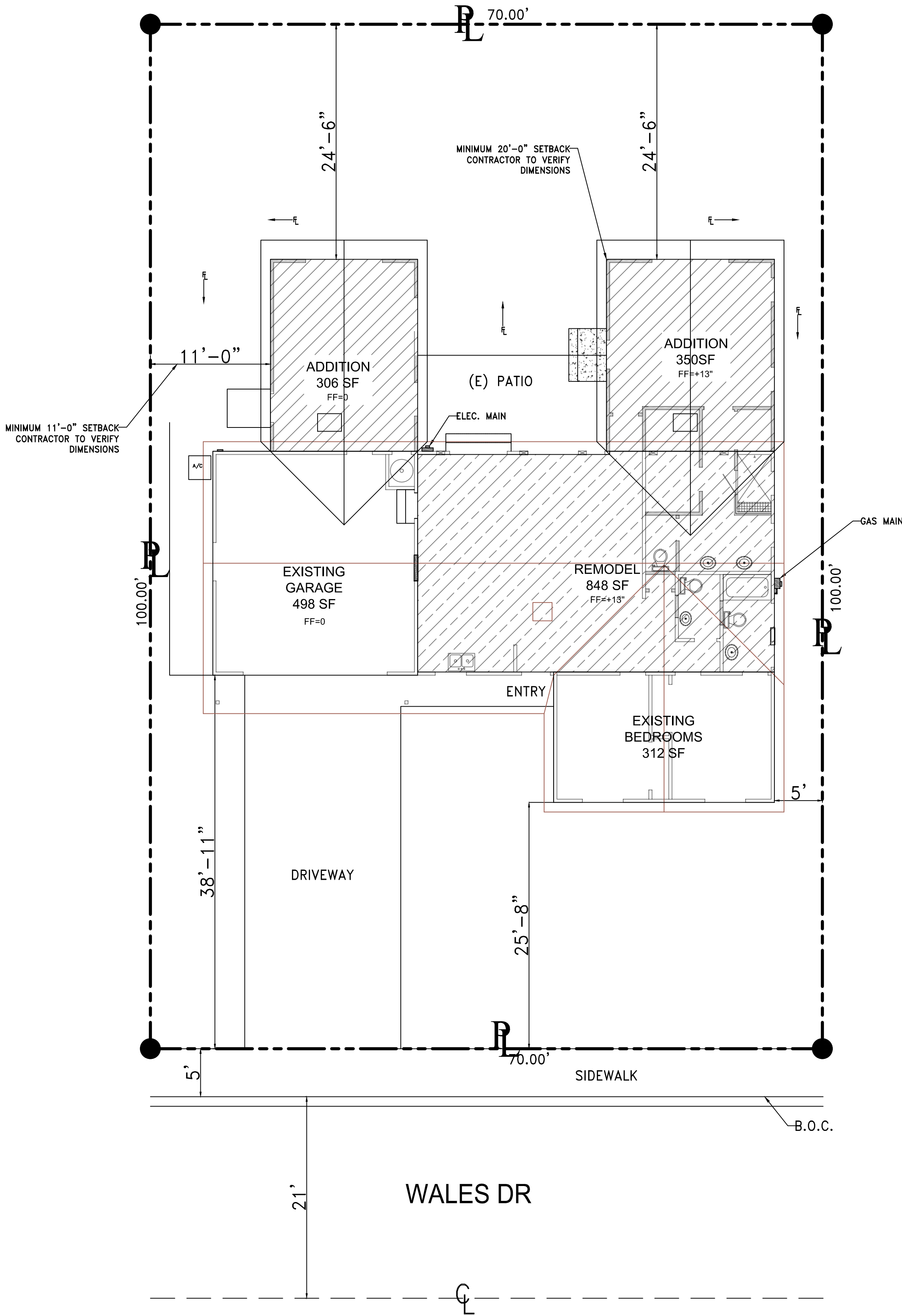


VICINITY MAP

SCALE: NTS



SITE PLAN

NOTE: CONTRACTOR TO FIELD VERIFY DIMENSIONS

SCALE 1/8" = 1'-0"

SCOPE OF WORK:

- RESIDENTIAL ADDITION AND REMODEL.
- DEMO EXISTING FIREPLACE AND INTERIOR PARTITION WALL BETWEEN KITCHEN AND LIVING ROOM
- BATHROOM REMODEL
- ADDITION OFF THE BACK OF HOUSE FOR A LARGER MASTER BEDROOM AND BATH
- ADDITION OFF THE BACK OF GARAGE FOR WORKSHOP

PROPERTY OWNER: ELLEN & MIKE MATHIS
PHONE: 1-916-769-3698
EMAIL: ILOVINJ@HOTMAIL.COM
ADDRESS: 604 WALES DR. FOLSOM, CA 95630

DESIGNER: AVIGNON DESIGN
BRANDON THATCHER
PHONE - 916-889-2700

CLIMATE ZONE: 12

PROPERTY INFORMATION:

- LOT #12
- STORIES: 1
- FIELD MAP NAME: NATOMAS HEIGHTS 03
- ZONE: R-1-M
- PARCEL AREA: 7000 SQ. FT / 0.16 AC
- BUILDING SQUARE FOOTAGE: 1,196

NOTE:
NO OAK TREES AND/OR CHANGE TO EXISTING OAK TREES

NOTE:
THIS PROJECT TO COMPLY WITH ALL CURRENT LOCAL & STATE LAWS & REGULATIONS.

ALSO TO COMPLY WITH THE FOLLOWING CODES:
CALIFORNIA RESIDENTIAL CODE 2019 EDITION
CALIFORNIA GREEN BLDG STDS 2019 EDITION
CALIFORNIA BUILDING CODE 2019 EDITION (2016 IBC)
CALIFORNIA FIRE CODE 2019 EDITION
CALIFORNIA PLUMBING CODE 2019 EDITION
CALIFORNIA ELECTRICAL CODE 2019 EDITION
CALIFORNIA MECHANICAL CODE 2019 EDITION
CALIFORNIA ENERGY CODE 2019 EDITION

SEE 2019 CALIFORNIA GREEN BUILDING STANDARDS CODE OF REGULATIONS, TITLE 24, PART 11 FOR CALGREEN REQUIREMENTS.

SQUARE FOOTAGE SUMMARY

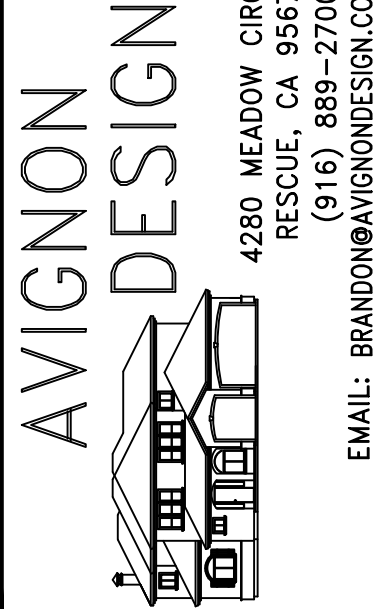
EXISTING DWELLING -	1,196 SF
GARAGE -	460 SF
REMODEL AREA -	848SF
ADDITION -	656 SF
TOTAL CONDITIONED SQUARE FEET =	1,852 SF

ABBREVIATION LEGEND:

ABV:	ABOVE
HD:	HEAD
HGT:	HEIGHT
HDR:	HEADER
TGL:	TEMPERED GLASS
CS:	CASEMENT WINDOW
WDW:	WINDOW
PL-HGT:	PLATE HEIGHT
(E):	EXISTING
(N):	NEW
SOD:	SLIDING GLASS DOOR
SC:	SOLID CORE

DRAWING INDEX

A-1	SITE/COVER SHEET
A-2.1	EXISTING AND DEMO PLAN
A-2.2	PROPOSED NEW FLOOR PLAN
A-3	FOUNDATION PLAN
A-4	ROOF FRAMING
A-5	EXTERIOR ELEVATIONS
A-6	SECTIONS
A-7	NOT USED
A-8	ELECTRICAL PLAN
A-9	GENERAL NOTES
EN-0	ENERGY COMPLIANCE REPORT
EN-1	ENERGY COMPLIANCE REPORT



MATHIS FAMILY REMODEL/ADDITION

604 WALES DR
FOLSOM, CA 95630
APN: 071-0121-010-0000

DATE	DESCRIPTION

DESIGNED BY:

DRAWN BY: BT

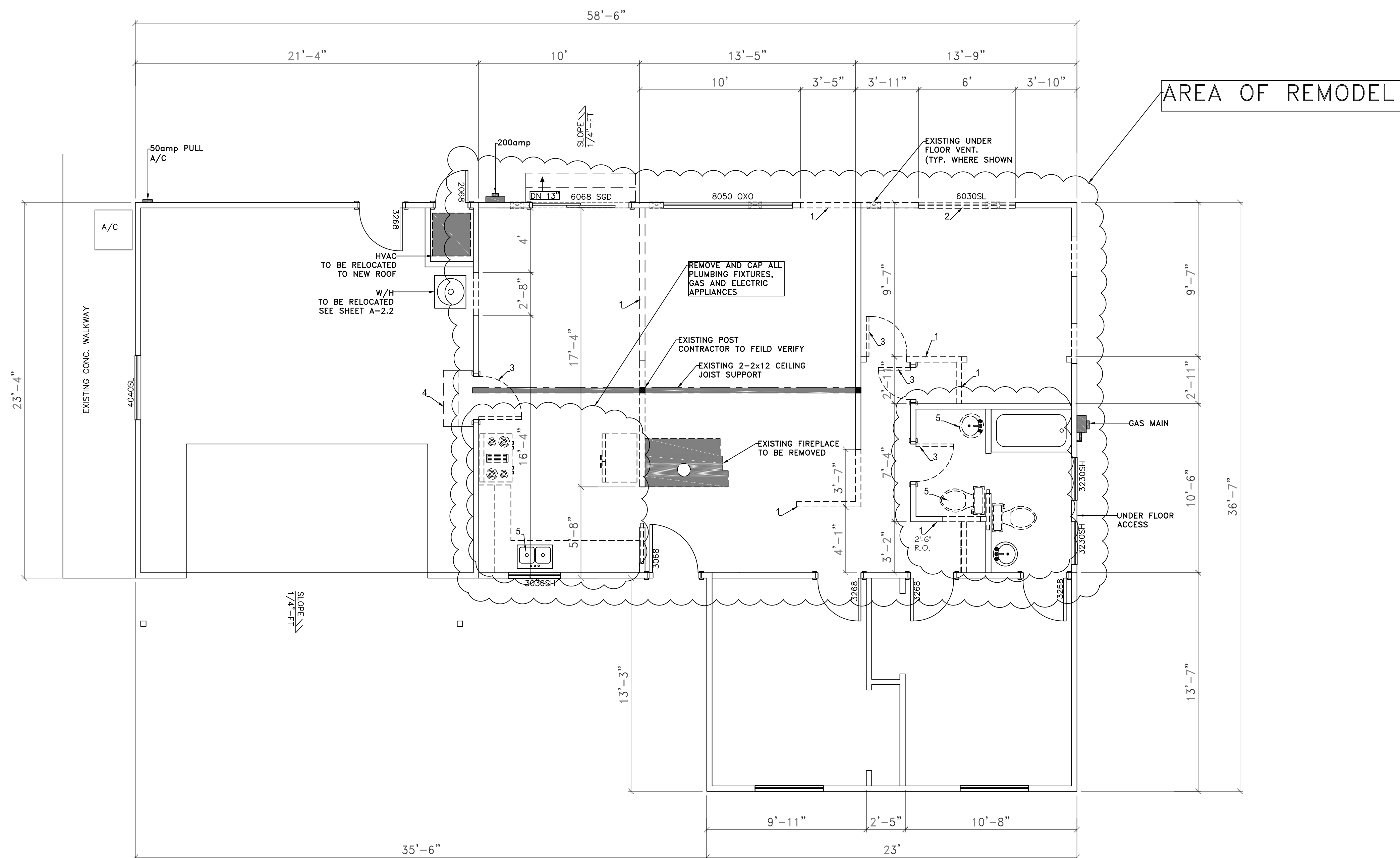
DATE: 3-17-22

PROJECT NO: 929

SITE PLAN

SHEET NO:

