



CITY OF
FOLSOM
DISTINCTIVE BY NATURE

HISTORIC DISTRICT COMMISSION AGENDA
July 20, 2022
5:00 p.m.
50 Natoma Street
Folsom, California 95630

Effective July 7, 2022, the City of Folsom is returning to all in-person City Council, Commission, and Committee meetings. Remote participation for the public will no longer be offered. Everyone is invited and encouraged to attend and participate in City meetings in person.

CALL TO ORDER HISTORIC DISTRICT COMMISSION: Daniel West, John Lane, Mickey Ankhelyi, Justin Raiethel, John Felts, Mark Dascallos, Kathy Cole

Any documents produced by the City and distributed to the Historic District Commission regarding any item on this agenda will be made available at the Community Development Counter at City Hall located at 50 Natoma Street, Folsom, California and at the table to the left as you enter the Council Chambers.

PLEDGE OF ALLEGIANCE

CITIZEN COMMUNICATION: The Historic District Commission welcomes and encourages participation in City Historic District Commission meetings, and will allow up to five minutes for expression on a non-agenda item. Matters under the jurisdiction of the Commission, and not on the posted agenda, may be addressed by the general public; however, California law prohibits the Commission from taking action on any matter which is not on the posted agenda unless it is determined to be an emergency by the Commission.

MINUTES

The minutes of the June 15, 2022 meeting will be presented for approval.
The minutes of the June 22, 2022 Special Meeting will be presented for approval.

NEW BUSINESS

1. PN21-042, Folsom State Prison Nomination for Cultural Resource Listing and Determination that the Project is Exempt from CEQA

A Public Hearing to consider a request from Karen Pardieck for the listing of the Folsom State Prison on the Cultural Resource Inventory of locally significant historical properties. The prison property is associated with early efforts to regulate water and develop hydroelectric power in the Western United States and has historic remains of the Natomas Water and Mining Company's granite quarry. The zoning classification for the site is OSC, while the General Plan land-use designation is PQP. The Historic District Commission will take final action unless the decision is appealed to the City Council. The project is exempt from the provisions of the California Environmental Quality Act pursuant to California Code of Regulation Title 14, Section 15061 (Review of Exemption), as it can be said with certainty that the project will not have a significant effect on the environment. **(Project Planner: Brianna Gustafson/Applicant: Karen Pardieck)**

2. DRCL 22-00098, 708 Orange Grove Way Addition Design Review and Determination that the Project is Exempt from CEQA

A Public Meeting to consider a request from West Coast Builders for approval of a Design Review application for a 596-square-foot addition to an existing single-family residence located at 708 Orange Grove Way. The zoning classification for the site is CEN/R-1-M, while the General Plan land-use designation is SFHD. This project is exempt from the California Environmental Quality Act in accordance with Section 15301 (Existing Facilities) of the CEQA Guidelines. **(Project Planner: Josh Kinkade/Applicant: West Coast Builders)**

3. DRCL22-00146, 402 Sutter Street Addition Design Review and Determination that the Project is Exempt from CEQA

A Public Meeting to consider a request from Kale Elledge for approval of a Design Review application for converting 469 square feet of a basement and 160 square feet of an existing covered porch into habitable space on an existing 1,905-square-foot residence located at 402 Sutter Street. The proposed project was previously approved by the Historic District Commission on February 3, 2021 (PN20-266) but the approval expired. The zoning classification for the site is R-1-M/FIG, while the General Plan land-use designation is SFHD. The project is exempt from the California Environmental Quality Act in accordance with Section 15301 of the CEQA Guidelines. **(Project Planner: Brianna Gustafson/Applicant: Kale Elledge)**

HISTORIC DISTRICT COMMISSION / PRINCIPAL PLANNER REPORT

The next regularly scheduled meeting is **August 3, 2022**. Additional non-public hearing items may be added to the agenda; any such additions will be posted on the bulletin board in the foyer at City Hall at least 72 hours prior to the meeting. Persons having questions on any of these items can visit the Community Development Department during normal business hours (8:00 a.m. to 5:00 p.m.) at City Hall, 2nd Floor, 50 Natoma Street, Folsom, California, prior to the meeting. The phone number is (916) 461-6200 and fax number is (916) 355-7274.

In compliance with the Americans with Disabilities Act, if you are a disabled person and you need a disability-related modification or accommodation to participate in the meeting, please contact the Community Development Department at (916) 461-6203, (916) 355-7274 (fax) or ksanabria@folsom.ca.us. Requests must be made as early as possible and at least two-full business days before the start of the meeting.

NOTICE REGARDING CHALLENGES TO DECISIONS

The appeal period for Historic District Commission Action: Pursuant to all applicable laws and regulations, including without limitation, California Government Code, Section 65009 and/or California Public Resources Code, Section 21177, if you wish to challenge in court any of the above decisions (regarding planning, zoning, and/or environmental decisions), you may be limited to raising only those issues you or someone else raised at the public hearing(s) described in this notice/agenda, or in written correspondence delivered to the City at, or prior to, this public hearing. Any appeal of a Historic District Commission action must be filed, in writing with the City Clerk's Office no later than ten (10) days from the date of the action pursuant to Resolution No. 8081.



CITY OF
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HISTORIC DISTRICT COMMISSION MINUTES
June 15, 2022
5:00 p.m.
50 Natoma Street
Folsom, California 95630

CALL TO ORDER HISTORIC DISTRICT COMMISSION: John Lane, Mickey Ankhelyi, Justin Raitchel, John Felts, Mark Dascallos, Daniel West, Kathy Cole

ABSENT: John Felts

PLEDGE OF ALLEGIANCE

CITIZEN COMMUNICATION: NONE

MINUTES: The minutes of the May 18, 2022 meeting will be presented at the June 22, 2022 Special Meeting.

NEW BUSINESS

1. PN 22-052, 505 Coloma Street Accessory Structure Design Review and Determination that the Project is Exempt from CEQA

A Public Meeting to consider a request from Robert Coyle for approval of a Design Review application for a 740-square-foot, two-story garage/office structure located at 505 Coloma Street. The zoning classification for the site is CEN/R-2, while the General Plan land-use designation is CC. This project is exempt from the California Environmental Quality Act in accordance with Section 15303 (New Construction or Conversion of Small Structures) of the CEQA Guidelines. **(Project Planner: Josh Kinkade/Applicant: Robert Coyle)**

COMMISSIONER RAITHEL MOVED TO CONTINUE THE APPLICATION (PN 22-052) FOR DESIGN REVIEW FOR A 740-SQUARE-FOOT, TWO-STORY GARAGE/OFFICE STRUCTURE LOCATED AT 505 COLOMA STREET, AS ILLUSTRATED ON ATTACHMENT 5 FOR THE 505 COLOMA STREET ACCESSORY STRUCTURE PROJECT, BASED ON THE FINDINGS INCLUDED IN THIS REPORT (FINDINGS A-H) AND SUBJECT TO THE ATTACHED CONDITIONS OF APPROVAL (CONDITIONS 1-11).

COMMISSIONER LANE SECONDED THE MOTION.

AYES: WEST, LANE, ANKHELYI, RAITHEL, DASCALLOS, COLE
NOES: NONE
RECUSED: NONE
ABSENT: FELTS

MOTION PASSED.

OLD BUSINESS

2. PN 19-051, Zoning Code Update - Home Occupations Ordinance Revisions and Determination that the Project is Exempt from CEQA

City staff has prepared an update to the City's Home Occupations Ordinance (Chapter 17.61 of the Folsom Municipal Code (FMC), which regulates home-based businesses. Based on direction from the City Council, staff presented the draft ordinance to the Historic District Commission in order to receive input on issues unique to the Historic District that could affect the ordinance. On May 18, 2022, the Historic District Commission held a public hearing on the update and after conclusion of the public hearing the Commission continued consideration of the update until its June 15, 2022 meeting. Staff recommends that the Commission review the ordinance and approve a recommendation to City Council supporting the repeal and replacement of Chapter 17.61 of the FMC along with any changes proposed by the Commission. Under Section 15061(b)(3) of the California Public Resources Code, this activity will not have a significant effect on the environment and as such the project is exempt from environmental review under CEQA.

1. Beth Kelly addressed the Historic District Commission, stating that issues related the Folsom Municipal Code 17.52.

COMMISSIONER RAITHEL MOVED TO CONTINUE THE DISCUSSION ON THE REPEAL AND REPLACEMENT OF CHAPTER 17.61 OF THE FMC WITH THE NEW HOME OCCUPATIONS ORDINANCE ALONG WITH ANY CHANGES PROPOSED BY THE COMMISSION

COMMISSIONER LANE SECONDED THE MOTION.

AYES: WEST, LANE, ANKHELYI, RAITHEL, DASCALLOS, COLE

NOES: NONE

RECUSED: NONE

ABSENT: FELTS

MOTION PASSED.

PRINCIPAL PLANNER REPORT

The next Historic District Commission meeting is tentatively scheduled for June 22, 2022.

RESPECTFULLY SUBMITTED,

Karen Sanabria, ADMINISTRATIVE ASSISTANT

APPROVED:

Kathy Cole, CHAIR



CITY OF
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DISTINCTIVE BY NATURE

**SPECIAL MEETING
HISTORIC DISTRICT COMMISSION MINUTES
June 22, 2022
5:00 p.m.
50 Natoma Street
Folsom, California 95630**

CALL TO ORDER HISTORIC DISTRICT COMMISSION: John Lane, Mickey Ankhelyi, Justin Raithel, John Felts, Mark Dascallos, Daniel West, Kathy Cole

ABSENT: Mickey Ankhelyi, Justin Raithel, John Felts

PLEDGE OF ALLEGIANCE

CITIZEN COMMUNICATION: NONE

MINUTES: The minutes of the May 18, 2022 meeting were approved.

NEW BUSINESS

1. PN 22-052, 505 Coloma Street Accessory Structure Design Review and Determination that the Project is Exempt from CEQA

A Public Meeting to consider a request from Robert Coyle for approval of a Design Review application for a 740-square-foot, two-story garage/office structure located at 505 Coloma Street. The zoning classification for the site is CEN/R-2, while the General Plan land-use designation is CC. This project is exempt from the California Environmental Quality Act in accordance with Section 15303 (New Construction or Conversion of Small Structures) of the CEQA Guidelines. **(Project Planner: Josh Kinkade/Applicant: Robert Coyle)**

COMMISSIONER WEST MOVED TO APPROVE THE APPLICATION (PN 22-052) FOR DESIGN REVIEW FOR A 740-SQUARE-FOOT, TWO-STORY GARAGE/OFFICE STRUCTURE LOCATED AT 505 COLOMA STREET, AS ILLUSTRATED ON ATTACHMENT 5 FOR THE 505 COLOMA STREET ACCESSORY STRUCTURE PROJECT, BASED ON THE FINDINGS INCLUDED IN THIS REPORT (FINDINGS A-H) AND SUBJECT TO THE ATTACHED CONDITIONS OF APPROVAL (CONDITIONS 1-11).

COMMISSIONER LANE SECONDED THE MOTION.

AYES: WEST, LANE, DASCALLOS, COLE

NOES: NONE

RECUSED: NONE

ABSENT: ANKHELYI, RAITHEL, FELTS

MOTION PASSED.

PRINCIPAL PLANNER REPORT

The next Historic District Commission meeting for **July 6, 2022** has been canceled for lack of quorum. The next tentatively scheduled meeting is **July 20, 2022**.

RESPECTFULLY SUBMITTED,

Karen Sanabria, ADMINISTRATIVE ASSISTANT

APPROVED:

Kathy Cole, CHAIR



CITY OF
FOLSOM
DISTINCTIVE BY NATURE

AGENDA ITEM NO. 1
Type: Public Hearing
Date: July 20, 2022

Historic District Commission Staff Report

50 Natoma Street, Council Chambers
Folsom, CA 95630

Project: Nomination for Listing of the Folsom State Prison on the City of Folsom Cultural Resources Inventory
File #: PN-21-042
Request: Nomination for Listing on the City of Folsom Cultural Resources Inventory
Location: 300 Prison Road, Represa, CA 95671
Staff Contact: Brianna Gustafson, Associate Planner, 916-461-6238
bgustafson@folsom.ca.us

Applicant

Name: Karen Pardieck
Address: 457 Clearstone Place
Folsom, CA 95630

Recommendation: Conduct a public hearing and upon conclusion approve the nomination of listing the Folsom State Prison on the City of Folsom Cultural Resources Inventory list, project (PN 21-042), based on the findings (Findings A-F) attached to this report.

Project Summary: The Community Development Department has received a nomination package for the listing of the Folsom State Prison located at 300 Prison Road, Represa, CA 95671, as a locally significant historical site. The submitted registration form was prepared by applicant, Karen Pardieck. Historic information regarding the prison and the land was obtained from the applicant.

Table of Contents:

- 1 - Description/Analysis
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- 3 - Cultural Resources Registration Card
- 4 - Statement of Significance
- 5 - Letter to Property Owner
- 6 - Letter Received from Property Owner
- 7 - Historic Preservation Plan



CITY OF
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AGENDA ITEM NO. 1
Type: Public Hearing
Date: July 20, 2022

Submitted,

PAM JOHNS
Community Development Director

ATTACHMENT 1 DESCRIPTION/ANALYSIS

APPLICANT'S PROPOSAL

The applicant, Karen Pardieck, is requesting nomination of listing the Folsom State Prison on the City of Folsom Cultural Resources Inventory list. Currently, the Folsom State Prison Quarry, Folsom Prison Canal, and the main gates are on the City of Folsom Preliminary Cultural Resources Inventory List.

POLICY/RULE

On November 5, 1998, the Folsom City Council approved the 'Historic Preservation Master Plan.' This document established goals and objectives for historic preservation within the City of Folsom, identified a process for the listing of locally significant historic sites and structures, and authorized the Historic District Commission to determine the eligibility of sites nominated for listing. As a part of the approved master plan, 73 locally significant historic sites were listed and identified on a map. The master plan also specified that properties that have been determined eligible for the National Register of Historic Places, or the California Register of Historical Resources are automatically eligible for local listing.

ANALYSIS

Criteria for Listing

For the purposes of listing, a "cultural resource" includes, but is not limited to, any object, building, structure, site, area or place which is historically or archaeologically significant, or is significant in the architectural engineering, scientific, economic, agricultural, education, social, political, military or cultural annals of Folsom.

The Historic Preservation Master Plan (Attachment 7 in this report) includes the following criteria for listing a resource in the City's Cultural Resources Inventory, and in order to qualify, must meet one of the following:

- 1) Property is associated with events that have made a significant contribution to the broad patterns of our history;
- 2) Property is associated with the lives of persons significant in our past;
- 3) Property embodies distinctive characteristics of a type, period, region, or construction method, or represent the work of a creative individual; or
- 4) Property has yielded, or is likely to yield, information important in Folsom's prehistory or history.

According to the applicant based on their research, the subject property is associated with the early efforts to regulate water and develop hydroelectric power in the Western United States. In June of 1868, Folsom was chosen for the prison location because of the proximity of the stone quarries that would be used to construct the prison. This provided an economic opportunity for the Prison to become self-sustaining using the labor of the prisoners. The prisoners from Folsom State Prison constructed the first dam and canal on the American River, which led to the first hydroelectric power generation for the Sacramento River. This development fulfills the first qualifier for being on the City's Cultural Resources Inventory List.

The prison contains blocks of hand-cut, blue granite for the walls around the complex. This building material was quarried on the prison property by the inmates. There were no walls around the Folsom Prison for the first four decades of the prison's operation. Construction of the granite walls began in 1909 and was completed in 1923. The distinctive hand-cut blue granite blocks show a distinctive construction method that is unique to Folsom's history, which fulfills both the third and fourth qualifiers for the City's Cultural Resources Inventory List. This is further detailed in Attachment 4 of this report.

Furthermore, portions of the prison are in the State Office of Historic Preservations' inventory list. These are non-archaeological resources and are on the Built Environment Resources Directory (BERD). The BERD contains information for cultural resources that have been processed through the Office of Historic Preservation. This includes resources reviewed for eligibility to the National Register of Historic Places and the California Historical Landmarks programs through federal and state environmental compliance laws, and resources nominated under federal and state registration programs. Per the Historic Preservation Master Plan, resources are automatically eligible to be listed on Folsom Cultural Resources Inventory list if they are determined eligible for the National Register of Historic Places, the California Register of Historical Resources, and California State Historical Landmarks pertaining to Folsom and its historical sphere of influence.

A letter from City staff was sent to the Folsom State Prison Warden, Mr. Rick Hill, dated March 22, 2021 (Attachment 5). The letter served as notification to the California Department of Corrections and Rehabilitation (CDCR) that the Folsom State Prison had been nominated for the listing within the City's Cultural Resource Inventory as a locally significant historical resource. The CDCR responded with a letter on June 13, 2022 and did not object to the nomination and stated that it appreciates the consideration, as it too recognizes the historical significance of Folsom State Prison. The received letter is listed as Attachment 6 to this report.

ENVIRONMENTAL REVIEW

The project is exempt from environmental review under Section 15061(b)(3) of the CEQA Guidelines (Review for Exemption), as it can be said with certainty that the project will not have a significant impact on the environment.

RECOMMENDATION

Staff recommends the Historic District Commission approve Folsom State Prison for listing on the City of Folsom Cultural Resource Inventory based on the findings below.

HISTORIC DISTRICT COMMISSION ACTION

Move to determine the Folsom State Prison for listing on the City of Folsom Cultural Resource Inventory (PN 21-042) based on the following findings (Findings A-F).

GENERAL FINDINGS

- A. NOTICE OF HEARING HAS BEEN GIVEN AT THE TIME AND IN THE MANNER REQUIRED BY STATE LAW AND THE CITY OF FOLSOM HISTORIC PRESERVATION MASTER PLAN.
- B. THE PROJECT IS CONSISTENT WITH THE GENERAL PLAN AND THE ZONING CODE.

CEQA FINDINGS

- C. THE PROJECT IS EXEMPT FROM ENVIRONMENTAL REVIEW UNDER SECTION 15061(B)(3) OF THE CEQA GUIDELINES (REVIEW FOR EXEMPTION).

ELIGIBILITY FINDINGS

- D. THE PROPERTY IS ASSOCIATED WITH EVENTS THAT HAVE MADE A SIGNIFICANT CONTRIBUTION TO THE BROAD PATTERNS OF FOLSOM'S HISTORY.
- E. THE PROPERTY EMBODIES DISTINCTIVE CHARACTERISTICS OF A TYPE, PERIOD, REGION, OR CONSTRUCTION METHOD, OR REPRESENT THE WORK OF A CREATIVE INDIVIDUAL.
- F. THE PROPERTY HAS YIELDED, OR IS LIKELY TO YIELD, INFORMATION IMPORTANT IN FOLSOM'S PREHISTORY OR HISTORY.

ATTACHMENT 2 BACKGROUND

BACKGROUND

On November 5, 1998, the Folsom City Council approved the ‘Historic Preservation Master Plan.’ This document established goals and objectives for historic preservation within the City of Folsom, identified a process for the listing of locally significant historic sites and structures, and authorized the Historic District Commission to determine the eligibility of sites nominated for listing. As a part of the approved master plan, 73 locally significant historic sites were listed and identified on a map. The master plan also specified that properties that have been determined eligible for the National Register of Historic Places or the California Register of Historical Resources are automatically eligible for local listing.

California Legislature authorized the construction of the Folsom State Prison in 1858. Twenty years later, in 1878, construction began on one of the nation’s first maximum-security prisons. On July 26, 1880, Folsom received its first 44 inmates. The inmates were transferred by boat from San Quentin State Prison to Sacramento and then by train from Sacramento to the prison.

The Folsom State Prison’s location was selected due to an unlimited amount of native granite stone for building the prison. Furthermore, the American River offered ample water and formed a natural boundary. The granite wall that was built around the prison was completed in the 1920’s.

The Folsom State Prison is California’s second oldest prison, and today primarily houses Medium Security General Population Level II and Level III male inmates. In January 2013, the Women’s Facility was opened at the Folsom State Prison. Currently there are approximately 2,900 total inmates at the Folsom State Prison.

GENERAL PLAN DESIGNATION	PQP (Public and Quasi-Public Facility)
ZONING DESIGNATION	OSC (Open Space Conservation District)
ADJACENT LAND USES/ZONING	North: Folsom Lake and Dam South: Single-Family Residential (R-1-ML) East: Single-Family Residential (R-1-ML) and Agricultural Reserve District (A-1-A) West: American River (OSC) and Single-Family Residential (R-1-ML A) Beyond

SITE CHARACTERISTICS

The project site is developed with the Folsom State Prison.

APPLICABLE CODES

Historic Preservation Master Plan

Attachment 3

Cultural Resources Registration Card

CITY OF FOLSOM CULTURAL RESOURCES INVENTORY REGISTRATION FORM

1. NAME OF PROPERTY

Historic Name: Folsom State Prison

Other name/site number: _____

2. LOCATION

Street & Number: 300 Prison Road

Not for publication.

City/Town: Represa

Vicinity

State: California

Code: CA

County: Sacramento

Zip Code: 95671

3. CITY AGENCY CERTIFICATION

As the designated authority under the City of Folsom Master Historic Preservation Plan of 1998, as amended, I hereby certify this nomination request for determination of eligibility meets the documentation standards for registering properties in the City of Folsom Master Historic Preservation Plan and meets the procedural and professional requirements set forth in _____

In my opinion, the property meets does not meet the City of Folsom criteria. I recommend that this property be considered significant nationally statewide locally see continuation sheet for additional comments.

Signature of Certifying Official

Date

City Agency and Commission

Date

In my opinion, the property meets does not meet the City of Folsom Criteria (See continuation sheet).

Signature of Commenting or Other Official

Date

City of Folsom Agency and Commission

Date

4. CITY OF FOLSOM CERTIFICATION

I hereby certify that this property is:

- Entered in the Cultural Resources Inventory
 - See continuation sheet.
- Determined to be eligible for the Cultural Resources Inventory
- Removed from the Cultural Resources Inventory.
- Other (Explain): _____

Signature of Keeper of the Inventory

Date

5. CLASSIFICATION

Ownership of Property

(Check as many boxes that may apply)

- Private
- Public-local
- Public-State
- Public-Federal

Category of Property

Check only one box)

- Building(s)
- District
- Site
- Structure
- Object

Number of Resources w/in Property

Contributing	Noncontributing	
<u>5 Main Buildings</u>	_____	buildings
_____	_____	sites
<u>1 Perimeter Wall</u>	_____	structures
_____	_____	Objects
	<u>6</u>	TOTAL

Number of related multiple property listing

(Enter "N/A" if property is not part of a multiple listing)

State Prison, Federal Prison, Prison Industries

Number of contributing resources previously listed in the Cultural Resources Inventory

6. FUNCTION OR USE

Historic Functions

(Enter categories from instructions)

First Maximum Security Prison built after
the Gold Rush

Current Functions

(Enter categories from instructions)

Folsom State Prison now houses Medium
Security General Population Male Inmates

7. **DESCRIPTION**

Architectural Classification
(Enter categories from instructions)

Materials
(Enter categories from instructions)

_____ Cell blocks _____

Foundation _____ Granite slabs _____

Roof _____

Walls _____ Hand cut blue granite Doors of iron _____

Other _____ Slabs of granite layered one on the other with mortar in-between. The cell blocks were two cells high. Sheet iron was substituted as the layer between in the cells above, as it was easier to use. Prisoners cut the granite slabs and helped built the prison.

Narrative Description:

(Describe the historic and current condition of the property on one or more continuation sheets).

SEE ATTACHED

8. STATEMENT OF SIGNIFICANCE

Applicable Cultural Inventory Criteria

(Mark "x" in one or more boxes for the criteria qualifying the property for Cultural Resources Listing)

- A** Property is associated with events that have made a significant contribution to the broad patterns of our history.
- B** Property is associated with the lives of persons significant to our past.
- C** Property embodies the distinctive characteristics of a type, period, or method of construction or represents the work of a master, or possesses high artistic values, or represents a significant and distinguishable entity whose components lack individual distinction.
- D** Property has yielded, or is likely to yield, information important in prehistory or history

See Attached

Areas of Significance

(Enter categories from instructions)

Period of Significance _____

Significant Dates

Cultural Affiliation: _____

Architect/Builder: _____

Criteria Considerations:

(Mark "x" in all boxes that apply)

- A** Owned by a religious institution or used for religious purposes.
- B** Removed from its original location.
- C** A birthplace or grave
- D** A cemetery PRISON CEMETERY ON GROUNDS
- E** A reconstructed building, object, or structure
- F** A commemorative property
- G** Less than 50 years of age or achieved significance within the past 50 years.

Narrative Statement of Significance:

(Explain the significance of the property on one or more continuation sheets).

SEE ATTACHED

9. **MAJOR BIBLIOGRAPHICAL REFERENCES**

SEE ATTACHED

Bibliography

(Cite the books, articles, and other sources used in preparing this form on one or more continuation sheets).

Previous documentation on file (City):

- Preliminary determination of individual listing has been requested
- Previously listed in the National Register
- Previously determined eligible by the National Register
- Designated a National Historic Landmark

Recorded by Historic American Buildings Survey

Recorded by Historic American Engineering Record

Primary Location of Additional Data:

- State historic preservation office
- Other state agency
- Federal agency
- Local government
- University
- Other

Name of Repository: _____

10. **GEOGRAPHIC DATA**

Acreeage of Property: 1,200 Acres

UTM Reference

(Place additional UTM references on a continuation sheet).

Zone	Easting	Northing	Zone	Easting	Northing
------	---------	----------	------	---------	----------

See continuation sheet

Verbal Boundary Description:

(Describe the boundaries of the property on a continuation sheet).

11. **FORM PREPARED BY:**

Name/Title: Karen Pardieck

Organization: _____

Date: 2/24/2021

Street & Number: 457 Clearstone Place

Telephone: (916) 708-3366

City or Town: Folsom

State: CA

ZIP 95630

Attachment 4

Statement of Significance

Name/Title: Karen Pardieck

Organization: _____

Date: 2/24/2021

Street & Number: 457 Clearstone Place

Telephone: (916) 708-3366

CITY OF FOLSOM CULTURAL RESOURCES INVENTORY REGISTRATION FORM

1. NAME OF PROPERTY

Historic Name: Folsom State Prison

Narrative Description:

(Describe the historic and current condition of the property)

City of Folsom Cultural Resources Inventory Registration

Name: Folsom State Prison

Physical Address: 300 Prison Road, Represa, CA 95671.

Narrative Description:

The first legislation upon the subject of a Branch Prison was by Act of April 24th, 1858, entitled “An Act for the government of the State Prison convicts, and to provide for the location of a Branch Prison.” This Act first created the Board of State Prison Directors, composed of the Governor, Lieutenant Governor, and Secretary of State. Section 6 authorized the Board of Directors to select a suitable place for the location of a branch of the State Prison and Section 7 provided that convicts from San Quentin would be relocated to the new Branch Prison. Despite this Act, from 1858 to 1868 nothing was done towards locating a Branch Prison.

The Act of March 30, 1868 mandated that by July 1, 1868 a location would be chosen for the Branch Prison either in Rocklin, Placer County or on the land offered to the state by the Natoma

Water and Mining Company in Granite Township, Sacramento County. In June of 1868, the Folsom location was chosen due to the proximity of stone quarries that would be used to construct the prison and provided an economic opportunity for the Prison to become self-sustaining using the labor of the prisoners. And, as a portion of the property of the prison sat on the American River, there was enough water for the prison's use. The convicts constructed the first dam and canal on the American River, which led to the first hydroelectric power generation for the Sacramento area.

Narrative Statement of Significance:

Folsom State Prison has played a significant role in the development of the State of California and the City of Folsom. The prison property was originally located east of Folsom. Over time, the state property became surrounded by the growing city. When the *City of Folsom Historic Preservation Master Plan* was approved in 1998, the prison complex in addition to the adjacent granite quarry and canal were considered eligible for listing on the *Folsom Cultural Resources Inventory*. The state prison is now nominated for listing under *Criteria A, C and D*.

Criterion A

(The property is associated with events that have made a significant contribution to the broad patterns of history.)

The prison property is associated with the early efforts to regulate water and develop hydroelectric power in Western United States.

Criterion C

(The property embodies the distinctive characteristics of type, period, or method of construction, or represents the work of a master.)

Blocks of hand-cut, blue granite was used to construct the distinctive dark walls of the prison complex. This building material was quarried on the prison property by inmates.

Criterion D

(The property has yielded, or is likely to yield, information important in prehistory and history)

Historic information is incorporated with the prison development, the granite quarry and all remains of the Natomas Water and Mining Company's early efforts to harness the American River.

History:

The Natoma Water and Mining Company deeded 350 acres of land including granite quarries to the State for the sum of \$15,000. Subsequently, the company conveyed to the State an additional 133 acres adjacent to the 350 acres of property. The arrangement made with the State for the payment of the \$15,000 to the Natomas Water and Mining Company was for the use of convict labor (at 50-cents per day) to complete construction of the Natoma Water and Mining Company excavation of a large waterpower canal of which the State was given rights to the waterpower.

In 1874 the Legislature authorized \$175,000 towards construction of the Branch Prison and in the fall of 1874 construction began. The construction ceased a year later as the appropriations were not adequate to cover the construction costs. The Legislature intervened and in July of 1880, after many challenges with finances, vendors and labor, the Branch Prison construction was completed on the site of the Stony Bar mining camp along the American River. The prison walls that we see today were constructed by the inmates using rock they chiseled from the granite quarries. There were no walls around Folsom Prison for the first four decades of the prison's history. Construction on the granite walls began in 1909, and the walls were finally completed in 1923.

California Department of Corrections and Rehabilitation:

California's second oldest prison, Folsom State Prison (FSP), Folsom State Prison primarily houses Medium Security General Population Level II and Level III male inmates. Additionally, Folsom houses Minimum Security Level I male inmates within a minimum-security facility located just outside of the main security perimeter. Folsom offers Rehabilitative programs, to include academic courses and career technical education. The Folsom Museum is located near the entrance of Folsom Prison. Run solely through the support of volunteers, the museum contains an abundance of documents and artifacts from throughout Folsom's long and colorful history.

A prison without walls (California Department of Corrections and Rehabilitation Newsletter 1/22/2015

Today the prison is known for its imposing walls, constructed using granite quarried by the prisoners. Originally, towers surrounded Folsom Prison, giving guards an unobstructed view of the prisoners as they worked but the walls would come much later. According to the Sacramento County Historical Society's "Golden Notes" (Vol. 39, Numbers 3 and 4, 1993), "the prison yard occupied 52 acres of land, on mostly high ground. It was in the form of an irregular triangle, of which the river front was the longest side. At the time, the plan was to surround the yard with a wooden stockade, double-planked, and to utilize prison labor to construct around it a secure granite wall."

