

421 TOBRURRY WAY
IN
FOLSOM, CA 95630

PROJECT DESCRIPTION & SCOPE OF WORK

SCOPE OF WORK:

CONSTRUCT NEW SFD WITH 5 BEDROOMS AND 3-CAR GARAGE.

APN	072-2740-018-0000
ZONING	R-1-M (SP 95-1)
OCCUPANCY GROUP	R3/U
CONSTRUCTION TYPE	VB
NO. OF FLOORS	2,5
BUILDING HEIGHT	31' - 8"
LOT AREA	≈ 19,746 SQ FT / 0.4533 ACRES
LOT COVERAGE	7.695 SQ FT (38,97%)
FIRE SPRINKLERS	YES
WUI	NO



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KRISHNA
RESIDENCE

NEW

421 TOBRURRY WAY
FOLSOM
CA 95630

072-2740-018-0000

PROJECT DIRECTORY

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BUILDING INFORMATION

1. ALL CONSTRUCTION SHALL CONFORM TO THE FOLLOWING CODES:
-2019 CALIFORNIA RESIDENTIAL CODE, (CRC) BASED ON THE 2018 IRC W/ CAADM.)
FOR RESIDENTIAL PROJECTS
-2019 CALIFORNIA FIRE CODE, (CFC) BASED ON THE 2018 IFC
-2019 CALIFORNIA MECHANICAL CODE, (CMC) BASED ON THE 2018 UMC.
-2019 CALIFORNIA PLUMBING CODE, (CPC) BASED ON THE 2018 UPC (W/ CA ADM.)
-2019 CALIFORNIA ELECTRICAL CODE, (CEC) BASED ON THE 2017 NEC
-2019 CALIFORNIA ENERGY CODE TITLE-24 PART 6
-2019 CALIFORNIA GREEN BUILDING STANDARD CODE (CAL GREEN)
-ANY OTHER APPLICABLE STATE, COUNTY OR LOCAL REGULATIONS.
2. AMENDED CONSTRUCTION DOCUMENTS: WORK SHALL BE INSTALLED IN ACCORDANCE WITH THE APPROVED CONSTRUCTION DOCUMENTS, AND ANY CHANGES MADE DURING CONSTRUCTION THAT ARE NOT IN COMPLIANCE WITH THE APPROVED CONSTRUCTION DOCUMENTS SHALL BE RESUBMITTED FOR APPROVAL AS AN AMENDED SET OF CONSTRUCTION DOCUMENTS.
3. THE CONTRACTOR IS RESPONSIBLE TO CHECK THE PLANS AND IS TO NOTIFY THE DESIGNER OF ANY ERRORS OR OMISSIONS PRIOR TO THE START OF CONSTRUCTION.
4. WRITTEN DIMENSIONS HAVE PRECEDENCE OVER SCALED DIMENSIONS. DO NOT SCALE DRAWINGS !!
5. INSULATION: (SEE TITLE 24 CF-1R FORM PER EFFS SECTION 150.1)
6. THE ABOVE VALUES ARE A DEFAULT MINIMUM VALUES AND MAY BE INCREASED. VERIFY WITH TITLE 24 REQ & CONTRACTOR.
7. ALL EXPOSED INSULATION IS TO HAVE A FLAME SPREAD RATING OF LESS THAN 25 AND A SMOKE DENSITY RATING OF LESS THAN 450
8. ATTIC VENTS AND UNDERFLOOR VENT OPENINGS MUST RESIST THE INTRUSION OF FLAME AND EMBERS OR SHALL BE A MINIMUM OF 1/16" AND MAXIMUM 1/8" CORROSION-RESISTANT. NONCOMBUSTIBLE WIRE MESH OR EQUIVALENT. COMBUSTIBLE VENTS ON TOP OF ROOFS MAY BE COVERED WITH THIS MATERIAL TO COMPLY. VENTILATION OPENINGS ON THE UNDERSIDE OF EAVES ARE NOT PERMITTED. UNLESS A SFM APPROVED VENT IS INSTALLED, OR EAVES ARE FIRE SPRINKLERED, OR VENT IS 12 FEET ABOVE A WALKING SURFACE OR GRADE BELOW PER CRC R337.6
9. EACH SLEEPING ROOM SHALL HAVE A WINDOW OR EXTERIOR DOOR FOR EMERGENCY ESCAPE. SILL HEIGHT / CLEAR OPENING SHALL NOT EXCEED 44 INCHES ABOVE FINISH FLOOR. THE WINDOW MUST HAVE A MINIMUM NET OPENABLE AREA OF 5.7 SQ. FT. WITH A MINIMUM WIDTH OF 20 INCHES AND A NET OPENABLE HEIGHT OF 24 INCHES. (CRC 310 & R612.2)
10. TEMPERED WINDOW GLAZING REQUIRED; (CRC 308.4)
-WITHIN 18 IN. OF THE FLOOR (OR MULLION @24" TO 30" AFF)
-WITHIN 24 IN. OF ANY DOOR ARE TO BE
-GLAZING ADJACENT TO STAIRWAYS, LANDINGS OR RAMPS WITHIN 36" OF WALKING SURFACE OR WHEN LESS THAN 60" ABOVE WALKING SURFACE (CRC 308.4 #7)
-ALL DOOR GLAZING TO BE TEMPERED. MANUFACTURER'S DESIGNATING THE TYPE OF GLASS AND THE SAFETY GLAZING STANDARD WITH WHICH IT COMPLIES, WHICH IS VISIBLE IN THE FINAL INSTALLATION. (CRC R308.4 #1)
11. ALL EXTERIOR WINDOWS ARE TO BE DUAL GLAZED AND EXTERIOR DOORS ARE TO BE SOLID CORE WITH WEATHERSTRIPPING. PROVIDE 1/2 IN DEAD BOLT LOCKS ON ALL EXTERIOR DOORS AND LOCKING DEVICES ON ALL DOORS AND WINDOWS WITHIN 10 FT. (VERTICAL) OF GRADE.
12. CARBON MONOXIDE-SMOKE ALARMS: (PER 2019 CRC 315.1)
A) THE SMOKE ALARMS SHALL BE INSTALLED ALONG THE FOLLOWING LOCATIONS PER 2019 CRC 314.3:
1. IN EACH SLEEPING ROOM
2. OUTSIDE EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS.
3. ON EACH ADDITIONAL STORY OF THE DWELLING.
B) ALL SMOKE ALARMS SHALL BE LISTED IN ACCORDANCE WITH UL 217 AND INSTALLED WITH THE PROVISIONS OF THIS CODE AND THE FIRE HOUSEHOLD WARNING EQUIPMENT PROVISIONS OF NFPA 72. SYSTEMS AND COMPONENTS SHALL BE CALIF. STATE FIRE MARSHAL LISTED AND APPROVED IN ACCORDANCE WITH CALIFORNIA CODE OF REGULATIONS, TITLE 19, DIV 1 FOR WHICH THEY WERE INSTALLED.
C) ALL SMOKE ALARMS SHALL BE HARDWIRED WITH BATTERY BACK-UP AND INTER-CONNECTED, SO THAT, WHEN ANY ONE IS TRIPPED, THEY WILL ALL SOUND. (R314.4, R314.5, R315.1, R315.1.2 & R315.1.3)
13. PROVIDE COMBUSTION AIR VENTS (W/SCREEN AND BACKDRAFT WITH AN OPEN FLAME.
14. INTERIOR VENTING REQUIREMENTS: (PER CES 1501 & CAL-GREEN) NEW CONSTRUCTION:
-KITCHEN TO HAVE A MIN. OF 100 CFM EXHAUST FAN
-BATHROOM, LAUNDRY & WET ROOMS TO HAVE A MIN OF 50 CFM EXHAUST FAN
-WHOLE HOUSE VENTILATION (PER ANSI-ASHRAE 62.2)
VENT RATE (CFM) = (CFM100) + (7.5 X (NUMBER OF BEDROOMS +1))
VENTING TO BE PROVIDED BY EITHER EXHAUST VENT, SUPPLY VENT OR A COMBINATION OF THE TWO. SEE SECTION 4.6 OF THE RESIDENCE COMPLIANCE MANUAL.
15. ELECTRICAL RECEPTACLES IN BATHROOMS, KITCHENS AND GARAGES SHALL BE G.F.I. OR G.F.I.C. (CEC 210.8)
16. EGREES STAIRWAY CONSTRUCTION TO MEET 2019 CRC STANDARD (SEC R311.7)
-MAX 7.75" RISE AND MIN 10" RUN
-MIN STAIRWAY HEADROOM 6'-8"
-MIN STAIRWAY WIDTH OF 36"
-MIN TREAD WIDTH AT WINDERS IS 6" (MEASURE 12" FROM INSIDE OF CURVE)
SEE R311.7.5.2.1 FOR "CURVED STAIRWAY" REQ
17. IN ALL ONE AND TWO FAMILY DWELLINGS, AN AUTOMATIC RESIDENTIAL FIRE SPRINKLER SYSTEM SHALL BE DESIGNED AND INSTALLED IN ACCORDANCE WITH SECTION R313 OR NFPA 13D.
18. GAS LINE SIZING DIAGRAM AND PIPE SPECIFICATION WILL BE SUBMITTED THE BUILDING DEPARTMENT PRIOR TO ROUGH PLUMBING INSPECTION.

ABBREVIATIONS

1P/1S	1 POLE / 1 SHELF
5S	5 SHELVES
ABV.	ABOVE
A.F.F.	ABOVE FINISHED FLOOR
BDRM	BEDROOM
BLW.	BELOW
B.O.	BOTTOM OF
CLG.	CEILING
CSMT.	CASEMENT WINDOW
CONC.	CONCRETE
DET.	DETAIL
DS	DOWNSPOUT
DS BLW	DOWNSPOUT BELOW
F.F.	FACE OF FRAMING
FLR.	FLOOR
FOUND.	FOUNDATION
FR. DR.	FRENCH DOOR
FX.	FIXED WINDOW
HDR.	HEADER
HL. HT.	HEEL HEIGHT
HT.	HEIGHT
LNDY	LAUNDRY
LAV.	LAVATORY
LIN.	LINEN
MIN.	MINIMUM
N.I.C.	NOT IN CONTRACT
O.H.	OPPOSITE HAND
OPT.	OPTIONAL
P.T. LUMBER	PRESSURE TREATED LUMBER
RF.	ROOF
RF. BLW.	ROOF BELOW
S.S.D.	SEE STRUCTURAL DRAWINGS
S.H.	SINGLE HUNG
SL.	SLIDER WINDOW
TL	TEMPERED GLASS
T&G	TONGUE AND GROOVE
TEMP.	TEMPERED GLASS
T.O.PAD	TOP OF GRADED PAD
T.O.P.	TOP OF PLATE
T.O.C.	TOP OF CURB
T.O.SLAB	TOP OF SLAB
T.O.S.F.	TOP OF SUBFLOOR
T.O.B.	TOP OF BEAM
TYP.	TYPICAL
U.O.N.	UNLESS OTHERWISE NOTED
VERT.	VERTICAL
WD.	WOOD
WDW.	WINDOW
WP	WEATHER PROOF
V.I.F.	VERIFY IN FIELD

SQUARE FOOTAGE BREAKDOWN

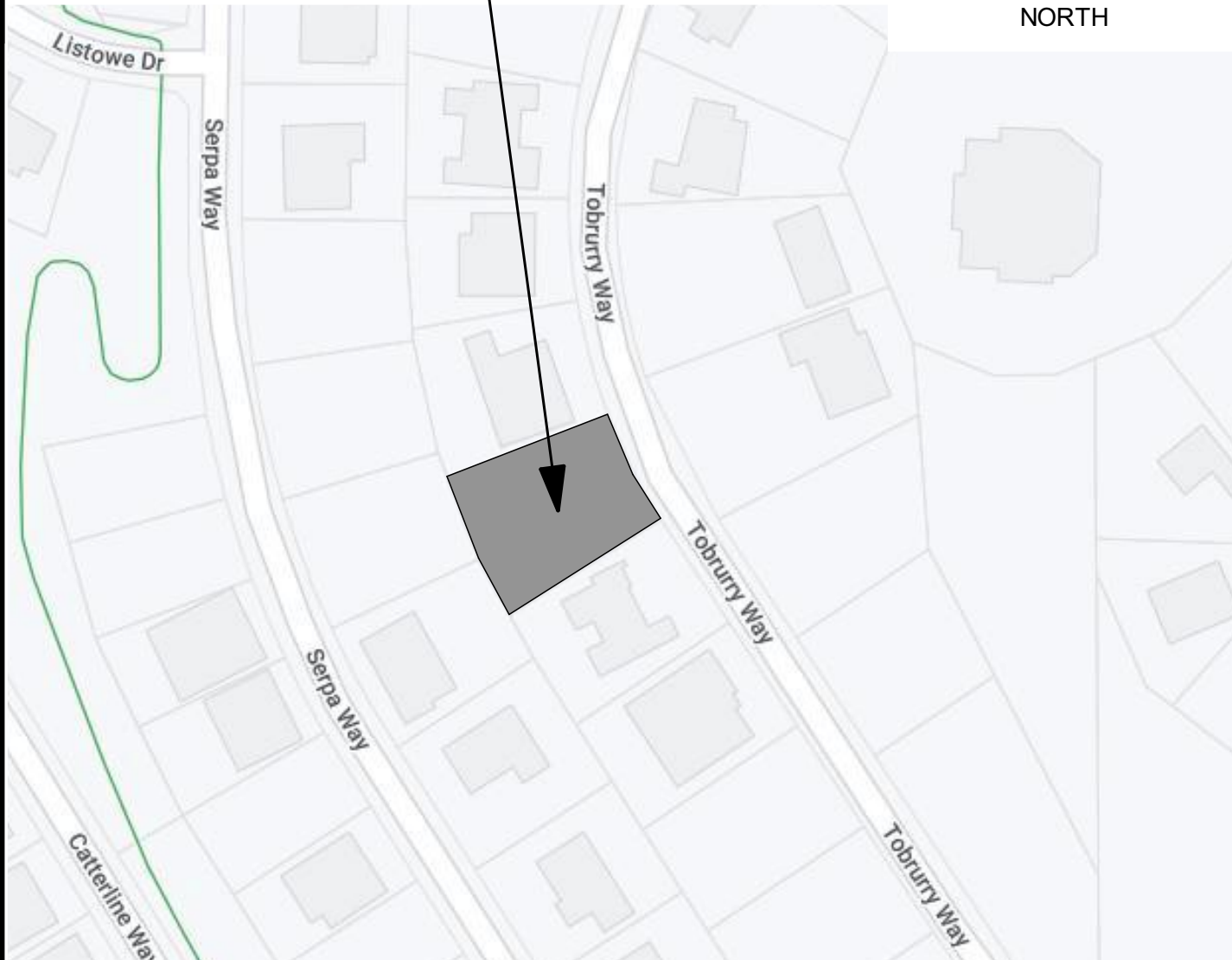
	TOTAL (SQ.FT.)
MAIN LEVEL LIVABLE AREA	5,383
LOWER LEVEL LIVABLE AREA	3,269
GROUND LEVEL LIVABLE AREA	2,666
	TOTAL LIVABLE SPACE
	11,318
3-CAR GARAGE	1,043
COURTYARD	106
COVERED BALCONY	169
COVERED DECK #1	584
COVERED DECK#2	1,204
COVERED MASTER PATIO	174
PATIO	2,300
UNCONDITIONED STORAGE	579
STORAGE #1	27
STORAGE #2	32

DEFERRED SUBMITTALS:

VICINITY MAP

N.T.S.

PARCEL LOCATION



REVISIONS

MARK	DATE	DESCRIPTION
	08/07/2022	

PROJECT NO:

DRAWN BY: TANYA B.

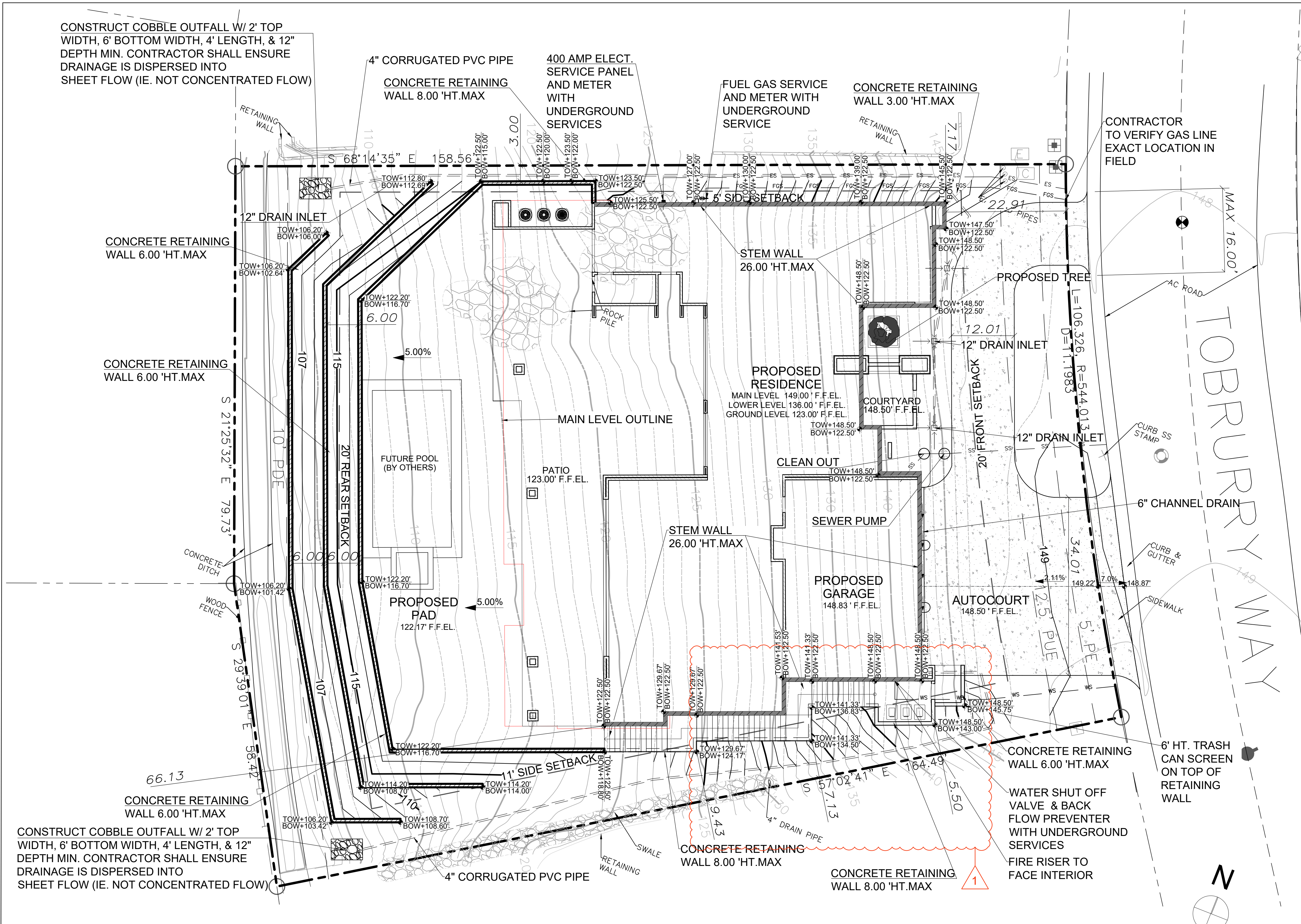
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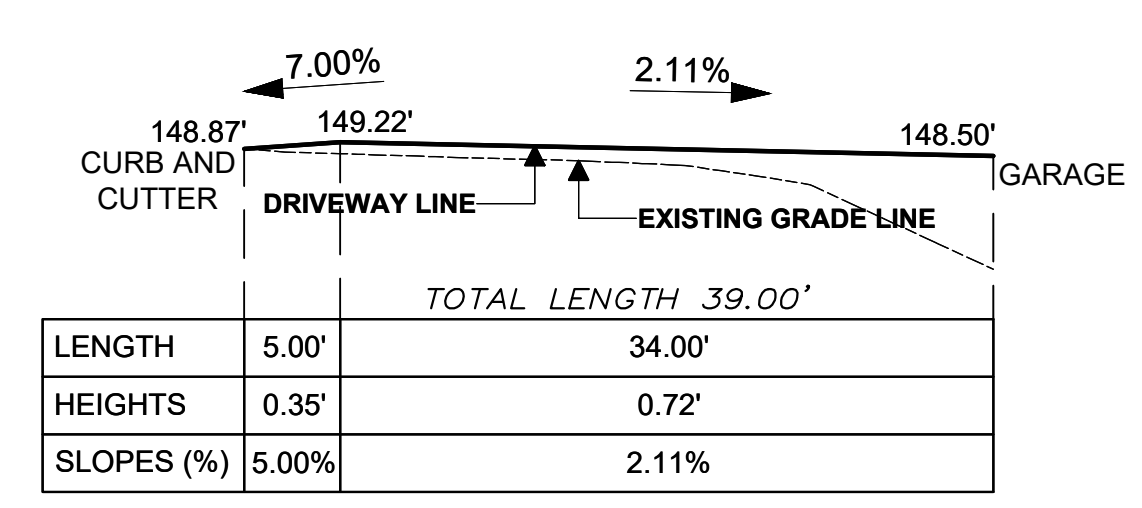
COVER PAGE

