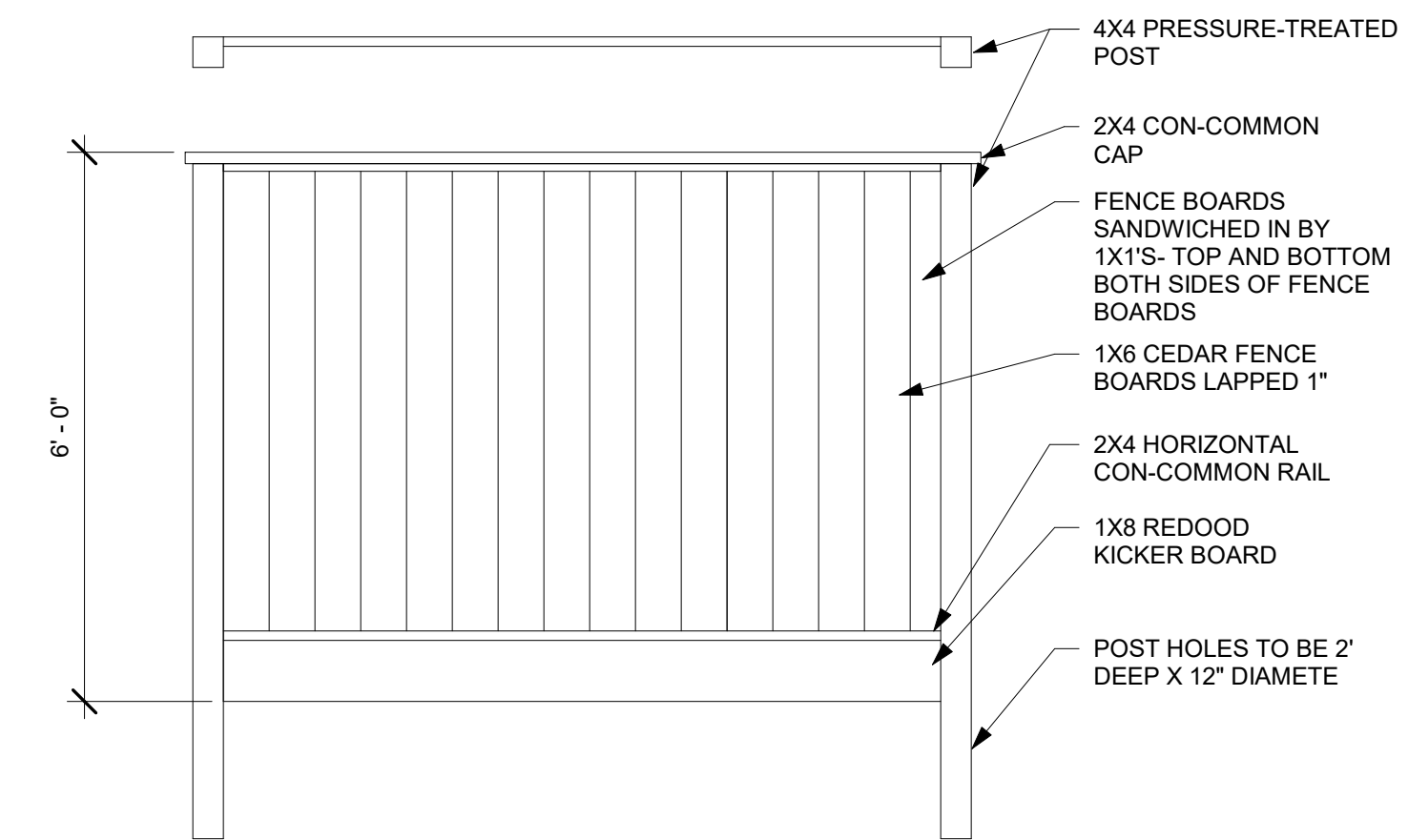


LEGEND

DIMENSION POINT	
PROPERTY LINE	
SET-BACK LINE	
PAD LINE	
M.U.S.D.A.	
DRIVEWAY	
PROPOSED DRIVEWAY	
WATER LINE	-W-W-W-
GAS LINE	-G-G-G-
ELECTRICAL LINE	-E-E-E-
SEWER LINE	-S-S-S-
INTERNET AND TV LINE	CATV-CATV-CATV
PROPOSED FENCE LINE	
RETAINING WALL	
DRAINAGE DIRECTION	

LOT COVERAGE

LOT SIZE	19,116 SQ.FT.
SPACE USED	6,019 SQ.FT.
LOT COVERAGE	31%



2 A - FENCE DETAIL
1/2" = 1'-0"

SHEET INDEX

- A2

SITE PLAN
- GP1

GRADING PLAN
- GP2

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- A3

FLOOR PLAN
- A3.1

FLOOR PLAN
- A4

ELEVATIONS
- A5

ELEVATIONS
- A6

ROOF PLAN
- A7

LANDSCAPE PLAN
- A8

IRRIGATION PLAN
- A9

SECTIONS
- A10

COLORBOARD

1 SITE PLAN
1" = 10'-0"

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ROCKLIN, CA 95677
info@tangentde.com
PHONE: (530) 537-2288

683 TOWNSEND CT,
FOLSOM, CA 95630
APN#: 072-3330-005-0000

SITE PLAN

SHEET TITLE:

OWNER CONTRACT:
SERGEY BRODSKI
(916) 307-8186
BRODSKUSA@GMAIL.COM

PROJECT: 1-000

DESIGNED: RM

DRAWN: RM

DATE: 4/16/2022 9:25:05 AM

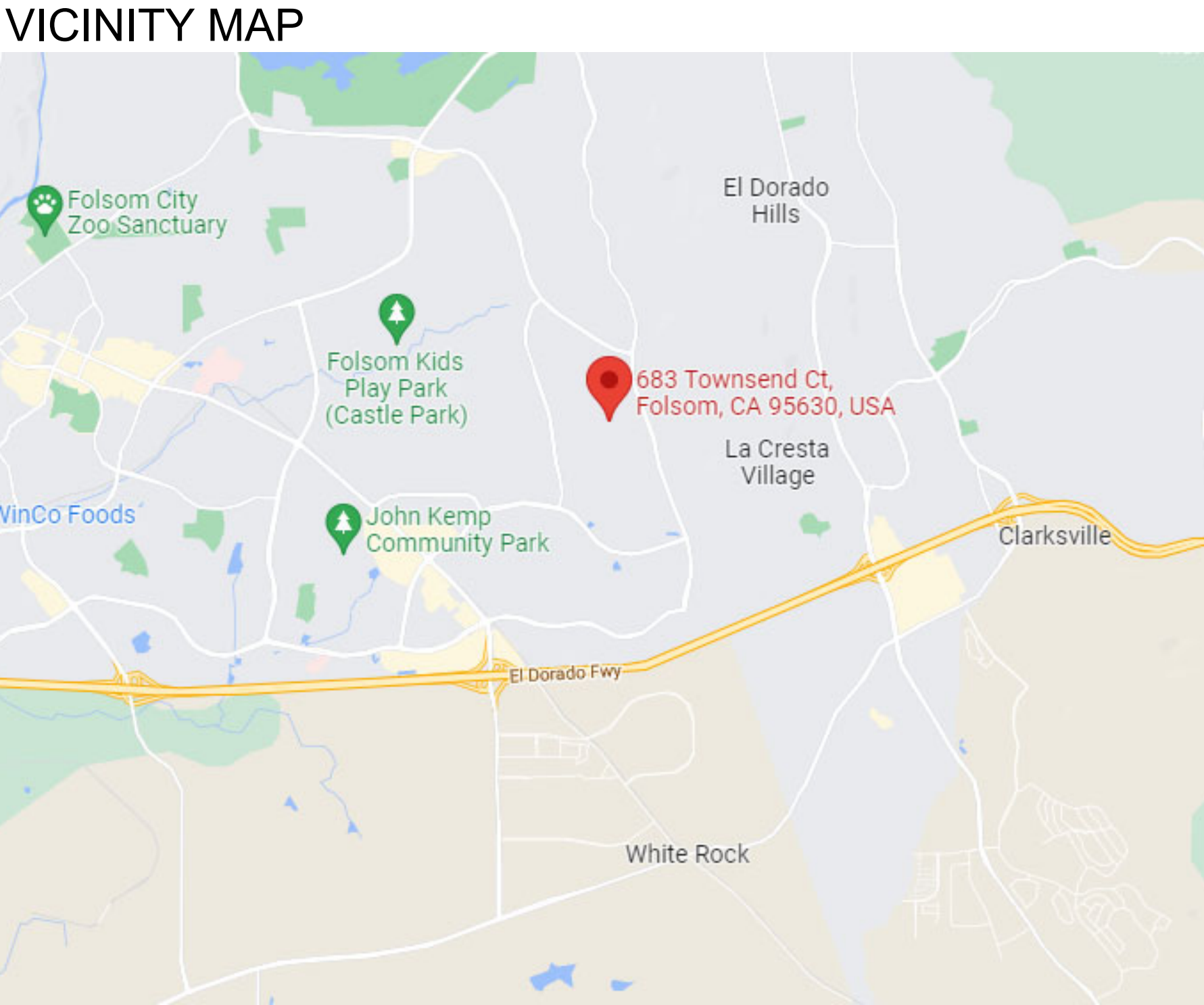
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SHEET:

A2

683 TOWNSEND CT,
FOLSOM, CA 95630
APN: 072-3330-005
GRADING PLAN

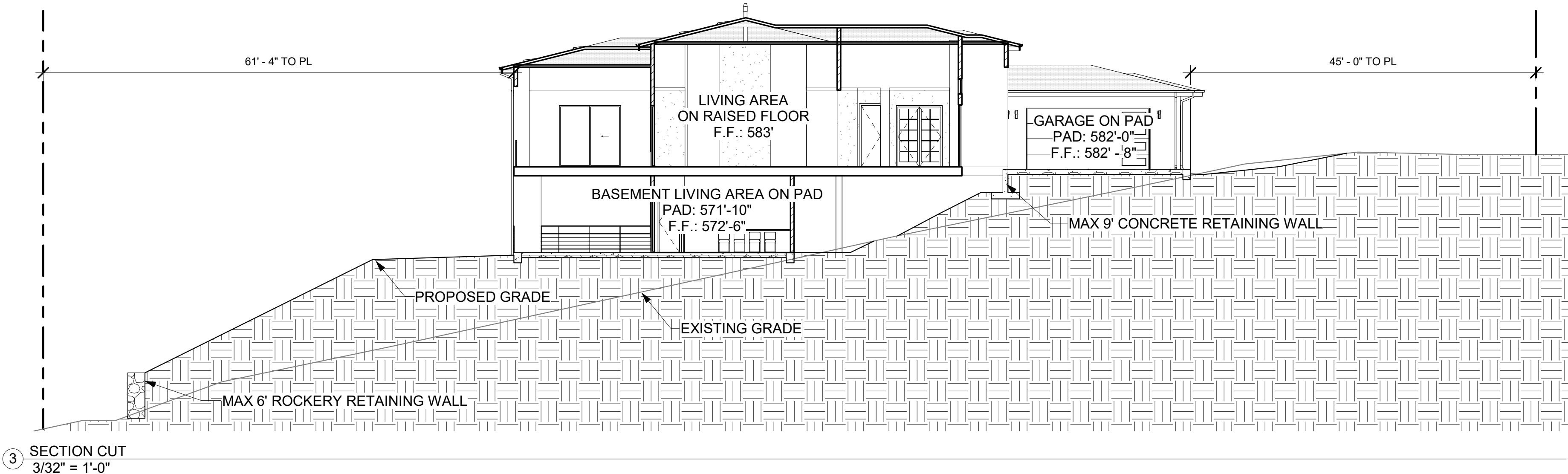


ENGINEER NOTES

ESTIMATED CUT = 45 C.Y., ESTIMATED FILL = 2073 C.Y., IMPORT = 2028 C.Y.

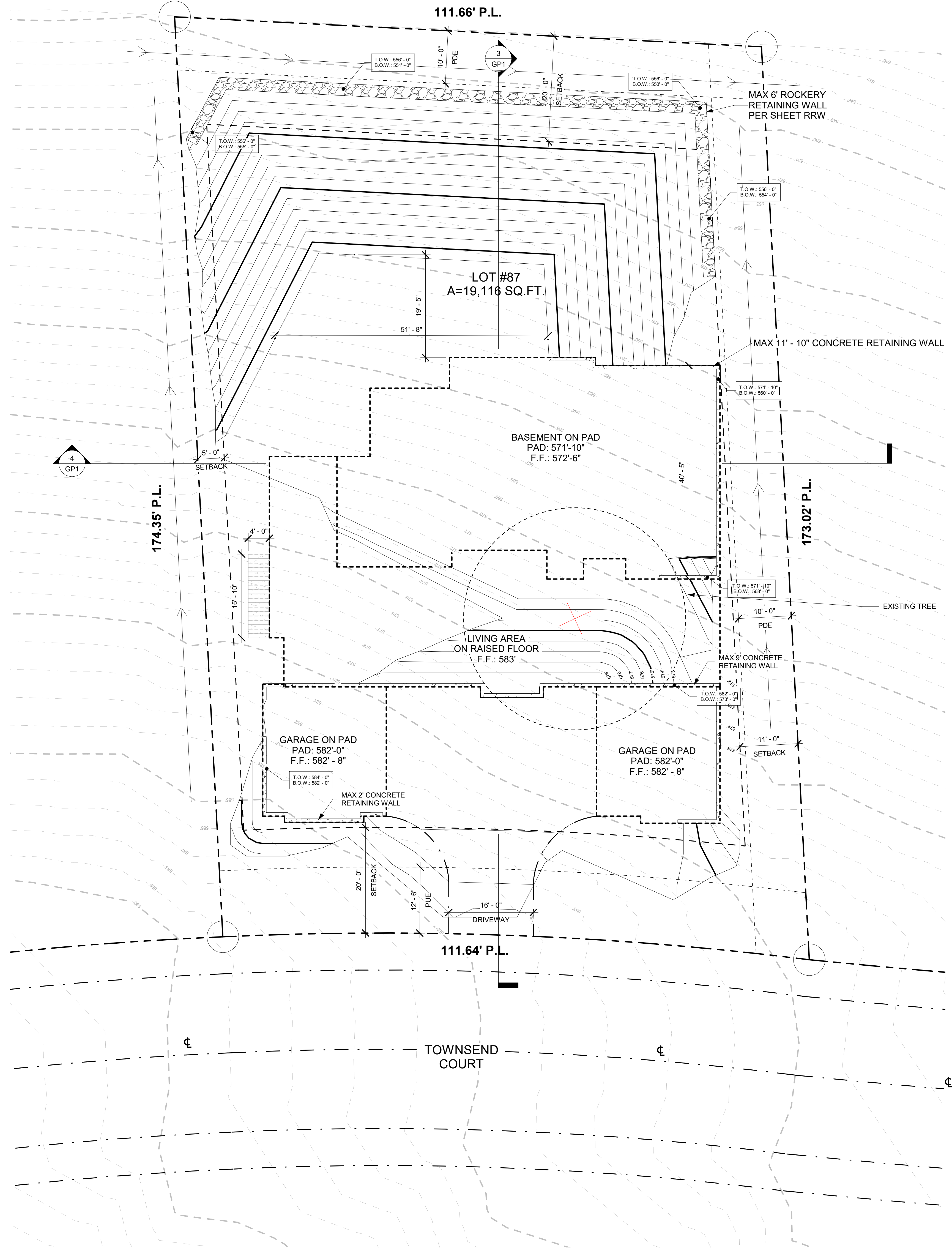
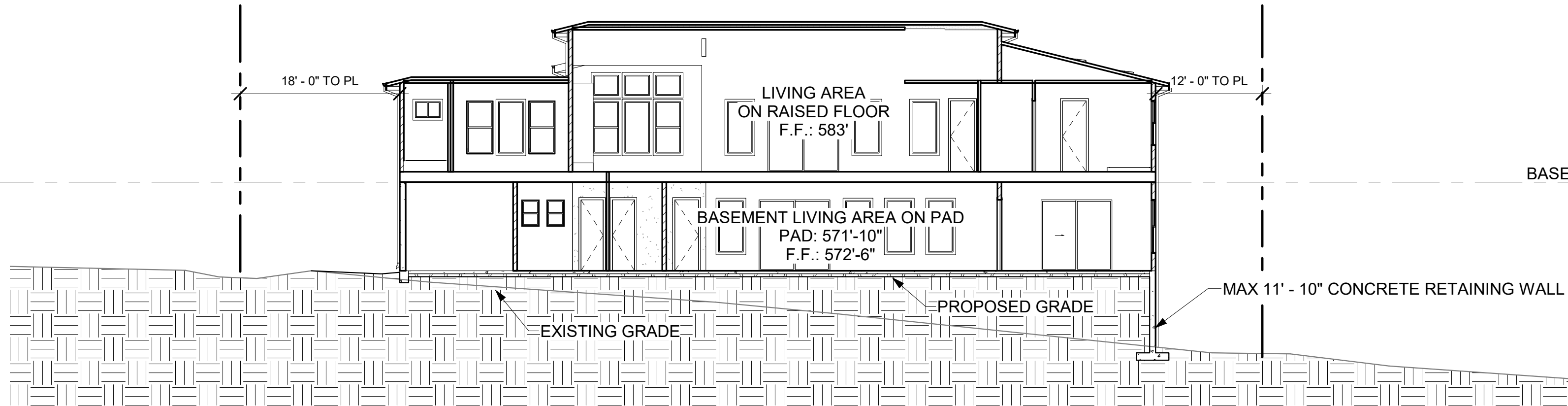
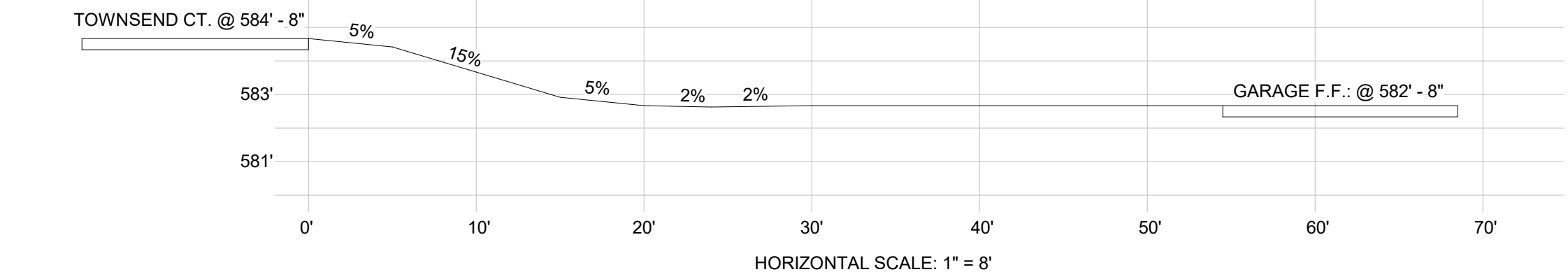
FOLLOWING SITE CLEARING AND STRIPPING OPERATIONS, ALL AREAS TO RECEIVE FILL SHALL BE SCARIFIED TO A MINIMUM DEPTH OF 8 INCHES, MOISTURE CONDITIONED AS NECESSARY AND COMPACTED TO AT LEAST 90% OF THE MAXIMUM DRY DENSITY BASED ON THE ASTM D1557 TEST METHOD. THE FILL SHALL BE PLACED IN LIFTS NOT EXCEEDING 6 INCHES. THE FILL SHALL BE MOISTURE CONDITIONED AS NECESSARY AND COMPACTED TO A RELATIVE COMPACTION OF NOT LESS THAN 90%. DRIVEWAYS COMPACTED TO A RELATIVE COMPACTION OF NOT LESS THAN 90%.

THE TYPE, LOCATIONS, SIZES AND/OR DEPTHS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THESE PLANS WERE OBTAINED FROM SOURCES OF VARYING RELIABILITY. THE CONTRACTOR IS CAUTIONED THAT ONLY ACTUAL EXCAVATION WILL REVEAL THE TYPES, EXTENT, SIZES, LOCATIONS, AND UTILITIES. HOWEVER, THE DESIGNER, CAN ASSUME NO RESPONSIBILITY FOR THE COMPLETENESS OR ACCURACY OF THE DELINEATION OF SUCH UNDERGROUND UTILITIES, NOR FOR THE EXISTENCE OF OTHER BURIED OBJECTS OR UTILITIES WHICH MAY BE ENCOUNTERED, BUT WHICH ARE NOT SHOWN ON THESE DRAWINGS.