In 1893, Folsom Telegraph editor Thaddeus McFarland visited the prison and wrote, "For a prison without walls, it is doubtful if any prisoner placed in Folsom Prison will ever escape. ... It is likely he'll remain there until the term of his sentence has expired." It took more than four decades for the prison to be surrounded by solid walls.

The “Biennial report on the State Board of Charities and Corrections,” published in 1905, chastises the Board of Prison Directors for not completing the wall.

“The need for such a wall must be conceded; it has been urged upon the Directors almost from the time the prison was established, and if any demonstration were needed it was furnished by the disastrous break that occurred last year, when several desperate men escaped,” the report states. “With a wall around the prison, these men could not have escaped. The absence of a wall ... offering constant encouragements to attempts to escape, contributes to a spirit of unrest for the prisoners and ... imposes an unfair burden of responsibility on the warden.”

By 1909, construction on the wall was underway. “The walls of hand-cut blue granite which now surround the prison, were brought to the final stage of completion in 1923,” according to the “Golden Notes” publication.

A legacy of dams

Water has always been a precious commodity in California and in Folsom it served many purposes. The American River provided not only a natural barrier for the prison, but it also supplied power and a way to transport logs from upriver.

Horatio Gates Livermore and his family gained control of Natoma Water and Mining and by 1866 were planning to dam the American River at Folsom. It was part of a “pivotal step in Livermore’s long-range plans to transform Folsom into a manufacturing center by harnessing the American River,” according to “The Lower American River: Prehistory to Parkway,” published by the American River Natural History Association. Central to the plan was a dam of granite and concrete at Folsom to provide a “still pond” to hold logs floated down from Livermore’s logging operation near Georgetown. From the dam, a 40-foot canal

would lead downstream for a mile and a half, creating an 80-foot fall of water to generate power.

Construction of the dam began in 1867 but they ran into trouble and looked to the State to use convict labor. Livermore offered more land near the prison as compensation. Logging began in June 1890 and a year later the first log reached the prison dam. Running into difficulty with the rocky bottom of the river, Livermore sought to use the canal running alongside the prison to allow the logs to continue of their journey downriver. Prison officials were reluctant to adjust the gates at the canal for fear it would interfere with power generation.

In 1896, the company built a sawmill operated on electric power. The mill could cut 75,000 board feet of lumber per day. The mill shut down in 1899 after heavy rains and a swollen river forced 3 million feet of logs over the dam. The Army Corps of Engineers completed construction of the present-day Folsom Dam and power plant in 1956. The dam is just upriver from Folsom Prison.

Folsom Telegraph March 29, 2017

Every single California license plate is created right here in Folsom at the Folsom State Prison.

The license plate factory provides jobs for 116 inmates and the work they do is not easy.

The Department of Motor Vehicle sends the California Prison Industry Authority a list of license plate combinations and from there the plate goes through the process of being created.

In 1948 the Prison sold 19 acres of prison property to the City of Folsom for the purpose of creating a park and zoo.

CONSTRUCTION

Folsom State Prison's location was selected due to an unlimited amount of native granite stone for building the prison. Also, the American River offered ample water and formed a natural boundary. Inmate laborers built the first dam and canal on the American River, which led to the first hydroelectric power generation for the Sacramento area.

The California Legislature authorized the construction of Folsom State Prison in 1858. In 1868, the Board of Prison Directors selected Folsom as the site of a branch prison for San Quentin and allocated at that time a sum of \$175,000 for the construction.

They also agreed to a proposal by the Natoma Water and Mining Company that gave the state 350 acres and all the granite quarries on those acres. The agreement gave the State perpetual rights to the first fall of the waterpower which was more than 200 horsepower.

In return, the State gave the Natomas Water and Mining Company \$15,000 in convict labor at the rate of 50 cents per day for each convict employed.

While the site was chosen, construction didn't begin until 1874. Problems between the state and the construction contractor Michael Miles who was the low bidder of \$149,000 stalled any progress when the contract was abandoned in September of 1875 with \$79,000.00 paid on account.

On July 25th of 1878 a new contract with Dennis Jordan for \$161,500.00 went into effect on the condition that the work be completed in 15 months.

Subsequently in 1879 as Jordan was failing to complete his contract in the time limit, the Board of Prison Directors took over

the work, replacing Jordon on the job by Contractor Wm. Johnston and J.W. Duncan as foreman. The first cellblock (B Block), with 162 cells, was completed and on July 26, 1880, the prison received its first 44 inmates on transfer from San Quentin. Prisoner No. 1 was Chong Hing.

Two years later, A Block was completed with 166 cells bringing the total cells to 328. The cells were 8x7 in size and built to house two men. A third cellblock was constructed in April of 1891 to accommodate the then 700 inmates. By 1897, there were 900 prisoners serving time at Folsom.

There were no walls around Folsom Prison for the first four decades of the prison's history. Construction on the granite walls There were no walls around Folsom Prison for the first four decades of the prison's history. Construction on the granite walls by convict labor began in 1909, and the walls were finally completed in 1923.

By 1909, construction on the wall was underway. "The walls of hand-cut blue granite which now surround the prison, were brought to the final stage of completion in 1923," according to the "Golden Notes" publication.

- 1895: Rock Crushing Plant using convict labor began operation.
- 1903: Greystone Chapel completed.
- 1907: Construction began on the State Hospital for the Criminally Insane at Folsom Prison. It was built using granite quarried by convict labor and facility construction was handled by convicts "under the direction of the state engineer," according to the Sacramento County Historical Society.

- 1909: Granite wall construction began. Prison purchased locomotive engine No. 2083 from Southern Pacific Railroad Co. for \$4,850.
- 1911: Construction on State Hospital for the Criminally Insane was still not complete but inmates were being housed in some of the cells, which were not designed for hardened criminals. The state's plans for the hospital were abandoned in 1914. The derelict building was torn down in the 1950s.
- 1916: First Folsom Road Camp established.
- 1922: Walls around the prison completed with guard towers.
- 1923: Granite wall construction completed, Education and Recreation Hall completed.

Over the ensuing years, many changes, too numerous to list, have been made to the prison to accommodate the increased inmate population and technical advances.

Wikipedia: **Population**: 2,351 (113.8%) (as of 30 November 2016)

The facility is on approximately 1,200 acres, includes five housing units within the secure perimeter, including the original two-tiered structure. Unit 1 is the most populous cellblock in the United States, with a capacity of nearly 1,200 inmates on four five-tiered sections. All cells include a toilet, sink, bunks, and storage space for inmate possessions.

Prison facilities also include two dining halls, a large central prison exercise yard, and two smaller exercise yards. The visiting room includes an attached patio as well as space for non-contact visits.

9. Major Bibliographical References

Library of Congress Control Number 2013630988

California Department of Corrections and Rehabilitation (CDCR)

Biennial Report of The Board of Directors of the California State
Prison July 1, 1875 and ending June 30, 1877

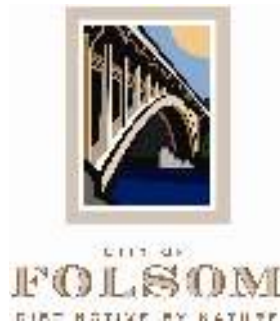
Folsom Telegraph March 29, 2017

Journal: Appendix. Appendix. Reports, Volume 5
By California Legislature 1880 - California



Attachment 5

Letter to the Property Owner



March 22, 2021

Warden Rick Hill
Folsom State Prison
300 Prison Road
Represa, CA 95671

RE: Historic/Cultural Resource Nomination for Folsom State Prison

Dear Warden Hill:

On November 5, 1998, the Folsom City Council approved the 'Historic Preservation Master Plan'. This document established goals and objectives for historic preservation within the City of Folsom, identified a process for the listing of locally significant historic sites and structures, and authorized the Historic District Commission to determine the eligibility of City-wide sites nominated for listing.

Based on the guidelines in the master plan, Karen Pardieck has nominated the Folsom State Prison for listing with the City's Cultural Resource Inventory as a locally significant historical resource. The applicant has stated that the property is associated with the early efforts to regulate water and develop hydroelectric power in Western United States, contains blocks of hand-cut, blue granite used to construct the distinctive dark walls of the prison complex quarried on the prison property by inmates, and that historic information is incorporated with the prison development, the granite quarry and all remains of the Natomas Water and Mining Company's early efforts to harness the American River. The Community Development Department will process the nomination through the Historic District Commission.

The local listing of historical/cultural resources is encouraged in Folsom by the 'Historic Preservation Master Plan'. As the property owner, the State of California will be provided 90 days from the date of this letter to comment on the enclosed nomination. If you object to the listing of the prison, you will need to submit a notarized objection in writing to the City. As specified in the 'Historic Preservation Master Plan', the City will not list a property as a cultural resource over the notarized objection of the property owner, but a meeting will still be held before the Historic District Commission to determine eligibility for listing. After the City hears back from the property owner (or the 90-day comment period has passed with no comment), the nomination of the prison will be scheduled for a Historic District Commission meeting. However, should you need more time to prepare comments or if you have a scheduling conflict on the proposed meeting date, staff will be happy to schedule the meeting so that you are able to attend.

It is the responsibility of the Community Development Department to keep records of historical resources in Folsom. General information regarding the Cultural Resource Inventory List is available to the public at the planning counter and archaeologically sensitive material is preserved for future use by historians. Staff has enclosed a copy of the current nomination and an information package regarding the Cultural Resource Inventory for your review and consideration. If you have any historic information regarding your property that has not been covered in the nomination package, staff would welcome the opportunity to incorporate it with the staff report and the public information binder that is available at the planning counter. Please feel free to contact me at 916-461-6209 or jkinkade@folsom.ca.us if you have any questions or comments.

Sincerely,



Josh Kinkade
Associate Planner
City of Folsom

cc: Community Development Director, Pam Johns
Planning Manager, Scott Johnson
Karen Pardieck

Attachments: Nomination/Registration Form
The Cultural Resource Inventory,
Purpose and Procedures

Attachment 6

Letter from the Property Owner

FACILITY PLANNING, CONSTRUCTION AND MANAGEMENT

P.O. Box 942883

Sacramento, CA 94283-0001



June 13, 2022

Ms. Pam Johns, Community Development Director
City of Folsom
50 Natoma Street
Folsom, CA 95816

Dear Ms. Johns:

The California Department of Corrections and Rehabilitation (CDCR) is in receipt of the letter sent to the Folsom State Prison Warden, Mr. Rick Hill, dated March 22, 2021, by the City of Folsom. The letter served as notification to CDCR that Folsom State Prison (FSP) had been nominated for listing within the City's Cultural Resource Inventory as a locally significant historical resource.

CDCR recognizes the historical significance of FSP and shares the community's interest to protect and preserve the historical integrity of such a site. The Department does not object to the nomination and appreciates the consideration. However, it is important for any action by the City's Historic District Commission to reflect that the designation of FSP as a locally significant historical resource does not create any new right of access to the FSP property. FSP remains an operating prison and there will not be any changes to current security and access protocols.

On behalf of CDCR, I apologize for this delayed response and look forward to a continued collaborative and working relationship with the City of Folsom.

If you have any questions, please contact Peter J Connelly Jr, Supervising Environmental Planner, Facility Planning, Construction and Management, via email at Peter.Connelly@cdcr.ca.gov, or by phone at (916) 255-3010.

Sincerely,

A handwritten signature in blue ink that reads "Dean Lee Borg".

DEAN L BORG

Director

Facility Planning, Construction and Management

cc: Rick Hill, Warden, FSP
Peter J Connelly Jr, Supervising Environmental Planner

Attachment 7

Historic Preservation Master Plan



CITY OF FOLSOM

HISTORIC PRESERVATION MASTER PLAN

November 5, 1998

Draft October 20, 1998

Table of Contents

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Appendices

- Appendix A Determining Eligibility for the City of Folsom Cultural Resources Inventory
- Appendix B Information Packet for General Distribution
- Appendix C City of Folsom, Cultural Resource Inventory and Registration Form
- Appendix D List of Cultural Resources
- Appendix E Map of Cultural Resources

Acknowledgements

The Historic Preservation Master Plan committee as listed below prepared this document. The committee wishes to thank all of the individuals who assisted in the development and review of this document, especially David Storer, Director of the Department of Planning, Inspection, and Permitting, who provided City staff support to the committee. The committee further wishes to thank the City Council and former Mayor Glenn Fait for their efforts toward protecting and preserving the rich history of our community.

- Cindy Baker: Historic Residences
- Stan Gisler: Folsom Historical Society
- Patrick Maxfield: Planning Commission
- Candy Miller: Historical District Commission and Historical Area Architectural Review Commission
- Chuck Thurman: Gold Mining History
- Dallas Grenley: Friends of the Folsom Powerhouse Association
- Sue Mehrten: Cattle Ranching History
- Tom Hickey: Folsom Prison Museum
- Bob Minshew: Folsom, El Dorado and Sacramento Historical Railroad Association, Pacific Coast Chapter, Railway and Locomotive Historical Society

Introduction

During the State of the City Report delivered at the January 14, 1997 City Council meeting, Mayor Glenn Fait proposed that Council convene an ad hoc committee of representatives from historic preservation groups and others with similar interests in City of Folsom. The purpose of this committee was to develop a comprehensive Historic Preservation Master Plan to ensure that historic preservation is given proper consideration as the City continues to grow.

On March 25, 1997, the City Council passed and adopted Resolution No. 5346, a resolution establishing an ad hoc committee for the preservation of Folsom's history to develop a comprehensive historic preservation master plan. Mayor Fait appointed 12 committee members representing different aspects of Folsom's history.

This committee began meeting on November 19, 1997 in order to establish the plan, along with an inventory of cultural resources to present to the City Council. The following is that plan and inventory, along with recommendations for preservation action.

The committee's intention was to create an inventory that shall be updated over time. Listing on the inventory shall be accessible to all members of the community using an inventory nomination or registration form. Standardized forms will be available through the City of Folsom Planning, Inspections and Permitting Department (PIP) and accessible to the general public. Completed forms will then be submitted for review by PIP staff and then to the Historic District Commission for determination of eligibility.

The current Cultural Resources Inventory and a complete set of registration forms, including maps and photographs, shall be kept by City of Folsom PIP Department. Archaeologically sensitive or historically sensitive information will be considered as such and held back from public distribution if that distribution might endanger the resource through vandalism or theft, or for privacy considerations.

Goals and Objectives

- *Mission Statement*

The City of Folsom by this Master Plan seeks to preserve and promote its rich and colorful historical heritage by protecting its cultural and historical resources and educating the citizenry and general public of its past.

- *Ongoing Objectives*

1. To **identify** historical resources, including sites, structures, archaeological resources, documents, and artifacts,
2. To **protect** and **preserve** these resources for future generations,
3. To **educate** the public about these resources through interpretation and exhibition in the hopes that knowledge will result in a greater respect for and appreciation of these resources,
4. To **promote** Folsom's history through tourism and local programs in the hopes of enriching the city through cultural and economic development.

Area of Preservation

The City of Folsom shall extend this preservation policy throughout the City of Folsom limits and other areas outside the city limits that were part of Folsom's historical sphere of influence, including areas such as Mormon Island, Prairie City, and Aerojet.

Objective Actions

- *To identify historical and cultural resources, including sites, structures, archaeological resources, documents, and artifacts,*

An inventory of cultural resources shall be maintained and available to the public by the City through the PIP Department. This list shall be derived from the inventory submitted herein, as well as extant publications and reports, and updated systematically with the receipt of new and ongoing environmental documentation and historical publication. A registration or nomination form for applying and adding to the inventory shall be adopted so that the City, individuals, and organizations will be able to apply for listing of a resource with the City of Folsom.

- *To protect and preserve these resources for future generations,*

The City of Folsom shall consider the protection, preservation, documentation and/or recordation of cultural resources on the inventory when decisions affecting these resources come before the City. This includes notification of the Planning Commission, or any other decision-making body, of a resource's inclusion in the inventory as part of that body's staff report. The City, when possible, should consider the acquisition and storage or deposition of artifacts or resources when feasible or practicable.

The City of Folsom, in seeking to preserve the history and development of the municipality, shall maintain its system of records management whereby City documents are regularly cycled from active use, to inactive storage, to archival storage. The City shall designate an archival storage facility for said purpose.

These documents should at a minimum include the records of the City decision-making bodies, including the City Council and all commissions and public meetings or hearings. Other records should include the logs of the Police and Fire Departments, the PIP Department maps, plats, and other documents that will help plot the history and development of Folsom. Copies of the Department of Parks and Recreation flyers, brochures, and memorabilia should also be archived.

- *To educate the public about these resources through interpretation and exhibition in the expectation that knowledge will result in a greater respect for, recognition of and appreciation of these resources*

The City of Folsom shall recognize and support the important role of education and promotion in meeting its goals of preservation and protection. Further, the City shall recognize and support the importance of our heritage in the economic and cultural development of the community. The City shall suggest ways to make information about the resource interesting and readily available to the public and to promote tourism.

- *To promote Folsom's history through tourism and local programs in the hopes of enriching the city through cultural and economic development.*

The City shall continue to promote its cultural resources through tourism, events, and special programs. The City shall also cooperate with local historical interest groups to meet all the goals of the Historic Preservation Master Plan.

Cultural Resources Inventory

- *Processes for Applying to and Maintaining the Inventory*

A Cultural Resources Registration or Nomination Form shall be completed and submitted to the PIP Department staff for consideration. The PIP Department shall apply the criteria above in determining whether or not the resource appears to be eligible for the Inventory. The PIP Department shall then submit all applications with their recommendations to the Historic District Commission.

The Historic District Commission shall then consider the application and determine if it is eligible for listing on the Inventory. If an application is determined ineligible by the committee, the applicant may appeal to the City Council for consideration.

Responsibility for maintaining the inventory will be assigned to the Historic District Commission. PIP staff shall provide staff support to this committee. New additions to the Cultural Resources Inventory shall be forwarded to the Planning Commission for consideration in actions before that commission. PIP shall be responsible for notifying the Planning Commission of any cultural inventory listings in active project areas as part of its normal staff report to commissioners.

Listing on the City of Folsom Cultural Resources Inventory does not grant any special privileges or impose any restrictions on private property rights. Rather it recognizes the resource as significant in Folsom's cultural and historical heritage and may assist the property owner in obtaining awards or financial benefits from outside agencies. Listing may also grant a priority to a resource in applying for City of Folsom Redevelopment Agency funding for preservation or promotion. Listing may also provide for application of the more flexible Historic District Building Code to structures outside the Historic District, if the owner of the property so desires.

PIP shall notify the owner of the resource that it is being considered for nomination to the Inventory. The owner shall be provided with a copy of the application and given 90 days to comment on the nomination. No property shall be listed on the Inventory over the notarized objection of the owner. However, properties may still be registered as eligible for the Inventory.

Public Education

The City shall make available to the public free of charge a general information handout on the City of Folsom Cultural Resource Inventory, its impacts, and procedures for distribution to the general public (see Appendix B for example). The City shall also make available free of charge an instructions packet for individuals interested in nominating a resource to the inventory.

Mapping

A map indicating the location of the resource shall be submitted with the nomination or registration form. In order to establish standardization of the inventory and to avoid confusion, the applicant shall use the most current USGS 7.5' (minute) series topographical quadrangle map with the resource indicated in pencil, not ink. Coordinates of the resource shall be written in the margin of the map.

Identification

Identification of the resource shall be accomplished using the nomination form, inventory, USGS map, and photographic documentation. Black and white photographs and negatives shall be submitted to the PIP once a resource has been accepted to the inventory.

ADDITIONAL RECOMMENDATIONS FOR IMPLEMENTING THE GOALS AND OBJECTIVES

General Public Education

- A coordinating council/committee could be established to follow upon the implementation of these recommendations. Said council/committee would be representatives from the various historical groups and possibly city staff. This body would seek to coordinate the efforts of their representative groups by reporting upcoming events, issues and concerns and hopefully coordinating event planning and mutual support.
- **Initiate Historic Tours.** The Department of Parks and Recreation could institute periodic tours of the following: historic district residences, historic cemeteries, river-front nature trails in the following segments (1) from the zoo to the rainbow bridge focusing on the geologic history of the ravine, the natural botanical array, and the ditch and canal; (2) from the powerhouse to Lake Forest Café or Willow Creek Park access focusing on the Nisenan history, Chinatown history, Negro Bar mining town, Texas Hill mining town, placer bedrock sluicing and Natoma Company dredging tailings; (3) from Rainbow Bridge east along the bike trail on the north bank discussing the original toll bridges, the Stockton Flour Mill, Folsom Prison, and Folsom Dam. Similar tours conducted in kayaks or canoes could be developed on Lake Natoma in the same general configurations in conjunction with kayak rental facilities already in operation at Negro Bar State Park.
- Install a Historical Display Area in public waiting areas or lobbies of City Hall for changing historical exhibitions and notice of upcoming historical promotion events.

- Organize Folsom History events commemorating significant periods in Folsom's history (i.e. inauguration of the SVRR, etc.). Themes could change annually (i.e. Chinese history year, railroad history year, etc.) or be fixed (founding of Folsom City) and could include an historical theme parade, like the former Pioneer Days parade. Schools, community groups, and residential subdivisions would be encouraged to enter floats and entries with a theme relevant to the history of Folsom.
- Encourage local merchants and restaurants to name products and menu items after specific or general aspects of Folsom's past (i.e.: the Leidesdorff Burger, etc.)
- Install vista points at various overlooks in Folsom such as at top of Folsom Point (formerly Dyke 8) entrance looking south and southeast, another at the Folsom Dam Overlook, another near the new high school site, also at the Rainbow Bridge/ Historic Trestle Bridge site.
- Create and distribute public brochures, signage, and other materials for public information.
- New development street and project names should, if possible, have an historical linkage to the project area under development. These could be ranch names, local ditch or mining site names, historical personages, or general historical land use of the area.
- Establish Historic District Signage, such as a standardized program for residents of the historic district to apply to the City for a bronze or some other kind of sign identifying the history of their house. These would be keyed into a walking tour brochure, self-guided.
- Develop a Ranch Center at the Broder Ranch property. Move historical buildings from the Wilson Ranch to this center for historical interpretation/living history of Folsom's cattle ranching, farming/agricultural, and rodeo history. Site could also develop equine center for recreation and historical interpretation.
- Establish appropriate archival storage facility for record storage

Youth Programs

- Establish essay contests, like a local history day program, judged by City officials and awarded through a monetary scholarship or award and plaque (\$100 or less). The winning essay could then be published in the Folsom Telegraph, the City of Folsom Newsletter, or some other local periodical.

- Consider creating an Official Folsomite Card program: This program is designed to engage families (the greater majority of new Folsom residents) in actively learning about Folsom's history together. Children participating would ask the Department of Parks and Recreation for an application to become an official Folsomite. The application would include a general knowledge test and a list of historical sites in Folsom with a check-off list. The child would be required to pass the general knowledge test and visit three local sites of historical interest. The signature of an adult, either a parent, museum personnel, etc would verify visits. The test and visit list would then be returned to the Department of Parks and Recreation. The child would receive a business card-size "Official Folsomite" card and thereby become card-carrying Folsomite. This activity would encourage parents to spend their limited leisure time actively learning about Folsom.

APPENDIX A

DETERMINING ELIGIBILITY FOR CITY OF FOLSOM- CULTURAL RESOURCES INVENTORY

DETERMINING ELIGIBILITY

In order to be listed on the inventory, resources need to meet a level of significance within Folsom's history. By adopting the Secretary of the Interior's standards for the National Register of Historic Places to a local level, it is possible to establish a set of criteria for inclusion on the inventory.

Cultural resource significance is evaluated in terms of a resource's eligibility for listing in the National Register of Historic Places (36 CFR 60.6 [48 R 46306]) as outlined below.

The quality of significance in American history, architecture, archaeology, and culture is present in districts, sites, buildings, structures, and objects of state and local importance that possess integrity of location, design, setting, materials, workmanship, feeling, and association; and,

- That are associated with events that have made a significant contribution to the broad pattern of our history; or
- That are associated with the lives of persons significant in our past; or
- That embody the distinct characteristics of a type, period, method of construction, or that represent the work of a master, or that possess high artistic values, or that represent a significant and distinguishable entity whose components may lack individual distinction, or;
- That has yielded, or may be likely to yield, information important in prehistory or history.

Sites younger than 50 years, unless of exceptional importance, are not eligible for the National Register.

An integral part of assessing cultural resource significance, aside from applying the above criteria, is the physical integrity of the resource. Prior to assessing a resource's potential for listing on the National Register, it is important to understand the subtleties of the seven kinds of integrity mentioned above. To summarize a National Park Service (NPS) bulletin, entitled *How to Apply the National Register Criteria for Evaluation* (1991:44-48), the types of integrity are defined as:

- **Location** is the place where the historic property was constructed or the place where the historic event occurred;
- **Design** is the combination of elements that create the form, plan, space, structure and style of a property;
- **Setting** is the physical environment of a historic property;

- *Materials* are the physical elements that were combined or deposited during a particular period of time and in a particular pattern or configuration to form a historic property;
- *Workmanship* is the physical evidence of the crafts of a particular culture or people during any given period in history or prehistory;
- *Feeling* is a property's expression of the aesthetic or historic sense of a particular period of time; and
- *Association* is the direct link between an important historic event or person and a historic property.

Integrity is based on significance: why, where, and when a property is important. Only after significance is fully established is the issue of integrity addressed. Ultimately, the question of integrity is answered by whether or not the property retains the identity for which it is significant. A resource must have at least two types of integrity and meet one of the four criteria listed above in order to qualify for the Cultural Resources Inventory.

NOTE:

Guidelines and further information for determining what is or is not culturally significant are available through the National Park Service in Washington, D. C. and the State Office of Historic Preservation in Sacramento. Using these guidelines, the Commission shall seek to apply the standards at the local level, not at the national or state level, of significance. The applicant should be encouraged to seek state or national recognition if they feel the property merits that consideration.

APPENDIX B

**INFORMATION PACKET
FOR GENERAL DISTRIBUTION**

**THE CITY OF FOLSOM
CULTURAL RESOURCE INVENTORY**

PURPOSE AND PROCEDURES

TABLE OF CONTENTS

Introduction

- What is the Cultural Resource Inventory?
- Questions and Answers

The Nomination Process

- Procedures
- Appeals and Removals

Introduction

What is the Cultural Resources Inventory?

- The Cultural Resources Inventory is a guide to the City of Folsom's significant historical and archaeological resources.
- The City of Folsom has designed this program for use by private groups and citizens to identify, evaluate, register and protect Folsom's cultural resources.
- The Cultural Resources Inventory program encourages public recognition and protection of resources of architectural, historical, archaeological and cultural significance, identifies historical resources for City planning purposes and determines eligibility for Redevelopment Agency preservation grant funding.

Questions and Answers

What protection does listing in the Cultural Resources Inventory offer?

- Listing in the Inventory does not guarantee that a resource will not be preserved. Projects that will affect resources may be subject to review pursuant to the California Environmental Quality Act (CEQA). All projects carried out by public agencies are subject to environmental review (require preparation of an environmental impact report) as are projects involving privately owned properties when a permit or review is required. For questions related to a specific resource and CEQA review, please contact the local government or state agency with jurisdiction over the project.

How does the Inventory define a cultural resource?

- For the purposes of listing, a “cultural resource” includes, but is not limited to, any object, building, structure, site, area or place which is historically or archaeologically significant, or is significant in the architectural, engineering, scientific, economic, agricultural, education, social, political, military or cultural annals of Folsom. Historical resources may be eligible for listing in the inventory if they satisfy the criteria established by the City of Folsom for this program.

What are the criteria for listing a resource in the Inventory?

- While the significance criteria for the Inventory is similar to that used by the National Register of Historic Places and the California Register of Historical Resources, this inventory will document the unique history of Folsom. The resource must:
 - 1) Be associated with events contributing to the broad patterns of Folsom’s history and culture;
 - 2) Be associated with historically important people;
 - 3) Embody distinctive characteristics of a type, period, region or construction method, or represent the work of a creative individual; or
 - 4) Have the potential for yielding important information in Folsom’s history or prehistory.

How does a resource become listed in the Inventory?

Resources may be added in two ways:

- 1) Some are automatically eligible, including those determined eligible for the National Register of Historic Places, the California Register of Historical

Resources, and California State Historical Landmarks pertaining to Folsom and its historical sphere of influence.

- 2) Other resources can be nominated to the Inventory by private organizations or citizens.

Does listing on the Inventory affect property rights?

- Listing on the City of Folsom Cultural Resources Inventory does not grant any special privileges or impose any restrictions on private property rights. Rather it recognizes the resource as significant in Folsom's cultural and historical heritage and may assist the property owner in obtaining awards or financial benefits from outside agencies. Listing may also grant a priority to a resource in applying for City of Folsom Redevelopment Agency funding for preservation or promotion. Listing may also provide for application of the more flexible Historic District Building Code to structures outside the Historic District, if the owner of the property so desires.

Cultural resources nominated to the Inventory may not be listed over the written notarized objection of the property owner. However, a resource whose owner objects to the listing may still be formally determined eligible for the Inventory. Property owners must be notified, sent a copy of the nomination and provided the opportunity to comment on the nomination. Property owners may specify that specific records of their property be confidential and not for public distribution.

What are the benefits of being listed in the Inventory?

- The Historic Building Code may be applied when the use of the Uniform Building Code threatens the historical integrity of a resource. Also, resources included on the Inventory will receive priority consideration for any funds available from the City of Folsom for historic preservation. Further, City of Folsom staff shall include a resource's eligibility to the inventory in its reports to City Council and all other decision-making bodies.

Where do I get more information on historical resources?

Further information about historical resources in Folsom can be obtained from the Folsom History Museum and Folsom Historical Society, the Folsom Chamber of Commerce, the Folsom Railroad Museum, the Folsom Prison Museum, and the Folsom Power House. These resources can also direct you to other agencies, museums, and repositories available in the region.

The Nomination Process

PROCEDURES

Cover Letter

- A cover letter must be submitted with the nomination and must include the names and addresses of the applicant and the resource owner, along with a concise statement of significance. The statement of significance should clearly list the justification for the importance of the historical resource.

Nomination Submission

- The application shall be submitted to the City of Folsom Department of Planning, Inspections, and Permitting (PIP), who will then review the documents for completion and apply the criteria to the application. PIP will also notify the resource owner within 30 days of receipt of the application. After the 90-day waiting period for owner comment, or as soon as comment is received, PIP will then forward the application and comments, along with its recommendations, to the Historic District Commission.
- The Historic District Commission will then consider and determine the resource's eligibility for inclusion on the Inventory.

