	6.19"
0 - 4'-0"	#4 VERT. AT 12" o.c.	1'-2"	1'-10"	3'-0"		8"	6.25"

RETAINING MALL DETAIL



H MAX. WALL HEIGHT	X BARS	(A)	B	0	((\vdash)
7'-0" - 9'-0"	#6 VERT. AT 8" o.c.	2'-0"	3'-0"	5'-0"	28"	8"
5'-0" - 7'-0"	#5 VERT. AT 6" o.c.	2'-0"	2'-0"	4'-0"	20"	8"
3'-0" - 5'-0"	#5 VERT. AT 8" o.c.	1'-4"	1'-8"	3'-0"	14"	8"
3'-0"	#5 VERT. AT 12" o.c.	1'-0"	1'-3"	2'-3"	6"	8"

RESIRAINING MALL DE

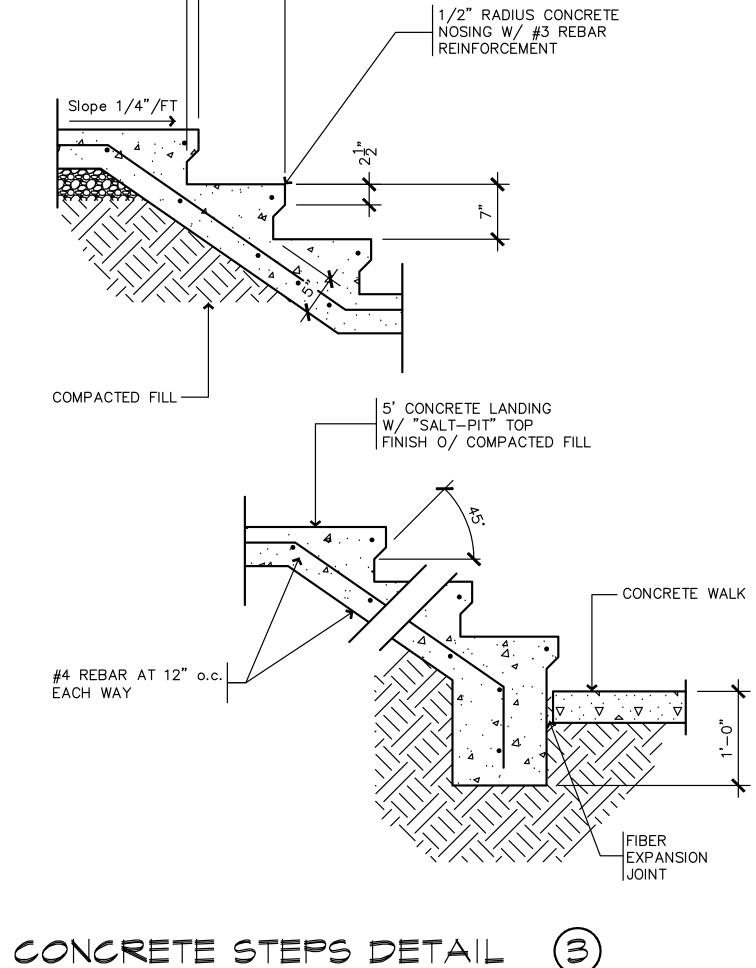
4

VERSION:
DEC. 2023

SCALE:
N.T.S.

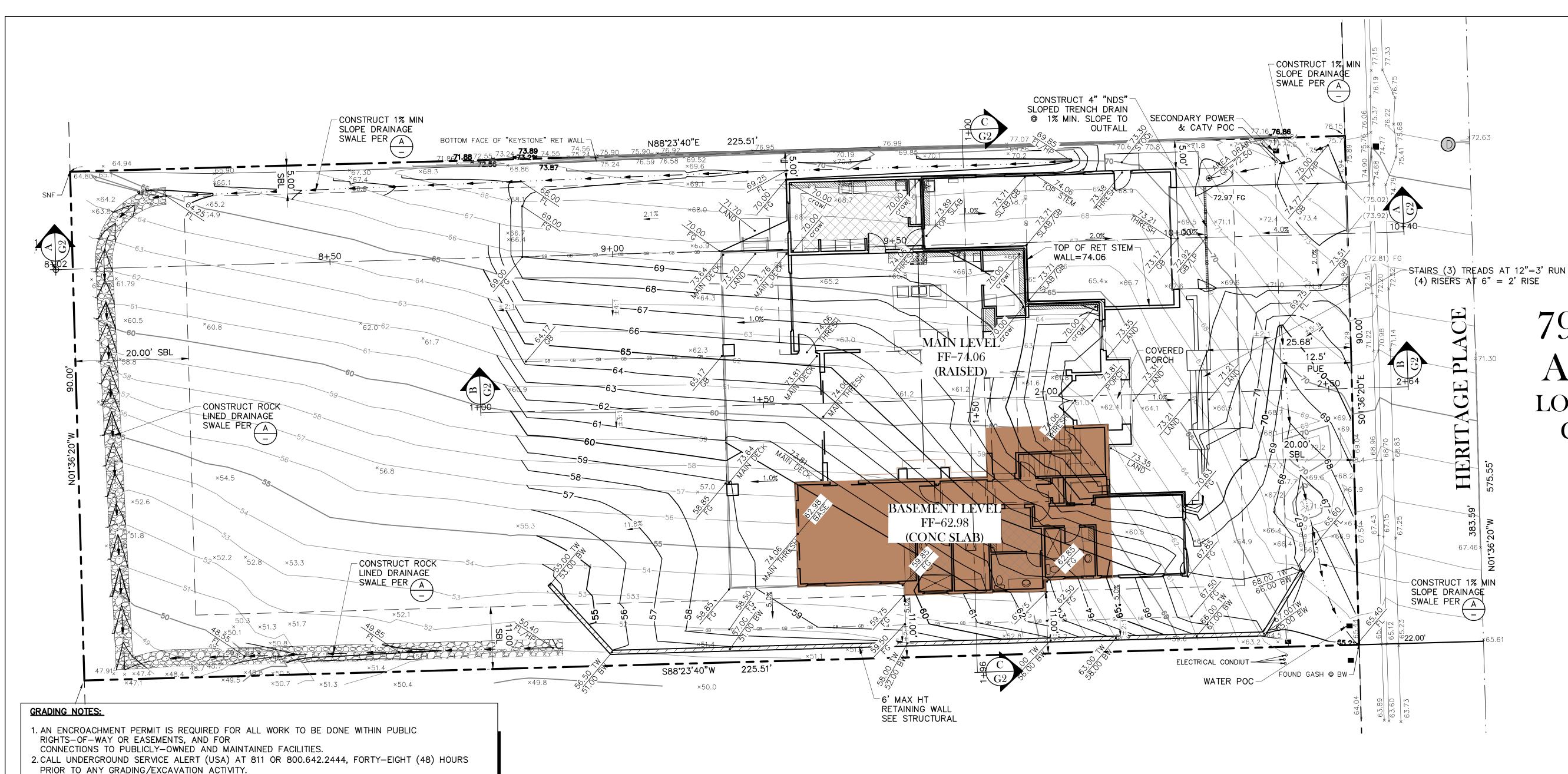
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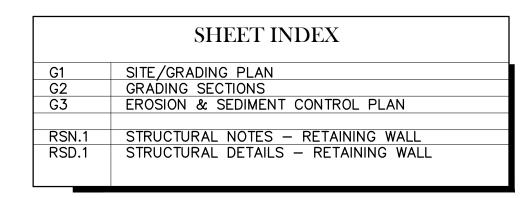