LEGEND	
	MAJOR CONTOUR (EXISTING)
	MINOR CONTOUR (EXISTING)
	MAJOR CONTOUR (NEW)
	MINOR CONTOUR (NEW)
	FIBER ROLL
	TREE PROTECTION ZONE
	FINISHED FLOOR
	RETAINING WALL
	DRAINAGE DITCH DIRECTION
	DOWNSPOUT DRAIN
	SETBACK LINE
	TREE DRIP LINE
	TREE TO BE REMOVED
	ROCKERY RETAINING WALL
	CONCRETE RETAINING WALL
	STANDARD SWALE
	PROPERTY LINE
	PAD LINE
	P.D.E.
	PROPOSED DRIVEWAY

LOT COVERAGE	
LOT SIZE	19,116 SQ.FT.
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APN#: 072-3330-005-0000

PROJECT NAME

GRADING PLAN

SHEET TITLE

OWNER CONTRACT:
SERGEY BRODSKI
(916) 307-8186
BRODSKUSA@GMAIL.COM

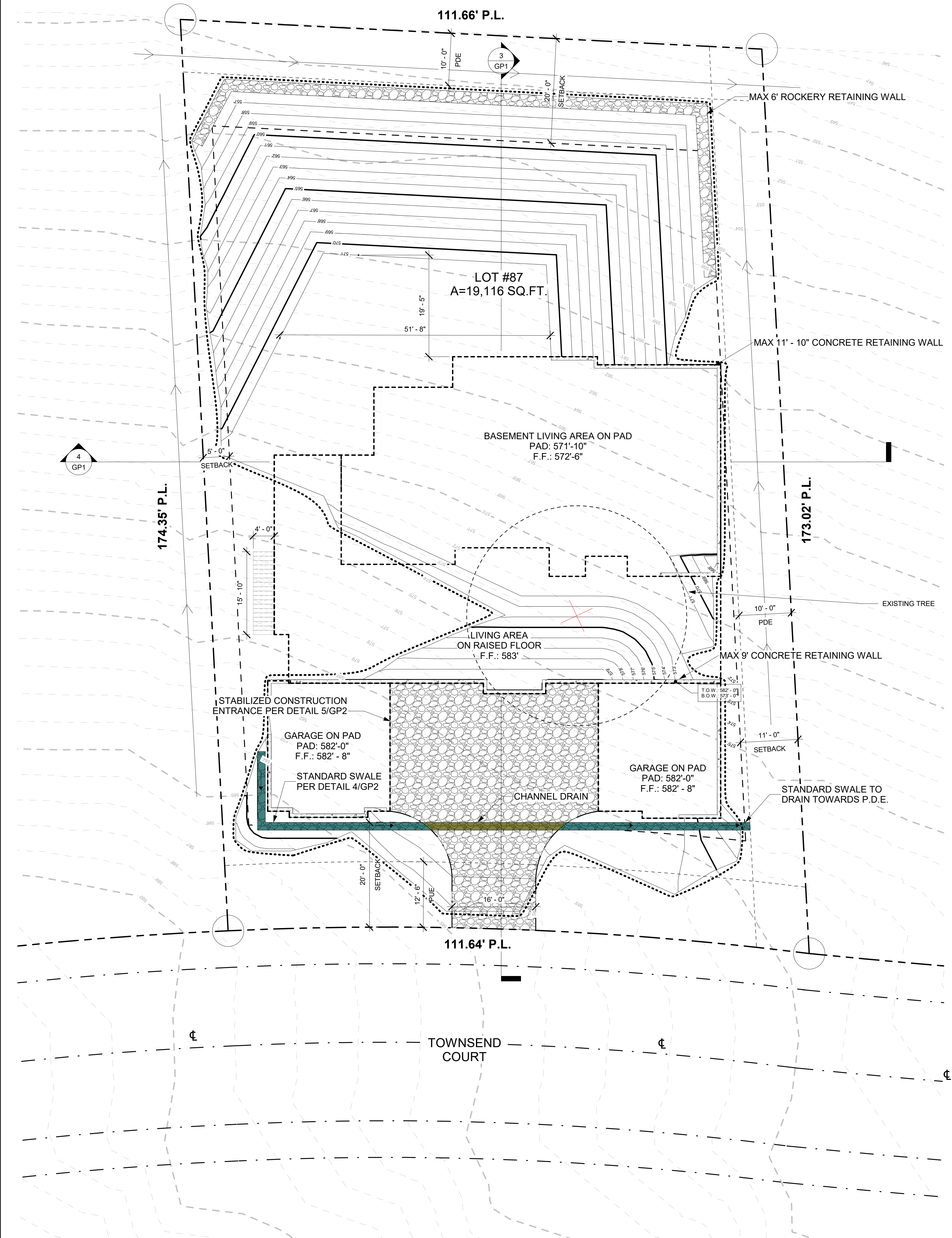
PROJECT: 1-000
DESIGNED: T.V.
DRAWN: T.V.

DATE: 4/16/2022 7:00:08 AM

DATE: DESCRIPTION: REV #

SHEET:

GP1

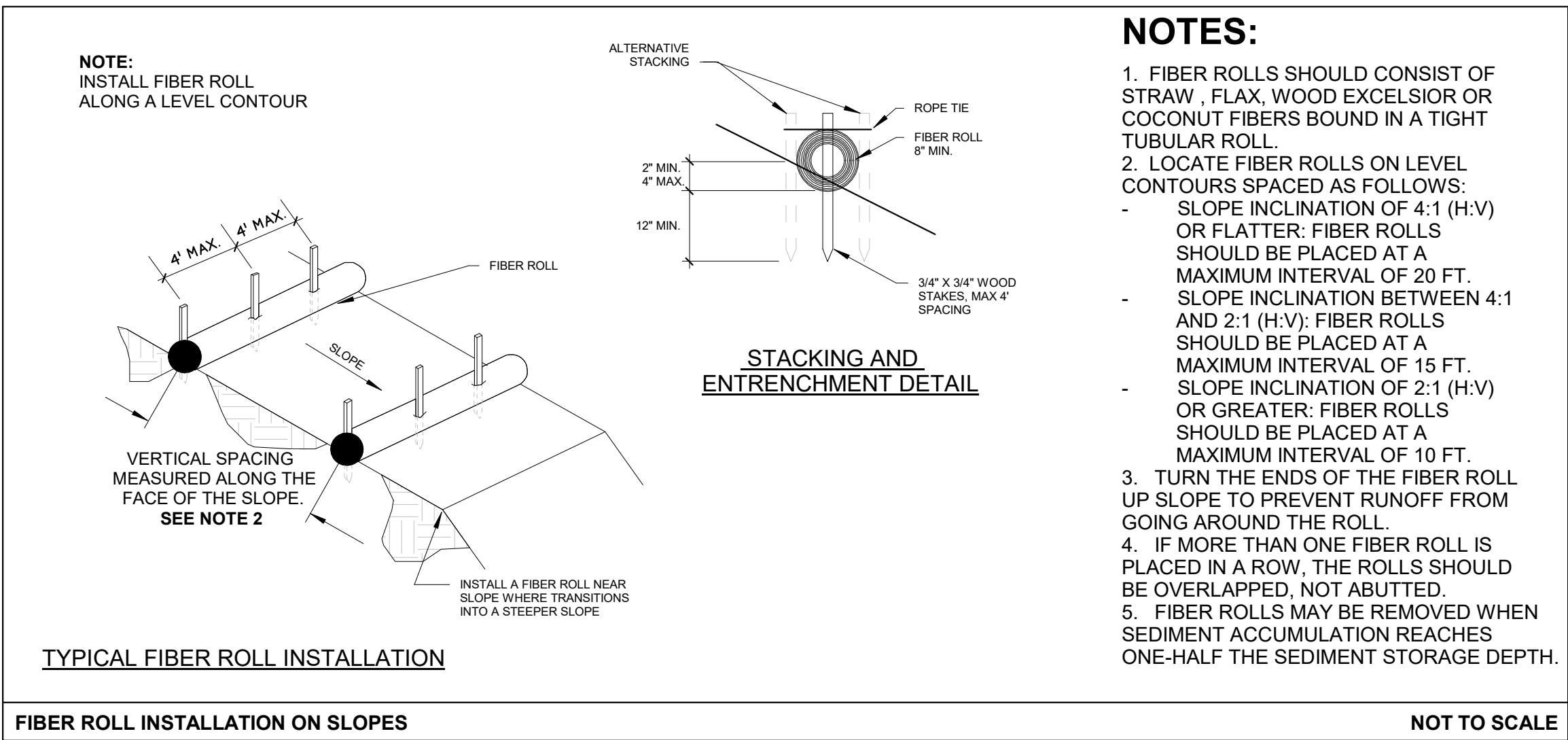
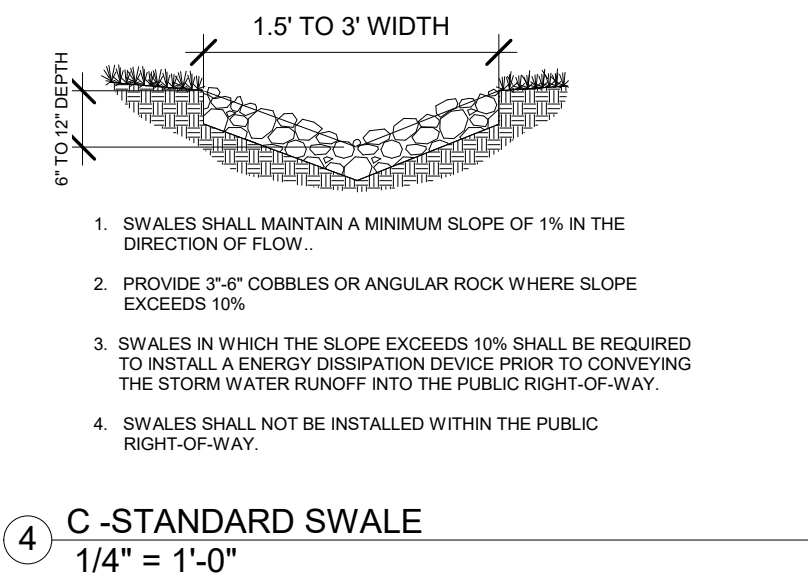
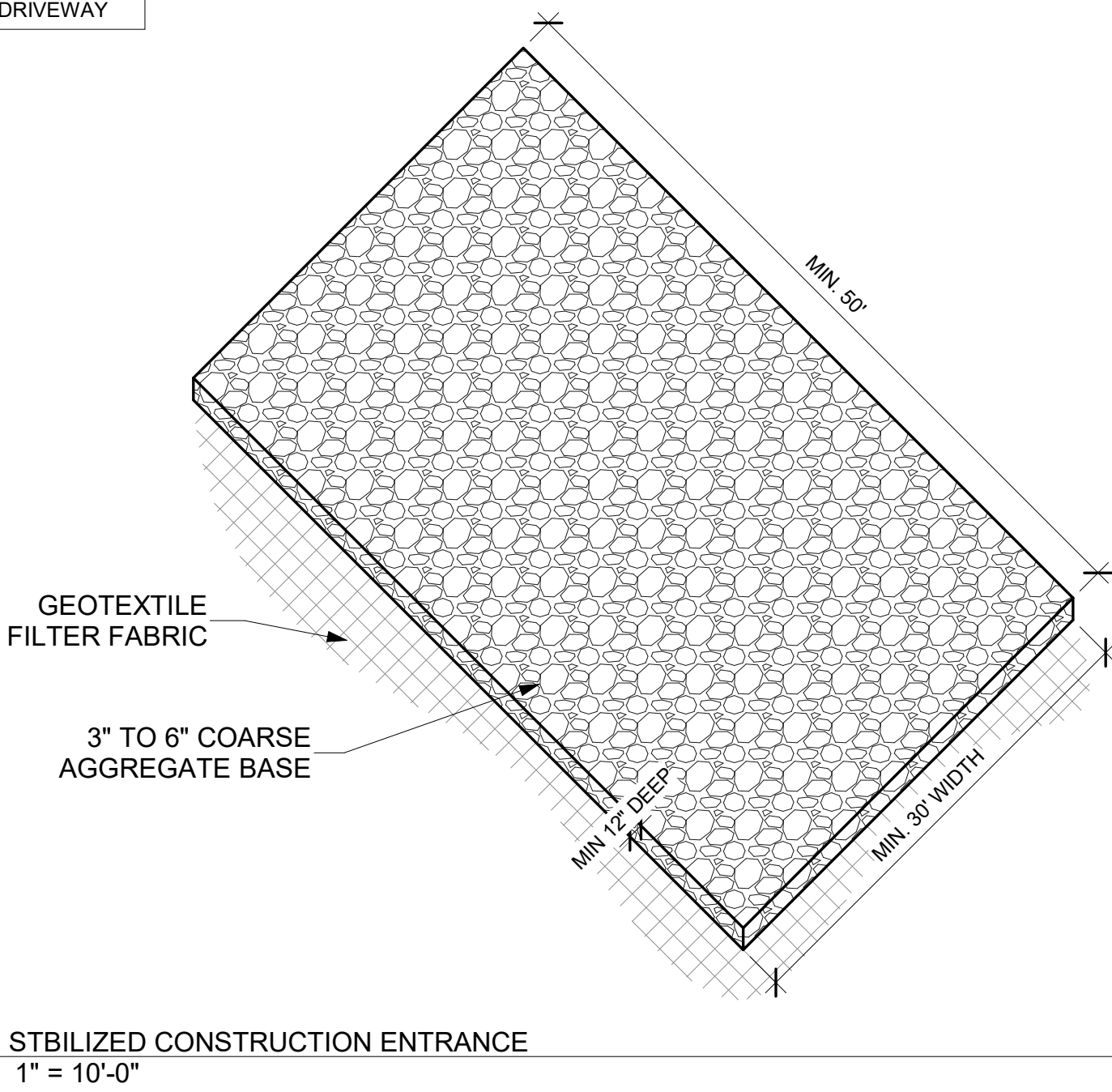


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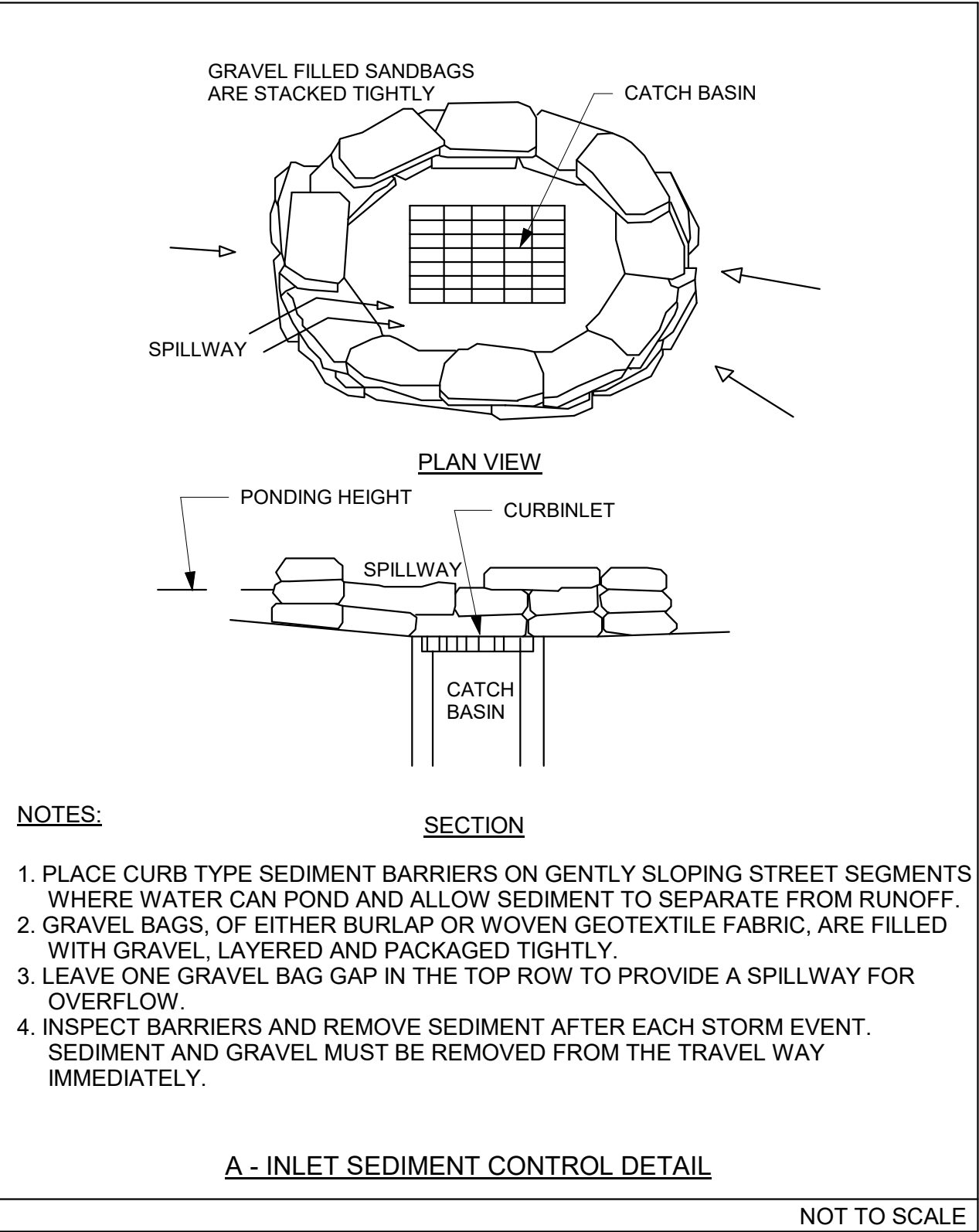
LEGEND	
—980'—	MAJOR CONTOUR (EXISTING)
—990'—	MINOR CONTOUR (EXISTING)
—990'—	MAJOR CONTOUR (NEW)
—990'—	MINOR CONTOUR (NEW)
*****	FIBER ROLL
—	TREE PROTECTION ZONE
FF	FINISHED FLOOR
RW	RETAINING WALL
→	DRAINAGE DITCH DIRECTION
---	DOWNSPOUT DRAIN
---	SETBACK LINE
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---	ROCKERY RETAINING WALL
---	CONCRETE RETAINING WALL
---	STANDARD SWALE
---	STANDARD SWALE
---	PROPERTY LINE
---	PAD LINE
---	P.D.E.
---	PROPOSED DRIVEWAY

- NOTES:**
1. EROSION CONTROL BMP'S SHALL BE IN PLACE PRIOR TO ANY STORM EVENTS.
 2. BMP'S SHALL BE PROJECT SPECIFIC AND ARE NOT LIMITED TO THE MINIMUM REQUIREMENTS SHOWN IN THE ABOVE TABLE. THE ABOVE BMP'S SHOULD BE INSPECTED WEEKLY, BEFORE AND AFTER SIGNIFICANT RAINFALL. VEGETATION MULCHES ARE NOT INTENDED TO BE PERMANENT AND ONCE PLANT GROWTH IS STABLE, IT DOES NOT HAVE TO BE MAINTAINED.
1-PERIMETER PROTECTION
2-IN CONJUNCTION WITH SECONDARY MEASURE AFTER SEPTEMBER 15TH

HYDROSEED MIX			
COMMON NAME (BOTANICAL NAME)	% PURITY	% GERMINATION	SEEDING RATE PER ACRE
BERMUDA GRASS (CYNODON DACTYLON)	95%	85%	10 POUNDS
BLAND BROME (BROMUS MOLLIS)	95%	85%	15 POUNDS
ZARRO FESCUE (VULPIA MYUROS)	90%	80%	10 POUNDS
CALIFORNIA BROME (BROMUS CARNARIUS SSP CALIFORNIUM NATIVE)	95%	85%	5 POUNDS
MEADOW BARLEY (HORDEUM BRADYANTHERUM)	90%	80%	8 POUNDS
CALIFORNIA POPPY (ESCHSCHOLZA CALIFORNICA)	98%	75%	5 POUNDS
ROSE CLOVER - HYKON INOCULATED SEED (TRIPLOJUM HYRTUM)	98%	85%	7 POUNDS
TOTAL:			60 POUNDS



BMP SCHEDULE											
CONSTRUCTION PHASE	WET SEASON				DRY SEASON						
	HYDROSEEDING	STRAW MULCHING & TACTIFIER	PRESERVATION OF EXISTING VEGETATION	FIBER ROLLS/CONTROL	DUST CONTROL	SAND/GRAVEL BAGS BARRIERS	STORM DRAIN INLET PROTECTION	SEDIMENT TRAPS	DEWATERING	DI STENCILING	MATERIAL & WASTE DISPOSAL LOCATION
ON-SITE EARTHWORK	○		○	○	○	○	○	○		○	○
STORM DRAIN IMPROVEMENTS			○	○	○	○	○			○	○
CURB AND GUTTER PAYOUT			○	○	○	○	○				○
POST-CONSTRUCTION	○		○								