A-1



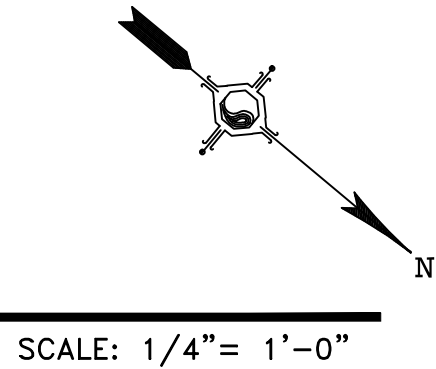
DESIGNED BY:

RAWN BY: BT

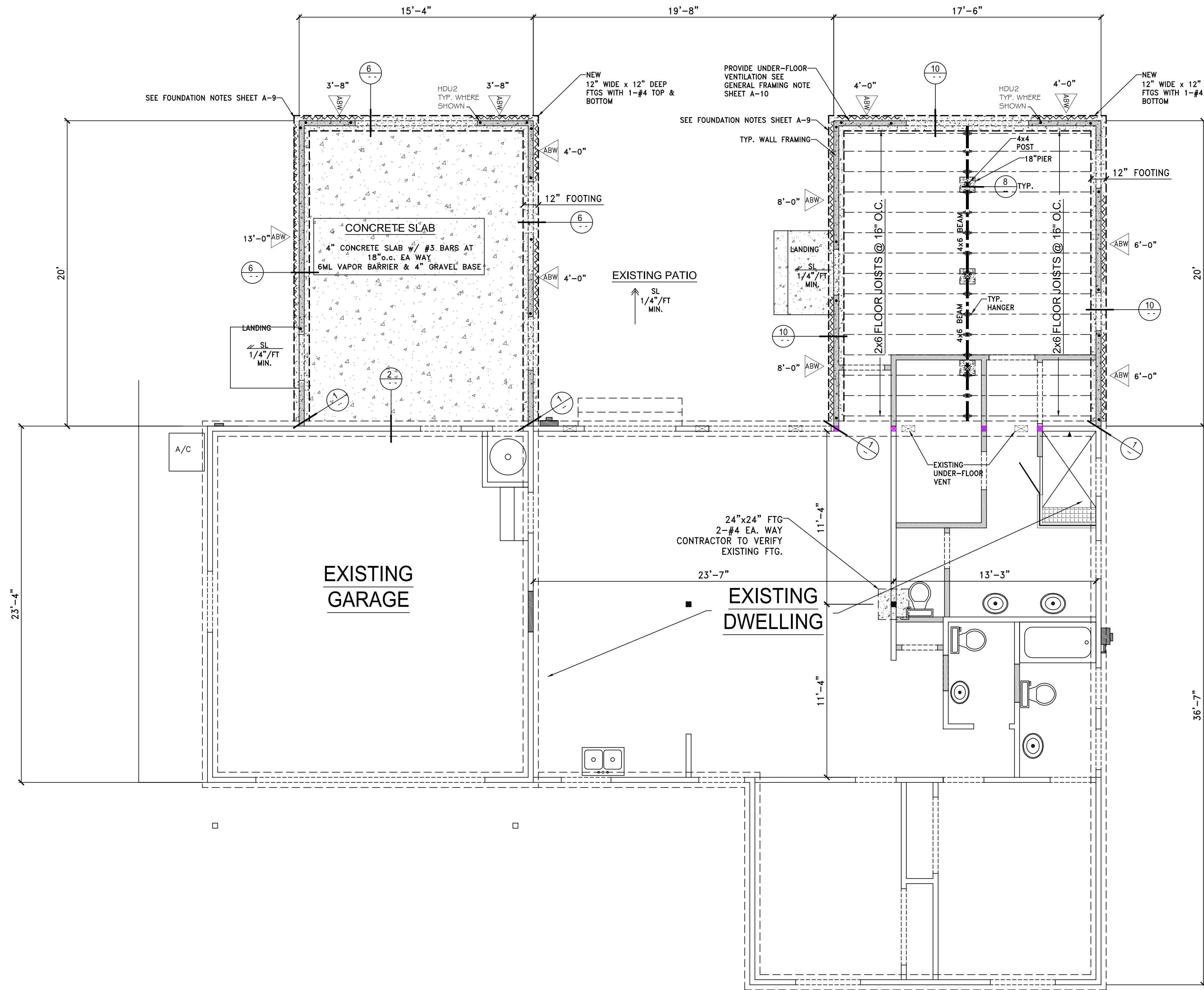
EXISTING
FLOOR PLAN
AND DEMO

SHEET NO:

A-2.1

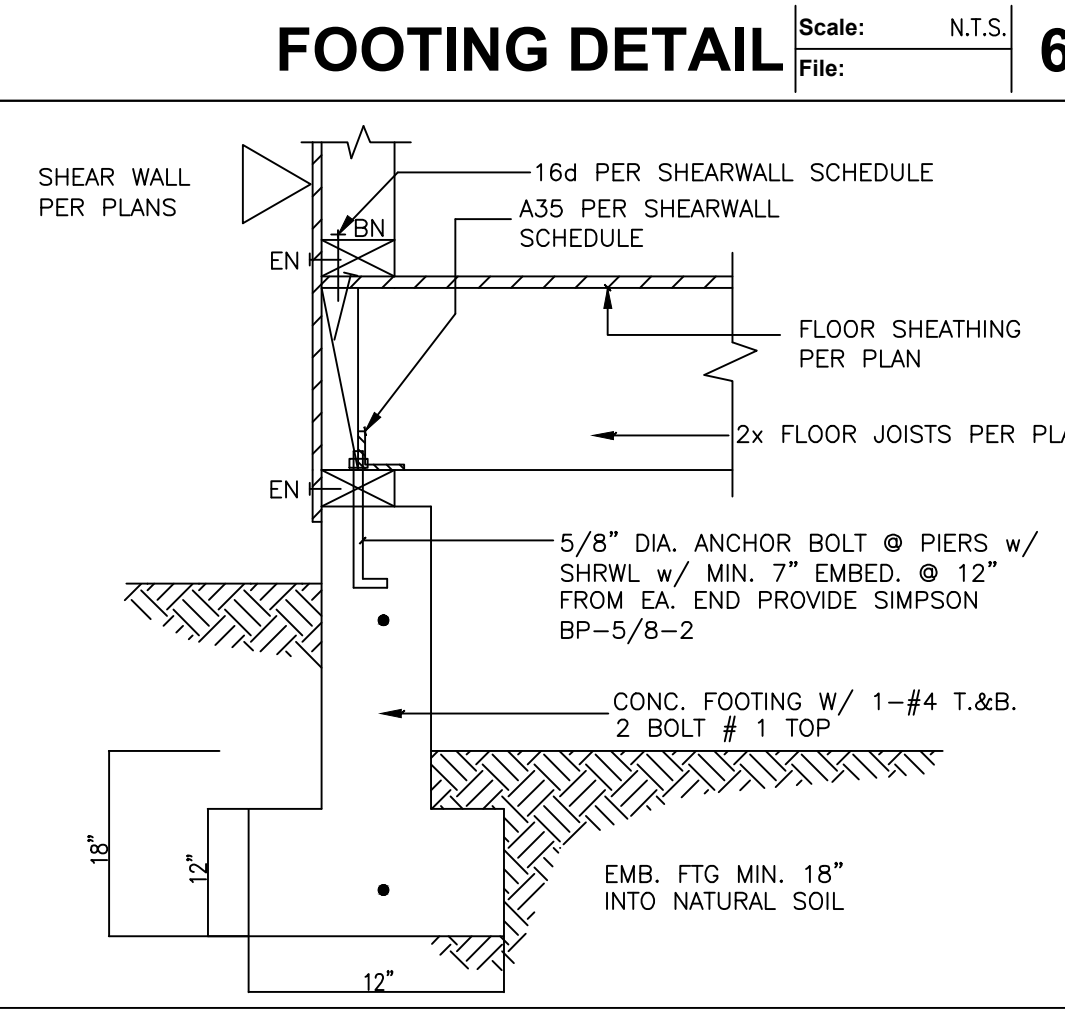
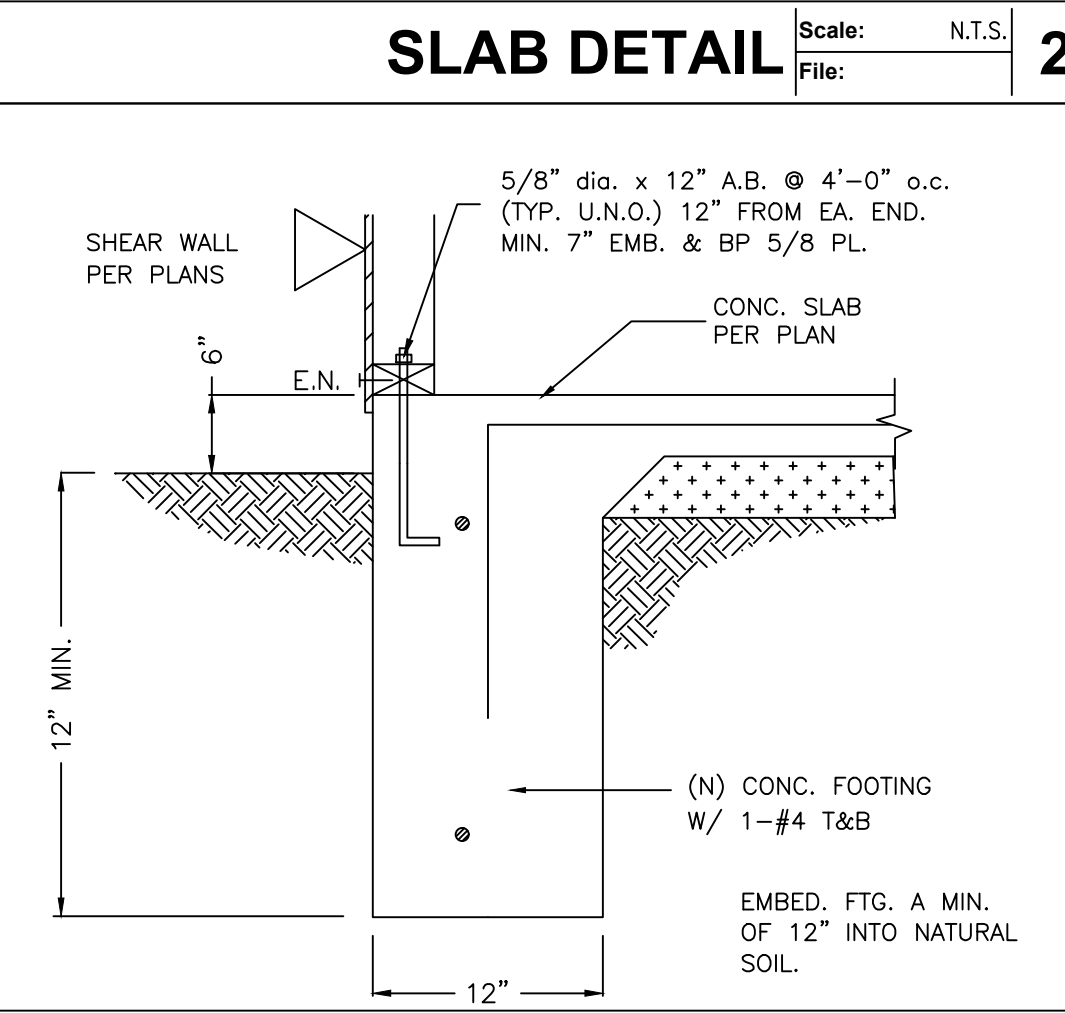
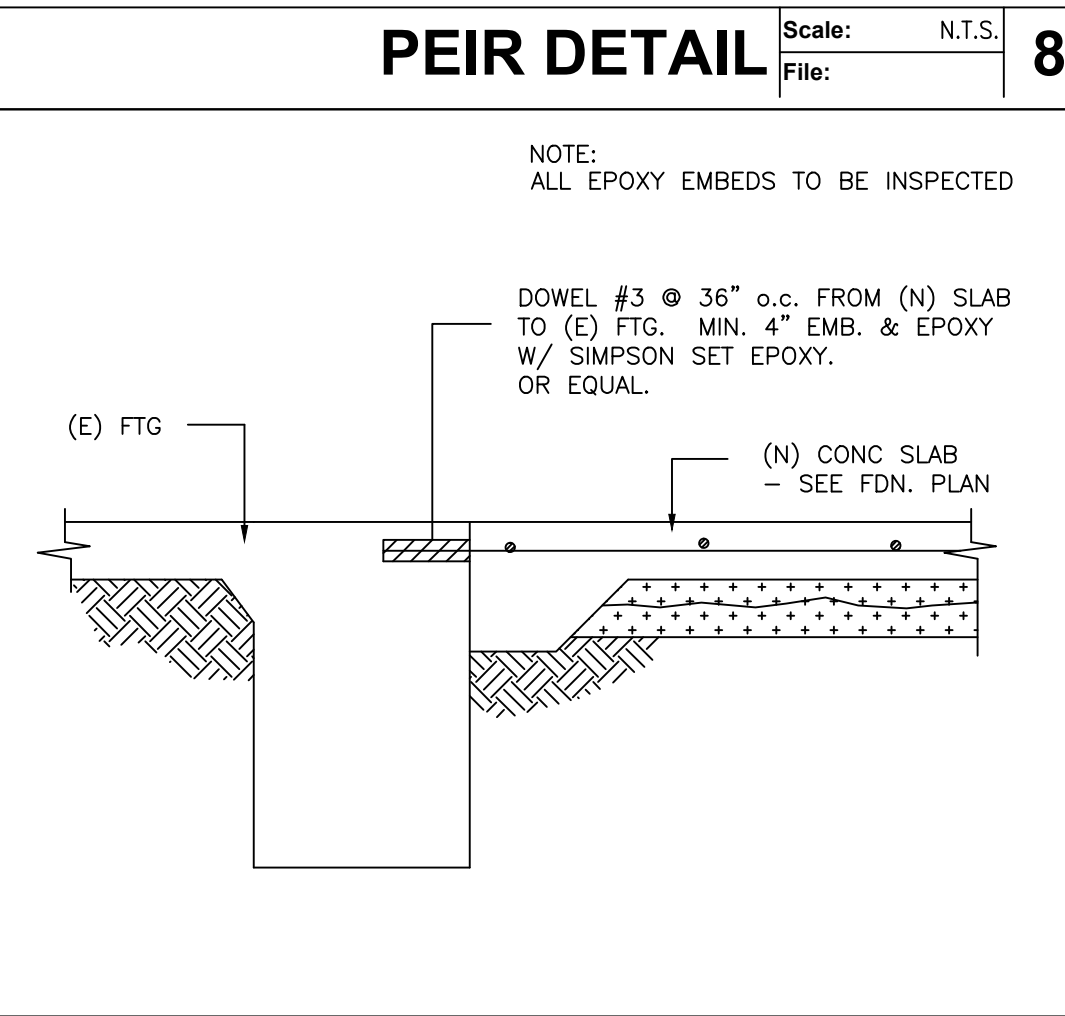
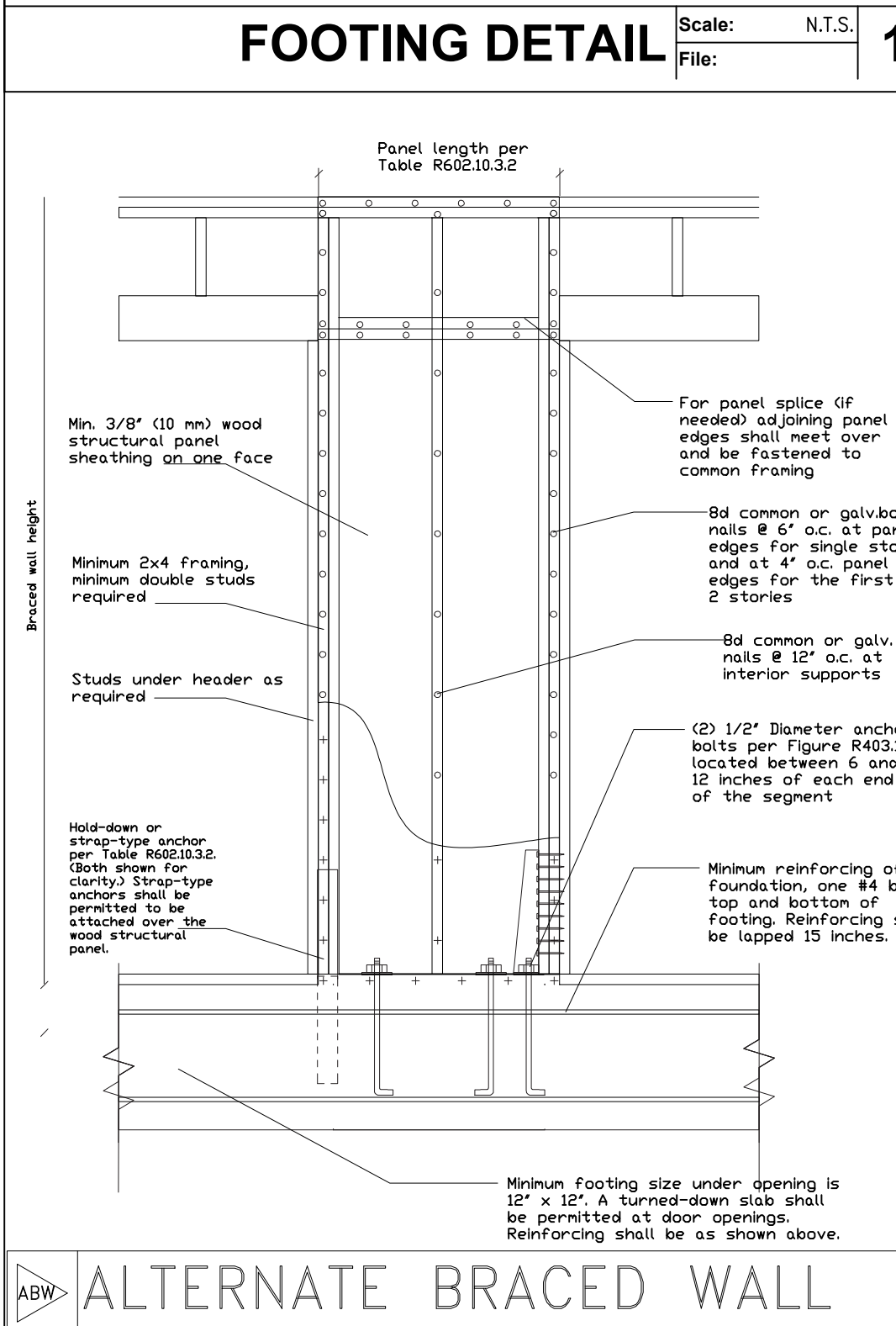
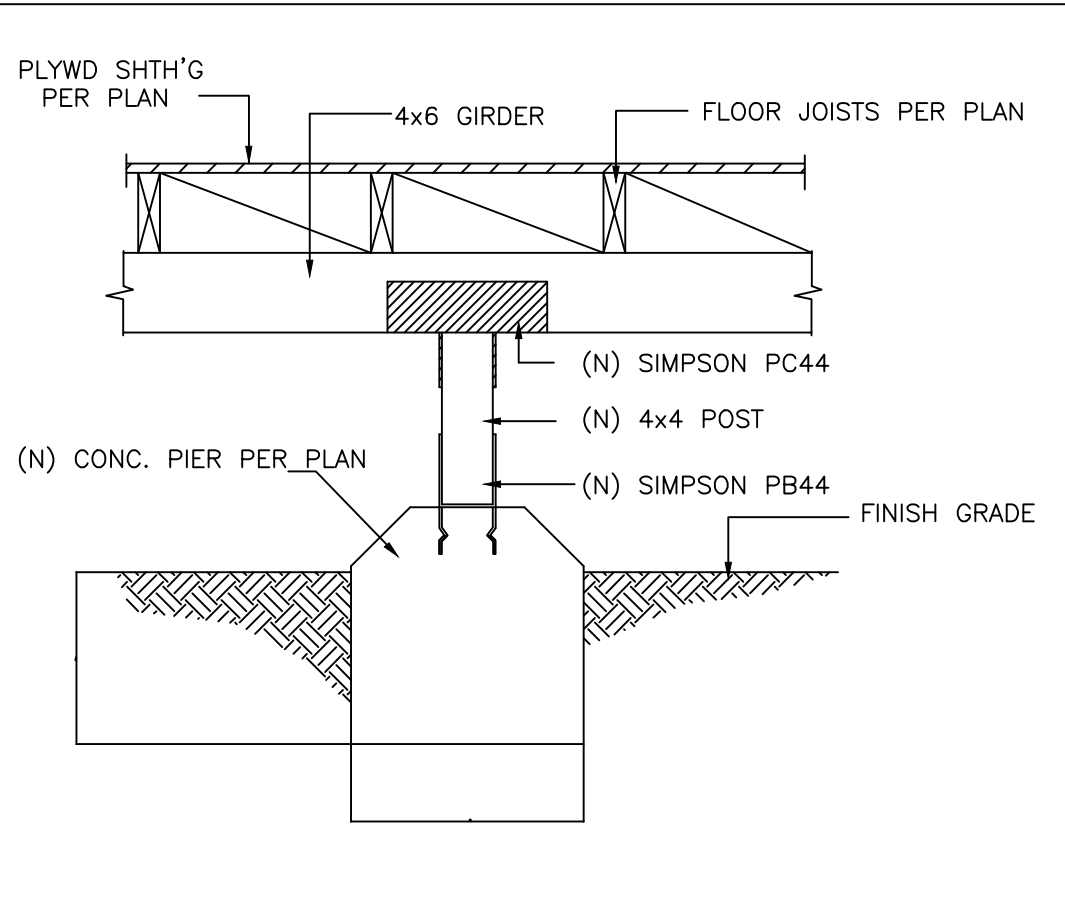
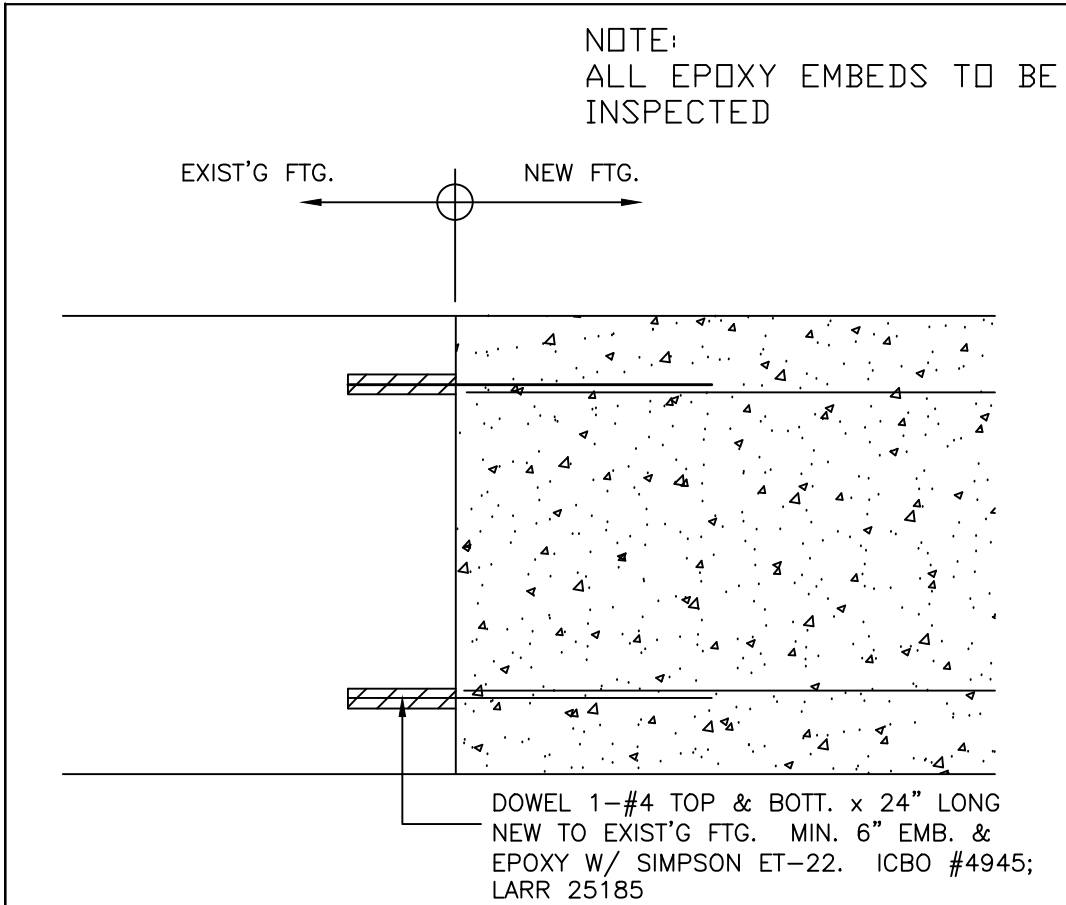