DETAIL	3		A			
			\\\\	STUD V WHERE	VALL OCCURS	
	ALL TO PREVENT OVERTURNING BACKFILLING UNTIL UPPER SLAB	IS CURED.		, (X) VEF	IZ. AT 12" o.c. RT. REINF. BARS RED IN WALL	
#5 CONC. TIES AT ALIGN AND TIE TO REINFOPCEMENT	18" o.c. SLAB	4 . 4	4 4		IC. TIES AT 18" o.c.	
4" CONC. SLAB WI #3's AT 18" o.c. E	TH LA. WAY	→ → → → → → → → → → → → → → → → → → →		REINFOR 3/4" C CRUSHE COMPA	AND TIE TO SLAB PCEMENT LEAN ED ROCK CTED BY VIBROPLATE X. LIFTS	: 1
NOTE: BACKFILL AWAY FROM WALL		2. 2. 2. 2. 2. 2. 2. 2. 2. 2. 2. 2. 2. 2		✓ VEF	IZ. AT 12" o.c. RT. REINF. BARS RED IN WALL K CONC. STEM WALL	
4" DIA. PERF. DRA PERFORATIONS DO	NN PIPE WITH -				3	
#5's AT 8" o.c. EA #4's AT 12" o.c. CO UNDISTURBED NATU COMPACTED ENGR'D #5's AT 8" o.c. EA	ONT. ————————————————————————————————————					_
	_		12" <i>(</i>			
H MAX. WALL HEIGHT	X BARS #6 VERT. AT 8" o.c.	A		© T 28" 8"		

H MAX. WALL HEIGHT	X BARS	A	В	0	0	T
7'-0" - 9'-0"	#6 VERT. AT 8" o.c.	2'-0"	3'-0"	5'-0"	28"	8"
5'-0" - 7'-0"	#5 VERT. AT 6" o.c.	2'-0"	2'-0"	4'-0"	20"	8"
3'-0" - 5'-0"	#5 VERT. AT 8" o.c.	1'-4"	1'-8"	3'-0"	14"	8"
3'-0"	#5 VERT. AT 12" o.c.	1'-0"	1'-3"	2'-3"	6"	8"



SITE/GRADING PLAN 791 HERITAGE PLACE APN: 072-2170-018-0000 LOT 38 - EMPIRE RANCH VILLAGE 48 CITY OF FOLSOM, CALIFORNIA



RAVI & AMRIK SINGH OWNER/APPLICANT 14420 BEVAN STREET SLOUGHHOUSE, CA 95683 PHONE: (916) 600-4355 EMAIL: ravisingh011@yahoo.com

ADDITIONAL GRADING NOTES:

3. THE OWNER/CONTRACTOR SHALL NOTIFY CITY OF FOLSOM CONSTRUCTION INSPECTION SERVICES AT 916.355.7210, TWENTY-FOUR(24) HOURS PRIOR TO COMMENCEMENT OF ANY GRADING. 4. CONTRACTOR SHALL OBTAIN AN APPROVED WATER METER FROM THE CITY AT THE OWNER'S

5. ALL REFERENCES TO "STANDARD SPECIFICATIONS" SHALL MEAN THE LATEST EDITION OF THE CITY

OF FOLSOM STANDARD CONSTRUCTION SPECIFICATIONS AND DESIGN AND PROCEDURES MANUAL.