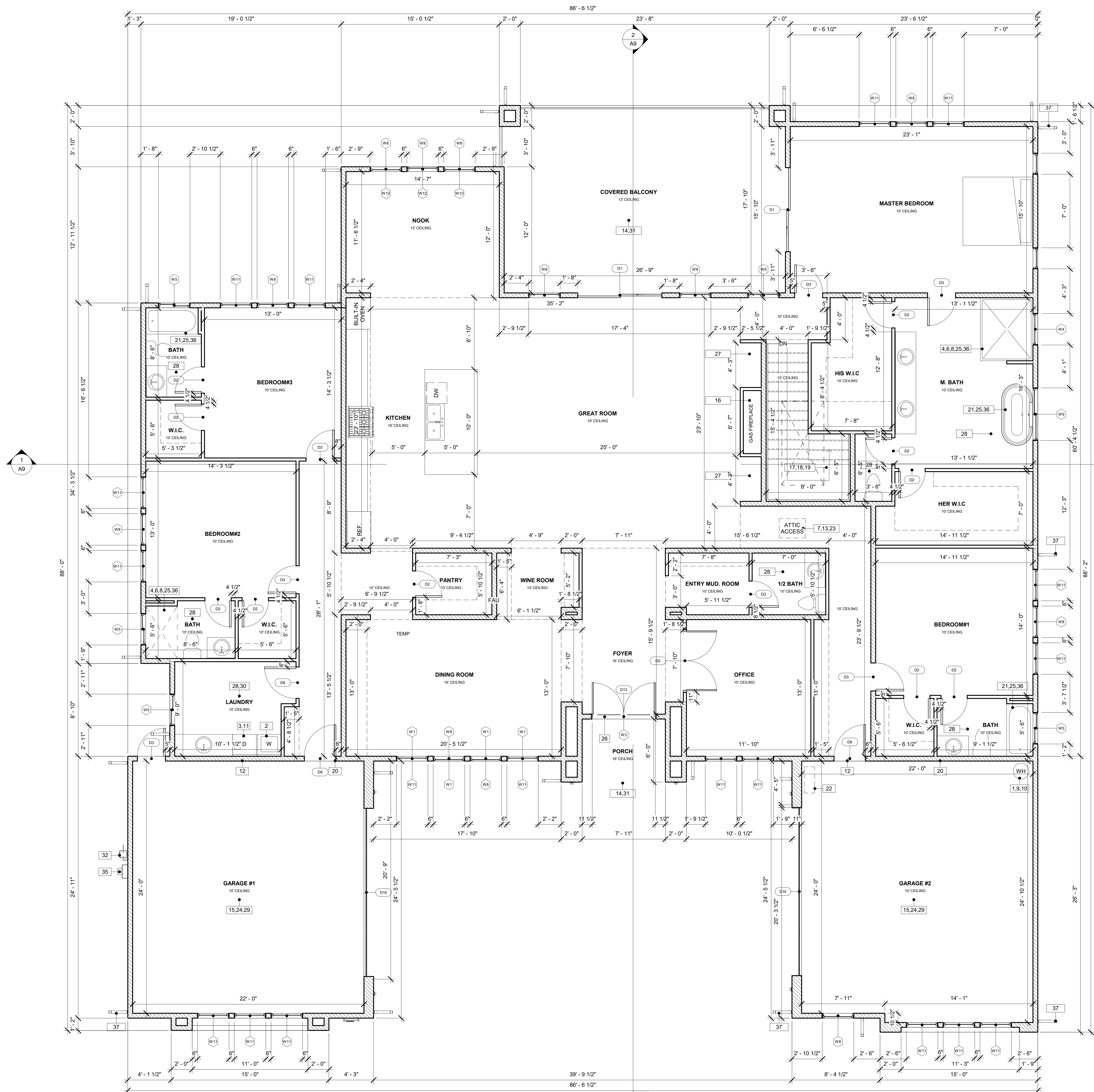
683 TOWNSEND CT,
FOLSOM, CA 95630
APN#: 072-3330-005-0000

EROSION CONTROL

OWNER CONTRACT:
SERGEY BRODSKI
(916) 307-8186
BRODSERUSA@GMAIL.COM

PROJECT: 1-000
DESIGNED: T.V.
DRAWN: T.V.
DATE: 4/16/2022 7:20:09 AM
DATE: DESCRIPTION: REV #

GP2



1 1ST FLOOR
1/4" = 1'-0"

KEY NOTES

- TANKLESS WATER HEATER
- WASHER
- DRYER
- TEMPERED GLASS SHOWER DOOR
- AC PAD
- SHOWER COMPARTMENT REGARDLESS OF SHAPE, HAVING A MIN. OF INTERIOR FLOOR AREA OF 1024 SQUARE IN., AND ALSO CAPABLE OF ENCOMPASSING 30 IN CIRCLE
- A MINIMUM OF 22"x30" READILY ACCESSIBLE ATTIC ACCESS WITH A MINIMUM OF 30" HEADROOM ABOVE FOR EACH SEPERATE ATTIC AREA. NO SHELVING BELOW ATTIC ACCESS.
- HOT MOP OR SHEET MEMBRANE SYSTEM UNDER 1 1/2" MORTAR BED WITH REINFORCING, AND 1/2" THICK TILE (HARD SURFACE) IN SHOWER 6" HIGH MIN.
- HOT WATER GAS EXHAUST TO THE EXTERIOR PROVIDE PRV DRAIN PIPE FROM WH TO THE EXTERIOR
- HOT WATER TANK SEAT ON 18" HIGH FLAT FORM. SEE TITLE 24 FOR SIZE
- SPECIFICATIONS, AND TYPE. SMOOTH METAL DUCT FOR DRYER EXHAUST EXTENDING TO OUTSIDE WITH BACK DRAFT
- DAMPER THIS DUCT SHALL NOT EXCEED A TOTAL COMBINED HORIZONTAL AND VERTICAL LENGTH OF 14' INCLUDING TWO 90 DEG ELBOWS. TWO FEET SHALL BE DEDUCTED FOR EACH 90 DEG ELBOW IN EXCESS OF TWO.
- 1-3/8" SOLID CORE DOOR, OR 20 MINUTES FIRE PROOF DOOR (SELF CLOSING).
- REQUIRED 24" FLAT FROM CATWALK TO FAU (NOT TO EXCEED 20FT) WITH LIGHT AND SWITCH NEAR BY ACCESS. MIN. OF 30" HEADROOM REQ'D.
- ALL PORCH/PATIO CEILINGS ARE STUCCO FINISH AND ARE TO BE SHEATHED WITH 5/8" OSB AND RING SINKER NAILS FOR STUCCO SUPPORT TYP. IF THERE IS NO GAL. METAL SHEET LAYER PROVIDED
- MIN 2% SLOPE DOWN TOWARDS DRIVEWAY TYP.
- DIRECT VENT GAS FIRE PLACE.
- HANDRAIL, 36" HEIGHT WITH 1-1/2" TO 2" WIDE HAND GRIP, MAX OF 4" OC BETWEEN THE INTERMEDIATE BALUSTERS. LESS THAN 4: SPACE BETWEEN THE TOP OF THE RISERS TO THE BOTTOM OF RAIL.
- GAURD RAIL WITH 42" HEIGHT WITH BALUSTERS @ 4" OC MAX. DESIGNED TO CARRY 200# POINT LOAD @ ANY POINT ALONG THE TOP GAURD. PROVIDE POST 6" MAX OC. RISE AND RUN OF STAIRWAY ARE 4" MAX OF RISE, AND 10" MIN OF RUN.
- PROVIDE 1" FOR THE STAIRWAY TREADS LESS THAN 11 INCHES IN DEPTH.
- PROVIDE A ONE HOUR FIRE RESISTIVE SEPERATION BETWEEN GARAGE AND DWELLING
- NON ADSORBEN SURFACE AT TUB WALLS SHOULD CONTINUE TO A HEIGHT OF 6FT ABOVE FINISHED FLOOR.
- EV CHARGER
- DROP DOWN LADDER FOR ATTIC ACCESS.
- MINIMUM 1/2 INCH GYPSUM BOARD ON THE GARAGE CEILING. CRC TABLE R302.6.
- THE MIXING VALVE IN A SHOWER (INCLUDING OVER A TUB) SHALL BE PRESSURE BALANCING SET AT A MAXIMUM 120° F. THE WATER HEATER THERMOSTAT CANNOT BE USED TO MEET THESE PROVISIONS. CPC 408.3, 409.4.
- EXTERIOR LANDINGS AT THE EXTERIOR DOORS SHALL NOT BE MORE THAN 7 1/4 INCHES BELOW THE TOP OF THE THRESHOLD. CRC R311.3.1.
- BALCONY, ENTRY PORCH AND PATIO MUST HAVE 1/4":12" MAX SLOPE. CRC R311.3
- GAS UTILITY
- WATER UTILITY.
- FIRE SPRINKLER RISER ACCESS PANEL MAY BE LOCATED ON THE INTERIOR OR EXTERIOR OF THE BUILDING. FIRE RISER MAY NOT BE LOCATED ON THE EXTERIOR OF THE BUILDING.
- 200 AMP PANEL WITH METER AND UFER GROUND NEAR BY.
- SHOWERS AND TUB SHOWER COMBINATIONS REQUIRES A PRESSURE BALANCE OR THERMOSTATIC TYPE MIXING VALVE SHALL BE PROVIDED TO DELIVER A MAXIMUM WATER TEMP. OF 120 DEG. AT THE FIXTURE.
- DOWNSPOUTS

Door Schedule					
Type Mark	Width	Height	Head Height	Count	Door Type
D1	8' - 0"	8' - 0"	8' - 0"	4	Double-Sliding
D2	2' - 6"	8' - 0"	8' - 0"	14	Flush Swing
D3	2' - 8"	8' - 0"	8' - 0"	11	Flush Swing
D5	6' - 0"	8' - 0"	8' - 0"	1	Double-Shutter
D6	2' - 4"	8' - 0"	8' - 0"	1	Flush Swing
D7	6' - 0"	8' - 0"	8' - 0"	1	Double-Sliding
D9	3' - 0"	8' - 0"	8' - 0"	3	Flush Swing
D10	16' - 0"	8' - 0"	8' - 0"	2	Garage
D13	6' - 0"	8' - 0"	8' - 0"	1	Front Door

Window Schedule					
Type Mark	Width	Height	Head Height	Count	Window Type
W1	3' - 0"	5' - 0"	14' - 0"	4	Fixed
W2	6' - 0"	2' - 0"	11' - 6"	1	Fixed
W3	2' - 0"	3' - 0"	8' - 0"	2	Hung
W4	3' - 0"	5' - 0"	8' - 0"	1	Hung
W5	3' - 0"	2' - 0"	8' - 0"	4	Slide
W6	3' - 0"	6' - 0"	8' - 0"	2	Hung
W7	3' - 0"	2' - 0"	8' - 0"	1	Slide
W8	3' - 0"	6' - 0"	8' - 0"	16	Fixed
W9	5' - 0"	5' - 0"	8' - 0"	1	Slide
W10	2' - 0"	4' - 0"	8' - 0"	2	Fixed
W11	3' - 0"	6' - 0"	8' - 0"	22	Hung
W12	3' - 0"	2' - 6"	11' - 0"	3	Fixed

Area Schedule	
Area	Name
4195 SF	LIVING AREA
564 SF	GARAGE #1
574 SF	GARAGE #2
480 SF	COVERED BALCONY
1658 SF	BASEMENT LIVING AREA
871 SF	COVERED PATIO

WALL LEGEND

	2" x 4" WALL (MEASURED 3 1/2")
	2" x 6" WALL (MEASURED 5 1/2")



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FOLSOM, CA 95630
APN#: 072-3330-005-0000

PROJECT NAME

FLOOR PLAN

SHEET TITLE

OWNER CONTACT:
SERGEY BRODSKI
(916) 307-8186
BRODSERUSA@GMAIL.COM

PROJECT: 1-000

DESIGNED: RM

DRAWN: RM

DATE: 4/16/2022 9:25:06 AM

DATE: DESCRIPTION: REV #

SHEET:

A3



KEY NOTES

- TANKLESS WATER HEATER
- WASHER
- DRYER
- TEMPERED GLASS SHOWER DOOR
- AC PAD
- SHOWER COMPARTMENT REGARDLESS OF SHAPE, HAVING A MIN. OF INTERIOR FLOOR AREA OF 1024 SQUARE IN., AND ALSO CAPABLE OF ENCOMPASSING 30 IN CIRCLE
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- EXTERIOR LANDINGS AT THE EXTERIOR DOORS SHALL NOT BE MORE THAN 7 1/4 INCHES BELOW THE TOP OF THE THRESHOLD. CRC R311.3.1.
- BUILT-IN SHELVES
- TILE FINISH
- STAMPED CONCRETE FINISH
- LAUNDRY CLOSET AT DWELLING CONVERSION WILL BE PROVIDED WITH A MINIMUM OPENING OF 100 SQUARE INCHES FOR MAKE-UP AIR BY PROVIDING AN OPENING IN DOOR OR OTHER APPROVED MEANS PER 2019 CMC SEC. 504.4.1.
- GAS UTILITY.
- WATER UTILITY.
- FIRE SPRINKLER RISER ACCESS PANEL MAY BE LOCATED ON THE INTERIOR OR EXTERIOR OF THE BUILDING. FIRE RISER MAY NOT BE LOCATED ON THE EXTERIOR OF THE BUILDING.
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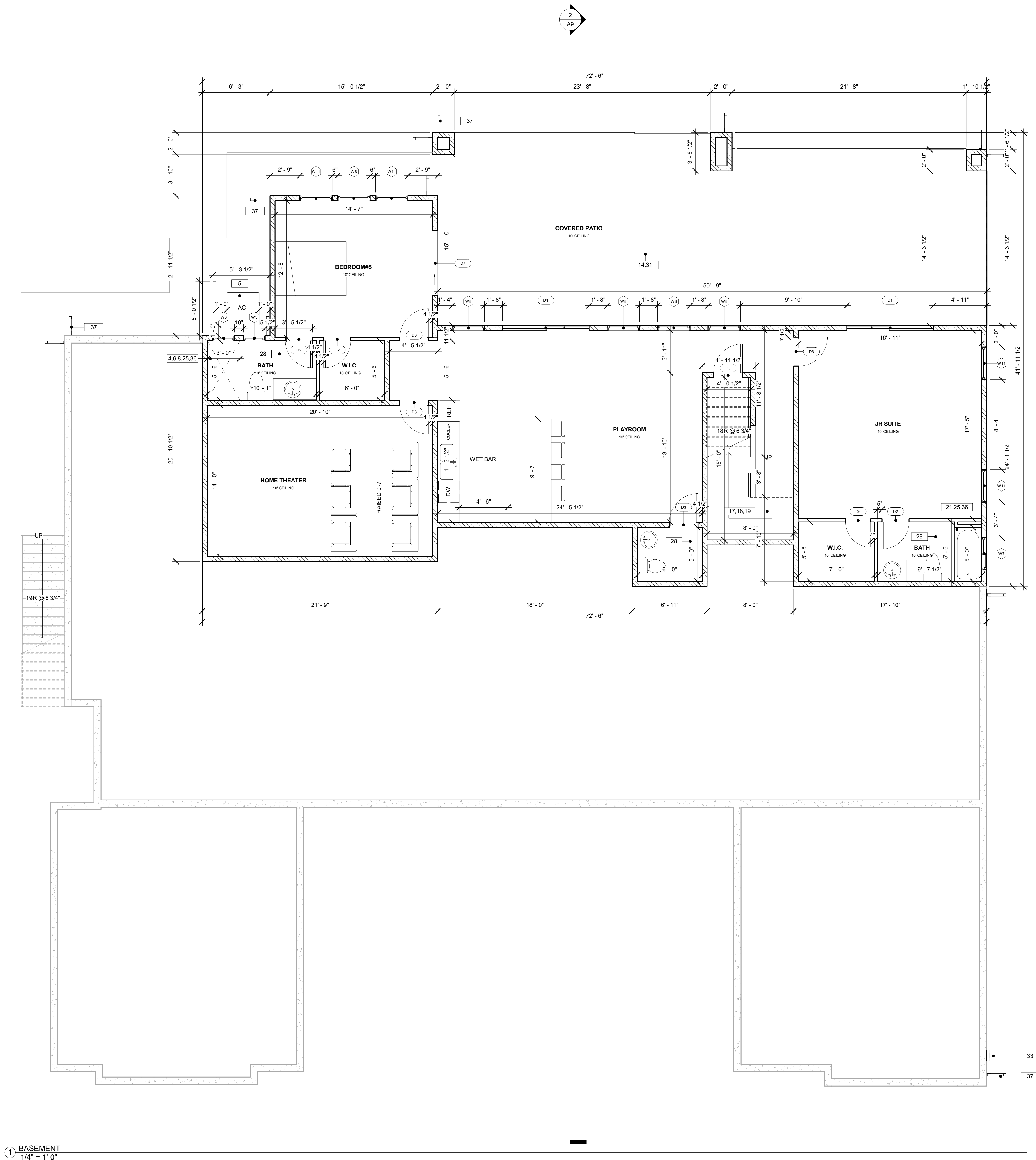
Door Schedule					
Type Mark	Width	Height	Head Height	Count	Door Type
D1	8' - 0"	8' - 0"	8' - 0"	4	Double-Sliding
D2	2' - 6"	8' - 0"	8' - 0"	14	Flush Swing
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D5	6' - 0"	8' - 0"	8' - 0"	1	Double-Shutter
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W4	3' - 0"	5' - 0"	8' - 0"	1	Hung
W5	3' - 0"	2' - 0"	8' - 0"	4	Slide
W6	3' - 0"	6' - 0"	8' - 0"	2	Hung
W7	3' - 0"	2' - 0"	8' - 0"	1	Slide
W8	3' - 0"	6' - 0"	8' - 0"	16	Fixed
W9	5' - 0"	5' - 0"	8' - 0"	1	Slide
W10	2' - 0"	4' - 0"	8' - 0"	2	Fixed
W11	3' - 0"	6' - 0"	8' - 0"	22	Hung
W12	3' - 0"	2' - 6"	11' - 0"	3	Fixed

Area Schedule	
Area	Name
4195 SF	LIVING AREA
564 SF	GARAGE #1
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480 SF	COVERED BALCONY
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WALL LEGEND

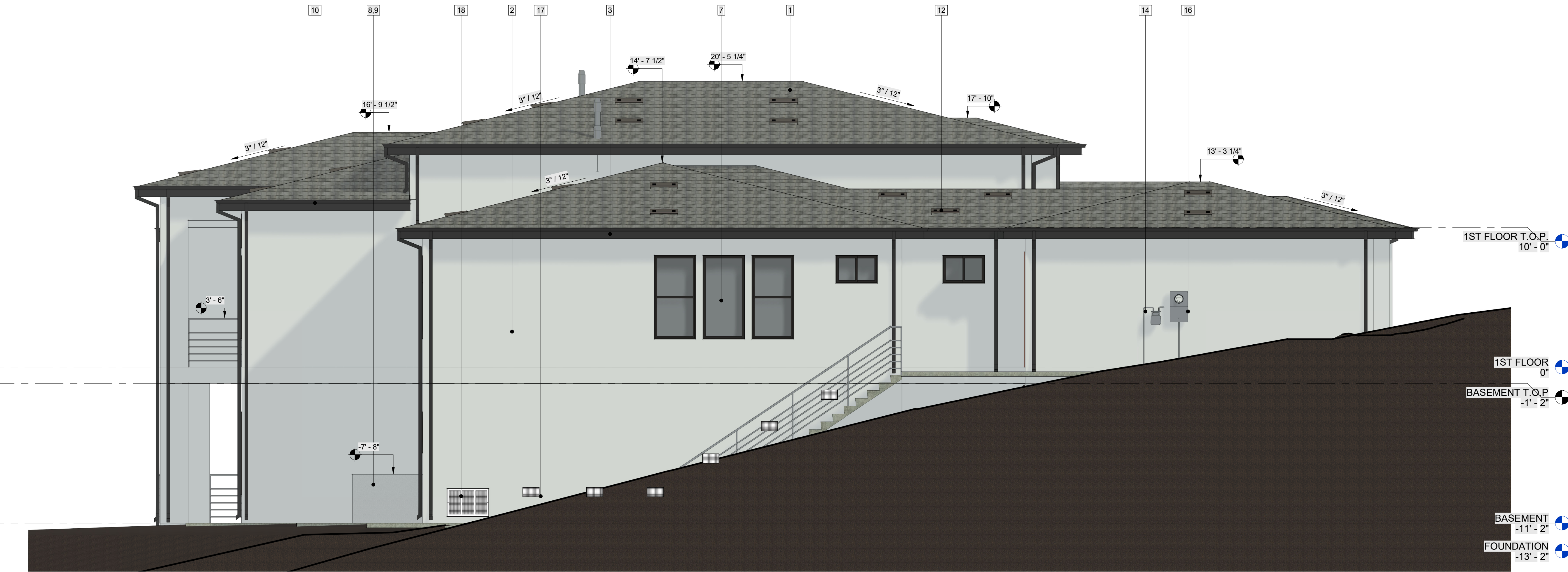
	2' x 4" WALL (MEASURED 3 1/2")
	2' x 6" WALL (MEASURED 5 1/2")



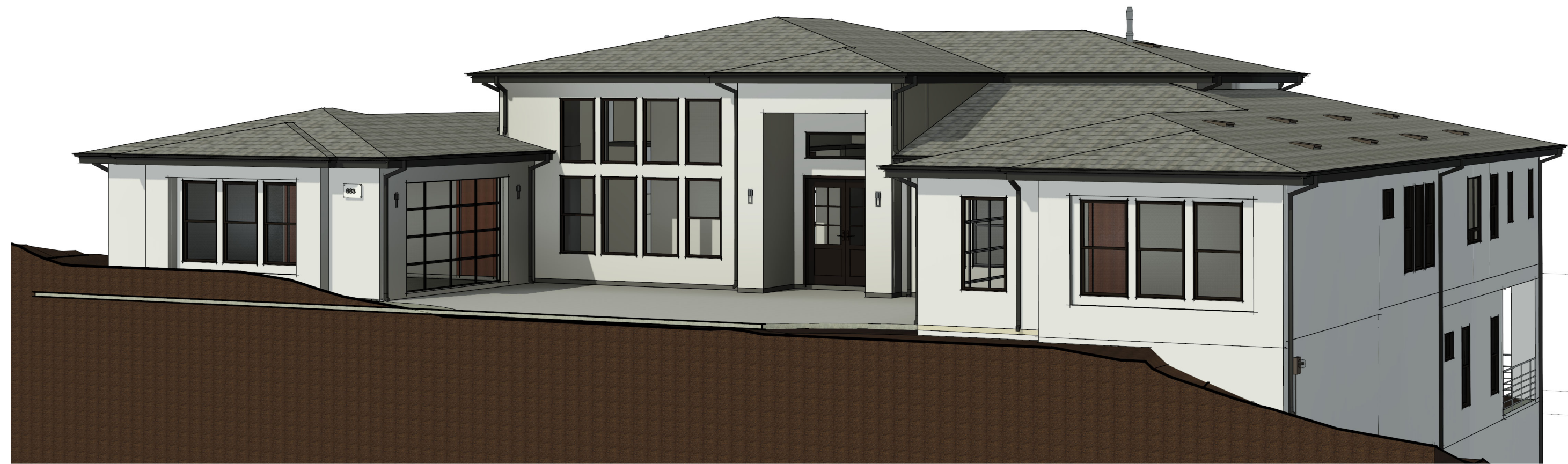
1 BASEMENT
1/4" = 1'-0"