A1.0



SITE/GRADING PLAN

1" = 10'



DRIVEWAY PROFILE

1" = 10'

- LEGEND:
- CONCRETE DRIVEWAY OR WALKWAY
 - 8" CONCRETE RETAINING WALL
 - ELECTRICAL SERVICE
 - MAIN WATER LINE
 - SEWER SERVICE
 - FUEL/GAS SERVICE
 - PROPERTY LINE
 - SETBACK LINE
 - DRAINAGE ARROW, TYP
 - 6" CHANNEL DRAIN
 - 4" CORRUGATED PVC PIPE
 - SURFACE DRAIN INLET - TYP. CONTRACTOR TO VERIFY SIZE AND LOCATION

- STEM WALL
- RIVER ROCK @ DRAIN OUTLET
- AC UNIT
- TRASH CAN
- MAJOR CONTOUR LINE
- MINOR CONTOUR LINE

- LEGEND
- BOAC
 - CTRL
 - FG
 - GCEE
 - GB
 - HP
 - MPE
 - OG
 - PUE
 - PE
 - PDE
 - BACK OF AC DIKE
 - CENTER LINE
 - FINISH GRADE
 - GOLF COURSE
 - GRADE BRAKE
 - HIGH POINT
 - MULTI-PURPOSE EASEMENT
 - ORIGINAL GRADE
 - PUBLIC UTILITY EASEMENT
 - POSTAL EASEMENT
 - PRIVATE DRAINAGE EASEMENT
 - DIMENSION POINT
 - ELEVATION BENCHMARK
 - FOUND MONUMENT

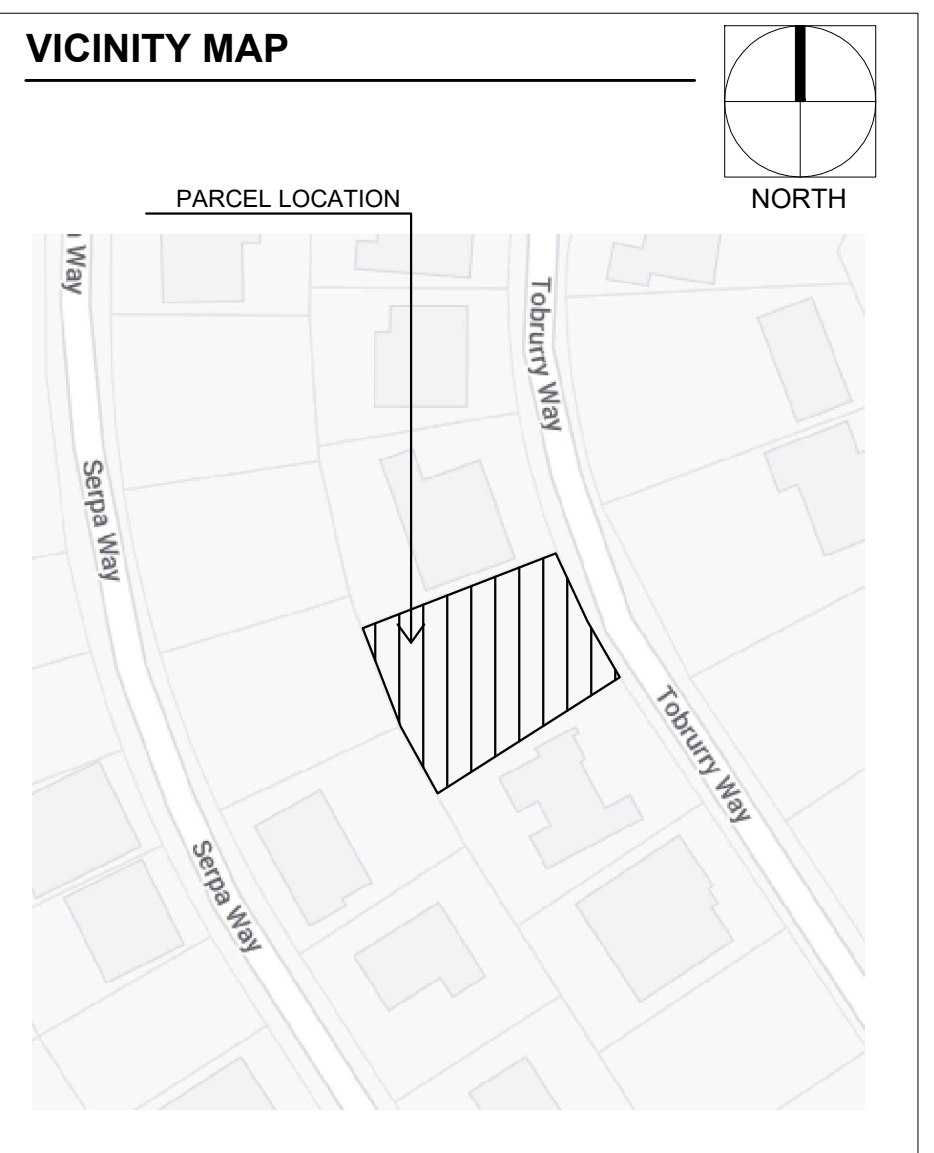
- ✕ SCRIBE IN SIDEWALK
- ⊕ WATER METER
- ⊙ SEWER MANHOLE
- ⊞ ELECTRIC VAULT
- ⊞ TRANSFORMER
- ⊞ COMMUNICATIONS VAULT

BASIS OF BEARING

THE BASIS OF BEARING OF THIS SURVEY IS ALIGNED WITH THE SUBDIVISION MAP TITLED BROADSTONE UNIT NO. 3, VILLAGE 2-B, FILED OCTOBER 2005, IN BOOK 344 OF MAPS, PAGE 7, IN THE OFFICE OF COUNTY RECORDER, AND WAS ESTABLISHED USING DISCOVERED MONUMENTS OF THE SAID MAP AND PARCEL.

BENCHMARK INFORMATION

ELEVATION OF 148.15 AT MAG NAIL, SET IN ASPHALT ROADWAY, AS DEPICTED ON THIS MAP.



- CONSTRUCTION ACCESS NOTES:**
1. STABILIZED CONSTRUCTION SITE ACCESS SHALL BE CONSTRUCTED OF 40MM (3/8") MAX. AGGREGATE BASE MATERIAL CONFORMING TO COUNTY STANDARDS. MATERIAL SHALL BE PLACED TO A MIN. THICKNESS OF 150 MM (12"). THE METHOD OF PLACING, SPREADING AND COMPACTING AGGREGATE BASE MATERIAL SHALL CONFORM TO SECTION 26 OF THE STATE SPECIFICATIONS.
 2. LENGTH OF ENTRANCE SHALL BE A MIN. OF 15 METERS (50'). WIDTH SHALL BE A MIN. OF 4.5 METERS (15') OR GREATER IF NECESSARY TO COVER ALL VEHICULAR INGRESS AND EGRESS. PROVIDE AMPLE TURNING RADIUS.
 3. THE ELEVATIONS OF THE BOTTOM OF THE RETAINING AND STEM WALLS (BOW) ARE INDICATED AT THE POINT OF CONTACT OF THE RETAINING OR STEM WALL WITH THE FINISHED GRADE SURFACE, AND THE DETAILS OF THE FOUNDATION OF THE RETAINING AND STEM WALLS BELOW THE FINISHED GRADE SURFACE SHOULD BE CONSIDERED TOGETHER WITH THE STRUCTURAL DESIGN DRAWINGS AND DETAILS PROVIDED BY E.O.R. AND VERIFIED BY THE CONTRACTOR IN THE FIELD.
 4. THE DRIVEWAY IS REQUIRED TO SUPPORT 75,000 LBS MIN.
- SITE ADDRESS:**
- PROVIDE SITE ADDRESS (HOUSE NUMBER) PER 2019 CRC R319.1
- DRAINAGE NOTES:**
1. ALL ANCILLARY DRAIN PIPES (AREA DRAINS, LANDSCAPE DRAINS, TRENCH DRAINS, RETAINING WALL DRAIN LINES, ETC.) TO TIE INTO A STORM DRAIN PIPE OR DAYLIGHT INTO SWALE.
 2. ALL DRAIN PIPES TO BE BURIED A MINIMUM 12" FROM FINISH GRADE TO TOP OF PIPE.
 3. BELOW COBBLES, INSTALL FILTER FABRIC UNDERNEATH TO LIMIT EROSION.
 4. GRADING SHALL BE ACCOMPLISHED TO DRAIN INTO 12" DRAIN INLETS.
- GENERAL NOTES:**
1. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, NOTES, DETAILS, AND OTHER RELATED ITEMS FOR THE PROJECT AND REPORT ANY ERROR, INCONSISTENCY AND/OR OMISSION TO THE DESIGNER PRIOR TO PROCEEDING WITH ANY WORK. IF CONFLICTS ARE FOUND, THE MOST STRINGENT CONDITIONS SHALL GOVERN.
 2. DRAWINGS MAY NOT ALWAYS BE TO SCALE. NOTED DIMENSIONS SHALL TAKE PRECEDENCE.
 3. ALL FRAMING MATERIAL TO BE D.F. #2 OR BETTER. THE CONTRACTOR SHALL COMPLY WITH THE LOCAL GOVERNING ADMINISTRATIVE AND TECHNICAL MANUAL FOR GRADING/EROSION CONTROL AND SEDIMENT CONTROL. PRIOR TO OCTOBER 1, CONTRACTOR SHALL HAVE ALL APPROPRIATE EROSION AND SEDIMENT CONTROL MEASURES IN PLACE FOR THE WINTER MONTHS AND MUST ENSURE THAT THE CONSTRUCTION SITE IS PREPARED PRIOR TO THE ONSET OF ANY STORM.
 4. CONTRACTOR TO VERIFY LOCATIONS OF ALL THE UTILITIES IN FIELD.
- SITE PLAN GENERAL NOTES:**
- A. FIELD VERIFY ALL EXISTING SITE CONDITIONS PRIOR TO STARTING ANY WORK.
 - B. PROPERTY LINE (LOT SIZE) LENGTHS SHOWN ARE PLUS-MINUS TO ACTUAL LENGTHS AND ARE BASED ON FIELD MEASUREMENTS.
 - C. ANY NEW CONCRETE SIDEWALK DESIGN IS SHOWN AS AN OPTION. OWNER TO MODIFY OR ADJUST AS NECESSARY.
 - D. THE GROUND IMMEDIATELY ADJACENT TO THE NEW FOUNDATION SHALL BE SLOPED AWAY FROM BUILDING AT A SLOPE OF NOT LESS THAN 6" (5 PERCENT SLOPE) IN THE FIRST 10 FEET MEASURED PERPENDICULAR TO THE FACE OF THE WALL. IMPERVIOUS SURFACES WITHIN 10 FEET OF BUILDING SHALL BE SLOPED

LOT COVERAGE

LOT SIZE - 0.4533 ACRES = 19,746 SQ. FT.

LOT COVERAGE - 7899 SQ. FT. (40.0%)

EARTHWORK CALCULATIONS

NOTES:

1. THE ESTIMATED EARTHWORK CALCULATIONS ARE TO FULFILL THE REQUIREMENTS FOR A GRADING PERMIT ONLY AND ARE NOT TO BE USED IN A BID DOCUMENT. IT IS THE CONTRACTORS RESPONSIBILITY TO VERIFY THESE CALCULATIONS. FOOTINGS, UTILITY TRENCHING, POOL & SPA NOT INCLUDED WITHIN ESTIMATE.

EARTHWORK QUANTITIES (OVERALL PROJECT SITE):

EMBANKMENT (FILL)	+ -1428 CY
EXCAVATION (CUT)	+ -2008 CY
SITE TOTAL (IMPORT)	+ - 580 CY

SITE DISTURBANCE:

17039 SQ. FT. FOR ALL CONSTRUCTION ACTIVITY

NOTE:

HAUL ROUTE REQUIRED PRIOR TO CONSTRUCTION

FRONT YARD IMPERVIOUS AREA CALCULATIONS

40% MIN OF PERMEABLE SURFACE ALLOWED PER 10,240.70 FOLSOM MUNICIPAL CODE

FRONT YARD AREA: 2,165.64 SQ. FT.

DRIVEWAY (IM PERMEABLE AREA: 1,280.33 SQ. FT (59.12% OF FRONT YARD AREA)

PERMEABLE SURFACE: 885.28 SQ. FT (40.88% OF FRONT YARD AREA)

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REVISIONS		
MARK	DATE	DESCRIPTION
	06/23/2022	DRC REV. #1
△	08/06/2022	DRC REV. #2

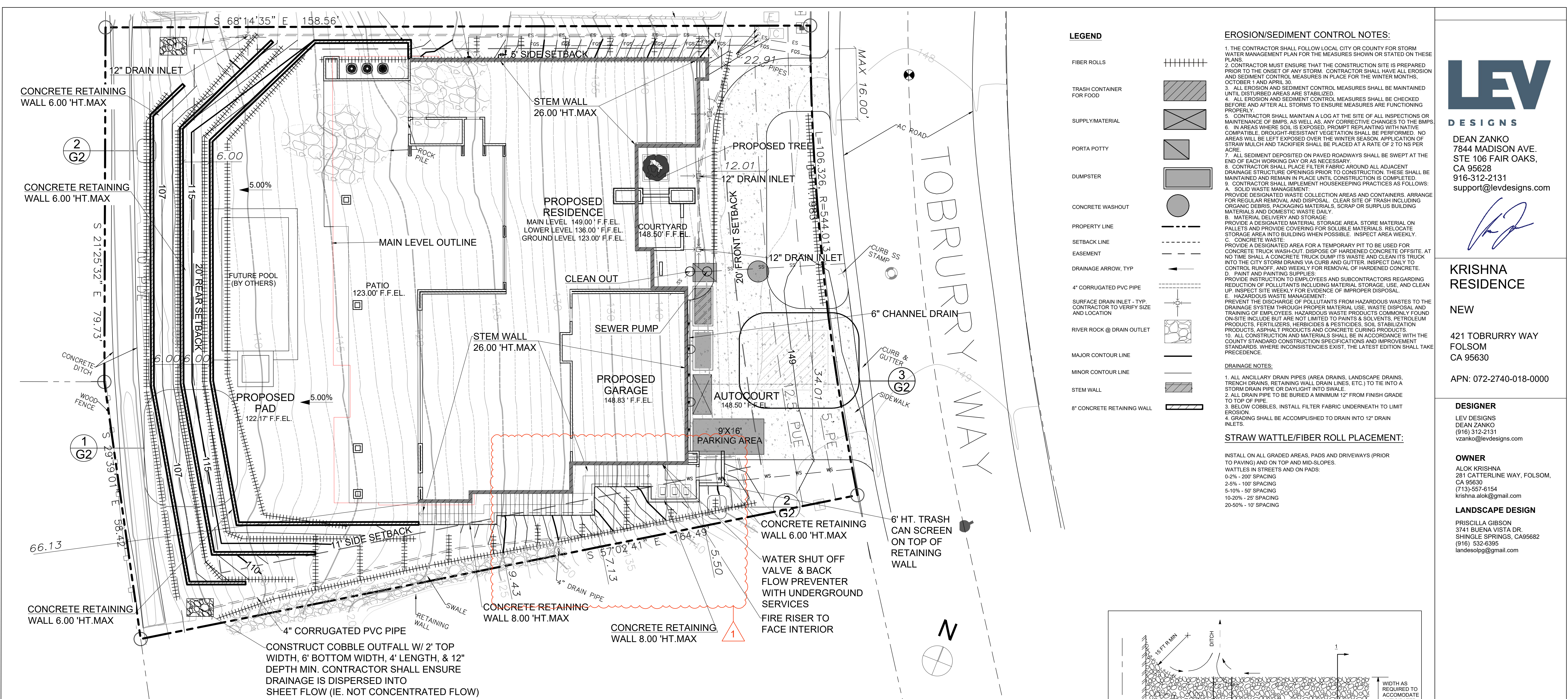
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SHEET TITLE:
SITE/GRADING PLAN

G1



EROSION AND SEDIMENT CONTROL PLAN

1" = 10'

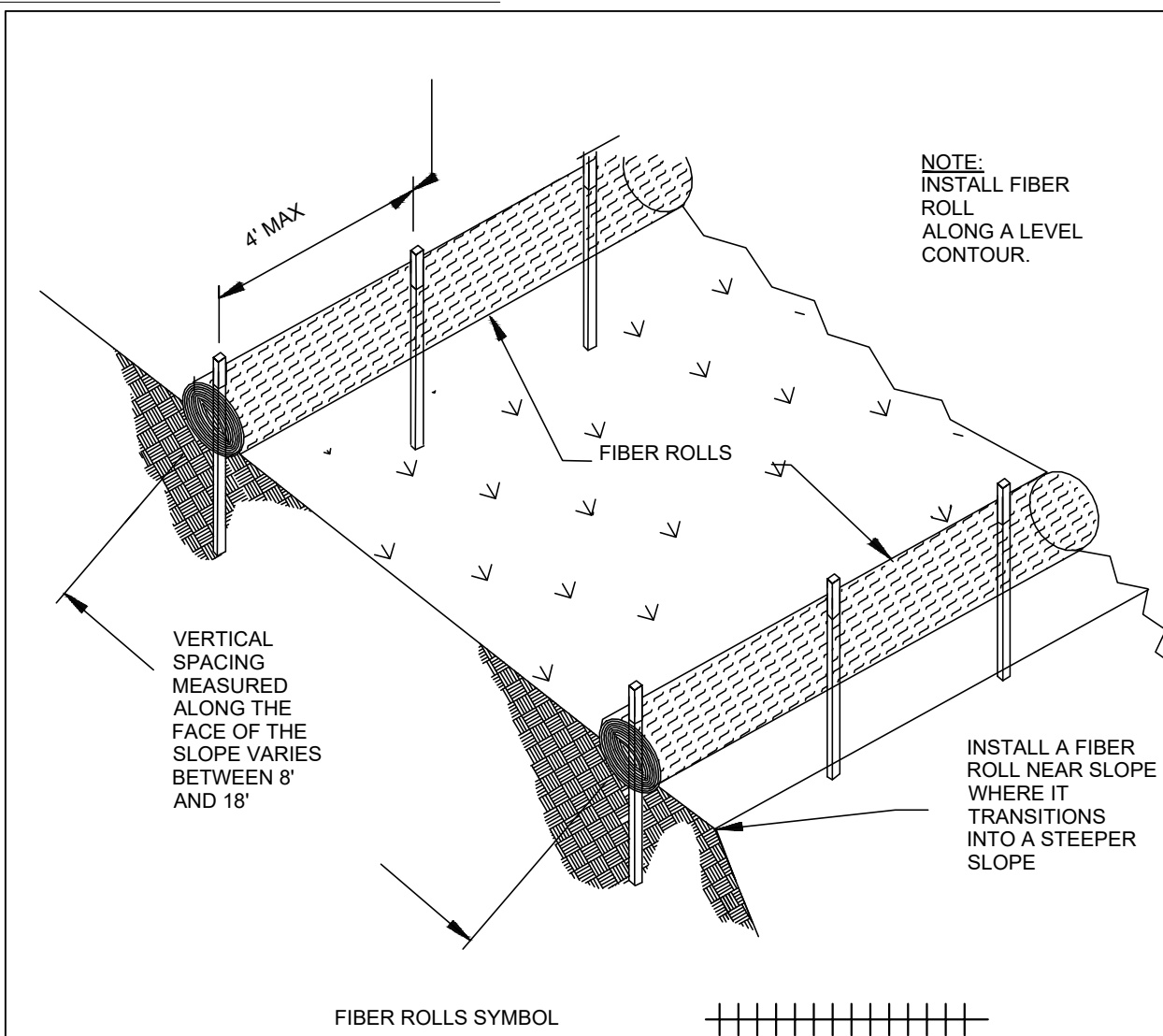
NOTE:

FINISH GRADE AROUND THE STRUCTURE/ADDITION SHALL SLOPE AWAY FROM THE FOUNDATION 5% MINIMUM AND THE 2% FROM THE ADJOINING PROPERTY AT A MINIMUM.

