



Folsom Plan Area Semi-Annual Update Q421/Q122



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FPA Semi-Annual Update Outline



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Planning Activity

Infrastructure and Site Engineering Activity

Map Activity

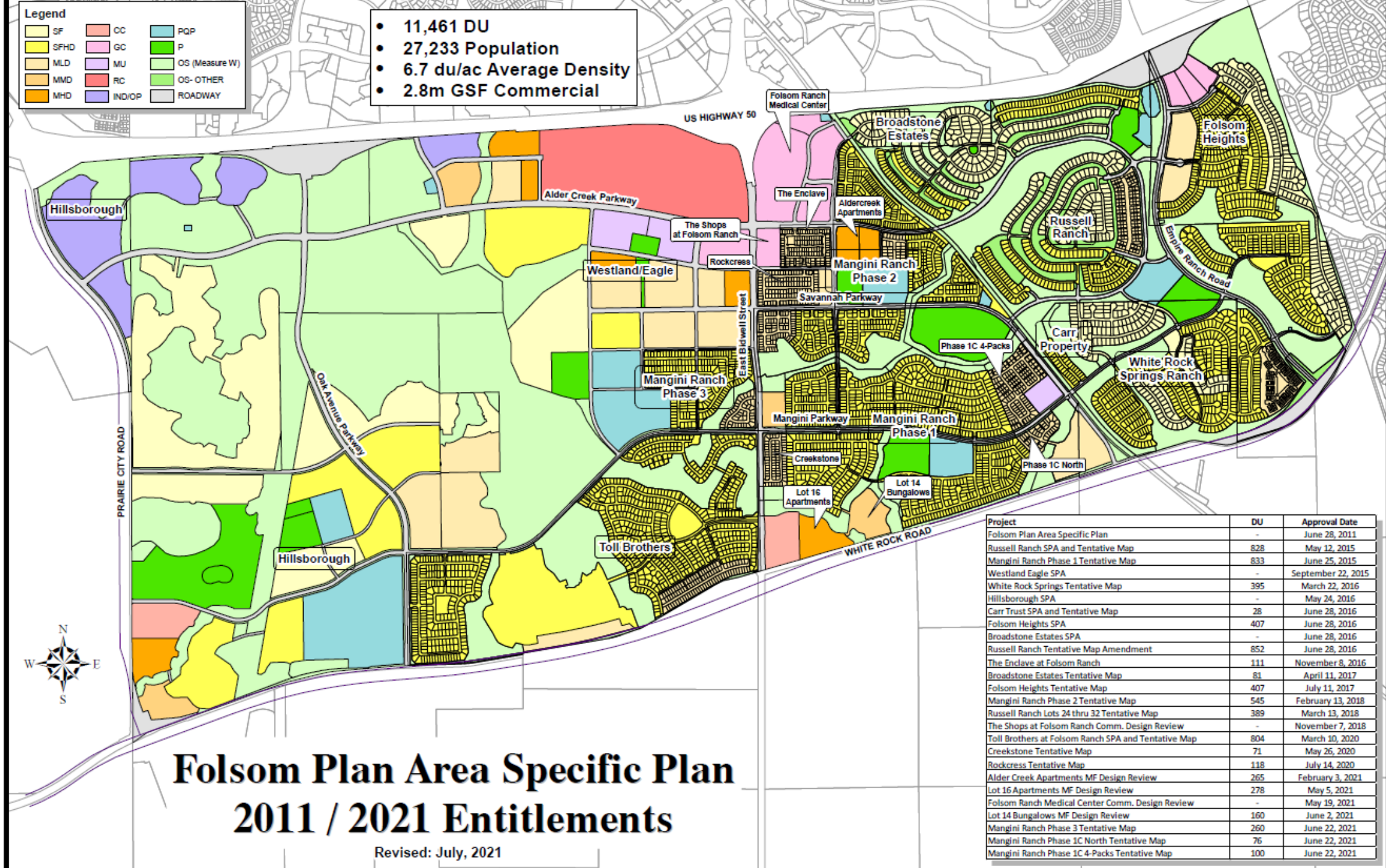
Building Activity

Public Information/City Website

Legend

SF	CC	PQP
SFHD	GC	P
MLD	MU	OS (Measure W)
MMD	RC	OS- OTHER
MHD	IND/OP	ROADWAY

- 11,461 DU
- 27,233 Population
- 6.7 du/ac Average Density
- 2.8m GSF Commercial



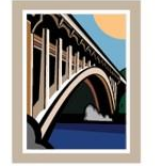
Project	DU	Approval Date
Folsom Plan Area Specific Plan	-	June 28, 2011
Russell Ranch SPA and Tentative Map	828	May 12, 2015
Mangini Ranch Phase 1 Tentative Map	833	June 25, 2015
Westland Eagle SPA	-	September 22, 2015
White Rock Springs Tentative Map	395	March 22, 2016
Hillsborough SPA	-	May 24, 2016
Carr Trust SPA and Tentative Map	28	June 28, 2016
Folsom Heights SPA	407	June 28, 2016
Broadstone Estates SPA	-	June 28, 2016
Russell Ranch Tentative Map Amendment	852	June 28, 2016
The Enclave at Folsom Ranch	111	November 8, 2016
Broadstone Estates Tentative Map	81	April 11, 2017
Folsom Heights Tentative Map	407	July 11, 2017
Mangini Ranch Phase 2 Tentative Map	545	February 13, 2018
Russell Ranch Lots 24 thru 32 Tentative Map	389	March 13, 2018
The Shops at Folsom Ranch Comm. Design Review	-	November 7, 2018
Toll Brothers at Folsom Ranch SPA and Tentative Map	804	March 10, 2020
Creekstone Tentative Map	71	May 26, 2020
Rockcross Tentative Map	118	July 14, 2020
Alder Creek Apartments MF Design Review	265	February 3, 2021
Lot 16 Apartments MF Design Review	278	May 5, 2021
Folsom Ranch Medical Center Comm. Design Review	-	May 19, 2021
Lot 14 Bungalows MF Design Review	160	June 2, 2021
Mangini Ranch Phase 3 Tentative Map	260	June 22, 2021
Mangini Ranch Phase 1C North Tentative Map	76	June 22, 2021
Mangini Ranch Phase 1C 4-Packs Tentative Map	100	June 22, 2021

Folsom Plan Area Specific Plan 2011 / 2021 Entitlements

Revised: July, 2021

Planning Activity (last 180 days)

New Development Applications (now pending)



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New Development Applications Submitted

Mangini Ranch Phase 2 Villages 3-3A Residential Design Review

Toll Brothers PD Permit Modification and Design Review

Signature Homes Small-Lot Vesting TSM, Design Review, and Minor Administrative Modification

