

Expanded Outdoor Dining Area at

Zocolo Restaurant

2739 East Bidwell Street
Folsom, California 95630

GENERAL NOTES

1. THE BUILDER SHALL VERIFY THAT SITE CONDITIONS ARE CONSISTENT WITH THESE PLANS BEFORE STARTING WORK. WORK NOT SPECIFICALLY DETAILED SHALL BE CONSTRUCTED TO THE SAME QUALITY AS SIMILAR WORK THAT IS DETAILED. ALL WORK SHALL BE DONE IN ACCORDANCE WITH INTERNATIONAL BUILDING CODES AND LOCAL CODES.
2. WRITTEN DIMENSIONS AND SPECIFIC NOTES SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS AND GENERAL NOTES. THE ENGINEER/DESIGNER SHALL BE CONSULTED FOR CLARIFICATION IF SITE CONDITIONS ARE ENCOUNTERED THAT ARE DIFFERENT THAN SHOWN, IF DISCREPANCIES ARE FOUND IN THE PLANS OR NOTES, OR IF A QUESTION ARISES OVER THE INTENT OF THE PLANS OR NOTES. CONTRACTOR SHALL VERIFY AND IS RESPONSIBLE FOR ALL DIMENSIONS (INCLUDING ROUGH OPENINGS).
3. DIMENSIONS ARE TO FACE OF FRAMING, UNLESS NOTED OTHERWISE.
4. ALL MANUFACTURED ARTICLES, MATERIALS AND EQUIPMENT SHALL BE APPLIED, INSTALLED, CONNECTED, ADJUSTED, USED, CLEANED AND CONDITIONS AS DIRECTED BY THE MANUFACTURER, UNLESS OTHERWISE DIRECTED.
5. ALL MATERIALS SHALL BE NEW AND UNUSED, UNLESS OTHERWISE NOTED.
6. THE BUILDING, BUILDING SITE AND NEIGHBORING BUILDINGS AND PROPERTIES SHALL BE PROTECTED FROM ANY DAMAGE THAT MAY OCCUR DUE TO THE PERFORMANCE OF THIS WORK. ANY DAMAGES THAT OCCUR ARE THE SOLE RESPONSIBILITY OF THE GENERAL CONTRACTOR.
7. ALL WASTE AND REFUSE CAUSED BY THIS WORK SHALL BE REMOVED FROM THE PROPERTY AND DISPOSED PROPERLY BY THE GENERAL CONTRACTOR.
8. THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ANY WORK KNOWINGLY PERFORMED CONTRARY TO SUCH LAWS, ORDINANCES, OR REGULATIONS. THE CONTRACTOR SHALL ALSO PERFORM COORDINATION WITH ALL UTILITIES AND STATE SERVICE AUTHORITIES.
9. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR THE DESIGN AND PROPER FUNCTION OF PLUMBING, HVAC AND ELECTRICAL SYSTEMS. THE GENERAL CONTRACTOR SHALL NOTIFY THIS OFFICE WITH ANY PLAN CHANGES REQUIRED FOR DESIGN AND FUNCTION OF PLUMBING, HVAC AND ELECTRICAL SYSTEMS.
10. THIS OFFICE SHALL NOT BE RESPONSIBLE FOR CONSTRUCTION MEANS AND METHODS, ACTS OR OMISSIONS OF THE CONTRACTOR OR SUBCONTRACTOR, OR FAILURE OF ANY OF THEM TO CARRY OUT WORK IN ACCORDANCE WITH THE CONSTRUCTION DOCUMENTS. ANY DEFECT DISCOVERED IN THE CONSTRUCTION DOCUMENTS SHALL BE BROUGHT TO THE ATTENTION OF THIS OFFICE BY WRITTEN NOTICE BEFORE PROCEEDING WITH WORK. REASONABLE TIME NOT ALLOWED THIS OFFICE TO CORRECT THE DEFECT SHALL PLACE THE BURDEN OF COST AND LIABILITY FROM SUCH DEFECT UPON THE CONTRACTOR.
11. THIS STRUCTURE SHALL BE ADEQUATELY BRACED FOR WIND LOADS UNTIL THE ROOF, FLOOR AND WALLS HAVE BEEN PERMANENTLY FRAMED TOGETHER AND SHEATHED.
12. INSTALL POLYISOCYANURATE FOAM TYPE INSULATION AT FLOOR AND PLATE LINES, OPENINGS IN PLATES, CORNER STUD CAVITIES AND AROUND DOOR AND WINDOW ROUGH OPENING CAVITIES.
13. INSTALL WATERPROOF GYPSUM BOARD AT ALL WATER SPLASH AREAS TO MINIMUM 10" ABOVE SHOWER DRAINS.
14. INSULATE WASTE LINES FOR SOUND CONTROL.
15. EXHAUST ALL VENTS AND FANS DIRECTLY TO OUTSIDE VIA METAL DUCTS, PROVIDE 90 CFM (MIN) FANS TO PROVIDE 5 AIR CHANGES PER HOUR IN BATHS CONTAINING TUB AND / OR SHOWER AND IN LAUNDRY ROOMS.
16. ALL RECESSED LIGHTS IN INSULATED CEILINGS TO HAVE THE I.C. LABEL.
17. PROVIDE SOLID BLOCKING UNDER ALL BEARING WALLS PERPENDICULAR TO JOISTS AND OTHER BEARING POINTS NOT OTHERWISE PROVIDED WITH SUPPORT. PROVIDE SOLID BLOCKING AT ALL CABINET AND GRAB BAR LOCATIONS.

MISCELLANEOUS NOTES

1. EACH BEDROOM TO HAVE A MINIMUM WINDOW OPENING OF 5.7 SQ. FT. WITH A MINIMUM WIDTH OF 20 IN. AND A SILL LESS THAN 44" ABOVE FIN. FLR.
2. ALL GLAZING WITHIN 18 IN. OF THE FLOOR AND/OR WITHIN 24 IN. OF ANY DOOR (REGARDLESS OF WALL PLANE) ARE TO HAVE SAFETY GLAZING. ALL GLAZING WITHIN 60 IN. OF TUB OR SHOWER FLOOR, 60 IN. OF A STAIR LANDING OR A GLAZING AREA GREATER THAN 9 SQUARE FEET ARE TO HAVE SAFETY GLAZING.
3. SKYLIGHTS ARE TO BE GLAZED WITH TEMPERED GLASS ON OUTSIDE AND LAMINATED GLASS ON THE INSIDE (UNLESS PLEXIGLASS). GLASS TO HAVE MAXIMUM CLEAR SPAN OF 25 IN. AND FRAME IS TO BE ATTACHED TO A 2x CURB WITH A MINIMUM OF 4 IN. ABOVE ROOF PLANE.
4. ALL TUB AND SHOWER ENCLOSURES ARE TO BE GLAZED WITH SAFETY GLASS.
5. ALL EXTERIOR WINDOWS ARE TO BE DOUBLE GLAZED AND ALL EXTERIOR DOORS ARE TO BE SOLID CORE WITH WEATHERSTRIPPING. PROVIDE 1/2 IN. DEADBOLT LOCKS ON ALL EXTERIOR DOORS, AND LOCKING DEVICES ON ALL DOORS AND WINDOWS WITHIN 10 FT. (VERTICAL) OF GRADE. PROVIDE PEEP HOLE 54-66 IN. ABOVE FIN. FLOOR ON EXTERIOR ENTRY DOORS.
6. PROVIDE ONE SMOKE DETECTOR IN EACH ROOM AND ONE IN EACH CORRIDOR ACCESSING BEDROOMS. CONNECT SMOKE DETECTORS TO HOUSE POWER AND INTER-CONNECT SMOKE DETECTORS TO HOUSE POWER AND INTERCONNECT SO THAT, WHEN ANY ONE IS TRIPPED, THEY ALL WILL SOUND. PROVIDE BATTERY BACKUP FOR ALL UNITS.
7. PROVIDE COMBUSTION AIR VENTS (W/SGREEN AND BACK DAMPER) FOR GAS FIRE-PLACE AND ANY OTHER APPLIANCES WITH AN OPEN FLAME.
8. BATHROOMS AND UTILITY ROOMS ARE TO BE VENTED TO THE OUTSIDE WITH A FAN CAPABLE OF PRODUCING A MINIMUM OF 5 AIR EXCHANGES PER HOUR.
9. RANGE HOODS ARE ALSO TO BE VENTED TO THE OUTSIDE.
10. ELECTRICAL RECEPTACLES IN BATHROOMS, KITCHENS AND GARAGES SHALL BE G.F.I. OR G.F.I.C. PER NATIONAL ELECTRICAL CODE REQUIREMENTS.
11. INSULATE ALL ACCESS DOORS/ HATCHES TO CRAWL SPACES AND ATTICS TO THE EQUIVALENT RATING OF THE WALL, FLOOR OR CEILING THROUGH WHICH THEY PENETRATE. UNO ON PLANS. (ATTIC R-38, WALLS R-21, FLOORS R-30)
12. PROVIDE CRAWLSPACE VENTING TO MEET THE REQUIREMENTS OF THE 2016 EDITION OF THE CALIFORNIA BUILDING CODE.
13. PROVIDE SPECIAL INSPECTION, SPECIAL TESTING, REPORTING AND COMPLIANCE PROCEDURES ACCORDING TO THE 2016 CALIFORNIA BUILDING CODE.

