

SITE/GRADING PLAN
712 TOWNSEND COURT
APN 072-3320-049
LOT 114 - EMPIRE RANCH VILLAGE 32C
CITY OF FOLSOM, CALIFORNIA

SHEET INDEX	
G1	SITE/GRADING PLAN
G2	GRADING SECTIONS
G3	EROSION CONTROL PLAN

OWNER/APPLICANT
ELLIOTT HOMES, TOM GAMETTE
340 PALLADIO PARKWAY ST 521
FOLSOM, CA 95630
PHONE: (916) 984-1300
EMAIL: t.gamette@elliotthomes.com

EARTHWORK QUANTITIES:
CUT - ± 287 CY
FILL - ± 1,297 CY
NET - ± 1,010 CY (IMPORT)
AREA OF IMPACT - ± 15,167 SF
RAW NUMBERS, NO SHRINKAGE OR SWELL
WAS ACCOUNTED FOR.

- GRADING NOTES:**
1. AN ENCROACHMENT PERMIT IS REQUIRED FOR ALL WORK TO BE DONE WITHIN PUBLIC RIGHTS-OF-WAY OR EASEMENTS, AND FOR CONNECTIONS TO PUBLICLY-OWNED AND MAINTAINED FACILITIES.
 2. CALL UNDERGROUND SERVICE ALERT (USA) AT 811 OR 800.642.2444, FORTY-EIGHT (48) HOURS PRIOR TO ANY GRADING/EXCAVATION ACTIVITY.
 3. THE OWNER/CONTRACTOR SHALL NOTIFY CITY OF FOLSOM CONSTRUCTION INSPECTION SERVICES AT 916.355.7210, TWENTY-FOUR(24) HOURS PRIOR TO COMMENCEMENT OF ANY GRADING.
 4. CONTRACTOR SHALL OBTAIN AN APPROVED WATER METER FROM THE CITY AT THE OWNER'S EXPENSE.
 5. ALL REFERENCES TO "STANDARD SPECIFICATIONS" SHALL MEAN THE LATEST EDITION OF THE CITY OF FOLSOM STANDARD CONSTRUCTION SPECIFICATIONS AND DESIGN AND PROCEDURES MANUAL.
 6. DRAINAGE SWALES ARE TO BE CONSTRUCTED PER CITY STANDARD DETAIL.
 7. CLEARING AND GRUBBING SHALL CONFORM TO THE PROVISIONS OF SECTION 9.1 OF THE STANDARD SPECIFICATIONS.
 8. ALL EXCAVATION, EMBANKMENT, BACKFILL, ETC., SHALL CONFORM TO THE PROVISIONS IN SECTION 9.2, "EXCAVATION," OF THE STANDARD SPECIFICATIONS.
 9. CUSTOM HOMES AND/OR SWIMMING POOLS SHALL BE CHALKED OUT ON THE GROUND AND ALL OAK TREES SHALL BE FENCED WITH HIGH VISIBILITY FENCING BEFORE THE PRE-SITE INSPECTION IS SCHEDULED.
 10. NO WORK SHALL BE DONE UNDER OR WITHIN THE TREE PROTECTION ZONE (TPZ) OF ANY EXISTING TREE WITHOUT A VALID TREE PERMIT.
 11. GRADING ACTIVITIES SHALL IMPLEMENT EROSION AND DUST CONTROL MEASURES AT ALL TIMES. EROSION CONTROL PLANS SHALL BE SUBMITTED TO THE CITY OF FOLSOM, COMMUNITY DEVELOPMENT DEPARTMENT FOR REVIEW AND APPROVAL.
 12. THERE SHALL BE NO TRESPASSING OF ANY KIND INTO PUBLIC OR PRIVATE OPEN SPACE AREAS.
 13. ALL GRADING SHALL BE DONE IN ACCORDANCE WITH THE GEOTECHNICAL REPORT JOB NO. E02059.036 FOR EMPIRE RANCH VILLAGES 31, 32, 36 & 40 PROVIDED BY YOUNGDAHL ENGINEERING GROUP, AND UPDATED: APRIL 2020.
 14. ALL GRADING INCLUDING COMPACTION, EXCAVATION, PLACEMENT OF FILL MATERIALS ETC., SHALL BE DONE UNDER THE DIRECTION OF A GEOTECHNICAL ENGINEER.
 15. THE OWNER/CONTRACTOR SHALL PROVIDE A GRADING REPORT CONSISTING OF THE OBSERVATIONS MADE DURING EARTHWORK OPERATIONS, SIGNED AND STAMPED BY A LICENSED GEOTECHNICAL ENGINEER, PRIOR TO ISSUANCE OF A BUILDING PERMIT FOR THE STRUCTURE. RECOMMENDATIONS PROVIDED IN THE GRADING REPORT SHALL BE COMPLETED PRIOR TO ANY STRUCTURAL IMPROVEMENTS.