Development Applications Submitted/Pending

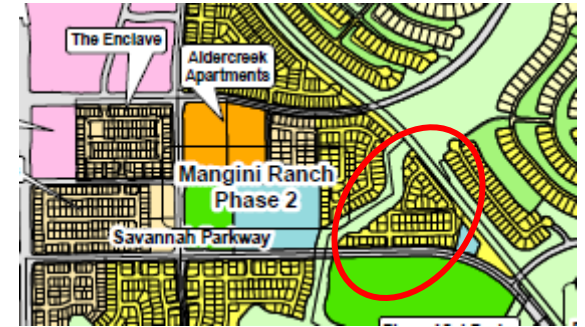
Mangini Ranch P2 V3-3A Residential Design Review



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Beazer Homes is requesting design review approval for 53 homes in Mangini Ranch Phase 2, Villages 3 and 3A



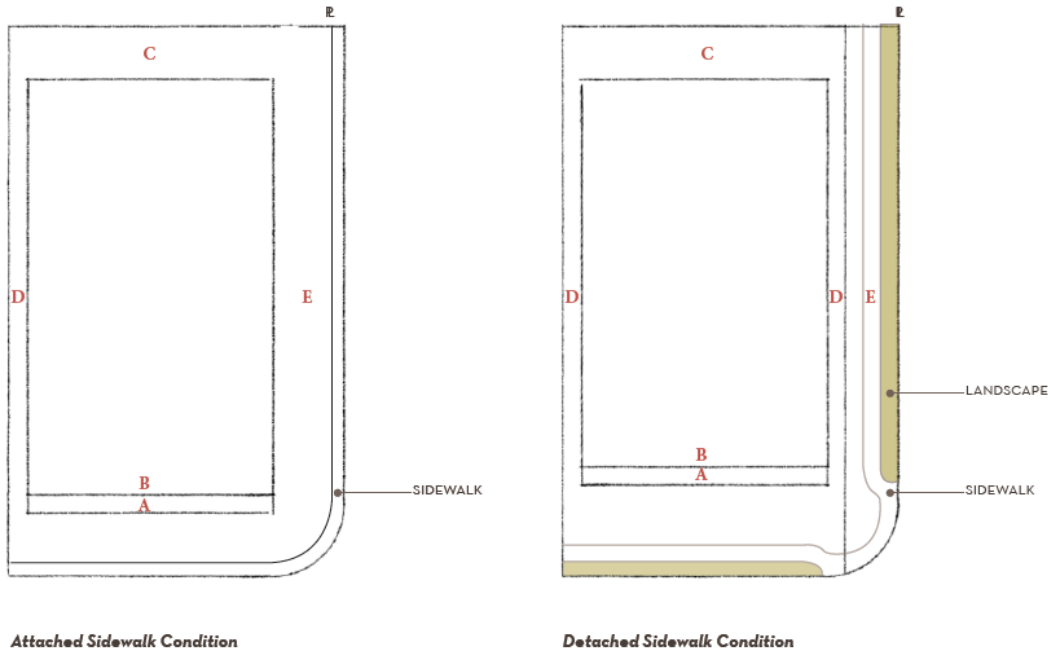
Development Applications Submitted/Pending

Toll Brothers P3 PD Permit Modification and Design Review

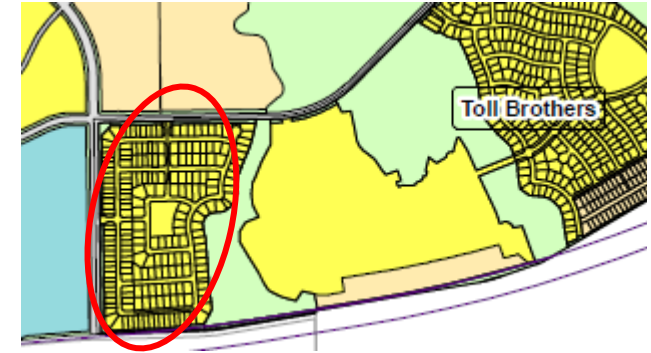


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4.3.2 Single Family High Density (SFHD)



Phase 3 of Toll Brothers requesting that the outdoor living area be excluded from lot coverage calculation



4.3.5 Development Standards Footnotes

- MLD lot coverage shall be calculated as the percentage of lot area covered by the roof, including covered porches and patios. SFHD and SF lot coverage shall be calculated as the percentage of lot area covered by the roof, including covered porches but excluding outdoor covered unconditioned spaces (i.e., patios) and guest house/pool house/casita (i.e., detached habitable structure with only sleeping, living, and bathroom).

DESCRIPTION:	SFD traditional lot	CATEGORY:	SFHD
Minimum lot area:	4,500 Square Feet	A. Minimum front setback to living space or covered outdoor space (attached sidewalk/detached sidewalk). ²	12.5'/24.5'
Minimum lot width:	50'	B. Minimum garage setback (attached sidewalk/detached sidewalk). ²	18'/30'
Minimum lot depth:	90'	C. Minimum rear setback: ^{2,3,6}	15'
Maximum lot coverage: ^{1,5}	50%	D. Minimum interior side setback: ²	5'
Maximum height (single story / 2-story):	28' / 35'	E. Minimum street side setback: ^{2,4}	10'

Note: Setbacks are measured from property line (R).

Development Applications Submitted/Pending Mangini Ranch Ph1 VTSM, Design Review, and MAM



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MANGINI PKWY.



BUILDING 3A - CRAFTSMAN



BUILDING 3B - FARMHOUSE



BUILDING 4A - MODERN PRAIRIE



Building 4B - SPANISH COLONIAL



Signature Homes is requesting approval of subdivision map for 65-unit subdivision on 5.35 acres, design review and density transfer

Planning Activity (last 180 days)

City Actions/Entitlement Decisions



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Planning Commission Actions on Development Applications