PROJECT DATA

OWNER: Ernesto Jimenez
1717 Capitol Avenue
Sacramento, California 95811
(916) 601-7004

ARCHITECT: Jon N. Westphal
773 Bolsa Court
El Dorado Hills, California 95762
(916) 804-0183
C-19845

PROJECT ADDRESS: 2739 East Bidwell Street
Folsom, California 95630

ASSESSOR'S PARCEL NUMBER:

CODE REFERENCES: 2019 C.G.B.C., C.B.C., G.E.C., C.M.C., C.P.C., G.E.C., Title 24
2019 California Fire Code

OCCUPANCY GROUP: B

CONSTRUCTION TYPE: V-b

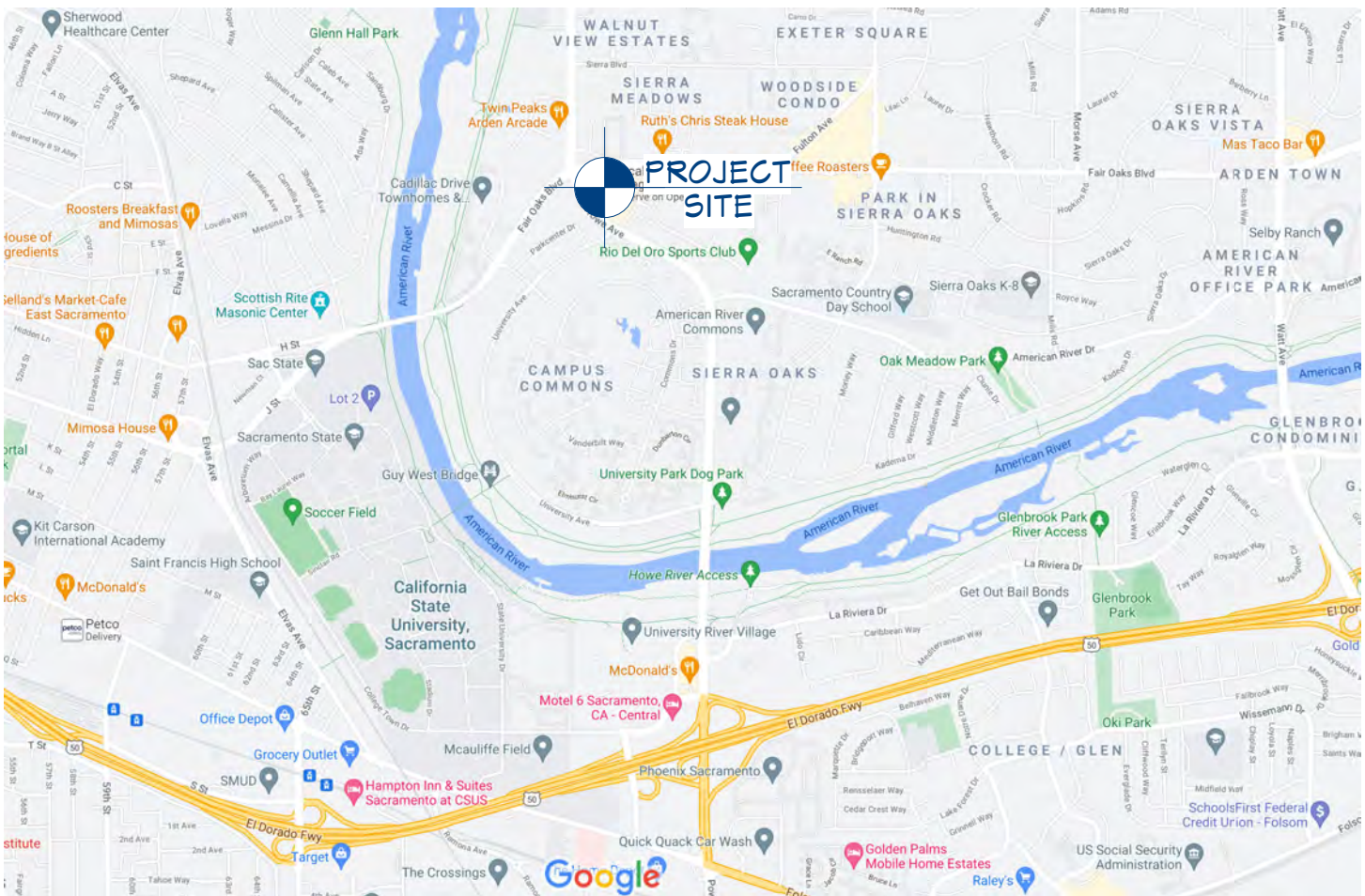
SNOW LOAD: 0 PSF SPRINKLERS: No SPECIAL INSP. No

SCOPE: Expansion of the existing outdoor dining courtyard area.
New planters, Covered patio structures, hardscape

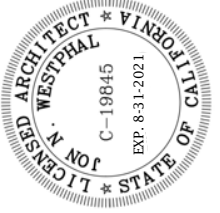
SHEET INDEX

- | | |
|------|------------------------------|
| A-1 | COVER SHEET |
| A-2 | EXISTING SITE PLAN |
| A-3 | COURTYARD PLANS |
| P-0 | PLUMBING SCHEDULES & NOTES |
| P-1 | PLUMBING PLAN - GAS |
| E-0 | ELECTRICAL SCHEDULES & NOTES |
| E-1 | ELECTRICAL PLAN - POWER |
| E-2 | ELECTRICAL PLAN - LIGHTING |
| E-3 | LIGHTING ENERGY COMPLIANCE |
| S0.1 | STRUCTURAL NOTES |
| S0.2 | STRUCTURAL NOTES |
| S0.3 | STRUCTURAL DETAILS |
| S0.4 | STRUCTURAL DETAILS |
| S2.1 | FOUNDATION PLAN |
| S2.2 | ROOF FRAMING |
| S4.1 | FOUNDATION DETAILS |
| S4.2 | FDN. & FRAMING DETAILS |

VICINITY MAP



No.	Date	Description



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773 Bolsa Court
El Dorado Hills, California 95762
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COVER SHEET

Expanded Outdoor Dining Area at
Zocolo Restaurant
2739 East Bidwell Street
Folsom, California 95630

FILE NO:

2147_Base

DATE:

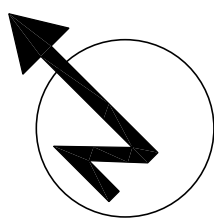
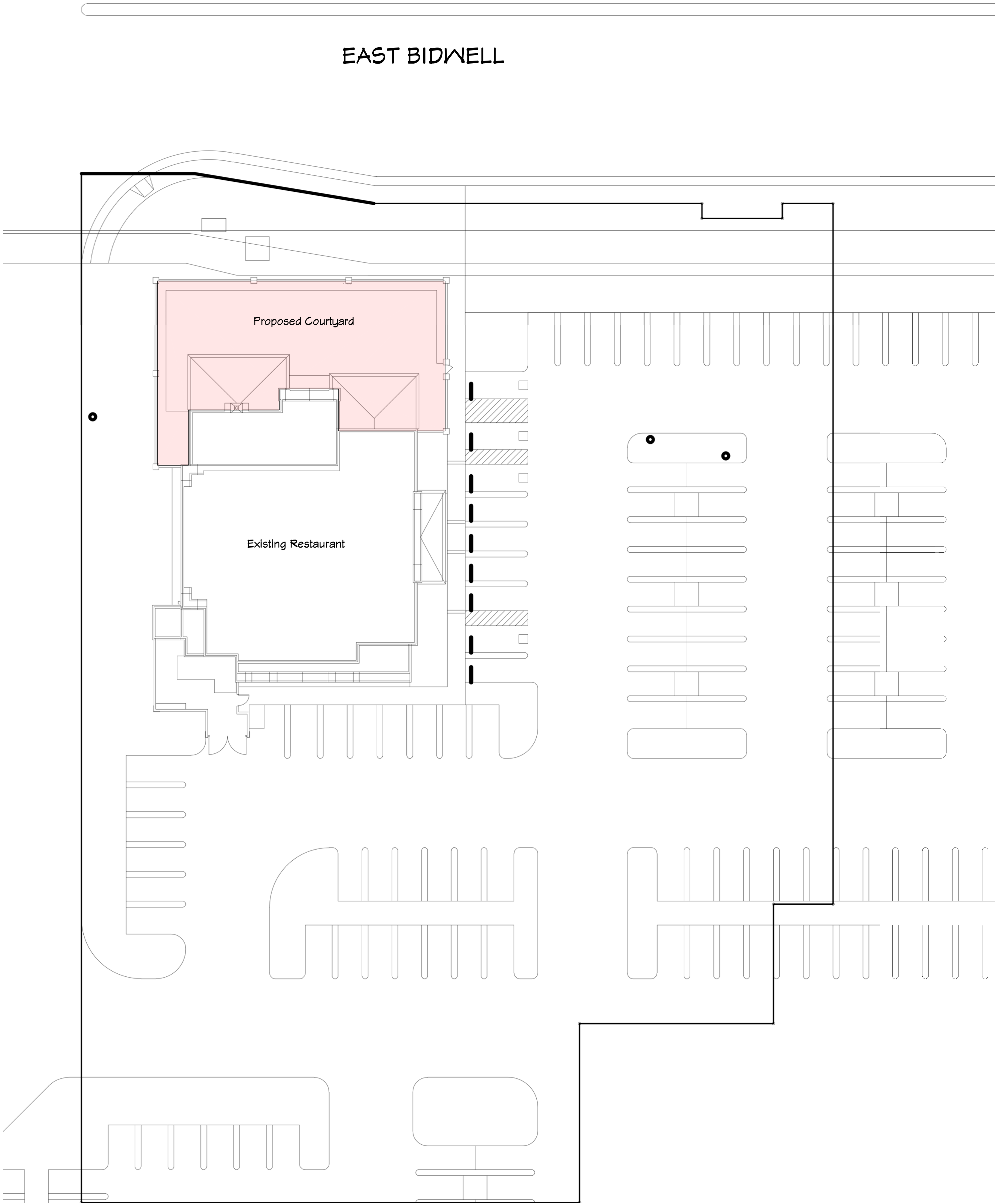
3/3/2022

SHEET NO:

A-1

D:\JNWarchitect_Del\2147_ZoolosFolsom\Drawings\2147_Base layout

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PARTIAL SITE PLAN
±1" = 20.0'