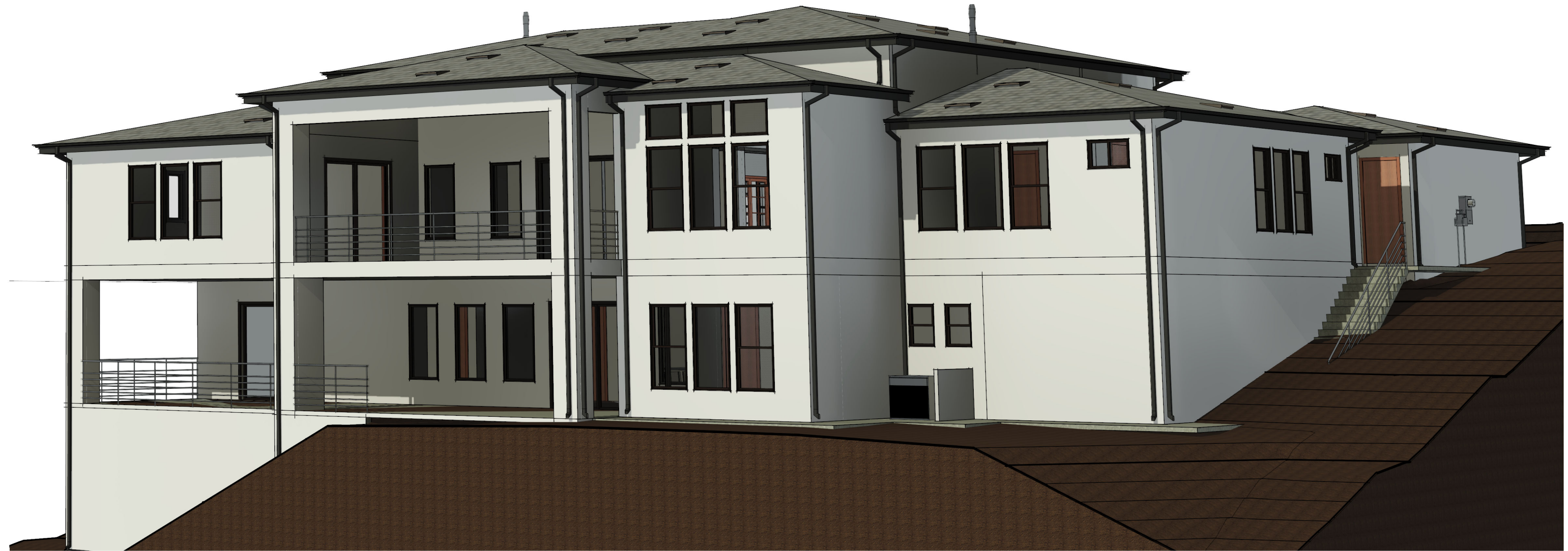
1 FRONT ELEVATION
1/4" = 1'-0"



2 LEFT ELEVATION
1/4" = 1'-0"



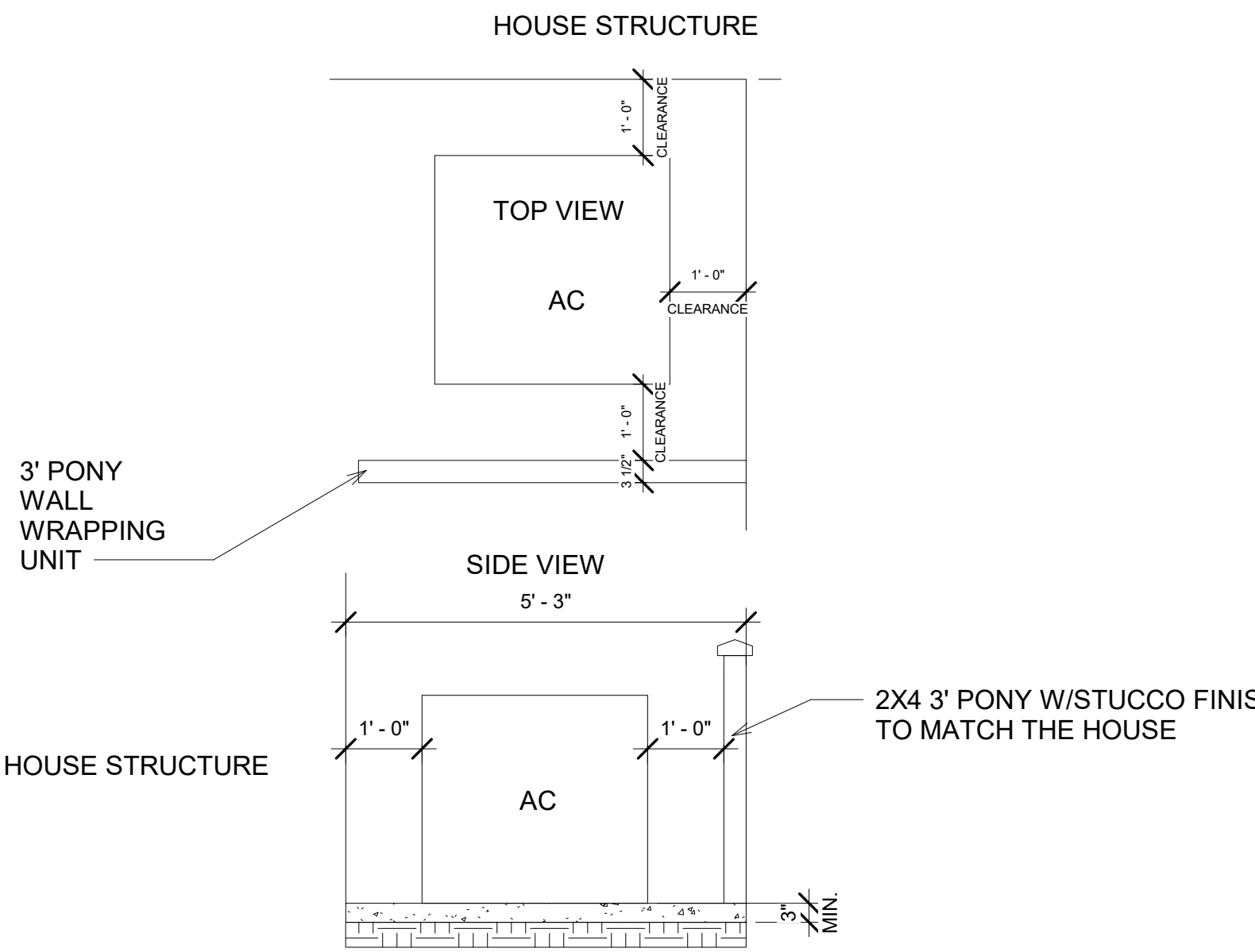
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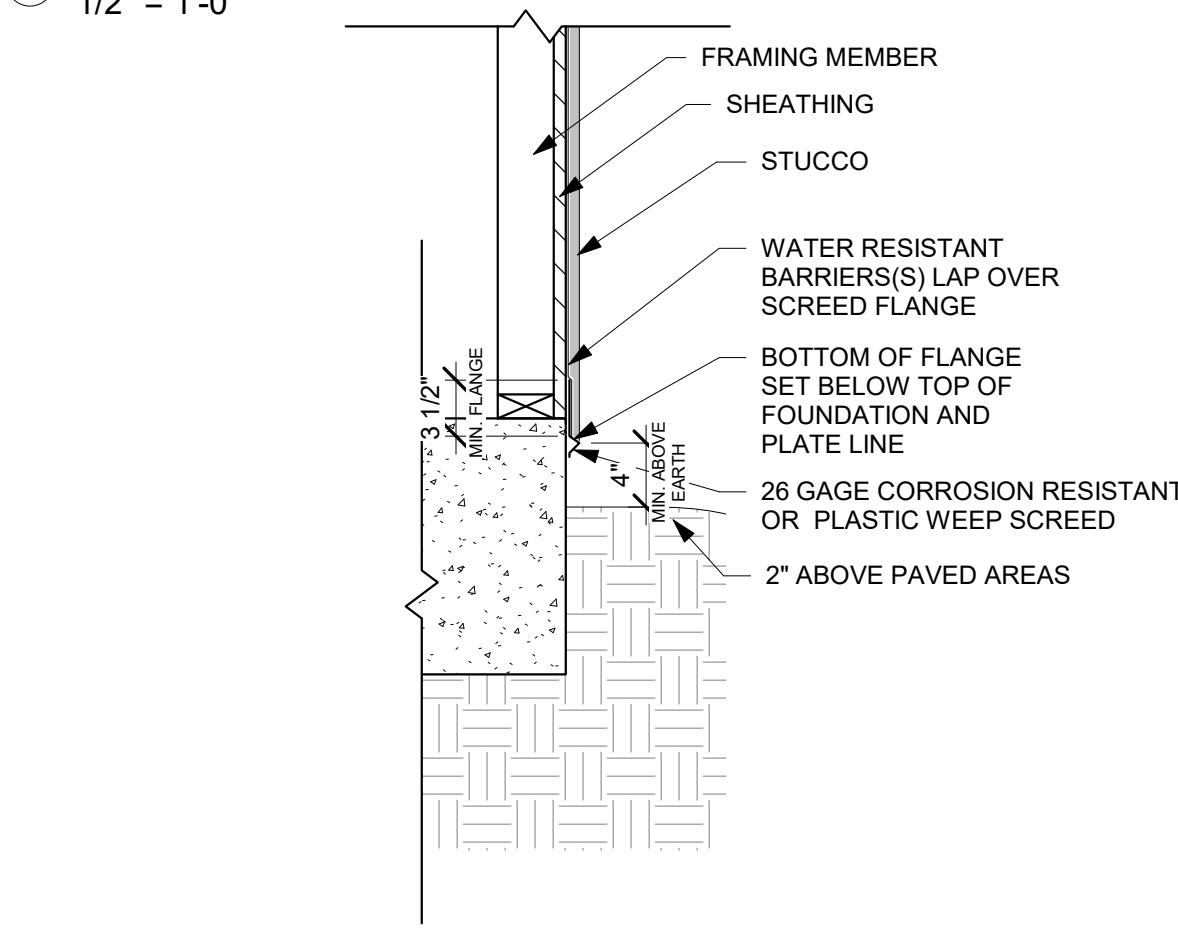
4 V2

KEY NOTES

1. ROOF TILE BY EAGLE ROOFING. 3697 SLATE RANGE PROGILE: CAPISTRANO. ROOF PITCH 3:12. OVERHANG: 1'-6"
2. SINGLE COAT STUCCO SMOOTH OMEGA PRODUCT 9257 ADRENALINE, PLYWOOD SHEATHING UNDER TWO LAYERS OF GRADE D PAPER
3. FASCIA BOARD (COLOR: GYFORD MATTE BLACK)
4. GARAGE DOOR BY CLOPAY. AVANTE. COLOR: BLACK.
5. EXTERIOR LED LIGHTING BY LAMPS PLUS (ARTIKA BRISTOL WALL-MOUNTED SCONE
6. CUSTOM FRONT DOOR
7. 100 SERIES WINDOWS (WITH COLONIAL GRILLES) AND SLIDING DOORS BY ANDERSEN (COLOR - BLACK BROWN)
8. AC SCREENING (STUCCO FINISH)
9. AC UNIT SHALL BE LOCATED AND SECURED TO A MINIMUM 3-INCH THICK SLAB OR APPROVED PLATFORM.
10. GUTTER (COLOR: GYFORD MATTE BLACK).
11. THE APPROVED ADDRESS NUMBERS SHALL BE PLAINLY LEGIBLE AND VISIBLE FROM THE STREET FRONTING THE PROPERTY. THE NUMBERS SHALL BE A MINIMUM OF 4" HIGH WITH A MINIMUM 1/2" WIDE STROKE. CFC 305, CRC R319. FMCS 36.080 THE NUMBERS SHALL BE ILLUMINATED AT NIGHT. WHEN EXTERNALLY ILLUMINATED THE FACE OF THE SIGN SHALL BE AT A MINIMUM OF 5.0 FOOT CANDLES. INTERNALLY ILLUMINATED SIGNS SHALL PROVIDE EQUIVALENT ILLUMINATION. FMC 8.36.080.
12. O'HAGIN VENTS FOR CLAY TILE ROOF MODEL "S".
13. DOWNSPOUT (COLOR: GYFORD MATTE BLACK).
14. GAS METER
15. WATER METER
16. ELECTRICAL METER
17. CRAWL SPACE VENT. COLOR: BLACK. SIZE 10"X16".
18. 36"X24" UNDER-FLOOR ACCESS



6 A - AC SCREEN DETAIL
1/2" = 1'-0"



5 A - WEEP SCREED DETAIL
1" = 1'-0"



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ELEVATIONS

SHEET TITLE:

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DRAWN: RM

DATE: 4/20/2022 3:14:48 AM

DATE: DESCRIPTION: REV #

SHEET:

A4



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ELEVATIONS

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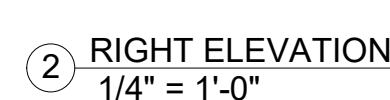
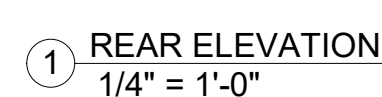
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DESIGNED:	RM
DRAWN:	

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SHEET:

A5



1. ROOF TILE BY EAGLE ROOFING. 3697 SLATE RANGE PROGILE: CAPISTRANO. ROOF PITCH 3:12. OVERHANG: 1'-6"
2. SINGLE COAT STUCCO SMOOTH OMEGA PRODUCT 9257 ADRENALINE. PLYWOOD SHEATHING UNDER TWO LAYERS OF GRADE D PAPER
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14. GAS METER
15. WATER METER
16. ELECTRICAL METER
17. CRAWL SPACE VENT. COLOR: BLACK. SIZE 10"x16".
18. 36"x24" UNDER-FLOOR ACCESS

VENTILATION REQUIRED

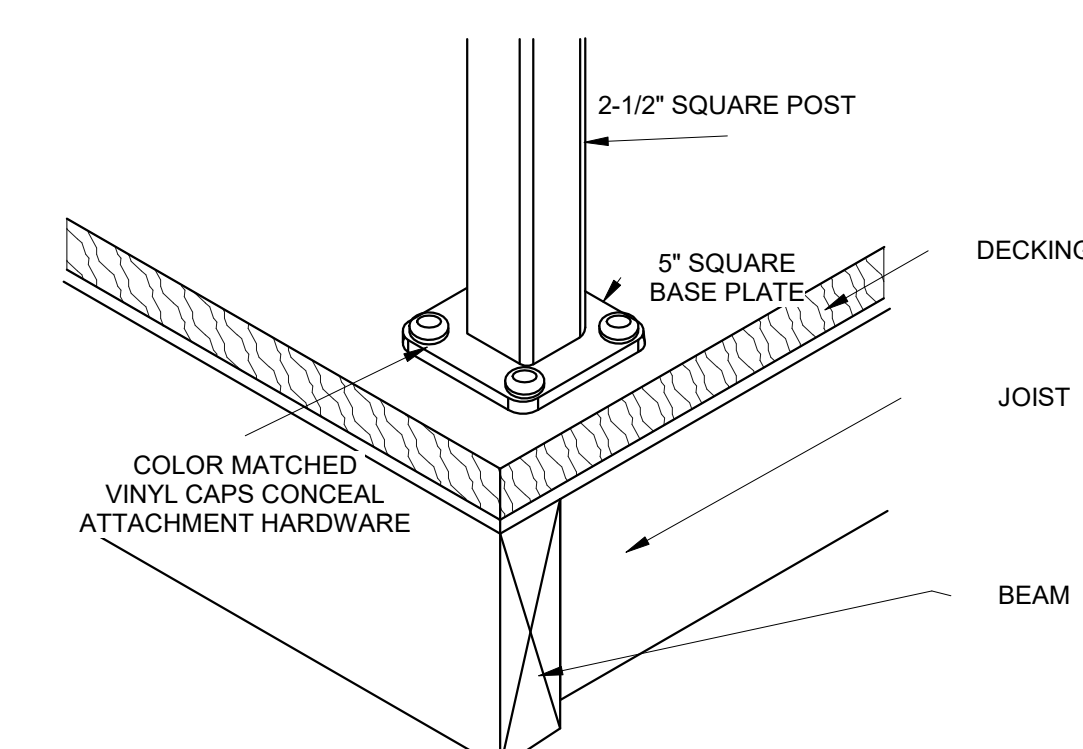
AREA VENTILATED	VENTILATION RATE	REQUIRED AREA (AREA VENTILATED/150) x 144 = SQ.IN.
2,215 SQ.FT	150 TH	2,126.4 SQ.IN

NOTES:

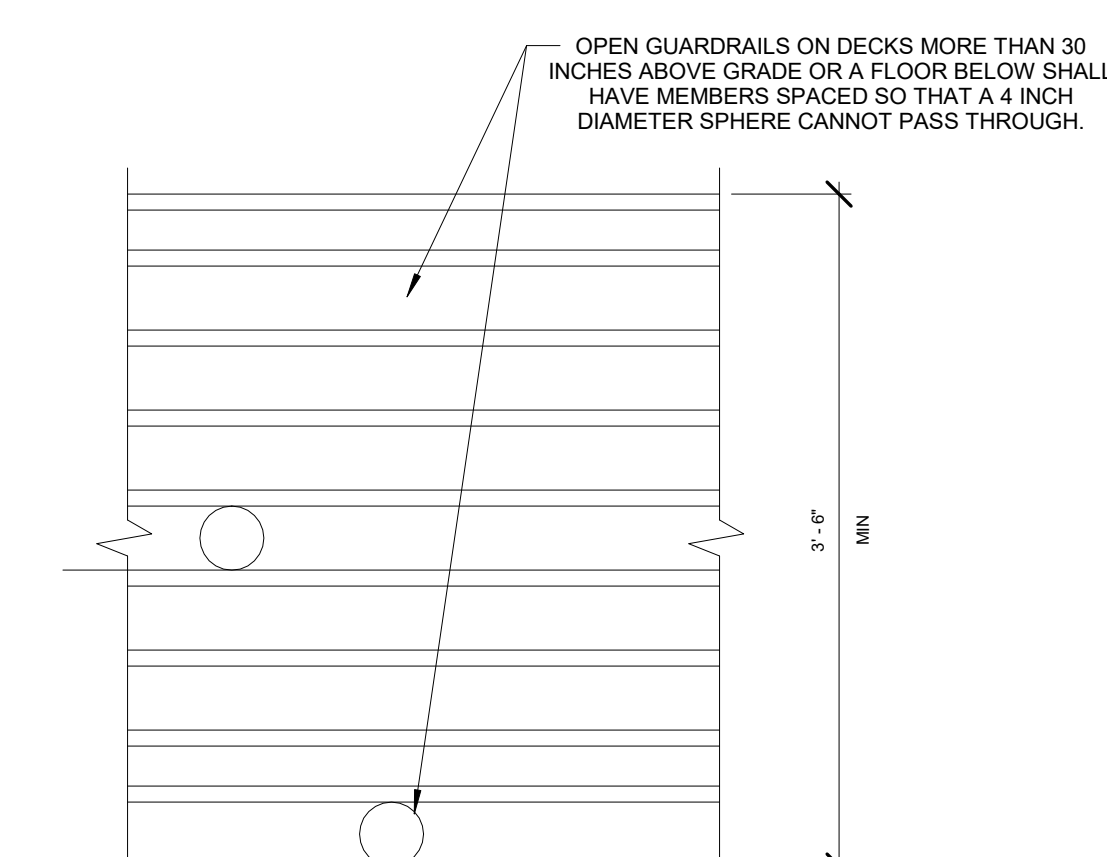
- NOTES:
1. ALL OPENINGS SHALL BE COVERED WITH MIN. 1/16" AND MAX. 1/8" METAL MESH.
 2. VENTILATING OPENING SHALL BE WITHIN 3 FEET OF EACH CORNER OF THE BUILDING. CRC R408.1

VENTILATOR TYPE	SIZE	QUANTITY	AREA VENTILATED
FOUNDATION VENT	10"x16"	14	160 SQ.IN (FOR ONE VENT)
		TOTAL	2,240 SQ-IN

NOTE: SPACING OF VENTS SHALL BE 5' O.C.