INSPECTIONS

- A. IT SHALL BE THE DUTY OF THE HOLDER OF THE BUILDING PERMIT OR THEIR DULY AUTHORIZED AGENT TO NOTIFY THE BUILDING OFFICIAL WHEN WORK IS READY FOR INSPECTION. IT SHALL BE THE DUTY OF THE PERMIT HOLDER TO PROVIDE ACCESS TO AND MEANS FOR INSPECTIONS OF SAID WORK THAT ARE REQUIRED BY THIS CODE.
- B. ALL CONSTRUCTION WORK SHALL BE SUBJECTED TO INSPECTION BY THE CITY OF FOLSOM BUILDING OFFICIAL (OR HIS/HER REPRESENTATIVES) AND SUCH CONSTRUCTION OR WORK SHALL REMAIN ACCESSIBLE AND EXPOSED FOR INSPECTION PURPOSES UNTIL APPROVED. APPROVAL AS A RESULT OF AN INSPECTION SHALL NOT BE CONSTRUED TO BE AN APPROVAL OF A VIOLATION OF THE PROVISIONS OF THIS CODE OR OTHER ORDINANCES OF THE JURISDICTION. INSPECTIONS PRESUMING TO GIVE AUTHORITY TO VIOLATE OR CANCEL THE PROVISIONS OF THIS CODE OR OF OTHER ORDINANCES OF THE JURISDICTION SHALL NOT BE VALID. IT SHALL BE THE DUTY OF THE PERMIT APPLICANT TO CAUSE THE WORK TO REMAIN ACCESSIBLE AND EXPOSED FOR INSPECTION PURPOSES. NEITHER THE BUILDING OFFICIAL NOR THE JURISDICTION SHALL BE LIABLE FOR EXPENSES ENTAILED IN THE REMOVAL OR PLACEMENT OF ANY MATERIAL REQUIRED TO ALLOW INSPECTION. 2016 C.R.C. SECTION R109.

AMENDED CONSTRUCTION DOCUMENTS

WORK SHALL BE INSTALLED IN ACCORDANCE WITH THE APPROVED CONSTRUCTION DOCUMENTS, AND ANY CHANGES MADE DURING CONSTRUCTION THAT ARE NOT IN COMPLIANCE WITH THE APPROVED CONSTRUCTION DOCUMENTS SHALL BE RESUBMITTED FOR APPROVAL AS AN AMENDED SET OF CONSTRUCTION DOCUMENTS.

TOPOGRAPHIC SURVEY

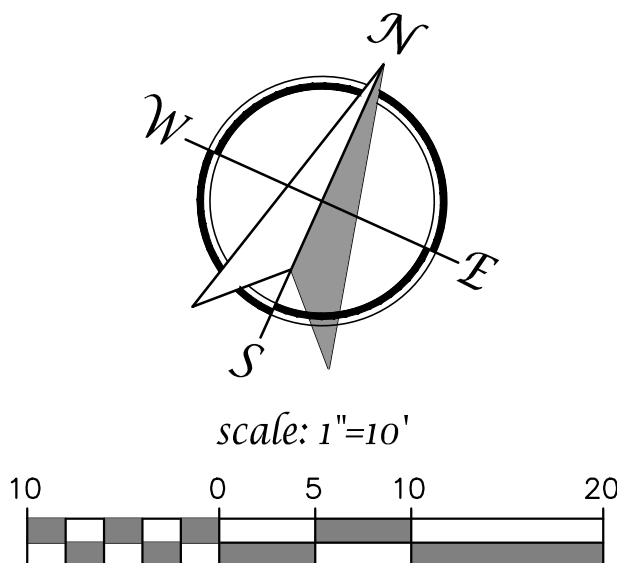
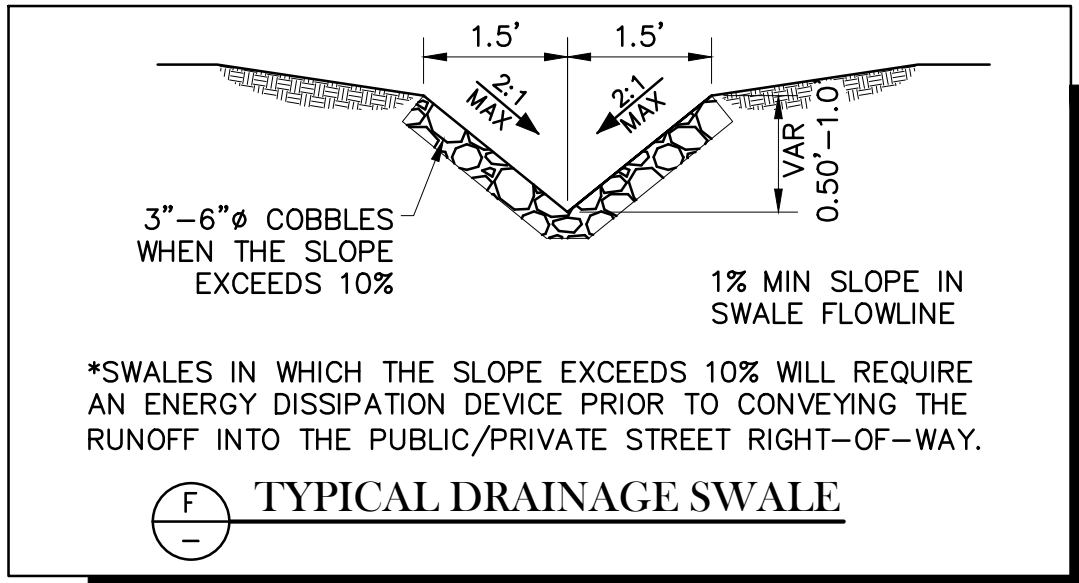
TOPOGRAPHIC SURVEY HAS BEEN PROVIDED BY TSD ENGINEERING INC. DATED 12/21/21. CONTRACTOR SHALL VERIFY EXISTING GRADES PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER OF ANY CONFLICTS.