Revision Table	
No.	Description



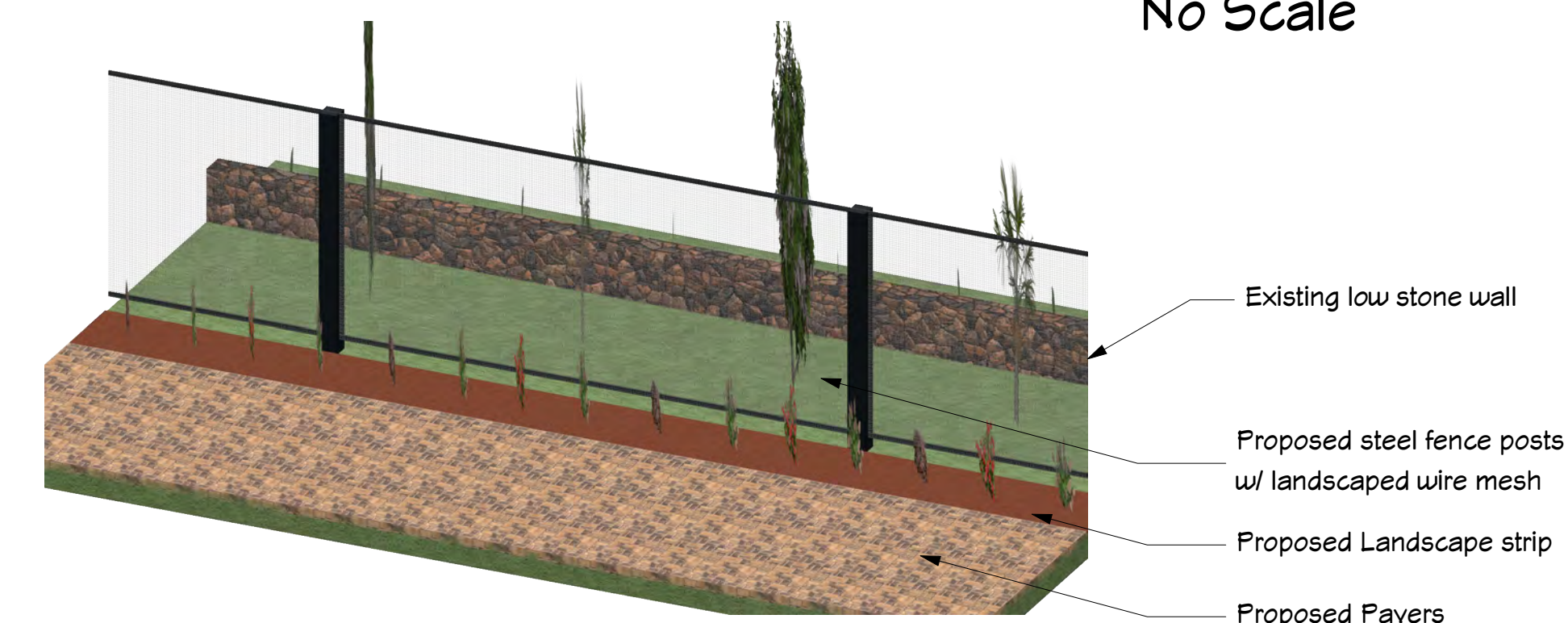
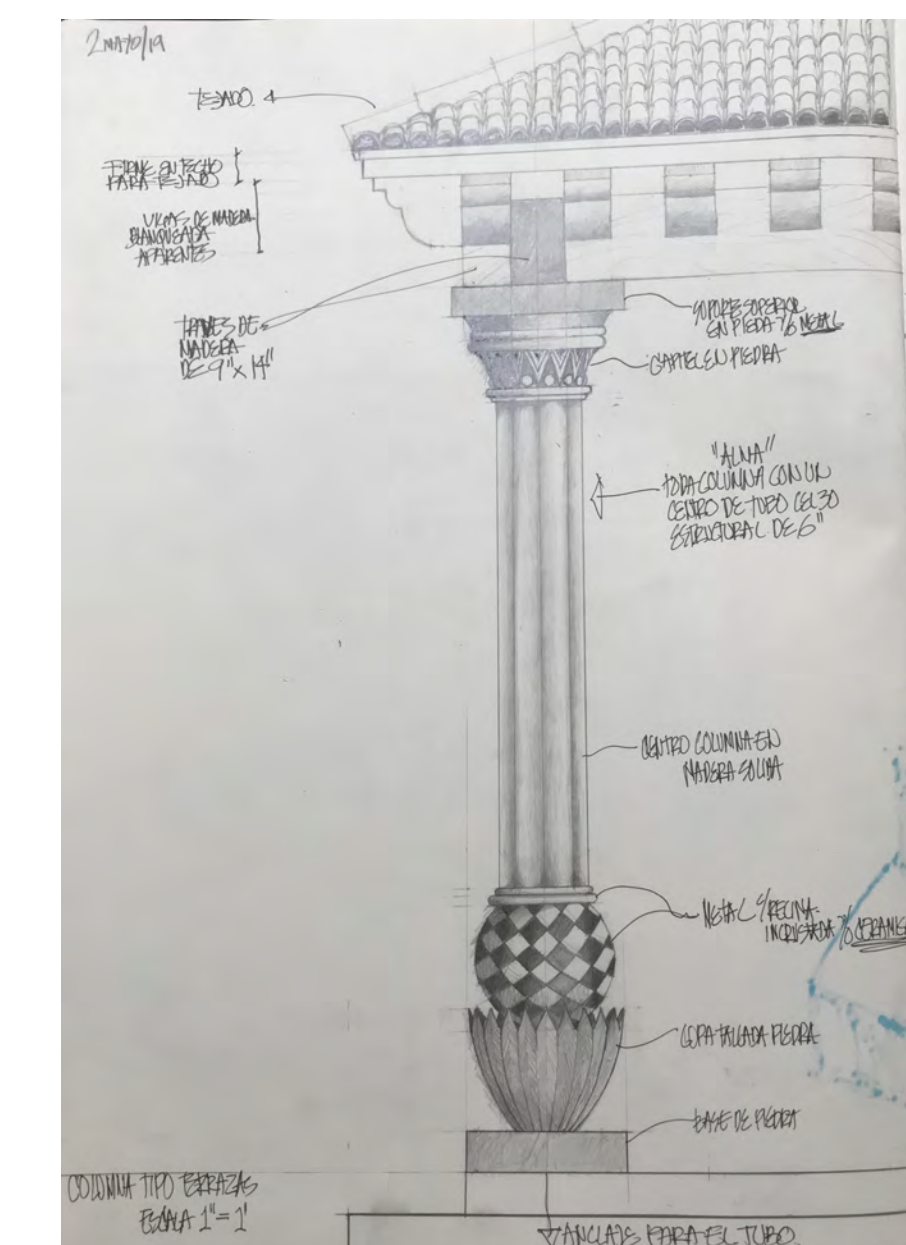
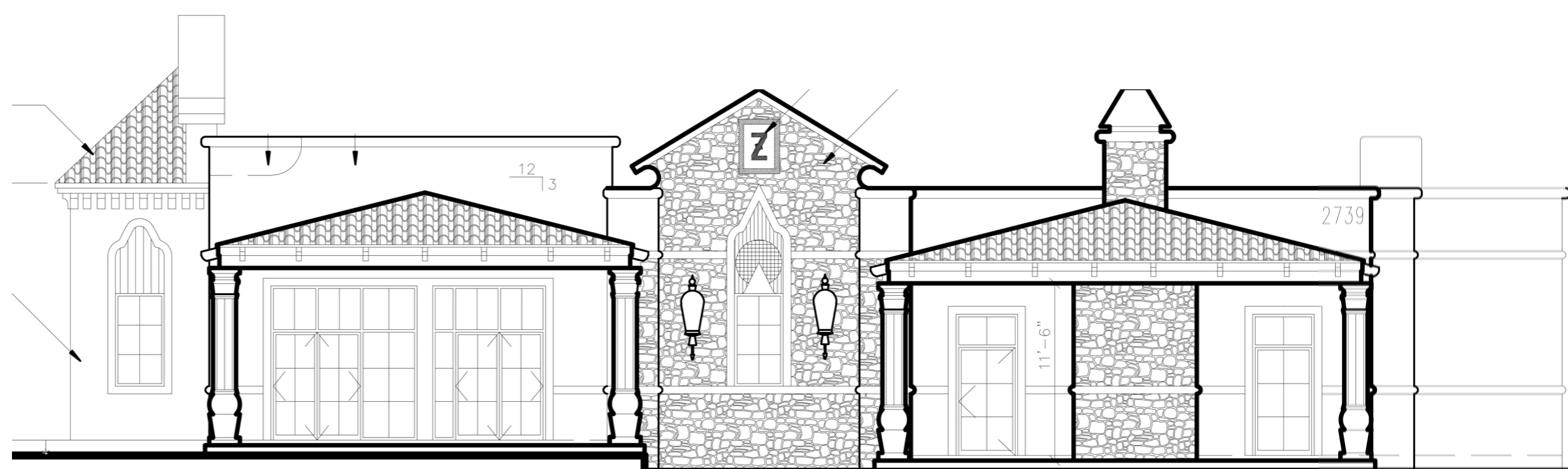
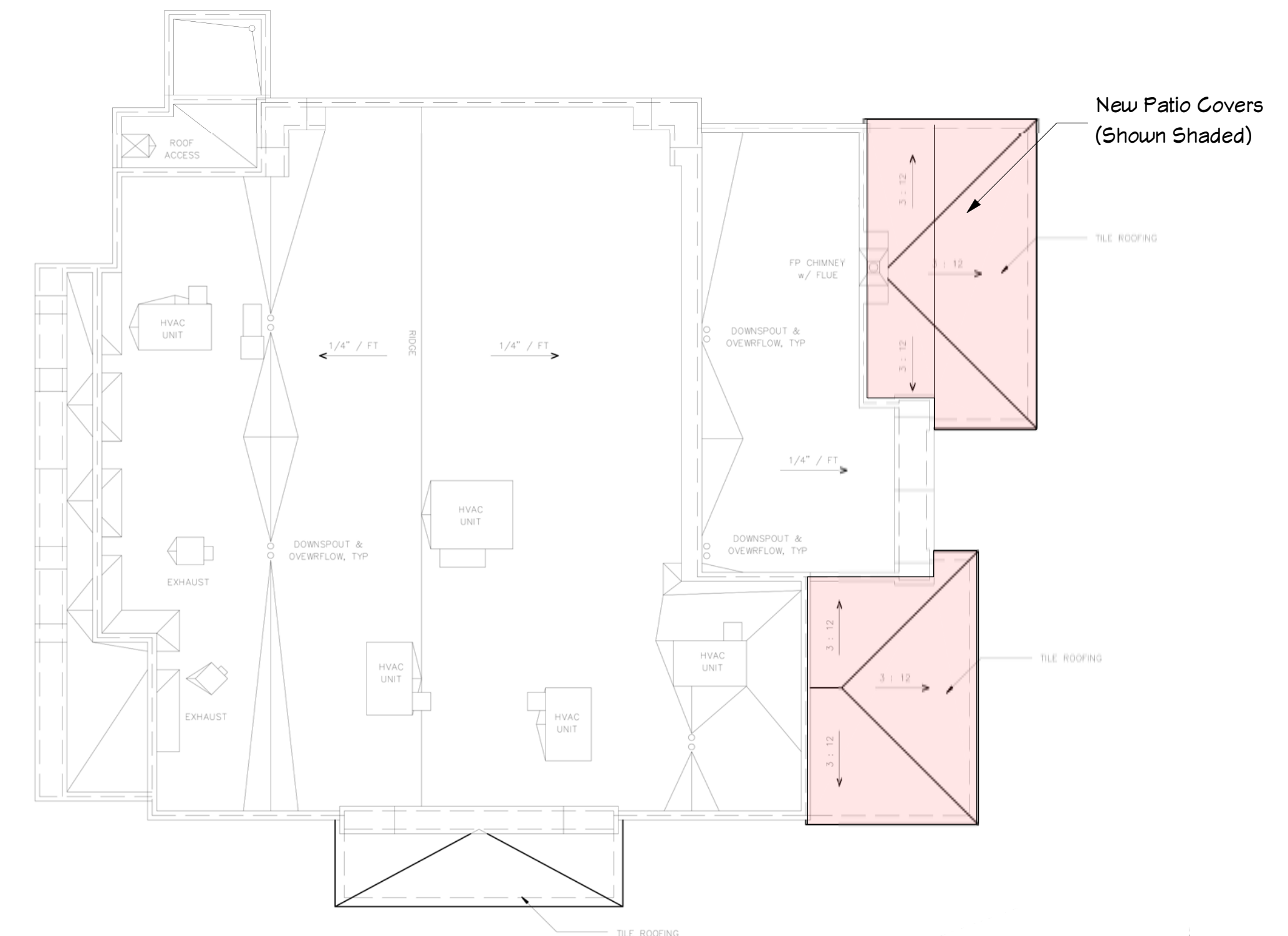
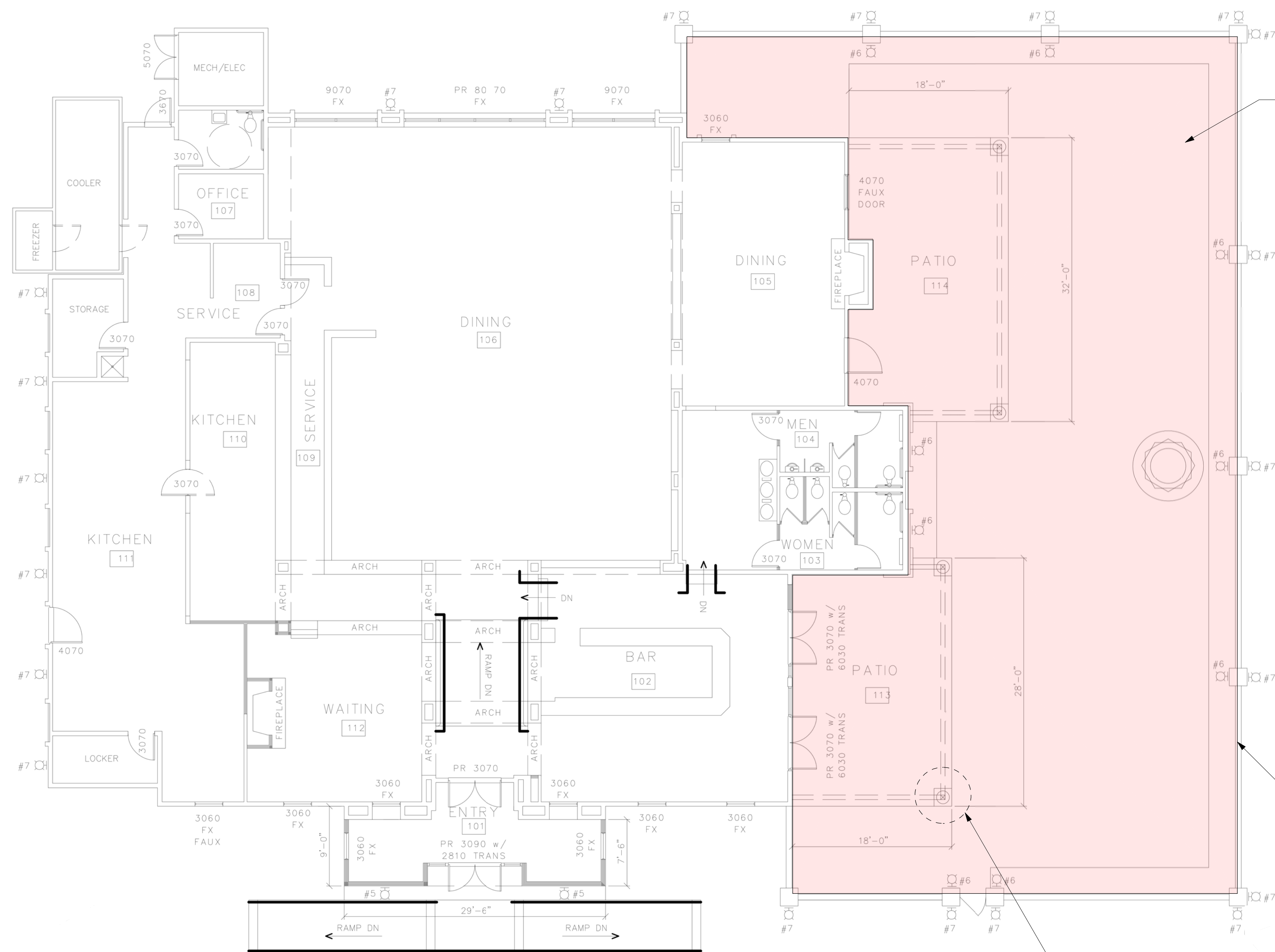
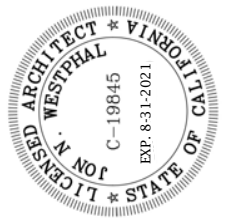
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EXISTING SITE PLAN