7. CLEARING AND GRUBBING SHALL CONFORM TO THE PROVISIONS OF SECTION 9.1 OF THE

8. ALL EXCAVATION, EMBANKMENT, BACKFILL, ETC., SHALL CONFORM TO THE PROVISIONS IN

9. CUSTOM HOMES AND/OR SWIMMING POOLS SHALL BE CHALKED OUT ON THE GROUND AND ALL

10. NO WORK SHALL BE DONE UNDER OR WITHIN THE TREE PROTECTION ZONE (TPZ) OF ANY

EROSION CONTROL PLANS SHALL BE SUBMITTED TO THE CITY OF FOLSOM, COMMUNITY

12. THERE SHALL BE NO TRESPASSING OF ANY KIND INTO PUBLIC OR PRIVATE OPEN SPACE

13. ALL GRADING SHALL BE DONE IN ACCORDANCE WITH THE GEOTECHNICAL REPORT JOB NO. E02059.036 FOR EMPIRE RANCH VILLAGES 32, 34-36 PROVIDED BY: YOUNGDAHL ENGINEERING

14. ALL GRADING INCLUDING COMPACTION, EXCAVATION, PLACEMENT OF FILL MATEWRIALS ETC.,

OBSERVATION'S MADE DURING EARTHWORK OPERATIONS, SIGNED AND STAMPED BY A LICENSED

INSPECTION. IT SHALL BE THE DUTY OF THE PERMIT HOLDER TO PROVIDE ACCESS TO AND

SHALL REMAIN ACCÈSSESSIBLE AND EXPOSED FOR INSPECTION PURPOSES UNTIL APPROVED.

APPROVAL OF A VIOLATION OF THE PROVISIONS OF THIS CODE OR OTHER ORDINANCES OF

THE JURISDICTION. INSPECTIONS PRESUMING TO GIVE AUTHORITY TO VIOLATE OR CANCEL

NOT BE VALID. IT SHALL BE THE DUTY OF THE PERMIT APPLICANT TO CAUSE THE WORK TO REMAIN ACCESSIBLE AND EXPOSED FOR INSPECTION PURPOSES. NEITHER THE BUILDING

REMOVAL OR PLACEMENT OF ANY MATERIAL REQUIRED TO ALLOW INSPECTION. 2016 C.R.C.

THE PROVISIONS IT THIS CODE OR OF OTHER ORDINANCES OF THE JURISDICTION SHALL

ALL CONSTRUCTION WORK SHALL BE SUBJECTED TO INSPECTION BY THE CITY OF FOLSOM

BUILDING OFFICIAL (OR HIS/HER REPRESENTATIVES) AND SUCH CONSTRUCTION OR WORK

APPROVAL AS A RESULT OF AN INSPECTION SHALL NOT BE CONSTRUED TO BE AN

OFFICIAL NOR THE JURISDICTION SHALL BE LIABLE FOR EXPENSES ENTAILED IN THE

GEOTECHNICAL ENGINEER, PRIOR TO ISSUANCE OF A BUILDING PERMIT FOR THE STRUCTURE. RECOMMENDATIONS PROVIDED IN THE GRADING REPORT SHALL BE COMPLETED PRIOR TO ANY

15. THE OWNER/CONTRACTOR SHALL PROVIDE A GRADING REPORT CONSISTING OF THE

A. IT SHALL BE THE DUTY OF THE HOLDER OF THE BUILDING PERMIT OR THEIR DULY AUTHORIZED AGENT TO NOTIFY THE BUILDING OFFICIAL WHEN WORK IS READY FOR

MEANS FOR INSPECTIONS OF SAID WORK THAT ARE REQUIRED BY THIS CODE.

OAK TREES SHALL BE FENCED WITH HIGH VISIBILITY FENCING BEFORE THE PRE-SITE INSPECTION

11. GRADING ACTIVITIES SHALL IMPLEMENT EROSION AND DUST CONTROL MEASURES AT ALL TIMES.

6.DRAINAGE SWALES ARE TO BE CONSTRUCTED PER CITY STANDARD DETAIL.

SHALL BE DONE UNDER THE DIRECTION OF A GEOTECHNICAL ENGINEER.

SECTION 9.2, "EXCAVATION," OF THE STANDARD SPECIFICATIONS.

DEVELOPMENT DEPARTMENT FOR REVIEW AND APPROVAL.

EXISTING TREE WITHOUT A VALID TREE PERMIT.

STANDARD SPECIFICATIONS.

GROUP, AND DATED: APRIL 2004.

STRUCTURAL IMPROVEMENTS.

INSPECTIONS

SECTION R109.

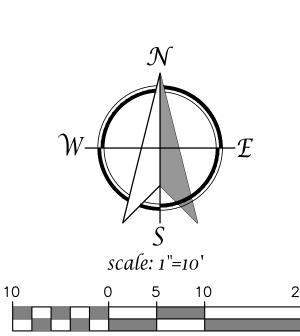
IS SCHEDULED.

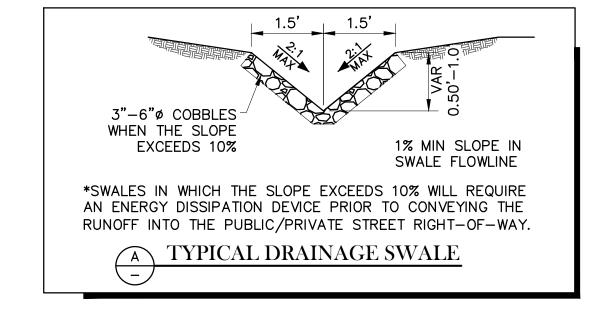
- 1. COMPACTION TEST REQUIRED ON ALL FILL AREAS.
- 2. CALL U.S.A. AT 1-800-642-2444 PRIOR TO EXCAVATION.
- 3. ROCK LINE ANY SWALES STEEPER THAN 10%.
- 4. CONTRACTOR TO VERIFY BUILDING STRUCTURAL SECTION PRIOR TO CONSTRUCTION.