SCALE: $1/4" = 1'-0"$



FOUNDATION PLAN

SCALE: 1/4" = 1'-0"



AVIGNON DESIGN

4280 MEADOW CIRCLE
RESCUE, CA 95672
(916) 889-2700
EMAIL: BRANDON@AVIGNONDESIGN.COM

MATHIS FAMILY REMODEL/ADDITION

604 WALES DR
FOLSOM, CA 95630
APN: 071-0121-010-0000

DATE	DESCRIPTION

DESIGNED BY:	
DRAWN BY:	BT
DATE:	3-17-22
PROJECT NO:	929

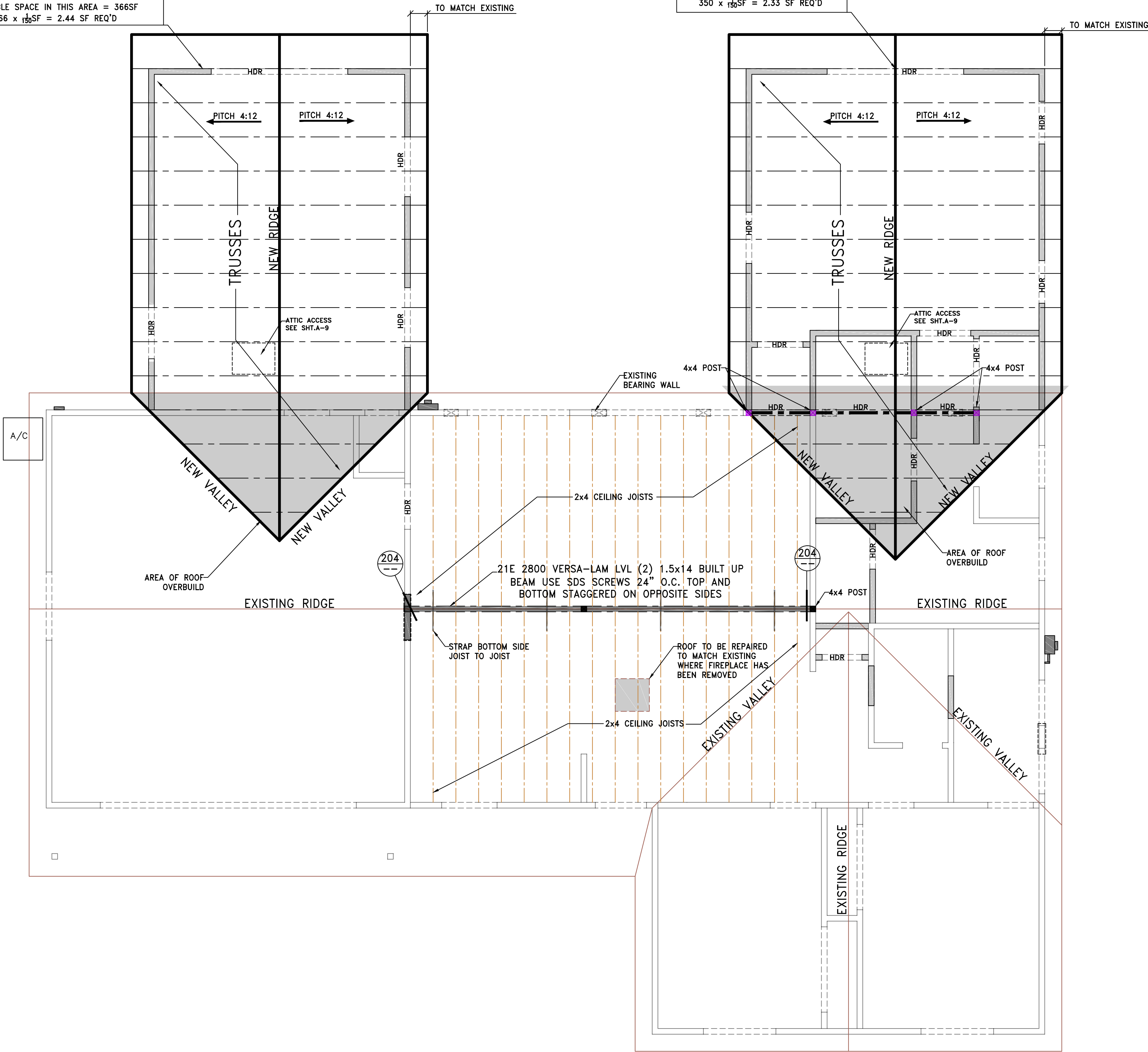
FOUNDATION PLAN

SHEET NO:

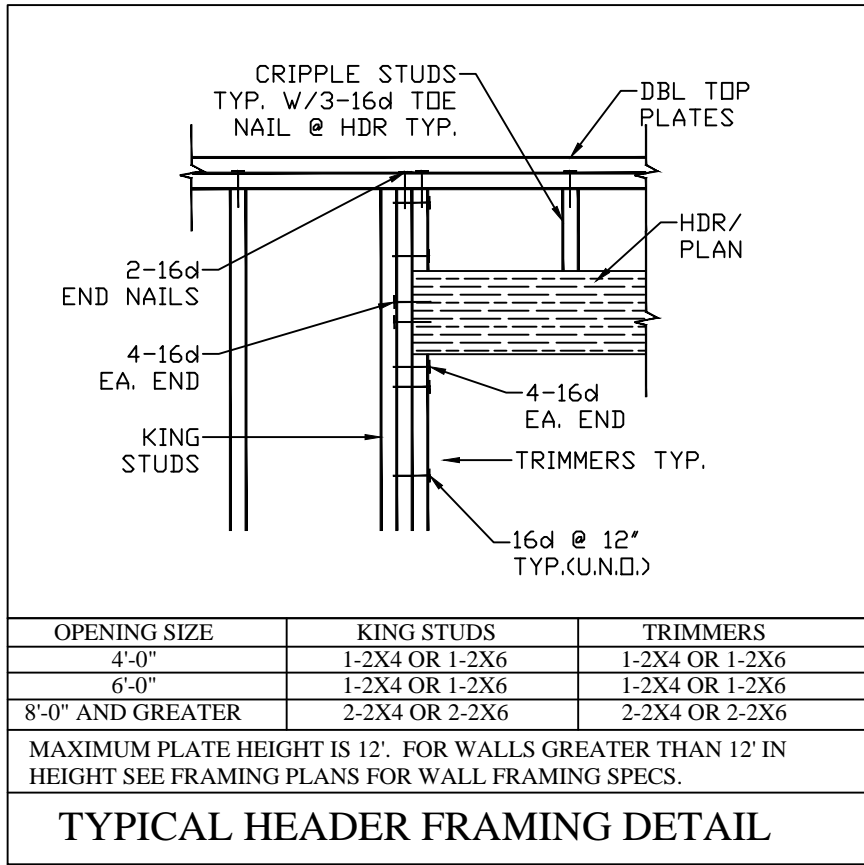
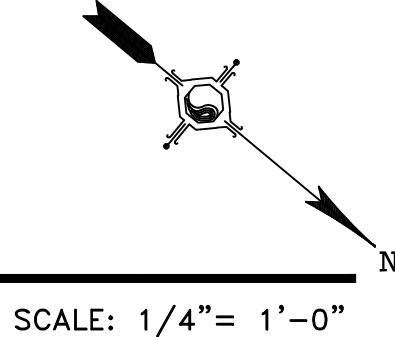
A-3

PROVIDE SUFFICIENT ATTIC VENTILATION IN ALL ROOF AREAS, PER CRC.
NOTE: VENTS SHALL NOT BE INSTALLED IN EAVES & CORNICES UNLESS THEY RESIST THE INTRUSION OF FLAME & BURNING EMBERS INTO THE ATTIC AREA OF THE STRUCTURE, PER CURRENT CRC
LOW VENTING SHALL BE ACCOMPLISHED WITH SPECIAL EAVE VENTS PER CURRENT CRC
VENTABLE SPACE IN THIS AREA = 366SF
366 x 15.5SF = 2.44 SF REQ'D

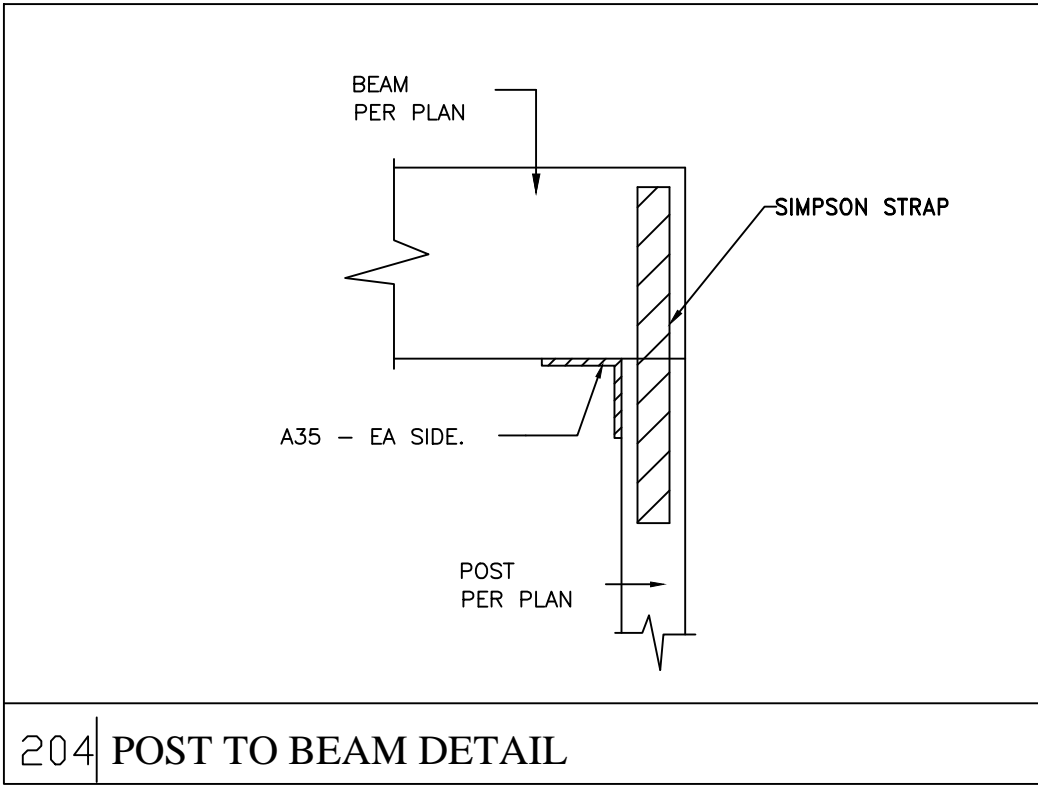
VENTABLE SPACE IN THIS AREA = 350SF
350 x 15.5SF = 2.33 SF REQ'D



ROOF FRAMING PLAN



HEADER SCHEDULE		
4'-0" MAX	4x8 #2 D.F.L.	
6'-0" MAX	4x10 #2 D.F.L.	