Expanded Outdoor Dining Area at
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Folsom, California 95630

FILE NO:
2147_Base
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3/3/2022
SHEET NO:
A-2

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COURTYARD PLANS

**Expanded Outdoor Dining Area at
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Folsom, California 95630**

FILE NO:

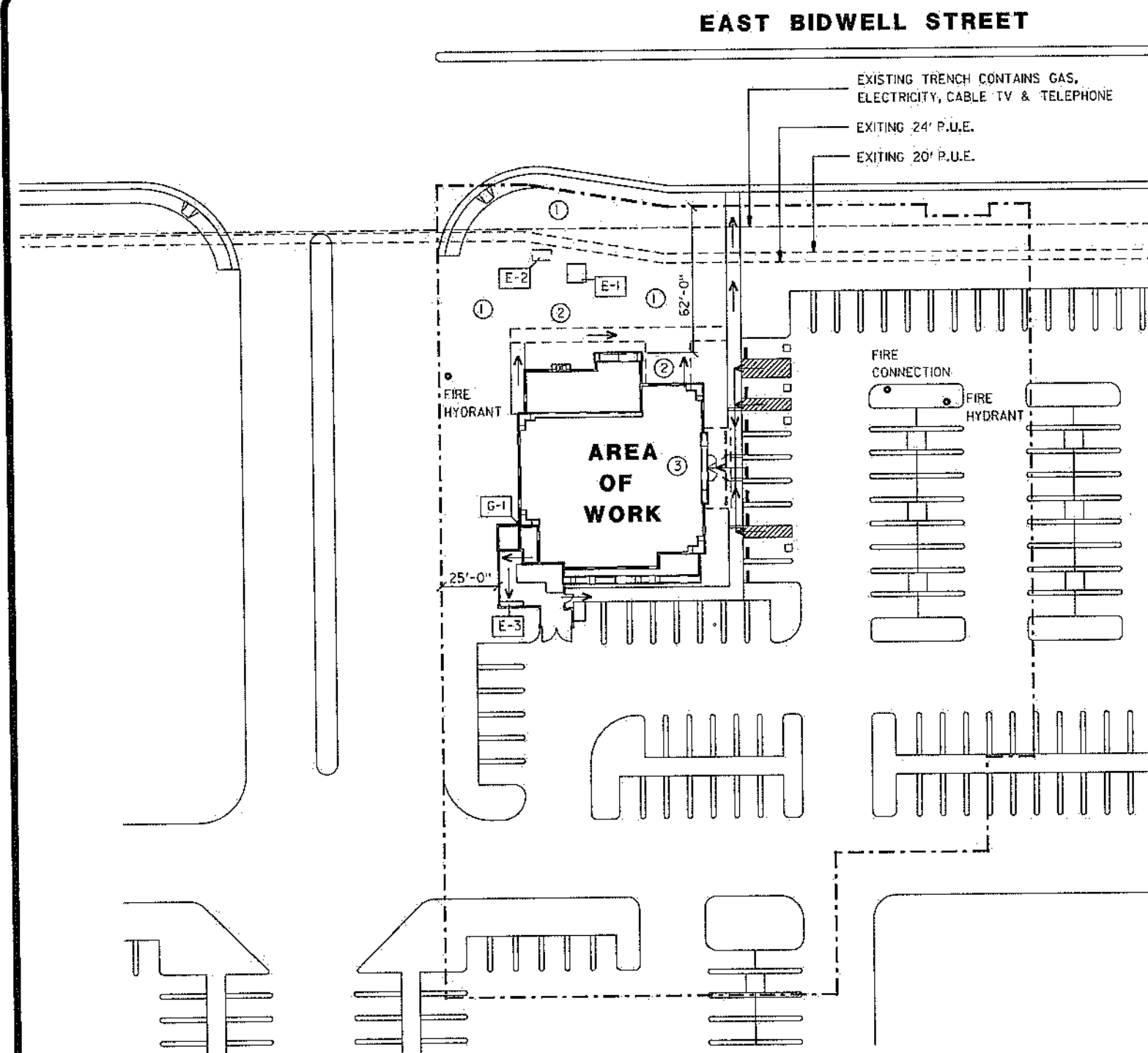
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DATE: _____

3/3/2022

SHEET NO:

A-3



EXISTING SITE PLAN

1" = 30'-0"

BUILDING DESIGN CRITERIA

BUILDING CONSTRUCTION TYPE	VA
OCCUPANCY CLASSIFICATION	A-2
NUMBER OF STORIES	1
ACTUAL BUILDING HEIGHT	29'-0"
ALLOWABLE BUILDING HEIGHT	70'-0"
BUILDING AREA, (MODIFIED FIRST FLOOR)	7,358 SF
ALLOWABLE AREA	35,000 SF
AREA INCREASE, SPRINKLER: 200%	NONE
FIRE SPRINKLERED	YES
FIRE ALARM	YES
SMOKE CONTROL SYSTEM	YES
SEPERATED OCCUPANCY	NO

PARKING

STANDARD STALLS	80
ACCESSIBLE STALLS	4
TOTAL	84

KEY NOTES

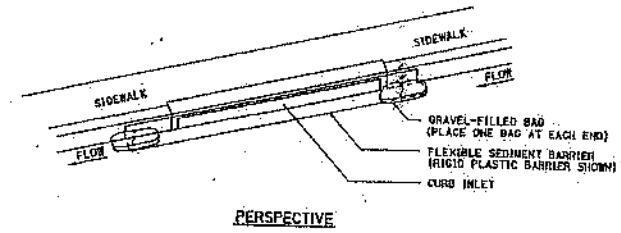
- E-1 EXISTING SMUD TRANSFORMER
- E-2 EXISTING ELECTRICAL VAULT
- E-3 EXISTING ELECTRICAL PANEL (1200 AMP/208 V/3 PHASE)
- G-1 EXISTING GAS METER 4,005,000 BTU

LEGEND

- EXISTING TO REMAIN
- EXISTING TO BE REMOVED

REMOVAL NOTES

- REMOVE EXISTING LANDSCAPING AND IRRIGATION LINES. CAP WATER LINES AT IRRIGATION VALVES.
- REMOVE EXISTING FLATWORK.
- REMOVE EXISTING PORCH, ROOF AND FRAMING. SEE SHEET A-3.