RETAINING WALL NOTES:

- 1. RETAINING WALLS SHOWN HEREON ARE FOR INFORMATION ONLY AND NOT CONSTRUCTED UNDER THIS PERMIT. SAID WALLS SHALL BE CONSTRUCTED UNDER SEPARATE PERMIT
- 2. NO PART OF THE ROCKERY WALL CONSTRUCTION, INCLUDING FOOTING AND DRAINAGE SYSTEM, WILL EXTEND OVER THE PROPERTY
- 3. REFER TO ROCKERY DESIGN AND CONSTRUCTION GUIDELINES BY FHWA OR ASCE.

\mathbf{A}^{-}	BBR	REVIATIONS	
AGGREGATE BASE ASPHALTIC CONCRETE PAVEMENT BOTTOM OF WALL	AB AC BW CL	PORTLAND CEMENT CONCRETE PROPERTY LINE POINT OF CONNECTION PUBLIC UTILITY EASEMENT RADIUS RIGHT OF WAY STORM DRAIN CLEAN OUT STORM DRAIN MANHOLE SANITARY SEWER CLEAN OUT	R ROW (R/W) SDCO SDMH SSCO







SITE/GRADING PLAN 791 HERITAGE PLACE MARCH 25, 2024

WORK SHALL BE INSTALLED IN ACCORDANCE WITH THE APPROVED CONSTRUCTION DOCUMENTS, AND ANY CHANGES MADE DURING CONSTRUCTION THAT ARE NOT IN COMPLIANCE WITH THE APPROVED CONSTRUCTION DOCUMENTS SHALL BE RESUBMITTED FOR APPROVAL AS AN AMENDED SET OF CONSTRUCTION DOCUMENTS.

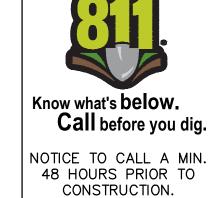
TOPOGRAPHIC SURVEY

TOPOGRAPHIC SURVEY HAS BEEN GENERATED FROM FIELD SURVEY PERFORMED BY TSD ENGINEERING INC., DATED DECEMBER 18, 2023. CONTRACTOR TO VERIFY EXISTING GRADES PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER OF ANY CONFLICTS.

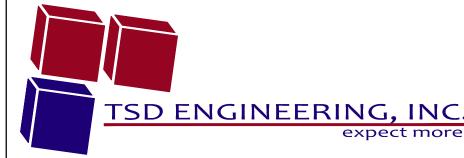
EARTHWORK QUANTITIES:

 $CUT - \pm 37 CY$ FILL - ± 1681 CY NET - \pm 1644 CY (IMPORT)

AREA OF IMPACT - \pm 13,038 SF=0.29 Ac RAW NUMBERS, NO SHRINKAGE OR SWELL WAS ACCOUNTED FOR.