City of Folsom Review

- The applicant, owner, interested parties, and the general public will be notified by PIP of time, date and location where the Historic District Commission will consider and determine the resource's eligibility. Notification will be sent at least 21 days prior to the hearing and decision. Following the hearing and decision, notification letters will be sent within 45 days to the applicant and owner(s) informing all entities of the Commission's decision and of procedures for requesting an appeal.
- PIP will notify all resource owners of the nomination within 30 days of receipt of the nomination. If the resource owner objects by notarized letter to the nomination, the resource cannot be listed in the Inventory, but can still be formally determined eligible for listing by the Historic District Commission.

Appeals and Removals

Request for Appeal

- Request for an appeal must be made to PIP in writing within 30 days of the Commission's decision. Only an error in the facts presented or an error in judgement by the Commission may be grounds for an appeal. Within 60 days of receipt of a request for an appeal, the Commission will advise the applicant if it will consider the request and, if so, the time and place where the hearing will take place. If the request for an appeal is denied, the applicant may make one final appeal in public hearing before the City Council.

Removal from the Inventory

- The Historic District Commission or its successor may remove a resource from the Inventory if the resource, through demolition, alteration or loss of integrity, has lost its historic qualities or potential to yield information or if new information or analysis shows that the resource was not eligible at the time of its listing. Requests for removal must be made to the Commission in writing and must include a detailed justification for removal, photographs, other documentation regarding the current condition of the resource, and complete ownership information. Requests for removal are subject to the same notification and Commission hearing process as those for nomination.

APPENDIXC

**CITY OF FOLSOM
CULTURAL RESOURCES INVENTORY
REGISTRATION FORM**

CITY OF FOLSOM CULTURAL RESOURCES INVENTORY REGISTRATION FORM

1. Name of Property

historic name: _____

other name/site number: _____

2. Location

street & number: _____ not for publication

city/town: Folsom _____ vicinity

state: California code: CA county: Sacramento zip code: 95630

3. City Agency Certification

As the designated authority under the City of Folsom Master Historic Preservation Plan of 1998, as amended, I hereby certify that this nomination request for determination of eligibility meets the documentation standards for registering properties in the City of Folsom Master Historic Preservation Plan and meets the procedural and professional requirements set forth in _____. In my opinion, the property meets does not meet the City of Folsom criteria. † recommend that this property be considered significant nationally statewide locally. (see continuation sheet for additional comments.)

Signature of certifying official

Date

City agency and commission

In my opinion, the property meets does not meet the City of Folsom criteria. (See continuation sheet.)

Signature of commenting or other official

Date

City of Folsom agency and commission

4. City of Folsom Certification

I hereby certify that this property is:

entered in the Cultural Resources Inventory

See continuation sheet.

determined eligible for the Cultural Resources Inventory

See continuation sheet.

determined not eligible for Cultural Resources Inventory

removed from the Cultural Resources Inventory

other (explain): _____

Signature of Keeper of the Inventory

Date

5. Classification

Ownership of Property

(check as many boxes as may apply)

- private
- public-local
- public-State
- public-Federal

Category of Property

(check only one box)

- building(s)
- district
- site
- structure
- object

Number of Resources within Property

Contributing

Noncontributing

_____	_____	buildings
_____	_____	sites
_____	_____	structures
_____	_____	objects
_____	_____	Total

Number of related multiple property listing

(Enter "N/A" if property is not part of a multiple property listing)

Number of contributing resources previously listed in the Cultural Resources Inventory

6. Function or Use

Historic Functions

(Enter categories from instructions)

Current Functions

(Enter categories from instructions)

7. Description

Architectural Classification

(Enter categories from instructions)

Materials

(Enter categories from instructions)

foundation	_____
roof	_____
walls	_____
other	_____

Narrative Description

(Describe the historic and current condition of the property on one or more continuation sheets.)

8. Statement of Significance

Applicable Cultural Resources Inventory Criteria

Mark "x" in one or more boxes for the criteria qualifying the property for Cultural Resources listing.)

- A Property is associated with events that have made a significant contribution to the broad patterns of our history.
- B Property is associated with the lives of persons significant in our past.
- C Property embodies the distinctive characteristics of a type, period, or method of construction or represents the work of a master, or possesses high artistic values, or represents a significant and distinguishable entity whose components lack individual distinction.
- D Property has yielded, or is likely to yield, information important in prehistory or history.

Criteria Considerations

(Mark "x" in all the boxes that apply)

- A owned by a religious institution or used for religious purposes.
- B removed from its original location.
- C a birthplace or grave.
- D a cemetery.
- E a reconstructed building, object, or structure.
- F a commemorative property.
- G less than 50 years of age or achieved significance within the past 50 years.

Narrative Statement of Significance

(Explain the significance of the property on one or more continuation sheets.)

Areas of Significance

(Enter categories from instructions)

Period of Significance

Significant Dates

Cultural Affiliation

Architect/Builder

9. Major Bibliographical References

Bibliography

(Cite the books, articles, and other sources used in preparing this form on one or more continuation sheets.)

Previous documentation on file (City):

- preliminary determination of individual listing has been requested
- previously listed in the National Register
- previously determined eligible by the National Register
- designated a National Historic Landmark
- recorded by Historic American Buildings Survey # _____
- recorded by Historic American Engineering Record # _____

Primary Location of Additional Data:

- State historic preservation office
- Other state agency
- Federal agency
- Local government
- University
- Other

Name of Repository: _____

10. Geographical Data

Acreage of Property _____

UTM References

(Place additional UTM references on a continuation sheet.)

Zone	Easting	Northing	Zone	Easting	Northing
------	---------	----------	------	---------	----------

 See continuation sheet**Verbal Boundary Description**

(Describe the boundaries of the property on a continuation sheet.)

Boundary Justification

(Explain why the boundaries were selected on a continuation sheet.)

11. Form Prepared By

Name/Title: _____

Organization: _____ Date: _____

Street & Number: _____ Telephone: _____

City or Town: _____ State: _____ ZIP: _____

**CITY OF FOLSOM
CULTURAL RESOURCES INVENTORY
CONTINUATION SHEET FOR ADDITIONAL INFORMATION**

Section number ____ Page# ____ Property Name _____

SAMPLE

APPENDIX D

**CITY OF FOLSOM
PRELIMINARY CULTURAL RESOURCES
INVENTORY**

CITY OF FOLSOM
PRELIMINARY CULTURAL RESOURCES INVENTORY
(Numerical Index to Cultural Resources Map)

Ethnographic Features – Native American

1. BRM locations along American River below Rainbow Bridge

Historical Buildings/ Structures/ Features – Transportation-Related

2. Sacramento Valley Railroad Grade, factual date 1855
3. Granite Block Culvert beneath Folsom Boulevard near Willow Creek State Park, factual 1855
4. Alder Creek Trestle
5. SVRR/CPRR turntable site on Railroad Block, National Register Property, factual dates 1856, 1867, 1900.
Archaeological deposits on Railroad Block, circa 1856-1870
6. Alder Creek Depot Building, circa 1890s
7. Station Master's House near Wye Junction, circa 1920s
8. Ashland Depot, National Register Property, circa 1860s
9. Folsom Depot, National Register Property, factual 1906
10. Kinsey Bridge Abutments, circa 1850s
11. Rainbow Bridge, NRHP eligible, factual 1917
Steel Truss Bridge, factual 1983-1930
12. Sacramento, Placer and Nevada Railroad ROW, factual 1862
Railroad grade along Oak Avenue Parkway near Cascade Falls
13. California Central ROW, Folsom to Lincoln Railroad grade
Wye junction at Bidwell and Folsom Boulevard
14. Ashland townsite
15. Placerville and Sacramento Valley Railroad ROW
16. Folsom Dam
17. Stone building remnants

Historical District Cultural /Architectural Resources

18. Granite pillars from State Capitol grounds
19. Granite School, circa 1900
20. Figueroa Street Bridge, between Riley and Wool, factual 1916
21. Sutter Street Historic Commercial District, 600-900 blocks of Sutter Street
Historic Residential Area
22. Emma's

Historical Cemeteries and Churches:

23. St. John's Catholic Church, est. circa 1855
24. Trinity Episcopal Church, est. circa 1860
25. Landmark Baptist Church, est. circa 1855
26. St. John's Catholic Cemetery, established circa 1855
27. Odd Fellows and Mason's Cemeteries, est. circa 1856
Remainder of Lakeside Cemetery, est. circa 1850s
28. Chung Wah Cemetery, NRHP property, est. circa 1850s
29. Young Wo Cemetery, CHL, est. circa 1870s
Mormon Island Cemetery

Previously surveyed Structures:

30. a) 305 Scott Street, Cohn House, NRHP property, factual 1860, alt. 1895
b) 607 Sutter Street, original library, circa 1915
c) 701 Sutter Street, Murer Gas Station, circa 1920
d) 707, 709, 711, 713 Sutter Street, Commercial buildings, circa 1860
e) 917, 921, 923 Sutter Street, Chinese Laundries and residences
31. Stockton Flour Mill site and remnant foundations, circa 1856
32. Giuseppe Murer House

Historic Structures, Industrial/Energy

33. Folsom Hydroelectric National Historic Landmark, CA-Sac-429H
Powerhouse 1, NRHP Property, CHL, est. 1895
Powerhouse 2, NRHP Property, CHL
Twin Mines/ Gray Eagle Mine
34. Livermore sawmill foundation remnants and mill pond
35. Diversion Dam and Powerhouse, Folsom Prison
Canal (1.5 miles) and main Gates, Livermore operation
Gas plant archaeological remains, circa 1860
Granite Quarry, Folsom Prison
Other granite quarry sites
36. Aerojet and aerospace industrial operation

Historic Features, Mining-related Resources

37. Walltown gold mines and ditch network
38. Natoma Ground Sluice diggings, Hwy. 50
39. Placer Sluicing pits, tailing piles, ditches and drains, Lake Natoma
40. Dredger Tailing Piles representative of different dredging technology episodes
41. Natoma Water and Mining Company ditches and reservoirs
42. Mining adits and tunnel portals, Lake Natoma
43. Tate's (aka Teat's) Flat Ditch
44. Alder Creek Pump House remains

45. Negro Bar townsite, 1849-1856
46. Texas Hill townsite, 1849-1856
47. Prairie City townsite, 1850-1856
48. Mormon Island townsite, 1850-1945
49. Pratt Rock narrow-gauge railroad grade
50. Eucalyptus and olive grove experimental reclamation project property
51. Willow Spring Hill Diggings
52. Humbug and Willow Creeks Mining Corridors
53. Hydraulic mining sites American River bike trail across from City Park
Hydraulic mining areas
54. Negro Hill
55. Chinatown Site
56. Chinese mining site

Historic Structures, Sites – Agricultural/Ranching-related

57. Broder Ranch Complex
58. Russell Ranch Complex(with old horse barn)
59. Smith Ranch
60. Wilson Ranch (1850s house and barn)
61. Olive Orchard east of Folsom-Auburn Road north of Oak Avenue
62. Salmon Falls townsite

Points of Local Interest

63. Natoma Grove
64. Dredge/Natoma townsite
65. Folsom Institute Site
66. Folsom High School (original Hall/wing)
67. Rodeo Arena site
68. John Kemp House
69. Clarksville

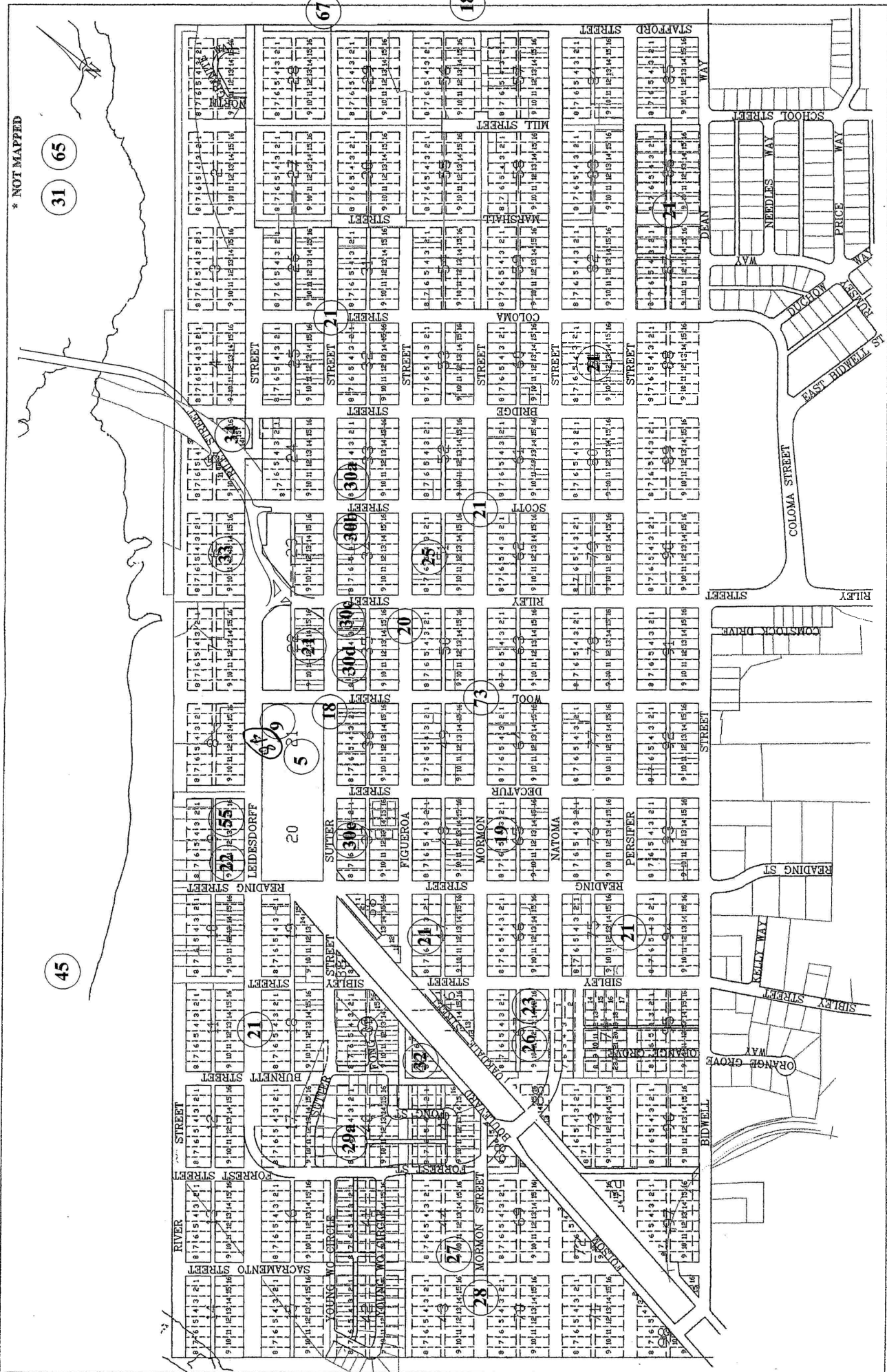
Views, Viewsheds, and Landscapes

70. Oak Canopy on Folsom Boulevard between Blue Ravine and Factory outlets
Folsom Historic District from Greenback looking southeast from northwest corner
of Negro Bar State Park.
71. River and gorge looking upstream from Rainbow Bridge
72. River and bluffs looking downstream from new bridge
American River drainage from new high school site looking west.
73. Shoot-out site at Wool and Mormon Streets

* NOT MAPPED

31 65

45



SHEET

1

1

1

SCALE

1"=400'

ENLARGED MAP INSERT



CITY OF
FOLSOM
DISTINCTIVE BY NATURE

AGENDA ITEM NO. 2
Type: Public Meeting
Date: July 20, 2022

Historic District Commission Staff Report

50 Natoma Street, Council Chambers
Folsom, CA 95630

Project: 708 Orange Grove Way Addition
File #: DRCL 22-00098
Request: Design Review
Location: 708 Orange Grove Way
Parcel(s): APN No. 070-0191-005
Staff Contact: Josh Kinkade, Associate Planner, 916-461-6209
jkinkade@folsom.ca.us

Property Owner

Name: Kevin & Sarah Miller
Address: 708 Orange Grove Way
Folsom, CA 95630

Applicant

Name: West Coast Builders
Address: 200 Fargo Way
Folsom, CA 95630

Recommendation Conduct a public meeting, and upon conclusion recommend approval of an application for Design Review of a 596-square-foot addition to an existing single-family residence located at 708 Orange Grove Way, as illustrated on Attachment 5 for the 708 Orange Grove Way Addition project (DRCL 22-00098) based on the findings included in this report (Findings A-H) and subject to the attached conditions of approval (Conditions 1-12).

Project Summary: The proposed project consists of a 596-square-foot addition built to the side and rear of an existing 890-square-foot single-story residence located at 708 Orange Grove Way. The property is located within the Central Subarea of the Historic Residential Primary Area of the Historic District.

Table of Contents:

1. Description/Analysis
2. Background
3. Proposed Conditions of Approval
4. Vicinity Map
5. Site Plan, Floor Plans and Elevations dated 2-17-22
6. Site Photos



CITY OF
FOLSOM
DISTINCTIVE BY NATURE

AGENDA ITEM NO. 2
Type: Public Meeting
Date: July 20, 2022

Submitted,

PAM JOHNS
Community Development Director

ATTACHMENT 1 DESCRIPTION/ANALYSIS

APPLICANT'S PROPOSAL

The applicant, West Coast Builders, is proposing a 596-square-foot addition built to the side and rear of an existing single-family residence located at 708 Orange Grove Way. The addition is proposed to be 15.5 feet in height. The existing residence utilizes off-white horizontal siding, black window trim, a grey asphalt shingle roof, off-white wood shingles, and off-white vents and black corbels under the roof eaves. The project site currently contains an 890-square-foot single-story main residence and a 280-square foot detached garage. The project site is located in the Central Subarea of the Historic Residential Primary Area with an underlying zoning of R-1-M.

POLICY/RULE

Section 17.52.300 of the Folsom Municipal Code (FMC) states that the Historic District Commission shall have final authority relating to the design and architecture of all exterior renovations, remodeling, modification, addition or demolition of existing structures within the Historic District. Section 17.52.330 states that, in reviewing projects, the Commission shall consider the following criteria:

- a) Project compliance with the General Plan and any applicable zoning ordinances;
- b) Conformance with any city-wide design guidelines and historic district design and development guidelines adopted by the city council;
- c) Conformance with any project-specific design standards approved through the planned development permit process or similar review process; and
- d) Compatibility of building materials, textures and colors with surrounding development and consistency with the general design theme of the neighborhood.

ANALYSIS

General Plan and Zoning Consistency

The General Plan land use designation for the project site is SFHD (Single-Family High-Density), and the zoning designation for the project site is R-1-M (Single-Family Residential Small Lot District), within the Central Subarea of the Historic Residential Primary Area of the Historic District. Single-family residences are allowed by right in the Central Subarea.

Section 17.52.540 of the Folsom Municipal Code institutes setback, height and pervious surface requirements for primary structures in the Central Subarea. The following table shows how the proposed project relates to the FMC zoning requirements:

	REQUIRED	PROPOSED
Minimum Lot Size	7,000 sf	7,032 sf
Front Setback	20 feet	18.24 feet (existing residence), 21 feet (proposed addition)
Side Setbacks	5 feet, 5 feet	5 feet (proposed addition), 17 feet (existing residence)
Rear Setback	20 feet	41 feet
Minimum Pervious Surface	45%	73% (proposed)
Maximum Height	35 feet	15.5 feet (existing and proposed)
Separation from Other Structures on Property	6 feet	3 feet between existing residence and detached garage, 11 feet between proposed addition and detached garage
Parking	2 spaces behind the front plane of the residence	2 spaces behind the front plane of the residence

As shown in the above table, the proposed project will meet all development standards. Parking is accommodated by an existing detached garage and by paver strips that lead to the garage and provide enough space in back of the front plane of the residence to accommodate an additional parking space.

The existing residence does not meet the minimum front setback requirement or the separation requirement to the detached garage on the project site. FMC Section 17.52.690 states that:

1. A structure or part thereof is determined to be legally nonconforming if it was legally in place at the effective date of the ordinance but does not meet the standards or intent of the district or subarea in which it is located;
- and
2. Any structure with legal nonconforming status may continue as long as it is maintained in good repair and that the nonconformity is not increased, (such as new construction which increases the size of the structure’s footprint within a required setback or intensification of the use of such area.)

Staff research determined that the nonconforming structures were built in the 1940s prior to the 20-foot front setback or 6-foot structural separation requirement in the FMC and would therefore be considered legal nonconforming. The residence has been maintained in good repair, and the nonconforming areas are not being increased in size or intensified in use as a result of the proposed project. As such, staff finds that the legal nonconforming

structure may continue and that the proposed project does not contain any new construction within the nonconforming areas or intensify the use of the structure within those areas.

Building Design/Architecture

The design guidelines established within the Historic District Design and Development Guidelines (DDGs) also apply to this project. The property is located within the Central Subarea of the Historic Residential Primary Area of the Historic District. Chapter 5.04.03(b) of the DDG's, which addresses the design concepts for the Central Subarea, states that the subarea provides property owners with broad discretion in choosing styles from the entire 1850-1950 time frame, guided by the overall principles and any designation of significance of the building or site. No structures on the 708 Orange Grove Way property are included on the City of Folsom Cultural Resources Inventory.

The DDG's state that exterior materials and finishes for residential properties should be of residential grade, durable and of high quality and should include details appropriate for design period of the Subarea and building style. The proposed project consists of a 596-square-foot addition located to the side and rear of an existing 890-square-foot single-story residence. The height of the addition will not exceed the height of the existing residence. The existing residence utilizes off-white horizontal siding, black window trim, a grey asphalt shingle roof, off-white wood shingles, and off-white vents and black corbels under the roof eaves. Staff has provided Condition No. 3(b) which in part requires that all exterior colors and materials of the addition match those of the existing residence.

Roof vents are included on the front, left and rear elevations to match those utilized on the existing residence. While corbels under the roof eaves are included on the front of the residence to match the existing residence, staff has provided Condition No. 3(c) which requires that corbels are also included under the roof eaves on the rear and left elevations that substantially match the design and colors of the corbels on the existing residence. Implementation of this condition will ensure that all roof eaves have corbels under them, consistent with the design of the existing residence.

The addition includes primarily vertically oriented windows and a residentially scaled door, consistent with the DDGs. Only one small horizontally oriented window is proposed on the left side elevation. While staff typically prefers additional doors or windows on each elevation to help reduce massing, the applicant has stated that they do not want additional windows on this elevation for privacy reasons due to that side of the building consisting of a bedroom and bathroom. Staff notes that this is a non-street facing elevation on a single-story structure and that the horizontal siding, multiple building and roof forms, roof vent and corbels required in Condition No. 3(c) provide sufficient architectural interest to this elevation. As such, staff determined that no additional windows or doors are necessary on this elevation.

The proposed project's architecture is consistent with residential appearance through the use of the proposed building materials and design. Staff has determined that the overall design, colors, materials, and layout of the proposed accessory structure are consistent

with the design and development guidelines for the Central Subarea and the building materials, textures and colors are consistent with surrounding development and with the general design theme of the neighborhood. Staff has concluded that the applicant has met the design standards identified in the Folsom Municipal Code and the guidelines contained in the DDG's.

Tree Preservation

The site contains an Incense Cedar tree in front of the proposed addition that the City Arborist determined would be impacted by the project. This tree meets the threshold of a protected heritage tree based on size (38-inch trunk diameter). The City Arborist consulted with the Project Arborist to determine the best way to ensure that the tree would likely survive the proposed project. The City Arborist provided Condition No. 4, which requires a tree permit and tree protection plan for the license Cedar and that the applicant retain the services of a project arborist for the duration of the development project. Condition No. 4 also requires that the applicant arrange to have exploratory hand or pneumatic excavation digging performed for the foundation footings nearest the Incense Cedar under the direct supervision of the project arborist, preserving any roots one inch in diameter or larger. Following the footing excavation, the City Arborist will determine whether the project can proceed with a slab on grade foundation as proposed. If it cannot without critically impacting the health of the tree, a grade beam and pier foundation will be required.

PUBLIC NOTICING

A notice was posted on the project site five days prior to the initial Historic District Commission meeting of July 20, 2022 that met the requirements of FMC Section 17.52.320.

ENVIRONMENTAL REVIEW

The project is categorically exempt under Section 15301 (Existing Facilities) of the California Environmental Quality Act (CEQA) Guidelines. Based on staff's analysis of this project, none of the exceptions in Section 15300.2 of the CEQA Guidelines apply to the use of the categorical exemption in this case.

RECOMMENDATION

Staff recommends approval of the proposed project, based on the findings included in this report (Findings A-H) and subject to the attached conditions of approval (Conditions 1-12).

HISTORIC DISTRICT COMMISSION ACTION

Move to approve the application (DRCL 22-00098) for Design Review of a 596-square-foot addition to an existing single-family residence located at 708 Orange Grove Way, as illustrated on Attachment 5 for the 708 Orange Grove Way Addition project, based on the findings included in this report (Findings A-H) and subject to the attached conditions of

approval (Conditions 1-12).

GENERAL FINDINGS

- A. NOTICE OF PUBLIC MEETING HAS BEEN GIVEN AT THE TIME AND IN THE MANNER REQUIRED BY STATE LAW AND CITY CODE.
- B. THE PROJECT IS CONSISTENT WITH THE GENERAL PLAN AND ZONING CODE OF THE CITY.

CEQA FINDINGS

- C. THE PROJECT IS CATEGORICALLY EXEMPT FROM ENVIRONMENTAL REVIEW UNDER SECTION 15301 (EXISTING FACILITIES) OF THE CALIFORNIA ENVIRONMENTAL QUALITY ACT (CEQA) GUIDELINES.
- D. THE CUMULATIVE IMPACT OF SUCCESSIVE PROJECTS OF THE SAME TYPE IN THE SAME PLACE, OVER TIME IS NOT SIGNIFICANT IN THIS CASE.
- E. NO UNUSUAL CIRCUMSTANCES EXIST TO DISTINGUISH THE PROPOSED PROJECT FROM OTHERS IN THE EXEMPT CLASS.
- F. THE PROPOSED PROJECT WILL NOT CAUSE A SUBSTANTIAL ADVERSE CHANGE IN THE SIGNIFICANCE OF A HISTORICAL RESOURCE.

DESIGN REVIEW FINDINGS

- G. THE BUILDING MATERIALS, TEXTURES AND COLORS USED IN THE PROPOSED PROJECT ARE COMPATIBLE WITH SURROUNDING DEVELOPMENT AND ARE CONSISTENT WITH THE GENERAL DESIGN THEME OF THE NEIGHBORHOOD.
- H. THE PROPOSED PROJECT IS IN CONFORMANCE WITH THE HISTORIC DISTRICT DESIGN AND DEVELOPMENT GUIDELINES ADOPTED BY CITY COUNCIL.

ATTACHMENT 2 BACKGROUND

Sacramento County records indicate that the existing 890-square-foot residence and detached garage located at 708 Orange Grove Way were first constructed in 1947. Photographs of the existing residence are included here in Attachment 6. The property does not appear on the City of Folsom's Cultural Resources Inventory.

GENERAL PLAN DESIGNATION

SFHD, Single-Family High-Density

ZONING

CEN, Central Subarea of the Historic Residential Primary Area, with an underlying zoning of R-1-M (Single-Family Residential-Small Lot)

ADJACENT LAND USES/ZONING

North: Existing single-family residences (R-1-M/CEN)

South: Existing single-family residences (R-1-M/CEN)

East: Orange Grove Way with existing single-family residences beyond (R-1-M/CEN)

West: Existing multi-family residences (R-4/CEN)

SITE CHARACTERISTICSThe 7,032-square-foot project site consists of a single-family residence, a detached garage, and landscaping.