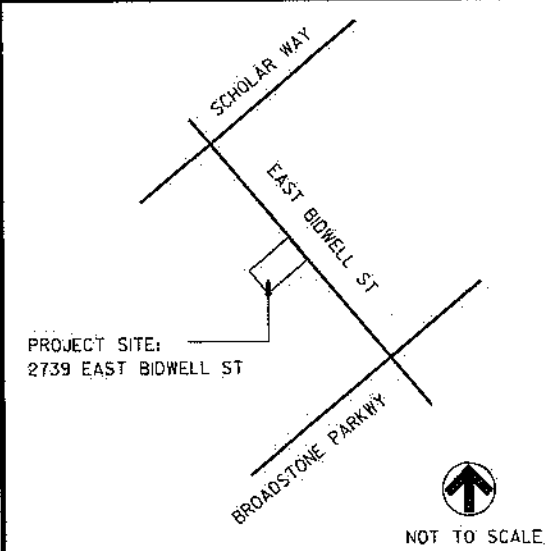


TEMPORARY DRAINAGE
INLET PROTECTION (TYPE 68)
(CURB INLET WITHOUT GRATE)

1 DRAINAGE RETENTION

NOT TO SCALE

VICINITY MAP



BUILDING DATA

ZONING:	C-3
	GENERAL COMMERCIAL
OCCUPANCY TYPE:	A-2
CONSTRUCTION TYPE:	TYPE VA
PARCEL SIZE:	1.53 ACRES
BUILDING SIZE:	
EXISTING FLOOR AREA	7,214 SF
MODIFIED FLOOR AREA	7,358 SF
APPLICABLE CODES:	2018 CBC
2018 CALIFORNIA BUILDING CODE	2018 CMC
2018 CALIFORNIA GREEN CODE	2018 CPC
2018 CALIFORNIA ENERGY CODE	2018 CEC
	2018 CFC
FLOOR LOAD:	40 PSF
ROOF LOAD:	20 PSF
GROUND SNOW LOAD:	0 PSF
BASIC WIND SPEED:	85 MPH
WIND EXPOSURE:	C
SEISMIC DESIGN CATEGORY:	D
SITE CLASS	D

SHEET INDEX

- A-1 EXISTING SITE PLAN, VICINITY MAP AND BUILDING DATA
- A-2 EXISTING FLOOR PLAN
- A-3 EXISTING ROOF PLAN
- A-4 EXISTING ELEVATION
- A-5 EXISTING ELEVATIONS
- A-6 DEMOLITION FLOOR PLAN
- A-7 MODIFIED SITE PLAN
- A-8 MODIFIED FLOOR PLAN
- A-9 MODIFIED ROOF PLAN
- A-10 MODIFIED EXTERIOR ELEVATIONS
- A-11 MODIFIED EXTERIOR ELEVATIONS
- A-12 LANDSCAPE PLAN

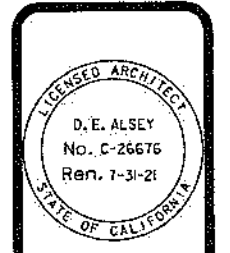
SCOPE OF WORK

TENANT IMPROVEMENT CONSISTING OF DEMOLISHING EXISTING LANDSCAPING, IRRIGATION, ENTRY PORCH AND ROOF, RAISED CONCRETE PEDESTALS IN BAR AND DINING AREAS, RESTROOM SINK AREAS AND TOILET PARTITIONS, CEILING AREAS, DOORS, WINDOWS, INTERIOR ARCHES, PIZZA OVEN AND EXTERIOR FLATWORK. CONSTRUCT NEW INTERIOR AND EXTERIOR IMPROVEMENTS.

NOTE

1. STORM WATER DRAINAGE AND RETENTION DURING CONSTRUCTION TO COMPLY WITH 2016 CALIFORNIA GREEN BUILDING STANDARD SECTION 4.106.2, SEE
2. THE CONTRACTOR SHALL COMPLY WITH THE CITY OF FOLSOM ADMINISTRATIVE AND TECHNICAL MANUAL FOR THE GRADING/EROSION AND SEDIMENT CONTROL. CONTRACTOR SHALL HAVE ALL APPROPRIATE EROSION AND SEDIMENT CONTROL MEASURES IN PLACE FOR THE WINTER MONTHS PRIOR TO OCTOBER (AND MUST ENSURE THAT THE CONSTRUCTION SITE IS PREPARED PRIOR TO THE ONSET OF ANY STORM.

07-09-19

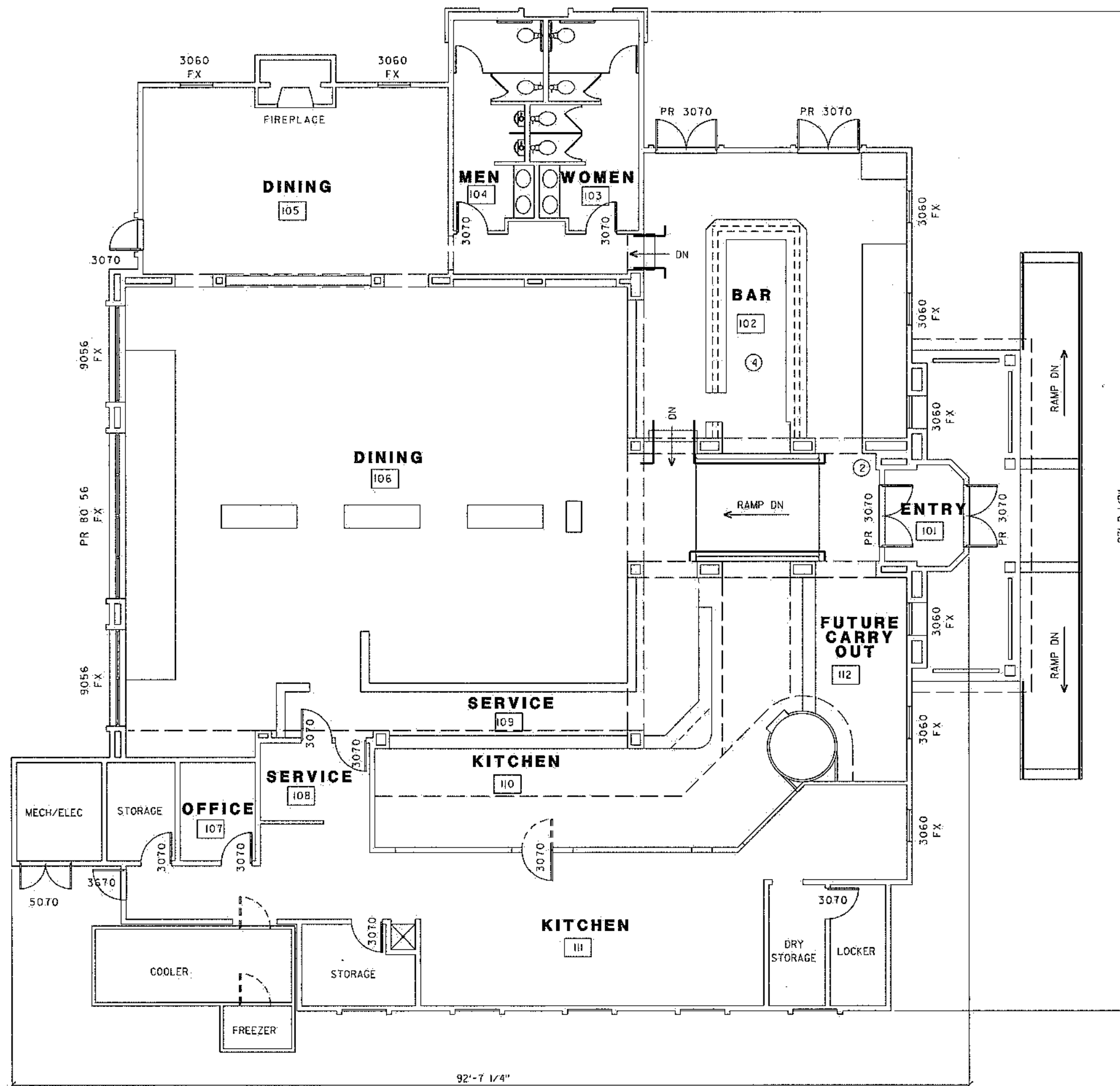


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509 Evening Breeze Court
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Tenant Improvement & Remodel for:
Zocalo Restaurant
2739 East Bidwell Street
Folsom, California
APN: 072-1700-031-0000

DRAWN DEA
CHECKED
DATE 09-27-19
SCALE AS NOTED
SHEET

A-1



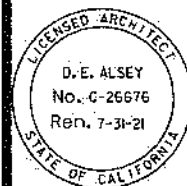
EXISTING FLOOR PLAN

FLOOR AREA: 7,214 SF



3/16" = 1'-0"