Russell Ranch Phase 2 & 3 Design Guidelines Modification, Design Review

City Council Actions on Development Applications

Toll Brothers Small-Lot TSM and Minor Administrative Modification

Folsom Heights Vesting TSM Extension

Broadstone Estates Vesting TSM Extension

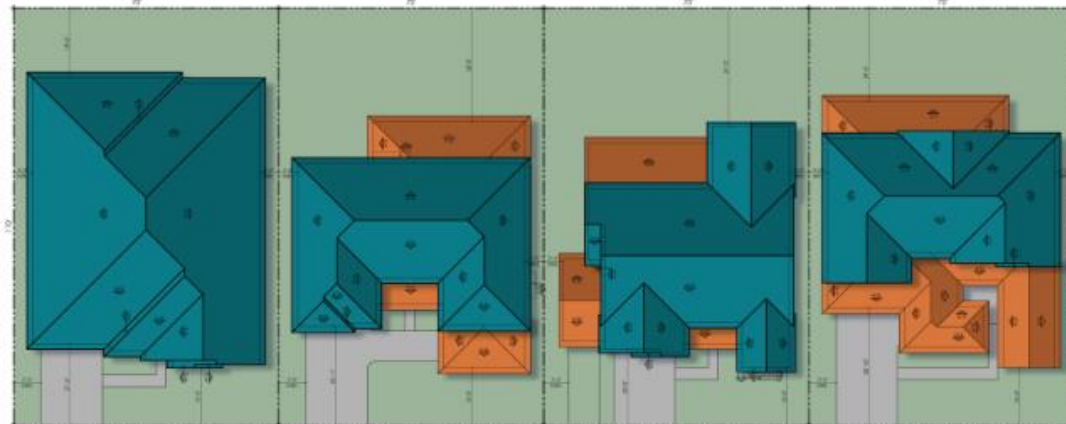
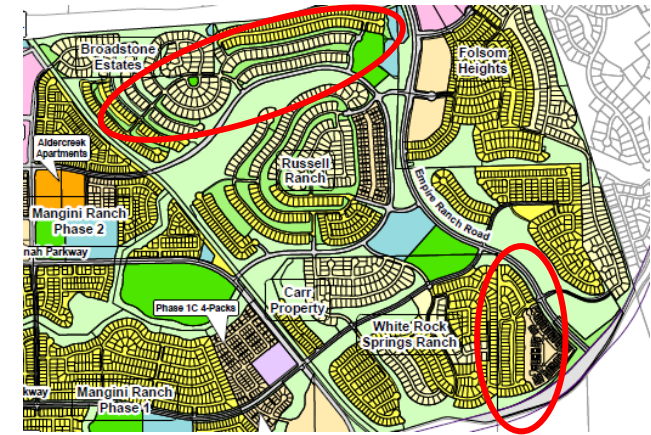
Russell Ranch TSM Amendments, DG and DA Amendment, Design Review

PC Approved 10/6/21

Russell Ranch Phase 2 & 3 Design Guidelines Modification, Design Review



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PLAN 1 | SPANISH COLONIAL REVIVAL

PLAN 2 | CALIFORNIA PRASIE

PLAN 3 | CALIFORNIA CRAFTSMAN

PLAN 4 | SPANISH COLONIAL REVIVAL

Lennar Homes requested modifications to garage standards and design review for 305 homes in Russell Ranch Phases 2 and 3

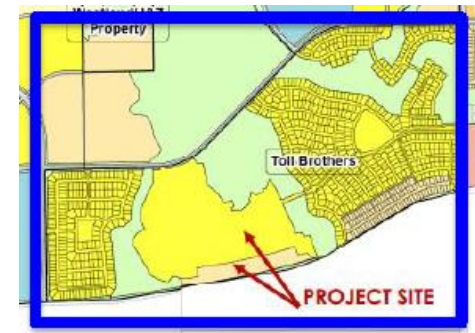
PC Recommended/CC Approved 1/11/22

Toll Brothers Phase 2 VTSM and Minor Administrative Modification



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Phase 2 Subdivision
includes 329 single family
lots on 64.7 acres:
Gated
Age-restricted
Open space, landscape
lots, private recreation
Includes transfer of 92
units to other FPA areas

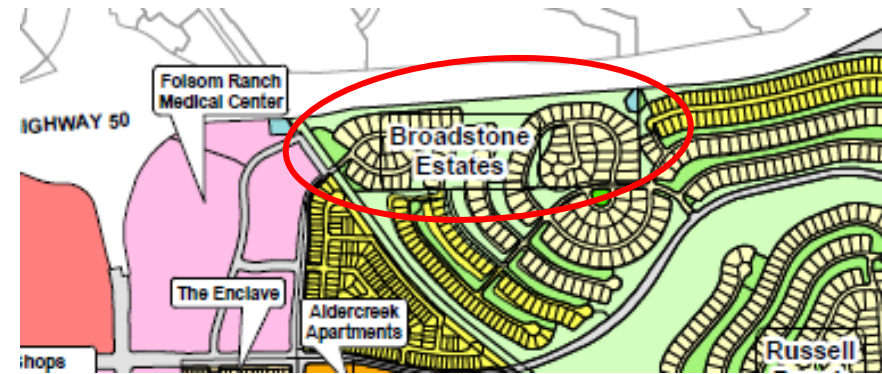
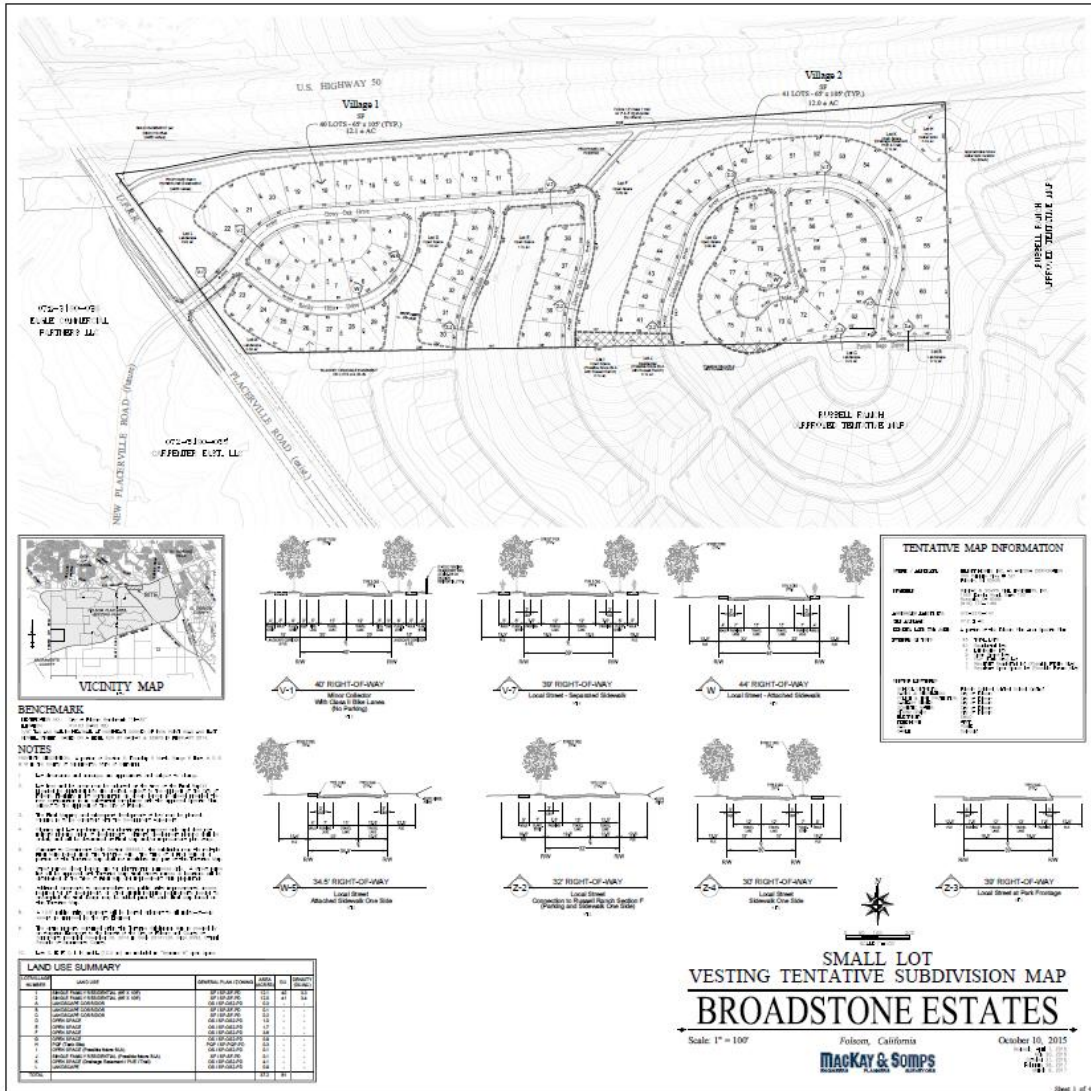