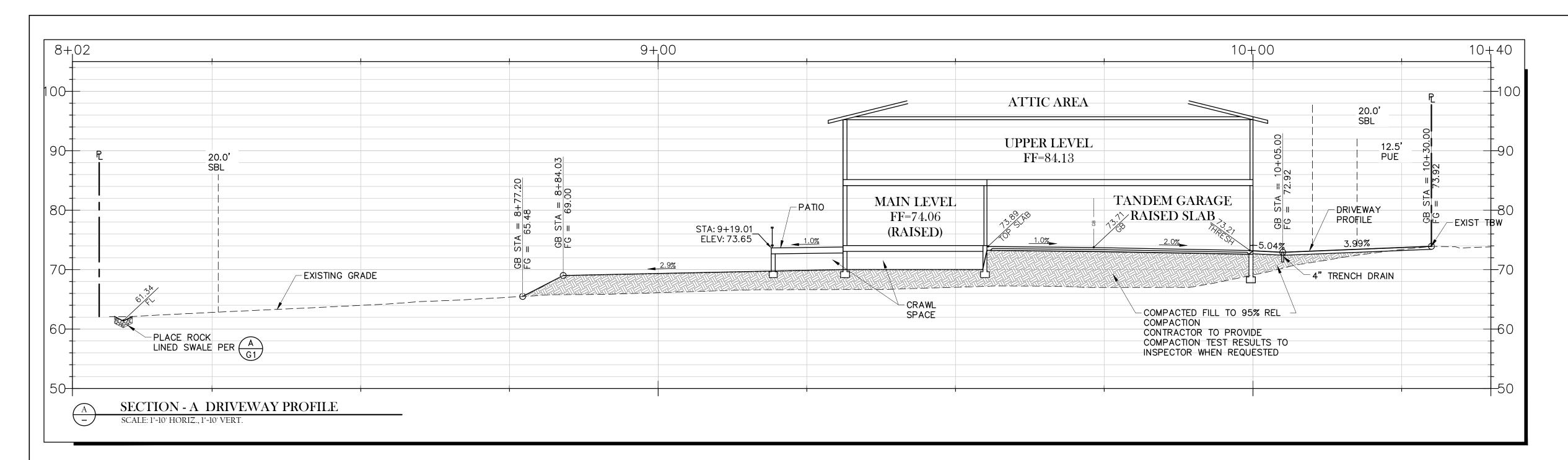


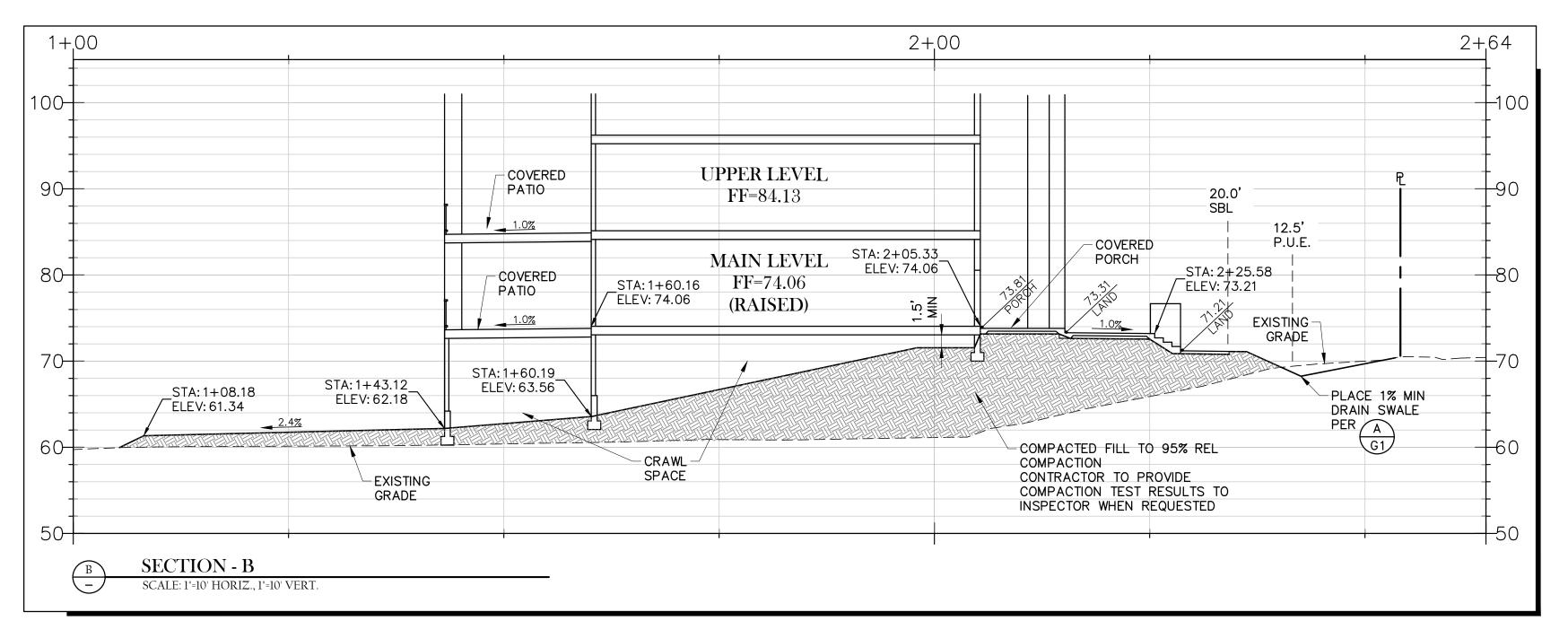


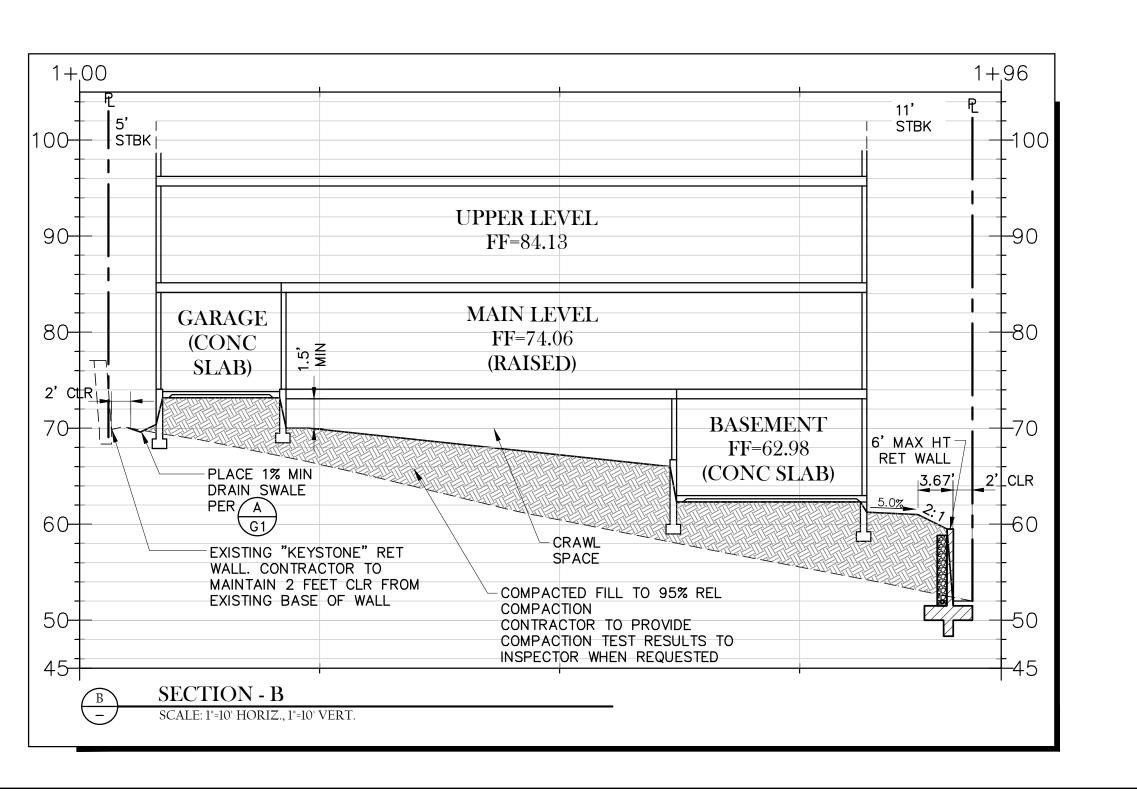


785 Orchard Drive, Suite #110 Folsom, CA 95630 Phone: (916) 608-0707 Fax: (916) 608-0701

AMENDED CONSTRUCTION DOCUMENTS







791 HERITAGE PLACE APN: 072-2170-018-0000 LOT 38 - EMPIRE RANCH VILLAGE 48 CITY OF FOLSOM, CALIFORNIA

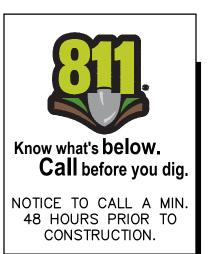
RAVI & AMRIK SINGH
OWNER/APPLICANT
14420 BEVAN STREET
SLOUGHHOUSE, CA 95683
PHONE: (916) 600-4355
EMAIL: ravisingh011@yahoo.com

ADDITIONAL GRADING NOTES:

- 1. COMPACTION TEST REQUIRED ON ALL FILL AREAS.
- 2. CALL U.S.A. AT 1-800-642-2444 PRIOR TO EXCAVATION.
- 3. ROCK LINE ANY SWALES STEEPER THAN 10%.
- 4. CONTRACTOR TO VERIFY BUILDING STRUCTURAL SECTION W/ GEOTECH REPORT AND ARCHITECTS PLANS PRIOR TO GRADING.



SITE SECTIONS 791 HERITAGE PLACE MARCH 25, 2024





785 Orchard Drive, Suite #110 Folsom, CA 95630 Phone: (916) 608-0707 Fax: (916) 608-0701

SHEET G2/3



CUSTOM HOME EROSION AND SEDIMENT CONTROL NOTES I. THE PROJECT SHALL CONFORM TO THE FOLSOM MUNICIPAL CODE (FMC) FOR PROTECTION OF SURFACE WATERS AND URBAN RUN-OFF. IN ADDITION, SITES OF ONE ACRE OR MORE SHALL COMPLY WITH THE STATE'S NPDES GENERAL CONSTRUCTION PERMIT.

- 2. THE PROJECT OWNER SHALL DESIGNATE AN EROSION AND SEDIMENT CONTROL (ESC) MANAGER WHO SHALL PROVIDE THEIR NAME, PHONE NUMBER, AND E-MAIL ADDRESS TO THE PUBLIC WORKS STORMWATER QUALITY MANAGER OR THE DESIGNATED CITY INSPECTOR. CHANGES TO THE ESC MANAGER'S CONTACT INFORMATION SHALL PROMPTLY BE REPORTED TO THE PUBLIC WORKS STORMWATER QUALITY MANAGER. THE ESC MANAGER SHALL BE RESPONSIBLE FOR ALL PROJECT PERSONNEL INCLUDING SUBCONTRACTORS AND MATERIAL SUPPLIERS.
- 3. THE ESC MANAGER SHALL INSPECT AND MAKE NECESSARY CORRECTIONS AND ADJUSTMENTS TO THE STORMWATER CONTROLS ON THE FOLLOWING SCHEDULE: 1) WEEKLY, 2) 48 HOURS PRIOR TO A STORM EVENT PREDICTED BY THE NATIONAL OCEANIC ATMOSPHERIC ADMINISTRATION TO EXCEED 0.10 INCH, 3) DURING A STORM EVENT EXCEEDING 0.10 INCH AND 4) WITHIN 48 HOURS AFTER A STORM EVENT EXCEEDING 0.10 INCH.