08-26-19



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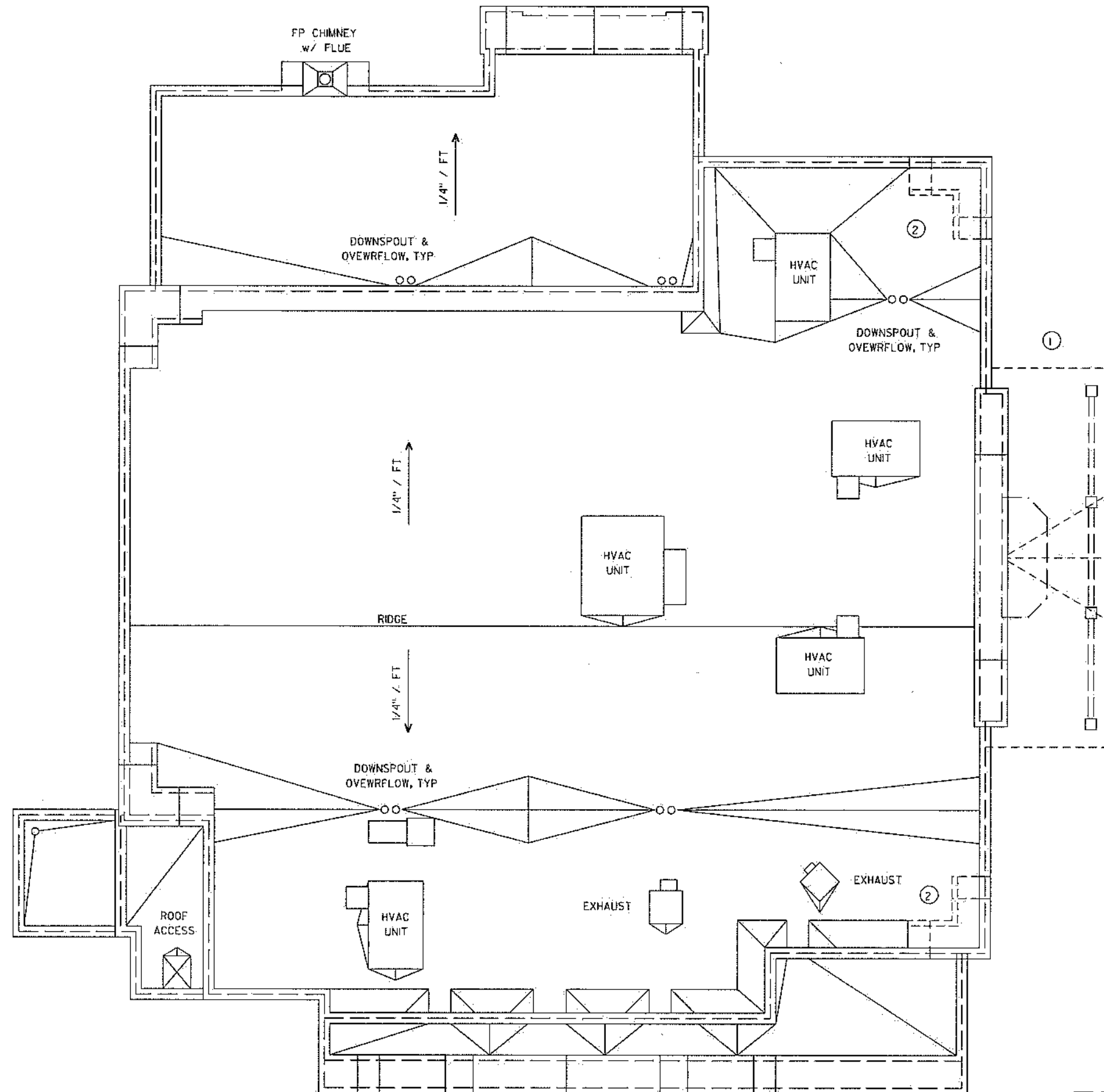
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DATE
09-27-19

SCALE
AS NOTED

SHEET

A-2



NOTE

1. THE CONTRACTOR SHALL PROVIDE ADEQUATE DESIGN AND CONSTRUCTION OF ALL FORMS, BRACING AND SHORING AS REQUIRED. THE CONTRACTOR SHALL PROVIDE ADEQUATE STAYS AND BRACING OF ALL FRAMING UNTILL ALL ELEMENTS OF DESIGN HAVE BEEN INCORPORATED INTO THE PROJECT.
2. ALL MATERIAL AND WORKMANSHIP SHALL CONFORM TO THE 2016 CBC, UFC AND LATEST NER, OSHA RULES, LOCAL BUILDING CODES AND CONSTRUCTION INDUSTRY STANDARDS.
3. CONTRACTOR SHALL VERIFY EXISTING FOUNDATION AND FOOTING SIZES, LOCATIONS AND CONDITIONS PRIOR TO START OF WORK.
4. WHERE WALLS AND WINDOWS ARE REMOVED, PATCH DAMAGED SURFACES TO MATCH EXISTING ADJACENT SURFACE.

REMOVAL NOTES

- ① REMOVE EXISTING PORCH ROOFING AND PORCH FRAMING.
- ② REMOVE PORTION OF EXISTING PARAPET.

LEGEND

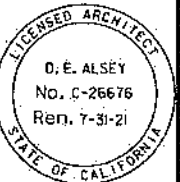
- EXISTING TO REMAIN
- EXISTING TO BE REMOVED

EXISTING ROOF PLAN



3/16" = 1'-0"

06-17-19



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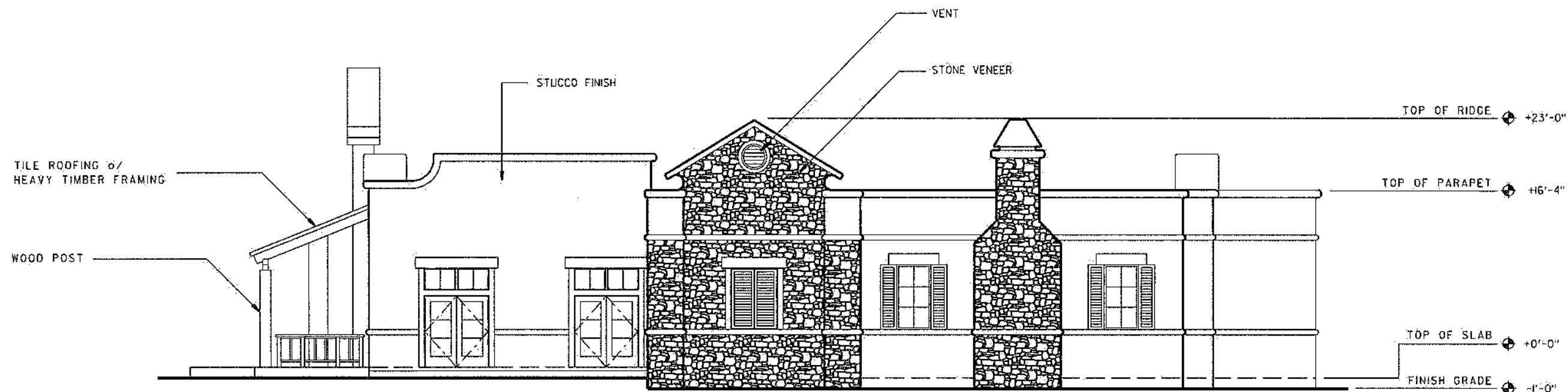
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SCALE
 AS NOTED
 SHEET

A-3



NORTH

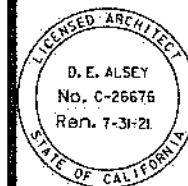


WEST

EXISTING EXTERIOR ELEVATIONS

3/16" = 1'-0"

06-17-19



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CHECKED

DATE

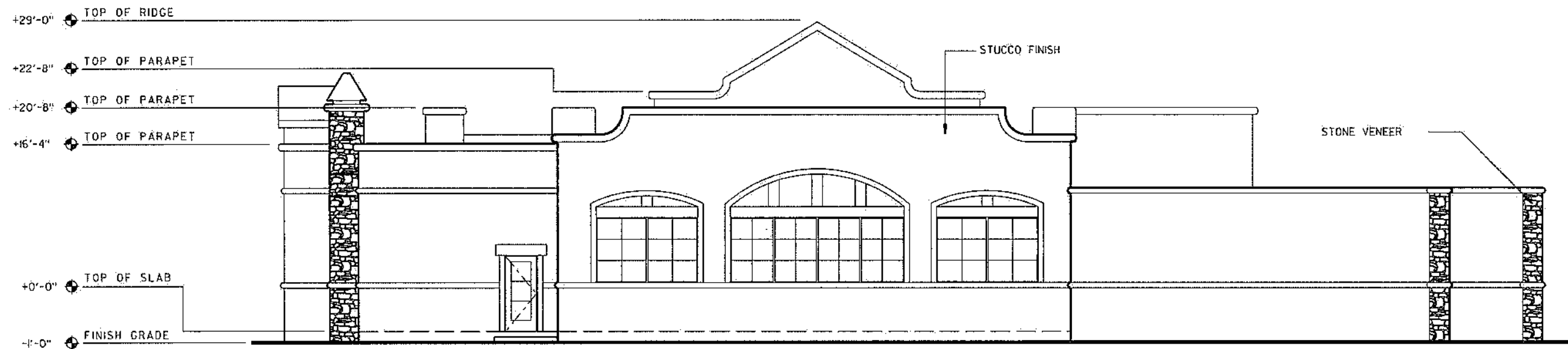
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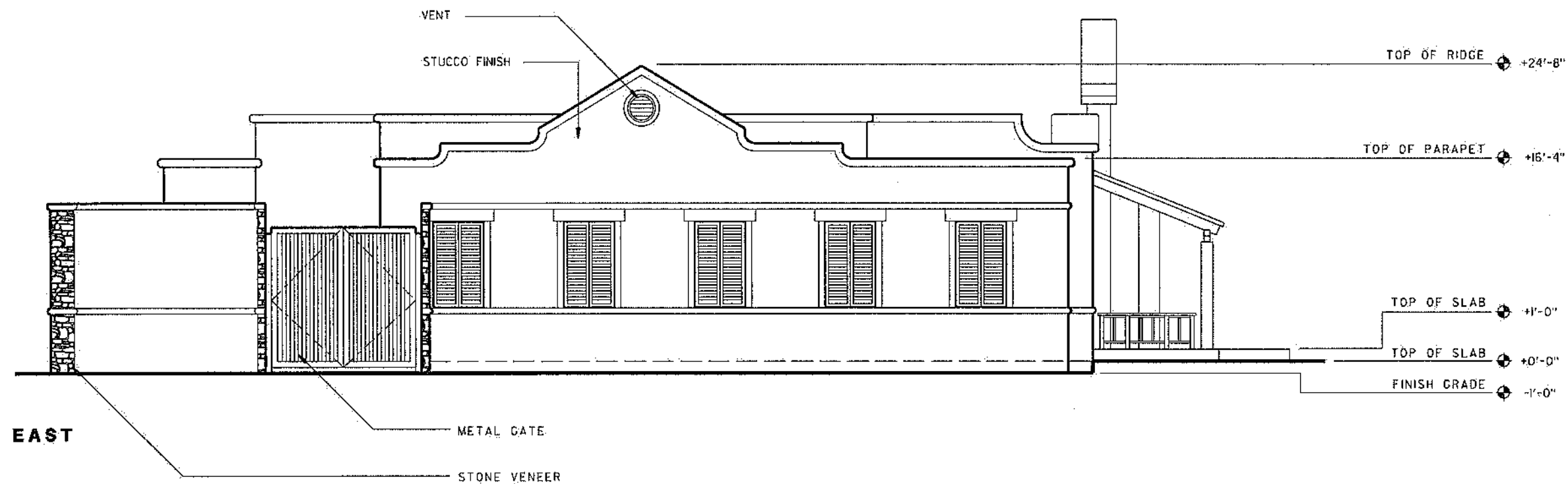
AS NOTED