APPLICABLE CODES

FMC Chapter 12.16 Tree Preservation

FMC Chapter 17.52 HD, Historic District

FMC Section 17.52.300, Design Review

FMC Section 17.52.330, Plan Evaluation

FMC Section 17.52.340, Approval Process

FMC Section 17.52.540, Historic Residential Primary Area Special Use and Design Standards

FMC Section 17.52.690, Nonconforming structures

Historic District Design and Development Guidelines

ATTACHMENT 3

Proposed Conditions of Approval

CONDITIONS OF APPROVAL FOR 708 ORANGE GROVE WAY ADDITION DESIGN REVIEW (DRCL22-00098)				
Cond. No.	Mitig. Measure	GENERAL REQUIREMENTS	When Required	Responsible Department
1.		Issuance of a Building Permit is required. The applicant shall submit final site and building plans to the Community Development Department that substantially conform to the Site Plan, Floor Plans and Elevations dated 2-17-22, included in Attachment 5. Implementation of this project shall be consistent with the above referenced items as modified by these conditions of approval.	B	CD (B)
2.		Compliance with all local, state and federal regulations pertaining to building construction and demolition is required.	OG	CD (B)
3.		<p>The project shall comply with the following architecture and design requirements:</p> <ul style="list-style-type: none"> a. This approval is for a 596-square-foot addition to an existing residence located at 708 Orange Grove Way. The applicant shall submit building plans that comply with this approval and the Site Plan, Floor Plans and Elevations dated 2-17-22 included in Attachment 5. b. The exterior materials and colors of the addition shall match those of the existing residence, to the satisfaction of the Community Development Department. c. Corbels shall be added under the roof eaves on the rear elevation to substantially match the design and colors of the corbels on the existing residence, to the satisfaction of the Community Development Department. 	B	CD (P)

4.		<p>a. A tree permit and tree protection plan shall be required to protect the heritage incense cedar and account for tree impacts from the proposed development activities. The tree protection plan shall be prepared in collaboration with a qualified arborist and shall be subject to review and approval by the CDD. The tree protection plan shall contain the contact information of the project arborist and shall be included in all associated plan sets for the project.</p> <p>b. The applicant shall retain the services of a project arborist for the duration of the development project to monitor the health of protected trees to be preserved and carry out the City-approved tree protection plan. All regulated activity conducted within the Critical Root Zone of protected trees, as that term is defined in Folsom Municipal Code (FMC) 12.16.020, shall be performed under the direct supervision of the project arborist. A copy of the executed contract for these arboricultural services shall be submitted to the CDD prior to the issuance of any permits.</p> <p>c. Prior to submitting for building permits, the applicant shall have exploratory digging performed for the foundation footings for a minimum distance of 12 feet in each direction from the southeast corner of the addition nearest the heritage incense cedar tree. The digging shall be performed by hand or pneumatic excavation under the direct supervision of the project arborist, preserving any roots one inch in diameter or larger. Following the footing excavation, the CDD shall determine whether the project can proceed with a slab on grade foundation or whether a grade beam and pier foundation will be necessary to prevent critical impacts to the heritage tree.</p> <p>d. A certification letter by the project arborist attesting compliance with these conditions shall be submitted to the CDD at the time of the final inspection, prior to the Certificate of Occupancy.</p>	B, O	CD (E)
5.		<p>All walls on portions of the existing structure within current setbacks shall remain standing for the duration of project construction activities. If existing walls located within a current setback are removed at any point during construction, new construction of those walls shall be moved to meet current setbacks and will be subject to approval by the Historic District Commission.</p>	DC	CD (P) (B)

6.		<p>The owner/applicant shall defend, indemnify, and hold harmless the City and its agents, officers and employees from any claim, action or proceeding against the City or its agents, officers or employees to attack, set aside, void, or annul any approval by the City or any of its agencies, departments, commissions, agents, officers, employees, or legislative body concerning the project. The City will promptly notify the owner/applicant of any such claim, action or proceeding, and will cooperate fully in the defense. The City may, within its unlimited discretion, participate in the defense of any such claim, action or proceeding if both of the following occur:</p> <ul style="list-style-type: none"> • The City bears its own attorney’s fees and costs; and • The City defends the claim, action or proceeding in good faith <p>The owner/applicant shall not be required to pay or perform any settlement of such claim, action or proceeding unless the settlement is approved by the owner/applicant.</p>	OG	<p>CD (P)(E)(B) PW, PR, FD, PD</p>
7.		<p>The owner/applicant shall pay all applicable taxes, fees and charges at the rate and amount in effect at the time such taxes, fees and charges become due and payable.</p>	B	<p>CD (P)(E)</p>
8.		<p>The City, at its sole discretion, may utilize the services of outside legal counsel to assist in the implementation of this project, including, but not limited to, drafting, reviewing and/or revising agreements and/or other documentation for the project. If the City utilizes the services of such outside legal counsel, the applicant shall reimburse the City for all outside legal fees and costs incurred by the City for such services. The applicant may be required, at the sole discretion of the City Attorney, to submit a deposit to the City for these services prior to initiation of the services. The applicant shall be responsible for reimbursement to the City for the services regardless of whether a deposit is required.</p>	B	<p>CD (P)(E)</p>
9.		<p>If the City utilizes the services of consultants to prepare special studies or provide specialized design review or inspection services for the project, the applicant shall reimburse the City for actual costs it incurs in utilizing these services, including administrative costs for City personnel. A deposit for these services shall be provided prior to initiating review of the Final Map, improvement plans, or beginning inspection, whichever is applicable.</p>	B	<p>CD (P)(E)</p>

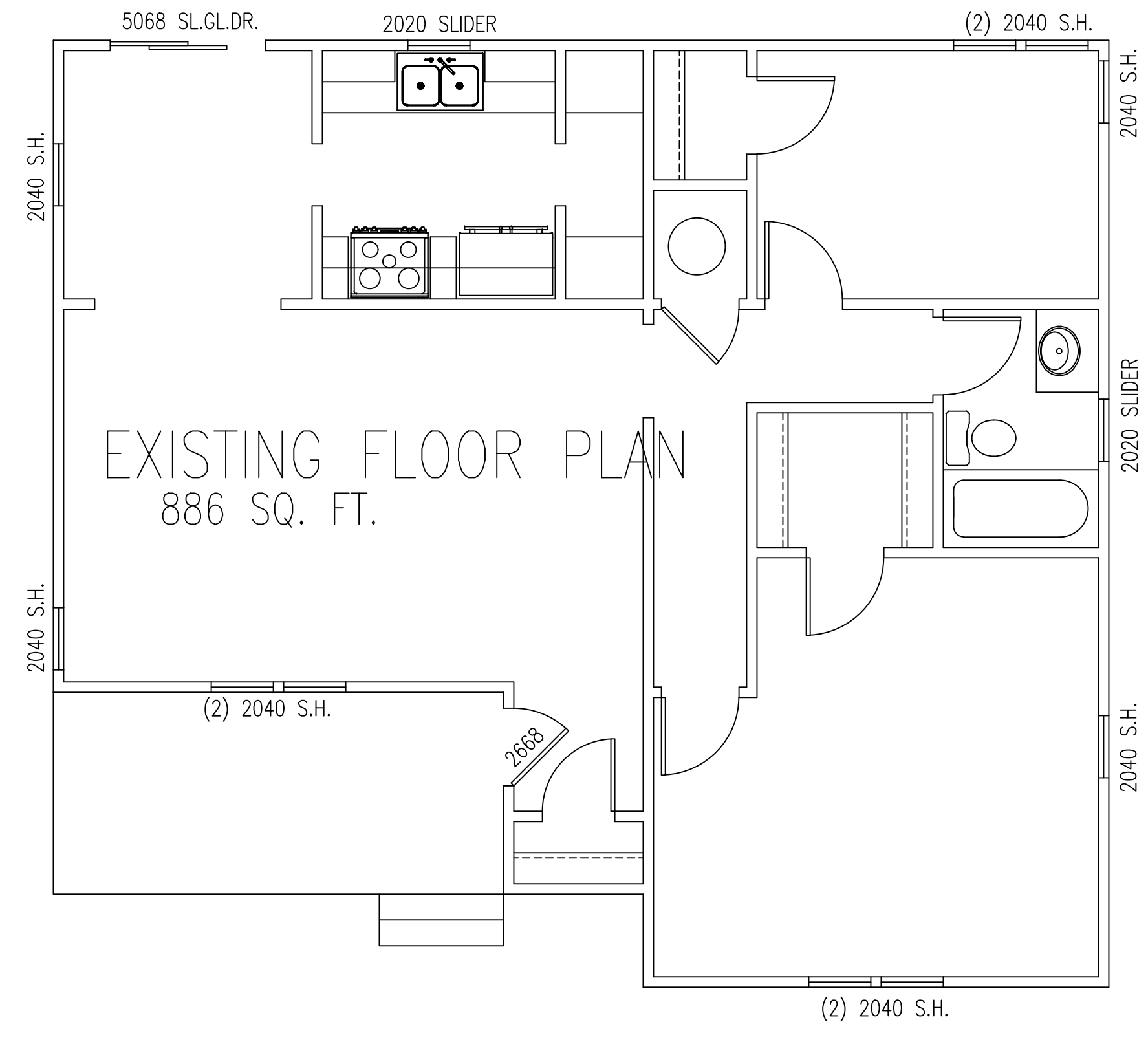
10.		If any archaeological, cultural, or historical resources or artifacts, or other features are discovered during the course of construction anywhere on the project site, work shall be suspended in that location until a qualified professional archaeologist assesses the significance of the discovery and provides recommendations to the City. The City shall determine and require implementation of the appropriate mitigation as recommended by the consulting archaeologist. The City may also consult with individuals that meet the Secretary of the Interior’s Professional Qualifications Standards before implementation of any recommendation. If agreement cannot be reached between the project applicant and the City, the Historic District Commission shall determine the appropriate implementation method.	G, I, B	CD (P)(E)(B)
11.		In the event human remains are discovered, California Health and Safety Code Section 7050.5 states that no further disturbance shall occur until the county coroner has made the necessary findings as to the origin and disposition pursuant to Public Resources Code 5097.98. If the coroner determines that no investigation of the cause of death is required and if the remains are of Native American Origin, the coroner will notify the Native American Heritage Commission, which in turn will inform a most likely decedent. The decedent will then recommend to the landowner or landowner’s representative appropriate disposition of the remains and any grave goods.	G, I, B	CD (P)(E)(B)
12.		The project approval granted under this staff report shall remain in effect for one year from final date of approval (July 20, 2023). Failure to obtain the relevant building, demolition, or other permits within this time period, without the timely extension of this approval, shall result in the termination of this approval.	B	CD (P)

RESPONSIBLE DEPARTMENT		WHEN REQUIRED	
CD	Community Development Department	I	Prior to approval of Improvement Plans
(P)	Planning Division	M	Prior to approval of Final Map
(E)	Engineering Division	B	Prior to issuance of first Building Permit
(B)	Building Division	O	Prior to approval of Occupancy Permit
(F)	Fire Division	G	Prior to issuance of Grading Permit
PW	Public Works Department	DC	During construction
PR	Park and Recreation Department	OG	On-going requirement
PD	Police Department		

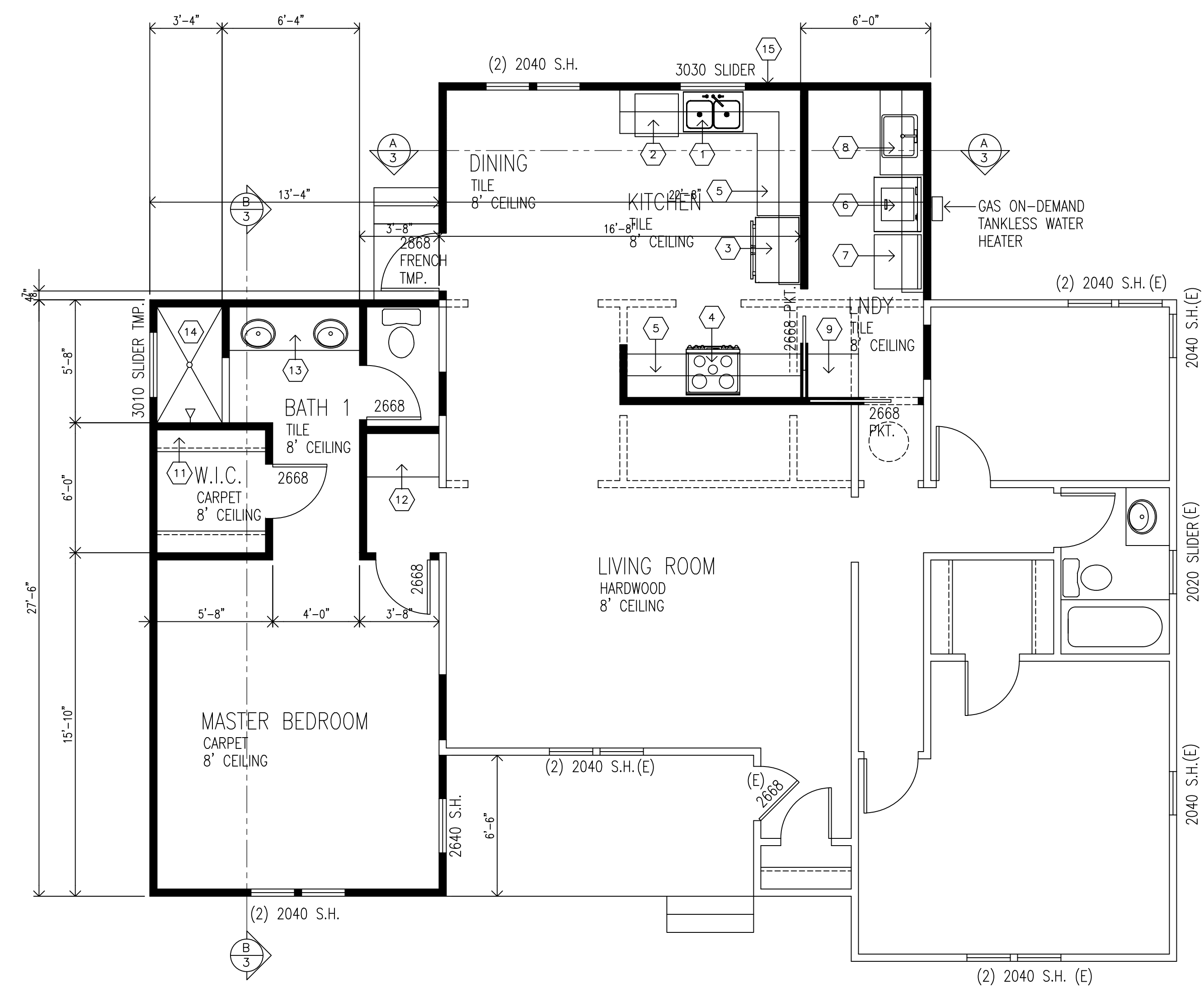
Attachment 4 Vicinity Map



Attachment 5
Site Plan, Floor Plans and Elevations
dated 2-17-22



EXISTING FLOOR PLAN
SCALE: 1/4" = 1'-0"



890 SQ. FT. EXISTING
596 SQ. FT. ADDITION
1486 SQ. FT. TOTAL

FLOOR PLAN
SCALE: 1/4" = 1'-0"

- FLOOR NOTES
- 1 SINK AND GARBAGE DISPOSAL.
 - 2 DISHWASHER
 - 3 REFRIGERATOR SPACE WITH RECESSED WATER TAP.
 - 4 SLIDE-IN OVEN AND RANGE WITH MICRO WAVE AND HOOD ASSEMBLY ABOVE.
 - 5 24" DEEP x 36" HIGH LOWER CABINET WITH TILE TOP AND SPLASH. UPPER CABINET TO BE 18" ABOVE LOWER, 12" DEEP AND 36" HIGH.
 - 6 WASHER SPACE WITH RECESSED WATER HOOKUP AND DRAIN ASSEMBLY.
 - 7 DRYER SPACE, WITH VENT TO OUTSIDE AIR. MAX. 14" RUN WITH (2) 90 DEGREE ELBOWS.
 - 8 DEEP SINK.
 - 9 BROOM CLOSET.
 - 10 24" DEEP x 36" HIGH BASE CABINET WITH TILE TOP AND 4" TOE SPACE. 12" DEEP x 36" HIGH UPPER CABINET 60" ABOVE THE FLOOR.
 - 11 SHELF AND POLE ASSEMBLY.
 - 12 SLIP-IN LINEN.
 - 13 VANITY: 36" HIGH x 24" DEEP WITH TILE TOP AND SPLASH.
 - 14 TILE SHOWER PAN WITH TILE WAINSCOT TO 8'-0" A.F.F. SHOWER HEADS AND SEAT AS SHOWN.
 - 15 HOSE BIBB AND LAWN IRRIGATION SYSTEM TO BE PROVIDED WITH AN ANTI-SIPHON BACK FLOW PREVENTER DEVICE.

- WALL LEGEND
- NEW 2x4 WALL AT 16" O/C
 - EXISTING 2x4 WALL AT 16" O/C
 - EXISTING WALLS TO BE REMOVED

ENERGY REQUIREMENTS

INSULATION: ATTIC: R-49 ADDITION, R-38 (ALTERED)
EXTERIOR WALL: R-15
FLOOR: CONCRET SLAB

WATER HEATER: TANKLESS
NATURAL GAS UNIFORM ENERGY FACTOR = 0.96

HEATING: AFUE = 95%
COOLING: SEER = 15.00 EER: 12.5
DUCT R- VALUE = R-6

GLAZING WINDOWS: U FACTOR: = 0.30 SHGC: 0.22
GLAZING DOORS: U FACTOR: = 0.32 SHGC: 0.22

WHOLE HOUSE FAN: CFM = ≥ 1.5 CFM/SQFT

WRAP NEW WITH TYVEK OR EQUAL.

SHEET INDEX

SHT. NO.	DISCRPTION
1.	SHEET INDEX, SITE PLAN, GENERAL NOTES, PROJECT STATISTICS FLOOR PLAN, EXISTING FLOOR PLAN AND SCOPE OF WORK.
2.	ELECTRICAL PLAN AND EXTERIOR ELEVATIONS
3.	ROOF FRAMING PLAN, CEILING FRAMING PLAN AND SECTIONS
4.	SHEAR FLOOR PLAN AND FOUNDATION PLAN
SD1	STRUCTURAL DETAILS
SN1	STANDARD NOTES
CG1	CAL GREEN RESIDENTIAL MANDATORY MEASURES
CG2	CAL GREEN RESIDENTIAL MANDATORY MEASURES
ENO	TITLE 24 ENERGY REPORT

GENERAL NOTES:

1. ALL HOSE BIBBS TO BE EQUIPPED WITH ANTI-SIPHON VALVES.
2. ALL PLUMBING WALLS TO BE 2x6.
3. ALL TRADES TO PROVIDE BACKING AS REQUIRED.
4. INSTALLATION INSTRUCTIONS FOR ALL LISTED EQUIPMENT SHALL BE PROVIDED TO THE FIELD INSPECTOR AT TIME OF INSPECTION.
5. TERMINATION OF ALL ENVIRONMENTAL AIR DUCTS SHALL BE A MINIMUM OF 3'-0" FROM PROPERTY LINES OF OPENINGS INTO BUILDING.
6. INSTALL ALL FACTORY MADE FLEXIBLE AIR DUCTS ACCORDING TO THEIR INSTALLATION INSTRUCTIONS AND STANDARDS SET BY THE CODE AND USE UL 1813 TAPE.
7. ALL SHOWER AND TUB SHOWER COMBINATIONS SHALL BE PROVIDED WITH INDIVIDUAL CONTROL VALVES OF THE PRESSURE BALANCE OR THE THERMOSTATIC MIXING VALVE TYPE. THE VALVE TEMPERATURE SHALL HAVE A MAXIMUM SETTING OF 120 DEG. (40 DEG. C).
8. ALL DUCT WORK SHALL USE PRESSURE-SENSITIVE TAPE. MASTICS, AEROSOL SEALANTS OR OTHER CLOSURE SYSTEMS MEETING APPLICABLE UL 18A & B REQUIREMENTS. DRAWBANDS USED WITH FLEXIBLE DUCTS SHALL BE EITHER STAINLESS STEEL WORM DRIVE HOSE CLAMPS OR UV-RESISTANT NYLON DUCT TIES. IN ADDITION, DRAWBANDS MUST HAVE A TENSILE STRENGTH RATING OF 150 LBS. AND BE TIGHTEN AS RECOMMENDED BY THE MANUFACTURE.
9. ALL EGRESS WINDOWS TO HAVE A MINIMUM 20" CLEAR WIDTH AND A MINIMUM 24" CLEAR HEIGHT WITH A MINIMUM 5.7 SQUARE FEET OF OPENING AND A MAXIMUM FINISH SILL HEIGHT OF 44".
10. ALL PLUMBING VENTS THROUGH ROOF SHALL BE COMBINED TO A MINIMUM NUMBER OF ROOF PENETRATIONS.
11. PROVIDE FIRESTOPS AT PENETRATIONS AND CONCEALED SPACES.
12. PROVIDE A SMOOTH METAL DUCT FOR THE DRYER EXHAUST, EXTENDING OUTSIDE WITH A BACKDRAFT DAMPER.
13. PROVIDE A PRESSURE RELIEF VALVE WITH A DRAIN TO OUTSIDE AT THE WATER HEATER.
14. THESE PLANS ARE FOR GENERAL CONSTRUCTION PURPOSES ONLY THEY ARE NOT EXHAUSTIVELY DETAILED NOR FULLY SPECIFIED. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO SELECT, VERIFY, RESOLVE AND INSTALL ALL MATERIALS AND EQUIPMENT.
15. ROBERT BATES WILL NOT BE OBSERVING CONSTRUCTION OF THIS PROJECT. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR THE QUALITY CONTROL AND CONSTRUCTION STANDARDS FOR THIS PROJECT.

PROJECT STATISTICS:

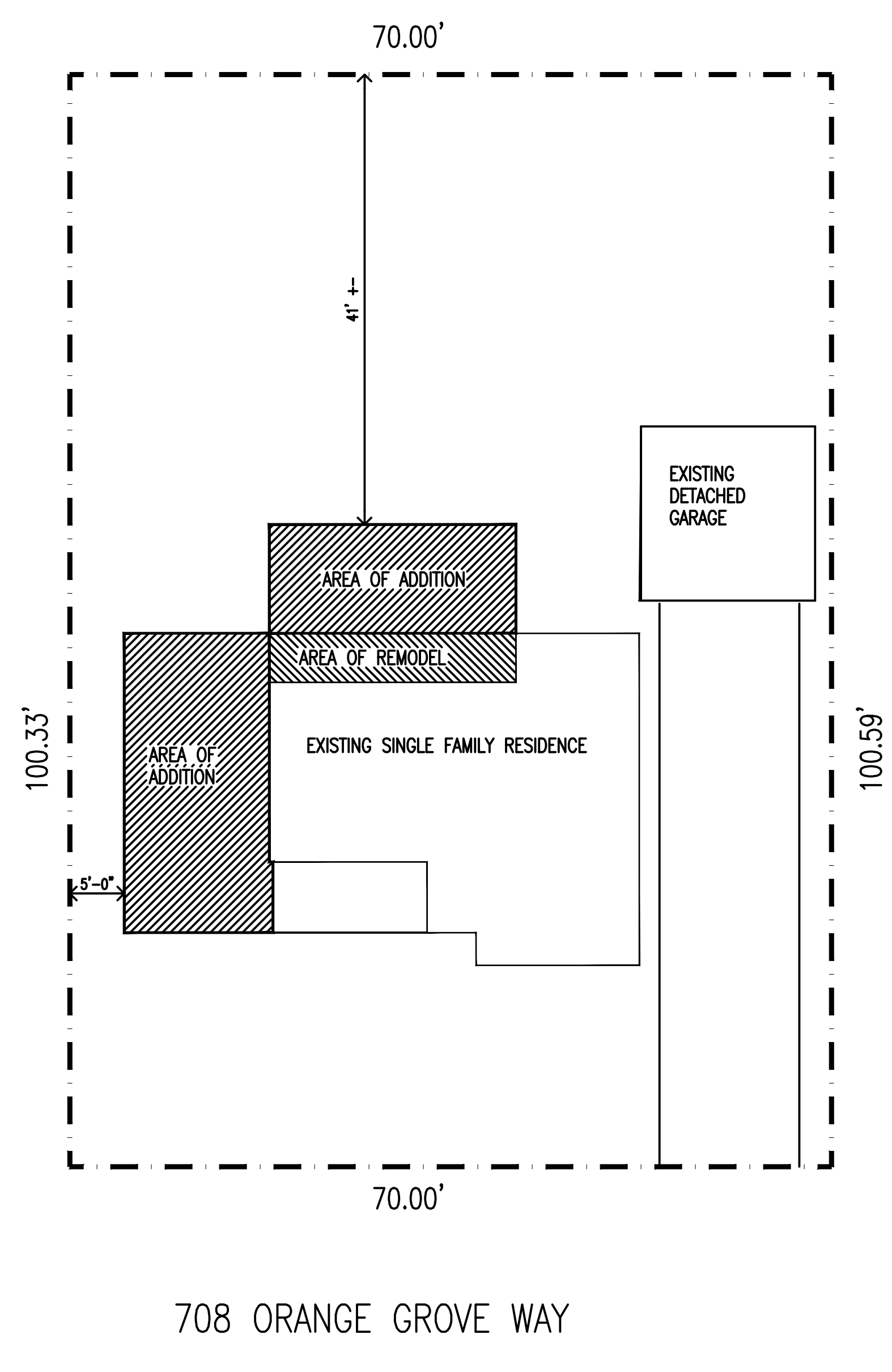
EXISTING HOUSE: 890 SQ. FT.
ADDITION: 596 SQ. FT

CODES: 2019 CBC, CEC, CMC, CPC, CALIFORNIA ENERGY CODE
THE CALIFORNIA RESIDENTIAL BUILDING CODE
THE 2019 CALIFORNIA GREEN BUILDING STANDARDS CODE (CGBS)
AND ALL OTHER HEALTH AND SAFETY CODES, ORDINANCES AND REQUIREMENTS ADOPTED BY THE GOVERNING AGENCIES.

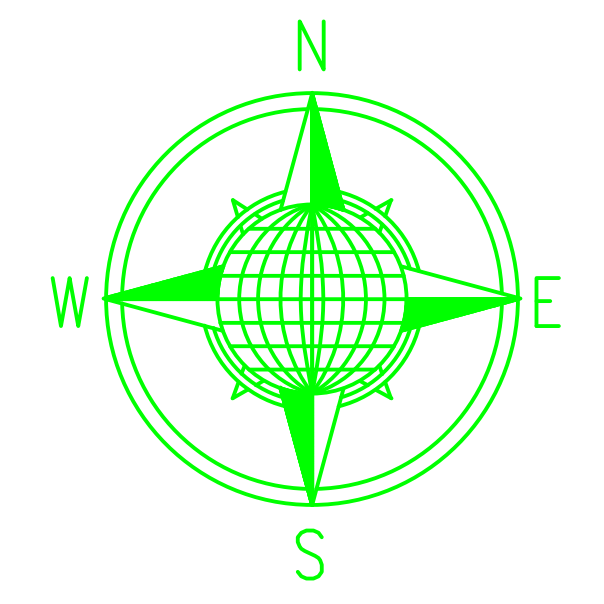
OCCUPANCY: R-3 = SINGLE FAMILY RESIDENCE, U = GARAGE
TYPE OF CONSTRUCTION: VB
FIRE SPRINKLED: NO

SCOPE OF WORK:

THE ADDITION OF A MASTER BEDROOM AND BATH AND A LAUNDRY ROOM AND THE ENLARGING OF THE EXISTING KITCHEN/DINING AREA. THE EXISTING HVAC WILL REMAIN.
A NEW ON DEMAND GAS WATER HEATER.



SITE PLAN
SCALE: 1" = 10'-0"



ROBERT BATES

CUSTOM HOMES
ADDITIONS
REMODELS

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(916) 521-6873

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PLANS FOR:
SARAH & KEVIN MILLER

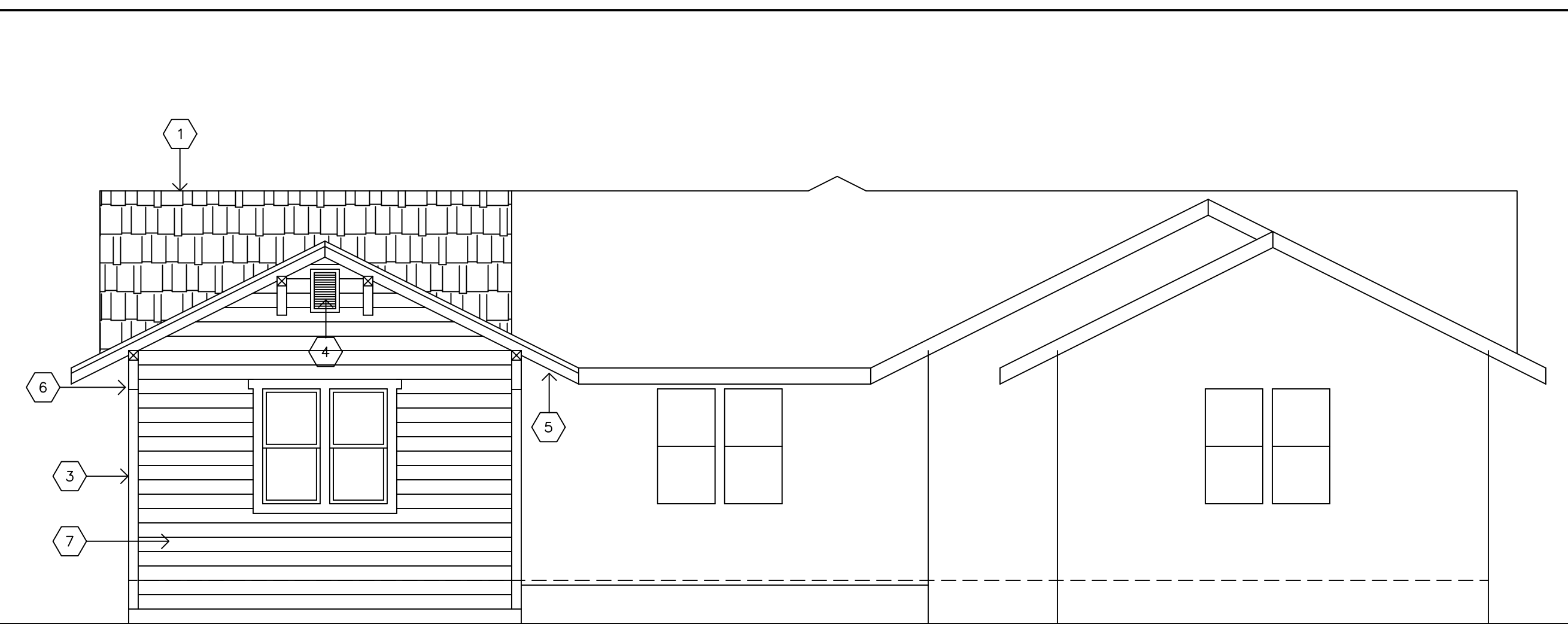
708 ORANGE GROVE WAY
FOLSOM, CALIFORNIA 95630
APN: 070-0191-005-0000

DATE: 2-17-2022
SCALE: NOTED
JOB NO:
SQ. FT. NOTED
DRAWN BY: RB
REV.