AVIGNON DESIGN



4280 MEADOW CIRCLE
RESCUE, CA 95672
(916) 889-2700
EMAIL: BRANDON@AVIGNONDESIGN.COM

MATHIS FAMILY REMODEL/ADDITION

604 WALES DR
FOLSOM, CA 95630
APN: 071-0121-010-0000

DATE	DESCRIPTION

DESIGNED BY:
DRAWN BY: BT
DATE: 3-17-22
PROJECT NO: 929

ROOF FRAMING

SHEET NO:

A-4



SCALE: $1/4" = 1'-0"$

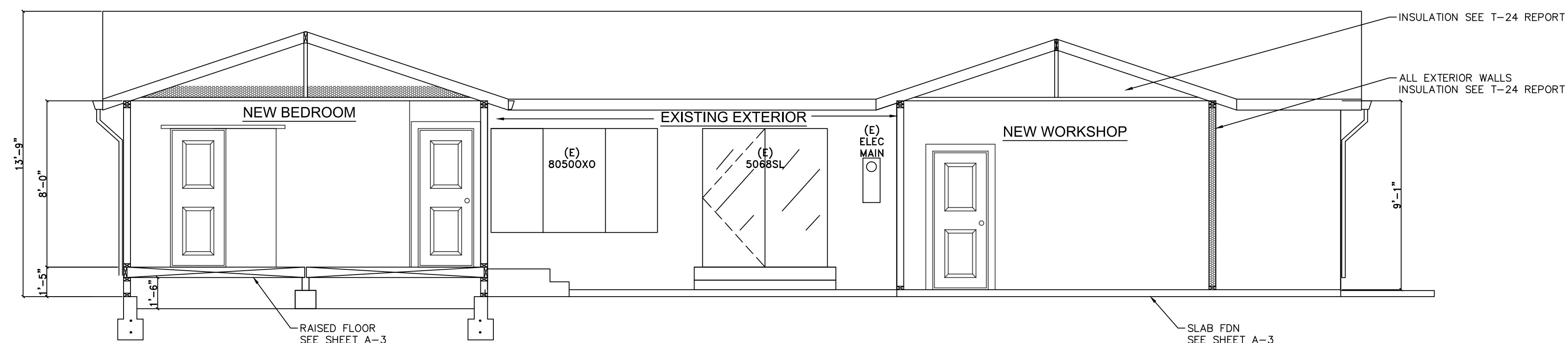


SCALE: $1/4" = 1'-0"$



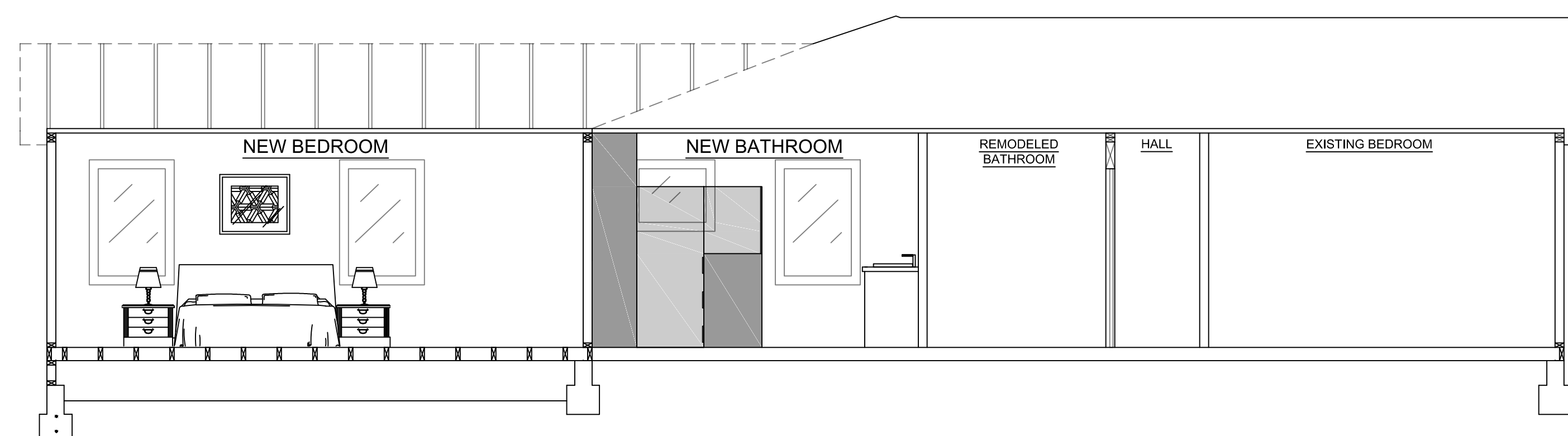
SCALE: 1/4" = 1'-0"

 <div style="display: inline-block; vertical-align: middle; text-align: center;"> <div style="writing-mode: vertical-rl; transform: rotate(180deg); font-weight: bold; margin-bottom: 5px;">AVIGNON</div> <div style="writing-mode: vertical-rl; transform: rotate(180deg); font-weight: bold;">DESIGN</div> </div> <div style="display: inline-block; vertical-align: middle; font-size: 0.8em; margin-top: 5px;"> 4280 MEADOW CIRCLE RESCUE, CA 95672 (916) 889-2700 EMAIL: BRANDON@AVIGNONDESIGN.COM </div>	
<div style="writing-mode: vertical-rl; transform: rotate(180deg); font-weight: bold; margin-bottom: 10px;">MATHIS FAMILY REMODEL/ADDITION</div> <div style="display: flex; justify-content: space-around; align-items: center;"> <div style="writing-mode: vertical-rl; transform: rotate(180deg); font-weight: bold;">604 WALES DR</div> <div style="writing-mode: vertical-rl; transform: rotate(180deg); font-weight: bold;">FOLSOM, CA 95630</div> </div> <div style="writing-mode: vertical-rl; transform: rotate(180deg); font-weight: bold; margin-top: 10px;">APN: 071-0121-010-0000</div>	
DATE 	DESCRIPTION
DESIGNED BY:	
DRAWN BY: BT	
DATE: 3-17-22	
PROJECT NO: 929	
SHEET NO:	EXTERIOR ELEVATION
<div style="font-size: 2em; font-weight: bold; margin-bottom: 10px;">A-5</div>	



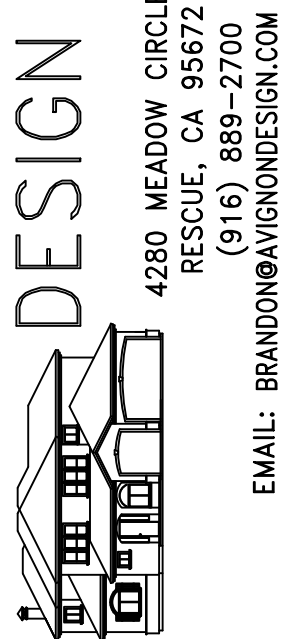
BUILDING SECTION A

SCALE: 1/4" = 1'-0"



BUILDING SECTION B

SCALE: 1/4" = 1'-0"



EMAIL: BRANDON@AVIGNONDESIGN.COM

MATHIS FAMILY REMODEL/ADDITION

604 WALES DR
FOLSOM, CA 95630

APN: 071-0121-010-0000

[illegible]

DESIGNED BY:

DRAWN BY: BT

DATE: 3-17-22

PROJECT NO:	929
-------------	-----

SECTIONS

SHEET NO:

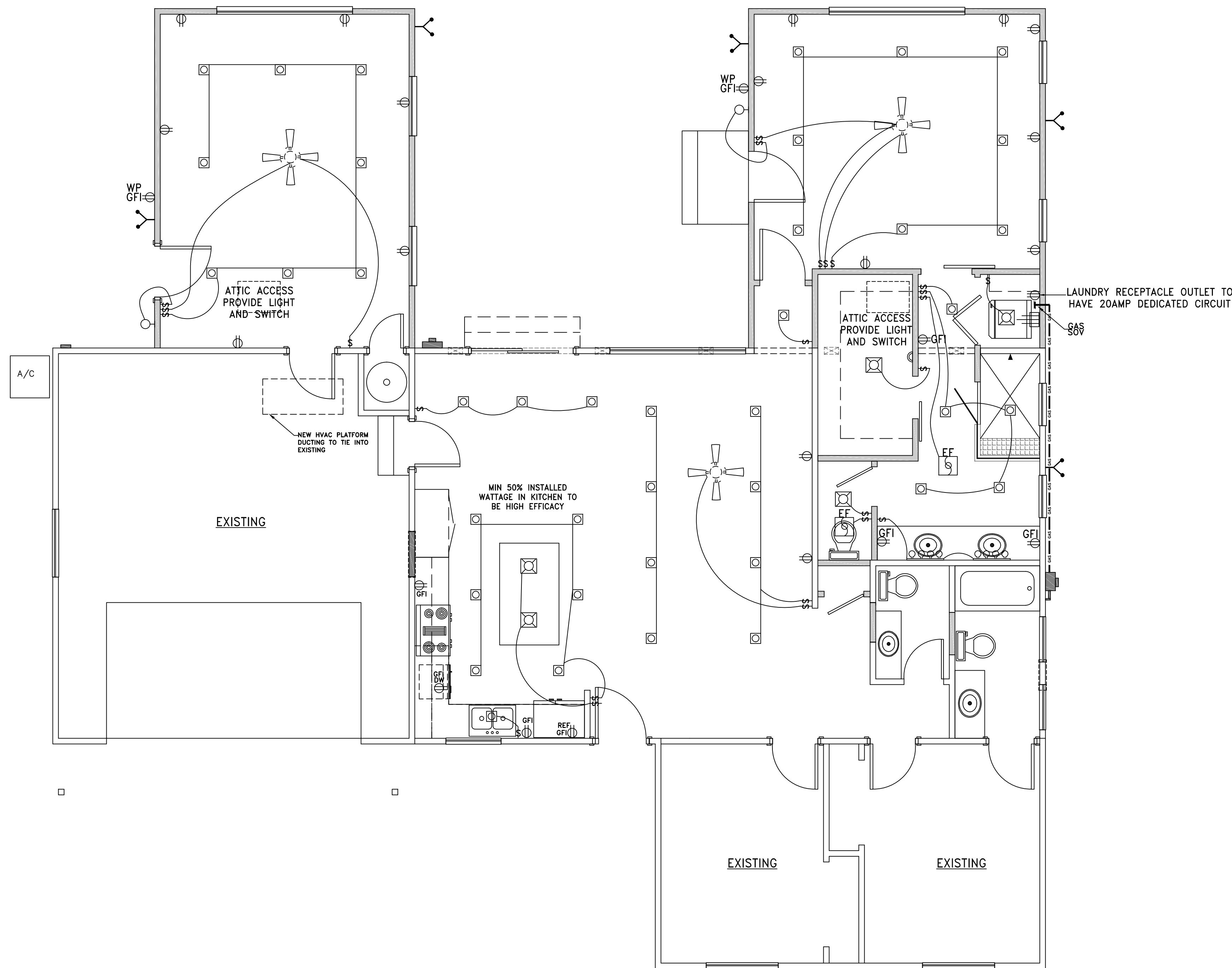
A-7
































NOTES

ALL DOMESTIC HOT WATER SYSTEM PIPING CONDITIONS LISTED BELOW, WHETHER BURIED OR UNBURIED, MUST BE INSULATED PER TABLE 1210.3-A.