SHEET

A - 4



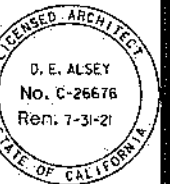
SOUTH



EXISTING EXTERIOR ELEVATIONS

3/16" = 1'-0"

06-17-19



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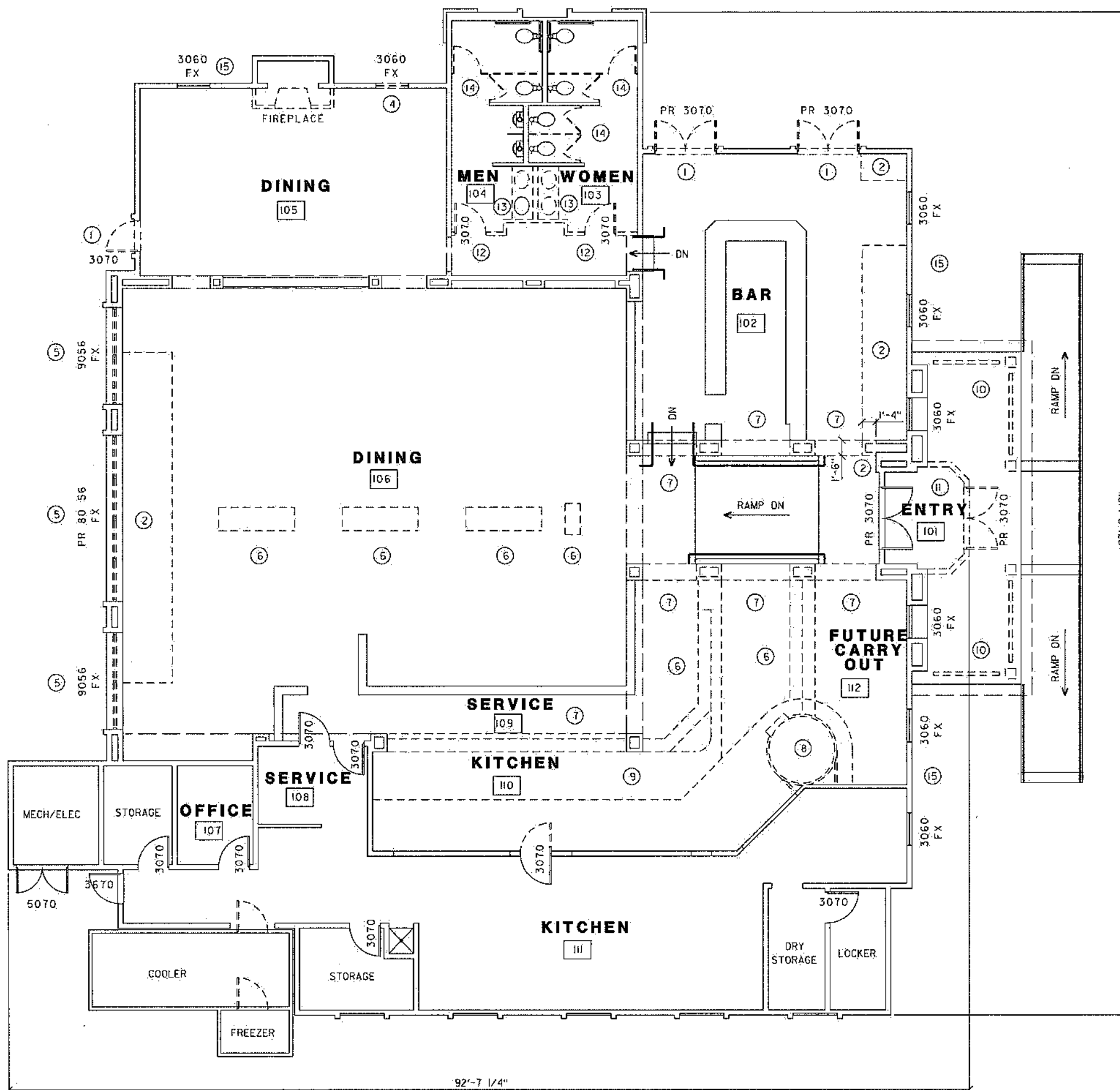
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DRAWN
DEA
CHECKED

DATE
09-27-19

SCALE
AS NOTED
SHEET

A-5



NOTE

1. THE CONTRACTOR SHALL PROVIDE ADEQUATE DESIGN AND CONSTRUCTION OF ALL FORMS, BRACING AND SHORING AS REQUIRED. THE CONTRACTOR SHALL PROVIDE ADEQUATE STAYS AND BRACING OF ALL FRAMING UNTILL ALL ELEMENTS OF DESIGN HAVE BEEN INCORPORATED INTO THE PROJECT.
2. ALL MATERIAL AND WORKMANSHIP SHALL CONFORM TO THE 2016 CBC, UFC AND LATEST NER OSHA RULES, LOCAL BUILDING CODES AND CONSTRUCTION INDUSTRY STANDARDS.
3. CONTRACTOR SHALL VERIFY EXISTING FOUNDATION AND FOOTING SIZES, LOCATIONS AND CONDITIONS PRIOR TO START OF WORK.
4. WHERE WALLS AND WINDOWS ARE REMOVED, PATCH DAMAGED SURFACES TO MATCH EXISTING ADJACENT SURFACE.

REMOVAL NOTES

- 1 REMOVE EXISTING DOOR AND FRAME, HEADER TO REMAIN.
- 2 REMOVE EXISTING RAISED CONCRETE PEDESTAL.
- 3 REMOVE PORTION OF EXISTING NON-BEARING WALL.
- 4 REMOVE EXISTING WINDOW FOR NEW DOOR OPENING. HEADER TO REMAIN.
- 5 REMOVE EXISTING WINDOW FOR NEW WINDOW OPENING. HEADER TO REMAIN, NEW SILL AT +36" FROM FLOOR.
- 6 REMOVE EXISTING MILLWORK.
- 7 REMOVE EXISTING STONE ARCHWAY.
- 8 REMOVE EXISTING PIZZA OVEN.
- 9 REMOVE EXISTING SOFFIT.
- 10 REMOVE EXISTING WOOD RAILING AND POSTS.
- 11 REMOVE EXISTING DOOR, FRAME, HEADER AND WALLS.
- 12 REMOVE EXISTING DOOR, FRAME AND WALLS.
- 13 REMOVE EXISTING SINKS, CAP WATER AND WASTE LINES.
- 14 REMOVE EXISTING TOILET STALL PARTITIONS AND DOORS.
- 15 REMOVE EXISTING EXTERIOR WINDOW TREATMENTS.

LEGEND

- EXISTING TO REMAIN
- EXISTING TO BE REMOVED

ALL EXISTING EXTERIOR WINDOWS ARE INSULATED WITH A U VALUE OF 55

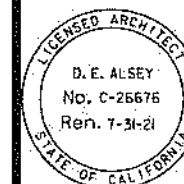
DEMOLITION FLOOR PLAN

FLOOR AREA: 7,134 SF



3/16" = 1'-0"

08-26-19



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DATE
09-27-19

SCALE
AS NOTED

SHEET

A-6

MODIFIED SITE PLAN

$\mu = 20' - 0''$

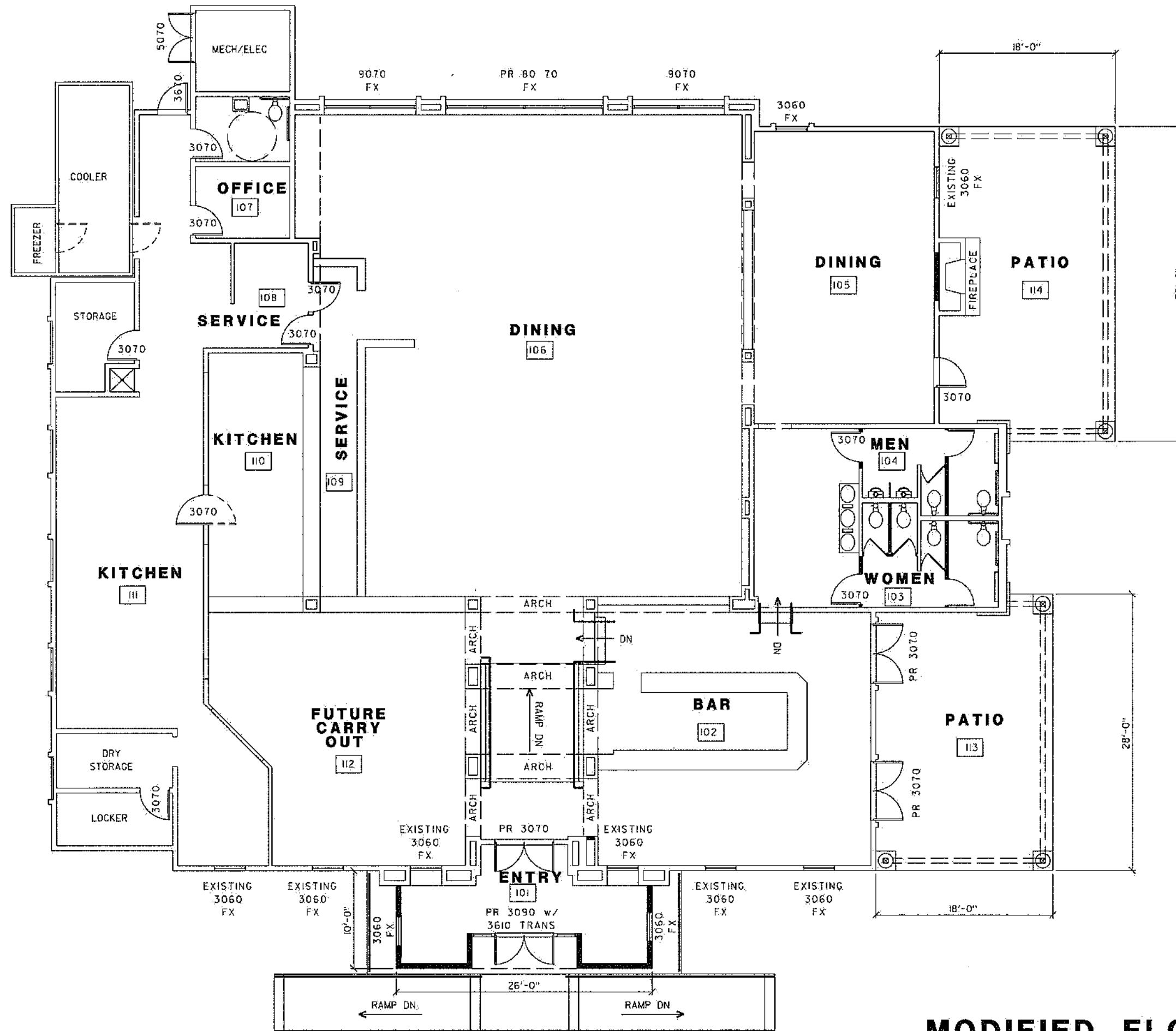
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email: dtne@aol.com