- 4.BEST MANAGEMENT PRACTICES (BMPS) DESCRIBED HEREIN AND ON THE APPROVED EROSION CONTROL PLAN ARE THE MINIMUM REQUIRED BMPS TO BE IMPLEMENTED AND MAINTAINED ON THE CONSTRUCTION SITE YEAR ROUND IN ORDER TO COMPLY WITH CHAPTER 8.70 OF THE FMC.ADDITIONAL MEASURES MAY BE REQUIRED AS SITE CONDITIONS DICTATE, THROUGHOUT THE COURSE OF THE WORK, TO ENSURE THAT WATER QUALITY RUN-OFF INTO CITY DRAINAGE FACILITIES IS PROTECTED.
- 5. SEDIMENT CONTROL BMPS SHALL BE INSTALLED AND MAINTAINED YEAR ROUND AND AT A MINIMUM SHALL INCLUDE PERIMETER CONTROLS, DRAIN INLET PROTECTION, AND STABILIZED ACCESS. PUBLIC STREETS AND SIDEWALKS SHALL BE SWEPT DAILY WHEN VEHICLES ARE ACCESSING THE SITE. WASHING THE STREET SHALL NOT BE PERMITTED UNLESS OTHERWISE APPROVED BY THE CITY. 5. THE CONTRACTOR SHALL ANTICIPATE AND ACCOMMODATE ANY RUN-ON FROM NEIGHBORING
- PROPERTIES, INCLUDING EXISTING WATER COURSES. EXISTING WATER COURSES SHALL BE MAINTAINED IN THEIR ORIGINAL CONDITION, EXCEPT WHERE MODIFICATIONS ARE APPROVED BY THE CITY.
- 7. ALL AREAS DISTURBED DURING CONSTRUCTION SHALL BE PROTECTED FROM EROSION DURING THE WET SEASON. HYDROSEED, IF USED, SHALL BE PLACED ON OR BEFORE SEPTEMBER 15TH. HYDROSEED PLACED AFTER SEPTEMBER 15TH SHALL BE USED WITH A SECONDARY PROTECTION METHOD SUCH AS A MAT OR BLANKET SPECIFICALLY DESIGNED TO FACILITATE GERMINATION AND GROWTH.
- B.PROTECTED AREAS SHALL BE PROTECTED WITH ORANGE CONSTRUCTION FENCING. ADDITIONAL SIGNAGE MAY BE REQUIRED TO IDENTIFY THE RESOURCE BEING PROTECTED AND/OR PROVIDE ADDITIONAL INSTRUCTIONS TO CONSTRUCTION PERSONNEL.
- 9.CEMENTITIOUS, PAINT, WASTE, AND HAZARDOUS MATERIALS SHALL BE HANDLED, COVERED, AND/OR STORED PROPERLY TO AVOID SPILLS, LEAKAGE, AND CONTACT WITH RAIN OR STORMWATER RUNOFF. 10. UPON COMPLETION OF THE PROJECT, ALL BMP'S SHALL BE REMOVED ONCE LANDSCAPING IS INSTALLED AND FUNCTIONING TO THE SATISFACTION OF THE CITY.
- 11. VIOLATIONS OF THE FMC 8.70 MAY RESULT IN STOP WORK NOTICES, FINES, AND/OR DELAY IN CITY INSPECTIONS OF THE PROJECT IMPROVEMENTS.