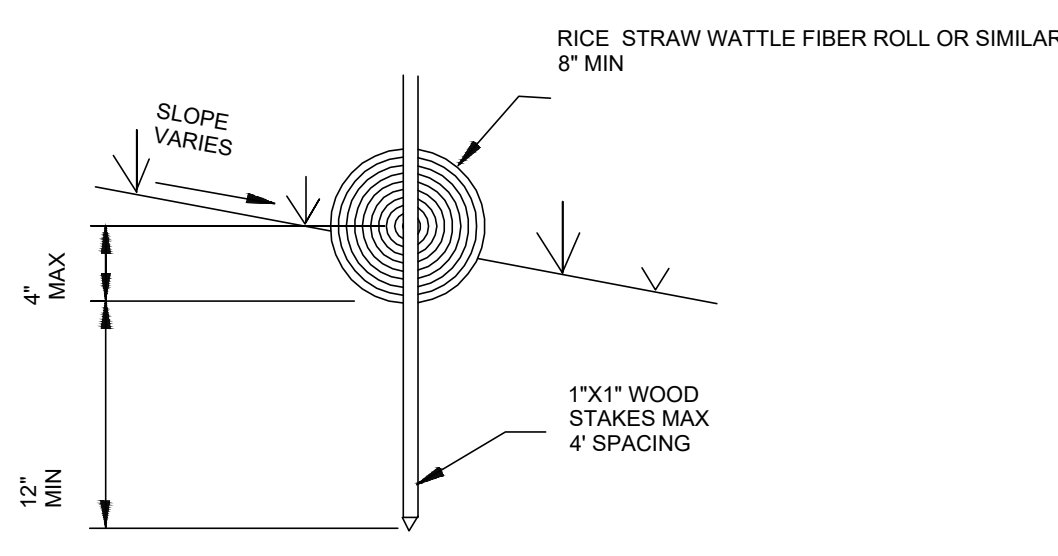
EXCEPTION: WHERE LOT LINES, WALLS, SLOPES OR OTHER PHYSICAL BARRIERS PROHIBIT 6 INCHES OF FALL WITHIN 10 FEET, DRAINS OR SWALES SHALL BE CONSTRUCTED TO ENSURE DRAINAGE AWAY FROM THE STRUCTURE. IMPERVIOUS SURFACES WITHIN 10 FEET OF THE BUILDING FOUNDATION SHALL BE SLOPPED A MINIMUM OF 2 PERCENT AWAY FROM THE BUILDING.

CONSTRUCTION ACCESS NOTES:

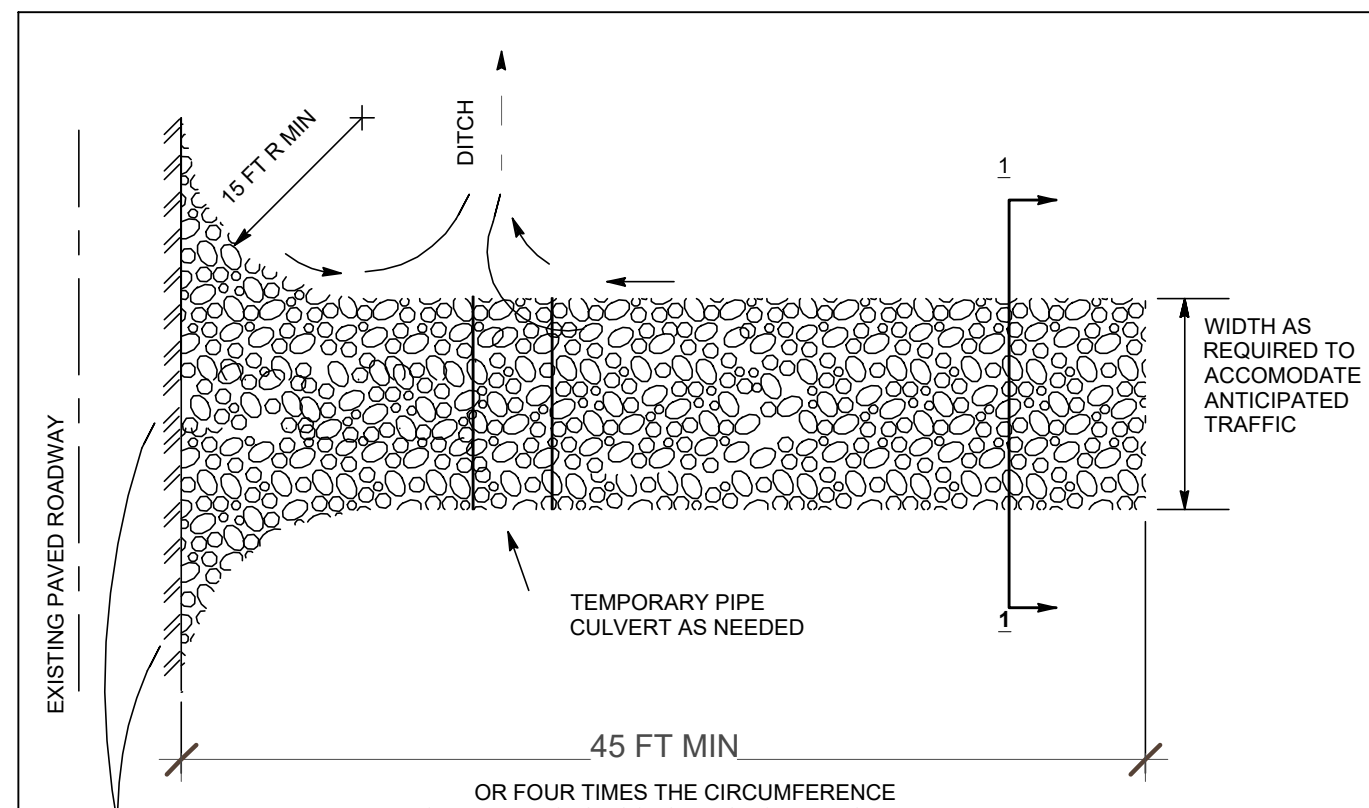
1. STABILIZED CONSTRUCTION SITE ACCESS SHALL BE CONSTRUCTED OF 40MM (3/4") MAX. AGGREGATE BASE MATERIAL CONFORMING TO COUNTY STANDARDS. MATERIAL SHALL BE PLACED TO A MIN. THICKNESS OF 150 MM (12"). THE METHOD OF PLACING, SPREADING AND COMPACTING AGGREGATE BASE MATERIAL SHALL CONFORM TO SECTION 26 OF THE STATE SPECIFICATIONS.
2. LENGTH OF ENTRANCE SHALL BE A MIN. OF 15 METERS (50'). WIDTH SHALL BE A MIN. OF 4.5 METERS (15') OR GREATER IF NECESSARY TO COVER ALL VEHICULAR INGRESS AND EGRESS. PROVIDE AMPLE TURNING RADIUS.
3. THE ENTRANCE SHALL BE KEPT IN GOOD CONDITION BY OCCASIONAL TOP DRESSING WITH AGGREGATE BASE MATERIAL.
4. ACCESSES SHALL BE INSPECTED WEEKLY DURING PERIODS OF HEAVY USAGE, AND AFTER EACH RAINFALL, WITH MAINTENANCE. PERIODIC AS NECESSARY. PERIODIC TOP DRESSING SHALL BE DONE AS NEEDED.



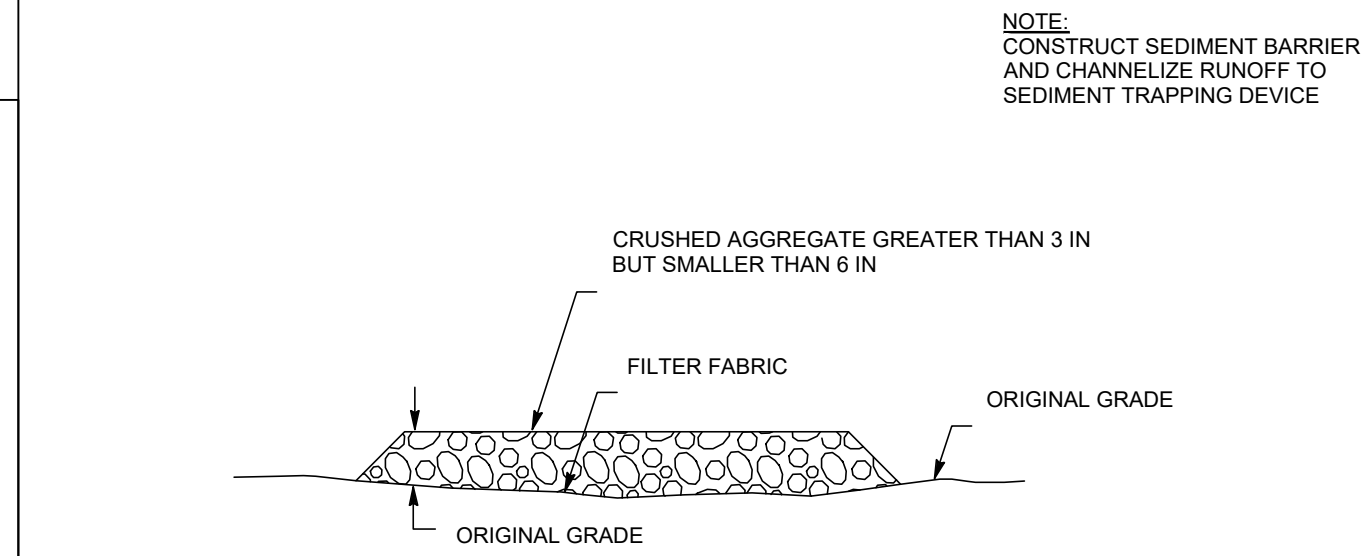
1 G1 TYP. FIBER ROLL/STRAW WATTLE INSTALLATION NTS



2 G2 TYP. FIBER ROLL/STRAW WATTLE DETAIL NTS



PLAN VIEW



SECTION 1-1

3 G2 STABILIZED CONSTRUCTION ENTRANCE DETAIL NTS

LEGEND

- FIBER ROLLS
- TRASH CONTAINER FOR FOOD
- SUPPLY/MATERIAL
- PORTA POTTY
- DUMPSTER
- CONCRETE WASHOUT
- PROPERTY LINE
- SETBACK LINE
- EASEMENT
- DRAINAGE ARROW, TYP
- 4" CORRUGATED PVC PIPE
- SURFACE DRAIN INLET - TYP. CONTRACTOR TO VERIFY SIZE AND LOCATION
- RIVER ROCK @ DRAIN OUTLET
- MAJOR CONTOUR LINE
- MINOR CONTOUR LINE
- STEM WALL
- 8" CONCRETE RETAINING WALL

EROSION/SEDIMENT CONTROL NOTES:

1. THE CONTRACTOR SHALL FOLLOW LOCAL CITY OR COUNTY FOR STORM WATER MANAGEMENT PLAN FOR THE MEASURES SHOWN OR STATED ON THESE PLANS.
2. CONTRACTOR MUST ENSURE THAT THE CONSTRUCTION SITE IS PREPARED PRIOR TO THE ONSET OF ANY STORM. CONTRACTOR SHALL HAVE ALL EROSION AND SEDIMENT CONTROL MEASURES IN PLACE FOR THE WINTER MONTHS, OCTOBER 1 AND APRIL 30.
3. ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE MAINTAINED UNTIL DISTURBED AREAS ARE STABILIZED.
4. ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE CHECKED BEFORE AND AFTER ALL STORMS TO ENSURE MEASURES ARE FUNCTIONING PROPERLY.
5. CONTRACTOR SHALL MAINTAIN A LOG AT THE SITE OF ALL INSPECTIONS OR MAINTENANCE OF BMPs, AS WELL AS ANY CORRECTIVE CHANGES TO THE BMPs.
6. IN AREAS WHERE SOIL IS EXPOSED, PROMPT REPLANTING WITH NATIVE COMPATIBLE, DROUGHT-RESISTANT VEGETATION SHALL BE PERFORMED. NO AREAS WILL BE LEFT EXPOSED OVER THE WINTER SEASON. APPLICATION OF STRAW MULCH AND TACKIFIER SHALL BE PLACED AT A RATE OF 2 TO NS PER ACRE.
7. ALL SEDIMENT DEPOSITED ON PAVED ROADWAYS SHALL BE SWEEPED AT THE END OF EACH WORKING DAY OR AS NECESSARY.
8. CONTRACTOR SHALL PLACE FILTER FABRIC AROUND ALL ADJACENT DRAINAGE STRUCTURE OPENINGS PRIOR TO CONSTRUCTION. THESE SHALL BE MAINTAINED AND REMAIN IN PLACE UNTIL CONSTRUCTION IS COMPLETED.
9. CONTRACTOR SHALL IMPLEMENT HOUSEKEEPING PRACTICES AS FOLLOWS:
 - A. SOLID WASTE MANAGEMENT: PROVIDE DESIGNATED WASTE COLLECTION AREAS AND CONTAINERS. ARRANGE FOR REGULAR REMOVAL AND DISPOSAL. CLEAR SITE OF TRASH INCLUDING ORGANIC DEBRIS, PACKAGING MATERIALS, SCRAP OR SURPLUS BUILDING MATERIALS AND DOMESTIC WASTE DAILY.
 - B. MATERIAL DELIVERY AND STORAGE: PROVIDE A DESIGNATED MATERIAL STORAGE AREA. STORE MATERIAL ON PALLETS AND PROVIDE COVERING FOR SOLUBLE MATERIALS. RELOCATE STORAGE AREA INTO TO BUILDING WHEN POSSIBLE. INSPECT AREA WEEKLY.
 - C. CONCRETE WASTE: PROVIDE A DESIGNATED AREA FOR A TEMPORARY PIT TO BE USED FOR CONCRETE TRUCK WASH-OUT. DISPOSE OF HARDENED CONCRETE OFFSITE. AT NO TIME SHALL A CONCRETE TRUCK DUMP ITS WASTE AND CLEAN ITS TRUCK INTO THE CITY STORM DRAINS VIA CURB AND GUTTER. INSPECT DAILY TO CONTROL RUNOFF, AND WEEKLY FOR REMOVAL OF HARDENED CONCRETE.
 - D. PAINT AND PAINTING SUPPLIES: PROVIDE INSTRUCTION TO EMPLOYEES AND SUBCONTRACTORS REGARDING REDUCTION OF POLLUTANTS INCLUDING MATERIAL STORAGE, USE, AND CLEAN UP. INSPECT SITE WEEKLY FOR EVIDENCE OF IMPROPER DISPOSAL.
 - E. HAZARDOUS WASTE MANAGEMENT: PREVENT THE DISCHARGE OF POLLUTANTS FROM HAZARDOUS WASTES TO THE DRAINAGE SYSTEM THROUGH PROPER MATERIAL USE, WASTE DISPOSAL AND TRAINING OF EMPLOYEES. HAZARDOUS WASTE PRODUCTS COMMONLY FOUND ON-SITE INCLUDE BUT ARE NOT LIMITED TO PAINTS & SOLVENTS, PETROLEUM PRODUCTS, FERTILIZERS, HERBICIDES & PESTICIDES, SOIL STABILIZATION PRODUCTS, ASPHALT PRODUCTS AND CONCRETE CURING PRODUCTS.
10. ALL CONSTRUCTION AND MATERIALS SHALL BE IN ACCORDANCE WITH THE COUNTY STANDARD CONSTRUCTION SPECIFICATIONS AND IMPROVEMENT STANDARDS. WHERE INCONSISTENCIES EXIST, THE LATEST EDITION SHALL TAKE PRECEDENCE.

DRAINAGE NOTES:

1. ALL ANCILLARY DRAIN PIPES (AREA DRAINS, LANDSCAPE DRAINS, TRENCH DRAINS, RETAINING WALL DRAIN LINES, ETC.) TO TIE INTO A STORM DRAIN PIPE OR DAYLIGHT INTO SWALE.
2. ALL DRAIN PIPE TO BE BURIED A MINIMUM 12" FROM FINISH GRADE TO TOP OF PIPE.
3. BELOW COBBLES, INSTALL FILTER FABRIC UNDERNEATH TO LIMIT EROSION.
4. GRADING SHALL BE ACCOMPLISHED TO DRAIN INTO 12" DRAIN INLETS.

STRAW WATTLE/FIBER ROLL PLACEMENT:

- INSTALL ON ALL GRADED AREAS, PADS AND DRIVEWAYS (PRIOR TO PAVING) AND ON TOP AND MID-SLOPES.
- WATTLES IN STREETS AND ON PADS:
- 0-2% - 200' SPACING
 - 2-5% - 100' SPACING
 - 5-10% - 50' SPACING
 - 10-20% - 25' SPACING
 - 20-50% - 10' SPACING

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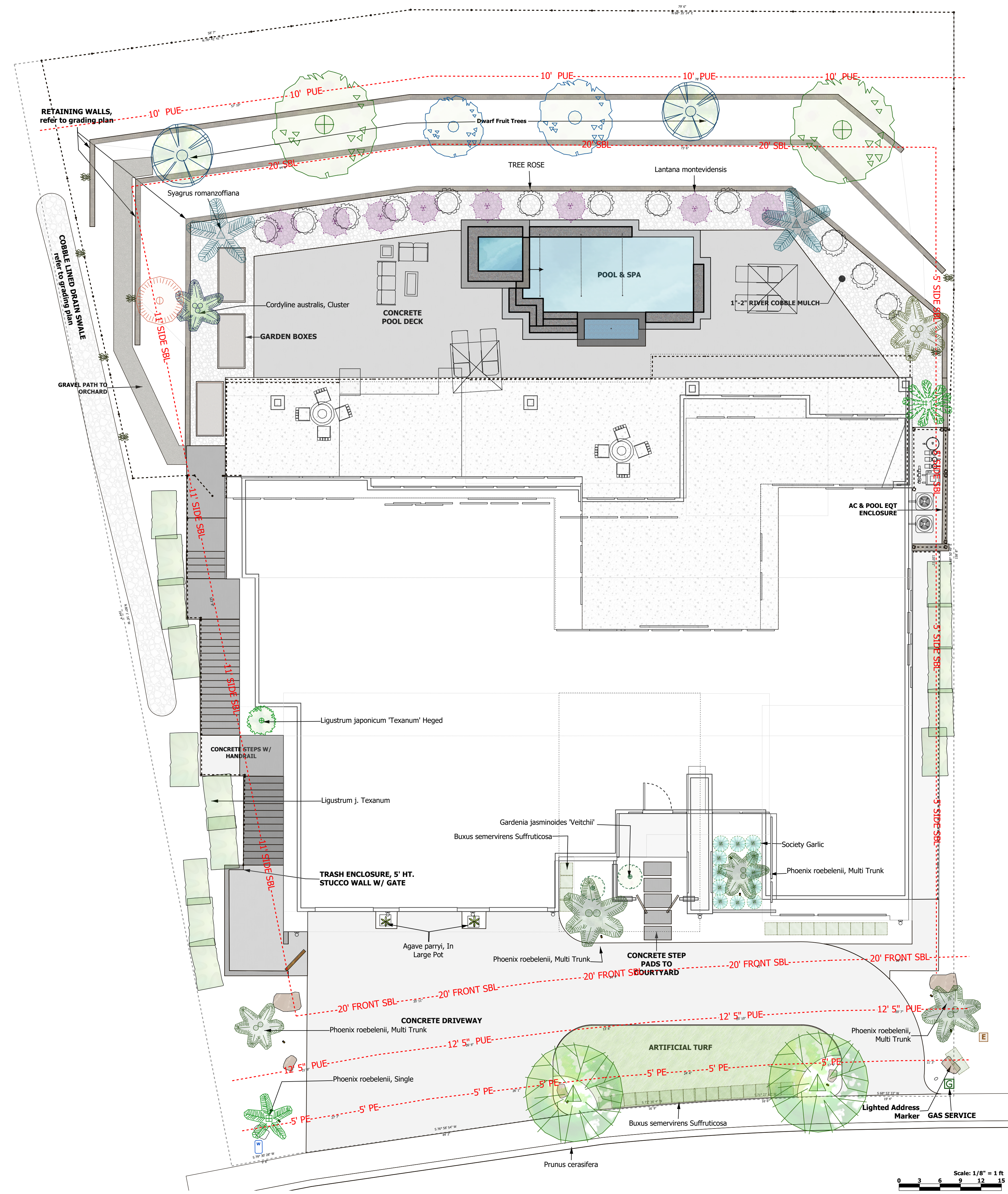
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REVISIONS		
MARK	DATE	DESCRIPTION
	06/23/2022	DRC REV. #1
	08/06/2022	DRC REV. #2

DRAWN BY: ALEX K.
CHKD BY: DEAN Z.
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SHEET TITLE:
EROSION AND SEDIMENT CONTROL PLAN