PC Recommended/CC Approved 12/14/21

Broadstone Estates VTSM Extension



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Request to extend the Vesting Tentative Subdivision Map for Broadstone Estates

SMALL LOT
VESTING TENTATIVE SUBDIVISION MAP
BROADSTONE ESTATES

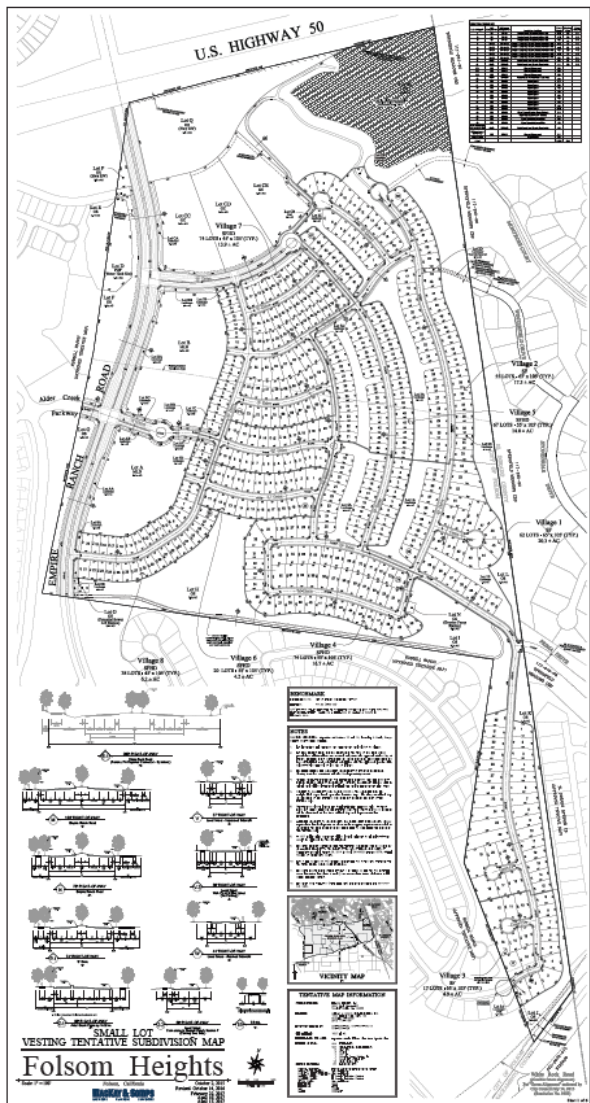
Scale: 1" = 100'
Folsom, California
MacKay & Somp
October 10, 2015

PC Recommended/CC Approved 12/14/21

Folsom Heights VTSM Extension



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Request to extend the
Vesting Tentative
Subdivision Map for
Folsom Heights



PC Recommended/CC Approved 1/25/22

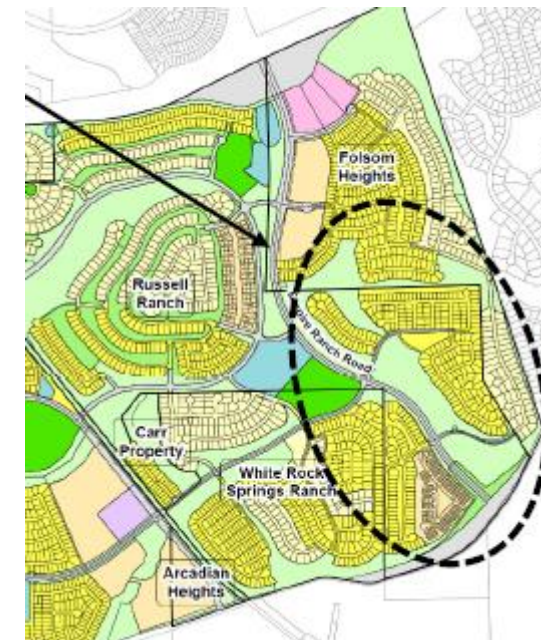
Russell Ranch Phase 2 Map Amendments and Design Review



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Request to modify previous TSM approval to remove active adult designation (no change to lot number) and design plans



PLAN 1 | SPANISH ECLECTIC

PLAN 3 | CALIFORNIA PRAIRIE

PLAN 4 | CALIFORNIA COTTAGE

PLAN 2 | SPANISH ECLECTIC

PLAN 5 | CALIFORNIA PRAIRIE

Infrastructure/Site Engineering Activity (Last 180 Days)