EROSION AND SEDIMENT CONTROL MEASURES		PHASE OF	= CONSTRU	CTION
	PRE-GRADING (CLEARING)	CUT & FILL ACTIVITIES	GRADING OF PADS	COMPLETION OF SITE IMPROVEMENTS
SCHEDULING REFERENCE CALIFORNIA STORMWATER QUALITY ASSOCIATION IMPROVEMENT STANDARDS SECTION EC-1 EROSION AND SEDIMENT CONTROL.	×	×	×	×
HYDROSEEDING REFERENCE CALIFORNIA STORMWATER QUALITY ASSOCIATION IMPROVEMENT STANDARDS SECTION EC-3, EC-4 EROSION AND SEDIMENT CONTROL.		×		
WATER CONSERVATION PRACTICES REFERENCE CALIFORNIA STORMWATER QUALITY ASSOCIATION IMPROVEMENT STANDARDS SECTION NS-1 EROSION AND SEDIMENT CONTROL.	×	×	×	×
STABILIZED CONSTRUCTION ACCESS ALL CONTRACTORS AND SUBCONTRACTORS MUST ESTABLISH STABILIZED AND APPROVED DISCHARGE POINTS (INLETS & OUTLETS) PRIOR TO ONSET OF CONSTRUCTION. (REFERENCE CASQA SECTION EC-10).	×	×	×	×
DUST CONTROL DUST CONTROL SHALL BE MAINTAINED BY WATER TRUCK.	×	×	×	
FIBER ROLLS REFERENCE CALIFORNIA STORMWATER QUALITY ASSOCIATION IMPROVEMENT STANDARDS SECTION SE-5 EROSION AND SEDIMENT CONTROL.	×	×	×	
STORM DRAIN INLET PROTECTION/ INLET SEDIMENT CONTROL BARRIER REFERENCE CALIFORNIA STORMWATER QUALITY ASSOCIATION IMPROVEMENT STANDARDS SECTION SE-10 EROSION AND SEDIMENT CONTROL.	×	×	×	
EQUIPMENT STAGING AREA CONTRACTOR TO ESTABLISH AREA FOR EQUIPMENT/VEHICLE STORAGE AND VEHICLE/EQUIPMENT MAINTENANCE, FUELING AND WASHING.	×	×	×	
MATERIAL STORAGE AREA CONTRACTOR TO ESTABLISH AREA FOR CONSTRUCTION MATERIAL AND DEBRIS/SOLID WASTE STOCKPILES. REFERENCE CALIFORNIA STORMWATER QUALITY ASSOCIATION IMPROVEMENT STANDARDS SECTION WM—3.	×	×	×	
STREET SWEEPING AND VACUUMING REFERENCE CALIFORNIA STORMWATER QUALITY ASSOCIATION IMPROVEMENT STANDARDS SECTION SE-7 EROSION AND SEDIMENT CONTROL.	×	×	×	

EARTHWORK QUANTITIES:

 $CUT - \pm 37 CY$ FILL - ± 1681 CY NET - \pm 1644 CY (IMPORT)

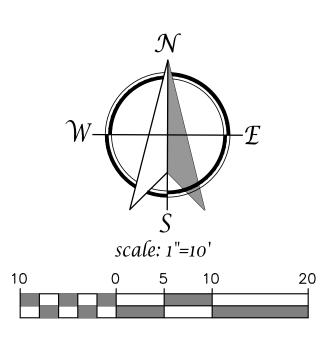
AREA OF IMPACT - \pm 13,038 SF=0.29 Ac RAW NUMBERS, NO SHRINKAGE OR SWELL WAS ACCOUNTED FOR.

RAVI & AMRIK SINGH OWNER/APPLICANT 14420 BEVAN STREET SLOUGHHOUSE, CA 95683 PHONE: (916) 600-4355 EMAIL: ravisingh011@yahoo.com

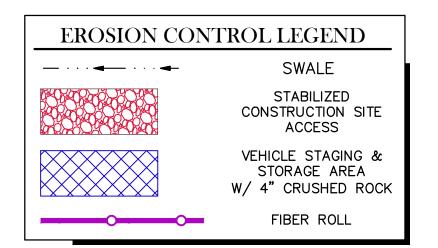
FIBER ROLL

BMP MAINTENANCE SCHEDULE:

- THE BMP INSPECTOR SHOULD INSPECT THE SITE ON A WEEKLY BASIS, AND BEFORE, DURING, AND AFTER ANY STORM GENERATING RUNOFF TO DETERMINE MAINTENANCE REQUIREMENTS AND GENERAL CONDITIONS OF THE INSTALLED SYSTEM. THE LOCAL AGENCY MAY ALSO INSPECT THE SITE ON A ROUTINE BASIS TO ASSESS THE MAINTENANCE PERFORMED ON THE SYSTEMS. ALL MAINTENANCE RELATED TO A STORM EVENT SHOULD BE COMPLETED WITHIN FORTY-EIGHT (48) HOURS OF THE STORM EVENT. THE FOLLOWING MAINTENANCE TASKS SHOULD BE PERFORMED ON A REGULAR BASIS:
- A. REMOVAL OF SEDIMENT FROM BARRIERS AND
- SEDIMENTATION DEVICES. B. REPLACEMENT OR REPAIR OF WORN OR DAMAGED SILT FENCE FABRICS.
- C. REPLACEMENT OR REPAIR OF DAMAGED STRUCTURAL CONTROLS. D. REPAIR OF DAMAGED SOIL STABILIZATION
- MEASURES. E. OTHER CONTROL MAINTENANCE AS DEFINED IN EACH BMP FACT SHEET.



EROSION CONTROL PLAN 791 HERITAGE PLACE APN: 072-2170-018-0000 LOT 38 - EMPIRE RANCH VILLAGE 48 CITY OF FOLSOM, CALIFORNIA



EROSION AND SEDIMENT CONTROL

- ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH THE CALIFORNIA STORMWATER QUALITY ASSOCIATION IMPROVEMENT STANDARDS FOR EROSION AND SEDIMENT CONTROL EXCEPT WHERE NOTED OTHERWISE.
- 2. EROSION & SEDIMENT CONTROL BMPs MUST BE IN PLACE DURING ALL TIMES OF CONSTRUCTION. APPROPRIATE AMOUNTS (DEPENDING ON SIZE & CONDITION OF SITE) EROSION & SEDIMENT CONTROL DEVICES (FIBER ROLL, GRAVEL BAGS, ETC.) SHALL BE AVAILABLE ON SITE, DURING THE REST OF THE YEAR (DRY-SEASON) AND SHALL BE IMPLEMENTED PRIOR TO ANY SIGNIFICANT STORM EVENT THAT WILL GENERATE 1/10 INCH OF RAIN OR MORE.
- 3. ALL DRAINAGE INLETS IMMEDIATELY DOWNSTREAM OF THE WORK AREAS AND WITHIN THE WORK AREAS SHALL BE PROTECTED WITH SEDIMENT CONTROL AND INLET FILTER BAGS, YEAR ROUND. INLET FILTER BAGS SHALL BE REMOVED FROM THE DRAINAGE INLETS UPON ACCEPTANCE OF THE IMPROVEMENTS BY THE CITY OF FOLSOM.
- 4. ALL STABILIZED CONSTRUCTION ACCESS LOCATIONS SHALL BE CONSTRUCTED PER CASQA TR-1, TR-2, TR-3, WHERE CONSTRUCTION TRAFFIC ENTERS OR LEAVES PAVED AREAS. THE STABILIZED ACCESS SHALL BE MAINTAINED ON A YEAR ROUND BASIS UNTIL THE COMPLETION OF CONSTRUCTION. DIMENSIONS HAVE BEEN REDUCED PER LOT SIZE CONSIDERATIONS.
- ALL AREAS DISTURBED DURING CONSTRUCTION, BY GRADING, TRENCHING, OR OTHER ACTIVITIES, SHALL BE PROTECTED FROM EROSION DURING CONSTRUCTION. HYDROSEED PLACED IMMEDIATELY PRIOR TO ANY RAIN EVENT SHALL USE A SECONDARY EROSION PROTECTION METHOD.

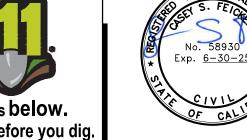
EROSION CONTROL PLAN 791 HERITAGE PLACE MARCH 25, 2024



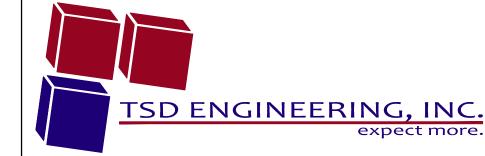
NOTICE TO CALL A MIN.

48 HOURS PRIOR TO

CONSTRUCTION.



SHEET



785 Orchard Drive, Suite #110 Folsom, CA 95630 Phone: (916) 608-0707 Fax: (916) 608-0701

SINGH RESIDENCE

791 HERITAGE PLACE, FOLSOM LOT 38 -EMPIRE RANCH VILLAGE 48 HILLCREST

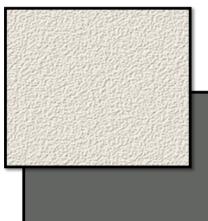


3/14/2024



ROOF COVERING

EAGLE ROOFING PRODUCTS PROFILE -BEL AIR COLOR - 295 DARK CHARCOAL



EXTERIOR STUCCO

OMEGA AKROFLEX COLOR -QUAKE 1C035 SEMI-SMOOTH FINISH LRV 56



FACIA & TRIM SHERWIN WILLIAMS SW 7068 GRIZZLE GRAY LRV 13



STONE VENEER

EL DORADO STONE EUROPEAN LEDGE COLOR -GLACIER



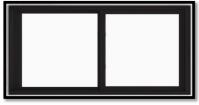
FRONT DOOR

PIVOT DOOR CO MENHA STAINED WOOD

GARAGE DOOR

ALUMINUM GLASS MODEL 8800





WINDOWS

ANDERSEN 100 SERIES COMPOSITE COLOR: BLACK