1. THE FIRST 5 FEET OF HOT AND COLD WATER PIPES FROM THE STORAGE TANK
2. ALL PIPING WITH NOMINAL DIAMETER OF $\frac{3}{4}$ " OR LARGER
3. ALL PIPING ASSOCIATED WITH A DOMESTIC HOT WATER RETICULATION SYSTEM REGARDLESS OF PIPE DIAMETER.
4. PIPING FROM THE HEATING SOURCE TO STORAGE TANK OR BETWEEN TANKS.
5. PIPING BURIED BELOW GRADE.
6. ALL HOT WATER PIPES FROM THE HEATING SOURCE TO THE KITCHEN FIXTURES.

CARBON MONOXIDE ALARMS SHALL BE INSTALLED TO COMPLY WITH CRC SECT R315 SEE ELECTRICAL NOTE #15, SHEET A-9	APPROVED, LISTED WATER PRESSURE REDUCER TO BE INSTALLED & VERIFIED BY FIELD INSPECTOR	HIGH EFFICIENCY LIGHTING TO BE SWITCHED SEPARATELY FROM LOW EFFICACY LIGHTING	WHERE A DIMMER HAS BEEN INSTALLED LIGHTING CIRCUIT SHALL MEET THE FOLLOWING: *NO CONTROLS SHALL BYPASS THE DIMMER FUNCTION *THE DIMMER SHALL COMPLY W/ APPLICABLE REQ'TS OF SECT 119
			LAUNDRY ROOM AND UTILITY ROOM TO HAVE HIGH-EFFICACY LIGHTING
PROVIDE A GROUNDING ELECTRODE AS PER CURRENT CEC. ARC-FAULT CIRCUIT INTERRUPTER PROTECTION SHALL BE ON ALL BRANCH CIRCUITS THAT SUPPLY 125 VOLT, SINGLE PHASE, 15 AND 20 AMP RECEPTACLES IN DWELLING UNIT BEDROOMS	BRANCH CIRCUITS SUPPLYING OUTLETS TO BE AFCI EQUIPPED SEE ELEC NOTE #12, SHEET A-9	COUNTERTOP RECEPTACLES SPACED SO NO POINT IS GREATER THAN 24" FROM A RECEPTACLE CEC 210.52 (C)	ALL EXHAUST FANS SHALL BE SWITCHED SEPARATELY FROM LIGHTING SYSTEMS
			PERMANENTLY INSTALLED LIGHTING IN BD RMS, HALLS, FOYER, LIV RM, DIN RM, SHALL BE HIGH EFFICACY UNLESS PROVIDED W/ DIMMER SWITCH.
SWITCHING DEVICES AND CONTROLS SHALL MEET REQUIREMENTS OF 150(k)7 MANDATORY MEASURES		SEE MECHANICAL NOTE #8 ON SHEET A-9 REGARDING MECHANICAL VENTILATION IN KITCHEN	PROVIDE A GFCI SMALL APPLIANCE BRANCH CIRCUIT OUTLET WITHIN 2' OF EACH SIDE OF THE SINKS AT THE KITCHEN.
THIS PROJECT IS REQUIRED TO CONFORM TO CAL GREEN REQUIREMENTS. SEE SHEET A-9		LAUNDRY RECEPTACLE OUTLET TO HAVE 20AMP DEDICATED CIRCUIT	



ELECTRICAL LEGEND	
	WALL LIGHT W/P OUTSIDE OUTLET
	220 VOLT OUTLET
	SINGLE POLE SWITCH
	SENSOR SWITCH
	3 - WAY SWITCH
	GARAGE DOOR SWITCH
	CABLE TV
	EXHAUST FAN W/ HUMIDISTAT
	2 - TUBE LED
	VANITY LIGHT
	CHANDELIER
	SECURITY LIGHT w/ MOTION SENSOR
	CEILING FAN
	SURFACE MOUNTED LIGHT
	RECESSED LIGHT I.C. APPROVED
	TELEPHONE JACK
	WALL SCONCE
	EAVE PLUG
	GROUND FAULT INTERRUPT PROTECTED
	WEATHERPROOF ENCLOSURE
	REFRIGERATOR CIRCUIT
	GARBAGE DISPOSAL (SWITCHED)
	FLOOR PLUG
	WALL LIGHT
	EYEBALL LIGHT (LARGE)
	EYEBALL SPOTLIGHT (SMALL)
	CM CARBON MONOXIDE ALARM
	SD A/C SMOKE DETECTOR w/BATTERY BACKUP
	1/2 HOT SWITCHED OUTLET
	SOV SHUT OFF VALVE
	HB HOSE BIB
<div style="border: 1px solid black; padding: 10px; display: flex; justify-content: space-between; align-items: center;"> FL ENERGY EFFICIENT FLUORESCENT FIXTURE </div>	

**AVIGNON
DESIGN**



4280 MEADOW CIRCLE
RESUCE, CA 95672
(916) 889-2700
EMAIL: BRANDON@AVIGNONDESIGN.COM

MATHIS FAMILY REMODEL/ADDITION
604 WALES DR
FOLSOM, CA 95630
APN: 071-0121-010-0000

[illegible]

DESIGNED BY:

DRAWN BY:	BT
DATE:	3-17-22
PROJECT NO:	929

ELECTRICAL PLAN

SHEET NO:

A - 8

CONTRACTOR NOTES	FOUNDATION	ELECTRICAL NOTES
<div>1. DRAWINGS AND SPECIFICATIONS AND COPIES THEREOF ARE LEGAL INSTRUMENTS FOR USE OF THE OWNER AND AUTHORIZED REPRESENTATIVES ON THE DESIGNATED PROPERTY ONLY.</div> <div>2. CONTRACTOR TO VERIFY ALL DIMENSIONS, ELEVATIONS, AND EXISTING CONDITIONS PRIOR TO STARTING WORK.</div> <div>3. WRITTEN DIMENSIONS TAKE PREFERENCE OVER SCALE.</div> <div>4. CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND APPROVALS FOR ALL WORK.</div> <div>5. CONTRACTOR SHALL DETERMINE THE LOCATION OF UTILITY SERVICES IN THE AREA TO BE EXCAVATED PRIOR TO BEGINNING EXCAVATION.</div> <div>6. ALL CONSTRUCTION SHALL CONFORM TO 2013 CRC, 2013 CALIF PLUMBING CODE, 2013 CALIFORNIA MECHANICAL CODE, 2013 CALIFORNIA ELECTRICAL CODE, 2013 CALIFORNIA FIRE CODE, & 2013 CALIFORNIA ENERGY CODE.</div> <div>7. INSTALLATION INSTRUCTIONS FOR ALL LISTED EQUIPMENT SHALL BE PROVIDED TO THE FIELD INSPECTOR AT TIME OF INSPECTION.</div>	<div>1. FOOTING DEPTHS GIVEN INTO APPROVED COMPETENT SOIL 12" MINIMUM, U.N.O.</div> <div>2. SLOPE FINISH GRADE AWAY FROM STRUCTURE AND ALL ISOLATED FOOTINGS. PONDING OF WATER NOT PERMITTED.</div> <div>3. TOP OF ALL FOOTINGS TO BE 8" MINIMUM ABOVE FINISHED GRADE.</div> <div>4. SAND FILL TO BE MOIST.</div> <div>5. ALL FILL AND BACKFILL TO BE COMPACTED TO AT LEAST 90% OF RELATIVE COMPACTION AT OPTIMUM MOISTURE CONTENT IN ACCORDANCE WITH CURRENT CODES.</div> <div>6. PRIOR TO PLACING CONCRETE, VERIFY LOCATION AND SECURE IN POSITION ALL REINFORCING STEEL, DOWELS, METAL, ANCHORS, STRAPS, HOLDOWNS, POST AND COLUMN BASES TO BE EMBEDDED IN CONCRETE.</div> <div>7. "HD" HOLDOWNS TO BE AS MANUFACTURED BY "SIMPSON". SIZE AND INSTALLATION PER MANUFACTURER'S RECOMMENDATIONS. VERIFY EXACT LOCATION.</div> <div>8. USE 5/8" OR 1/2" DIAMETER ANCHOR BOLTS AT EXTERIOR WALLS AND WHERE SHOWN ON FOUNDATION PLAN. ANCHOR BOLTS TO BE LOCATED 12" FROM CORNERS, 4'-0" o.c. MAX, TYPICAL, U.N.O. (SEE FLOOR PLAN). TO BE MIN 7" EMBEDMENT INTO CONCRETE. USE 3"x3"x.229" WASHER AT EA ANCHOR BOLT.</div> <div>9. VAPOR BARRIER TO BE 6-MIL POLYETHYLENE FOR CONCRETE SLABS. SEAL ALL JOINTS OR LAP 12" MIN. TAKE CARE TO PREVENT DAMAGE DURING CONSTRUCTION.</div> <div>10. LOT SHALL BE GRADED TO DRAIN SURFACE WATER AWAY FROM FDN WALLS. GRADE SHALL FALL A MIN OF 6" WITHIN FIRST 10'. EXCEPTION: WHERE LOT LINE, WALLS, SLOPES OR OTHER PHYSICAL BARRIERS PROHIBIT 6" OF FALL WITHIN 10', DRAINS OR SWALES SHALL BE CONSTRUCTED TO ENSURE DRAINAGE AWAY FROM STRUCTURE.</div>	<div>1. INSTALL 110v. SMOKE DETECTORS WITH BATTERY BACK-UP, WHICH ARE AUDIBLE IN ALL SLEEPING AREAS AT ALL BEDROOMS, HALLWAYS LEADING TO BEDROOMS, ABOVE STAIRS AND AT LEAST ONE ON EVERY LEVEL. TO RECEIVE THEIR PRIMARY POWER FROM BLDG WIRING. TO EMIT SIGNAL WHEN BATTERIES ARE LOW. WIRING SHALL BE PERMANENT & W/O A DISCONNECTING SWITCH OTHER THAN AS REQ'D FOR OVERCURRENT PROTECTION.</div> <div>SMOKE DETECTORS SHALL BE INTERCONNECTED SUCH THAT THE ACTIVATION OF ONE ALARM WILL ACTIVATE ALL ALARMS. THE ALARM SHALL BE CLEARLY AUDIBLE IN ALL BDRMS.</div> <div>2. INSTALL ELECTRICAL PANEL PER CEC AND ELECTRIC AND GAS SERVICE REQUIREMENTS "GREEN BOOK".</div> <div>3. LIGHTING FIXTURES IN BATH AND KITCHEN SHALL BE OF EFFICACY OF AT LEAST 40 LUMENS PER WATT. PROVIDE INSULATION COVER FOR RECESSED CEILING FIXTURES.</div> <div>4. PROVIDE FUSES OR APPROVED CIRCUIT BREAKER AT A/C UNIT(S). THE DISCONNECTING MEANS FOR A/C UNITS MUST NOT BE ON THE EXTERIOR OF THE DISCONNECT BOX.</div> <div>5. OUTLET BOXES SHALL NOT BE SOLE SUPPORT FOR CLG FANS. A FIXTURE THAT WEIGHS MORE THAN 6# OR EXCEEDS 16" IN ANY DIM SHALL NOT BE SUPPORTED BY SCREW SHELL OF LAMP HOLDER.</div> <div>6. DIMMER SWITCHES MAY ONLY BE USED FOR PERMANENT FIXTURES.</div> <div>7. RECESSED LIGHT FIXTURES LOCATED W/IN INSULATED ATTIC SHALL BE I.C. RATED FIXTURES.</div> <div>8. SMALL APPLIANCE CIRCUITS SHALL NOT SUPPLY DISPOSAL, DISHWASHER OR OTHER LARGE APPLIANCES PER CEC.</div> <div>9. BATHROOM RECEPTACLES SHALL BE SUPPLIED w/ A SEPARATE 20A CIRCUIT AND SHALL NOT HAVE LIGHTING, EXHAUST FANS OR OTHER OUTLETS ON IT PER NEC 210-52(d). PROVIDE TWO OR MORE 20A SMALL APPLIANCE BRANCH CIRCUITS IN KITCHEN, PANTRY, NOOK, AND DINING AREAS. TO HAVE NO OTHER OUTLETS.</div> <div>10. PROVIDE A GROUNDING ELECTRODE AS PER CURRENT CEC.</div> <div>11. PROVIDE 30"x30" SQUARE ATTIC ACCESS FOR FAU UNIT LOCATED IN ATTIC. PROVIDE 24" WIDE PLATFORM PATH FROM ACCESS OPENING TO FAU. PROVIDE ELECTRICAL OUTLET AND SWITCH AT ACCESS OPENING. PROVIDE ATTIC LIGHT FIXTURE AT LOCATION OF FAU.</div> <div>12. BRANCH CIRCUITS SUPPLYING OUTLETS ARE REQ'D TO BE AFCI EQUIPPED AT FAMILY ROOMS, DINING ROOMS, LIVING ROOMS, BEDROOMS, GAMES ROOMS, CLOSETS, HALLWAYS, AND SIMILAR ROOMS. PER CEC 210.12</div> <div>13. RANGES, OVENS & DRYERS SHALL BE ON 4-WIRE RECEPTACLES.</div> <div>14. INCANDESCENT LIGHTS IN CLOSETS TO BE MIN 12" FROM NEAREST POINT OF STORAGE AREA ON SHELF IN CLOSET.</div> <div>15. ALL 125-VOLT, 15 AMP, AND 20 AMP RECEPTACLES TO BE LISTED AS TAMPER RESISTANT PER CEC 406.11</div>
GENERAL NOTES	ROOF FRAMING	MECHANICAL NOTES
<div>1. EXTERIOR WALLS SHALL BE 2x4 STUDS AT 16"o.c. w/ MIN R-13 INSULATION U.N.O. SOLID FILL SHEATH ALL EXTERIOR WALLS WITH 3/8"OSB NAILED W/8d AT 6"o.c. EDGE 3/8" OSB NAILED W/8d AT 6"o.c. EDGE AND 12"o.c. FIELD. SHEATHING SHALL RUN CONTINUOUS FROM SOLE PLATE TO TOP PLATE WITH ALL EDGES BLOCKED.</div> <div>2. WATER-RESISTANT GYPSUM BOARD SHALL NOT BE USED IN THE FOLLOWING LOCATIONS.<div>(A) OVER VAPOR RETARDER</div><div>(B) IN AREAS SUBJECT TO CONTINUOUS HIGH HUMIDITY</div><div>(C) ON CEILINGS</div></div> <div>3. LANDINGS AT ALL EXTERIOR DOORS SHALL NOT BE LOWER THAN 1". LANDING SHALL BE A MIN. OF 36" IN DIRECTION OF TRAVEL. LANDING SHALL HAVE A WIDTH NOT LESS THAN WIDTH OF DOOR.</div> <div>4. ONE HOUR SEPARATION REQUIRES A SELF-CLOSING AND SELF-LATCHING DOOR BETWEEN GARAGE AND DWELLING, WHERE DWELLING IS PROTECTED BY AN AUTOMATIC RESIDENTIAL FIRE SPRINKLER SYSTEM.</div> <div>5. INTERIOR WALLS SHALL BE 2x4 DF U.N.O. USE 2x6 STUDS AT ALL UNSUPPORTED WALLS OVER 10' U.N.O.</div> <div>6. EXTERIOR DOORS TO BE SOLID CORE & WEATHERSTRIPPED.</div> <div>7. FOR DWELLING/GARAGE SEPARATION, PROVIDE 1/2" GYPSUM BOARD, OR EQUIVALENT, APPLIED TO GARAGE SIDE. WHERE LIVING AREAS OCCUR ABOVE, PROVIDE 5/8" TYPE "X" GYPSUM BOARD, OR EQUIVALENT.</div> <div>8. PROVIDE 1/2" GYPSUM BOARD ON ALL ENCLOSED USABLE SPACE UNDER INTERIOR & EXTERIOR STAIRWAYS</div> <div>8.a FIRE BLOCKING REQ'D TO PROVIDE SEPARATION BETW CONCEALED VERTICAL AND HORIZ SPACES. IN WALLS AT STAIR STRINGERS, AT SOFFITS, DROP CLGS, COVE CLGS, AT OPENINGS AROUND DUCTS, VENTS,PIPES, & FLUE CHASES. FIRE BLKG SHALL BE PROVIDED VERTICALLY AT CLG & FLR LEVELS & HORIZONTALLY AT INTERVALS NOT EXCEEDING 10'</div> <div>9. EACH SLEEPING AREA TO HAVE AT LEAST ONE POINT OF EMERGENCY EGRESS, PER CURRENT CRC. EGRESS WDWS TO HAVE MIN 5.7 SF OF OPENABLE AREA, WITH MIN HGT OF 24" AND MIN WIDTH OF 20". SILL HGT NOT TO EXCEED 44".</div> <div>10. TOILET AREA TO HAVE CLEAR SPACE OF 30" MIN WIDTH AND MIN 24" CLEAR SPACE IN FRONT OF TOILET.</div> <div>11. INSULATION MATERIAL, INCLUDING FACINGS SUCH AS VAPOR RETARDERS & VAPOR PERMEABLE MEMBRANES INSTALLED WITHIN FLR-CLG ASSEMBLIES, ROOF-CLG ASSEMBLIES, WALL ASSEMBLIES, CRAWLSPACES & ATTICS SHALL HAVE A FLAME SPREAD INDEX NOT TO EXCEED 25 WITH AN ACCOMPANYING SMOKE-DEVELOPED INDEX NOT TO EXCEED 450 WHEN TESTED IN ACCORDANCE W/ ASTM E 84 OR UL 723. WHEN MATERIALS ARE INSTALLED IN CONCEALED SPACES THE INDEXES DO NOT APPLY TO THE FACINGS WHEN FACING IS INSTALLED IN CONTACT W/ UNEXPOSED SURFACE OF CLG, FLR, OR WALL FINISH. CELLULOSE LOOSE-FILL INSULATION, NOT SPRAY APPLIED, SHALL ONLY BE REQ'D TO MEET SMOKE DEVELOPED INDEX OF MAX 450. SEE CRC R302.10.1 & R302.10.3</div>	<div>1. IN OPEN BEAM CONSTRUCTION, USE RIDGE TIE-STRAPS.</div> <div>2. ROOF SHEATHING OVER 2x RAFTERS 1/2" CDX STRUCTURAL II, EXPOSURE 1, APA, FACE GRAIN TO BE PERPENDICULAR TO SUPPORTS. NAIL 8d AT 6"o.c. EDGES, RIDGES, RAKES AND EAVE BLOCKING. NAIL 12" o.c. FIELD.</div> <div>3. ROOF DECKING OVER EXPOSED BEAMS - DOUGLAS FIR 2x6 V-GROOVE T&G SHEATHING WITH 2-20d NAILS AT EACH POINT OF SUPPORT PER BOARD PRE-DRILLED THROUGH RAFTER.</div> <div>4. USE H1 OR A35 JOIST TO PLATE TYPE CONNECTOR AT EACH TRUSS OR RAFTER END BEARING.</div> <div>5. TRUSSES SHALL NOT BEAR ON ANY INTERIOR WALLS OR PARTITIONS NOT SHOWN ON TRUSS CALCULATIONS. USE DTC ROOF TRUSS CLIPS WITH A 1/2" SPACE BETWEEN BOTTOM CHORD AND TOP PLATE.</div> <div>6. USE TYP 15 FELT UNDERLAYMENT FOR COMPOSITION ROOF COVERING. USE TYPE 30 FELT UNDERLAYMENT FOR TILE ROOFS.