③ GUARD RAIL
3/8" = 1'-0"



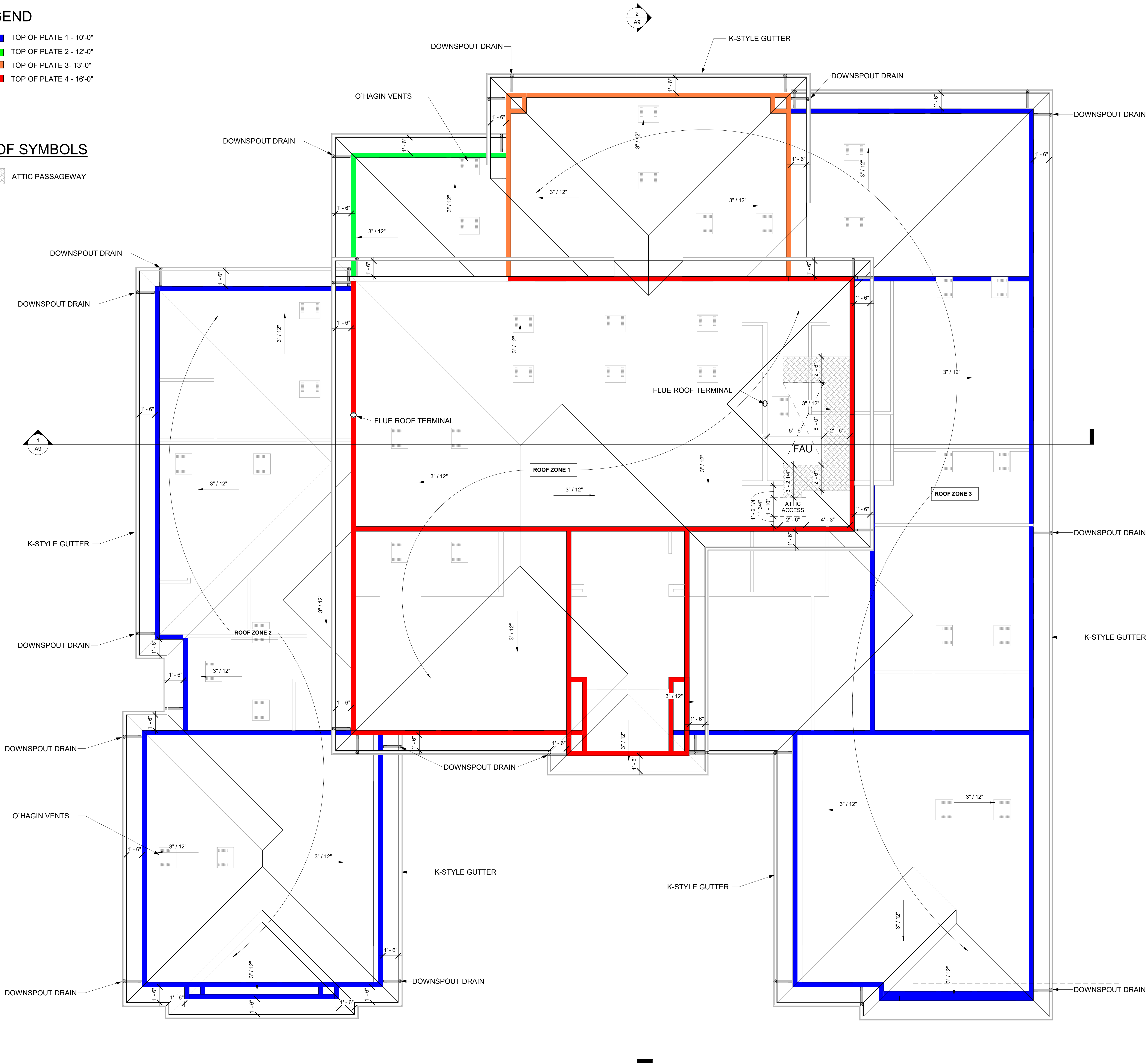
④ GUARD RAIL -
1" = 1'-0"

LEGEND

- TOP OF PLATE 1 - 10'-0"
- TOP OF PLATE 2 - 12'-0"
- TOP OF PLATE 3- 13'-0"
- TOP OF PLATE 4 - 16'-0"

ROOF SYMBOLS

ATTIC PASSAGEWAY



ATTIC VENTILATION CALCULATIONS

VENTILATION REQUIRED FOR ROOF ZONE 1		
AREA VENTILATED	VENTILATION RATE	REQUIRED AREA (AREA VENTILATED/300) x 144 = SQ.IN.
2,246 SQ.FT	300 TH	1,078 SQ.IN

VENTILATION PROVIDED FOR ROOF ZONE 1					
VENTILATOR TYPE	MODEL	NET AREA	VENT LOCATION	QUANTITY	AREA VENTILATED
LOW PROFILE VENT	O'HAGIN FLAT	98.75 SQ-IN	UPPER HALF	6	592.5 SQ-IN
LOW PROFILE VENT	O'HAGIN FLAT	98.75 SQ-IN	LOWER HALF	5	493.75 SQ-IN
				TOTAL	1,086.25 SQ-IN

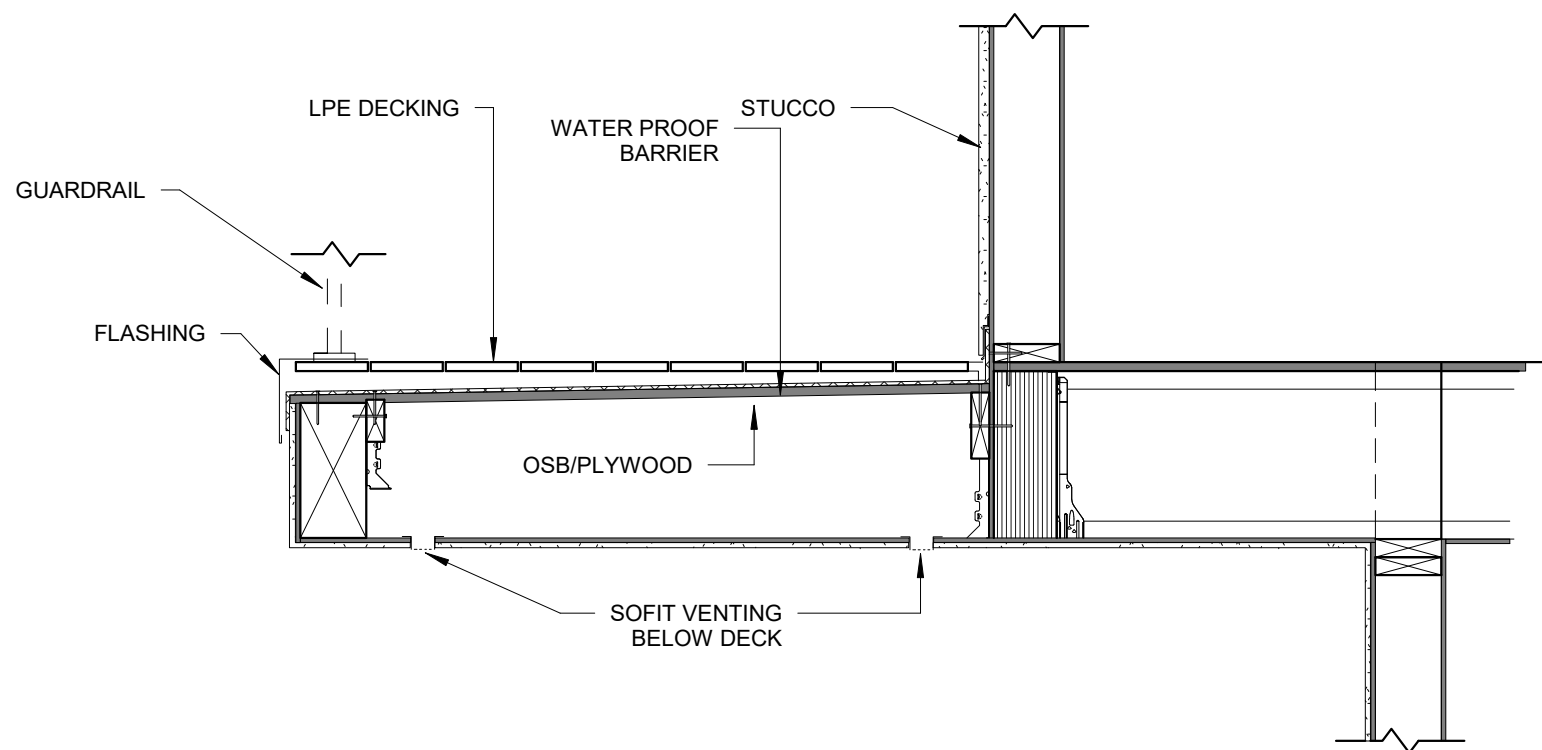
VENTILATION REQUIRED FOR ROOF ZONE 2		
AREA VENTILATED	VENTILATION RATE	REQUIRED AREA (AREA VENTILATED/300) x 144 = SQ.IN.
1,668 SQ.FT	300 TH	801 SQ.IN

VENTILATION PROVIDED FOR ROOF ZONE 2					
VENTILATOR TYPE	MODEL	NET AREA	VENT LOCATION	QUANTITY	AREA VENTILATED
LOW PROFILE VENT	O'HAGIN FLAT	98.75 SQ-IN	UPPER HALF	5	493.75 SQ-IN
LOW PROFILE VENT	O'HAGIN FLAT	98.75 SQ-IN	LOWER HALF	4	395 SQ-IN
				TOTAL	888.75 SQ-IN

VENTILATION REQUIRED FOR ROOF ZONE 3		
AREA VENTILATED	VENTILATION RATE	REQUIRED AREA (AREA VENTILATED/300) x 144 = SQ.IN.
3,203 SQ.FT	300 TH	1,538 SQ.IN

VENTILATION PROVIDED FOR ROOF ZONE 3					
VENTILATOR TYPE	MODEL	NET AREA	VENT LOCATION	QUANTITY	AREA VENTILATED
LOW PROFILE VENT	O'HAGIN FLAT	98.75 SQ-IN	UPPER HALF	8	790 SQ-IN
LOW PROFILE VENT	O'HAGIN FLAT	98.75 SQ-IN	LOWER HALF	8	790 SQ-IN
				TOTAL	1580 SQ-IN

NOTES:
1. ALL OPENINGS SHALL BE COVERED WITH MIN. 1/16" AND MAX. 1/8" METAL MESH.



2. WATER DRAINAGE AT DECK - STUCCO
3/4" = 1'-0"



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PROJECT NAME

ROOF PLAN

SHEET TITLE:

OWNER CONTACT:
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PROJECT: 1-000
DESIGNED: RM
DRAWN: RM
DATE: 4/16/2022 9:25:38 AM

DATE	DESCRIPTION	REV #

SHEET:

A6



1 LANDSCAPE PLAN
1" = 10'-0"

PLANTING NOTES

1. PLANS ARE DIAGRAMMATIC. CONTRACTOR/OWNER SHALL BE RESPONSIBLE FOR FIELD VERIFYING ALL EXISTING CONDITIONS AND ADJUST PLANT ACCORDINGLY.
2. NO PLANTING SHALL BE STARTED UNTIL FINISH GRADING AND IRRIGATION SYSTEM HAVE BEEN COMPLETED.
3. ALL PLANT MATERIALS SHALL MEET SIZE SPECIFICATION AS SHOWN ON THE PLANT LIST AND SHALL BE HEALTHY, FULL, AND SHALL BE OF FIRST RATE QUALITY FOR THE SPECIES.
4. THE LOCATIONS OF TREES AND SHRUBS SHALL BE ADJUSTED IN THE FIELD TO ACCOMMODATE EXISTING UTILITIES, LIGHTS, SPRINKLERS, ETC.
5. CONTRACTOR SHALL CULTIVATE LAWN AND PLANTING AREAS WITH APPROVED SOIL AMENDMENTS.
6. AFTER PLANTING IS COMPLETE AND AREAS HAVE BEEN FINE GRADED, SPREAD BARK TO DRESS TO A 3" MINIMUM DEPTH IN ALL NON-TURF, PLANTER BEDS.
7. PLANTER BED MULCH SHALL BE SMALL CHIPPED FIRE BARK. MULCH SHALL BE FREE OF LARGE WOODY PIECES, SOIL, STONES, STICKS, DEBRIS OR OTHER FOREIGN MATTER.
8. SOIL AMENDMENTS SHALL BE APPLIED AT THE RATE OF 6 CUBIC YARDS PER 1,000 SQUARE FEET AND THOROUGHLY CULTIVATED INTO THE SOIL PRIOR TO PLANTING. AMENDMENTS TO BE NITRIFIED WOOD COMPOST OR EQUAL FREE OF WEED SEED AND NON-ORGANIC MATERIALS.
9. ALL FIVE-GALLON AND LARGER TREES SHOULD BE DOUBLE STAKED, PERPENDICULAR TO THE PREVAILING WIND PATTERN, WITH 8' LODGE-POLE STAKES OUTSIDE THE PLANTING PIT AND TIED WITH FLEXIBLE TIES.
10. PLANTERS WHICH SOIL WAS EXCAVATED SHALL RECEIVE NEW TOPSOIL AMENDED AS IN NOTE #8.
11. PLANTING PITS SHALL BE 2 TIMES THE DIAMETER OF THE ROOT BALL AND 2" LESS THE DEPTH OF THE ROOT BALL.
12. CONTRACTOR/OWNER SHALL ABIDE BY ALL LOCAL, STATE AND FEDERAL LAWS, CODES AND ORDINANCES.
13. ALL REVISIONS MADE TO THESE PLANS ARE AT THE DISCRETION OF THE CONTRACTOR/OWNER.
14. PLANTS, LAWN, TREES, ETC. CAN BE REPLACED BY CONTRACTOR/OWNER FOR ANY REASON FOR SIMILAR PRODUCT.

HAVE COMPLIED WITH THE THE CRITERIA OF THE ORDINANCE AND APPLIED THEM FOR THE EFFICIENT USE OF WATER IN THE LANDSCAPE DESIGN AND IRRIGATION PLAN."

LANDSCAPE NOTES:

1. "INCORPORATE COMPOST AT A RATE OF AT LEAST FOUR CUBIC YARDS PER 1000 SQUARE FEET TO A DEPTH OF SIX INCHES INTO THE LANDSCAPE AREA EXCEPT WITHIN THE DRIPLINE OF PROTECTED TREES (UNLESS CONTRA-INDICATED BY A SOILS TEST)."
2. "A MINIMUM THREE INCH LAYER OF MULCH SHALL BE APPLIED ON ALL EXPOSED SURFACES OF PLANTING AREAS EXCEPT IN TURF AREAS, CREEPING OR ROOTING GROUNDCOVERS, OR DIRECT SEEDING APPLICATIONS WHERE MULCH IS CONTRAINDICATED."

NOTES:

"A MINIMUM 3-INCH LAYER OF ORGANIC MULCH SHALL BE APPLIED ON ALL EXPOSED SOIL SURFACES OF PLANTING AREAS EXCEPT TURF AREAS, CREEPING OR ROOTING GROUNDCOVERS, OR DIRECT SEEDING APPLICATIONS WHERE MULCH IS CONTRAINDICATED."
"COMPLETE THE CITY FORM "DETERMINATION OF APPLICABILITY TO THE MODEL WATER EFFICIENCY LANDSCAPE ORDINANCE (AB 1681)" AVAILABLE ON THE CITY'S WEB PAGE AND SUBMIT TO THE CITY ARBORIST FOR REVIEW. IF IT IS DETERMINED THAT LANDSCAPE AND IRRIGATION PLANS ARE REQUIRED, PLANS, CALCULATIONS AND A CERTIFICATION STATEMENT SHALL BE SUBMITTED AS A DEFERRED SUBMITTAL BEFORE ISSUANCE OF A CERTIFICATE OF OCCUPANCY. THE LANDSCAPE AND IRRIGATION WORK SHALL BE COMPLETE. INSPECTIONS OF THE PLANTS AND IRRIGATION INSTALLATION BY THE CITY AND A THIRD-PARTY WATER AUDIT MUST BE PERFORMED AND SUBMITTED FOR APPROVAL TO THE CITY ARBORIST."
NO DISALLOWED PLANTS ARE INCLUDED IN THE PLANTING PLAN.

LEGEND

DIMENSION POINT	
PROPERTY LINE	
SET-BACK LINE	
PAD LINE	
DRIVEWAY	
PROPOSED FENCE LINE	

PLANTING SCHEDULE												
KEY	SYMBOL	IMAGE	COMMON NAME	SCIENTIFIC NAME	HEIGHT	WIDTH	SUN EXPOSURE	WATER NEEDS	SOIL CONDITIONS	WUCOLS PLANT FACTOR	HARDNESS ZONE	COUNT
S1			LAVENDER COTTON	SANTOLINA CHAMAECYPARISSUS	1-2 FT	1-3 FT	FULL SUN	LOW	CHALK, CLAY, LOAM, SAND, MOSIT BUT WELL-DRAINED	L 0.2-0.3	7-9	16
S2			BLUE GEM WESTRINGIA	WESTRINGIA FRUTICOSA	1-2 FT	1-3 FT	FULL SUN	LOW	CHALK, CLAY, LOAM, SAND, MOSIT BUT WELL-DRAINED	L 0.2-0.3	9-10	14
S3			LITTLE BUNNY DWARF FOUNTAIN GRASS	PENNISETUM ALOPECUROIDES	1-2 FT	1-2 FT	FULL SUN	LOW	THRIVES IN AVERAGE, WELL-DRAINED SOILS, WET CLAY SOILS, AVOID HEAVY	L 0.2-0.3	4-11	14

KEY	HATCHED	MATERIAL	NAME	DESCRIPTION	SQ-FT
H1		Cobblestone 860	DRIVEWAY, WALKWAYS	CONCRETE	1,137
H2			MEDIUM BARK	BARK MULCH	1,968
H3			ROCKERY WALL		



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APN#: 072-3330-005-0000

PROJECT NAME

LANDSCAPE PLAN

SHEET TITLE

OWNER CONTACT:		
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PROJECT:	1-000	
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DRAWN:		
DATE:	4/16/2022 7:23:35 AM	
DATE:	DESCRIPTION:	REV #

SHEET:

A7



1 LANDSCAPE PLAN
1" = 10'-0"

IRRIGATION NOTES

PRESSURE REGULATORS SHALL BE INSTALLED ON THE IRRIGATION SYSTEM TO ENSURE THE DYNAMIC PRESSURE OF THE SYSTEM IS WITHIN THE MANUFACTURERS RECOMMENDED PRESSURE RANGE.

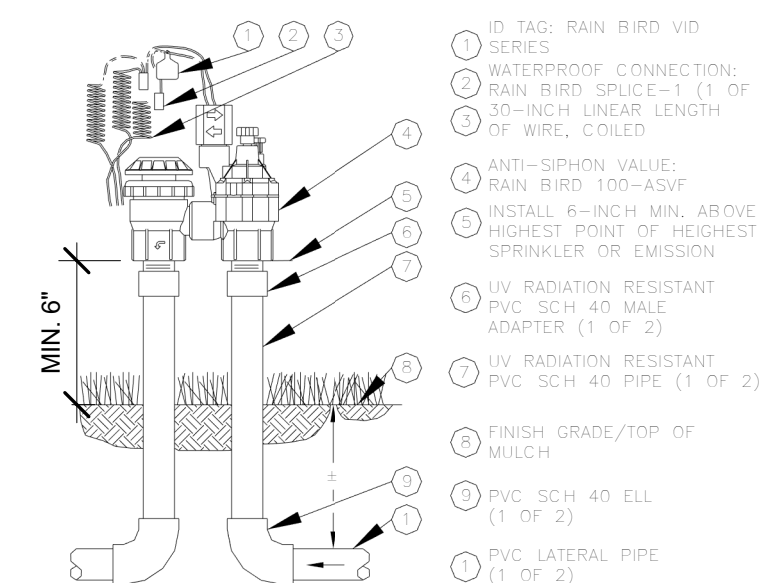
MANUAL SHUT-OFF VALVES (SUCH AS A GATE VALVE, BALL VALVE, OR BUTTERFLY VALVE) SHALL BE INSTALLED AS CLOSE AS POSSIBLE TO THE POINT OF CONNECTION OF THE WATER SUPPLY.

AREAS LESS THAN 10-FEET IN WIDTH IN ANY DIRECTION SHALL BE IRRIGATED WITH SUBSURFACE IRRIGATION OR OTHER MEANS THAT PRODUCES NO RUNOFF OR OVERSPRAY.

AUTOMATIC WEATHER-BASED OR SOIL-MOISTURE BASED IRRIGATION CONTROLLERS SHALL BE INSTALLED ON THE IRRIGATION SYSTEM.

"UNLESS CONTRADICTED BY A SOILS TEST, COMPOST AT A RATE OF A MINIMUM OF FOUR CUBIC YARDS PER 1000 SQUARE FEET OF PERMEABLE AREA SHALL BE INCORPORATED TO A DEPTH OF SIX INCHES INTO THE SOIL EXCEPT WITHIN THE TPZ OF PROTECTED TREES, WHICH SHALL RECIEVE 4-6" OF HARDWOOD CHIP MULCH."