G2



PLANT LEGEND					
Symbol	Botanical Name	Common Name	Qty	Size	Water
	Agave parryi	Agave parryi, In Large Pot	2	#5	low
	Buxus semivirens Suffruticosa	Dwarf English Oxwood	32	#1	med
	Citrus limon	Dwarf Lemon	1	#15	med
	Cordyline australis	Cordyline australis	2	#15	low
	Ficus Lyrata, dwarf	Dwarf Fruit Trees	2	#15	med
	Gardenia jasminoides 'Veltchi'	Gardenia jasminoides 'Veltchi'	2	#5	med
	Lantana montevidensis	Trailing Lantana	8	#1	low
	Ligustrum j. 'Texanum'	Ligustrum j. Texanum	15	#1	low
	Ligustrum japonicum 'Texanum'	Ligustrum japonicum 'Texanum' Heged	1	#1	low
	Malus domestica Summer	Apple Tree, Summer	2	#15	med
	Pyrus Bradford, Dwarf	Dwarf Pear	2	#15	med
	Phoenix roebelenii	Syagrus romanzoffiana	4	#15	med
	Phoenix roebelenii	Pygmy Date Palm, Single	1	#1	med
	Phoenix roebelenii	Pygmy Date Palm, Single	1	#15	med
	Prunus cerasifera	Prunus cerasifera	2	#15	med
	Syagrus romanzoffiana	Syagrus romanzoffiana	2	#15	med
	Trachelospermum jasminoides	Confederate Jasmine	7	#1	med
	Tree Roses	Tree Roses - color choice	12	#5	med
	Tulbaghia Violacea 'Silver Lace'	Society Garlic	12	#1	low

* NOTE*
ALL PLANTS MAY NOT BE AVAILABLE AT PLANTING TIME. CONSULT WITH LANDSCAPE DESIGNER, LANDSCAPE CONTRACTOR OR NURSERY PROFESSIONAL FOR SUITABLE SUBSTITUTIONS COMPLIANT TO WUCOLS LOW OR MED WATER REQUIREMENTS

- PLANTING NOTES**
- (1.) PLANS ARE DIAGRAMMATIC. CONTRACTOR/OWNER SHALL BE RESPONSIBLE FOR FIELD VERIFYING ALL EXISTING CONDITIONS AND ADJUST PLAN ACCORDINGLY.
(2.) ALL PLANT MATERIALS SHALL MEET SIZE SPECIFICATIONS AS SHOWN ON THE PLANT LIST/LEGEND, AND SHALL BE HEALTHY, FULL, AND SHALL BE OF FIRST RATE QUALITY FOR THE SPECIES.
(3.) NO PLANTING SHALL BE STARTED UNTIL FINISH GRADING AND IRRIGATIONS SYSTEM HAVE BEEN COMPLETED.
(4.) THE LOCATIONS OF TREES AND SHRUBS SHALL BE ADJUSTED IN THE FIELD TO ACCOMMODATE EXISTING UTILITIES, LIGHTS, SPRINKLERS, ETC.
(5.) CONTRACTOR(S) SHALL CULTIVATE LAWN AND PLANTING AREAS WITH APPROVED SOIL AMENDMENTS.
(6.) AFTER PLANTING IS COMPLETE AND AREAS HAVE BEEN FINE GRADED, SPREAD BARK TOP DRESS TO A 3" MINIMUM DEPTH IN ALL NON-TURF PLANTER BEDS.
(7.) PLANTER BED MULCH SHALL BE SMALL CHIPPED BROWN. MULCH SHALL BE FREE OF LARGE WOODY PIECES, SOIL, STONES, STICKS, DEBRIS OR OTHER FOREIGN MATTER.
(8.) SOIL AMENDMENTS SHALL BE APPLIED AT THE RATE OF 6 CUBIC YARDS PER 1000 SQUARE FEET AND THOROUGHLY CULTIVATED INTO THE SOIL PRIOR TO PLANTING. AMENDMENTS TO BE NITRIFIED WOOD COMPOST OR EQUAL FREE OF SEED AND NON-ORGANIC MATERIALS.
(9.) ALL FIVE-GALLON AND LARGER TREES SHOULD BE DOUBLE STAKED, PERPENDICULAR TO THE PREVAILING WIND PATTERN, WITH 8' LODGE-POLE STAKED OUTSIDE THE PLANTING PIT AND TIED WITH FLEXIBLE TIES.
(10.) PLANTERS WHICH SOIL WAS EXCAVATED SHALL RECEIVE NEW TOPSOIL AMENDED AS IN NOTE #8.
(11.) PLANTING PITTS SHALL BE 2 TIMES (2X) THE DIAMETER OF THE ROOT BALL AND 2" LESS THAN THE DEPTH OF THE ROOT BALL.
(12.) CONTRACTOR/OWNER SHALL ABIDE BY ALL LOCAL, STATE AND FEDERAL LAWS, CODES AND ORDINANCES.
(13.) LANDSCAPE DESIGNER SHALL NOT BE HELD RESPONSIBLE FOR ANY REVISIONS OR DEVIATIONS TO THESE DRAWINGS.
(14.) ALL REVISIONS MUST BE INITIALED AND DATED BY THE LANDSCAPE DESIGNER. FAILURE TO DO SO RELEASES LANDSCAPE DESIGNER FROM LIABILITY.



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06/16/2022
DATE

LANDSCAPE PLAN
AREA & SCOPE

1 OF 1
PAGE

1/8" = 1' 0"
SCALE

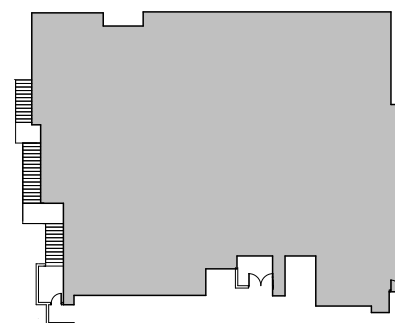
KRISHNA
RESIDENCE

NEW

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FOLSOM
CA 95630

072-2740-018-0000

KEY PLAN:



REVISIONS

MARK	DATE	DESCRIPTION
	08/07/2022	

PROJECT NO:

DRAWN BY: TANYA B.

CHKD BY: DEAN Z.

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SHEET TITLE:

OVERALL MAIN LEVEL
FLOOR PLAN

A3.0

FLOOR PLAN NOTES:

1. ALL EXTERIOR DIMENSIONS TO FACE OF STUD, FACE OF FOUNDATION, & FACE OF STOREFRONT (U.O.N.)
2. ALL INTERIOR DIMENSIONS TO FACE OF STUD (U.O.N.)
3. ALL DIMENSIONS AT WINDOWS & DOORS ARE TO THE CENTERLINE. (U.O.N.)
4. ALL DOOR JAMBS ON HINGE SIDE SHALL BE 4" U.O.N.
5. ALL ANGLED WALLS (OTHER THAN 90 DEGREES) SHALL BE 45 DEGREES U.O.N.
6. ALL EXTERIOR WALLS SHALL BE CONSTRUCTED OF 2"X6" 16" O.C. STUDS, U.O.N., S.S.D.
7. ALL INTERIOR WALLS SHALL BE CONSTRUCTED OF 2"X4" 16" O.C. STUDS, U.O.N., S.S.D.
8. SUB-CONTRACTOR SHALL INSURE THAT ALL WORK IS DONE IN A PROFESSIONAL WORKMANLIKE MANNER BY SKILLED MECHANICS AND SHALL REPLACE ANY MATERIALS OR ITEMS DAMAGED BY SUB-CONTRACTORS PERFORMANCE. SUB-CONTRACTORS AND SUPPLIERS ARE HEREBY NOTIFIED THAT THEY ARE TO CONFER AND COOPERATE FULLY WITH EACH OTHER DURING THE COURSE OF CONSTRUCTION TO DETERMINE THE EXACT EXTENT AND OVERLAP OF EACH OTHER'S WORK AND TO SUCCESSFULLY COMPLETE THE EXECUTION OF THE WORK. ALL SUB-CONTRACTOR WORKMANSHIP WILL BE OF QUALITY TO PASS INSPECTIONS BY LOCAL AUTHORITIES, LENDING INSTITUTIONS, ARCHITECT/DESIGNER, OR BUILDER. ANY ONE OR ALL OF THE ABOVE MENTIONED INSPECTORS MAY INSPECT WORKMANSHIP AT ANY TIME, AND ANY CORRECTIONS NEEDED TO ENHANCE THE QUALITY OF BUILDING WILL BE DONE IMMEDIATELY. EACH SUB-CONTRACTOR, UNLESS SPECIFICALLY EXEMPTED BY THE TERMS OF HIS SUB-CONTRACT AGREEMENT, SHALL BE RESPONSIBLE FOR CLEANING UP AND REMOVING FROM THE JOB SITE ALL TRASH AND DEBRIS NOT LEFT BY OTHER SUB-CONTRACTORS. BUILDER WILL DETERMINE HOW SOON AFTER SUB-CONTRACTOR COMPLETES EACH PHASE OF HIS WORK THAT TRASH AND DEBRIS WILL BE REMOVED FROM THE SITE.
9. ALL TEMPERED GLASS SHALL BE AFFIXED WITH A PERMANENT LABEL PER 2019
10. PROVIDE ACOUSTICAL PIPE WRAP AT ALL SECOND FLOOR WASTE LINES
11. TILE INSTALLATION SHALL COMPLY W/ APPLICABLE SECTIONS OF THE TILE COUNCIL OF NORTH AMERICA'S "HANDBOOK FOR CERAMIC TILE INSTALLATION" AND ITS REFERENCED STANDARDS.
12. ALL COUNTERTOPS, TUB DECKS & WALLS AT TUBS & SHOWERS SHALL HAVE SMOOTH, HARD, NONABSORBENT SURFACE OF CEMENTITIOUS BACKER BOARD AND A MOISTURE RESISTANT UNDERLAYMENT TO
13. PROVIDE BACKING FOR ALL WALL AND CEILING MOUNTED CABINETS, FIXTURES, CABINETS, BRACKET, GRAB BARS, ETC. AS REQUIRED. COORDINATE WITH SUPPLIERS FOR REQUIREMENTS.
14. CALCULATIONS AND DETAILS FOR MOUNTING HANDRAILS & CONNECTION OF GUARDRAILS SHALL BE PROVIDED FOR REVIEW AND APPROVAL BY RAILING FABRICATOR PRIOR TO INSTALLATION FOR COMPLIANCE WITH 2019
15. VERIFY APPLIANCE DIMENSIONS PRIOR TO CABINET FABRICATION
16. 1 LAYER 1/2" GYP. BD. ON ALL WALLS OF GARAGE. CRC R308.1. A HEIGHT OF +72" ABOVE FLOOR PER 2019 CRC R307.2 OR CRC TABLE R301.5 2019 CRC TABLE R302.6 (2019 CRC R311.7.5.1).
17. A DRAFT STOPS TO BE PROVIDED IN THE FLOOR/CEILING ASSEMBLIES AND ATTIC (CBC SECTIONS 718.3.3 AND 718.4.3 AND R302.12). DRAFT STOPPING SHALL DIVIDE THE CONCEALED SPACE INTO APPROXIMATELY EQUAL AREAS. CBC 718.4.3 DRAFTSTOPPING SHALL BE INSTALLED IN ATTICS AND CONCEALED ROOF SPACES, SUCH THAT ANY HORIZONTAL AREA DOES NOT EXCEED 3,000 SQ. FT. CONTRACTOR TO VERIFY IN FIELD.
18. EXTERIOR DOORS: RECESS CONCRETE (WHERE OCCURS) AT DOOR THRESHOLDS TO MINIMIZE THRESHOLD HEIGHT. COORDINATE WITH FLOORING (WOOD, CARPET, OR EXPOSED CONCRETE, ETC). CONSULT MANUFACTURER FOR ANY THRESHOLD REQUIREMENTS FOR CONCRETE SLAB APPLICATIONS. THRESHOLD MUST COMPLY WITH MANUFACTURER'S WEATHER-PROOFING REQUIREMENT
19. 2" RECESS. RECESS FOUNDATION AT ALL RECESSED DOORS.

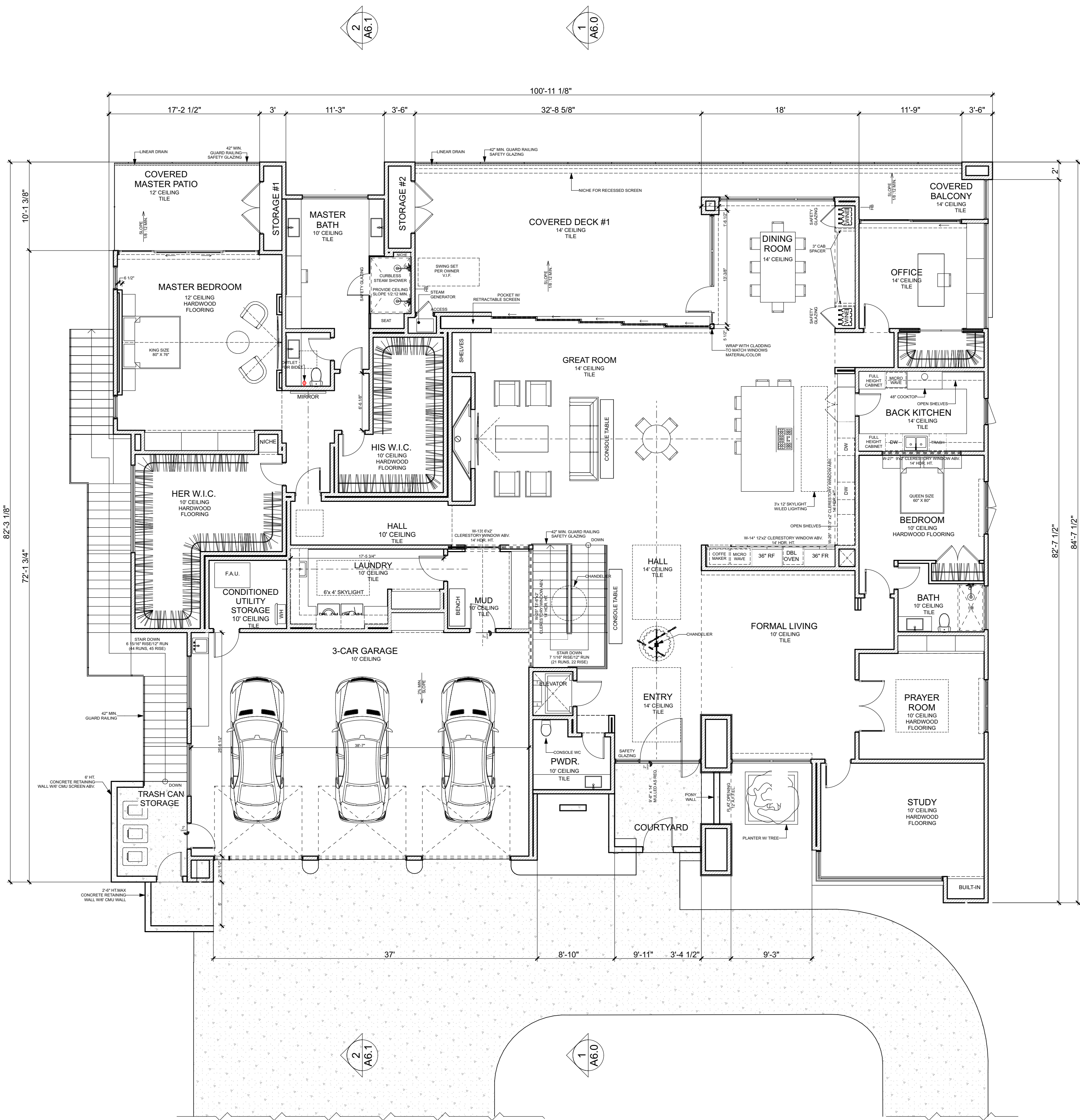
WALL LEGEND:

2"X4" @16" O.C.	
2"X6" @16" O.C.	
8" CONCRETE WALL	

DROPPED CEILING OR SOFFIT	
CONCRETE LANDING	

SQUARE FOOTAGE BREAKDOWN:

MAIN LEVEL FLOOR PLAN	5 382	SQ. FT.	3-CAR GARAGE	1 043	SQ. FT.
LOWER LEVEL	3 269	SQ. FT.	COURTYARD	106	SQ. FT.
GROUND LEVEL	2 666	SQ. FT.	COVERED BALCONY	170	SQ. FT.
			COVERED DECK #1	584	SQ. FT.
			COVERED DECK #2	1 204	SQ. FT.
			COVERED MASTER PATIO	174	SQ. FT.
			PATIO	2 300	SQ. FT.
			STORAGE #1	27	SQ. FT.
			STORAGE #2	32	SQ. FT.
			UNCONDITIONED STORAGE	579	SQ. FT.



OVERALL MAIN LEVEL FLOOR PLAN

1/8" = 1'-0"

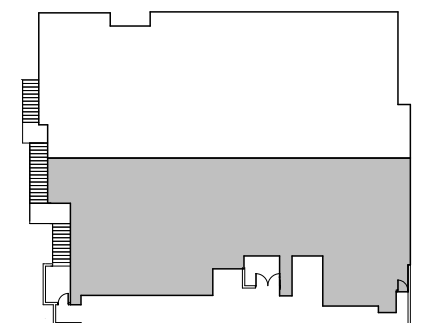
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RESIDENCE**

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421 TOBRURRY WAY
FOLSOM
CA 95630

072-2740-018-0000

KEY PLAN:

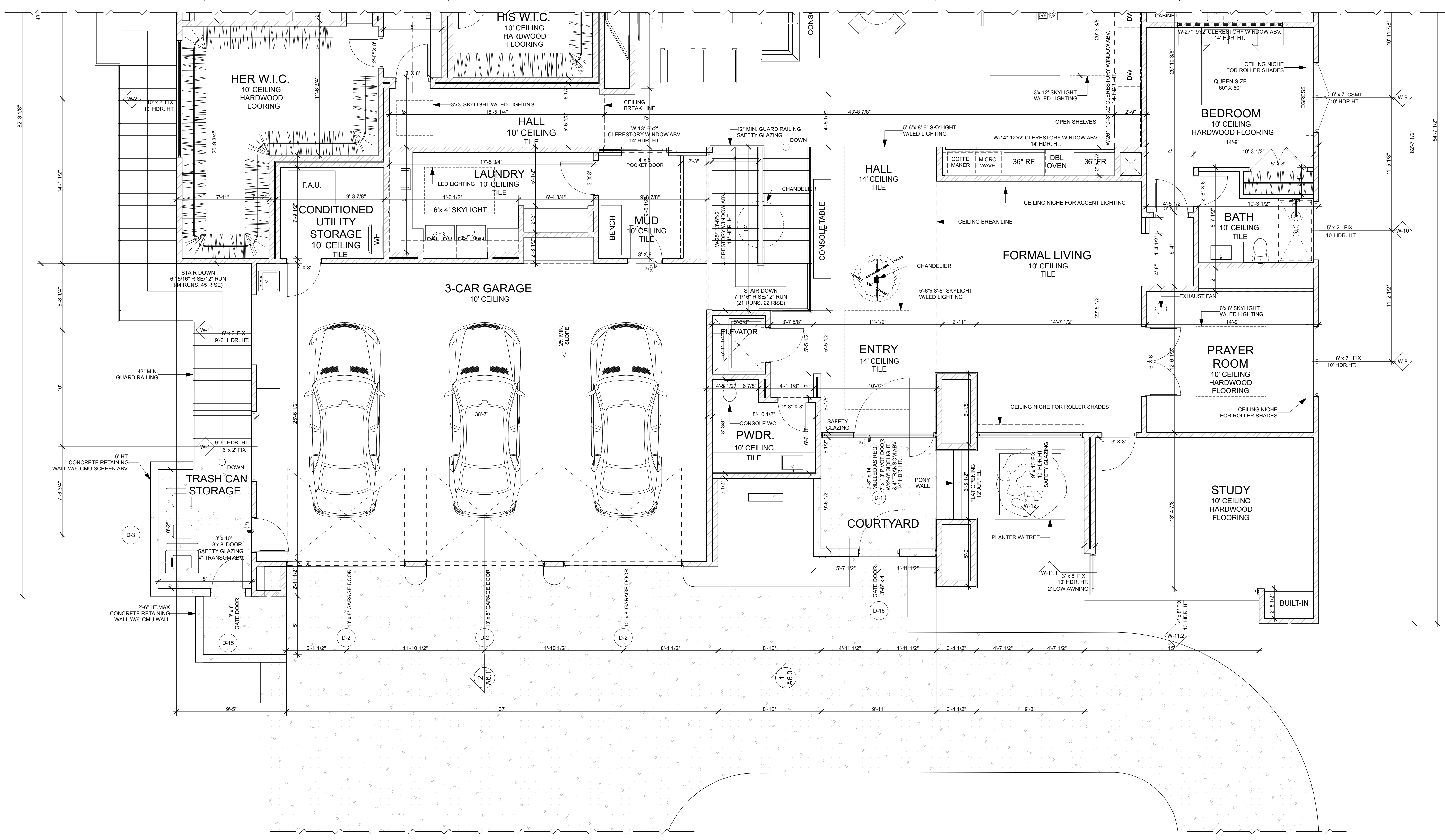


REVISIONS

MARK	DATE	DESCRIPTION
	08/07/2022	

PROJECT NO:
DRAWN BY: TANYA B.
CHKD BY: DEAN Z.
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SHEET TITLE:
DETAILED MAIN LEVEL
FLOOR PLAN (PART 1)



DETAILED MAIN LEVEL FLOOR PLAN (PART 1)

1/4" = 1'-0"

FLOOR PLAN NOTES:

1. ALL EXTERIOR DIMENSIONS TO FACE OF STUD, FACE OF FOUNDATION, & FACE OF STOREFRONT (U.O.N.)
2. ALL INTERIOR DIMENSIONS TO FACE OF STUD (U.O.N.)
3. ALL DIMENSIONS AT WINDOWS & DOORS ARE TO THE CENTERLINE (U.O.N.)
4. ALL DOOR JAMBS ON HINGE SIDE SHALL BE 4" U.O.N.
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19. 2" RECESS. RECESS FOUNDATION AT ALL RECESSED DOORS.