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FOLSOM PLAN AREA SMALL LOT FINAL MAP ACTIVITY		
Tentative Maps Approved by City Council	Final Maps Approved by CC	Small Lot Final Maps Submitted
Mangini Ranch Phase 1 (833 dwelling units) Creekstone Subdivision (71 dwelling units)	Villages 1, 2, 8, and 9 (2018) Villages 5, 6 and 7 (2019) Village 4 and Creekstone (2020) Village 3 (2021)	
Mangini Ranch Phase 1C (291 dwelling units)	Villages 1, 2, & 3	Village 4
White Rock Springs Ranch (395 dwelling units)	Villages 1, 8 and 9 (2019) Villages 2, 3, 4, 5, 6, and 7 (2020)	
Carr Trust (28 dwelling units)	Carr Trust (2019)	
Russell Ranch Phase 1 (394 dwelling units)	Villages 1 through 8 (2019)	
Russell Ranch Phase 2 (389 dwelling units)		Villages 1, 2 & 4, Village 3
Russell Ranch Phase 3 (242 dwelling units)	Phase 3A and 3B (2021)	
Enclave at Folsom Ranch (111 dwelling units)	Enclave (2020)	
Mangini Ranch Phase 2 (545 dwelling units) Rockcross Subdivision (118 dwelling units)	Village 7 (2019) Villages 4 and 8 (2020) Rockcross and Villages 1 and 2 (2021)	Village 3
Toll Brothers at Folsom Ranch (804 dwelling units)	Phase 1B and IC, ID	Phase 1A and 1E
Mangini Ranch Phase 3 (260 dwelling units)		Villages 1, 2 & 3, 4
Total SF Lots Ready for Permits	3,003 lots mapped	963 lots pending

Building Permit Tracking

FPA total permits 2119 (Q421/Q122: Oct-March = 513)



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FOLSOM PLAN AREA BUILDING PERMIT OVERVIEW

AREA	SUBDIVISION OR VILLAGE	LOT COUNT			PERMIT ACTIVITY				
		TENTATIVE MAP	FINAL MAPPED	% FINAL MAPPED	LOTS UNDER CONSTRUCTION	LOTS WITH CERT OF OCC. (CO)	% FINALED (CO/TEN. LOT TOTAL)	TOTAL PERMITS ISSUED	% BUILD OUT (ISSUED PERMITS/ TEN. LOT TOTAL)
MANGINI RANCH PHASE 1	VILLAGES 1-10	904	904	100.00%	115	782	86.50%	897	99.23%
MANGINI RANCH PHASE 2	VILLAGES 1-10	663	457	68.93%	171	90	13.57%	261	39.37%
RUSSELL RANCH PHASE 1	VILLAGES 1-8	394	394	100.00%	135	249	63.20%	384	97.46%
RUSSEL RANCH PHASE 3	NONE	242	242	100.00%	13	0	0.00%	13	0.00%
CARR TRUST	NONE	28	28	100.00%	24	4	14.29%	28	100.00%
WHITE ROCK SPRINGS RANCH	VILLAGES 1-9	395	395	100.00%	162	119	30.13%	281	71.14%
ENCLAVE AT FOLSOM RANCH	NONE	111	111	100.00%	58	48	43.24%	106	95.50%
TOLL BROTHERS PH 1A-F	NONE	590	198	33.56%	149	0	0.00%	149	25.25%
TOTALS		3327	2729	82.03%	827	1292	38.83%	2119	63.69%

AS OF 3/31/2022

PERMIT ACTIVITY			
LOTS WITH CERT OF OCC. (CO)	% FINALED (CO/TEN. LOT TOTAL)	TOTAL PERMITS ISSUED	% BUILD OUT (ISSUED PERMITS/ TEN. LOT TOTAL)
782	86.50%	897	99.23%
90	13.57%	261	39.37%
249	63.20%	384	97.46%
0	0.00%	13	0.00%
4	14.29%	28	100.00%
119	30.13%	281	71.14%
48	43.24%	106	95.50%
0	0.00%	149	25.25%
1292	38.83%	2119	63.69%

AS OF 3/31/2022

PERMIT ACTIVITY			
CERT	% FINALED (CO/TEN. LOT TOTAL)	TOTAL PERMITS ISSUED	% BUILD OUT (ISSUED PERMITS/ TEN. LOT TOTAL)
782	86.50%	897	99.23%
90	13.57%	261	39.37%
249	63.20%	384	97.46%
0	0.00%	13	0.00%
4	14.29%	28	100.00%
119	30.13%	281	71.14%
48	43.24%	106	95.50%
0	0.00%	149	25.25%
1292	38.83%	2119	63.69%

AS OF 3/31/2022

MANGINI RANCH					PERMIT ACTIVITY						
AREA	PHASE	VILLAGE	VILLAGE NAME	ZONING	LOT COUNT (TENTATIVE MAP)	TOTAL PERMITS ISSUED	% BUILD OUT (ISSUED PERMITS/ TEN. LOT TOTAL)	LOTS UNDER CONSTRUCTION	LOTS WITH CERT OF OCC. (CO)	% FINALED (CO/TEN. LOT TOTAL)	HOMEBUILDER
MANGINI RANCH	1	1	AZURE	SFHD	108	108	100.00%	1	107	99.07%	TAYLOR MORRISON SERVICES, INC

ACTIVITY		HOMEBUILDER
CERT	% FINALED (CO/TEN. LOT TOTAL)	
149	14.29%	RICHMOND AMERICAN HOMES, INC
307	30.77%	THE NEW HOME COMPANY
200	68.00%	THE NEW HOME COMPANY
281	84.21%	THE NEW HOME COMPANY
200	70.73%	MERITAGE HOMES
81	27.91%	ANTHEM UNITED HOMES
106	68.29%	THE NEW HOME COMPANY
106	98.08%	ANTHEM UNITED HOMES
106	63.20%	