"AT THE TIME OF FINAL INSPECTION, THE PERMIT APPLICANT SHALL PROVIDE THE OWNER OF THE PROPERTY WITH A CERTIFICATE OF COMPLETION, CERTIFICATE OF INSTALLATION, IRRIGATION SCHEDULE OF NO IRRIGATION SHALL BE INSTALLED UNDER THE DRIP LINE OF OAK TRESS



5 L IRRIGATION Sprinkler Valve Detail
1" = 1'-0"

IRRIGATION LEGEND

LINE	VALVE #	SIZE	TYPE
----	1-2	1/2"	DRIP SYSTEM
MANUFACTURER			
RAINBIRD			
	PRODUCT MODEL	PRODUCT ID	
DRIP SYSTEM	STARTKITCS	A50853	
CONTROLLER	ST80-WIFI	B01LYKZOL0	
AUTOMATIC SHUT-OFF VALVE	100-ASVF		
PRESSURE REGULATOR	PRF10040SX	B003MZ1EQ0	
RAIN SENSOR	A61200		
DRIP EMITTER	SW10/10PS	21101803	



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PROJECT NAME

IRRIGATION PLAN

SHEET TITLE

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DATE: DESCRIPTION: REV #

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A8



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APN#: 072-3330-005-0000

PROJECT NAME

SECTIONS

SHEET TITLE

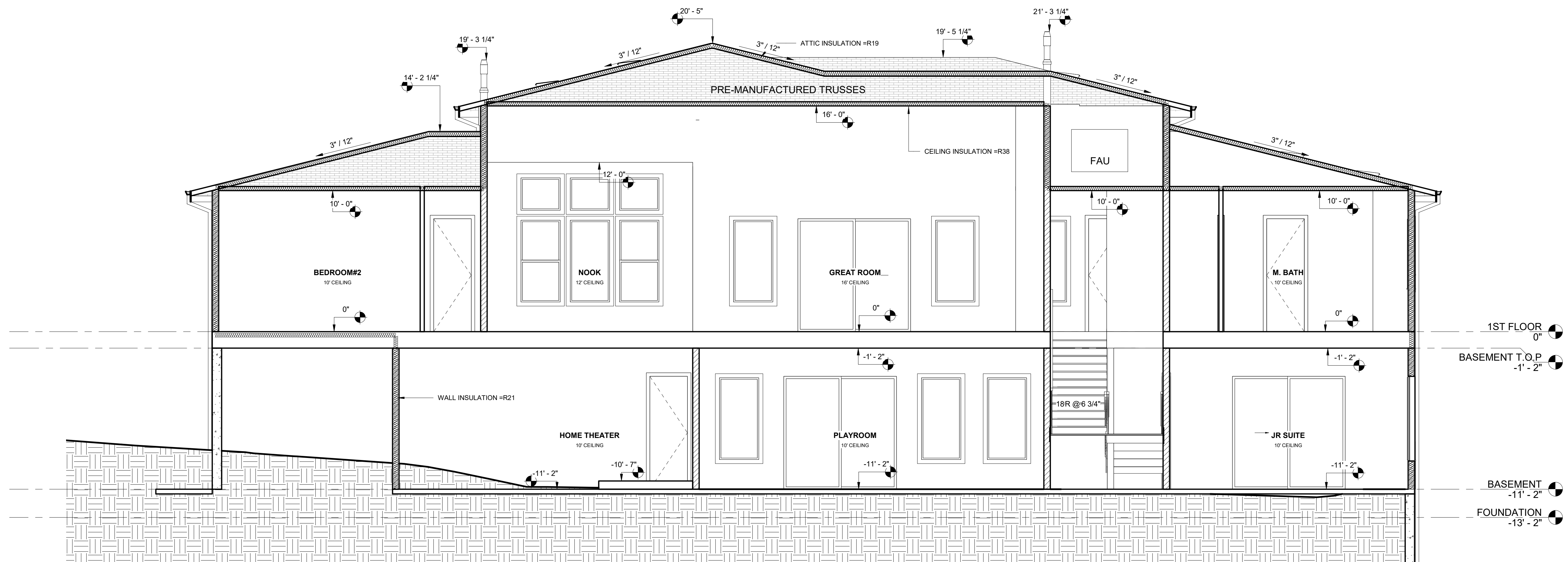
OWNER CONTACT:
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PROJECT: 1-020
DESIGNED: RM
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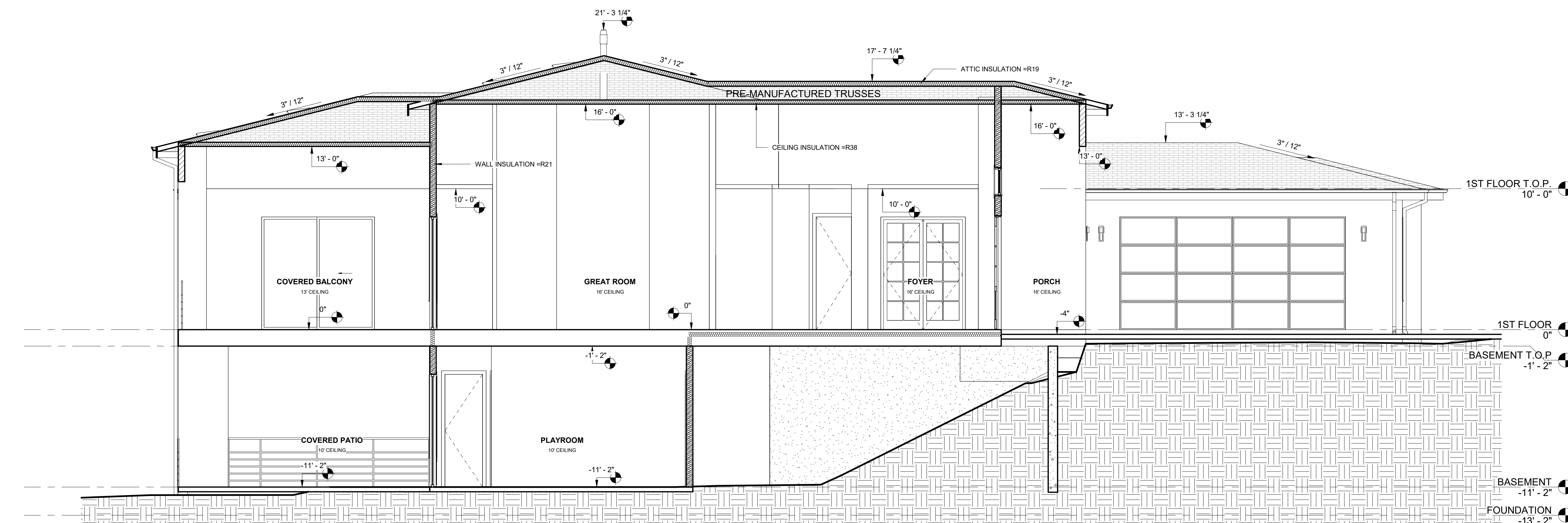
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SHEET:

A9



1 Section 3
1/4" = 1'-0"



2 Section 4
1/4" = 1'-0"



1 FRONT ELEVATION
3/8" = 1'-0"

MATERIAL & COLOR BOARD

Nº	MATERIAL	NAME	DESCRIPTION
1		ROOF FINISHES: EAGLE ROOFING	COLOR: 3697 SLATE RANGE PROFILE: CAPISTRANO
2		WALL FINISHES AND TRIM	SINGLE COAT STUCCO BY OMEGA PRODUCT 9257 ADRENALINE
3		WINDOWS	COLOR: BLACK BROWN

Nº	MATERIAL	NAME	DESCRIPTION
4		GUTTER, FASCIA BOARD, DOWNSPOUTS	COLOR: GYFORD MATTE BLACK
5		EXTERIOR LIGHT	ARTIKA BRISTOL WALL- MOUNTED SCONE
6		GARAGE DOORS	GARAGE DOOR BY CLOPAY COLOR: DARK BROWN

Nº	MATERIAL	NAME	DESCRIPTION
7		MAIN DOOR	CUSTOM DOOR



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PROJECT NAME

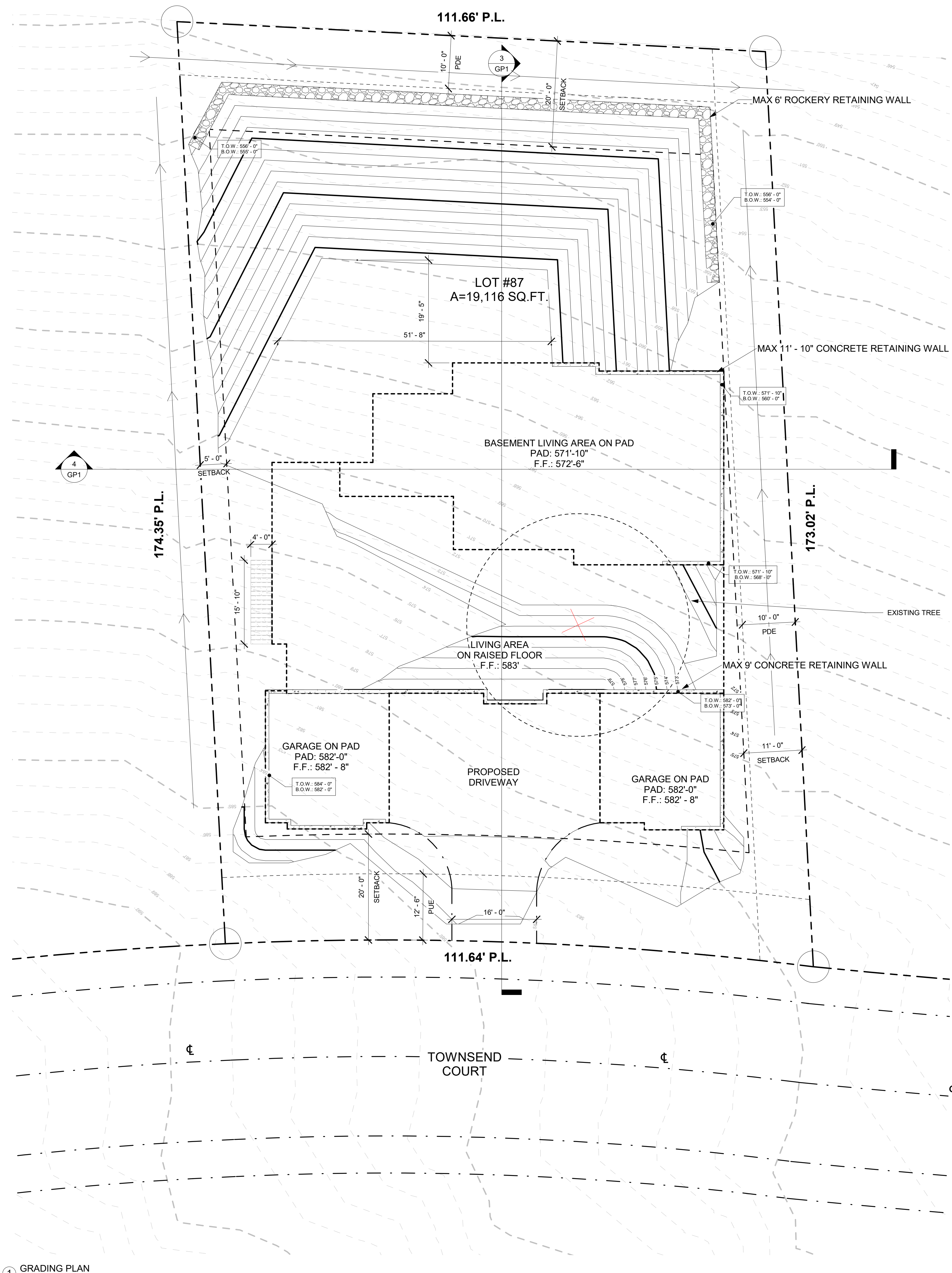
COLORBOARD

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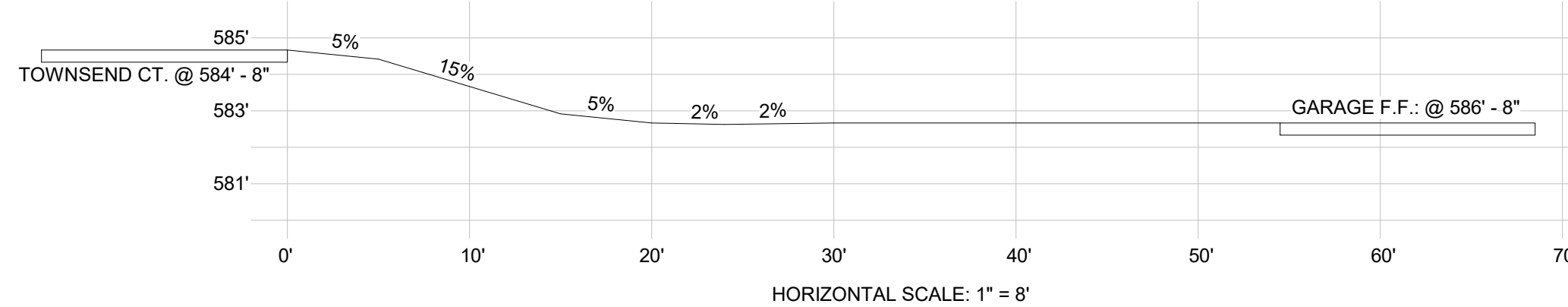
OWNER CONTACT:		
SERGEY BRODSKI (916) 307-8186 BRODSERUSA@GMAIL.COM		
PROJECT:	1-000	
DESIGNED:		
DRAWN:		
DATE:	4/20/2022 3:03:04 AM	
DATE:	DESCRIPTION:	REV #

SHEET:

A10



1 GRADING PLAN
1" = 10'-0"



2 DRIVEWAY PROFILE
1/4" = 1'-0"

683 TOWNSEND CT, FOLSOM, CA 95630 APN: 072-3330-005 GRADING PLAN

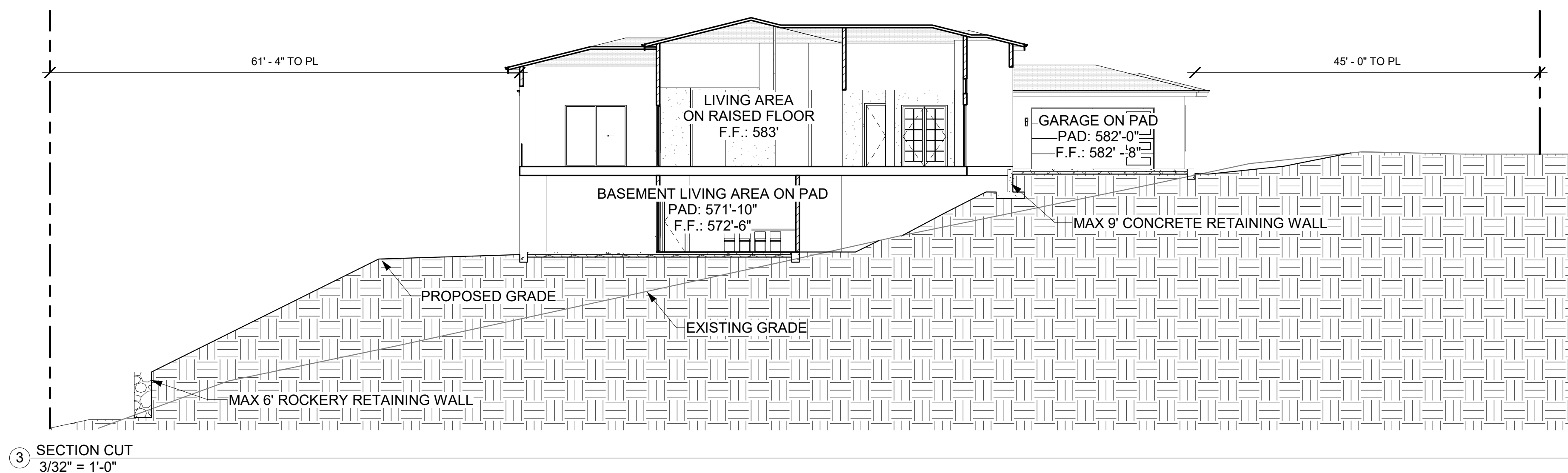
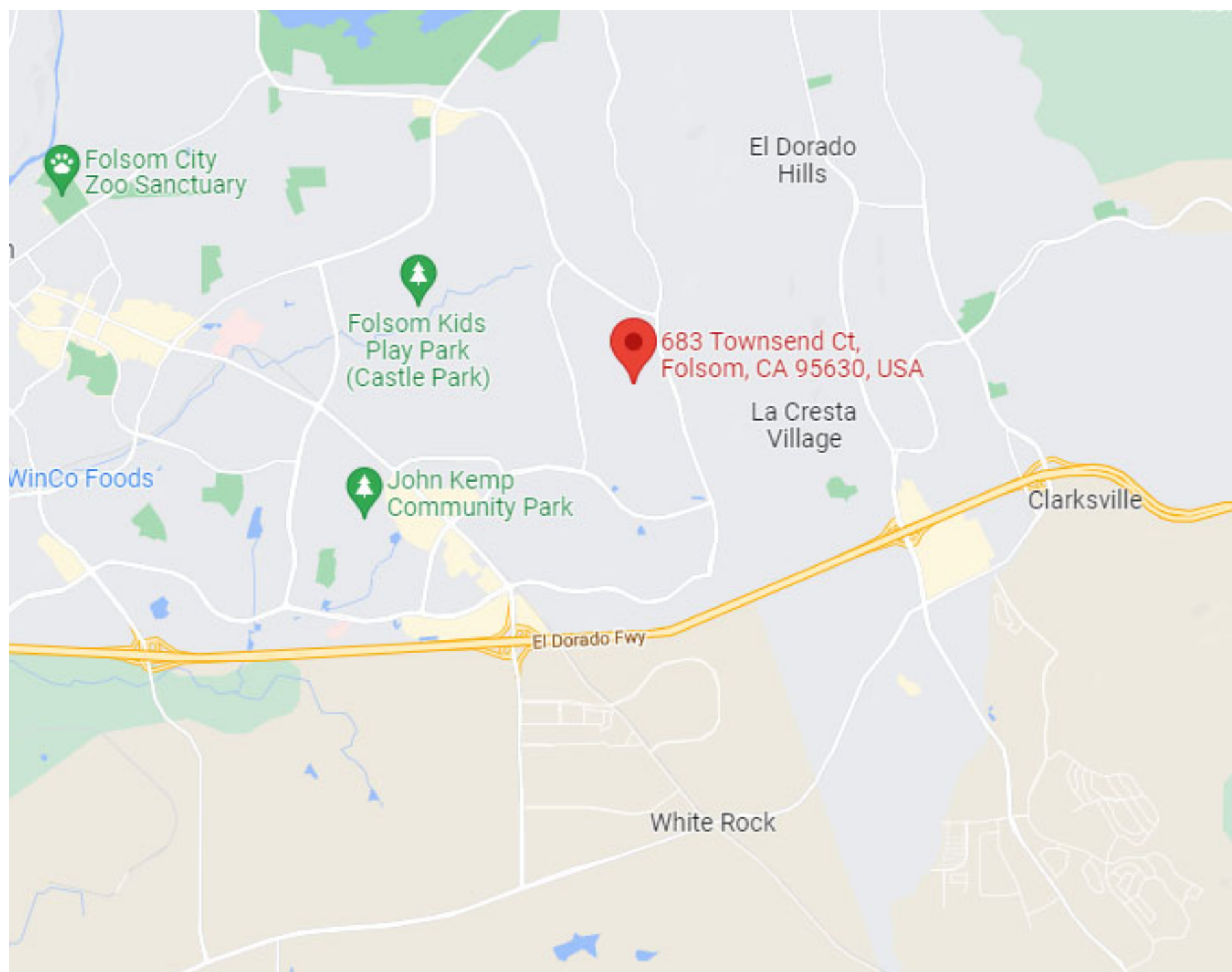
ENGINEER NOTES

ESTIMATED CUT = 45 C.Y., ESTIMATED FILL = 2073 C.Y., IMPORT = 2028 C.Y.

FOLLOWING SITE CLEARING AND STRIPPING OPERATIONS, ALL AREAS TO RECEIVE FILL SHALL BE SCARIFIED TO A MINIMUM DEPTH OF 8 INCHES, MOISTURE CONDITIONED AS NECESSARY AND COMPACTED TO AT LEAST 90% OF THE MAXIMUM DRY DENSITY BASED ON THE ASTM D1557 TEST METHOD. THE FILL SHALL BE PLACED IN LIFTS NOT EXCEEDING 6 INCHES. THE FILL SHALL BE MOISTURE CONDITIONED AS NECESSARY AND COMPACTED TO A RELATIVE COMPACTION OF NOT LESS THAN 90%. DRIVEWAYS COMPACTED TO A RELATIVE COMPACTION OF NOT LESS THAN 90%.

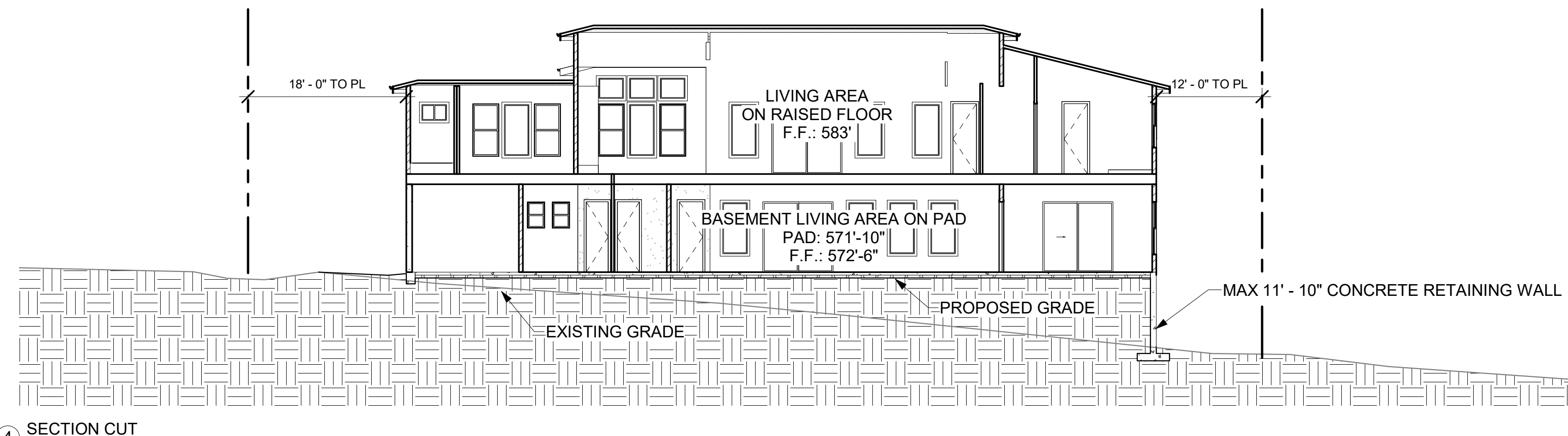
THE TYPE, LOCATIONS, SIZES AND/OR DEPTHS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THESE PLANS WERE OBTAINED FROM SOURCES OF VARYING RELIABILITY. THE CONTRACTOR IS CAUTIONED THAT ONLY ACTUAL EXCAVATION WILL REVEAL THE TYPES, EXTENT, SIZES, LOCATIONS, AND UTILITIES. HOWEVER, THE DESIGNER, CAN ASSUME NO RESPONSIBILITY FOR THE COMPLETENESS OR ACCURACY OF THE DELINEATION OF SUCH UNDERGROUND UTILITIES, NOR FOR THE EXISTENCE OF OTHER BURIED OBJECTS OR UTILITIES WHICH MAY BE ENCOUNTERED, BUT WHICH ARE NOT SHOWN ON THESE DRAWINGS.