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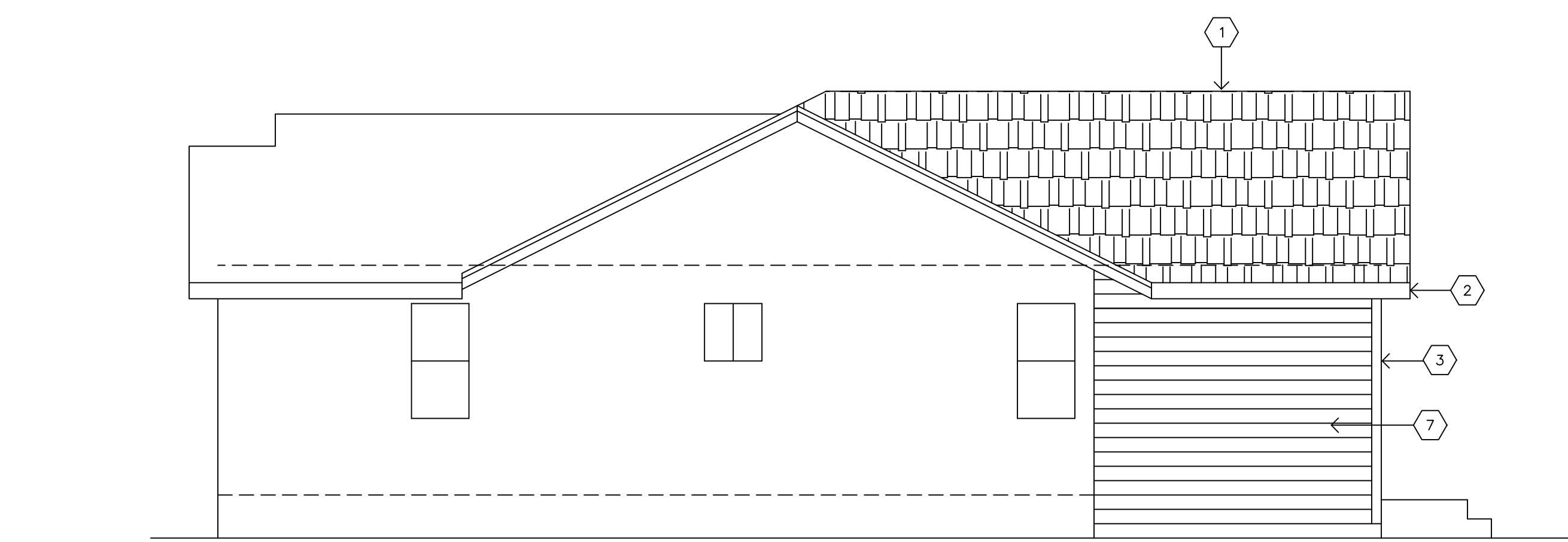
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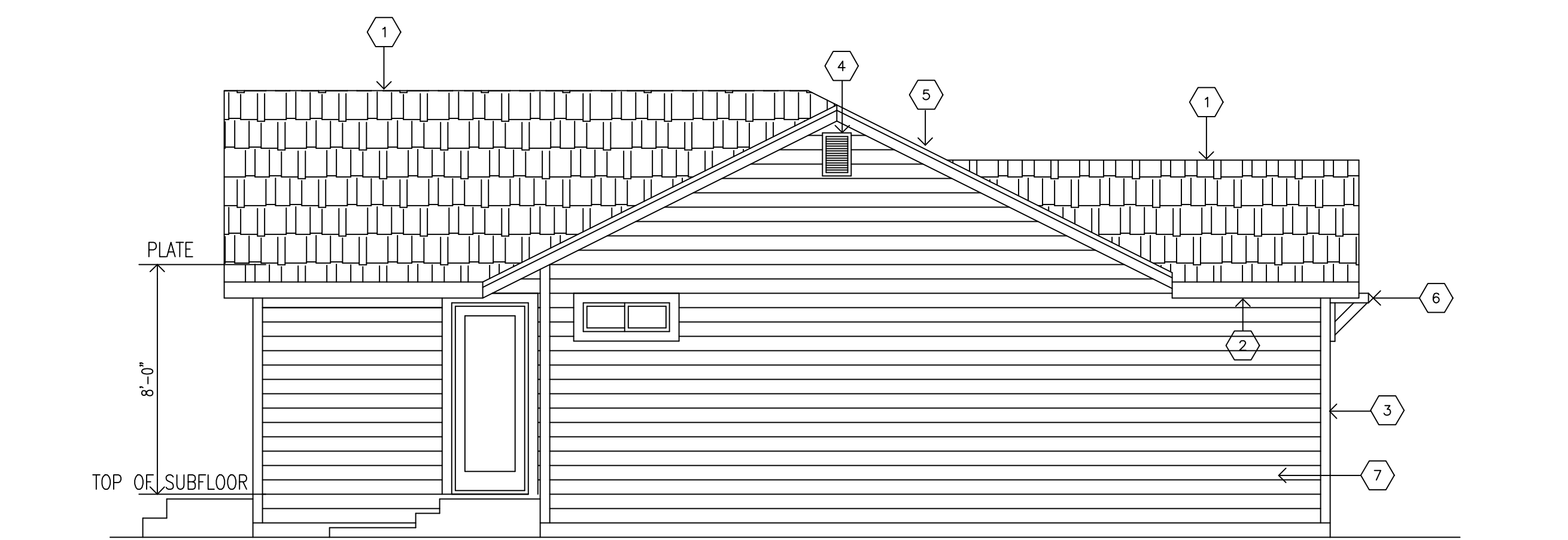
FRONT



REAR



RIGHT SIDE



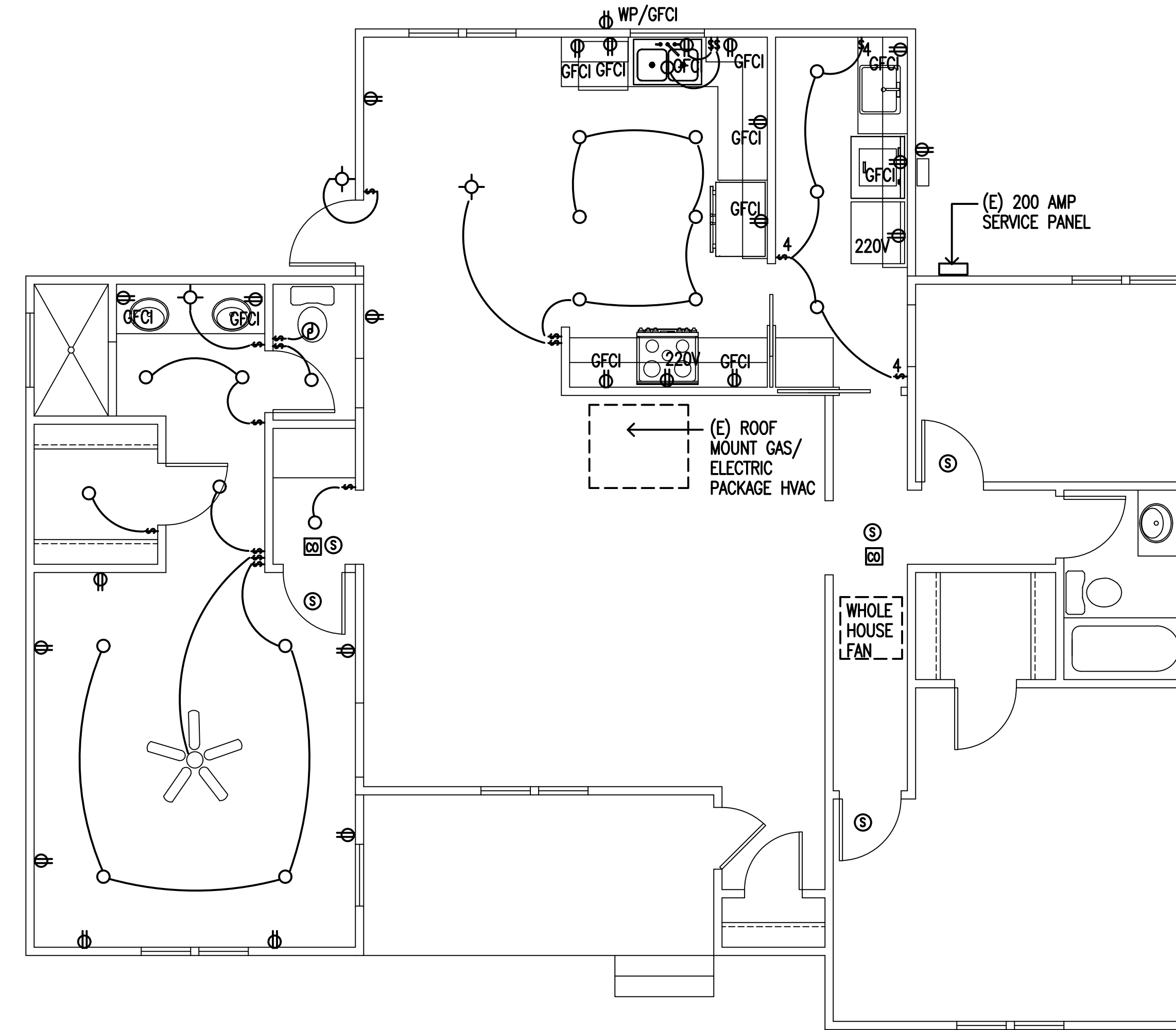
LEFT SIDE

EXTERIOR ELEVATIONS

SCALE: 1/4" = 1'-0"

ELEVATION NOTES:

- ① COMPOSITION SHINGLE ROOF INSTALLED PER MANUFACTURER'S SPECIFICATIONS.
 - ② FASCIA GUTTER AND DOWNSPOUTS.
 - ③ 2x4 TRIM
 - ④ 12"x18" METAL LOUVERED GABLE VENT
 - ⑤ 2x8 BARGE RAFTERS
 - ⑥ 4x4 CORBEL WITH KNEE BRACE
 - ⑦ 6" LAP SIDING
- COVER ALL EXTERIOR WALLS WITH 3/8" CDX STRUCT PLYWOOD OR OSB, NAIL WITH 8d's AT 6" O/C ALL PANEL EDGES, 12" O/C ALL FIELD CONTACTS UNLESS OTHERWISE NOTED. PLYWOOD SHALL RUN CONTINUOUS FROM TOP PLATE TO SOLE PLATE WITH ALL EDGES BLOCKED.



ELECTRICAL PLAN

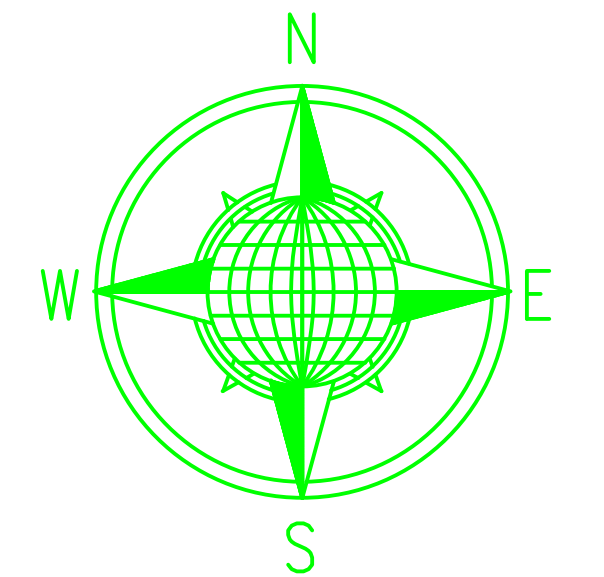
SCALE: 1/4" = 1'-0"

ELECTRICAL LEGEND

- = HIGH EFFICACY FLUORESCENT FIXTURE
- ⊖ = EXHAUST FAN
- ⊖ = SMOKE DETECTORS SHALL BE POWERED BY THE BUILDING WIRING WITH A BATTERY BACKUP. THE DETECTOR SHALL EMIT A SIGNAL WHEN THE BATTERY IS LOW. WIRING SHALL BE PERMANENT AND WITHOUT A DISCONNECT SWITCH OTHER THAN THOSE REQUIRED FOR OVER CURRENT PROTECTION. DETECTORS SHALL BE INSTALLED IN EACH SLEEPING ROOM AND AT A POINT CENTRALLY LOCATED IN THE CORRIDOR OR AREA GIVING ACCESS TO EACH SEPARATE SLEEPING AREA.
- ⊖ = CARBON MONOXIDE ALARMS SHALL BE POWERED BY THE BUILDING WIRING WITH A BATTERY BACKUP. THE ALARM SHALL EMIT A SIGNAL WHEN THE BATTERY IS LOW. WIRING SHALL BE PERMANENT AND WITHOUT A DISCONNECT SWITCH OTHER THAN THOSE REQUIRED FOR OVER CURRENT PROTECTION. ALARMS SHALL BE INSTALLED IN DWELLING UNITS WITH SLEEPING ROOMS AND FUEL BURNING APPLIANCES AND IN DWELLINGS WITH ATTACHED GARAGES.
- ⊖ = PADDLE FAN WITH LIGHT FIXTURE MIN. 7'-0" TO BLADES
- ⊖ = SURFACE MOUNT LIGHT FIXTURE
- ⊖ = RECESSED HIGH EFFICACY FIXTURE
- ⊖ = 110V DUPLEX OUTLET
- ⊖ = 220V OUTLET
- ⊖ = TELEVISION OUTLET
- ⊖ = TELEPHONE OUTLET
- ⊖ = 1-WAY SWITCH
- ⊖ = 3-WAY SWITCH
- ⊖ = RHEOSTAT (DIMMER)
- ⊖ = 220V OUTLET
- ⊖ = WEATHER PROOF
- ⊖ = GROUND FAULT CIRCUIT INTERRUPT

ELECTRICAL NOTES

1. ALL ELECTRICAL BOXES AT PADDLE FANS TO BE APPROVED FOR PADDLE FANS.
2. DRYER, OVEN AND RANGE UNITS TO HAVE CONDUCTOR WIRES WITH AN INSULATED NEUTRAL AND A FOUR PRONG OUTLET.
3. PROVIDE (2) SMALL APPLIANCE BRANCH CIRCUITS FOR THE KITCHEN WHICH ARE LIMITED TO SUPPLYING WALL AND COUNTER SPACE OUTLETS NOT THE REFRIGERATOR, DISPOSAL OR DISHWASHER.
4. PROVIDE A DEDICATED 20 AMP CIRCUIT TO SERVE THE REQUIRED BATHROOM OUTLETS WHICH DO NOT HAVE LIGHTING, EXHAUST FANS OR OTHER OUTLETS ON IT.
5. TAMPER-RESISTANT RECEPTACLES IN DWELLING UNITS, IN ALL AREAS SPECIFIED IN THE 2019 CEC ARTICLE 210.52, ALL 125V 15 AMP 20 AMP RECEPTACLES SHALL BE LISTED TAMPER-RESISTANT RECEPTACLES AS PER THE 2019 CEC ARTICLE 406.11.
6. ALL RECESSED LIGHT FIXTURES SHALL HAVE THERMAL PROTECTION AND BE SO IDENTIFIED. NEC 410-65.
7. ALL OUTLETS WITHIN 6'-0" OF SINKS AND ALL KITCHEN COUNTER TOP OUTLETS TO BE GFCI.
8. WHOLE HOUSE FAN



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PLANS FOR:

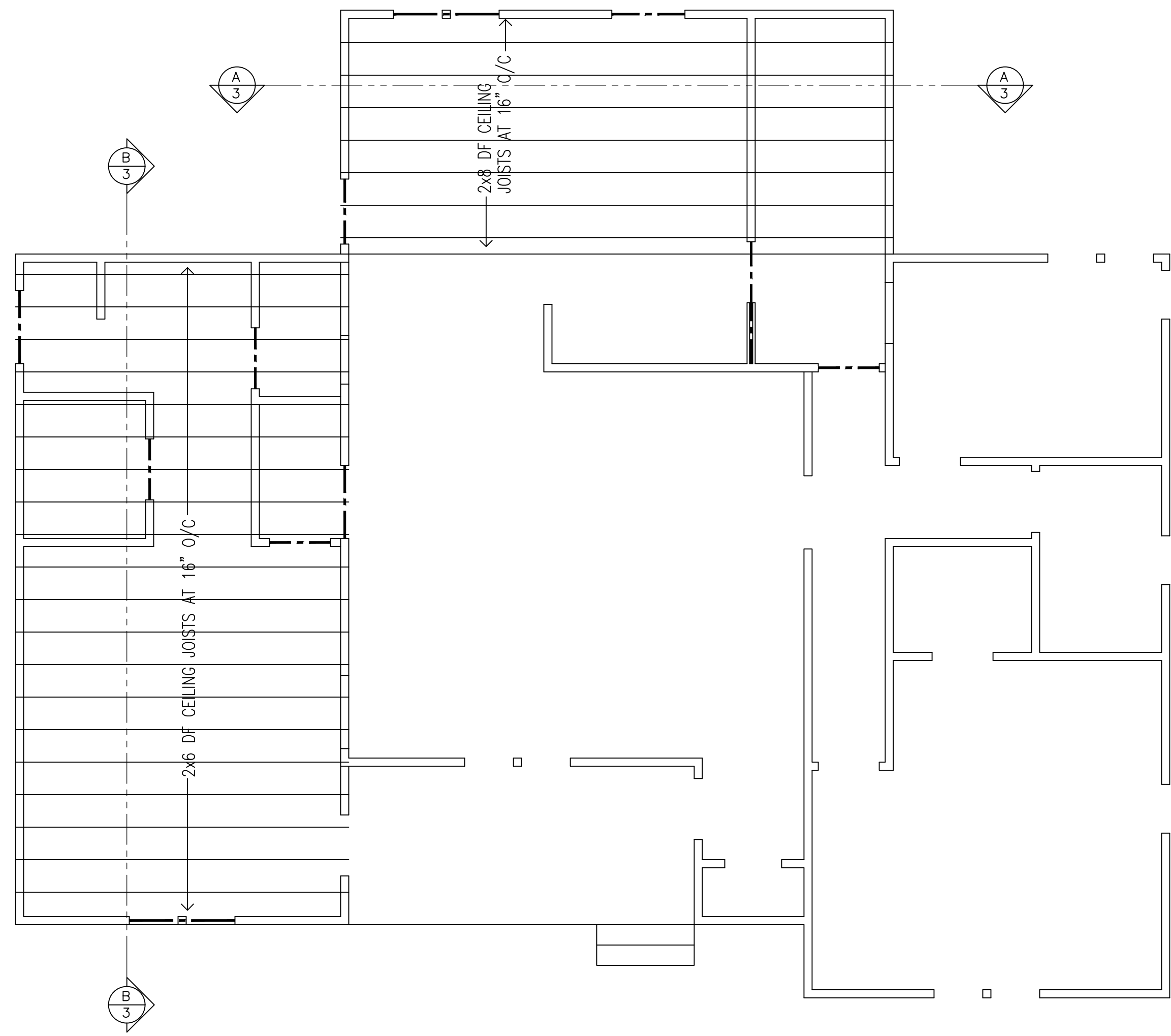
SARAH MILLER
708 ORANGE GROVE WAY
FOLSOM, CALIFORNIA 95630
APN: 070-0191-005-0000

DATE: 2-17-2022
SCALE: NOTED
JOB NO:
SQ. FT. NOTED
DRAWN BY: RB
REV.

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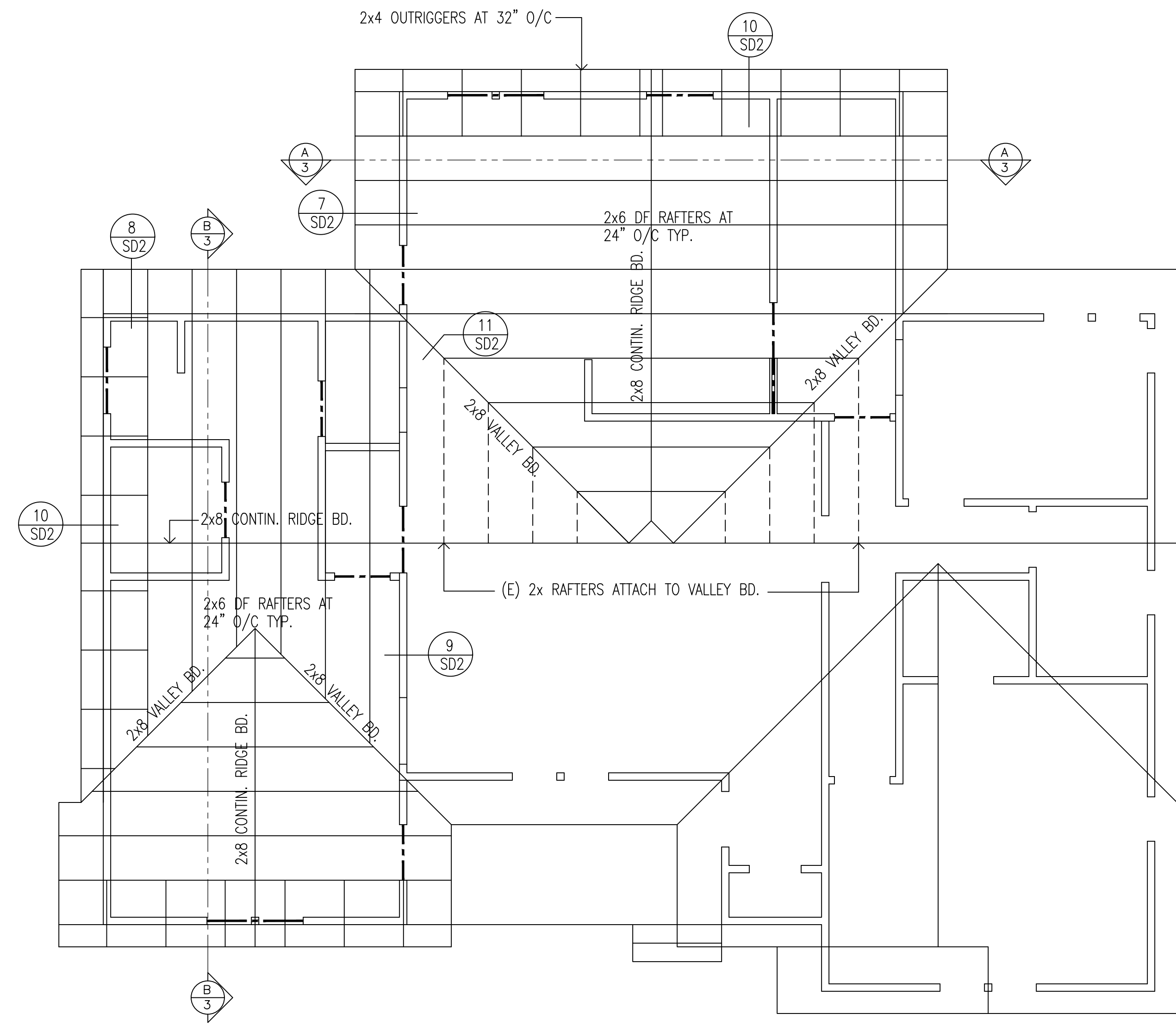
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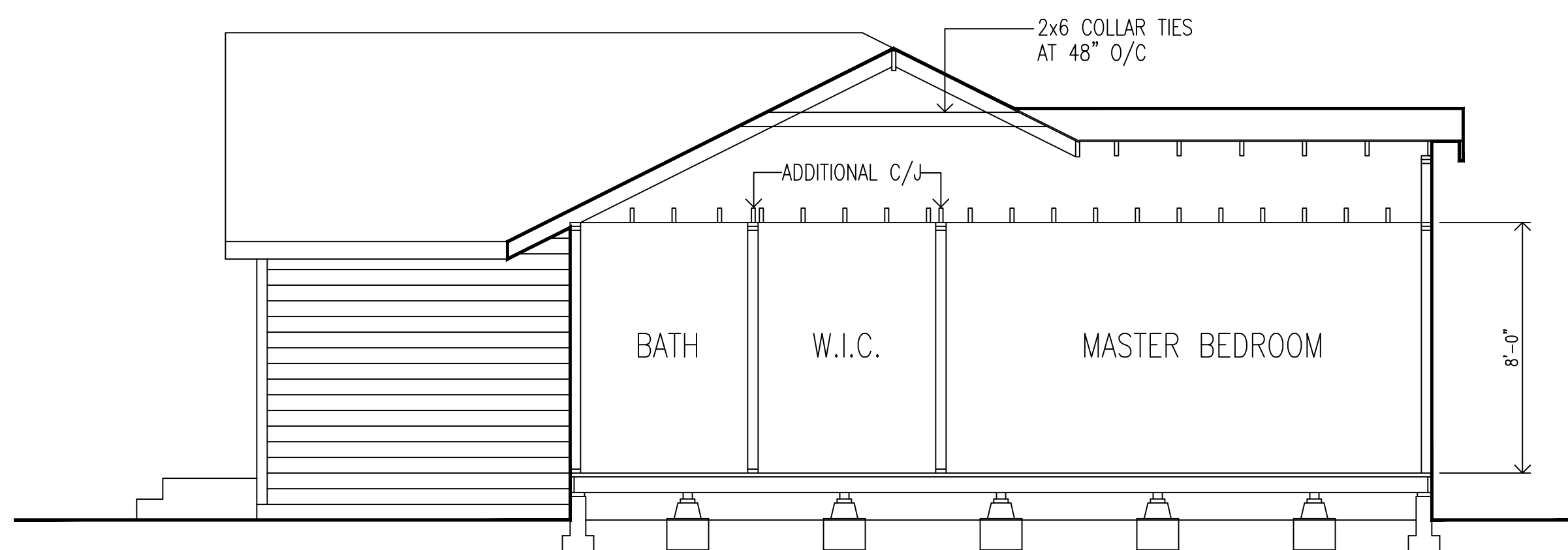
CEILING FRAMING PLAN

SCALE: 1/4" = 1'-0"

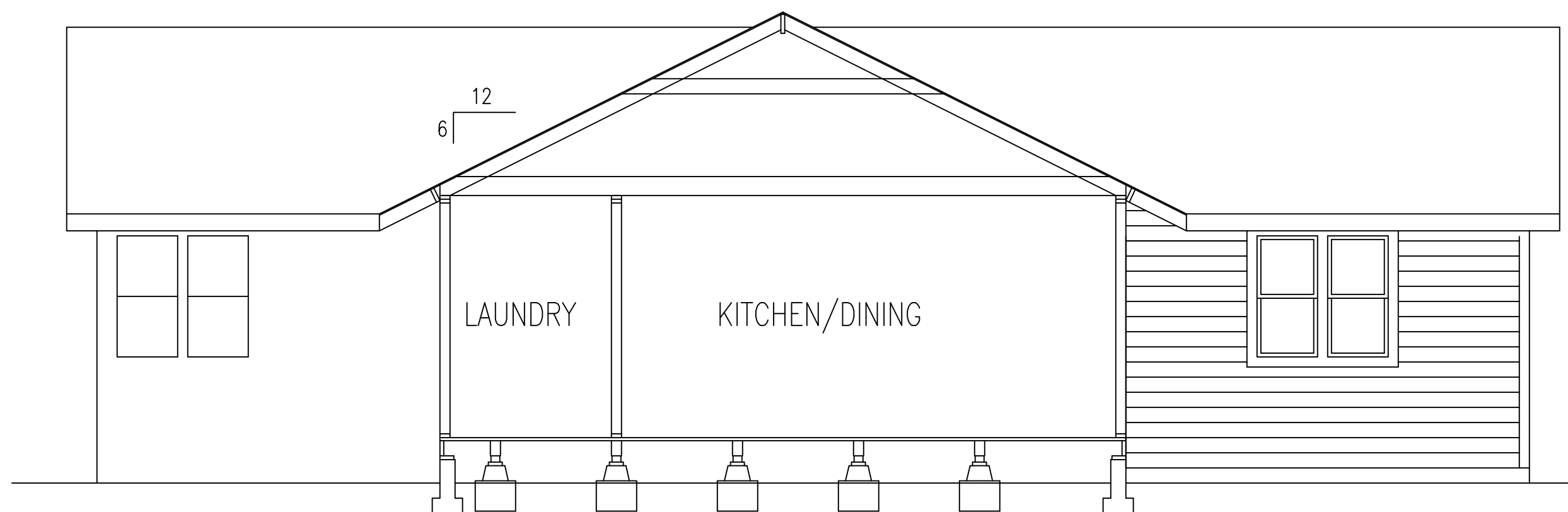


ROOF FRAMING PLAN

SCALE: 1/4" = 1'-0"



SECTION B



SECTION A

CROSS SECTIONS

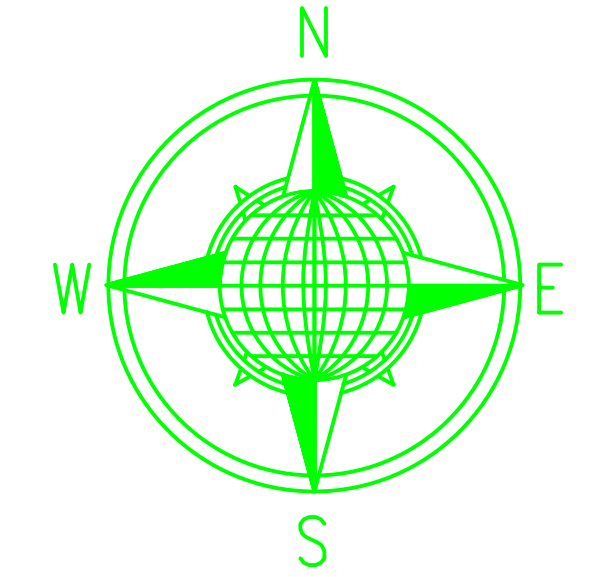
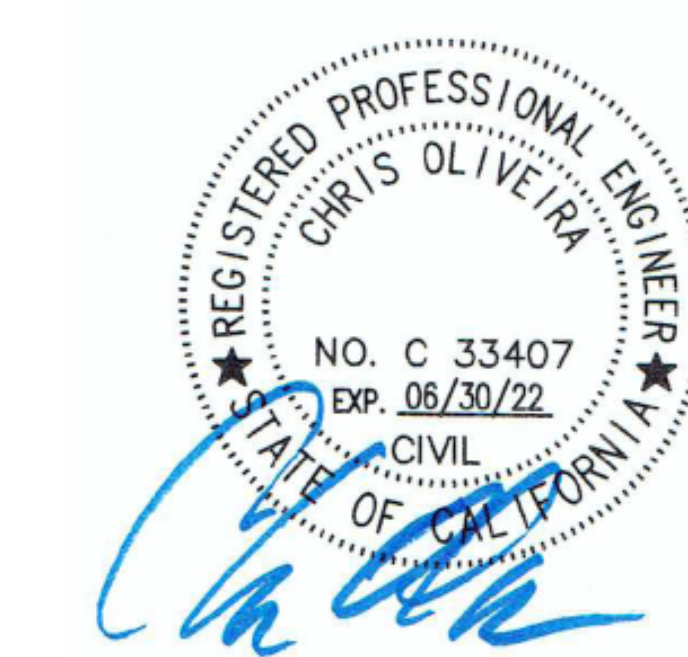
SCALE: 1/4" = 1'-0"

ROOF FRAMING NOTES:

- ⊙ CLASS A COMPOSITION SHINGLE ROOFING INSTALLED PER MANUFACTURERS SPEC'S.
- ⊙ 6 : 12 PITCH (MATCH EXISTING)
- ⊙ 24" OVERHANG AT ALL EAVES, 12" AT ALL GABLE ENDS. (MATCH EXISTING)
- ⊙ FRAME ALL ROOFS SHOWN WITH 2x RAFTERS PER PLAN.
- COVER ALL ROOF FRAMING WITH 1/2" CDX PLYWD. OR OSB ROOF SHEATHING, NAIL WITH 8d's AT 6" O/C ALL PANEL EDGES, 8d's AT 12" O/C ALL FIELD CONTACTS. PLACE PANELS AT RIGHT ANGLES TO SUPPORTS.
- ⊙ SEE SM1 FOR SPECIFICATIONS AND SCHEDULES.
- ⊙ USE SIMPSON H1 CLIPS AT ALL BEARING WALL TO RAFTER CONNECTIONS.