WALL LEGEND:

- 2"x4" @16" O.C.
- 2"x6" @16" O.C.
- 8" CONCRETE WALL

HATCH PATTERNS:

- DROPPED CEILING OR SOFFIT
- CONCRETE LANDING

SQUARE FOOTAGE BREAKDOWN:

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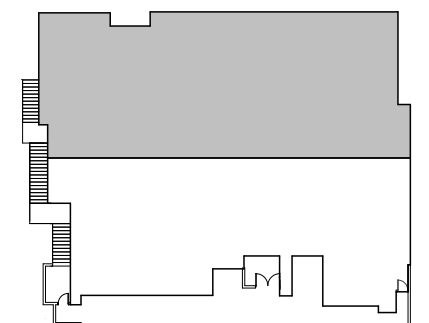
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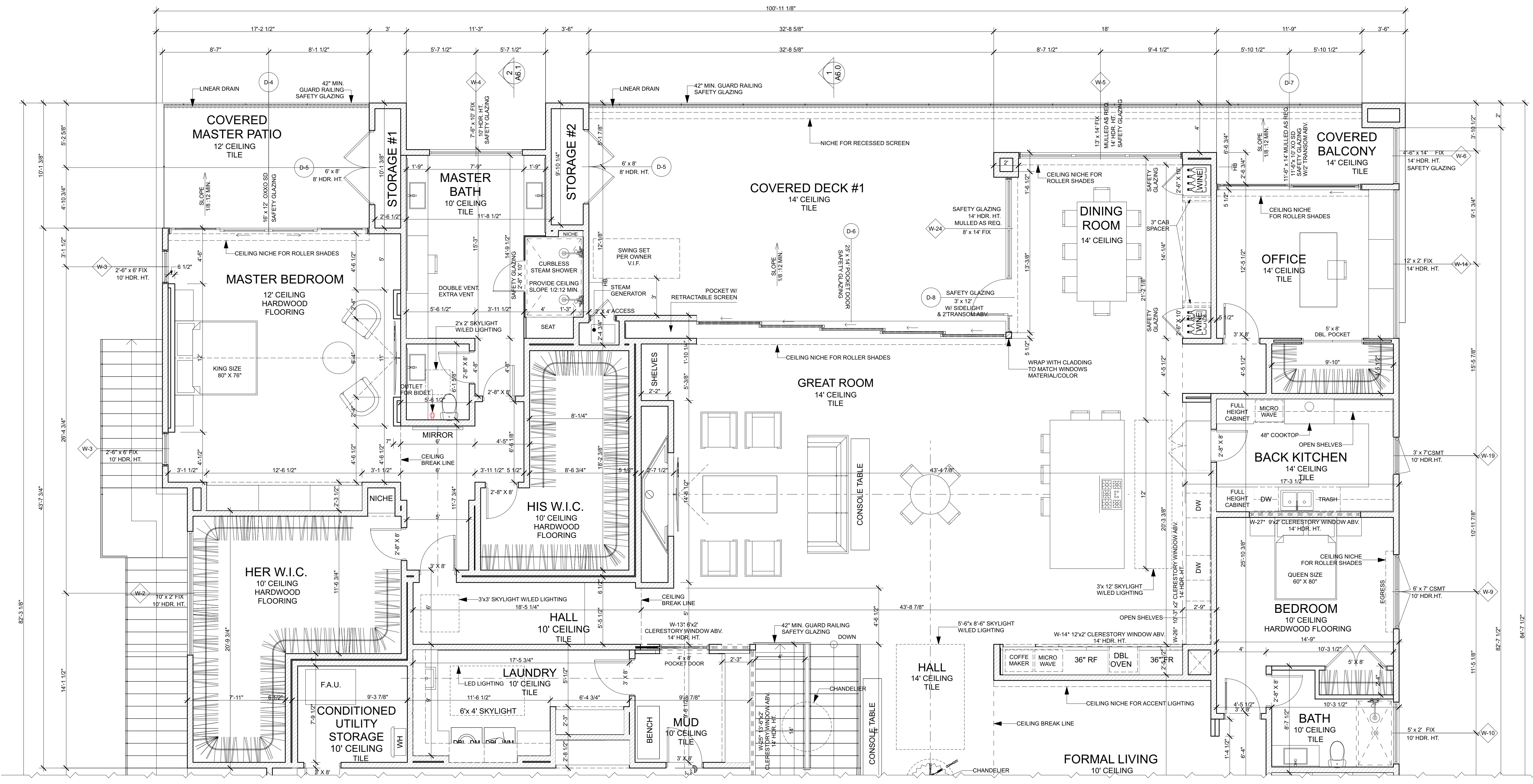
KEY PLAN:



REVISIONS

MARK	DATE	DESCRIPTION
	08/07/2022	

PROJECT NO:
DRAWN BY: TANYA B.
CHKD BY: DEAN Z.
COPYRIGHT: LEV DESIGNS
SHEET TITLE:
DETAILED MAIN LEVEL
FLOOR PLAN (PART 2)



DETAILED MAIN LEVEL FLOOR PLAN (PART 2)

1/4" = 1'-0"

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10. PROVIDE ACOUSTICAL PIPE WRAP AT ALL SECOND FLOOR WASTE LINES.

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15. VERIFY APPLIANCE DIMENSIONS PRIOR TO CABINET FABRICATION
16. 1 LAYER 1/2" GYP. BD. ON ALL WALLS OF GARAGE, CRC R308.1. A HEIGHT OF +72" ABOVE FLOOR PER 2019 CRC R307.2 CRC TABLE R301.5 2019 CRC TABLE R302.6 (2019 CRC R311.7.5.1).
17. A DRAFT STOPS TO BE PROVIDED IN THE FLOOR/CEILING ASSEMBLIES AND ATTIC (CBC SECTIONS 718.3.3 AND 718.4.3 AND R302.12). DRAFT STOPPING SHALL DIVIDE THE CONCEALED SPACE INTO APPROXIMATELY EQUAL AREAS. CBC 718.4.3 DRAFTSTOPPING SHALL BE INSTALLED IN ATTICS AND CONCEALED ROOF SPACES, SUCH THAT ANY HORIZONTAL AREA DOES NOT EXCEED 3,000 SQ. FT. CONTRACTOR TO VERIFY IN FIELD.
18. EXTERIOR DOORS: RECESS CONCRETE (WHERE OCCURS) AT DOOR THRESHOLDS TO MINIMIZE THRESHOLD HEIGHT - COORDINATE WITH FLOORING (WOOD, CARPET, OR EXPOSED CONCRETE, ETC). CONSULT MANUFACTURER FOR ANY THRESHOLD REQUIREMENTS FOR CONCRETE SLAB APPLICATIONS. THRESHOLD MUST COMPLY WITH MANUFACTURER'S WEATHER-PROOFING REQUIREMENT
19. 2" RECESS. RECESS FOUNDATION AT ALL RECESSED DOORS.

WALL LEGEND:

- 2"x4" @16" O.C.
- 2"x6" @16" O.C.
- 8" CONCRETE WALL

HATCH PATTERNS:

- DROPPED CEILING OR SOFFIT
- CONCRETE LANDING

SQUARE FOOTAGE BREAKDOWN:

MAIN LEVEL FLOOR PLAN	5 382	SQ. FT.
LOWER LEVEL	3 269	SQ. FT.
GROUND LEVEL	2 666	SQ. FT.
	11 317	SQ. FT.

3-CAR GARAGE	1 043	SQ. FT.
COURTYARD	106	SQ. FT.
COVERED BALCONY	170	SQ. FT.
COVERED DECK #1	584	SQ. FT.
COVERED DECK #2	1 204	SQ. FT.
COVERED MASTER PATIO	174	SQ. FT.
PATIO	2 300	SQ. FT.
STORAGE #1	27	SQ. FT.
STORAGE #2	32	SQ. FT.
UNCONDITIONED STORAGE	579	SQ. FT.

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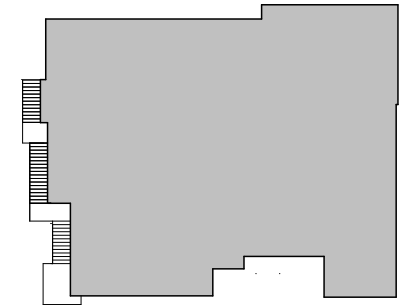
KRISHNA
RESIDENCE

NEW

421 TOBRURRY WAY
FOLSOM
CA 95630

072-2740-018-0000

KEY PLAN:



REVISIONS

MARK	DATE	DESCRIPTION
	08/07/2022	

PROJECT NO:

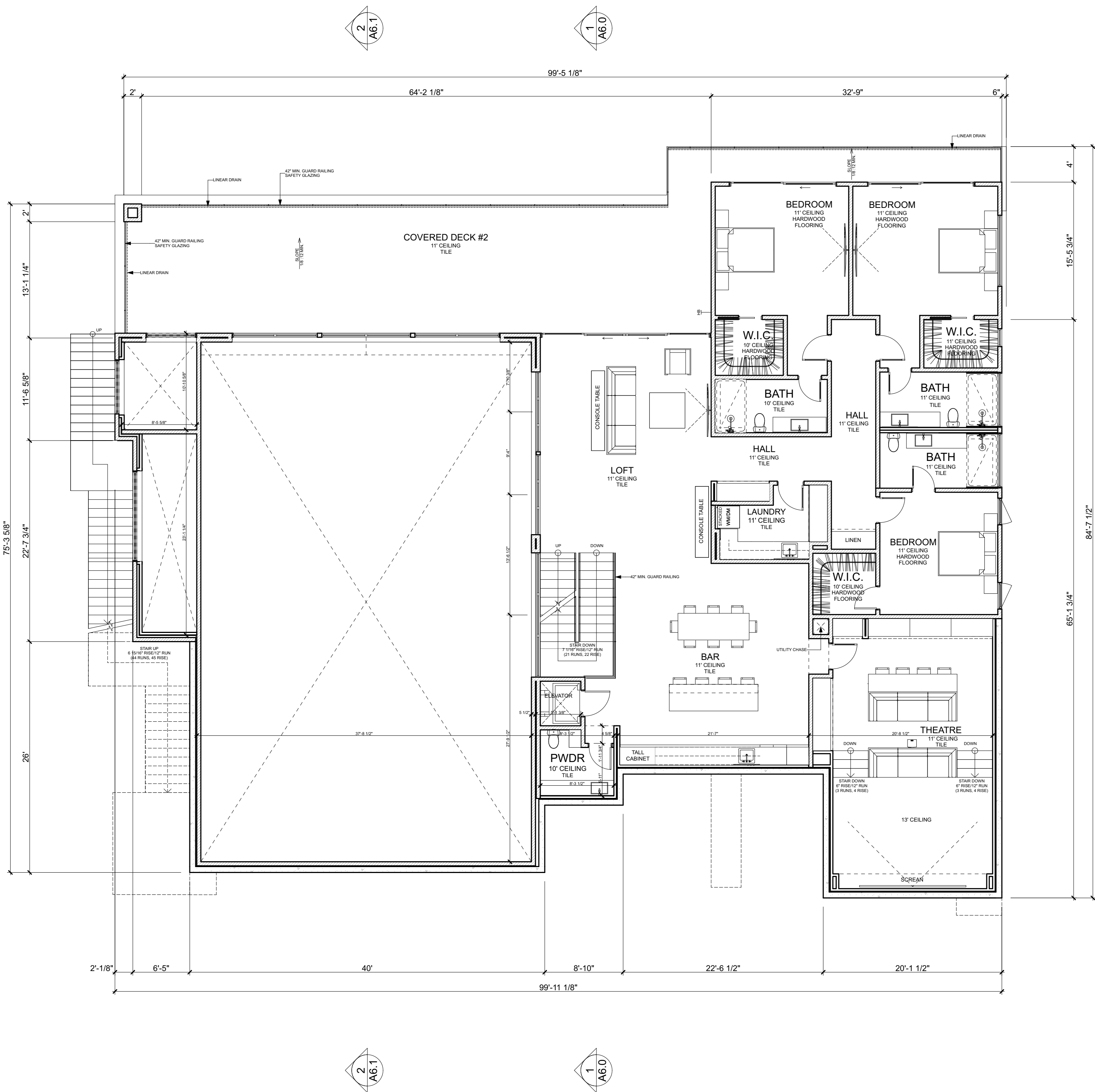
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CHKD BY: DEAN Z.

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SHEET TITLE:

OVERALL LOWER LEVEL
FLOOR PLAN



FLOOR PLAN NOTES:

1. ALL EXTERIOR DIMENSIONS TO FACE OF STUD, FACE OF FOUNDATION, & FACE OF STOREFRONT (U.O.N.)
2. ALL INTERIOR DIMENSIONS TO FACE OF STUD (U.O.N.)
3. ALL DIMENSIONS AT WINDOWS & DOORS ARE TO THE CENTERLINE. (U.O.N.)
4. ALL DOOR JAMBS ON HINGE SIDE SHALL BE 4" U.O.N.
5. ALL ANGLED WALLS (OTHER THAN 90 DEGREES) SHALL BE 45 DEGREES U.O.N.
6. ALL EXTERIOR WALLS SHALL BE CONSTRUCTED OF 2"x6" 16" O.C. STUDS, U.O.N., S.S.D.
7. ALL INTERIOR WALLS SHALL BE CONSTRUCTED OF 2"x4" 16" O.C. STUDS, U.O.N., S.S.D.
8. SUB-CONTRACTOR SHALL INSURE THAT ALL WORK IS DONE IN A PROFESSIONAL WORKMANLIKE MANNER BY SKILLED MECHANICS AND SHALL REPLACE ANY MATERIALS OR ITEMS DAMAGED BY SUB-CONTRACTORS PERFORMANCE. SUB-CONTRACTORS AND SUPPLIERS ARE HEREBY NOTIFIED THAT THEY ARE TO CONFER AND COOPERATE FULLY WITH EACH OTHER DURING THE COURSE OF CONSTRUCTION TO DETERMINE THE EXACT EXTENT AND OVERLAP OF EACH OTHERS' WORK AND TO SUCCESSFULLY COMPLETE THE EXECUTION OF THE WORK. ALL SUB-CONTRACTOR WORKMANSHIP WILL BE OF QUALITY TO PASS INSPECTIONS BY LOCAL AUTHORITIES, LENDING INSTITUTIONS, ARCHITECT/DESIGNER, OR BUILDER. ANY ONE OR ALL OF THE ABOVE MENTIONED INSPECTORS MAY INSPECT WORKMANSHIP AT ANY TIME, AND ANY CORRECTIONS NEEDED TO ENHANCE THE QUALITY OF BUILDING WILL BE DONE IMMEDIATELY. EACH SUB-CONTRACTOR, UNLESS SPECIFICALLY EXEMPTED BY THE TERMS OF HIS SUB-CONTRACT AGREEMENT, SHALL BE RESPONSIBLE FOR CLEANING UP AND REMOVING FROM THE JOB SITE ALL TRASH AND DEBRIS NOT LEFT BY OTHER SUB-CONTRACTORS. BUILDER WILL DETERMINE HOW SOON AFTER SUB-CONTRACTOR COMPLETES EACH PHASE OF HIS WORK THAT TRASH AND DEBRIS WILL BE REMOVED FROM THE SITE.
9. ALL TEMPERED GLASS SHALL BE AFFIXED WITH A PERMANENT LABEL PER 2019
10. PROVIDE ACOUSTICAL PIPE WRAP AT ALL SECOND FLOOR WASTE LINES
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12. ALL COUNTERTOPS, TUB DECKS & WALLS AT TUBS & SHOWERS SHALL HAVE SMOOTH, HARD, NONABSORBENT SURFACE OF CEMENTITIOUS BACKER BOARD AND A MOISTURE RESISTANT UNDERLAYMENT TO
13. PROVIDE BACKING FOR ALL WALL AND CEILING MOUNTED CABINETS, FIXTURES, CABINETS, BRACKET, GRAB BARS, ETC. AS REQUIRED. COORDINATE WITH SUPPLIERS FOR REQUIREMENTS.
14. CALCULATIONS AND DETAILS FOR MOUNTING HANDRAILS & CONNECTION OF GUARDRAILS SHALL BE PROVIDED FOR REVIEW AND APPROVAL BY RAILING FABRICATOR PRIOR TO INSTALLATION FOR COMPLIANCE WITH 2019
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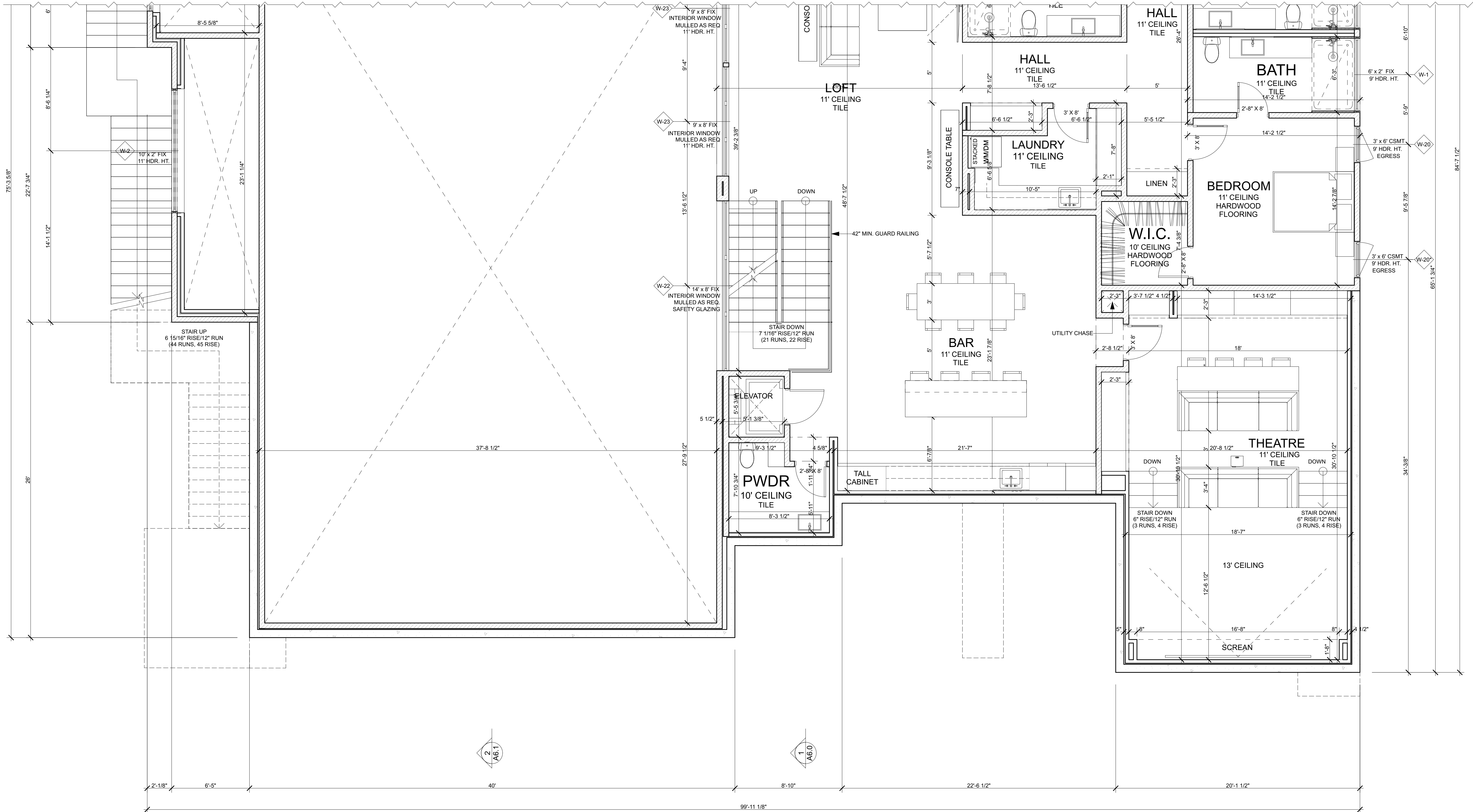
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- CONCRETE LANDING

SQUARE FOOTAGE BREAKDOWN:

MAIN LEVEL FLOOR PLAN	5 382	SQ.FT.	3-CAR GARAGE	1 043	SQ.FT.
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			COVERED DECK #1	584	SQ.FT.
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			STORAGE #1	27	SQ.FT.
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			UNCONDITIONED STORAGE	579	SQ.FT.
	11 317	SQ.FT.			