</div>	<div>1. DRYER TO BE EQUIPPED WITH SMOOTH METAL DUCT EXTENDING TO OUTSIDE OF BLDG. TO BE EQUIPPED WITH BACKDRAFT DAMPER. NOT TO EXCEED A COMBINED HORIZONTAL AND VERTICAL LENGTH OF 14LF, INCLUDING TWO 90° ELBOWS.</div> <div>2. RESIDENCE SHALL BE PROVIDED WITH HEATING FACILITIES CAPABLE OF MAINTAINING A ROOM TEMPERATURE OF 68 DEGREES F AT A POINT 3' ABOVE FLOOR.</div> <div>3. WHERE NATURAL VENTILATION IS NOT PROVIDED INSTALL A MECHANICAL VENTILATION SYSTEM CAPABLE OF PROVIDING FIVE (5) AIR CHANGES PER HOUR.</div> <div>4. EXHAUST FAN SYSTEMS SHALL HAVE BACKDRAFT OR AUTOMATIC DAMPERS AND BE INSULATED PER CURRENT CODE.</div> <div>5. FAU EQUIPMENT SHALL BE PLACED ON EQUIPMENT PLATFORM 18" ABV FLR SURFACE. FAU TO BE NO MORE THAN 20' FROM ATTIC ACCESS. PASSAGEWAY SHALL BE UNOBSTRUCTED & SHALL HAVE CONTINUOUS SOLID FLOORING 24" WIDE, MIN. EQUIPMENT PLATFORM TO BE A LEVEL WORKING SURFACE OF 30" IN DEPTH IN FRONT OF THE ENTIRE FIREBOX SIDE. PRE-MANUFACTURED FLEXIBLE AIR DUCTS TO BE INSTALLED ACCORDING TO INSTALLATION INSTRUCTIONS & STDS PER CODE & INSTALLED USING UL 181B TAPE.</div> <div>6. B-VENTS WITH LISTED VENT CAPS 12" OR LESS SHALL TERMINATED IN ACCORDANCE WITH CMC. THEY SHALL BE LOCATED AT LEAST 8' FROM VERTICAL WALL OR SIM OBSTRUCTION. ALL OTHER B-VENTS SHALL TERMINATE AT LEAST 2' ABOVE HIGHEST PT OF ANY PART OF BLDG WITHIN 10'.</div> <div>7. EACH BATHROOM (ANY RM CONTAINING A BATHTUB, SHOWER, SPA, OR SIM SOURCE OF MOISTURE) IS REQ'D TO HAVE A DEDICATED EXHAUST FAN DUCTED TO OUTSIDE. IF EQUIPPED W/ INTERMITTENT OPERATED EXHAUST FAN MIN VENTILATION SHALL BE 50CFM. IF EQUIPPED W/ CONTINOUS OPERATED EXHAUST FAN, SHALL OPERATE AT MIN VENTILATION RATE OF 20CFM. EXHAUST FAN SHALL BE OPERATED OCCUPANT, ACCESSIBLE, & OBVIOUS. EX: WALL SWITCH OR OCCUPANCY SENSOR. FAN CONTROL MUST BE LABELED AS TO ITS FUNCTION.</div> <div>8. EACH KITCHEN (ANY RM CONTAINING COOKING APLIANCES) IS REQ'D TO HAVE A DEDICATED EXHAUST FAN DUCTED TO THE OUTSIDE. IF EQUIPPED W/ INTERMITTENT OPERATED EXHAUST FAN MIN VENTILATION SHALL BE 100CFM. IF EQUIPPED W/ CONTINUOUS OPERATED EXHAUST FAN, SHALL OPERATE AT MIN VENTILATION RATE OF 5 AIR CHANGES PER HOUR. RANGE HOOD O/ STOVE MAY COMPLY WHEN VENTED TO OUTSIDE & HAS MIN VENTILATION RATE OF 100CFM.</div>
GENERAL FRAMING	PLUMBING NOTES	CALGREEN MANDATORY MEASURES
<div>1. PROVIDE BLOCKING FOR ALL FIXTURES, APPLIANCES, CABINETS OR OTHER ITEMS TO BE SECURED TO THE WALLS.</div> <div>2. WOOD SHALL BE 8" MINIMUM ABOVE FINISH GRADE IF NOT TREATED.</div> <div>3. CARRY UPPER LEVEL POSTS INTO LOWER LEVELS AND PROVIDE SOLID BLOCKING UNDER ALL POSTS IN FLOOR.</div> <div>4. STUD SIZE, HGT, LENGTH, SPACING SHALL CONFORM WITH CURRENT CBC.</div> <div>5. LUMBER IN CONTACT WITH OR WITHIN 1-1/2" OF CONCRETE SHALL BE FOUNDATION GRADE REDWOOD OR PRESSURE TREATED DOUGLAS FIR.</div> <div>6. CAULK BETWEEN SOLE PLATES AND FLOOR SHEATHING.</div> <div>7. DOUBLE STUDS OR 4x POSTS UNDER ENDS OF ALL BEAMS AND HEADERS, U.N.O.</div> <div>8. EXTERIOR WALLS TO BE 2x4 STUDS AT 16"o.c.</div> <div>9. PROVIDE MIN 22"x 30" ATTIC ACCESS OPENING IN READILY ACCESSIBLE LOCATION. THIRTY INCH MIN UNOBSTRUCTED HEADROOM IN ATTIC SPACE SHALL BE PROVIDED AT OR ABOVE THE ACCESS OPENING.</div> <div>10. INTERIOR WALLS (U.N.O.) - 1/2"G.W.B. WITH 5d DRYWALL NAILS AT 7"o.c. AT ALL PLATES, BLOCKING AND STUDS (USE 6d DRYWALL NAILS AND 3/4" G.W.B.).</div> <div>11. USE HOT-DIPPED GALVANIZED IRON NAILS FOR ALL EXTERIOR NAILING.</div> <div>12. NOT USED</div> <div>13. ALL HEADERS OVER LOAD BEARING WALL OPENINGS SHALL BE PER ENGINEERING. SEE FRAMING PLANS.</div> <div>14. NOT USED</div> <div>15. BEARING PARTITIONS, PERPENDICULAR TO JOISTS, SHALL NOT BE OFFSET FROM SUPPORTING GIRDERS, BEAMS, WALLS OR PARTITIONS MORE THAN THE DEPTH OF THE JOIST.</div> <div>16. UNDER-FLOOR VENTILATION TO HAVE NET AREA OF NOT LESS THAN 1 SF PER 150SF OF FLOOR AREA. OPENINGS LOCATED AS CLOSE TO CORNERS AS POSSIBLE. OPENINGS TO BE EQUALLY DISTRIBUTED ALONG LENGTH OF AT LEAST TWO OPPOSITE SIDES. COVERED WITH CORROSION-RESISTANT WIRE MESH WITH MESH OPENINGS OF 1/4" IN DIMENSION.</div> <div>17. SHIM POSTS AND COLUMN CAPS AS REQUIRED FOR GLULAM AND LAMINATED BEAMS WITH SOLID LUMBER.</div>	<div>1. PROVIDE AN APPROVED DISHWASHER AIR GAP FITTING AS PER CPC.</div> <div>2. CERAMIC TILE SHOWER & TUB/SHOWER WALLS TO HAVE SMOOTH, HARD NONABSORBENT WATER RESISTANT SURFACE TO A HGT OF 70" ABOVE DRAIN INLET. GYP BD MUST HAVE WATER RESISTANT GYPSUM BACKING BD. WATER-RESISTANT GYP BACKING BD SHALL NOT BE USED ON CLG FRAMING SPACED MORE THAN 12"o.c. INSTALL SEALING MEMBRANE OVER WATER RESISTANT GYPSUM BACKING</div> <div>3. ALL PLUMBING PENETRATIONS THROUGH A FIRE WALL ASSEMBLY SHALL BE OF CAST IRON, INCLUDING TRAP.</div> <div>4. INSTALL WATER CLOSET CAPABLE OF COMPLYING WITH MAXIMUM 1.6 GALLONS PER FLUSH.</div> <div>5. PROVIDE AND INSTALL 4" MAIN WASTE LINE.</div> <div>6. PROVIDE APPROVED NON-REMOVABLE BACKFLOW DEVICES AT ALL HOSE BIBS AND SPRINKLER SYSTEMS, PER CURRENT CODE.</div> <div>7. WATER HEATER(S) SHALL BE PLACED ON 30"x36" WOOD FRAMED EQUIPMENT PLATFORM 18" ABOVE FLOOR SURFACE. SEISMIC STRAPS (TWO) AT WATER HEATER AT POINTS W/IN THE UPPER 1/3 AND LOWER 1/3 OF ITS VERTICAL DIMENSION. LOWER STRAP AT MIN DISTANCE OF 4" ABV CONTROLS. PER CURRENT PLUMBING CODE</div> <div>8. WATER HEATER(S) SHALL BE PROVIDED WITH COMBINATION PRESSURE AND TEMPERATURE RELIEF VALVE. PROVIDE DRAIN TO COMPLY WITH CPC. WATER HEATER VENT SHALL NOT TERMINATE LESS THAN 5' ABOVE VENT COLLAR. PROVIDE BOLLARD IN FRONT OF WATER HEATER WHERE APPLICABLE. DOOR SERVING WATER HEATER SHALL BE MIN OF 24" WIDE OR WIDE ENOUGH TO ALLOW REMOVAL OF WATER HEATER. WATER HEATERS IN GARAGE MUST HAVE PILOTS, BURNERS OR HEATING ELEMENTS & SWITCHES AT LEAST 18" ABOVE THE FLOOR. PER CURRENT PLUMBING CODE</div> <div>9. SHOWER CONTROL VALVE ASSEMBLY TO COMPLY WITH CURRENT PLUMBING CODE. PRESSURE BALANCE OR THERMOSTATIC MIXING VALVE TYPE. MAXIMUM WATER TEMPERATURE SETTING TO BE 120 DEGREES.</div> <div>10. SHUT OFF VALVES SHALL BE INSTALLED IN FUEL SUPPLY PIPING OUTSIDE EA APPLIANCE. SHUT OFF VALVE SHALL BE WITHIN 3" OF APPLIANCE IT SERVES & IN SAME RM OR SPACE WHERE APPLIANCE IS LOCATED. PER CURRENT PLUMBING CODE</div> <div>11. RELIEF VALVES LOCATED INSIDE BLDG SHALL BE PROVIDED WITH DRAIN OF GALVANIZED STEEL, HARD DRAWN COPPER PIPING & FITTINGS, CPVC, OR LISTED VALVE DRAIN. PER CURRENT PLUMBING CODE</div> <div>12. WATER USE RATES OF ALL PLUMBING FIXTURES SHALL BE IN COMPLIANCE WITH WATER CONSERVATION REQUIREMENTS OF CALGREEN.</div>	<div>1. DUCT SYSTEMS ARE SIZED, DESIGNED, & EQUIPMENT IS SELECTED PER SECT 4.507.2 HVAC SYS INSTALLER MUST BE TRAINED & CERTIFIED. SPECIAL INSPECTORS EMPLOYED BY ENFORCING AGENCY MUST BE QUALIFIED.</div> <div>2. AUTOMATIC IRRIGATION SYSTEM CONTROLLERS INSTALLED AT TIME OF FINAL INSPECTION SHALL BE WEATHER-BASED, PER SECT 4.304.1</div> <div>3. PROTECT ANNUAL SPACES AROUND PIPES, ELECTRIC CABLES, CONDUITS AT EXTERIOR WALLS AGAINST THE PASSAGE OF RODENTS, PER SECT 4.406.1</div> <div>4. COVER DUCT OPENINGS & OTHER RELATED AIR DISTRIBUTION COMPONENT OPENINGS DURING CONSTRUCTION, PER SECT 4.504.1</div> <div>5. ADHESIVES, SEALANTS, & CAULKS SHALL BE COMPLIANT WITH V.O.C. & OTHER TOXIC COMPOUND LIMITS, PER SECT 4.504.2.1</div> <div>6. PAINTS, STAINS, & OTHER COATINGS SHALL BE COMPLIANT W/ V.O.C. LIMITS, PER SECT 4.504.2.2</div> <div>7. AEROSOL PAINTS & COATINGS SHALL BE COMPLIANT W/ PRODUCT WEIGHTED M.I.R. LIMITS FOR R.O.C. & OTHER TOXIC COMPOUNDS PER SECT 4.504.2.3. VERIFICATION OF COMPLIANCE SHALL BE PROVIDED.</div> <div>8. CARPET & CARPET SYSTEMS SHALL BE COMPLIANT W/ V.O.C. LIMITS, PER SECT 4.504.3</div> <div>9. MIN 50% OF FLOOR AREA RECEIVING RESILIENT FLOORING SHALL COMPLY W/ SECT 4.504.4</div> <div>10. PARTICLEBOARD, MDF, & HARDWOOD PLYWOOD USED IN INTERIOR FINISH SYSTEMS SHALL COMPLY W/ LOW FORMALDEHYDE EMISSION STDS, PER SECT 4.504.5</div> <div>11. INSTALL CAPILLARY BREAK & VAPOR RETARDER AT SLAB ON GRADE FDNS, PER SECT 4.505.2</div> <div>12. CHECK MOISTURE CONTENT OF BLDG MATERIALS USED IN WALL & FLOOR FRAMING BEFORE ENCLOSURE PER SECT 4.505.3</div> <div>13. PROVIDE INSULATED LOUVERS/COVERS (MIN R-4.2) WHICH CLOSE WHEN THE FAN IS OFF FOR THE WHOLE HOUSE EXHAUST FANS, PER SECT 4.507.1</div> <div>14. AT TIME OF FINAL INSPECTION A WRITTEN MANUEL SHALL BE PLACED IN THE RESIDENCE, OUTLINING OPERATING INSTRUCTIONS AND MAINTENANCE INFORMATION</div> <div>PER CGBC SECTION 4.4101.1 - OPERATION AND MAINTENANCE MANUAL CRITERIA.</div>

AVIGNON DESIGN



4280 MEADOW CIRCLE
RESCUE, CA 95672
(916) 889-2700
EMAIL: BRANDON@AVIGNONDESIGN.COM

MATHIS FAMILY REMODEL/ADDITION

604 WALES DR
FOLSOM, CA 95630
APN: 071-0121-010-0000

DATE	DESCRIPTION								

DESIGNED BY:

DRAWN BY: BT

DATE: 3-17-22

PROJECT NO: 929

GENERAL NOTES

SHEET NO:

A-9