ACTIVITY		HOMEBUILDER
CERT	% FINALED (CO/TEN. LOT TOTAL)	
149	14.29%	RICHMOND AMERICAN HOMES, INC

ACTIVITY		HOMEBUILDER
CERT	% FINALED (CO/TEN. LOT TOTAL)	
0	0.00%	LENNAR HOMES
0	0.00%	LENNAR HOMES
0	0.00%	

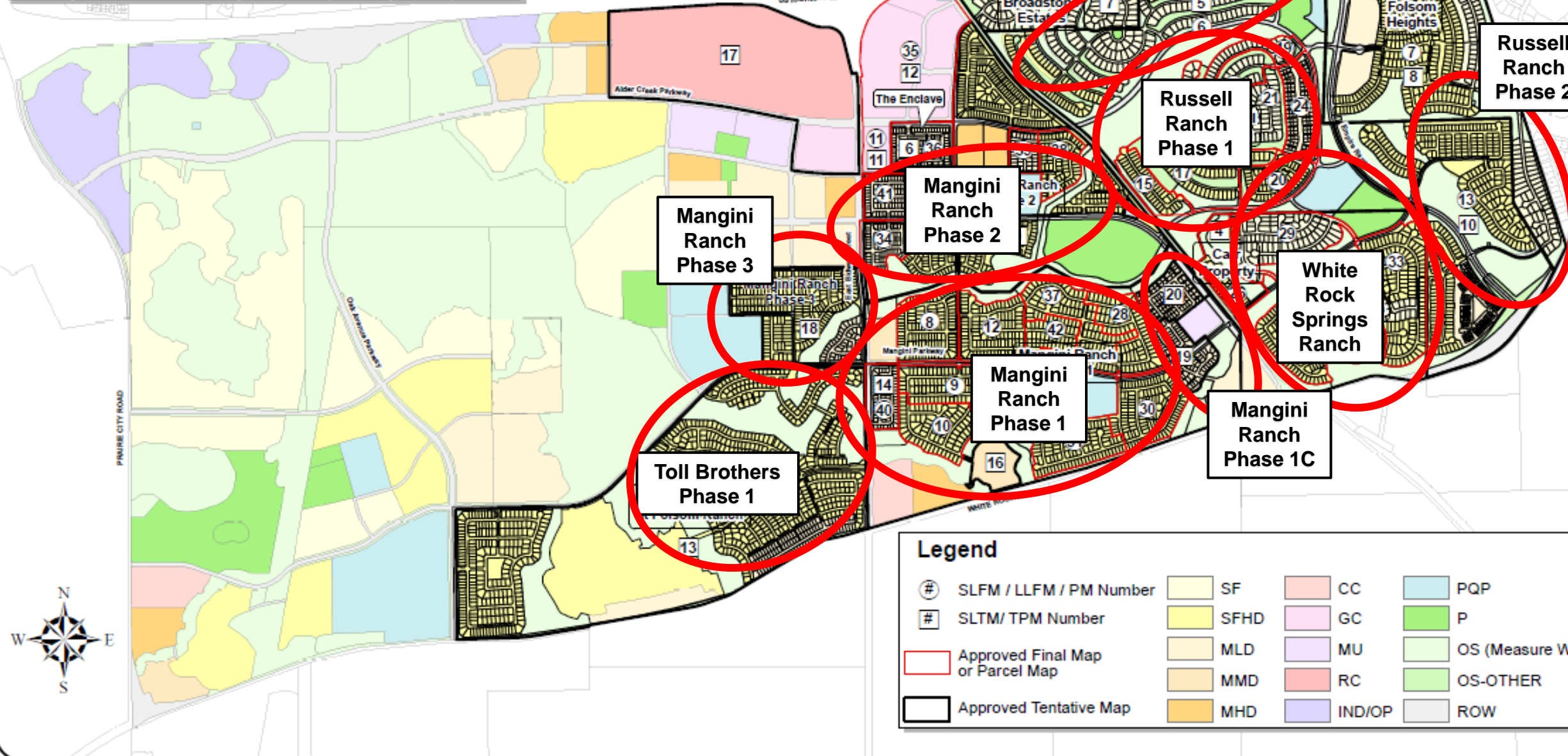
ACTIVITY		HOMEBUILDER
CERT	% FINALED (CO/TEN. LOT TOTAL)	
43	43.24%	KB HOMES OF CA

ZONING	LOT COUNT (TENTATIVE MAP)	ISSUED (ISSUED PERMITS/ TEN. LOT TOTAL)	CONSTRUCTION	OF OCC. (CO)	% FINALED (CO/TEN. LOT TOTAL)	HOMEBUILDER
SFHD	47	16	34.04%	16	0.00%	TOLL BROTHERS NORTHERN CA
SFHD/MLD	198	133	67.17%	133	0.00%	TOLL BROTHERS NORTHERN CA
SFHD/MLD	98	0	0.00%	0	0.00%	TOLL BROTHERS NORTHERN CA
	147	0	0.00%	0	0.00%	TOLL BROTHERS NORTHERN CA
	100	0	0.00%	0	0.00%	TOLL BROTHERS NORTHERN CA
TOTALS	590	149	25.25%	149	0.00%	

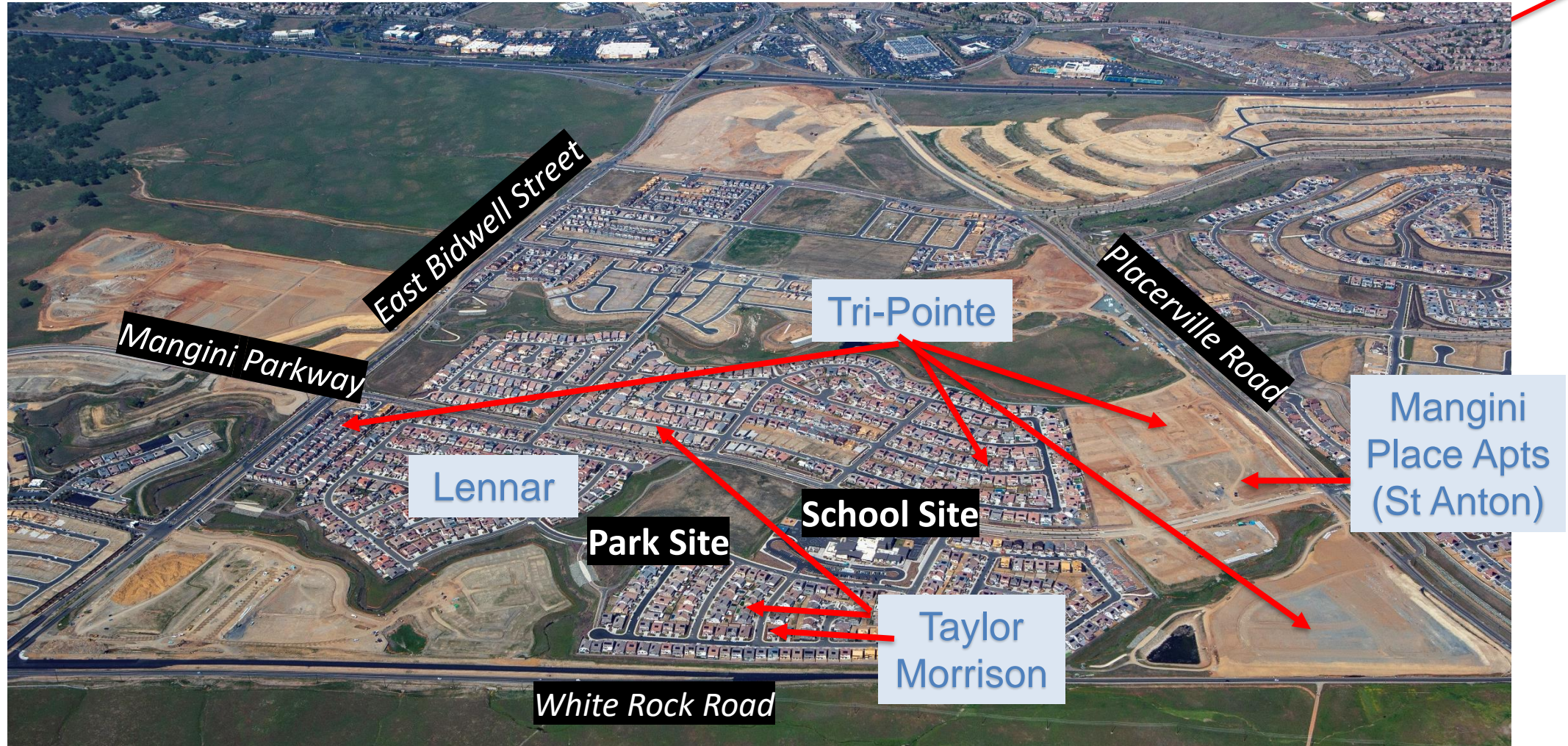
2018 permits issued: 159
 2019 permits issued: 300
 2020 permits issued: 395
 2021 permits issued: 925
 2022 permits issued (January – March): 340
Total FPA Permits thru Q1 2022: 2,119
 Total homes occupied: 1,292
 Estimated # residents (homes x 2.6 pph) = 3,359 persons