ATTIC VENTILATION

ATTIC AREA=596 SF/300=1.98 SF VENT AREA.
 0.99 NEAR RIDGE, 0.99 NEAR EAVES.
 4-3"x22" APPROVED EAVE VTS. AT .35SF=1.40 SF
 3-12"x18" APPROVED GABLE VTS. AT 0.50 SF=1.5 SF
 4-APPROVED DORMER VTS. AT .85SF=3.40 SF
 TOTAL 6.3 SF



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CUSTOM HOMES
 ADDITIONS
 REMODELS

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PLANS FOR:

SARAH MILLER
 708 ORANGE GROVE WAY
 FOLSOM, CALIFORNIA 95630
 APN: 070-0191-005-0000

DATE: 2-17-2022
 SCALE: NOTED
 JOB NO:
 SQ. FT. NOTED
 DRAWN BY: RB
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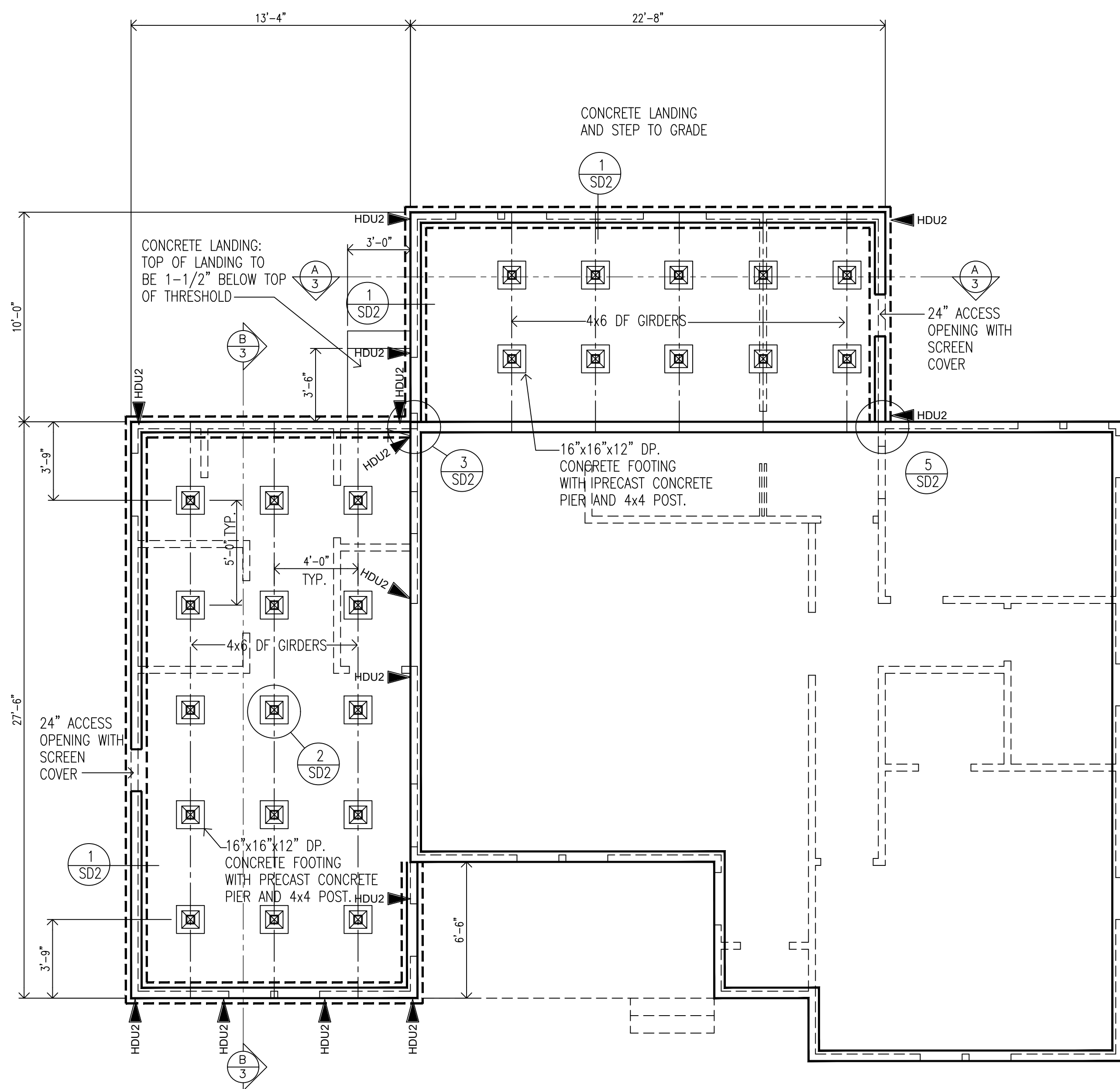
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HEADER SCHEDULE

LENGTH	SIZE	SUPPORT
2'-0"	6x6	SINGLE TRIMMER
3'-0"	6x8	SINGLE TRIMMER
4'-0"	6x10	SINGLE TRIMMER
5'-0"	6x12	DOUBLE TRIMMER
6'-0"	6x12	DOUBLE TRIMMER
7'-0"	AND LONGER SEE PLAN	

SHEET:

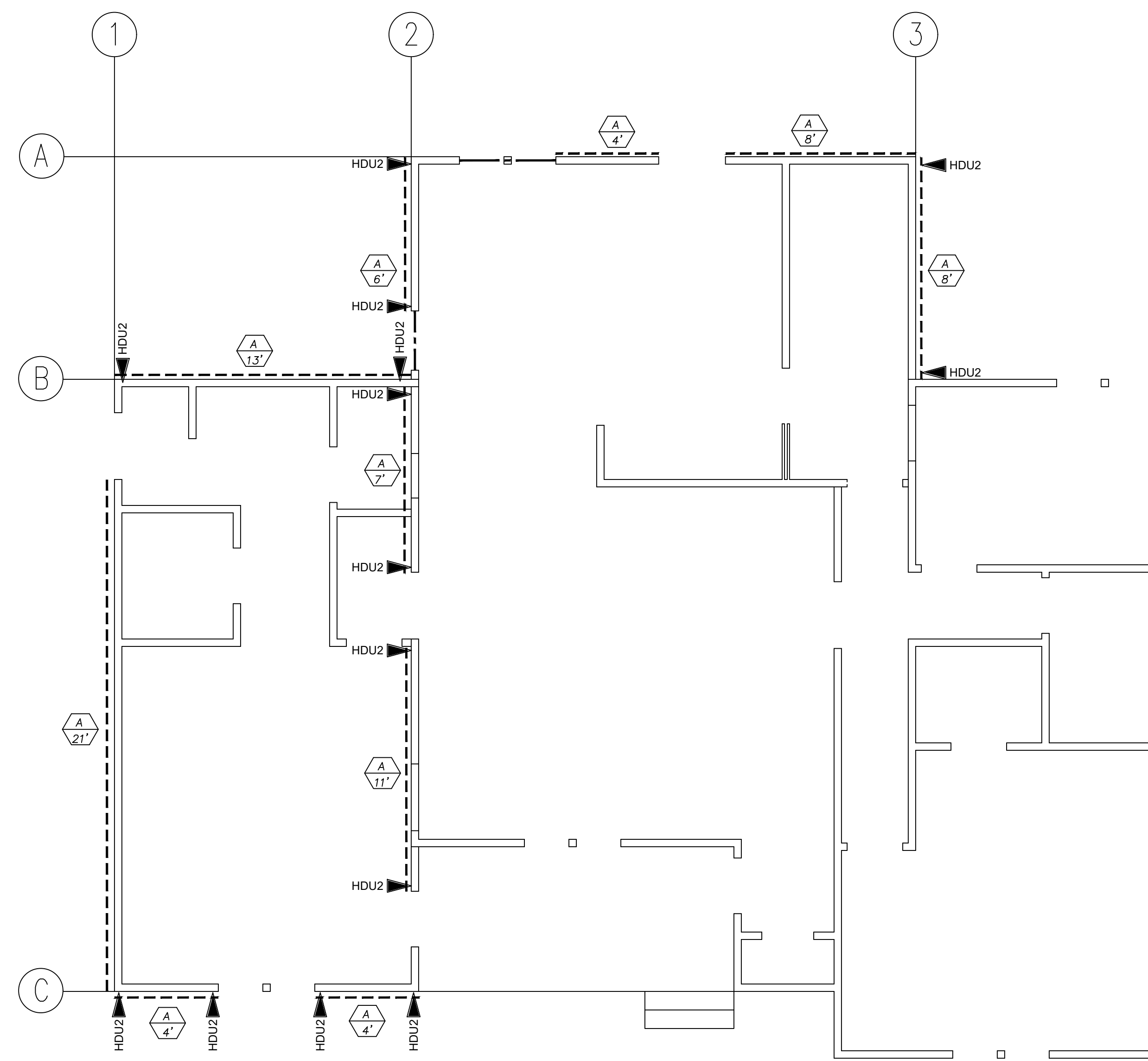
3



FOUNDATION NOTES	
1.	SEE ENGINEERS DRAWINGS FOR SHEAR WALL, HOLDOWN, ANCHOR BOLT & SILL PLATE, AND FOOTING SCHEDULES.
2.	DESIGN SOIL PRESSURE = 1500 PSF
3.	MIN. CONCRETE STRENGTH AT 28 DAYS TO BE 2500 PSI
4.	REINF. STEEL TO CONFORM TO ASTM A615-40
5.	DEPTH/THICKNESS OF FOOTING INDICATES MIN. DEPTH OF BOTTOM OF FOOTING BELOW NATURAL GRADE.

FOUNDATION PLAN

SCALE: 1/4" = 1'-0"

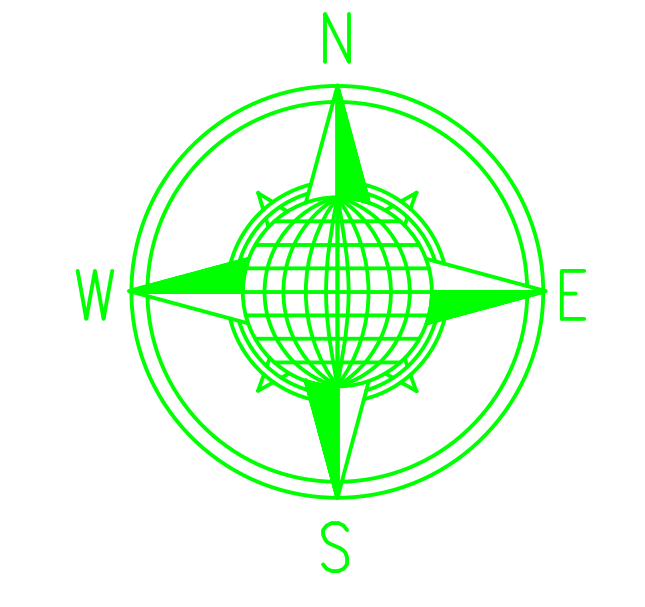
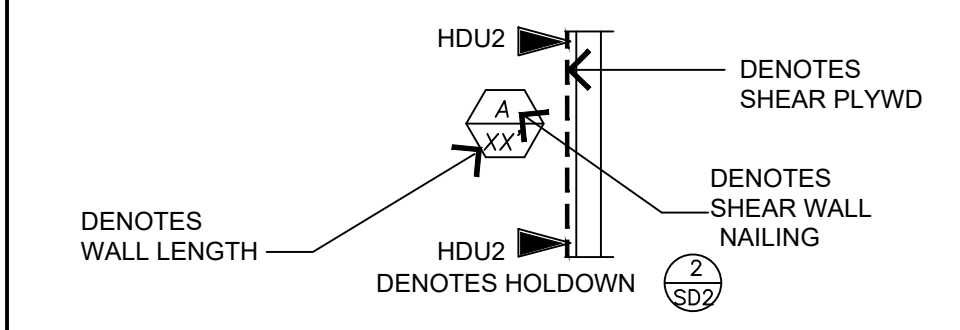


SHEAR FLOOR PLAN

SCALE: 1/4" = 1'-0"

SHEAR WALL SCHEDULE:

3/8" CDX PLYWOOD OR OSB
 NAILING: 8d's SPACED 6"oc AT EDGES, 12" O.C. AT FIELD
 5/8" diam. a.b. at 60" o.c. within shearwall
 3" X3" X1/4" PLATE WASHERS



ROBERT BATES

CUSTOM HOMES
 ADDITIONS
 REMODELS

1602 DANA WAY
 ROSEVILLE, CA 95661
 (916) 521-6873

ROBERTABATES@COMCAST.NET

PLANS FOR:
SARAH MILLER
 708 ORANGE GROVE WAY
 FOLSOM, CALIFORNIA 95630
 APN: 070-0191-005-0000

DATE:	2-17-2022
SCALE:	NOTED
JOB NO:	
SQ. FT.	NOTED
DRAWN BY:	RB
REV.	

THESE DRAWINGS HAVE BEEN PREPARED BASED UPON INFORMATION SUBMITTED IN PART BY OTHERS. WHILE THIS INFORMATION IS BELIEVED TO BE RELIABLE, ROBERT BATES IS NOT RESPONSIBLE FOR THE ACCURACY NOR FOR ERRORS OR OMISSIONS WHICH MAY HAVE BEEN INCORPORATED INTO THESE DOCUMENTS AS A RESULT.

SHEET:

4

Attachment 6 Site Photos









CITY OF
FOLSOM
DISTINCTIVE BY NATURE

AGENDA ITEM NO. 3
Type: Public Meeting
Date: July 20, 2022

Historic District Commission Staff Report

50 Natoma Street, Council Chambers
Folsom, CA 95630

Project: 402 Sutter Street Addition
File #: DRCL22-00146
Request: Design Review
Location: 402 Sutter Street
Parcel(s): 070-0063-012
Staff Contact: Brianna Gustafson, Associate Planner, 916-461-6238
bgustafson@folsom.ca.us

Property Owner/Applicant

Name: Kale Elledge
Address: 402 Sutter Street
Folsom, CA 95630

Recommendation: Conduct a public meeting, and upon conclusion recommend approval of an application for Design Review to convert 469 square feet of a basement and 160 square feet of an existing rear yard covered porch into habitable space on an existing 1,905-square-foot residence located at 402 Sutter Street as illustrated on Attachment 5 for the 402 Sutter Street Addition project (PN20-266) based on the findings included in this report (Findings A-H) and subject to the attached conditions of approval (Conditions 1-11).

Project Summary: The proposed project was previously approved by the Historic District Commission on February 3, 2021 (PN20-266) for converting 469 square feet of a basement and 160 square feet of an existing covered porch into habitable space on an existing 1,905-square-foot residence located at 402 Sutter Street. The conditions of approval stated that the approval was in effect for one year from the final date of approval and failure to obtain the relevant building permit with the time, without an extension, would result in termination of the approval. The building permit was not obtained within that time period. Therefore, the applicant must reapply for approval for the residential addition. The residence is not historically significant, and the property is located within the Figueroa Subarea of the Historic Residential Primary Area of the Historic District.

Table of Contents:

- 1 - Description/Analysis
- 2 - Background
- 3 - Proposed Conditions of Approval



CITY OF
FOLSOM
DISTINCTIVE BY NATURE

AGENDA ITEM NO. 3
Type: Public Meeting
Date: July 20, 2022

- 4 - Vicinity Map
- 5 - Site Plan, Floor Plans and Elevations dated November 15, 2020
- 6 - Site Photos
- 7 - Previously Approved Staff Report (PN20-266)

Submitted,

PAM JOHNS
Community Development Director

ATTACHMENT 1 DESCRIPTION/ANALYSIS

APPLICANT'S PROPOSAL

The applicant, Kale Elledge, is proposing to convert 469 square feet of a basement and 160 square feet of an existing rear yard covered porch into habitable space on an existing 1,905-square-foot single-family residence located at 402 Sutter Street. The addition consists of a master suite within the existing floor area and a bathroom extended beyond the existing residence's footprint under the existing main level. The applicant proposed to add windows and doors to the lower level and remove a window and door on the rear elevation. Exterior colors and materials are proposed to match those of the existing residence. The property is located within the Figueroa Subarea of the Historic Residential Primary Area of the Historic District.

The proposed project had been approved previously by the Historic District Commission on February 3, 2021 (PN20-266), shown in Attachment 7, but the conditions of approval stated that the approval for the addition was in effect for one year from final date of approval and failure to obtain the relevant building permit within the time, without subsequent extension of the approval, would result in termination. The approval has since expired, and the applicant is now reapplying for approval of the residential additions to the building.

POLICY/RULE

Section 17.52.300 of the Folsom Municipal Code states that the Historic District Commission shall have final authority relating to the design and architecture of all exterior renovations, remodeling, modification, addition or demolition of existing structures within the Historic District.

ANALYSIS

General Plan and Zoning Consistency

The General Plan land use designation for the project site is SFHD (Single-Family, High Density), and the zoning designation for the project site is R-1-M (Single-Family Dwelling, Small Lot District), within the Figueroa Subarea of the Historic Residential Primary Area. Single-family residences are allowed by right in this zone and subarea.

Section 17.52.540 of the Folsom Municipal Code institutes requirements for lot size, lot width, setbacks, pervious surface, and building height in the Historic Residential Primary Area. The following table shows how the existing residence and the proposed addition relates to the FMC zoning requirements:

	REQUIRED	PROPOSED
Minimum Lot Size	7,000 SF	7,021 SF (existing)
Minimum Lot Width	50 Feet	50 Feet (existing)
Front Setback	20 Feet	14 Feet (existing)
Rear Setback	20 Feet	66 Feet (addition)
Side Setback	5 Feet (Interior), 10 Feet (Street Side)	15 Feet (Interior) and 10 Feet (Street Side)
Minimum Pervious Surface	45%	56% (proposed)
Parking Requirement	2 Parking Spaces	4 Parking Spaces
Maximum Building Height	35 Feet	30 Feet (existing)
Structure Separation	10 Feet	>10 Feet

As shown in the above table (and on the site plan in Attachment 5), the existing residence currently sits 14 feet from the front property line, which puts the existing residence within the required 20-foot front setback. While this portion of the existing residence does not meet current setbacks, no expansion of the existing residence within the non-conforming area is proposed as part of the project. The existing residence is considered existing non-conforming to the front setback, but because the structure was legally constructed in 1935 prior to those setback standards being in-place, it may therefore continue in its current condition per FMC Section 17.52.690(B). The applicant would not be increasing the non-conformity, as the proposed building modifications are meeting all current setbacks. Finally, staff has provided Condition No. 6, which ensures that all existing walls located within current setbacks remain standing during construction activities, and that if any walls not conforming to current setbacks are torn down during construction that they be replaced by walls that meet current setbacks, subject to approval by the Historic District Commission.

Building Design/Architecture

The design guidelines established within the Historic District Design and Development Guidelines (DDGs) also apply to this project. The property is located within the Figueroa Subarea of the Historic Residential Primary Area of the Historic District. The Historic District Design and Development Guidelines (DDGs) Chapter 5.04.03a, which addresses the design concepts for the Figueroa Subarea, state that the design concept for the Figueroa Subarea is to maintain existing pre-1910 structures and encourage restoration, reconstruction and new construction of pre-1910 styles, especially those previously existing in Folsom. Property owners are encouraged to maintain historic authenticity within the private areas of their property but are not required to do so except as may be necessary to maintain a National Register or similar listing. The existing residence was built in 1935 and has white horizontal siding with brown shake siding under the roof eaves and on the basement walls, with grey asphalt shingle roofing. It is not included on the City of Folsom Cultural Resources Inventory.

The DDG's state that exterior materials and finishes should be of residential grade, durable and of high quality and should include details appropriate for design period of the

Subarea and building style. The proposed addition consists of converting 469 square feet of a basement and 160 square feet of an existing covered porch into habitable space on the existing residence. The addition will match the colors, materials and architecture of the existing residence, including wood shake siding colored brown and window and door trim to match the existing level of detail. The new windows proposed on the addition/converted area are primarily vertically-oriented with one horizontally-oriented window on the rear elevation. Under the proposed design, the residence's windows will continue to be primarily vertically oriented, consistent with DDG guidelines.

Staff has determined that the overall design, colors, materials, and layout of the proposed project are consistent with the design and development guidelines for the Figueroa Subarea of the Historic Residential Primary Area. Staff has concluded that the applicant has met the design standards identified in the DDG's.

PUBLIC COMMENTS

A public notice was posted on the project site five days prior to the Historic District Commission meeting of July 20, 2022 that met the requirements of the FMC Section 17.52.320. The reapplied application was also routed to the Folsom Heritage Preservation League and Historic Folsom Residents Association. Staff did not receive any comments from these organizations relative to the proposed project as of the publication of this staff report.

ENVIRONMENTAL REVIEW

The project is categorically exempt under Section 15301 (Existing Facilities) of the California Environmental Quality Act (CEQA) Guidelines. Based on staff's analysis of this project, none of the exceptions in Section 15300.2 of the CEQA Guidelines apply to the use of the categorical exemption in this case.

RECOMMENDATION

Staff recommends that the Historic District Commission approve the proposed project, based on the findings below and subject to the attached conditions of approval.

HISTORIC DISTRICT COMMISSION ACTION

Move to approve the application (DRCL22-00146) for Design Review to convert 469 square feet of a basement and 160 square feet of an existing covered porch into habitable space on an existing 1,905-square-foot residence located at 402 Sutter Street, as illustrated on Attachment 5 for the 402 Sutter Street Addition project, based on the findings included in this report (Findings A-H) and subject to the attached conditions of approval (Conditions 1-11).

GENERAL FINDINGS

- A. NOTICE OF PUBLIC MEETING HAS BEEN GIVEN AT THE TIME AND IN THE MANNER REQUIRED BY STATE LAW AND CITY CODE.
- B. THE PROJECT IS CONSISTENT WITH THE GENERAL PLAN AND ZONING CODE OF THE CITY.

CEQA FINDINGS

- C. THE PROJECT IS CATEGORICALLY EXEMPT FROM ENVIRONMENTAL REVIEW UNDER SECTION 15301 (EXISTING FACILITIES) OF THE CALIFORNIA ENVIRONMENTAL QUALITY ACT (CEQA) GUIDELINES.
- D. THE CUMULATIVE IMPACT OF SUCCESSIVE PROJECTS OF THE SAME TYPE IN THE SAME PLACE, OVER TIME IS NOT SIGNIFICANT IN THIS CASE.
- E. NO UNUSUAL CIRCUMSTANCES EXIST TO DISTINGUISH THE PROPOSED PROJECT FROM OTHERS IN THE EXEMPT CLASS.
- F. THE PROPOSED PROJECT WILL NOT CAUSE A SUBSTANTIAL ADVERSE CHANGE IN THE SIGNIFICANCE OF A HISTORICAL RESOURCE.

DESIGN REVIEW FINDINGS

- G. THE BUILDING MATERIALS, TEXTURES AND COLORS USED IN THE PROPOSED PROJECT ARE COMPATIBLE WITH SURROUNDING DEVELOPMENT AND ARE CONSISTENT WITH THE GENERAL DESIGN THEME OF THE NEIGHBORHOOD.
- H. THE PROPOSED PROJECT IS IN CONFORMANCE WITH THE HISTORIC DISTRICT DESIGN AND DEVELOPMENT GUIDELINES ADOPTED BY CITY COUNCIL.

ATTACHMENT 2 BACKGROUND

Sacramento County records indicate that the 1,905 square-foot, two-story residence located at 402 Sutter Street was first constructed in 1935. The residence features white horizontal siding with brown shake siding under the roof eaves and on the basement walls. Photographs of the existing residence are included here as Attachment 6. The property does not appear on the City of Folsom's Cultural Resources Inventory. The subject property is located in the Figueroa Subarea of the Historic Residential Primary Area of the Historic District, with an underlying zoning of R-1-M (Single Family Residential- Small Lot District). The applicant previously obtained Design Review approval from the Historic District Commission on February 3, 2021 (PN20-266), but the approval has since expired.

GENERAL PLAN DESIGNATION

SFHD, Single-Family, High Density

ZONING

FIG, Figueroa Subarea of the Historic Residential Primary Area, with an underlying zoning of R-1-M (Single Family Residential- Small Lot District)

ADJACENT LAND USES/ZONING

North: Leidesdorff Street/Sutter Street alley with single-family residences beyond (CEN)
South: Sutter Street with single-family residences beyond (FIG)
East: Coloma Street with existing single-family reg residences (FIG)
West: Existing single-family residences (FIG)

SITE CHARACTERISTICS

The 7,021-square-foot project site contains an existing residence, a detached garage and landscaping.

APPLICABLE CODES

FMC Chapter 17.52 HD, Historic District
FMC Section 17.52.300, Design Review
FMC Section 17.52.330, Plan Evaluation
FMC Section 17.52.340, Approval Process
FMC Section 17.52.540, Historic Residential Primary Area Special Use and Design Standards
Historic District Design and Development Guidelines

ATTACHMENT 3

Proposed Conditions of Approval

**CONDITIONS OF APPROVAL FOR
 402 SUTTER STREET ADDITION DESIGN REVIEW
 (DRCL22-00146)**

Cond. No.	Mitigation Measure	GENERAL REQUIREMENTS	When Required	Responsible Department
1.		Issuance of a Building Permit is required. The applicant shall submit final site and building plans to the Community Development Department that substantially conform to the site plan, building elevations, and floor plans dated November 15, 2020, included in Attachment 5. Implementation of this project shall be consistent with the above referenced items as modified by these conditions of approval.	B	CD (B)
2.		Compliance with all local, state and federal regulations pertaining to building construction is required.	OG	CD (B)
3.		This approval is for the conversion of 469 square feet of a basement and 160 square feet of an existing covered porch into habitable space on an existing 1,905-square-foot single-family residence located at 402 Sutter Street. The applicant shall submit building plans that comply with this approval and the attached site plan, floor plans and building elevations dated November 15, 2020.	B	CD (P)
4.		If any archaeological, cultural, or historical resources or artifacts, or other features are discovered during the course of construction anywhere on the project site, work shall be suspended in that location until a qualified professional archaeologist assesses the significance of the discovery and provides recommendations to the City. The City shall determine and require implementation of the appropriate mitigation as recommended by the consulting archaeologist. The City may also consult with individuals that meet the Secretary of the Interior’s Professional Qualifications Standards before implementation of any recommendation. If agreement cannot be reached between the project applicant and the City, the Historic District Commission shall determine the appropriate implementation method.	G, I, B	CD (P)(E)(B)
5.		In the event human remains are discovered, California Health and Safety Code Section 7050.5 states that no further disturbance shall occur until the county coroner has made the necessary findings as to the origin and disposition pursuant to Public Resources Code 5097.98. If the coroner determines that no investigation of the cause of death is required and if the remains are of Native American Origin, the coroner will notify the Native American Heritage Commission, which in turn will inform a most likely decedent. The decedent will then recommend to the landowner or landowner’s representative appropriate disposition of the remains and any grave goods.	G, I, B	CD (P)(E)(B)

6.		All walls on portions of the existing structure within current setbacks shall remain standing for the duration of project construction activities. If existing walls located within a current setback are removed at any point during construction, new construction of those walls shall be moved to meet current setbacks and will be subject to approval by the Historic District Commission.	DC	CD (P) (B)
7.		The project approval granted under this staff report shall remain in effect for one year from final date of approval (July 20, 2023). Failure to obtain the relevant building, demolition, or other permits within this time period, without the subsequent extension of this approval, shall result in the termination of this approval.	B	CD (P)
8.		<p>The owner/applicant shall defend, indemnify, and hold harmless the City and its agents, officers and employees from any claim, action or proceeding against the City or its agents, officers or employees to attack, set aside, void, or annul any approval by the City or any of its agencies, departments, commissions, agents, officers, employees, or legislative body concerning the project. The City will promptly notify the owner/applicant of any such claim, action or proceeding, and will cooperate fully in the defense. The City may, within its unlimited discretion, participate in the defense of any such claim, action or proceeding if both of the following occur:</p> <ul style="list-style-type: none"> • The City bears its own attorney’s fees and costs; and • The City defends the claim, action or proceeding in good faith <p>The owner/applicant shall not be required to pay or perform any settlement of such claim, action or proceeding unless the settlement is approved by the owner/applicant.</p>	OG	CD (P)(E)(B) PW, PR, FD, PD
9.		The owner/applicant shall pay all applicable taxes, fees and charges at the rate and amount in effect at the time such taxes, fees and charges become due and payable.	B	CD (P)(E)
10.		The City, at its sole discretion, may utilize the services of outside legal counsel to assist in the implementation of this project, including, but not limited to, drafting, reviewing and/or revising agreements and/or other documentation for the project. If the City utilizes the services of such outside legal counsel, the applicant shall reimburse the City for all outside legal fees and costs incurred by the City for such services. The applicant may be required, at the sole discretion of the City Attorney, to submit a deposit to the City for these services prior to initiation of the services. The applicant shall be responsible for reimbursement to the City for the services regardless of whether a deposit is required.	B	CD (P)(E)
11.		If the City utilizes the services of consultants to prepare special studies or provide specialized design review or inspection services for the project, the applicant shall reimburse the City for actual costs it incurs in utilizing these services, including administrative costs for City personnel. A deposit for these services shall be provided prior to initiating review of the Final Map, improvement plans, or beginning inspection, whichever is applicable.	B	CD (P)(E)

RESPONSIBLE DEPARTMENT		WHEN REQUIRED	
CD (P) (E) (B) (F)	Community Development Department Planning Division Engineering Division Building Division Fire Division	I	Prior to approval of Improvement Plans
		M	Prior to approval of Final Map
		B	Prior to issuance of first Building Permit
		O	Prior to approval of Occupancy Permit
		G	Prior to issuance of Grading Permit
PW	Public Works Department	DC	During construction
PR	Park and Recreation Department	OG	On-going requirement
PD	Police Department		

Attachment 4 Vicinity Map

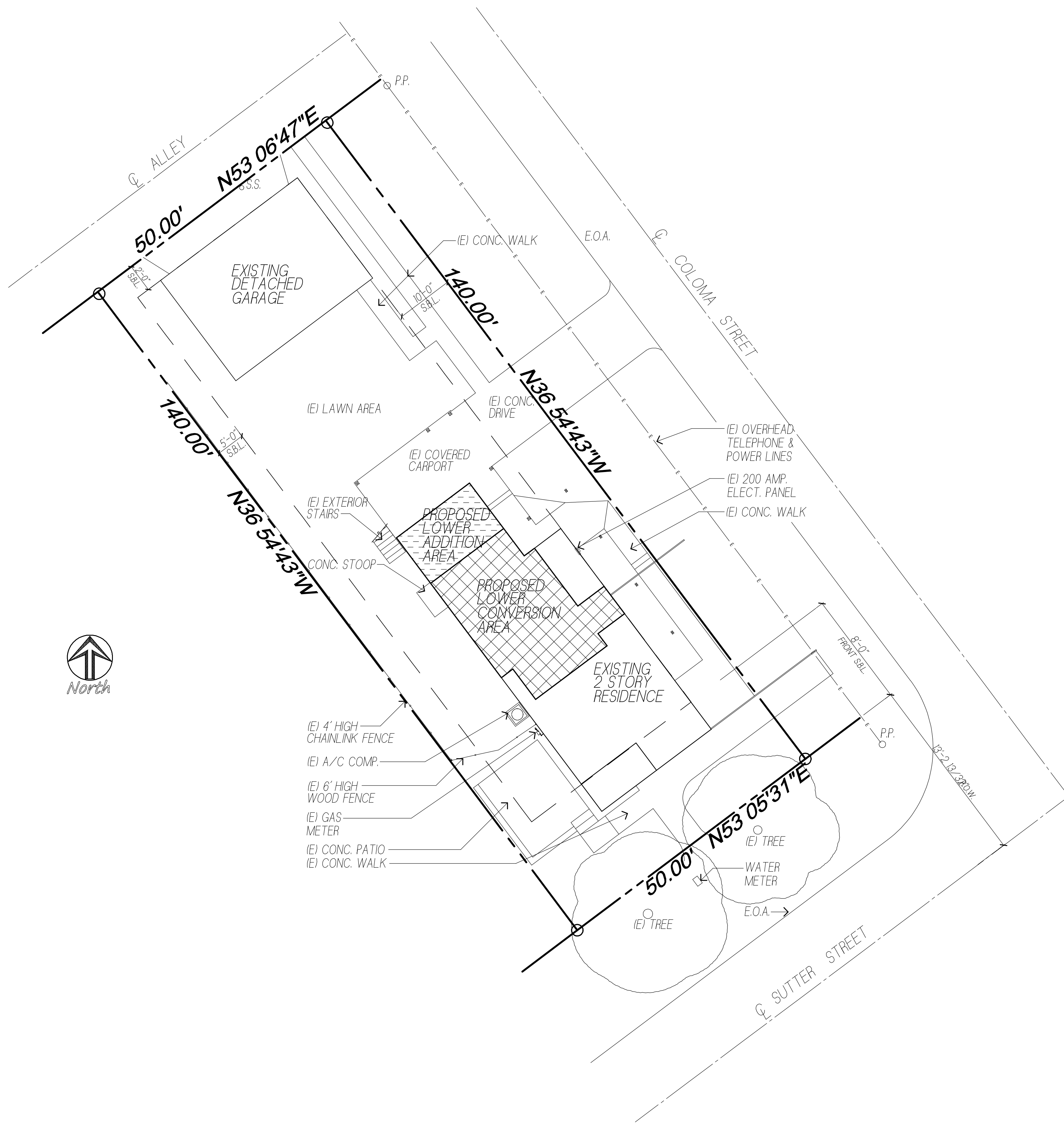


Attachment 5
Site Plan, Floor Plans and Elevations, dated
November 11, 2020

ADDITION PLANS FOR:

402 SUTTER STREET

CITY OF FOLSOM, CA. A.P.N. 070-0063-012-0000



PROJECT DATA:

ZONING: R-1-M
 OCCUPANCY: GROUP R-3
 TYPE OF CONSTRUCTION: V-B
 GENERAL PLAN DESIGNATION: SINGLE FAMILY DWELLING (SF)
 FIRE SPRINKLERS: NOT REQUIRED-EXISTING BUILDING IS CONTAINING NON-FIRE SPRINKLERS

ABBREVIATIONS:

A/C	AIR CONDITIONING	MIN	MINIMUM
ABV	ABOVE	MISC	MISCELLANEOUS
ACCS	ACCESS	NO	NUMBER
AMP	AMPERE	NTS	NOT TO SCALE
APN	ASSESSOR PARCEL NUMBER	OC	ON CENTER
APPROX	APPROXIMATELY	OH	OVER HANG
BC	BASE CABINET	OPNG	OPENING
BLDG	BUILDING	OSA	OUTSIDE AIR
CAB(S)	CABINET(S)	PKT	POCKET
CL	CENTER LINE	PL	PROPERTY LINE
CLG	CEILING	PP	POWER POLE
CLR	CLEAR	PR	PAIR
COL	COLUMN	PT	PRESSURE TREATED
COMBO	COMBINATION	PUE	PUBLIC UTILITY EASEMENT
CONC	CONCRETE	PWDR	POWDER
COVR'D	COVERED	REF	REFRIGERATOR
DBL	DOUBLE	REQ	REQUIRED
DEPT	DEPARTMENT	RET	RETAINING
DF	DOUGLAS FIR	ROW	RIGHT OF WAY
DN	DOWN	S & P	SHELF & POLE
DP	DEEP	SBL	SETBACK LINE
DRS	DOORS	SHLVS	SHELVES
DRY	DRYER	SFCG	SPACING
DSPSL	DISPOSAL	SC	SOLID CORE
DW	DISH WASHER	SH	SINGLE HUNG
EA	EACH	SLF CLS	SELF CLOSE
ELECT	ELECTRICAL	SIM	SIMILAR
ENCLS	ENCLOSURE	SPECS	SPECIFICATIONS
E.O.A	EDGE OF ASPHALT	SQ FT	SQUARE FOOT (FEET)
(E)	EXISTING	SS	SEWER SERVICE
EXIST	EXISTING	STNDG	STANDING
FF	FINISHED FLOOR	TC	TRASH COMPACTOR
FP	FIREPLACE	TMP	TEMPERED
FXD	FIXED	TYP	TYPICAL
GLS	GLASS	UC	UPPER CABINET
GYP	GYP-SUM	UNO	UNLESS NOTED OTHERWISE
HGT, HT	HEIGHT	VF	VERIFY IN FIELD
HORIZ	HORIZONTAL	WASH	WASHER
HB	HOSE BIB	WD	WOOD
HR	HOUR	WM	WATER METER
LNDG	LANDING	W/	WITH
MAX	MAXIMUM	XO	FIXED/SLIDING

MODEL CODE:

2019 CALIFORNIA BUILDING CODE
 2019 CALIFORNIA RESIDENTIAL CODE
 2019 CALIFORNIA MECHANICAL CODE
 2019 CALIFORNIA PLUMBING CODE
 2019 CALIFORNIA ELECTRICAL CODE
 2019 CALIFORNIA GREEN BUILDING STANDARDS CODE
 2019 CALIFORNIA ENERGY CODE
 2019 CALIFORNIA FIRE CODE
 CURRENT CITY OF FOLSOM ORDINANCES

SQUARE FOOTAGE:

EXISTING MAIN FLOOR AREA= 1,240 SQ. FT.
 EXISTING UPPER FLOOR AREA= 665 SQ. FT.
 EXISTING TOTAL FLOOR AREA= 1,905 SQ. FT.
 EXISTING CARPORT/DECK AREA= 192 SQ. FT.
 EXISTING COVERED PORCH AREA= 72 SQ. FT.
 PROPOSED ADDITION FLOOR AREA= 160 SQ. FT.
 PROPOSED CONVERSION FLOOR AREA= 469 SQ. FT.
 TOTAL CONDITIONED FLOOR AREA= 2,534 SQ. FT.
 EXISTING DETACHED GARAGE AREA= 660 SQ. FT.

DESIGN CRITERIA:

SEISMIC DESIGN D SITE CLASS D
 110 MPH BASIC WIND SPEED ROOF LIVE LOAD 20 PSF
 WITH 3 SECOND GUST NO SNOW LOADING REQ.
 WIND EXPOSURE C CLIMATE ZONE 12

PROJECT DESCRIPTION:

THE PROJECT WILL BE A MASTER SUITE ADDITION TO BE CONSTRUCTED WITHIN THE EXISTING UNDER FLOOR AREA. THE BATHROOM WILL BE EXTENDED BEYOND THE EXISTING HOUSE FOOTPRINT UNDER THE EXISTING MAIN LEVEL DECK. THE MATERIALS AND COLORS WILL MATCH THE EXISTING RESIDENCE.

LEGAL DESCRIPTION:

THE FIGUEROA SUBAREA HISTORIC DISTRICT
 CITY OF FOLSOM, SACRAMENTO COUNTY, CALIFORNIA.
 402 SUTTER STREET
 APN- 070-0063-012

LOT COVERAGE:

LOT SIZE- 7,000 SQ. FEET
 TOTAL STRUCTURE COVER AREA= 2,164 SQ. FT.
 LOT COVERAGE- 31%
 TOTAL CONCRETE AREA= 930 SQ. FT.
 PERVIOUS SURFACE- 56%

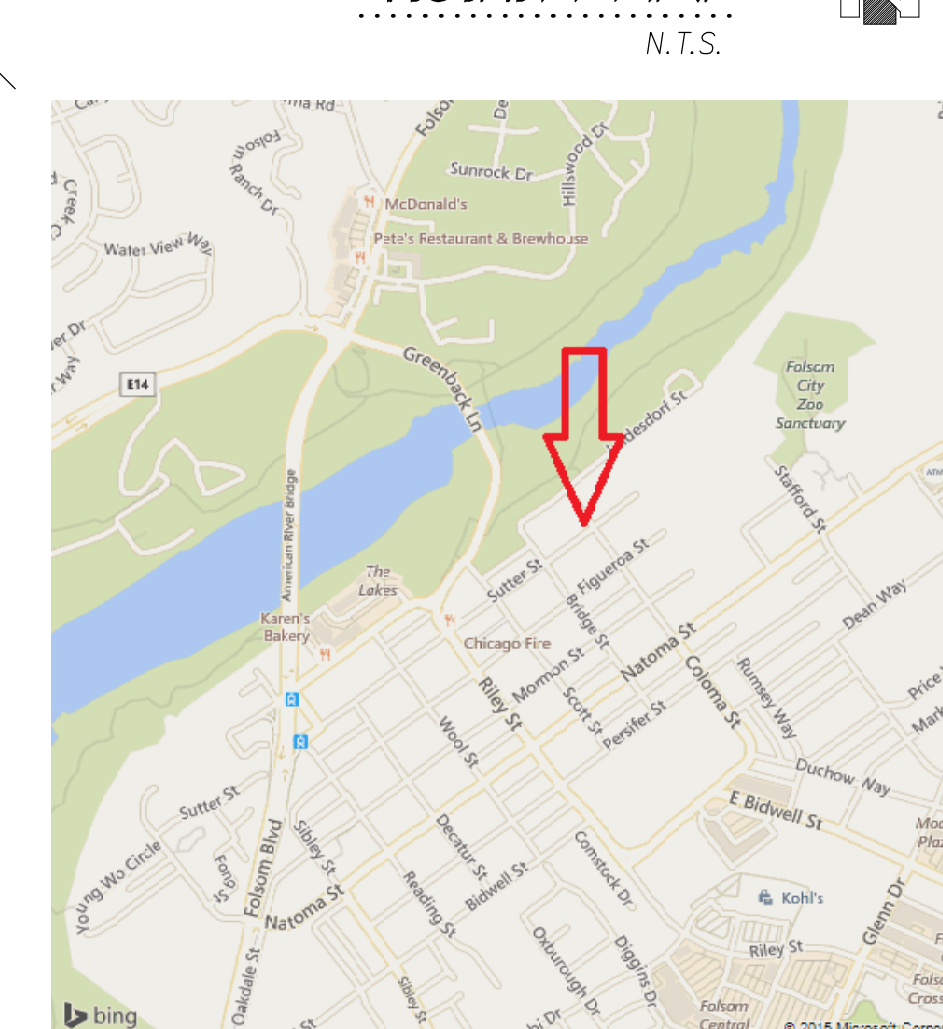
DRAWING INDEX:

P1 COVER SHEET/PLOT PLAN/NOTES
 1 EXISTING FLOOR PLANS/NOTES & LEGENDS
 2 PROPOSED FLOOR PLAN/NOTES & LEGENDS
 3 EXTERIOR ELEVATIONS

GENERAL NOTES:

- CONTRACTOR SHALL VISIT SITE PRIOR TO BIDDING, AND BECOME GENERALLY FAMILIAR WITH ONSITE AND OFFSITE CONDITIONS WHICH AFFECT THE WORK AND PROCESSES OF CONSTRUCTION.
- THESE PLANS ARE FOR GENERAL CONSTRUCTION PURPOSES ONLY. THEY ARE NOT SPECIFIED. IT IS THE RESPONSIBILITY OF THE OWNER AND CONTRACTOR TO SELECT, VERIFY, RESOLVE AND INSTALL ALL MATERIALS AND EQUIPMENT WITH COMPLIANCE.
- THE BUILDING DESIGNER WILL NOT BE OBSERVING CONSTRUCTION OF THIS PARTICULAR PROJECT. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR THE QUALITY CONTROL AND STANDARDS FOR THE PROJECT.
- THE WORK SHALL BE COMPLETED IN ACCORDANCE WITH APPLICABLE LAWS, LOCAL ORDINANCES AND BUILDING CODES. THE JOBSITE SHALL BE MAINTAINED CLEAN AND ORDERLY. ALL DEBRIS AND STORED MATERIALS SHALL BE HANDLED ON A DAILY BASIS SO AS NOT TO ENCUMBER THE SITE. ALL DEBRIS OR CONSTRUCTION/DEMOLITION MATERIALS SHALL BE DISPOSED OF IN A LEGAL MANNER.
- THE BUILDING DESIGNER ASSUMES NO RESPONSIBILITY FOR ANY CHANGES, ERRORS OMISSIONS, OR DEVIATIONS BY THE OWNER OR CONTRACTOR, EITHER INTENTIONAL OR ACCIDENTAL.
- CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL PROPERTY LINES, VERIFYING ALL SETBACKS, EASEMENTS AND RIGHTS OF WAYS. CONTRACTOR SHALL VERIFY THE NEW WILL BE CONSTRUCTED WITHOUT ENCROACHING ANY OF THESE BOUNDARIES. DISCREPANCIES WILL BE BROUGHT TO THE ATTENTION OF THE DESIGNER AND RESOLVED PRIOR TO CONSTRUCTION. IF THE PROPERTY CORNERS MUST BE LOCATED BY A LICENSED ENGINEER IT IS THE RESPONSIBILITY OF THE PROPERTY OWNER.
- CONSTRUCTION SHALL BE OF THE HIGHEST QUALITY OF WORKMANSHIP. ALL WALLS SHALL BE PLUMB AND TRUE. ALL CONNECTIONS SHALL BE SECURE ACCORDING TO ACCEPTED CONSTRUCTION PRACTICES OR AS PER THE CURRENT C.B.C.
- THESE DRAWINGS HAVE BEEN PREPARED WITH THE UTMOST CARE FOR RELIABLE AND ACCURATE INFORMATION. THE DESIGNER IS NOT RESPONSIBLE FOR ERRORS OR OMISSIONS FOUND OR CHANGES DUE TO UNFORESEEN FIELD CONDITIONS OR HUMAN ERROR. NOTIFY THE DESIGNER OF ANY DISCREPANCIES PRIOR TO RESUMPTION OF WORK OR ITEMS IN QUESTION.

VICINITY MAP



DATE	11-15-20
DRAWN	dip
SCALE	1" = 10'
JOB#	20-796
SHEET	P1

DESIGNER: d. l. potts drafting services
 Deanna L. Potts
 Orangevale, Ca. 95662
 Off./Fax: (916) 988-7388
 dpottdrafting@gmail.com

PROJECT: ELLEDGE ADDITION
 402 SUTTER ST. APN- 070-0063-012-0000
 CITY OF FOLSOM, COUNTY OF SACRAMENTO, CA.

OWNER: KALE & MEGGIE ELLEDGE
 402 SUTTER ST. FOLSOM, CA. 95630
 PH. CELL - (916) 216-4736 EMAIL: elledgefamily@cloud.com

COVER SHEET/
 PLOT PLAN/NOTES

Attachment 6 Site Photos















WINDOW

WINDOW

Attachment 7
Previously Approved Staff Report (PN20-266)



CITY OF
FOLSOM
DISTINCTIVE BY NATURE

AGENDA ITEM NO. 1
Type: Public Meeting
Date: February 3, 2021

Historic District Commission Staff Report

50 Natoma Street, Council Chambers
Folsom, CA 95630

Project: 402 Sutter Street Addition
File #: PN 20-266
Request: Design Review
Location: 402 Sutter Street
Parcel(s): 070-0063-012
Staff Contact: Josh Kinkade, Associate Planner, 916-461-6209
jkinkade@folsom.ca.us

Property Owner/Applicant

Name: Kale Elledge
Address: 402 Sutter Street
Folsom, CA 95630

Recommendation: Conduct a public meeting, and upon conclusion recommend approval of an application for Design Review of converting 469 square feet of a basement and 160 square feet of an existing rear yard covered porch into habitable space on an existing 1,905-square-foot residence located at 402 Sutter Street as illustrated on Attachment 5 for the 402 Sutter Street Addition project (PN 20-266) subject to the findings included in this report (Findings A-H) and attached conditions of approval (Conditions 1-7).

Project Summary: The proposed project includes converting 469 square feet of a basement and 160 square feet of an existing covered porch into habitable space on an existing 1,905-square-foot residence located at 402 Sutter Street. The property is located within the Figueroa Subarea of the Historic Residential Primary Area of the Historic District.

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- 6 - Site Photos
- 7 - Staff PowerPoint Presentation



CITY OF
FOLSOM
DISTINCTIVE BY NATURE

AGENDA ITEM NO. 1
Type: Public Meeting
Date: February 3, 2021

Submitted,

PAM JOHNS
Community Development Director

ATTACHMENT 1 DESCRIPTION/ANALYSIS

APPLICANT'S PROPOSAL

The applicant, Kale Elledge, is proposing to convert 469 square feet of a basement and 160 square feet of an existing rear yard covered porch into habitable space on an existing 1,905-square-foot single-family residence located at 402 Sutter Street. The addition consists of a master suite within the existing floor area and a bathroom extended beyond the existing residence's footprint under the existing main level. The applicant proposed to add windows and doors to the lower level and remove a window and door on the rear elevation. Exterior colors and materials are proposed to match those of the existing residence. The property is located within the Figueroa Subarea of the Historic Residential Primary Area of the Historic District.

POLICY/RULE

Section 17.52.300 of the Folsom Municipal Code states that the Historic District Commission shall have final authority relating to the design and architecture of all exterior renovations, remodeling, modification, addition or demolition of existing structures within the Historic District.

ANALYSIS

General Plan and Zoning Consistency

The General Plan land use designation for the project site is SFHD (Single-Family, High Density), and the zoning designation for the project site is R-1-M (Single-Family Dwelling, Small Lot District), within the Figueroa Subarea of the Historic Residential Primary Area. Single-family residences are allowed by right in this zone and subarea.

Section 17.52.540 of the Folsom Municipal Code institutes requirements for lot size, lot width, setbacks, pervious surface, and building height in the Historic Residential Primary Area. The design standards established within the Historic District Design and Development Guidelines (DDGs) also apply to this project. The following table shows how the existing residence and the proposed addition relates to the FMC zoning requirements:

	REQUIRED	PROPOSED
Minimum Lot Size	7,000 SF	7,021 SF (existing)
Minimum Lot Width	50 Feet	50 Feet (existing)
Front Setback	20 Feet	14 Feet (existing)
Rear Setback	20 Feet	66 Feet (addition)
Side Setback	5 Feet (Interior), 10 Feet (Street Side)	15 Feet (Interior) and 10 Feet (Street Side)
Minimum Pervious Surface	45%	56% (proposed)
Parking Requirement	2 Parking Spaces	4 Parking Spaces
Maximum Building Height	35 Feet	30 Feet (existing)
Structure Separation	10 Feet	>10 Feet

As shown in the above table (and on the site plan in Attachment 5), the existing residence currently sits 14 feet from the front property line, which puts the existing residence within the required 20-foot front setback. While this portion of the existing residence does not meet current setbacks, no expansion of the existing residence within the non-conforming area is proposed as part of the project. The existing residence is considered existing non-conforming to the front setback, but because the structure was legally constructed in 1935 prior to those setback standards being in-place, it may therefore continue in its current condition per FMC Section 17.62.690(B). The applicant would not be increasing the non-conformity, as the proposed modifications are meeting all current setbacks. Finally, staff has provided Condition No. 6, which ensures that all existing walls located within current setbacks remain standing during construction activities, and that if any walls not conforming to current setbacks are torn down during construction that they be replaced by walls that meet current setbacks, subject to approval by the Historic District Commission.

Building Design/Architecture

The property is located within the Figueroa Subarea of the Historic Residential Primary Area of the Historic District. The Historic District Design and Development Guidelines (DDGs) Chapter 5.04.03a, which addresses the design concepts for the Figueroa Subarea, state that the design concept for the Figueroa Subarea is to maintain existing pre-1910 structures and encourage restoration, reconstruction and new construction of pre-1910 styles, especially those previously existing in Folsom. Property owners are encouraged to maintain historic authenticity within the private areas of their property but are not required to do so except as may be necessary to maintain a National Register or similar listing. The existing residence was built in 1935, and has white horizontal siding with brown shake siding under the roof eaves and on the basement walls, with grey asphalt shingle roofing. It is not included on the City of Folsom Cultural Resources Inventory.

The DDG's state that exterior materials and finishes should be of residential grade, durable and of high quality and should include details appropriate for design period of the Subarea and building style. The proposed addition consists of converting 469

square feet of a basement and 160 square feet of an existing covered porch into habitable space on the existing residence. The addition will match the colors, materials and architecture of the existing residence, including wood shake siding colored brown and window and door trim to match the existing level of detail. The new windows proposed on the addition/converted area are primarily vertically-oriented with one horizontally-oriented window on the rear elevation. Under the proposed design, the residence's windows will continue to be primarily vertically oriented, consistent with DDG guidelines.

Staff has determined that the overall design, colors, materials, and layout of the proposed project are consistent with the design and development guidelines for the Figueroa Subarea of the Historic Residential Primary Area. Staff has concluded that the applicant has met the design standards identified in the DDG's.

ENVIRONMENTAL REVIEW

The project is categorically exempt under Section 15301 (Existing Facilities) of the California Environmental Quality Act (CEQA) Guidelines. Based on staff's analysis of this project, none of the exceptions in Section 15300.2 of the CEQA Guidelines apply to the use of the categorical exemption(s) in this case.

RECOMMENDATION/HISTORIC DISTRICT COMMISSION ACTION

Move to approve the application (PN 20-266) for Design Review of converting 469 square feet of a basement and 160 square feet of an existing covered porch into habitable space on an existing 1,905-square-foot residence located at 402 Sutter Street, as illustrated on Attachment 5 for the 402 Sutter Street Addition project, subject to the findings included in this report (Findings A-H) and attached conditions of approval (Conditions 1-7).

GENERAL FINDINGS

- A. NOTICE OF PUBLIC MEETING HAS BEEN GIVEN AT THE TIME AND IN THE MANNER REQUIRED BY STATE LAW AND CITY CODE.
- B. THE PROJECT IS CONSISTENT WITH THE GENERAL PLAN AND ZONING CODE OF THE CITY.

CEQA FINDINGS

- C. THE PROJECT IS CATEGORICALLY EXEMPT FROM ENVIRONMENTAL REVIEW UNDER SECTION 15301 (EXISTING FACILITIES) OF THE CALIFORNIA ENVIRONMENTAL QUALITY ACT (CEQA) GUIDELINES.

- D. THE CUMULATIVE IMPACT OF SUCCESSIVE PROJECTS OF THE SAME TYPE IN THE SAME PLACE, OVER TIME IS NOT SIGNIFICANT IN THIS CASE.
- E. NO UNUSUAL CIRCUMSTANCES EXIST TO DISTINGUISH THE PROPOSED PROJECT FROM OTHERS IN THE EXEMPT CLASS.
- F. THE PROPOSED PROJECT WILL NOT CAUSE A SUBSTANTIAL ADVERSE CHANGE IN THE SIGNIFICANCE OF A HISTORICAL RESOURCE.

DESIGN REVIEW FINDINGS

- G. THE BUILDING MATERIALS, TEXTURES AND COLORS USED IN THE PROPOSED PROJECT ARE COMPATIBLE WITH SURROUNDING DEVELOPMENT AND ARE CONSISTENT WITH THE GENERAL DESIGN THEME OF THE NEIGHBORHOOD.
- H. THE PROPOSED PROJECT IS IN CONFORMANCE WITH THE HISTORIC DISTRICT DESIGN AND DEVELOPMENT GUIDELINES ADOPTED BY CITY COUNCIL.

ATTACHMENT 2 BACKGROUND

BACKGROUND

Sacramento County records indicate that the 1,905 square-foot, two-story residence located at 402 Sutter Street was first constructed in 1935. The residence features white horizontal siding with brown shake siding under the roof eaves and on the basement walls. Photographs of the existing residence are included here as Attachment 5. The property does not appear on the City of Folsom's Cultural Resources Inventory. The subject property is located in the Figueroa Subarea of the Historic Residential Primary Area of the Historic District, with an underlying zoning of R-1-M (Single Family Residential- Small Lot District).

GENERAL PLAN DESIGNATION

SFHD, Single-Family, High Density

ZONING

FIG, Figueroa Subarea of the Historic Residential Primary Area, with an underlying zoning of R-1-M (Single Family Residential- Small Lot District)

ADJACENT LAND USES/ZONING

North: Leidesdorff Street/Sutter Street alley with single-family residences beyond (CEN)

South: Sutter Street with single-family residences beyond (FIG)

East: Coloma Street with existing single-family reg residences (FIG)

West: Existing single-family residences (FIG)

SITE CHARACTERISTICS

The 7,021-square-foot project site contains an existing residence, a detached garage and landscaping.

APPLICABLE CODES

FMC Section 17.52 HD, Historic District
FMC Section 17.52.300, Design Review
FMC Section 17.52.330, Plan Evaluation
FMC Section 17.52.340, Approval Process
FMC Section 17.52.540, Historic Residential Primary Area Special Use and Design Standards
Historic District Design and Development Guidelines

ATTACHMENT 3

Proposed Conditions of Approval

**CONDITIONS OF APPROVAL FOR
 402 SUTTER STREET ADDITION DESIGN REVIEW
 (PN 20-266)**

Cond. No.	Mitigation Measure	GENERAL REQUIREMENTS	When Required	Responsible Department
1.		Issuance of a Building Permit is required. The applicant shall submit final site and building plans to the Community Development Department that substantially conform to the site plan, building elevations, and floor plans dated November 15, 2020, included in Attachment 5. Implementation of this project shall be consistent with the above referenced items as modified by these conditions of approval.	B	CD (B)
2.		Compliance with all local, state and federal regulations pertaining to building construction is required.	OG	CD (B)
3.		This approval is for the conversion of 469 square feet of a basement and 160 square feet of an existing covered porch into habitable space on an existing 1,905-square-foot single-family residence located at 402 Sutter Street. The applicant shall submit building plans that comply with this approval and the attached site plan, floor plans and building elevations dated November 15, 2020.	B	CD (P)
4.		If any archaeological, cultural, or historical resources or artifacts, or other features are discovered during the course of construction anywhere on the project site, work shall be suspended in that location until a qualified professional archaeologist assesses the significance of the discovery and provides recommendations to the City. The City shall determine and require implementation of the appropriate mitigation as recommended by the consulting archaeologist. The City may also consult with individuals that meet the Secretary of the Interior’s Professional Qualifications Standards before implementation of any recommendation. If agreement cannot be reached between the project applicant and the City, the Historic District Commission shall determine the appropriate implementation method.	G, I, B	CD (P)(E)(B)
5.		In the event human remains are discovered, California Health and Safety Code Section 7050.5 states that no further disturbance shall occur until the county coroner has made the necessary findings as to the origin and disposition pursuant to Public Resources Code 5097.98. If the coroner determines that no investigation of the cause of death is required and if the remains are of Native American Origin, the coroner will notify the Native American Heritage Commission, which in turn will inform a most likely decedent. The decedent will then recommend to the landowner or landowner’s representative appropriate disposition of the remains and any grave goods.	G, I, B	CD (P)(E)(B)

6.		All walls on portions of the existing structure within current setbacks shall remain standing for the duration of project construction activities. If existing walls located within a current setback are removed at any point during construction, new construction of those walls shall be moved to meet current setbacks and will be subject to approval by the Historic District Commission.	DC	CD (P) (B)
7.		The project approval granted under this staff report shall remain in effect for one year from final date of approval (February 3, 2022). Failure to obtain the relevant building, demolition, or other permits within this time period, without the subsequent extension of this approval, shall result in the termination of this approval.	B	CD (P)

RESPONSIBLE DEPARTMENT		WHEN REQUIRED	
CD (P) (E) (B) (F)	Community Development Department Planning Division Engineering Division Building Division Fire Division	I	Prior to approval of Improvement Plans
		M	Prior to approval of Final Map
		B	Prior to issuance of first Building Permit
		O	Prior to approval of Occupancy Permit
		G	Prior to issuance of Grading Permit
PW	Public Works Department	DC	During construction
PR	Park and Recreation Department	OG	On-going requirement
PD	Police Department		

Attachment 4 Vicinity Map



Attachment 5
Site Plan, Floor Plans and Elevations, dated
November 11, 2020

ADDITION PLANS FOR:

402 SUTTER STREET

CITY OF FOLSOM, CA. A.P.N. 070-0063-012-0000

PROJECT DATA:

ZONING: R-1-M
 OCCUPANCY: GROUP R-3
 TYPE OF CONSTRUCTION: V-B
 GENERAL PLAN DESIGNATION: SINGLE FAMILY DWELLING (SF)
 FIRE SPRINKLERS: NOT REQUIRED-EXISTING BUILDING IS CONTAINING NON-FIRE SPRINKLERS

ABBREVIATIONS:

A/C	AIR CONDITIONING	MIN	MINIMUM
ABV	ABOVE	MISC	MISCELLANEOUS
ACCS	ACCESS	NO	NUMBER
AMP	AMPERE	NTS	NOT TO SCALE
APN	ASSESSOR PARCEL NUMBER	OC	ON CENTER
APPROX	APPROXIMATELY	OH	OVER HANG
BC	BASE CABINET	OPNG	OPENING
BLDG	BUILDING	OSA	OUTSIDE AIR
CAB(S)	CABINET(S)	PKT	POCKET
CL	CENTER LINE	PL	PROPERTY LINE
CLG	CEILING	PP	POWER POLE
CLR	CLEAR	PR	PAIR
COL	COLUMN	PT	PRESSURE TREATED
COMBO	COMBINATION	PUE	PUBLIC UTILITY EASEMENT
CONC	CONCRETE	PWDR	POWDER
COVR'D	COVERED	REF	REFRIGERATOR
DBL	DOUBLE	REQ	REQUIRED
DEPT	DEPARTMENT	RET	RETAINING
DF	DOUGLAS FIR	ROW	RIGHT OF WAY
DN	DOWN	S & P	SHELF & POLE
DP	DEEP	SBL	SETBACK LINE
DRS	DOORS	SHLVS	SHELVES
DRY	DRYER	SFCG	SPACING
DSPSL	DISPOSAL	SC	SOLID CORE
DW	DISH WASHER	SH	SINGLE HUNG
EA	EACH	SLF CLS	SELF CLOSE
ELECT	ELECTRICAL	SIM	SIMILAR
ENCLS	ENCLOSURE	SPECS	SPECIFICATIONS
EOA	EDGE OF ASPHALT	SQ FT	SQUARE FOOT (FEET)
(E)	EXISTING	SS	SEWER SERVICE
EXIST	EXISTING	STNDG	STANDING
FF	FINISHED FLOOR	TC	TRASH COMPACTOR
FP	FIREPLACE	TMP	TEMPERED
FXD	FIXED	TYP	TYPICAL
GLS	GLASS	UC	UPPER CABINET
GYP	GYP-SUM	UNO	UNLESS NOTED OTHERWISE
HGT, HT	HEIGHT	VF	VERIFY IN FIELD
HORIZ	HORIZONTAL	WASH	WASHER
HB	HOSE BIB	WD	WOOD
HR	HOUR	WM	WATER METER
LNDG	LANDING	W/	WITH
MAX	MAXIMUM	XO	FIXED/SLIDING

MODEL CODE:

2019 CALIFORNIA BUILDING CODE
 2019 CALIFORNIA RESIDENTIAL CODE
 2019 CALIFORNIA MECHANICAL CODE
 2019 CALIFORNIA PLUMBING CODE
 2019 CALIFORNIA ELECTRICAL CODE
 2019 CALIFORNIA GREEN BUILDING STANDARDS CODE
 2019 CALIFORNIA ENERGY CODE
 2019 CALIFORNIA FIRE CODE
 CURRENT CITY OF FOLSOM ORDINANCES

SQUARE FOOTAGE:

EXISTING MAIN FLOOR AREA= 1,240 SQ. FT.
 EXISTING UPPER FLOOR AREA= 665 SQ. FT.
 EXISTING TOTAL FLOOR AREA= 1,905 SQ. FT.
 EXISTING CARPORT/DECK AREA= 192 SQ. FT.
 EXISTING COVERED PORCH AREA= 72 SQ. FT.
 PROPOSED ADDITION FLOOR AREA= 160 SQ. FT.
 PROPOSED CONVERSION FLOOR AREA= 469 SQ. FT.
 TOTAL CONDITIONED FLOOR AREA= 2,534 SQ. FT.
 EXISTING DETACHED GARAGE AREA= 660 SQ. FT.