OVERALL LOWER LEVEL FLOOR PLAN

1/8" = 1'-0"



DETAILED LOWER LEVEL FLOOR PLAN (PART 1)

1/4" = 1'-0"

FLOOR PLAN NOTES:

1. ALL EXTERIOR DIMENSIONS TO FACE OF STUD, FACE OF FOUNDATION, & FACE OF STOREFRONT (U.O.N.)
2. ALL INTERIOR DIMENSIONS TO FACE OF STUD (U.O.N.)
3. ALL DIMENSIONS AT WINDOWS & DOORS ARE TO THE CENTERLINE (U.O.N.)
4. ALL DOOR JAMBS ON HINGE SIDE SHALL BE 4" U.O.N.
5. ALL ANGLED WALLS (OTHER THAN 90 DEGREES) SHALL BE 45 DEGREES U.O.N.
6. ALL EXTERIOR WALLS SHALL BE CONSTRUCTED OF 2"x6" 16" O.C. STUDS, U.O.N., S.S.D.
7. ALL INTERIOR WALLS SHALL BE CONSTRUCTED OF 2"x4" 16" O.C. STUDS, U.O.N., S.S.D.
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9. ALL TEMPERED GLASS SHALL BE AFFIXED WITH A PERMANENT LABEL PER 2019
10. PROVIDE ACOUSTICAL PIPE WRAP AT ALL SECOND FLOOR WASTE LINES.

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14. CALCULATIONS AND DETAILS FOR MOUNTING HANDRAILS & CONNECTION OF GUARDRAILS SHALL BE PROVIDED FOR REVIEW AND APPROVAL BY RAILING FABRICATOR PRIOR TO INSTALLATION FOR COMPLIANCE WITH 2019
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WALL LEGEND:

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- 2"x6" @16" O.C.
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HATCH PATTERNS:

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- CONCRETE LANDING

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			STORAGE #1	27	SQ.FT.
			STORAGE #2	32	SQ.FT.
			UNCONDITIONED STORAGE	579	SQ.FT.



DEAN ZANKO
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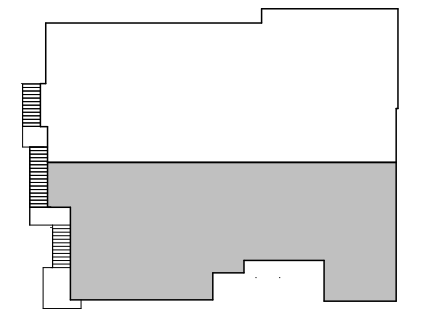
KRISHNA RESIDENCE

NEW

421 TOBRURRY WAY
FOLSOM
CA 95630

072-2740-018-0000

KEY PLAN:



REVISIONS

MARK	DATE	DESCRIPTION
	08/07/2022	

PROJECT NO:

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CHKD BY: DEAN Z.

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SHEET TITLE:

DETAILED LOWER LEVEL
FLOOR PLAN (PART 1)

A3.4

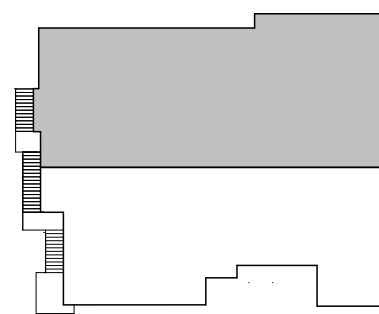
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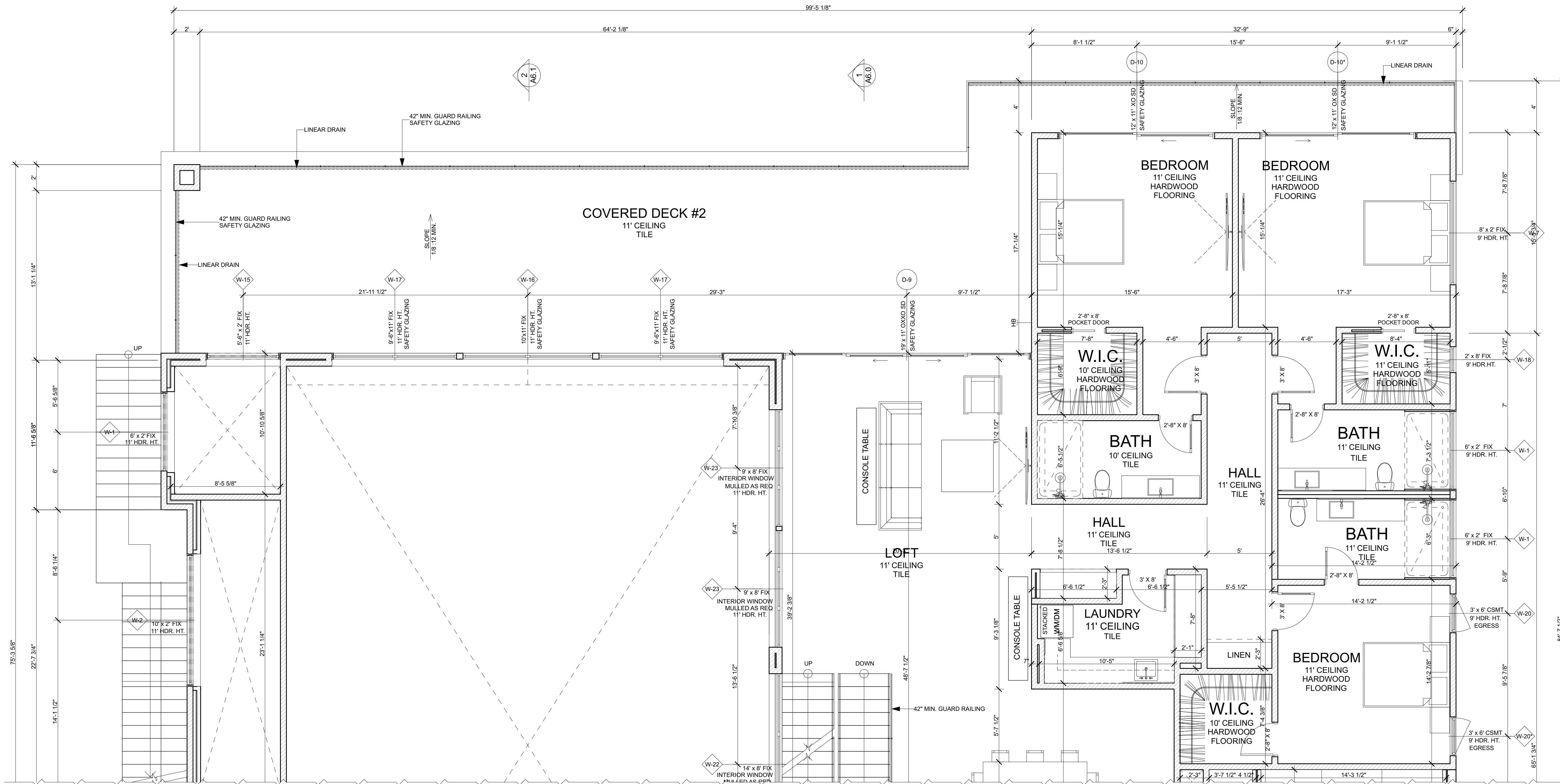
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SHEET TITLE:

DETAILED LOWER LEVEL
FLOOR PLAN (PART 2)

A3.5



DETAILED LOWER LEVEL FLOOR PLAN (PART 2)

1/4" = 1'-0"

FLOOR PLAN NOTES:

1. ALL EXTERIOR DIMENSIONS TO FACE OF STUD, FACE OF FOUNDATION, & FACE OF STOREFRONT (U.O.N.)
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DROPPED CEILING OR SOFFIT	
CONCRETE LANDING	

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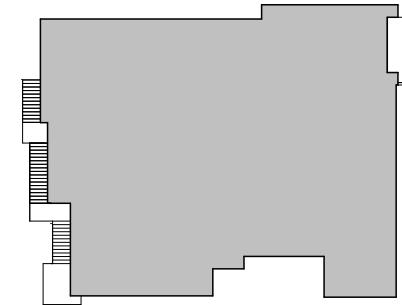
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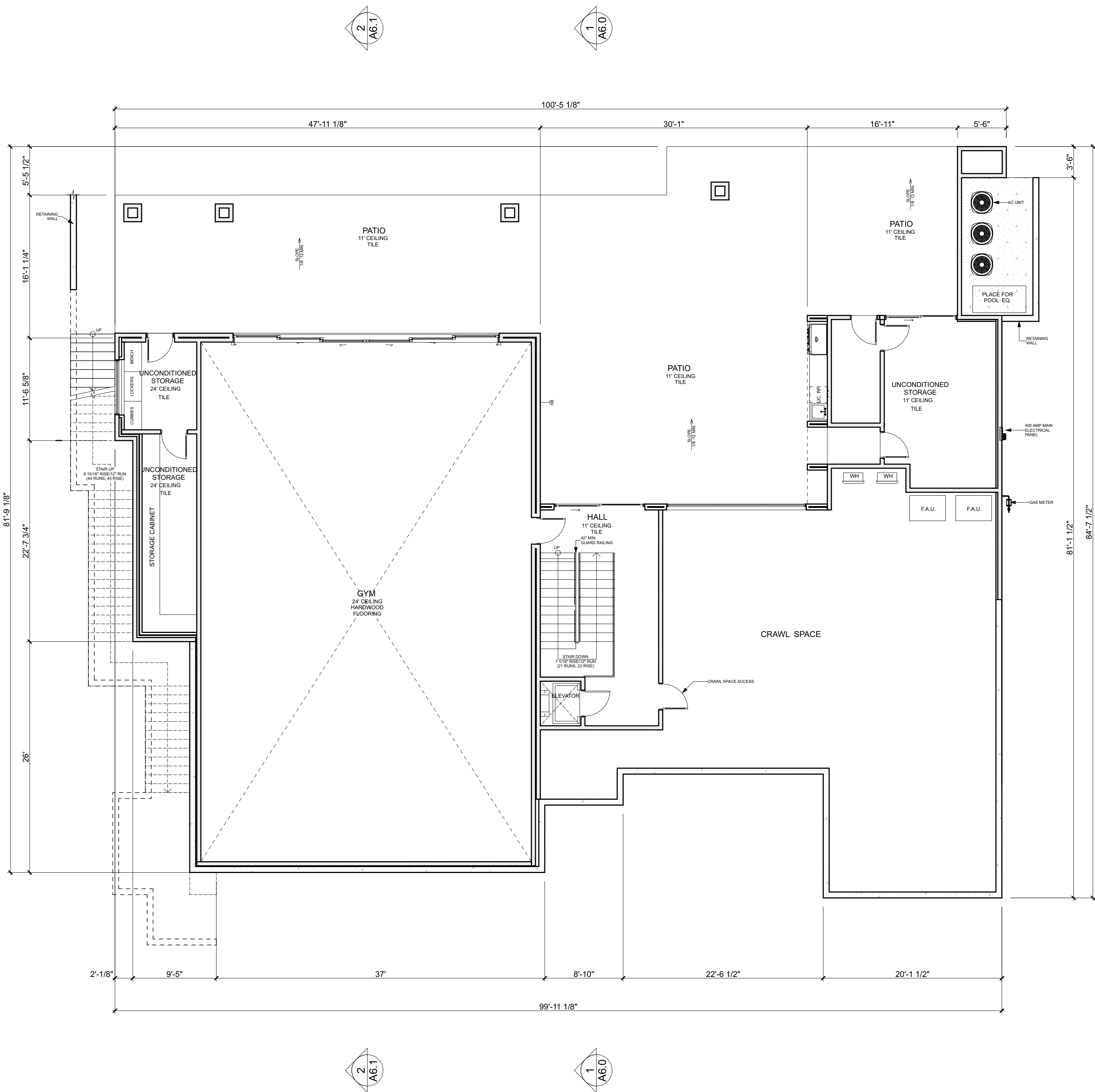
DRAWN BY: TANYA B.

CHKD BY: DEAN Z.

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SHEET TITLE:

OVERALL GROUND LEVEL
FLOOR PLAN



FLOOR PLAN NOTES:

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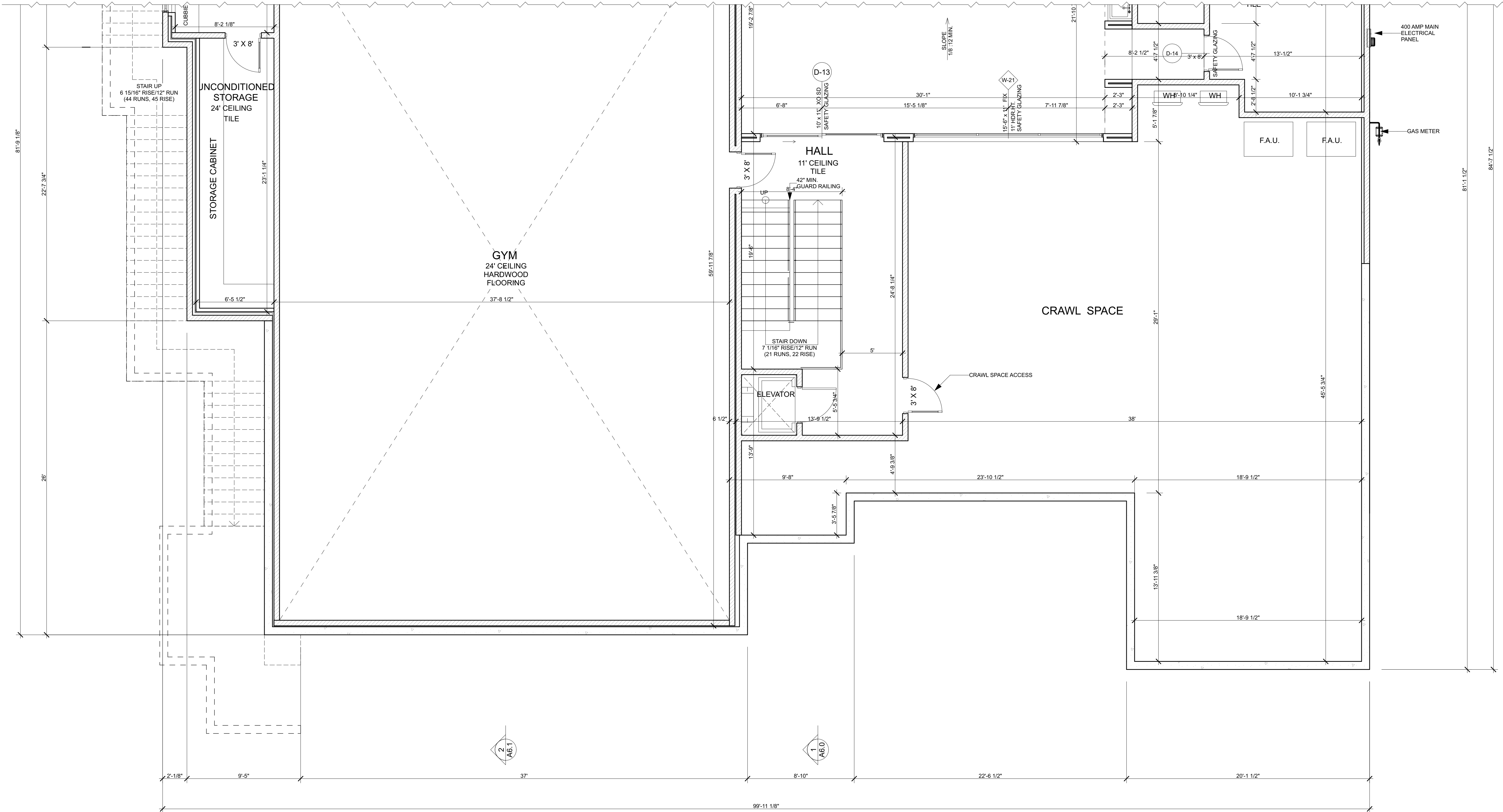
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	11 317	SQ.FT.	PATIO	2 300	SQ.FT.
			STORAGE #1	27	SQ.FT.
			STORAGE #2	32	SQ.FT.
			UNCONDITIONED STORAGE	579	SQ.FT.

OVERALL GROUND LEVEL FLOOR PLAN

1/8" = 1'-0"



DETAILED GROUND LEVEL FLOOR PLAN (PART 1)

1/4" = 1'-0"

FLOOR PLAN NOTES:

1. ALL EXTERIOR DIMENSIONS TO FACE OF STUD, FACE OF FOUNDATION, & FACE OF STOREFRONT (U.O.N.)
2. ALL INTERIOR DIMENSIONS TO FACE OF STUD (U.O.N.)
3. ALL DIMENSIONS AT WINDOWS & DOORS ARE TO THE CENTERLINE (U.O.N.)
4. ALL DOOR JAMBS ON HINGE SIDE SHALL BE 4" U.O.N.
5. ALL ANGLED WALLS (OTHER THAN 90 DEGREES) SHALL BE 45 DEGREES U.O.N.
6. ALL EXTERIOR WALLS SHALL BE CONSTRUCTED OF 2"x6" 16" O.C. STUDS, U.O.N., S.S.D.
7. ALL INTERIOR WALLS SHALL BE CONSTRUCTED OF 2"x4" 16" O.C. STUDS, U.O.N., S.S.D.
8. SUB-CONTRACTOR SHALL INSURE THAT ALL WORK IS DONE IN A PROFESSIONAL WORKMANLIKE MANNER BY SKILLED MECHANICS AND SHALL REPLACE ANY MATERIALS OR ITEMS DAMAGED BY SUB-CONTRACTORS PERFORMANCE. SUB-CONTRACTORS AND SUPPLIERS ARE HEREBY NOTIFIED THAT THEY ARE TO CONFER AND COOPERATE FULLY WITH EACH OTHER DURING THE COURSE OF CONSTRUCTION TO DETERMINE THE EXACT EXTENT AND OVERLAP OF EACH OTHER'S WORK AND TO SUCCESSFULLY COMPLETE THE EXECUTION OF THE WORK. ALL SUB-CONTRACTOR WORKMANSHIP WILL BE OF QUALITY TO PASS INSPECTIONS BY LOCAL AUTHORITIES, LENDING INSTITUTIONS, ARCHITECT/DESIGNER, OR BUILDER, ANY ONE OR ALL OF THE ABOVE MENTIONED INSPECTORS MAY INSPECT WORKMANSHIP AT ANY TIME, AND ANY CORRECTIONS NEEDED TO ENHANCE THE QUALITY OF BUILDING WILL BE DONE IMMEDIATELY. EACH SUB-CONTRACTOR, UNLESS SPECIFICALLY EXEMPTED BY THE TERMS OF HIS SUB-CONTRACT AGREEMENT, SHALL BE RESPONSIBLE FOR CLEANING UP AND REMOVING FROM THE JOB SITE ALL TRASH AND DEBRIS NOT LEFT BY OTHER SUB-CONTRACTORS. BUILDER WILL DETERMINE HOW SOON AFTER SUB-CONTRACTOR COMPLETES EACH PHASE OF HIS WORK THAT TRASH AND DEBRIS WILL BE REMOVED FROM THE SITE.
9. ALL TEMPERED GLASS SHALL BE AFFIXED WITH A PERMANENT LABEL PER 2019
10. PROVIDE ACOUSTICAL PIPE WRAP AT ALL SECOND FLOOR WASTE LINES.