42	White Rock Springs Ranch Village 6 & 7 PM	28	10/19/2019	10/19/2019	427 R.M. 1
43	Mangini Ranch Phase 1 Village 1 PM	126	10/13/2019	10/23/2019	427 R.M. 8
44	Mangini Ranch Phase 1 Village 2 PM	129	10/13/2019	10/23/2019	427 R.M. 9
45	White Rock Springs Ranch Village 2 and 3 PM	40	10/13/2019	10/28/2019	428 R.M. 8
46	White Rock Springs Ranch Village 4, 5, 6 and 7 PM	105	10/13/2019	10/28/2019	428 R.M. 9
47	Mangini Ranch Phase 2 Village 1 PM	58	10/13/2019	10/13/2019	428 R.M. 4
48	PK 19-000 Parcel Map Parcel 854	0	9/20/2020	9/20/2020	210 P.M. 1A
49	Increase at Folsom Ranch PM	111	7/8/2020	7/8/2020	421 R.M. 8
50	Mangini Ranch Phase 1 Village 3 PM	89	8/10/2020	8/10/2020	422 R.M. 12
51	Mangini Ranch Phase 2 Village 2 PM	79	8/10/2020	8/10/2020	422 R.M. 2
52	Mangini Ranch Phase 2 Village 3 PM	88	8/10/2020	8/10/2020	422 R.M. 18
53	Overlook at Folsom PM	71	10/13/2019	10/13/2019	428 R.M. 8
54	Overlook at Folsom Ranch	132	10/13/2019	10/13/2019	428 R.M. 9
55	Mangini Ranch Phase 1 Village 4 PM	88	8/10/2021	8/10/2021	428 R.M. 6
Total Lots (2PM)		2229			

Note: For each lot, County, Parcel Maps are not shown herein.
Approved Date for Parcel Maps is date approved by City Engineer. Approved Date for Final Maps is date approved by City Council.

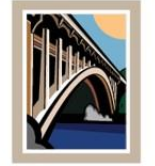


Mangini Ranch Phase 1 and 1C Neighborhoods



Building Activity

Mangini Ranch Phase 1 Builders



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- Taylor Morrison (Villages 6, 7)
- Lennar (Villages 8, 9)
- Tri Pointe Homes (Villages 3 – 5)
- Tri-Pointe Homes (Creekstone)

**Lennar:
Villages
8 and 9**



Tri-Pointe Homes: Creekstone



Tri-Pointe Homes: Villages 3 - 5



Taylor Morrison: Villages 6 - 7

Mangini Ranch Phase 2 Neighborhoods



Building Activity

Mangini Ranch Phase 2 Builders



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- KB Homes (Soleil)
- Signature Homes (Village 7)
- Lennar Homes (Rockcross)
- Tri-Pointe (Eastwood)

**Lennar Homes:
Rockcross**



Signature Homes: Village 7



KB Homes: Soleil



Tri-Pointe: Eastwood

Russell Ranch Phase 1 Neighborhoods



The New Home Company Villages 1, 2, 3, 5, 7

Anthem United Villages 6, 8

Placerville Road

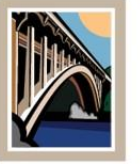
Alder Creek Parkway

Meritage Homes Village 4

Grand Prairie Road

Building Activity

Russell Ranch Phase 1 Builders



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- The New Home Company (Villages 1, 2, 3, 5, 7)
- Meritage Homes (Village 4)
- Anthem United (Villages 6 and 8)



Meritage: Village 4



Anthem United: Villages 6 and 8



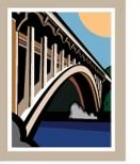
New Home Company: Village 1

Russell Ranch Phase 3 Neighborhoods



Building Activity

Russell Ranch Phase 3 Builders



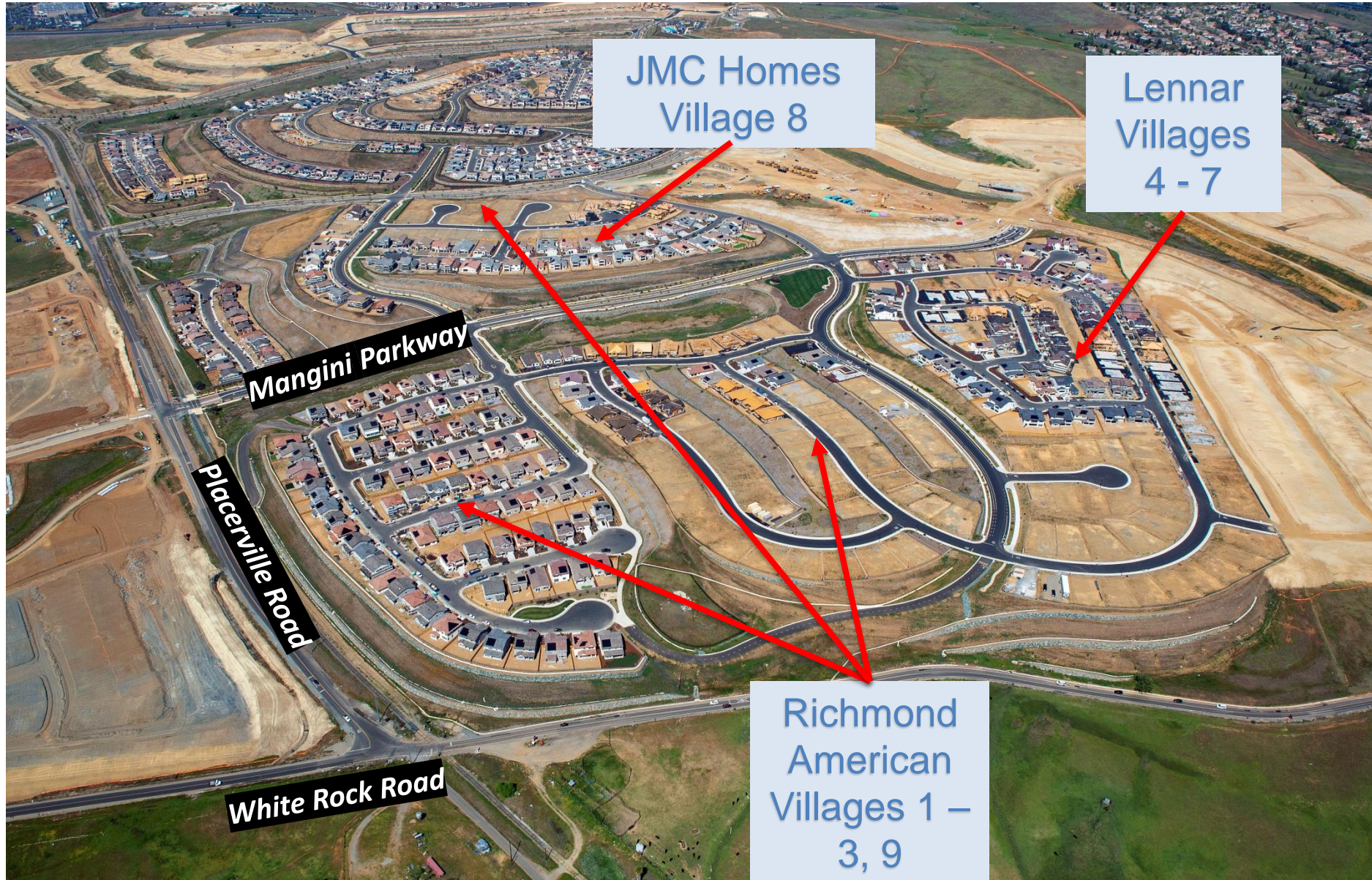
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- Lennar Homes (Phase 3A)