DESIGN CRITERIA:

SEISMIC DESIGN D SITE CLASS D
 110 MPH BASIC WIND SPEED ROOF LIVE LOAD 20 PSF
 WITH 3 SECOND GUST NO SNOW LOADING REQ.
 WIND EXPOSURE C CLIMATE ZONE 12

PROJECT DESCRIPTION:

THE PROJECT WILL BE A MASTER SUITE ADDITION TO BE CONSTRUCTED WITHIN THE EXISTING UNDER FLOOR AREA. THE BATHROOM WILL BE EXTENDED BEYOND THE EXISTING HOUSE FOOTPRINT UNDER THE EXISTING MAIN LEVEL DECK. THE MATERIALS AND COLORS WILL MATCH THE EXISTING RESIDENCE.

LEGAL DESCRIPTION:

THE FIGUEROA SUBAREA HISTORIC DISTRICT
 CITY OF FOLSOM, SACRAMENTO COUNTY, CALIFORNIA.
 402 SUTTER STREET
 APN- 070-0063-012

LOT COVERAGE:

LOT SIZE- 7,000 SQ. FEET
 TOTAL STRUCTURE COVER AREA= 2,164 SQ. FT.
 LOT COVERAGE- 31%
 TOTAL CONCRETE AREA= 930 SQ. FT.
 PERVIOUS SURFACE- 56%

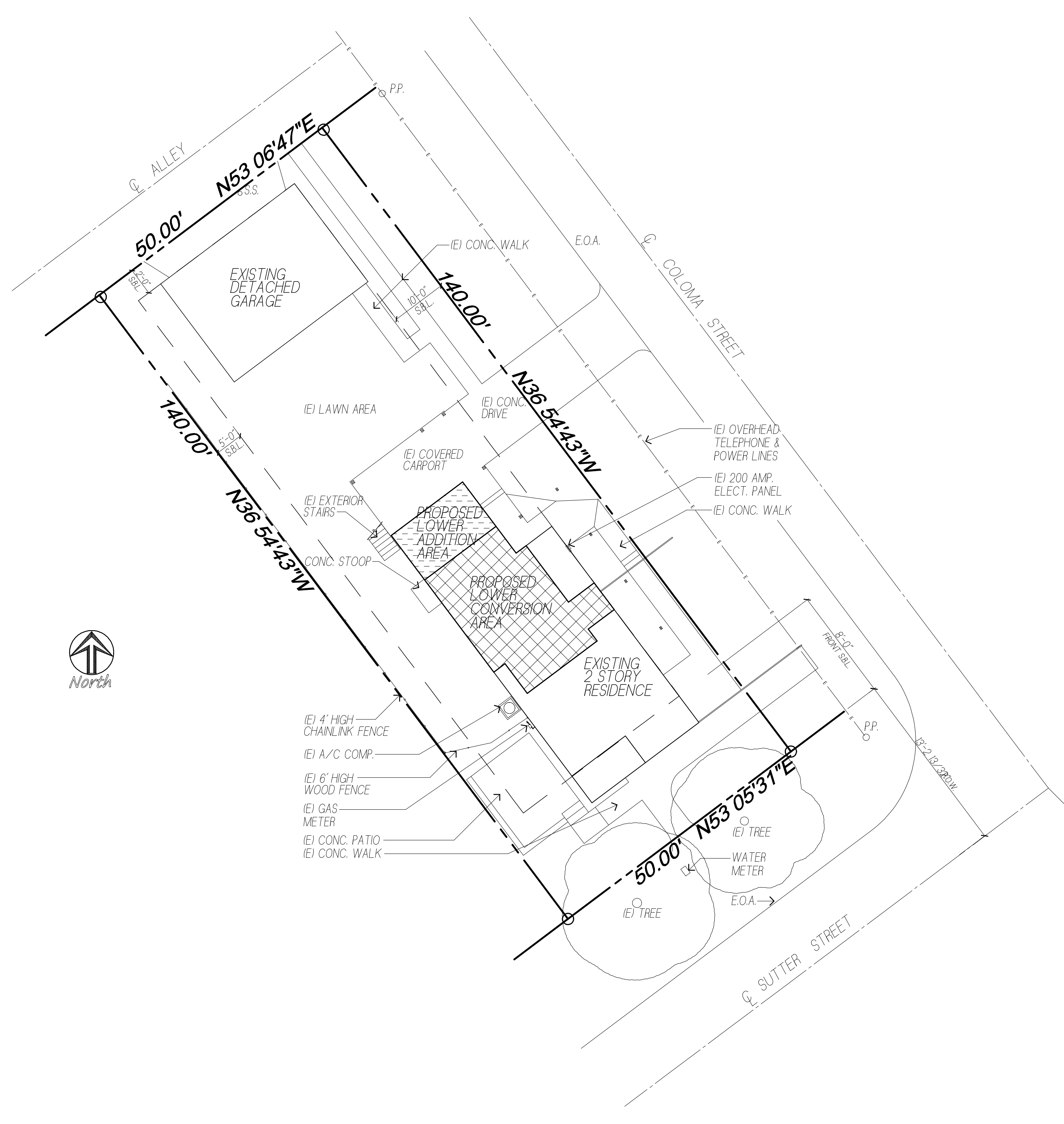
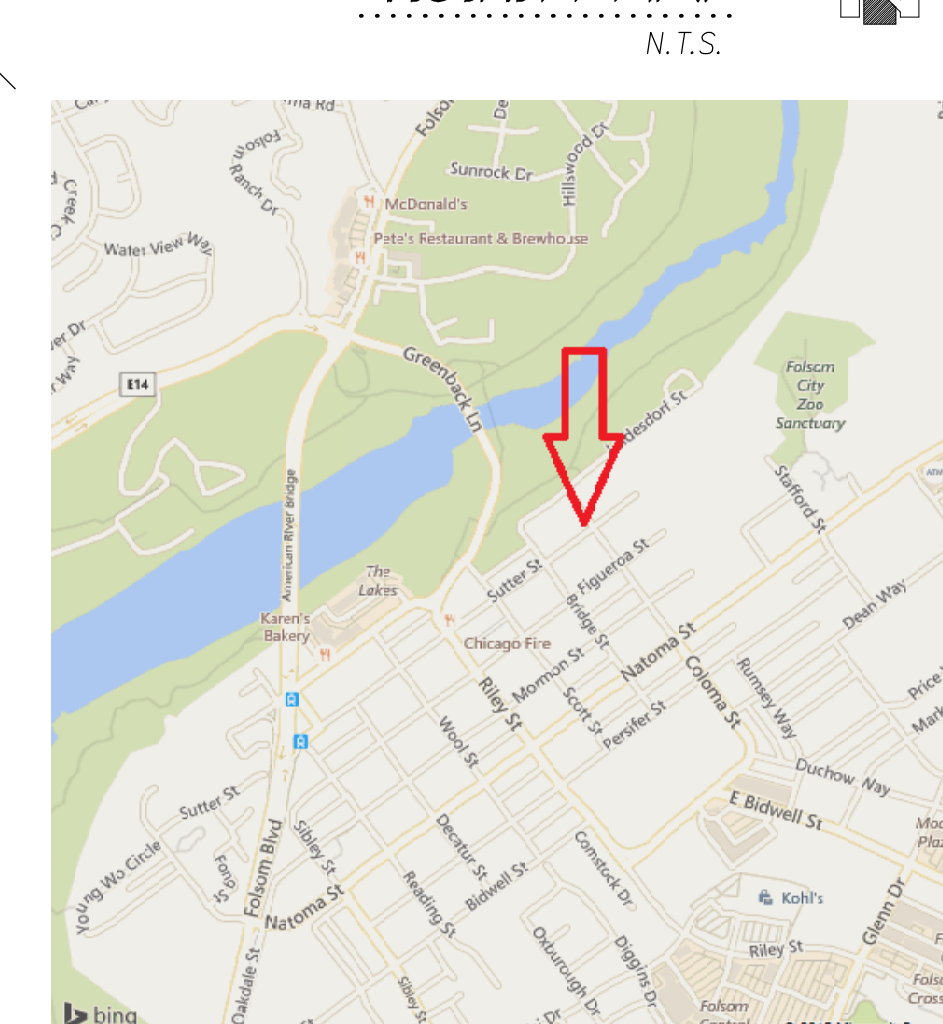
DRAWING INDEX:

P1 COVER SHEET/PLOT PLAN/NOTES
 1 EXISTING FLOOR PLANS/NOTES & LEGENDS
 2 PROPOSED FLOOR PLAN/NOTES & LEGENDS
 3 EXTERIOR ELEVATIONS

GENERAL NOTES:

- CONTRACTOR SHALL VISIT SITE PRIOR TO BIDDING, AND BECOME GENERALLY FAMILIAR WITH ONSITE AND OFFSITE CONDITIONS WHICH AFFECT THE WORK AND PROCESSES OF CONSTRUCTION.
- THESE PLANS ARE FOR GENERAL CONSTRUCTION PURPOSES ONLY. THEY ARE NOT SPECIFIED. IT IS THE RESPONSIBILITY OF THE OWNER AND CONTRACTOR TO SELECT, VERIFY, RESOLVE AND INSTALL ALL MATERIALS AND EQUIPMENT WITH COMPLIANCE.
- THE BUILDING DESIGNER WILL NOT BE OBSERVING CONSTRUCTION OF THIS PARTICULAR PROJECT. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR THE QUALITY CONTROL AND STANDARDS FOR THE PROJECT.
- THE WORK SHALL BE COMPLETED IN ACCORDANCE WITH APPLICABLE LAWS, LOCAL ORDINANCES AND BUILDING CODES. THE JOBSITE SHALL BE MAINTAINED CLEAN AND ORDERLY. ALL DEBRIS AND STORED MATERIALS SHALL BE HANDLED ON A DAILY BASIS SO AS NOT TO ENCUMBER THE SITE. ALL DEBRIS OR CONSTRUCTION/DEMOLITION MATERIALS SHALL BE DISPOSED OF IN A LEGAL MANNER.
- THE BUILDING DESIGNER ASSUMES NO RESPONSIBILITY FOR ANY CHANGES, ERRORS OMISSIONS, OR DEVIATIONS BY THE OWNER OR CONTRACTOR, EITHER INTENTIONAL OR ACCIDENTAL.
- CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL PROPERTY LINES, VERIFYING ALL SETBACKS, EASEMENTS AND RIGHTS OF WAYS. CONTRACTOR SHALL VERIFY THE NEW WILL BE CONSTRUCTED WITHOUT ENCROACHING ANY OF THESE BOUNDARIES. DISCREPANCIES WILL BE BROUGHT TO THE ATTENTION OF THE DESIGNER AND RESOLVED PRIOR TO CONSTRUCTION. IF THE PROPERTY CORNERS MUST BE LOCATED BY A LICENSED ENGINEER IT IS THE RESPONSIBILITY OF THE PROPERTY OWNER.
- CONSTRUCTION SHALL BE OF THE HIGHEST QUALITY OF WORKMANSHIP. ALL WALLS SHALL BE PLUMB AND TRUE. ALL CONNECTIONS SHALL BE SECURE ACCORDING TO ACCEPTED CONSTRUCTION PRACTICES OR AS PER THE CURRENT C.B.C.
- THESE DRAWINGS HAVE BEEN PREPARED WITH THE UTMOST CARE FOR RELIABLE AND ACCURATE INFORMATION. THE DESIGNER IS NOT RESPONSIBLE FOR ERRORS OR OMISSIONS FOUND OR CHANGES DUE TO UNFORESEEN FIELD CONDITIONS OR HUMAN ERROR. NOTIFY THE DESIGNER OF ANY DISCREPANCIES PRIOR TO RESUMPTION OF WORK OR ITEMS IN QUESTION.

VICINITY MAP



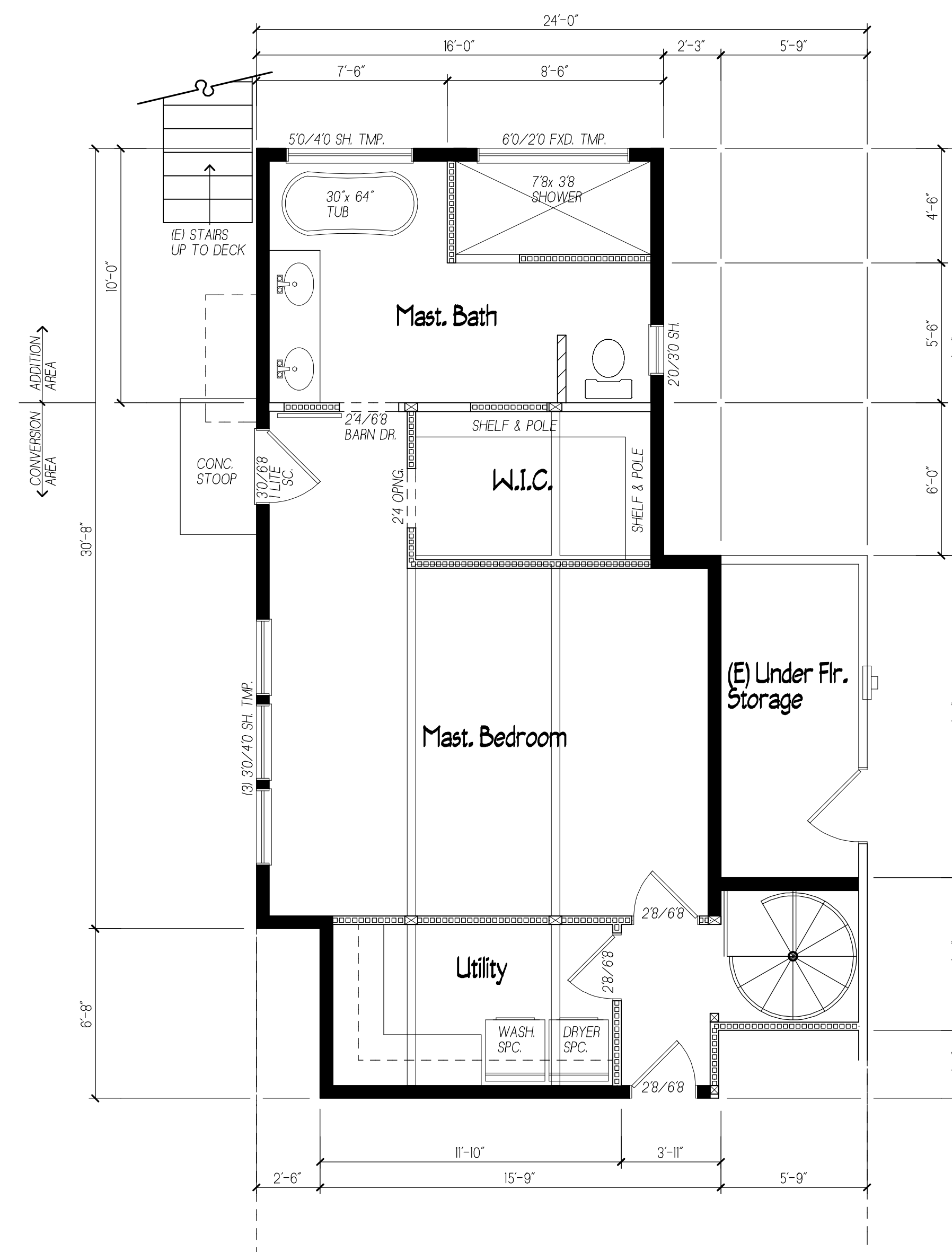
DATE	11-15-20
DRAWN	dip
SCALE	1" = 10'
JOB#	20-796
SHEET	P1

DESIGNER: d. l. potts drafting services
 Deanna L. Potts
 Orangevale, Ca. 95662
 Off./Fax: (916) 988-7388
 dpottsdrafting@gmail.com

PROJECT: ELLEDGE ADDITION
 402 SUTTER ST. APN- 070-0063-012-0000
 CITY OF FOLSOM, COUNTY OF SACRAMENTO, CA.

OWNER: KALE & MEGGIE ELLEDGE
 402 SUTTER ST. FOLSOM, CA. 95630
 PH. CELL - (916) 216-4736 EMAIL: elledgefamily@cloud.com

COVER SHEET/
 PLOT PLAN/NOTES

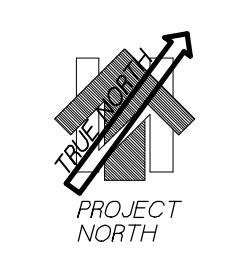


Proposed Lower Floor Plan

WALL LEGEND

---	INDICATES (E) 2' x 4" WALL FRAME
----	INDICATES NEW 2' x 4" STUDS @ 16" OC.
=====	INDICATES NEW 2' x 6" STUDS @ 16" OC.
	INDICATES NEW 2' x 4" STUDS @ 16" OC. (HALF WALL)

ADDITION LOWER FLOOR AREA=	160 SQ. FT.
CONVERSION LOWER FLOOR AREA=	469 SQ. FT.
EXISTING MAIN FLOOR AREA=	1,240 SQ. FT.
EXISTING UPPER FLOOR AREA=	665 SQ. FT.
TOTAL FLOOR AREA=	2,534 SQ. FT.
EXIST. COVR'D. PORCH AREA=	72 SQ. FT.
EXIST. COVR'D. DECK AREA=	192 SQ. FT.



DATE	11-15-20
DRAWN	djp
SCALE	1/4" = 1'-0"
JOB#	20-796
SHEET	2

DESIGNER: **d. l. potts drafting services**
 Deanna L. Potts
 Orangevale, Ca. 95662
 Off/Fax: (916) 988-7368
 dpottsdrafting@gmail.com

PROJECT: **ELLEDEGE ADDITION**
 402 SUTTER ST. APN- 070-0063-012-0000
 CITY OF FOLSOM, COUNTY OF SACRAMENTO, CA.

OWNER: **KALE & MEGGIE ELLEDGE**
 402 SUTTER ST. FOLSOM, CA. 95630
 PH. CELL - (916) 216-4736 EMAIL: elledgefamily@cloud.com

ENGINEER: **d. l. potts drafting services**


NOTES/LEGENDS

Attachment 6 Site Photos















WINDOW

WINDOW

Attachment 7

Staff PowerPoint Presentation



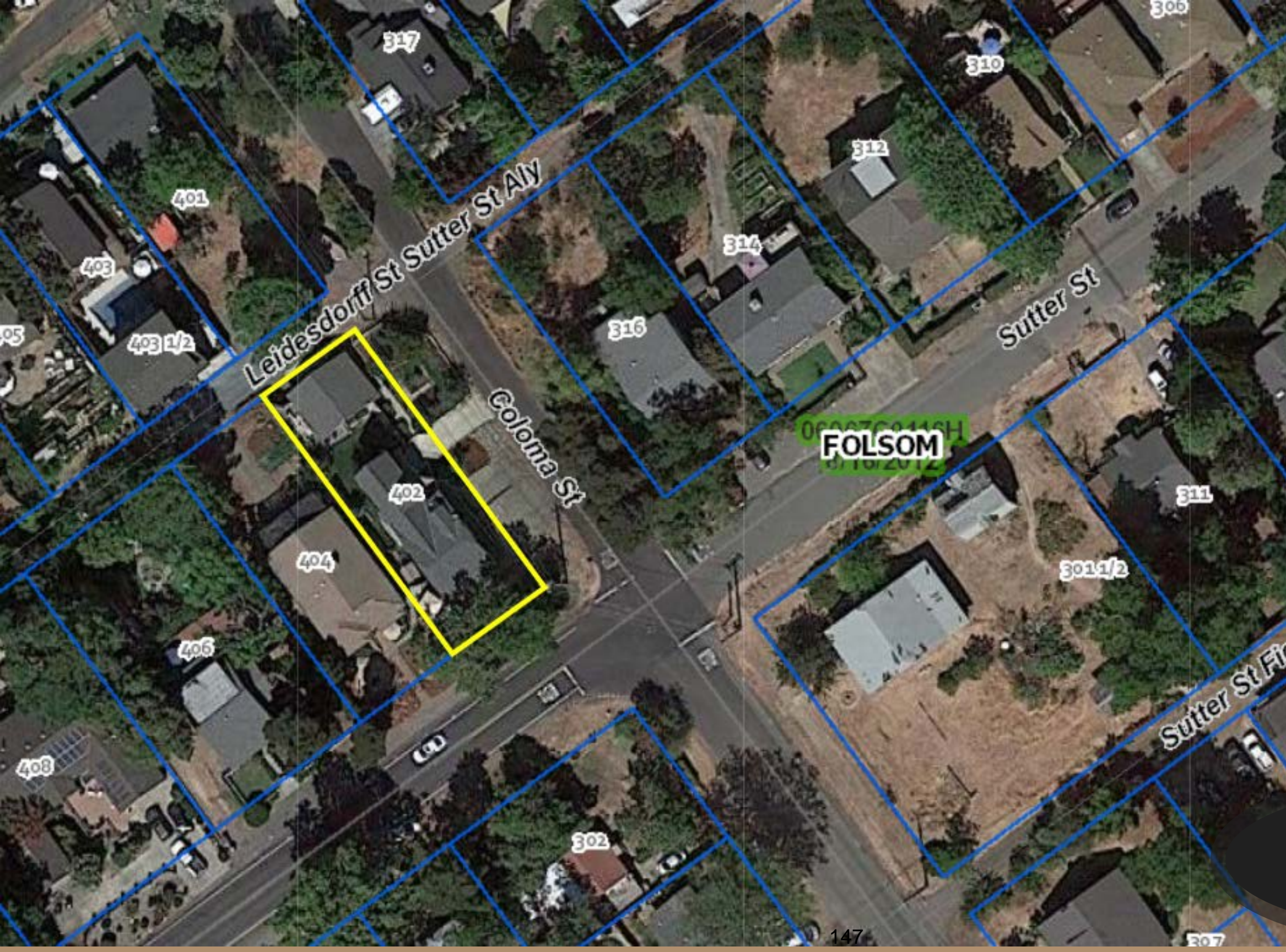
PN 20-266: 402 Sutter Street Addition Design Review



CITY OF
FOLSOM



CITY OF
FOLSOM



Project Vicinity

Site Photos



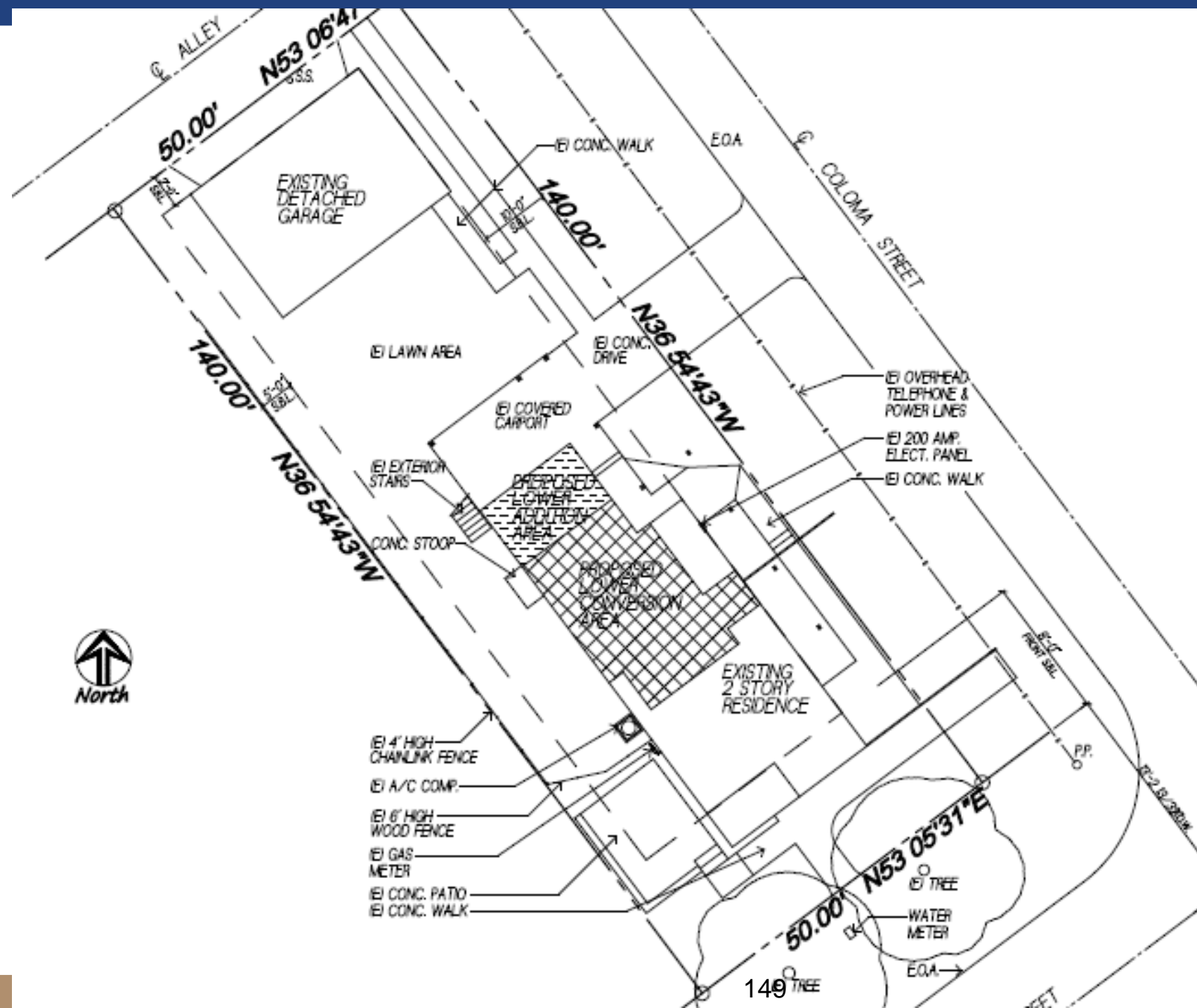
CITY OF
FOLSOM



Site Plan



CITY OF
FOLSOM



Elevations

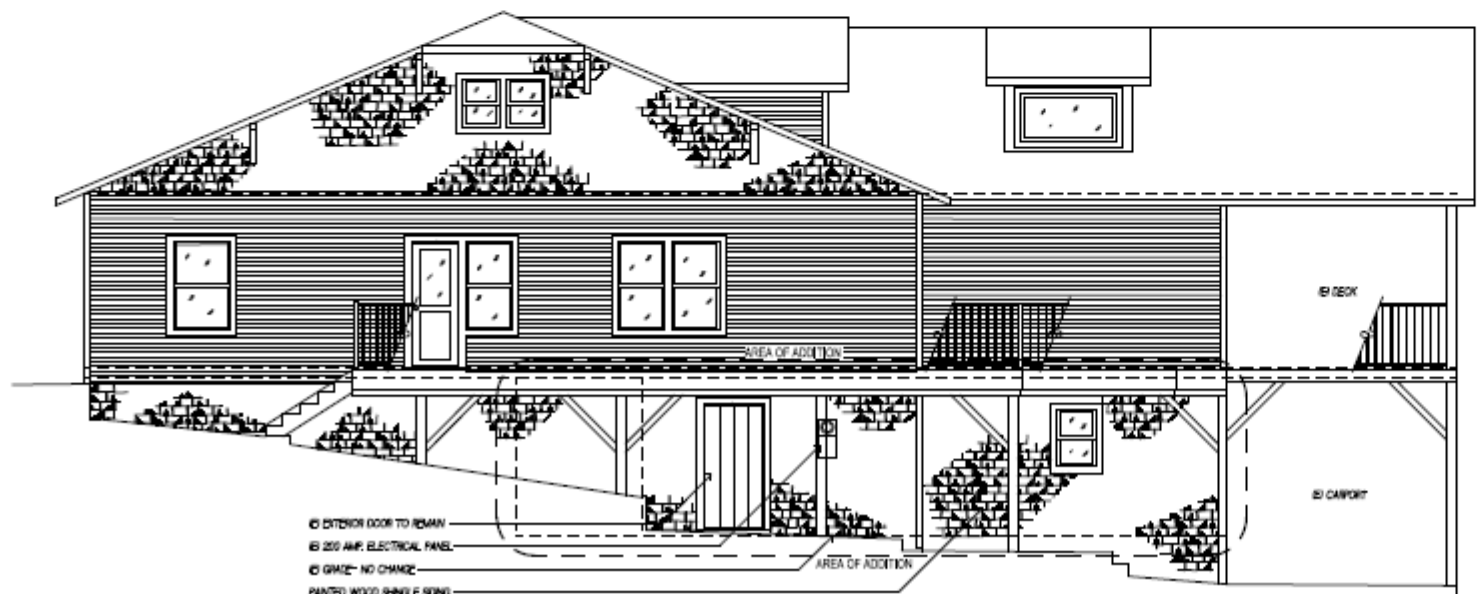


CITY OF
FOLSOM



Left (West)

NOTE: MATCH ALL MATERIALS AND COLORS AT EXISTING RESIDENCE WHERE APPLICABLE



Right (East)



Rear (North)

Staff Recommendation



CITY OF
FOLSOM

Staff recommends approval of PN 20-266 for Design Review to convert 469 square feet of a basement and 160 square feet of an existing rear yard covered porch into habitable space on an existing 1,905-square-foot residence located at 402 Sutter Street.