11. TILE INSTALLATION SHALL COMPLY W/ APPLICABLE SECTIONS OF THE TILE COUNCIL OF NORTH AMERICA'S "HANDBOOK FOR CERAMIC TILE INSTALLATION" AND ITS REFERENCED STANDARDS.
12. ALL COUNTERTOPS, TUB DECKS & WALLS AT TUBS & SHOWERS SHALL HAVE SMOOTH, HARD, NONABSORBENT SURFACE OF CEMENTITIOUS BACKER BOARD AND A MOISTURE RESISTANT UNDERLAYMENT TO
13. PROVIDE BACKING FOR ALL WALL AND CEILING MOUNTED CABINETS, FIXTURES, CABINETS, BRACKET, GRAB BARS, ETC. AS REQUIRED. COORDINATE WITH SUPPLIERS FOR REQUIREMENTS.
14. CALCULATIONS AND DETAILS FOR MOUNTING HANDRAILS & CONNECTION OF GUARDRAILS SHALL BE PROVIDED FOR REVIEW AND APPROVAL BY RAILING FABRICATOR PRIOR TO INSTALLATION FOR COMPLIANCE WITH 2019
15. VERIFY APPLIANCE DIMENSIONS PRIOR TO CABINET FABRICATION
16. 1 LAYER 1/2" GYP. BD. ON ALL WALLS OF GARAGE, CRC R308.1; A HEIGHT OF +72" ABOVE FLOOR PER 2019 CRC R307.2 CRC TABLE R301.5 2019 CRC TABLE R302.6 (2019 CRC R311.7.5.1).
17. A DRAFT STOPS TO BE PROVIDED IN THE FLOOR/CEILING ASSEMBLIES AND ATTIC (CBC SECTIONS 718.3.3 AND 718.4.3 AND R302.12). DRAFT STOPPING SHALL DIVIDE THE CONCEALED SPACE INTO APPROXIMATELY EQUAL AREAS. CBC 718.4.3 DRAFTSTOPPING SHALL BE INSTALLED IN ATTICS AND CONCEALED ROOF SPACES, SUCH THAT ANY HORIZONTAL AREA DOES NOT EXCEED 3,000 SQ. FT. CONTRACTOR TO VERIFY IN FIELD.
18. EXTERIOR DOORS: RECESS CONCRETE (WHERE OCCURS) AT DOOR THRESHOLDS TO MINIMIZE THRESHOLD HEIGHT - COORDINATE WITH FLOORING (WOOD, CARPET, OR EXPOSED CONCRETE, ETC). CONSULT MANUFACTURER FOR ANY THRESHOLD REQUIREMENTS FOR CONCRETE SLAB APPLICATIONS. THRESHOLD MUST COMPLY WITH MANUFACTURER'S WEATHER-PROOFING REQUIREMENT
19. 2" RECESS. RECESS FOUNDATION AT ALL RECESSED DOORS.

WALL LEGEND:

- 2"x4" @16" O.C.
- 2"x6" @16" O.C.
- 8" CONCRETE WALL

HATCH PATTERNS:

- DROPPED CEILING OR SOFFIT
- CONCRETE LANDING

SQUARE FOOTAGE BREAKDOWN:

MAIN LEVEL FLOOR PLAN	5 382	SQ.FT.	3-CAR GARAGE	1 043	SQ.FT.
LOWER LEVEL	3 269	SQ.FT.	COURTYARD	108	SQ.FT.
GROUND LEVEL	2 666	SQ.FT.	COVERED BALCONY	170	SQ.FT.
			COVERED DECK #1	584	SQ.FT.
			COVERED DECK #2	1 204	SQ.FT.
			COVERED MASTER PATIO	174	SQ.FT.
			PATIO	2 300	SQ.FT.
			STORAGE #1	27	SQ.FT.
			STORAGE #2	32	SQ.FT.
			UNCONDITIONED STORAGE	579	SQ.FT.



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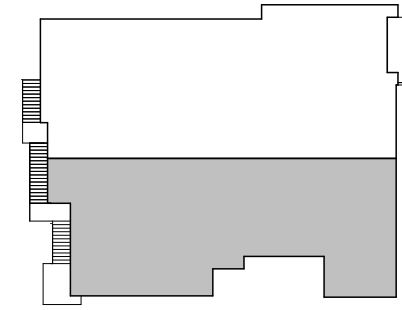
KRISHNA RESIDENCE

NEW

421 TOBRURRY WAY
FOLSOM
CA 95630

072-2740-018-0000

KEY PLAN:



REVISIONS

MARK	DATE	DESCRIPTION
	08/07/2022	

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SHEET TITLE:

DETAILED GROUND LEVEL
FLOOR PLAN (PART 1)

A3.7

Handwritten signature

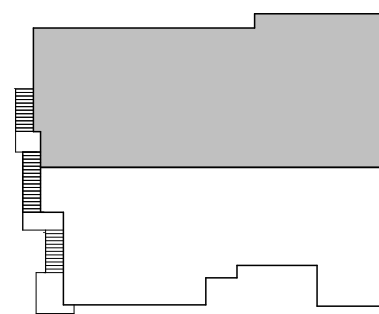
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KEY PLAN:



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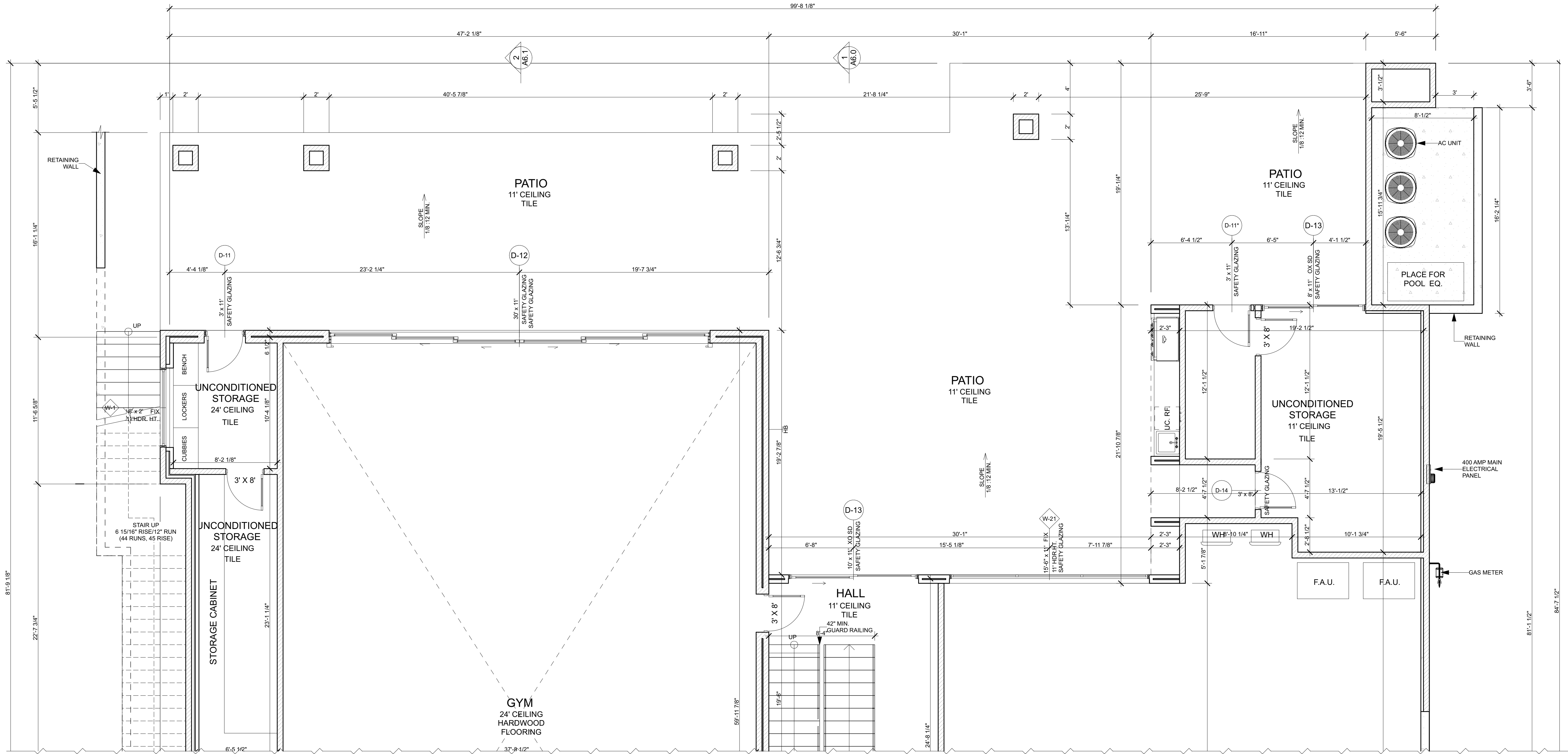
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SHEET TITLE:

DETAILED GROUND LEVEL
FLOOR PLAN (PART 2)



DETAILED GROUND LEVEL FLOOR PLAN (PART 2)

1/4" = 1'-0"

FLOOR PLAN NOTES:

1. ALL EXTERIOR DIMENSIONS TO FACE OF STUD, FACE OF FOUNDATION, & FACE OF STOREFRONT (U.O.N.).
2. ALL INTERIOR DIMENSIONS TO FACE OF STUD (U.O.N.).
3. ALL DIMENSIONS AT WINDOWS & DOORS ARE TO THE CENTERLINE (U.O.N.).
4. ALL DOOR JAMBS ON HINGE SIDE SHALL BE 4" U.O.N.
5. ALL ANGLED WALLS (OTHER THAN 90 DEGREES) SHALL BE 45 DEGREES U.O.N.
6. ALL EXTERIOR WALLS SHALL BE CONSTRUCTED OF 2"x6" 16" O.C. STUDS, U.O.N., S.S.D.
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19. 2" RECESS. RECESS FOUNDATION AT ALL RECESSED DOORS.

WALL LEGEND:

- 2"x4" @16" O.C.
- 2"x6" @16" O.C.
- 8" CONCRETE WALL

HATCH PATTERNS:

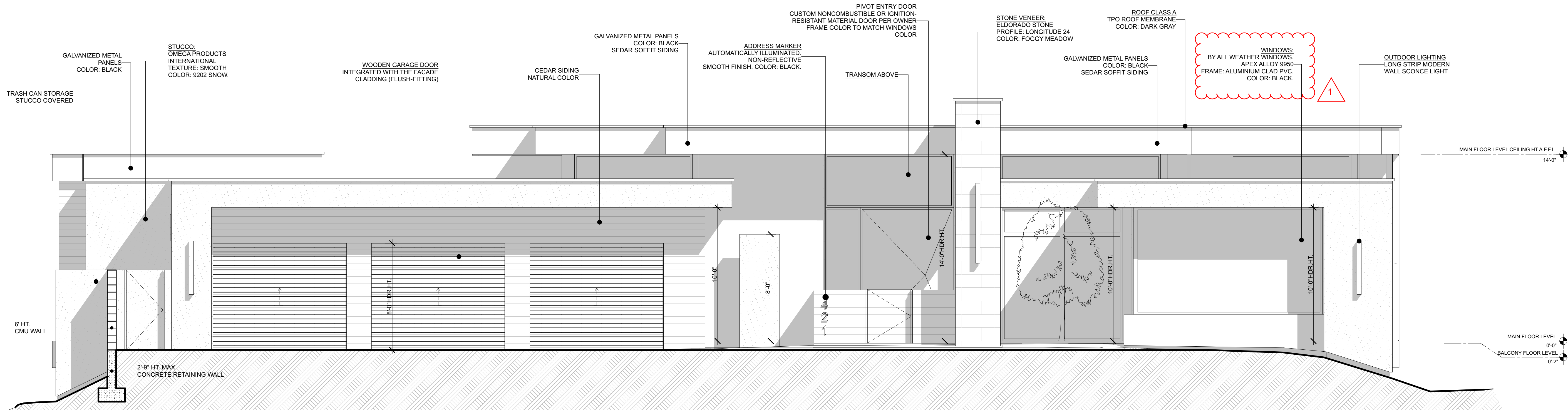
- DROPPED CEILING OR SOFFIT
- CONCRETE LANDING

SQUARE FOOTAGE BREAKDOWN:

		SQ.FT.		SQ.FT.
MAIN LEVEL FLOOR PLAN	5 382	SQ.FT.	3-CAR GARAGE	1 043
LOWER LEVEL	3 269	SQ.FT.	COURTYARD	108
GROUND LEVEL	2 666	SQ.FT.	COVERED BALCONY	170
			COVERED DECK #1	584
			COVERED DECK #2	1 204
			COVERED MASTER PATIO	174
			PATIO	2 300
			STORAGE #1	27
			STORAGE #2	32
			UNCONDITIONED STORAGE	579
	11 317	SQ.FT.		

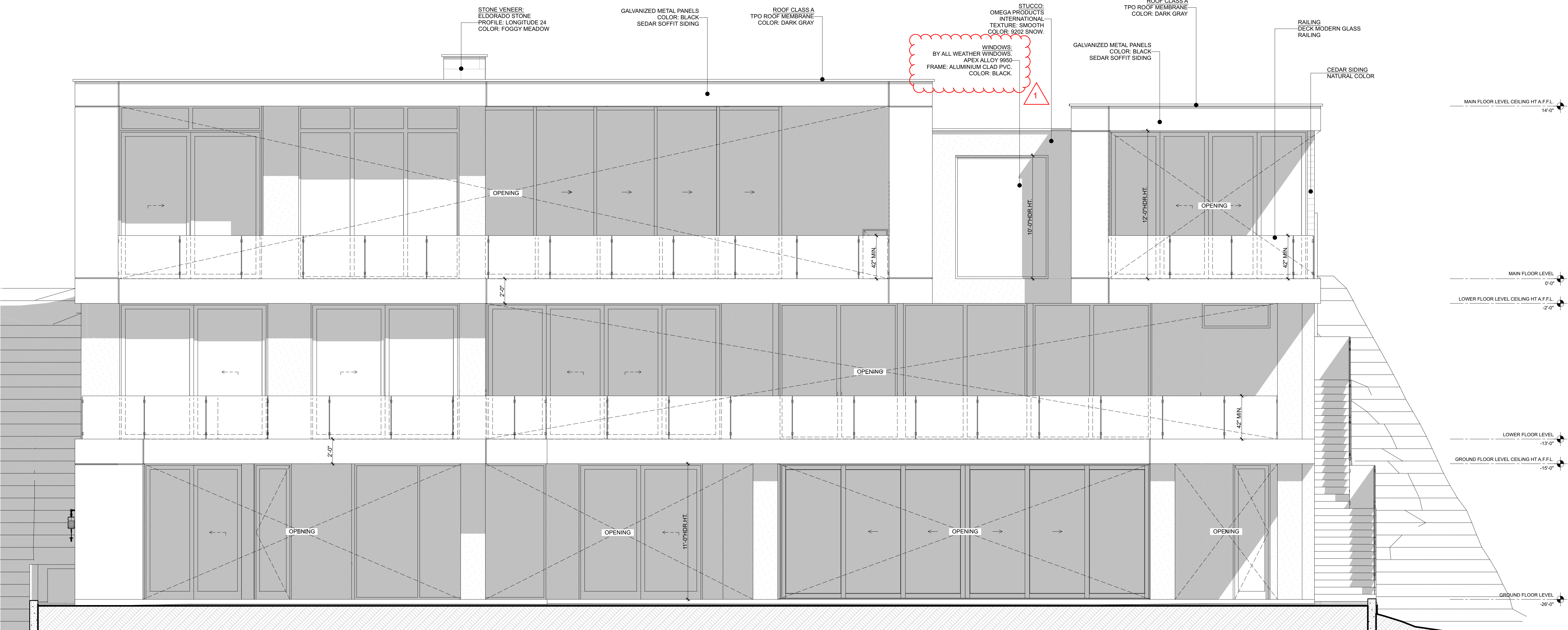
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EAST/WEST ELEVATIONS



EAST ELEVATION

1/4" = 1'-0"



WEST ELEVATION

1/4" = 1'-0"

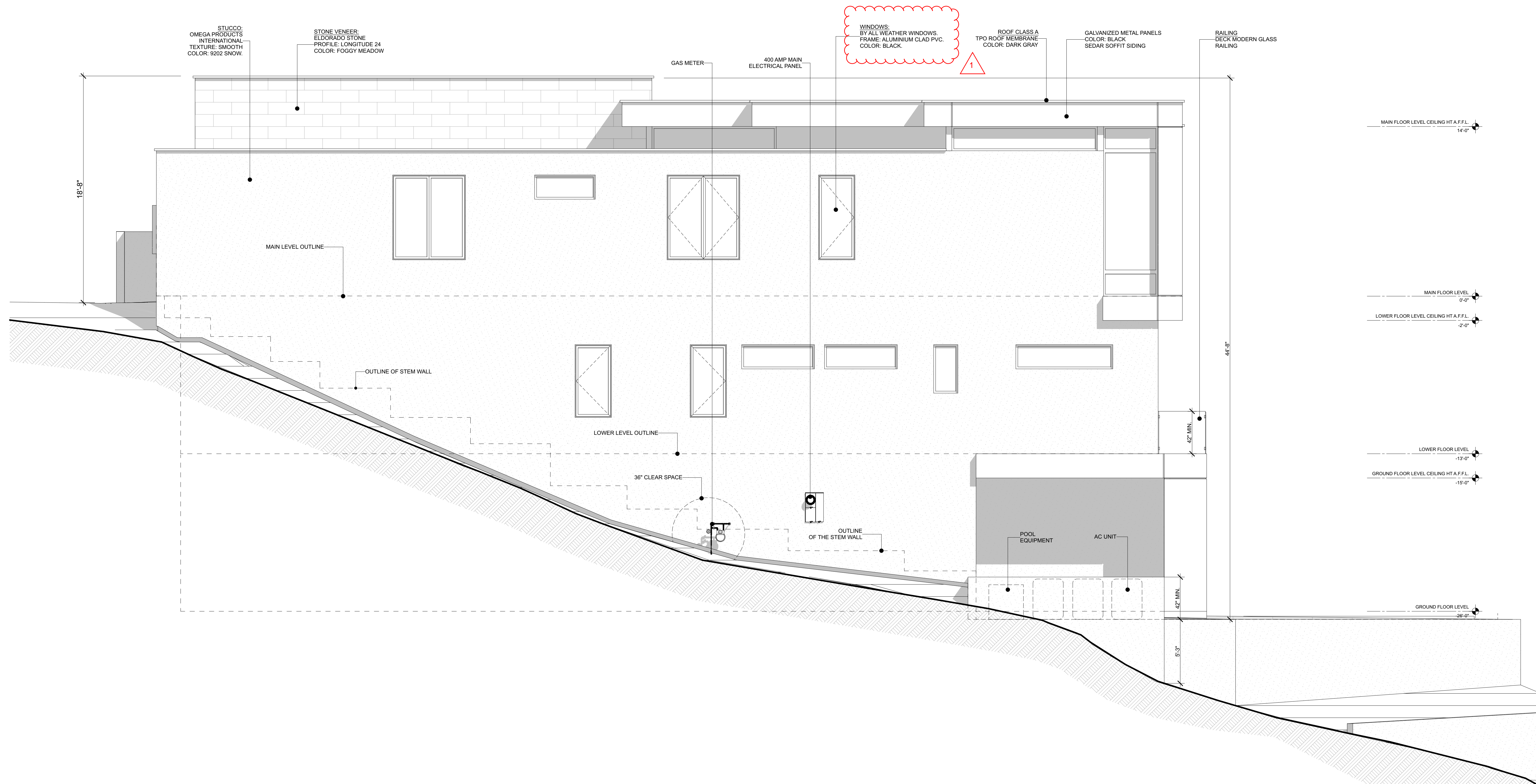


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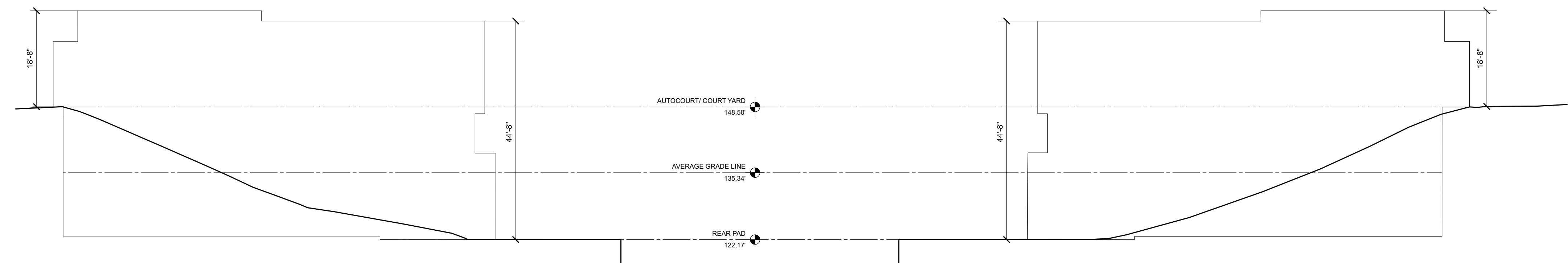
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 SHEET TITLE: _____
 NORTH ELEVATION