Zocalo Restaurant
2739 East Bidwell Street
Folsom, California
APN: 072-1700-031-0000

KEY

A-7



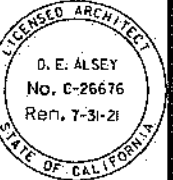
MODIFIED FLOOR PLAN

FLOOR AREA: 7,358 SF



3/16" = 1'-0"

08-26-19



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Zocalo Restaurant
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DRAWN:

DEA

CHECKED

DATE

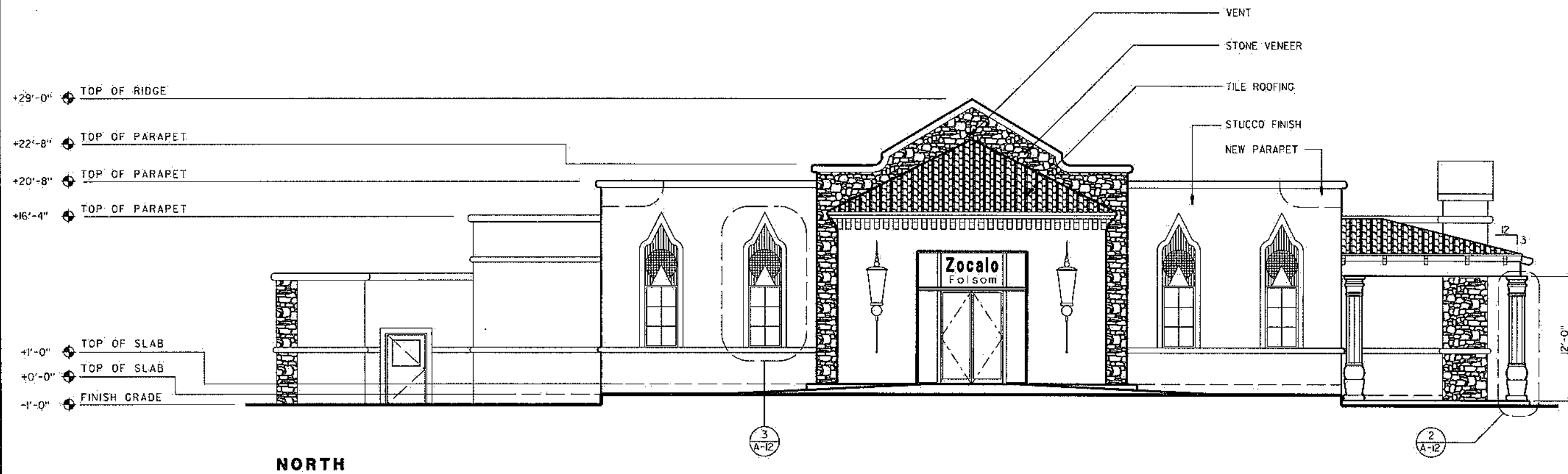
09-27-19

SCALE

AS NOTED

SHEET

A-8



NORTH

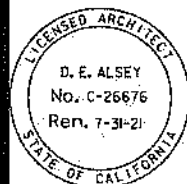


WEST

MODIFIED EXTERIOR ELEVATIONS

3/16" = 1'-0"

06-17-19



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DEA

CHECKED

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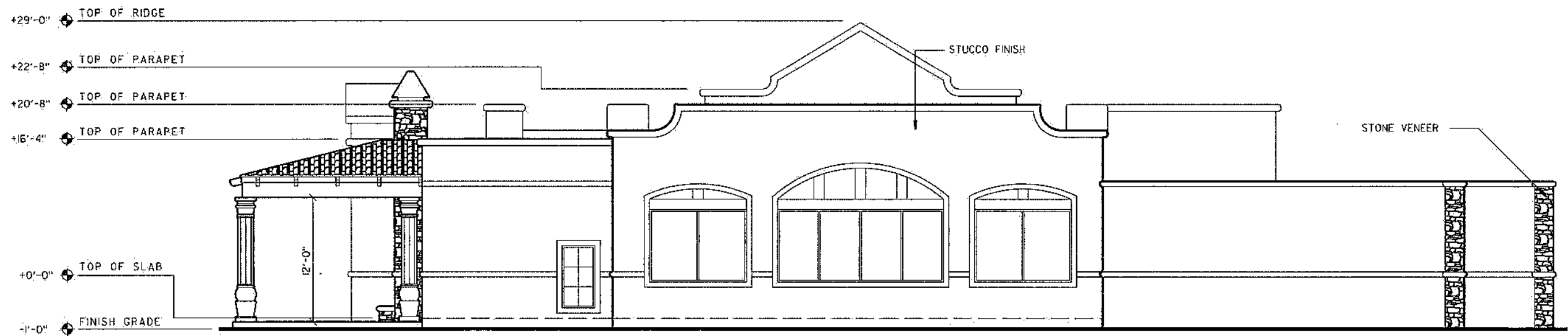
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SCALE

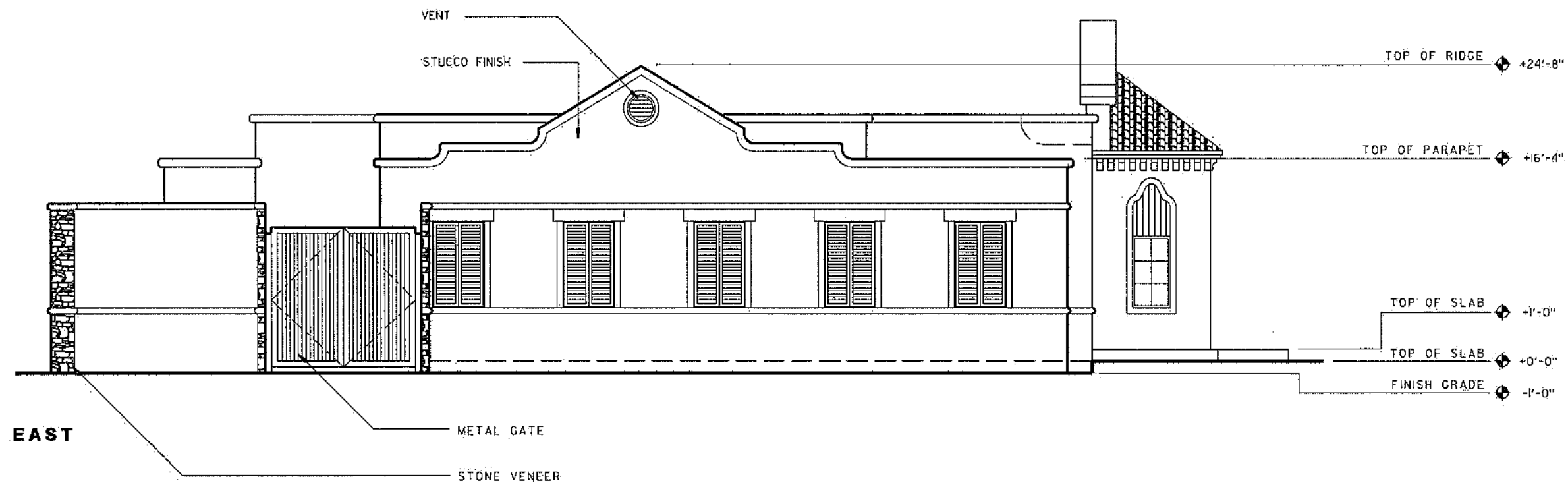
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SHEET

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SOUTH

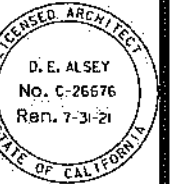


EAST

MODIFIED EXTERIOR ELEVATIONS

3/16" = 1'-0"

06-17-19



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DESIGN
DEA

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DATE
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SCALE
AS NOTED

SHEET

A-11

EAST BIDWELL STREET

98'-0"

ELEC VAULT

TRANSFMR

LANDSCAPE

8' HIGH CMU WALL

PLANTER

WATER FEATURE

HARDSCAPE

PATIO

DINING

BAR

ENTRY

FIRE HYDRANT

LANDSCAPE

SIDEWALK

45'-4"

56'-8"

ID	SYMBOL	COMMENTS
A	[Symbol]	FOR
B	[Symbol]	
C	[Symbol]	
D	[Symbol]	

LANDSCAPE PLAN

8'-0"

1'-0"

GRADE

1'-0"

PRECAST CONC CAP

8X8X16 CONC. BLK. -
GROUT @ CELLS

2-#4 HORIZ. @ 24"
O.C. #5 VERT. @ 24" O.C.

STUCCO FINISH EACH
SIDE TO MATCH
BUILDING

#4 DOWEL @ 32" O.C. -
LAP 32" MIN.








CONC. FTG

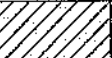


#4 REBAR
TOP &
BOTTOM

① CMU WALL

② DECRYPTIVE COLUMN

③ EXTERIOR WINDOW TREATMENT
NOT TO SCALE

ID	SYMBOL	COMMAND NAME	BOTANICAL NAME	SIZE	QUANTITY	WATER REQ.	TYPE
(A)		FORTNIGHT LILY	DIETES BICOLOR	1 GAL.	12	LOW	SHRUB
(B)		MORAEA IRIS	DIETES VEGETA	1 GAL.	12	LOW	SHRUB
(C)		RED LEAF JAPANESE BARBERRY.	BERBERIS THUNBERGII A "TROPICURPURA"	5 GAL.	9.	MEDIUM	SHRUB
(D)		HEAVENLY BAMBOO	MASTOMIA DOMESTICA "ALA"	5 GAL.	16	MEDIUM	SHRUB
(E)		LILY-OF-THE-NILE	ACAPANTHUS AFRICANUS	1 GAL.	8	LOW	SHRUB
(F)		AFRICAN BOXWOOD	MYRSINE AFRICANA	5 GAL.	12	LOW	SHRUB
(G)		CHINESE PISTACHIO	PISTACHIA CHINENSIS.		8	LOW	TREE

I.D.	SYMBOL	COMMON NAME	BOTANICAL NAME	SIZE	WATER REQ.	TYPE
1		STAR JASMINE	TRACHELOSPERMUM JASMINOIDES	A GAL. @ 36" D.C.	LOW	GROUND COVER
2		SUNROSE	HELIANTHEMUM NUMMULARIUM	A GAL. @ 24" D.C.	LOW	GROUND COVER
3		GRASS	TO MATCH EX.	SOD	LOW	GRASS



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SHEET

10

A-12