VICINITY MAP



3 SECTION CUT
3/32" = 1'-0"

LEGEND	
— 980' —	MAJOR CONTOUR (EXISTING)
— 980' —	MINOR CONTOUR (EXISTING)
— 990' —	MAJOR CONTOUR (NEW)
— 990' —	MINOR CONTOUR (NEW)
.....	FIBER ROLL
—	TREE PROTECTION ZONE
FF	FINISHED FLOOR
RW	RETAINING WALL
—>	DRAINAGE DITCH DIRECTION
---	DOWNSPOUT DRAIN
---	SETBACK LINE
---	TREE DRIP LINE
---	TREE TO BE REMOVED
—	ROCKERY RETAINING WALL
—	CONCRETE RETAINING WALL
—	STANDARD SWALE
—	STANDARD SWALE
---	PROPERTY LINE
---	PAD LINE
---	LOT COVERAGE
---	PROPOSED DRIVEWAY
LOT SIZE	19,116 SQ.FT.
SPACE USED	6,019 SQ.FT.
LOT COVERAGE	31%



4 SECTION CUT
3/32" = 1'-0"



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PROJECT NAME

GRADING PLAN

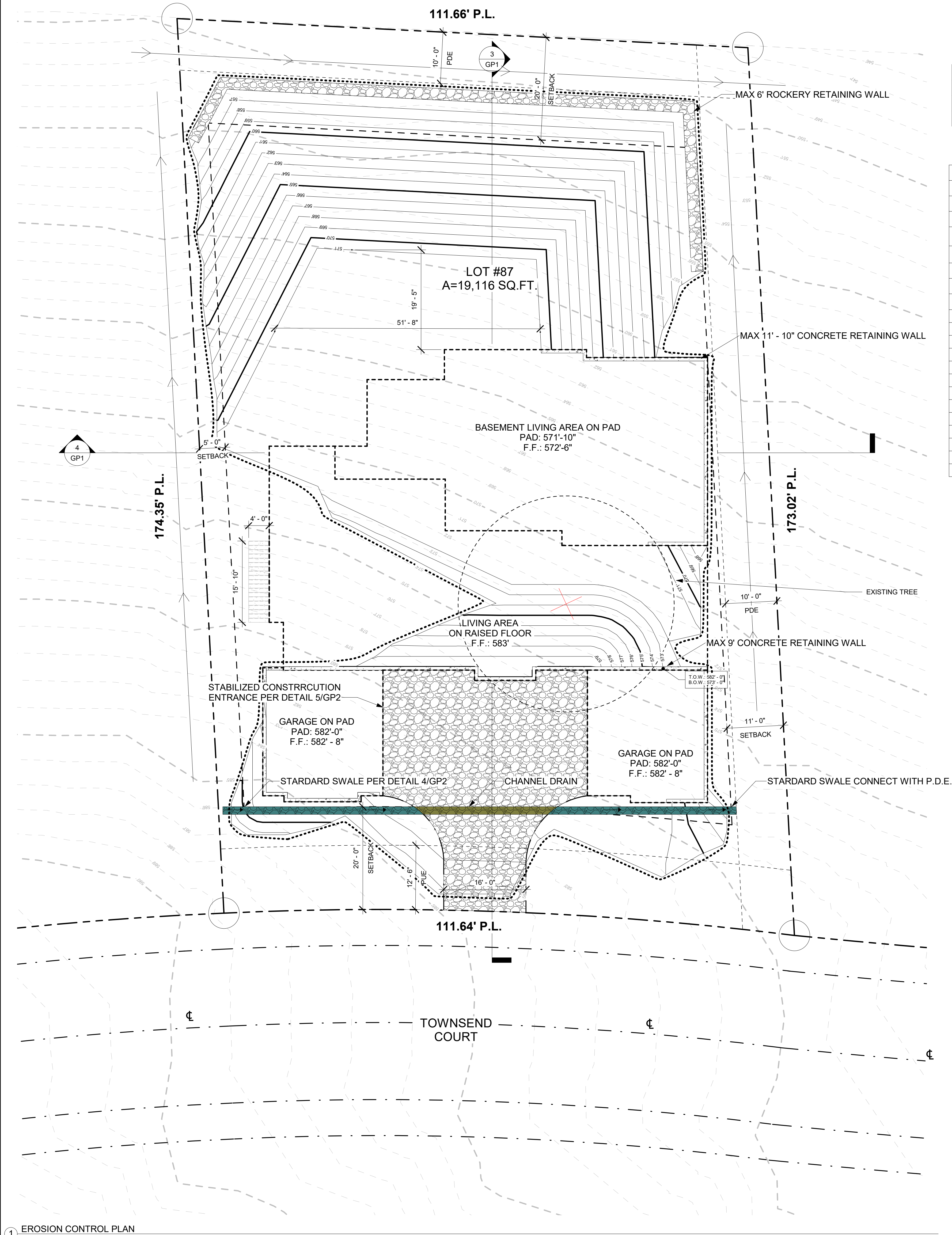
SHEET TITLE

OWNER CONTRACT:
SERGEY BRODSKI
(916) 307-8186
BRODSKUS@GMAIL.COM

PROJECT: 1-000
DESIGNED: T.Y.
DRAWN: T.Y.

DATE: 4/20/2023 10:05:21 AM

DATE: DESCRIPTION: REV #

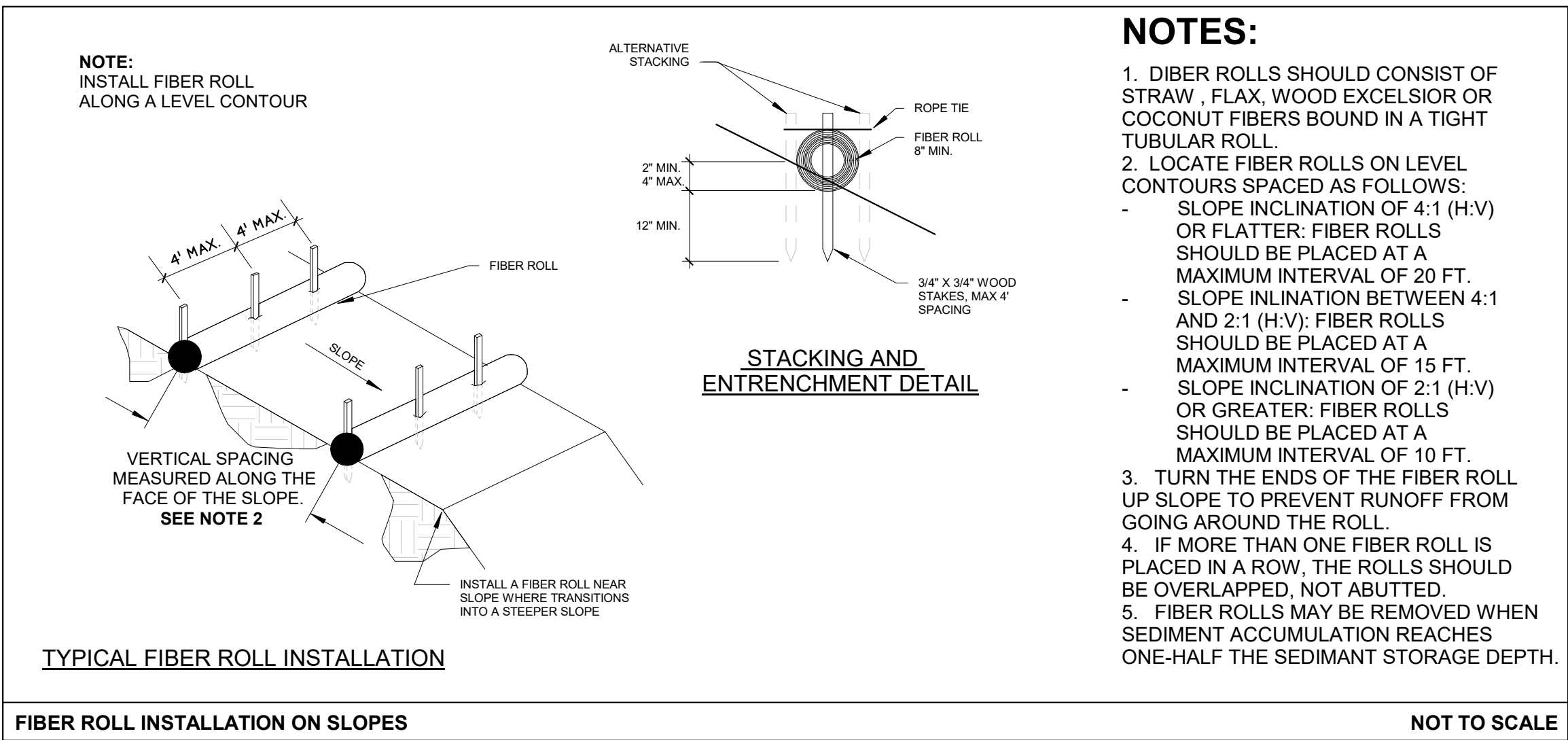
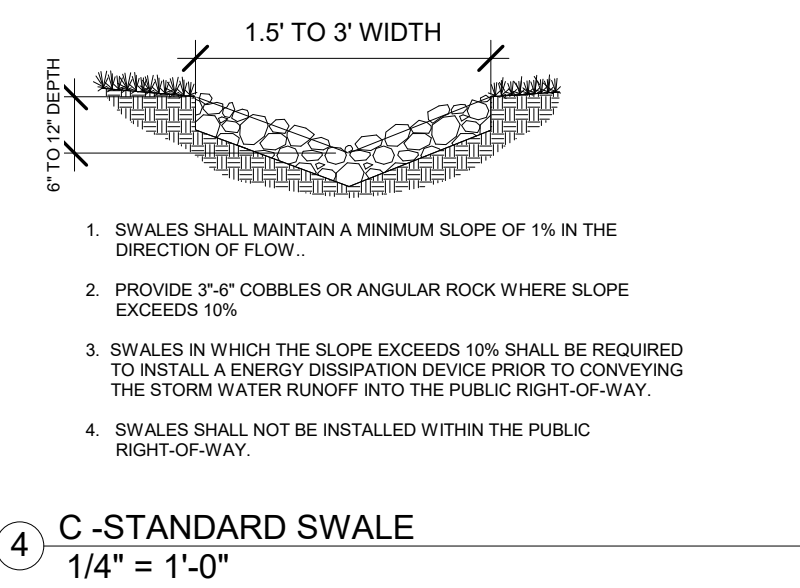
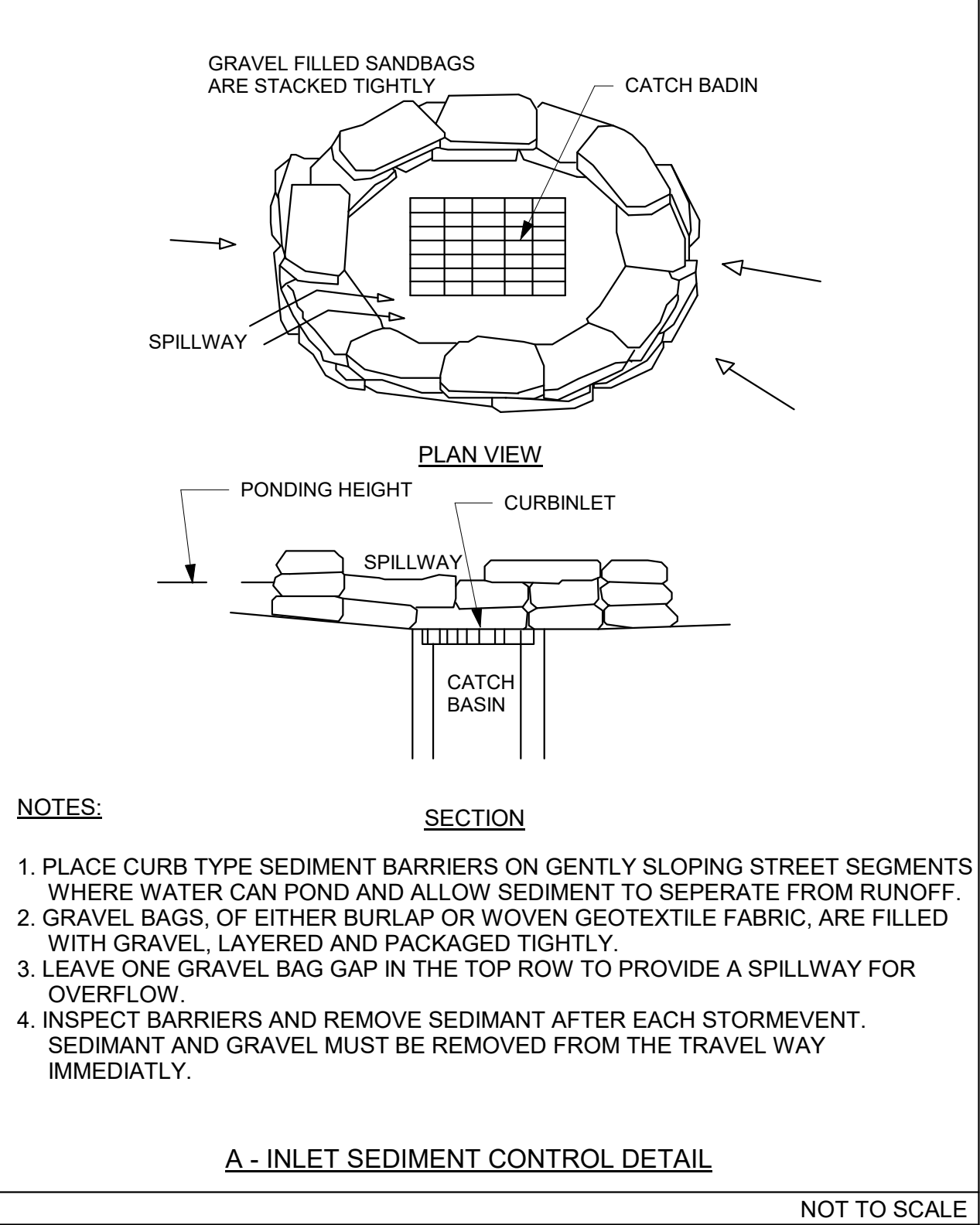
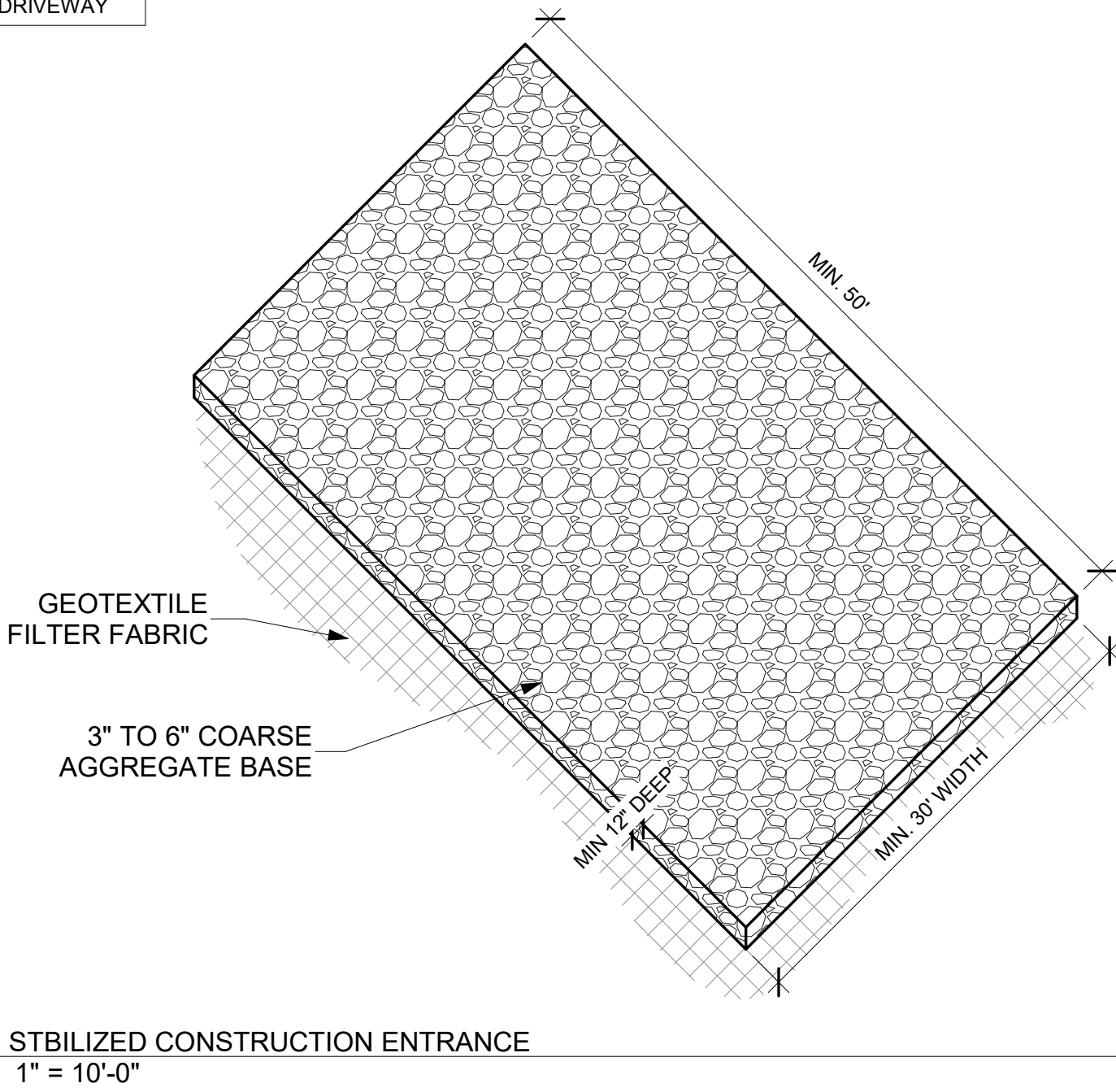


LOT COVERAGE	
LOT SIZE	19,116 SQ.FT.
SPACE USED	6,019 SQ.FT.
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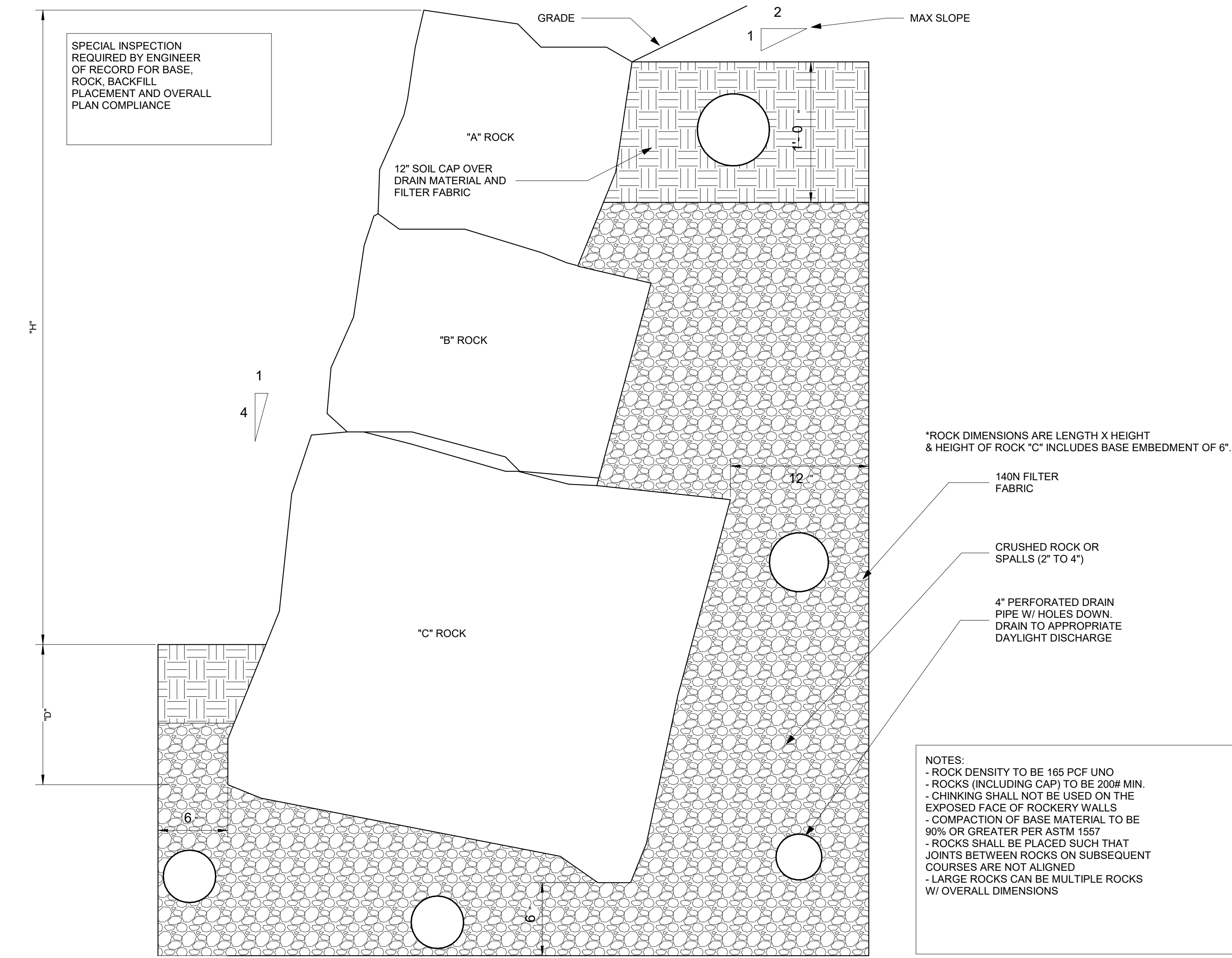
LEGEND	
—980'—	MAJOR CONTOUR (EXISTING)
—990'—	MINOR CONTOUR (EXISTING)
—990'—	MAJOR CONTOUR (NEW)
—990'—	MINOR CONTOUR (NEW)
————	FIBER ROLL
————	TREE PROTECTION ZONE
FF	FINISHED FLOOR
RW	RETAINING WALL
▶	DRAINAGE DITCH DIRECTION
---	DOWNSPOUT DRAIN
---	SETBACK LINE
---	TREE DRIP LINE
---	TREE TO BE REMOVED
---	ROCKERY RETAINING WALL
---	CONCRETE RETAINING WALL
---	STANDARD SWALE
---	STANDARD SWALE
---	PROPERTY LINE
---	PAD LINE
---	P.D.E.
---	PROPOSED DRIVEWAY