A4.1



NORTH ELEVATION

$1/4" = 1'-0"$



AVERAGE HEIGHT 31'-3"
 $(18'-8" + 44'-8") / 2 = 126'-10" / 4 = 31'-8"$



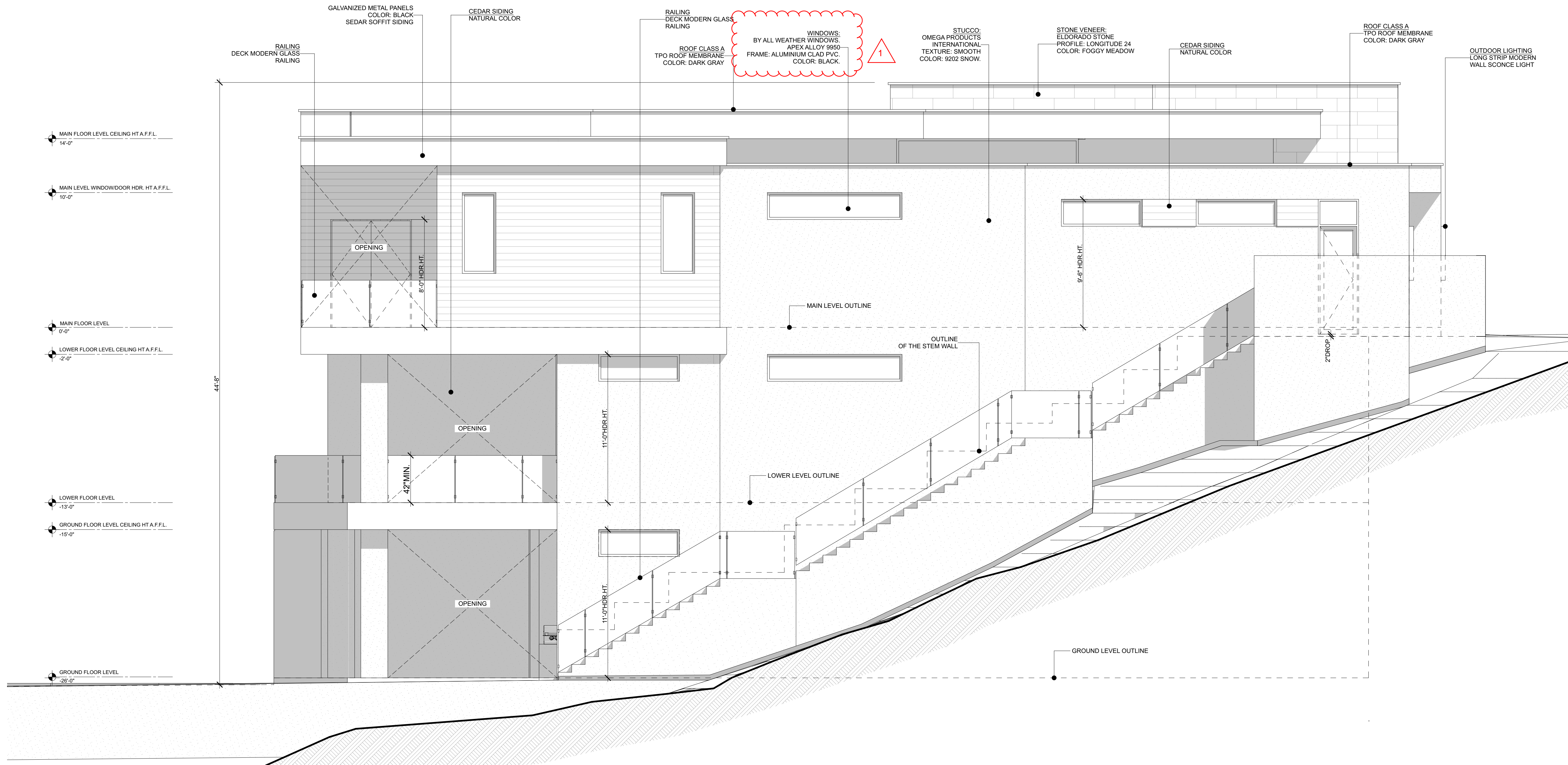
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SHEET TITLE:		
SOUTH ELEVATION		



SOUTH ELEVATION

1/4" = 1'-0"



FLAT ROOF BLACK METAL CLADDING & CEDAR SOFFIT SIDING



FLAT ROOF TPO MEMBRANE.
COLOR: DARK GRAY



CEDAR SIDING
NATURAL COLOR



WINDOWS: BY ALL WEATHER WINDOW. APEX ALLOY 9950
FRAME: ALUMINUM CLAD PVC.
COLOR: BLACK



OUTDOOR LONG STRIP
MODERN WALL SCONCE LIGHT



DECK MODERN GLASS RAILING

WOODEN GARAGE DOOR
INTEGRATED WITH THE FACADE
CLADDING (FLUSH-FITTING)



STUCCO
OMEGA PRODUCTS INTERNATIONAL.
TEXTURE: SMOOTH.
COLOR: 9202 SNOW.



STONE VENEER.
ELDORADO STONE.
LONGITUDE24
COLOR: FOGGY MEADOW



METAL PANEL.
COLOR: BLACK



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SHEET TITLE:		
MATERIALS COLOR BOARD		



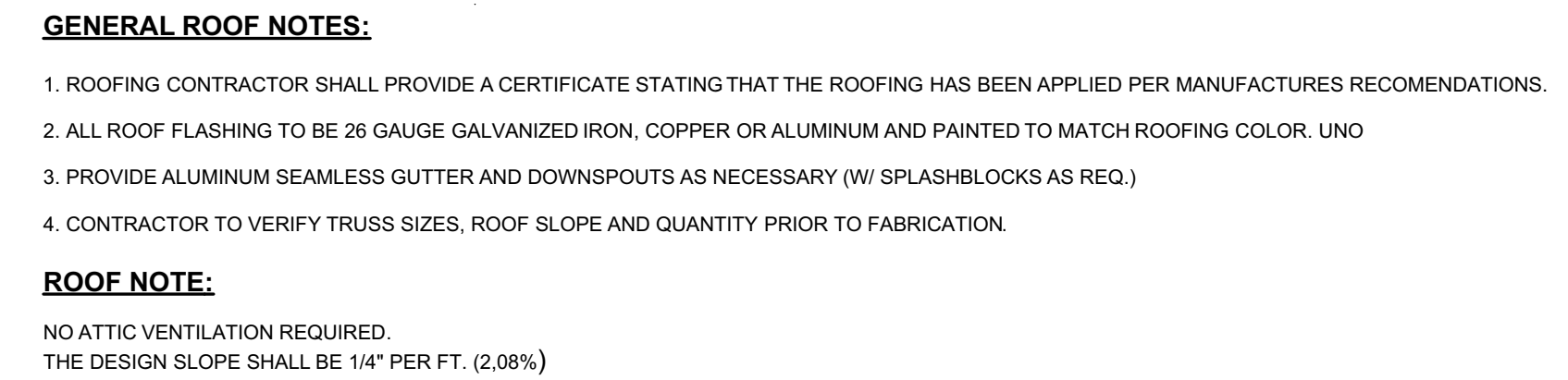
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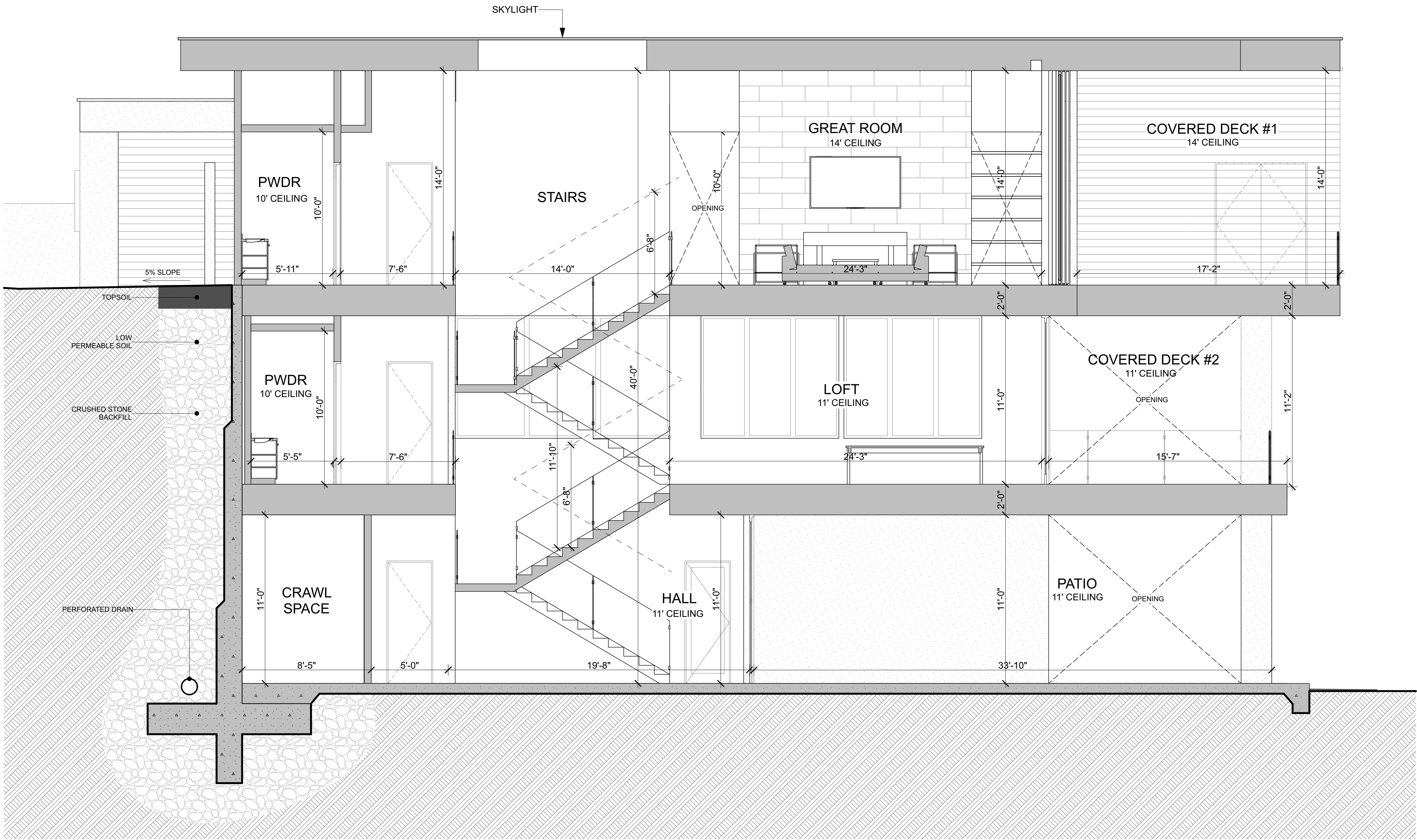
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REVISIONS		
WORK	DATE	DESCRIPTION
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OF PLAN

A5.0


$$\underline{\underline{1/8" = 1'-0"}}$$



SECTION 1

1/4" = 1'-0"



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[Signature]

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SECTION 1		

A6.0



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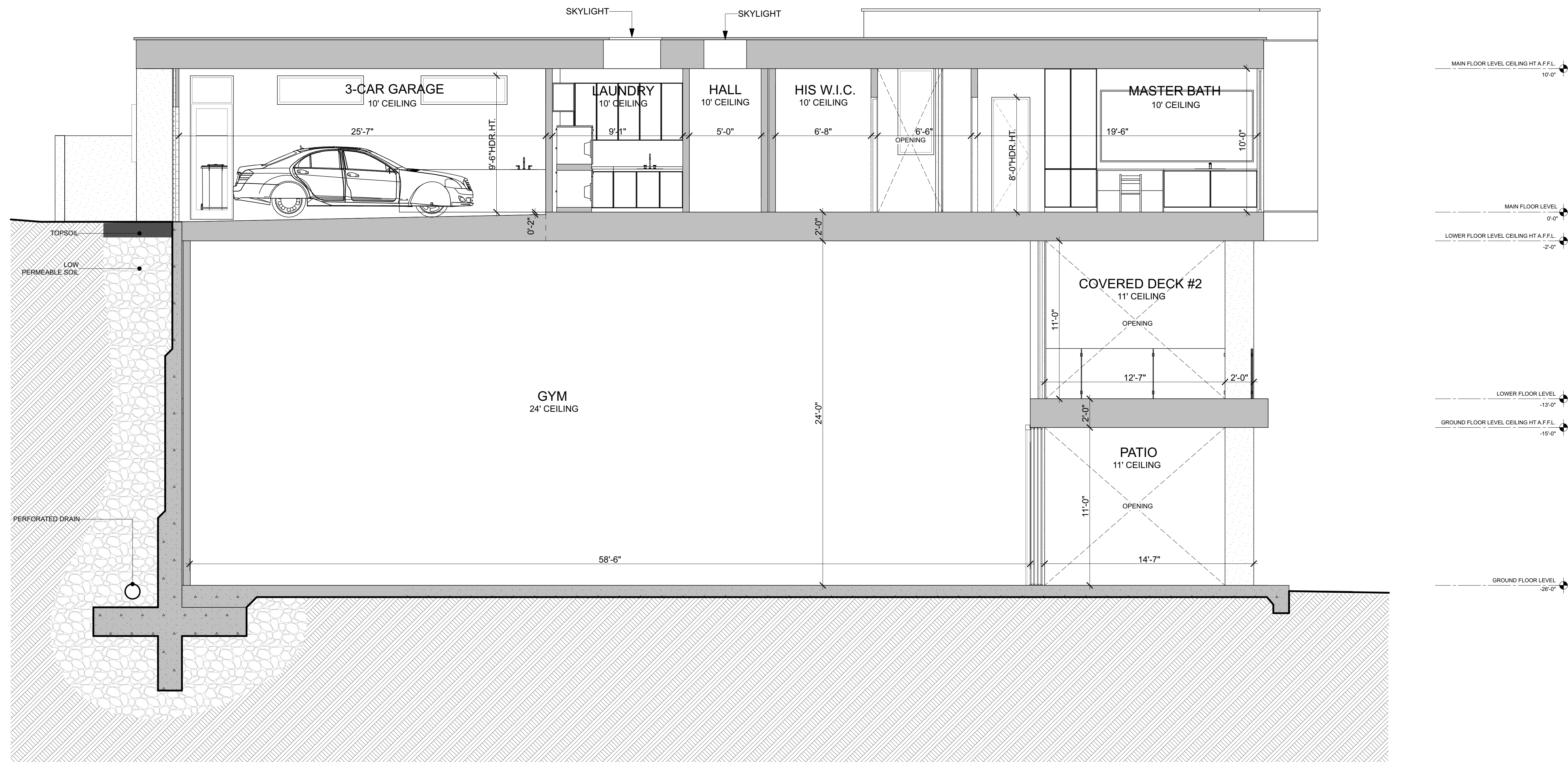
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SHEET TITLE:

SECTION 2

A6.1



SECTION 2

1/4" = 1'-0"

ID	W-1	W-2	W-3	W-4	W-5	W-6	W-7	W-8	W-9	W-10	W-11.1	W-11.2
DIMS	6'×2'	10'×2'	2'-6"×6'	7'-6"×10'	13'×14'	4'-6"×14'	8'×2'	6'×7'	6'×7'	5'×2'	3'×8'	14'×8'
VIEW												
QUANTITY	6	2	2	1	1	1	1	1	1	1	1	1
TYPE	FIX	FIX	CSMT	FIX	FIX	FIX	FIX	FIX	CSMT	FIX	CORNER WINDOW	CORNER WINDOW
NOTES				SAFETY GLAZING	SAFETY GLAZING MULLED AS REQ.	SAFETY GLAZING MULLED AS REQ.					MULLED AS REQ. W/ LOW AWNING CONNECT WITH W-11.2	MULLED AS REQ. CONNECT WITH W-11.1
HDR.HT.	9' / 9'-6" / 11' (SEE SEE FLOOR PLANS FOR HDR. HT.)	10'/11' (SEE FLOOR PLANS FOR HDR. HT)	10'	10'	14'	14'	10'/9' (SEE FLOOR PLANS FOR HDR. HT)	10'	10'	10'	10'	10'

ID	W-12	W-13*	W-14	W-14*	W-15	W-16	W-17	W-18	W-19	W-20	W-20*	W-21
DIMS	9'×10'	8'-10"×2'	12'×2'	12'×2'	5'-6"×2'	10'×11'	9'-6"×11'	2'×4'	3'×7'	3'×6'	3'×6'	15'-6"×11'
VIEW												
QUANTITY	1	1	1	1	1	1	2	1	1	1	1	1
TYPE	FIX	FIX	FIX	FIX	FIX	FIX	FIX	FIX	CSMT	CSMT	CSMT	FIX
NOTES	MULLED AS REQ. SAFETY GLAZING	CLERESTORY WINDOW	CLERESTORY WINDOW	CLERESTORY WINDOW		SAFETY GLAZING	SAFETY GLAZING					MULLED AS REQ. SAFETY GLAZING
HDR.HT.	10'	14'	14'	14'	11'	11'		9'	10'	9'	9'	11'

ID	W-22	W-23	W-24	W-25*	W-26*	W-27*	W-28	W-29	W-30	W-31	W-32	W-33
DIMS	14'×8'	9'×8'	8'×14'	13'-6"×2'	10'-3"×2'	9'×2'	2'×2'	3'×3'	6'×4'	3'×12'	5'-6"×8'-6"	6'×6'
VIEW												
QUANTITY	1	2	1	1	1	1	1	1	1	1	2	1
TYPE	FIX	FIX FIX FIX	FIX		FIX	FIX FIX		FIX	FIX	FIX	FIX	
NOTES	INTERIOR WINDOW MULLED AS REQ. SAFETY GLAZING	INTERIOR WINDOW MULLED AS REQ.	SAFETY GLAZING	CLEARSTORY WINDOW	CLEARSTORY WINDOW	CLERESTORY WINDOW	SKYLIGHT SAFETY GLAZING	SKYLIGHT SAFETY GLAZING	SKYLIGHT SAFETY GLAZING	SKYLIGHT SAFETY GLAZING	SKYLIGHT SAFETY GLAZING	SKYLIGHT SAFETY GLAZING
HDR.HT.	11'	14' 11' 14'	14'			14'						

WINDOWS / SKYLIGHTS SCHEDULE

NOTES:
ALL DIMENSIONS EXCEPT THE OVERALL DIMENSIONS ARE SHOWN TO THE CENTERS IF THE WINDOW/DOORS/SPACERS/MULLIONS. MANUFACTURER TO INCLUDE THE DIMENSIONS OF SPACERS/MULLIONS WHEN DEVELOPING SHOP DRAWINGS AND DURING PRODUCTION.



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	08/07/2022	

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SHEET TITLE:
WINDOWS / SKYLIGHTS
SCHEDULE

A7.0

ID	D-1	D-2	D-3	D-4	D-5	D-7	D-8	D-9	D-10
DIMS	9'-8"×14'	10'×8'	3'×10'	16'×12'	6'×8'	11'-6"×12'	4'-4 1/8"×14'	12'-10"×14'	12'×11'
VIEW									
QUANTITY	1	3	1	1	2	1	1	1	1
TYPE	PIVOT DOOR	GARAGE DOOR	SIDE-HINGED	OXXO SLIDING DOOR	FRENCH DOOR	XO SLIDING DOOR	SIDE- HINGED DOOR	OXXO SLIDING DOOR	XXO SLIDING DOOR
NOTES	MULLED AS REQ. 7'x10' DOOR W/2'-8" SAFETY GLAZING SIDELIGHT & 4' TRANSOM ABV	INTEGRATED WITH THE FACADE CLADDING (FLUSH- FITTING)	3'x8' DOOR W/ 24" TRANSOM ABV. SAFETY GLAZING	SAFETY GLAZING PANEL 4-	INTEGRATED WITH THE FACADE CLADDING (FLUSH- FITTING)	MULLED AS REQ. 2-PANEL SD (SAFETY GLAZING) W/ 24" TRANSOM ABV.	MULLED AS REQ. 7'x10' DOOR SAFETY GLAZING W/1'-2" SAFETY GLAZING SIDELIGHT & 2' TRANSOM ABV	4-PANEL SAFETY GLAZING	3-PANEL SAFETY GLAZING

ID	D-10*	D-11	D-11*	D-12	D-13	D-13	D-14	D-15	D-16
DIMS	12'×11'	3'×11'	3'×11'	30'×11'	10'×11'	8'×11'	3'×8'	3'×6'	3'-6"×4'
VIEW									
QUANTITY	1	1	1	1	1	1	1	1	1
TYPE	OXX SLIDING DOOR	SIDE-HINGED	SIDE-HINGED	OXXXXO SLIDING DOOR	SLIDING DOOR	SLIDING DOOR	SIDE-HINGED	SIDE-HINGED	FRENCH DOOR
NOTES	3-PANEL SAFETY GLAZING	SAFETY GLAZING	SAFETY GLAZING	6-PANEL SAFETY GLAZING	2-PANEL SAFETY GLAZING	2-PANEL SAFETY GLAZING	SAFETY GLAZING	GATE DOOR	GATE DOOR

NOTES:
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SPECIFICATIONS DON'T INCLUDE INTERIORS DOORS.



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PHOTO #1



PHOTO #2



PHOTO #3



PHOTO #4



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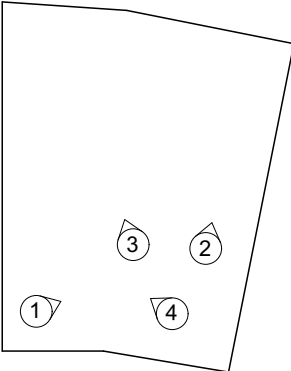
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RESIDENCE

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421 TOBRURRY WAY
FOLSOM
CA 95630

072-2740-018-0000

KEY SCHEME:



REVISIONS		
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