Lennar Homes: Phase 3A

White Rock Springs Ranch Neighborhoods



Building Activity

White Rock Springs Ranch Builders



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- Richmond American (Villages 1 – 3, 9)
- JMC Homes (Village 8)
- Lennar (Village 4 – 7)



**JMC Model Home Sites:
Village 8**

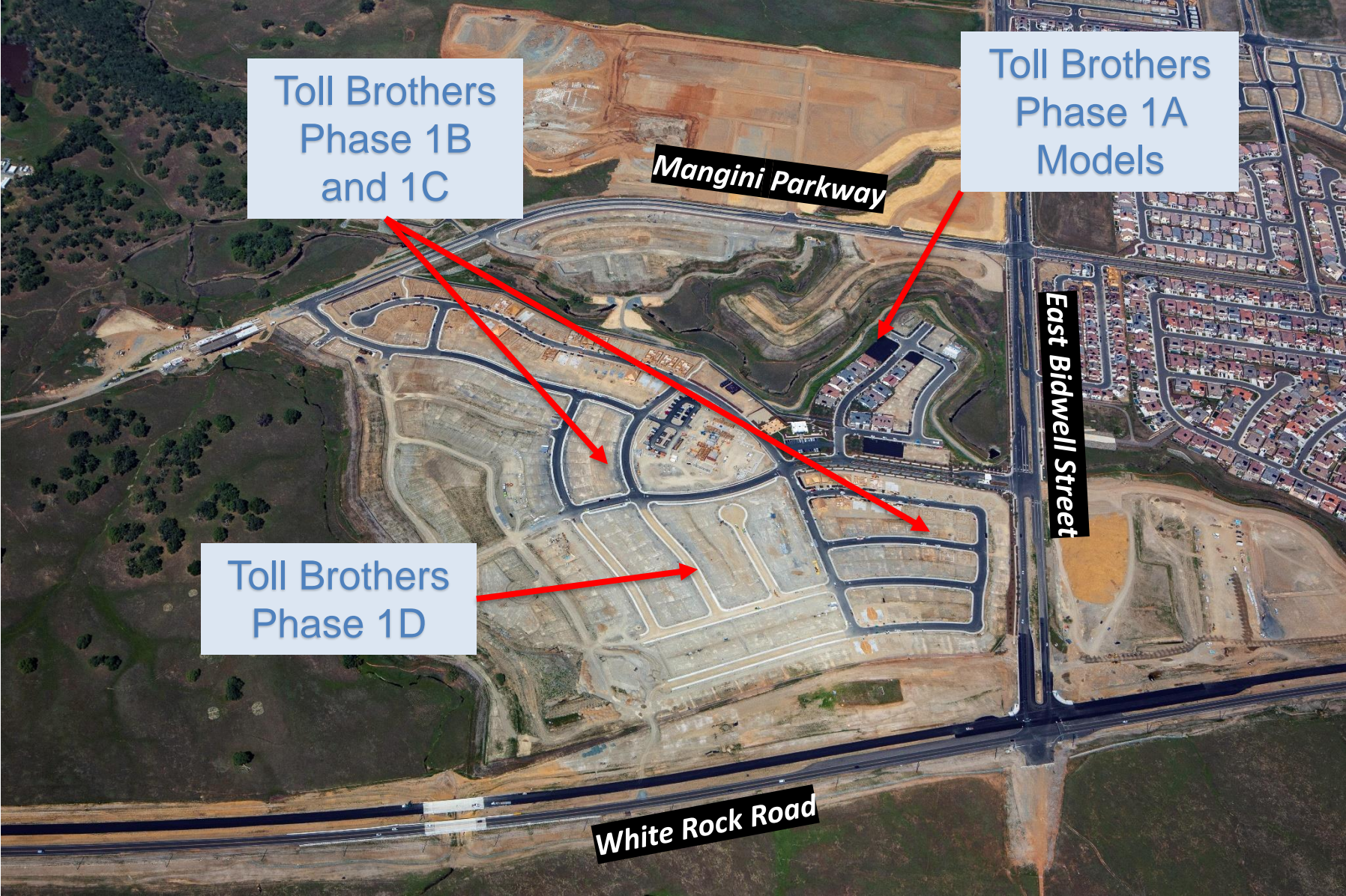


**Richmond American:
Villages 1 – 3, and 9**



Lennar: Villages 4 - 7

Toll Brothers at Folsom Ranch Neighborhoods



Building Activity

Toll Brothers Builders

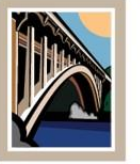


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- Toll Brothers Phase IA, IB, IC, and ID



Questions?



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Quarterly presentations and additional project information can be found on the City's website:

<https://www.folsom.ca.us/government/community-development/planning-services/folsom-plan-area/maps-and-documents/-folder-162>