- NOTES:**
1. EROSION CONTROL BMP'S SHALL BE IN PLACE PRIOR TO ANY STORM EVENTS.
 2. BMP'S SHALL BE PROJECT SPECIFIC AND ARE NOT LIMITED TO THE MINIMUM REQUIREMENTS SHOWN IN THE ABOVE TABLE. THE ABOVE BMP'S SHOULD BE INSPECTED WEEKLY, BEFORE AND AFTER SIGNIFICANT RAINFALL. VEGETATION MULCHES ARE NOT INTENDED TO BE PERMANENT AND ONCE PLANT GROWTH IS STABLE, IT DOES NOT HAVE TO BE MAINTAINED.
1-PERIMETER PROTECTION
2-IN CONJUNCTION WITH SECONDARY MEASURE AFTER SEPTEMBER 15TH

HYDROSEED MIX			
COMMON NAME (BOTANICAL NAME)	% PURITY	% GERMINATION	SEEDING RATE PER ACRE
BERMUDA GRASS (CYNODON DACTYLON)	95%	85%	10 POUNDS
BLAND BROME (BROMUS MOLLIS)	95%	85%	15 POUNDS
ZARRO FESCUE (VULPIA MYUROS)	90%	80%	10 POUNDS
CALIFORNIA BROME (BROMUS CARNARIUS SSP CALIFORNIENSIS NATIVE)	95%	85%	5 POUNDS
MEADOW BARLEY (HORDEUM BRACHYANTHERUM)	90%	80%	8 POUNDS
CALIFORNIA POPPY (ESCHSCHOLIA CALIFORNICA)	98%	75%	5 POUNDS
ROSE CLOVER - HYKON INOCULATED SEED (TRIPLOLIUM HYRTUM)	98%	85%	7 POUNDS
TOTAL:			60 POUNDS



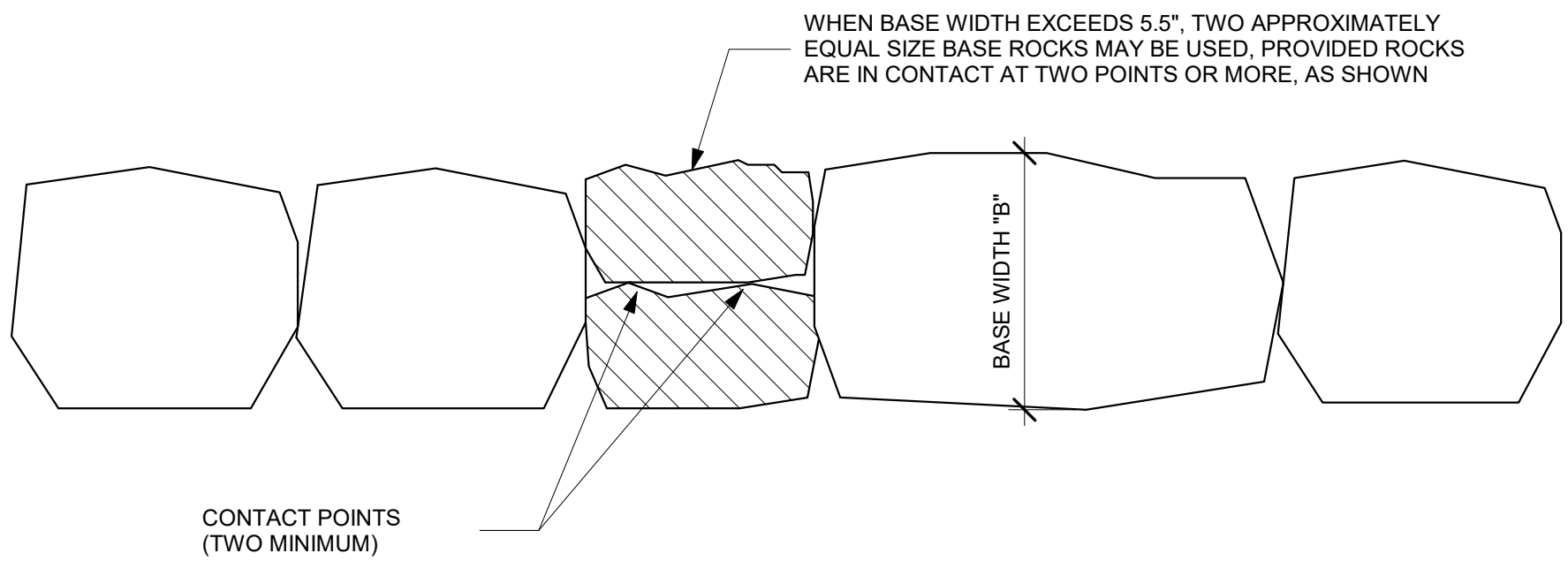
BMP SCHEDULE											
CONSTRUCTION PHASE	WET SEASON				DRY SEASON						
	HYDROSEEDING	STRAW MULCHING & TACTIFIER	PERSERVATION OF EXISTING VEGETATION	FIBER ROLLS/CONTROL	DUST CONTROL	SAND/GRAVEL BAGS BARRIERS	STORM DRAIN INLET PROTECTION	SEDIMENT TRAPS	DEWATERING	DI STENCILING	MATERIAL & WASTE DISPOSAL LOCATION
ON-SITE EARTHWORK	○		○	○	○	○	○	○			○
STORM DRAIN IMPROVEMENTS			○	○	○	○	○				○
CURB AND GUTTER PAVEOUT			○	○	○	○	○				○
POST-CONSTRUCTION	○		○								



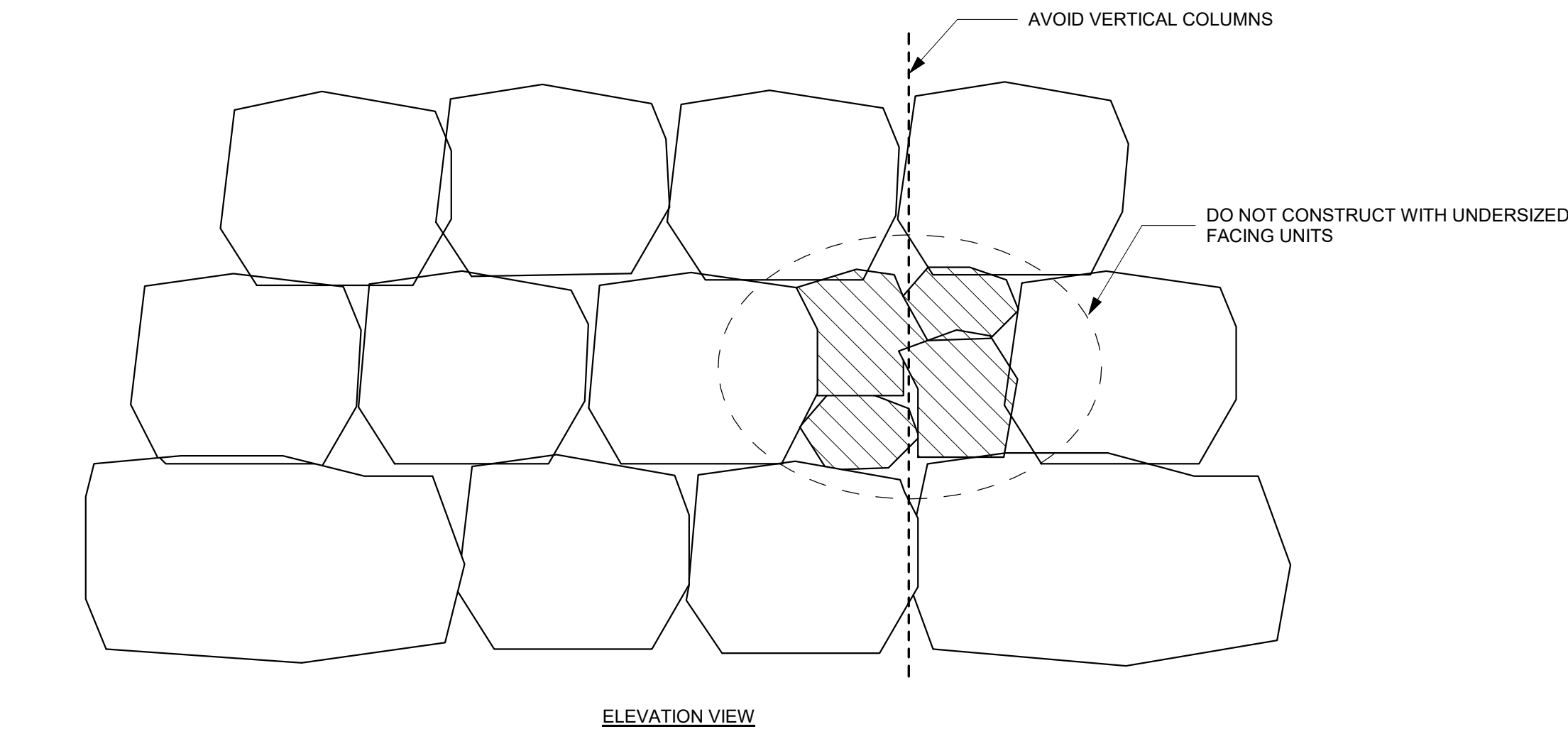
1 ROCKERY RETAINING WALL DETAIL NTS

ROCKERY WALL PLACEMENT

- Longest rock dimension should be placed perpendicular to the face of the rockery wall.
- The allowable tolerance for base rock width should be 6".
- Once required base rock widths exceed 5.5', two equally sized rocks may be used to meet or exceed the width "B". See below.



- Two or more consecutive base rock with a width less than "B" should not be consecutively placed.
- Tops of rocks to be sloped back 5% toward rear drain.
- Rocks shall be placed in an approximate "running bond" pattern to minimize vertical columns of rocks or continuous vertical joints.
- Gaps in the wall greater than 6" should be chinked (filled) with the smaller rocks. However the chinking cannot be the primary bearing support (structural).
- Rocks shall be placed to minimize undersized facing units in wall. See below.



- Face batter to be 4:1 unless noted otherwise.
- All rocks (including cap rocks) to 200# minimum.

2 TYPICAL ROCKERY WALL NTS

RW#	"H"	"D"	"X"	ROCK "A"	ROCK "B"	ROCK "C"
1	5'-6"	0'-6"	N/A	N/A	2' X 3'	2.25' X 3'
1	3'-6"	0'-6"	N/A	N/A	1.25' X 2'	1.5' X 2'
1	2'-6"	0'-6"	N/A	N/A	N/A	1.25' X 3'

DESIGN PARAMETERS:

SOIL PARAMETERS:
SOIL SITE CLASS = D
BEARING CAPACITY = 2500 PSF
COEFFICIENT OF FRICTION = 0.40
SOIL FRICTION ANGLE = 35°

ENGINEERS OBSERVATION:

VERIFICATION & INSPECTION	C	P
BASE, ROCK & BACKFILL PLACEMENT		X
C = INDICATES CONTINUOUS INSPECTION ARE REQUIRED		P = INDICATES PERIODIC INSPECTIONS ARE REQUIRED. THE NOTES AND/OR CONTRACT DOCUMENTS SHOULD CLARIFY.

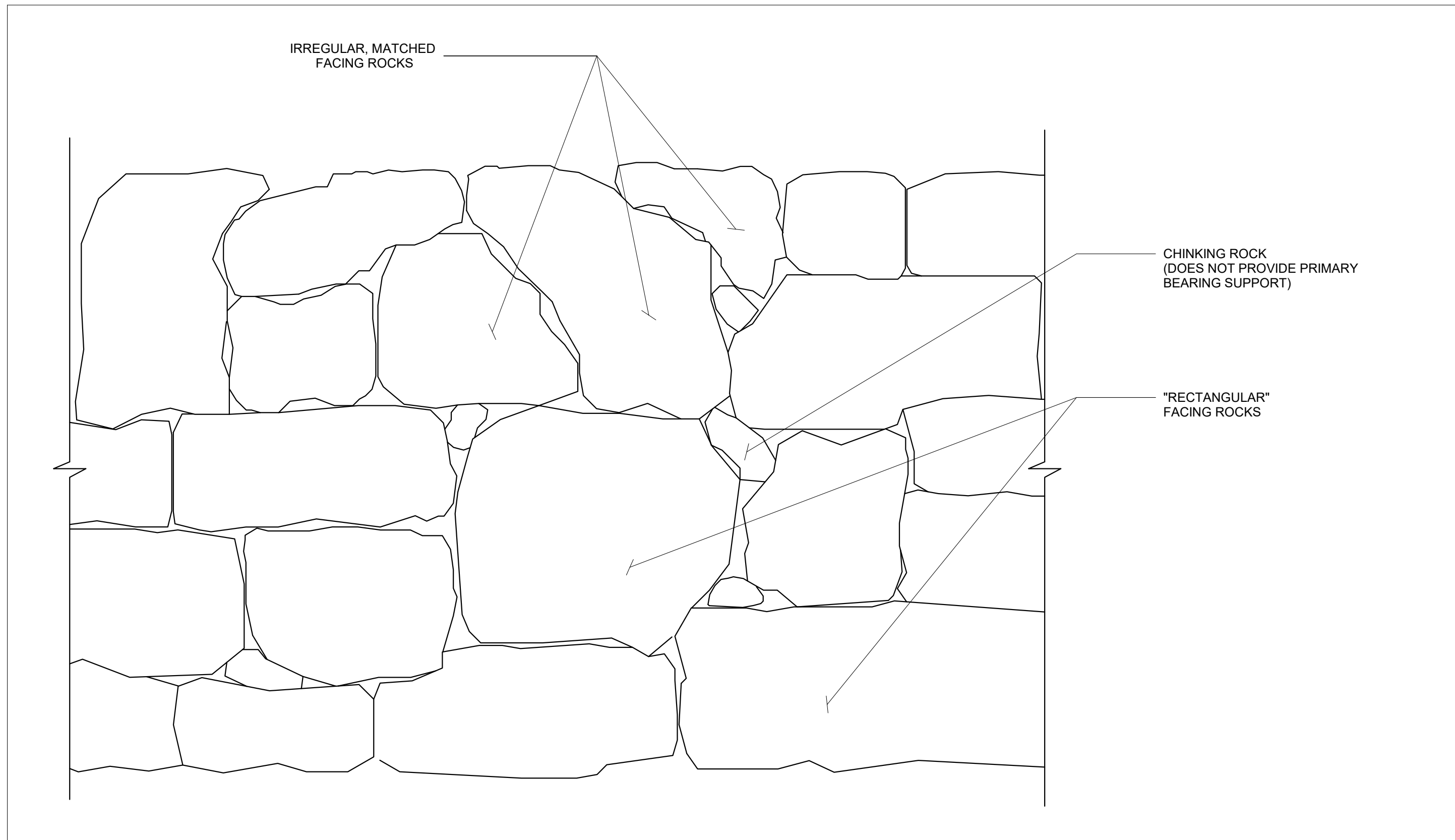
- THE CONTRACTOR IS RESPONSIBLE FOR NOTIFYING THE APPROPRIATE INSPECTION AUTHORITY 48 HOURS IN ADVANCE OF THE NEED FOR INSPECTION.
- THESE PLANS ARE DISTRIBUTED WITH THE UNDERSTANDING THAT CONVENTIONAL FRAMING IS AN INTEGRAL PART OF THE STRUCTURE AND THAT IF THE ENGINEER DOES NOT INSPECT THE CONSTRUCTION THE VALIDITY OF THESE PLANS COULD BE JEOPARDIZED.
- IT IS RECOMMENDED THAT ADDITIONAL INSPECTIONS BE REQUESTED AT REGULAR INTERVALS DURING THE COURSE OF CONSTRUCTION AS THESE REGULAR INSPECTIONS COULD REDUCE THE AMOUNT OF DEMOLITION AND REWORKING REQUIRED BY POSSIBLE MISTAKES, OMISSIONS, OR MISINTERPRETATIONS.
- THESE INSPECTIONS IN NO WAY RELIEVES THE CONTRACTOR FROM THEIR RESPONSIBILITY TO CONFORM TO THE PLANS, SPECIFICATIONS, THE CALIFORNIA BUILDING CODE, AND ANY OTHER LOCAL ORDINANCES IN EFFECT.
- ONE COPY OF ANY AND ALL INSPECTION REPORTS PREPARED BY AN INDEPENDENT TESTING LABORATORY, BUILDING DEPARTMENT, AND/OR GEOTECHNICAL ENGINEER SHALL BE SUBMITTED TO THE ENGINEER.

FOUNDATIONS NOTES:

- THE ENGINEER IS NOT RESPONSIBLE FOR THE ADEQUACY OF THE FOUNDING SOILS. THE FOUNDATION DESIGN ASSUMES AVERAGE SOIL CONDITIONS WITH CLASS 5 MATERIAL PER 2016 CBC TABLE 1804.2. ALL FOOTINGS SHALL BE A MINIMUM OF 12" BELOW ADJACENT GRADE. ALL FOOTINGS SHALL BEAR A MINIMUM OF 12" INTO NATIVE SOILS OR ENGINEERED FILLS. ALL LOOSE SOIL SHALL BE REMOVED FROM TRENCHES PRIOR TO PLACEMENT OF ANY ROCKS. NO MECHANICAL PLACEMENT OF SOILS IN AREAS TO SUPPORT NEW FOUNDATION IS ALLOWED WITHOUT WRITTEN APPROVAL FROM THE ENGINEER.
- THE CONTRACTOR SHALL NOTIFY THE ENGINEER AT LEAST 48 HOURS PRIOR TO PLACING CONCRETE WHEN STRUCTURAL OBSERVATION IS REQUIRED.
- FINISH GRADES ADJACENT TO ALL FOUNDATIONS SHALL BE SLOPED AWAY FROM STRUCTURE AT 1/4" PER FOOT FOR 5' FEET MINIMUM.

ABBREVIATIONS:

AB	ANCHOR BOLT
BTWN	BETWEEN
CON	CONSTRUCTION JOINT
CLR	CLEAR
CONC	CONCRETE
CONTIN	CONTINUOUS
CP	COMPLETE PENETRATION
CSK	COUNTERSINK
CTJ	CONTROL JOINT
DF	DOUGLAS FIR
DL	DEAD LOAD
DTTO	DITTO
(E)	EXISTING
EJ	EXPANSION JOINT
EN	EDGE NAILING
FB	FACE OF BLOCK
FC	FACE OF CONCRETE
FF	FINISH FLOOR
FLR	FLOOR
FS	FACE OF STUD
FTG	FOOTING
GA	GAUGE
GLB	GLUED-LAMINATED BEAM
HDR	HEADER
HSB	HIGH STRENGTH BOLT (A-325)
JH	JOIST HANGER (SIMPSON)
LL	LIVE LOAD
LS	LAG SCREW
LT WT	LIGHT WEIGHT
LVL	LAMINATED VENEER LUMBER
MFR	MANUFACTURER
ML	MALLEABLE IRON
(N)	NEW
NTS	NOT TO SCALE
OC	ON CENTER
OH	OPPOSITE HAND
PC	PIECE
PP	PARTIAL PENETRATION
PTDF	PRESSURE TREATED DOUGLAS FIR
RDWD	REDWOOD
SC	SHEAR CONNECTOR
SDSTS	SELF DRILLING, SELF TAPPING SCREW
SPEN	STRUCTURAL PLYWOOD EDGE NAILING
SPS	STRUCTURAL PLYWOOD SHEATHING
STPNR	STIFFENER
STGRD	STAGGERED
STN	SHEAR TRANSFER NAILING
T & B	TOP & BOTTOM
T & G	TONGUE & GROOVE
TN	TOE NAIL
TOP	TOP OF FRAMING
TOS	TOP OF STEEL
UNO	UNLESS NOTED OTHERWISE
WDS	WOOD SCREW
W/O	WITHOUT
WP	WORK POINT
WNF	WELDED WIRE FABRIC
CL	CENTERLINE
PL	PLATE
#	NUMBER OR POUNDS



3 TYPICAL ROCKERY WALL 2 NTS



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PROJECT NAME

ROCKERY RETAINING WALL

SHEET TITLE

OWNER CONTRACT:
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(916) 307-8186
BRODSERUSA@GMAIL.COM

PROJECT: 1-000
DESIGNED: NY
DRAWN: NY
DATE: 4/9/2022 10:05:29 AM

DATE	DESCRIPTION	REV #

SHEET:

RRW