ADDITIONAL GRADING NOTES:

1. COMPACTION TEST REQUIRED ON ALL FILL AREAS.
2. CALL U.S.A. AT 1-800-642-2444 PRIOR TO EXCAVATION.
3. ROCK LINE ANY SWALES STEEPER THAN 10%.
4. CONTRACTOR TO VERIFY BUILDING STRUCTURAL SECTION PRIOR TO CONSTRUCTION.

RETAINING WALL NOTES:

1. RETAINING WALLS SHOWN HEREON ARE FOR INFORMATION ONLY AND NOT CONSTRUCTED UNDER THIS PERMIT. SAID WALLS SHALL BE CONSTRUCTED UNDER SEPARATE PERMIT.
2. NO PART OF THE ROCKERY WALL CONSTRUCTION, INCLUDING FOOTING AND DRAINAGE SYSTEM, WILL EXTEND OVER THE PROPERTY LINE.
3. REFER TO ROCKERY DESIGN AND CONSTRUCTION GUIDELINES BY FHWA OR ASCE.

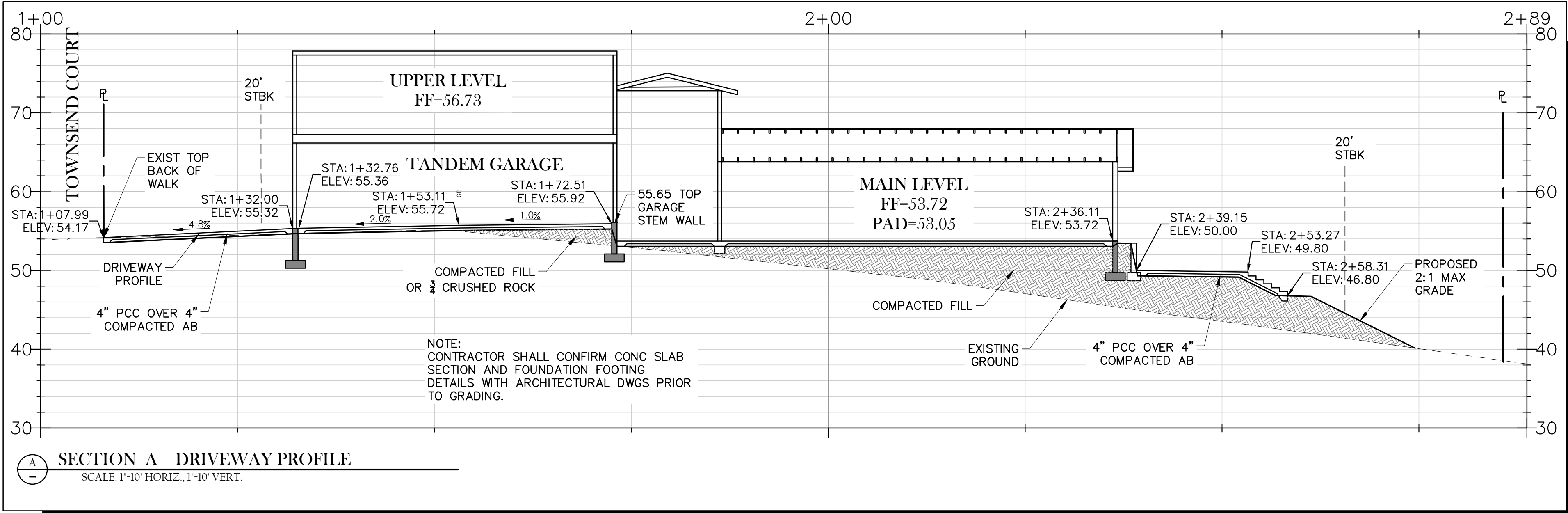


SITE/GRADING PLAN
712 TOWNSEND COURT
DECEMBER 21, 2021



TSD ENGINEERING, INC.
expect more.
785 Orchard Drive, Suite #110
Folsom, CA 95630
Phone: (916) 608-0707
Fax: (916) 608-0701

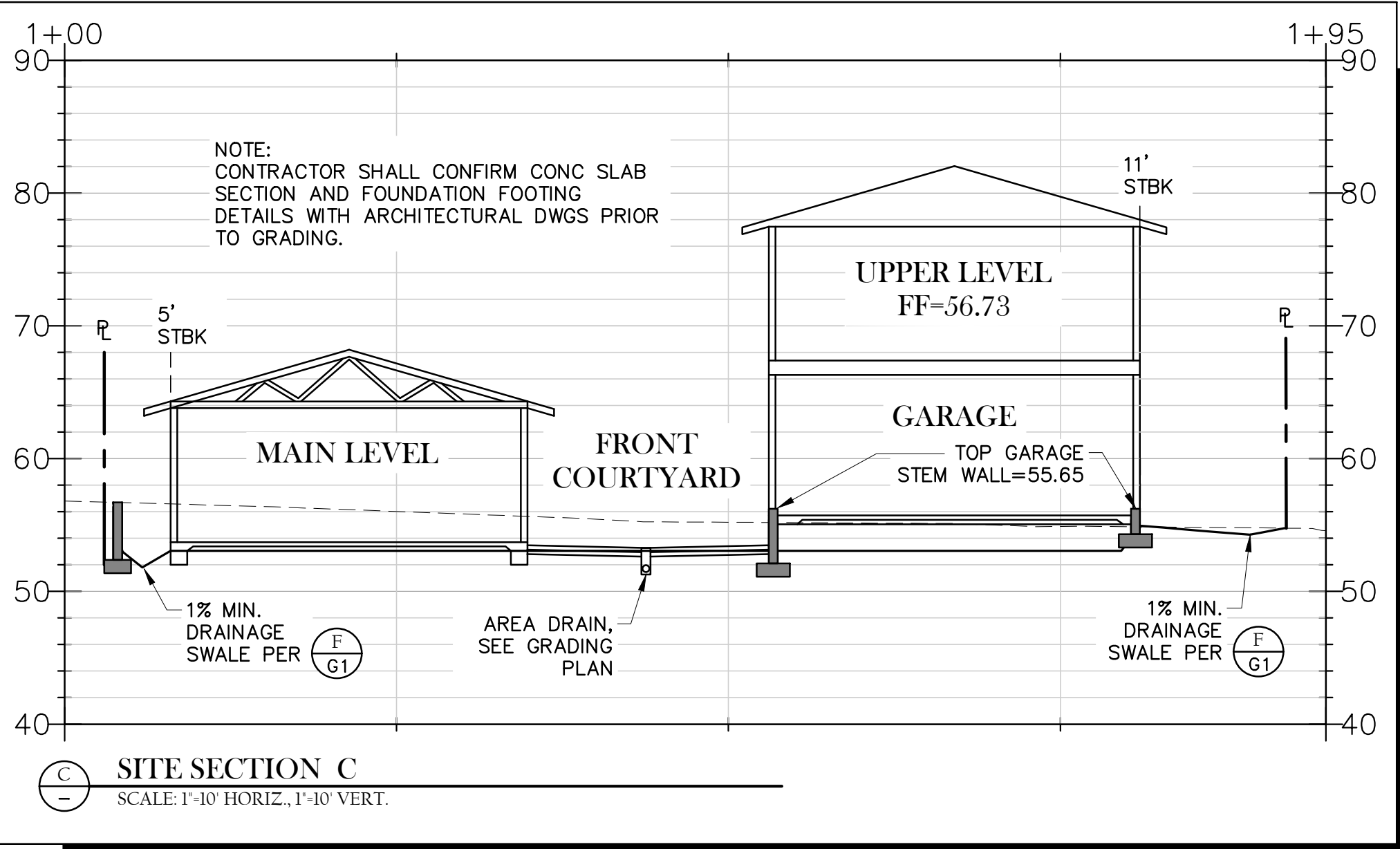
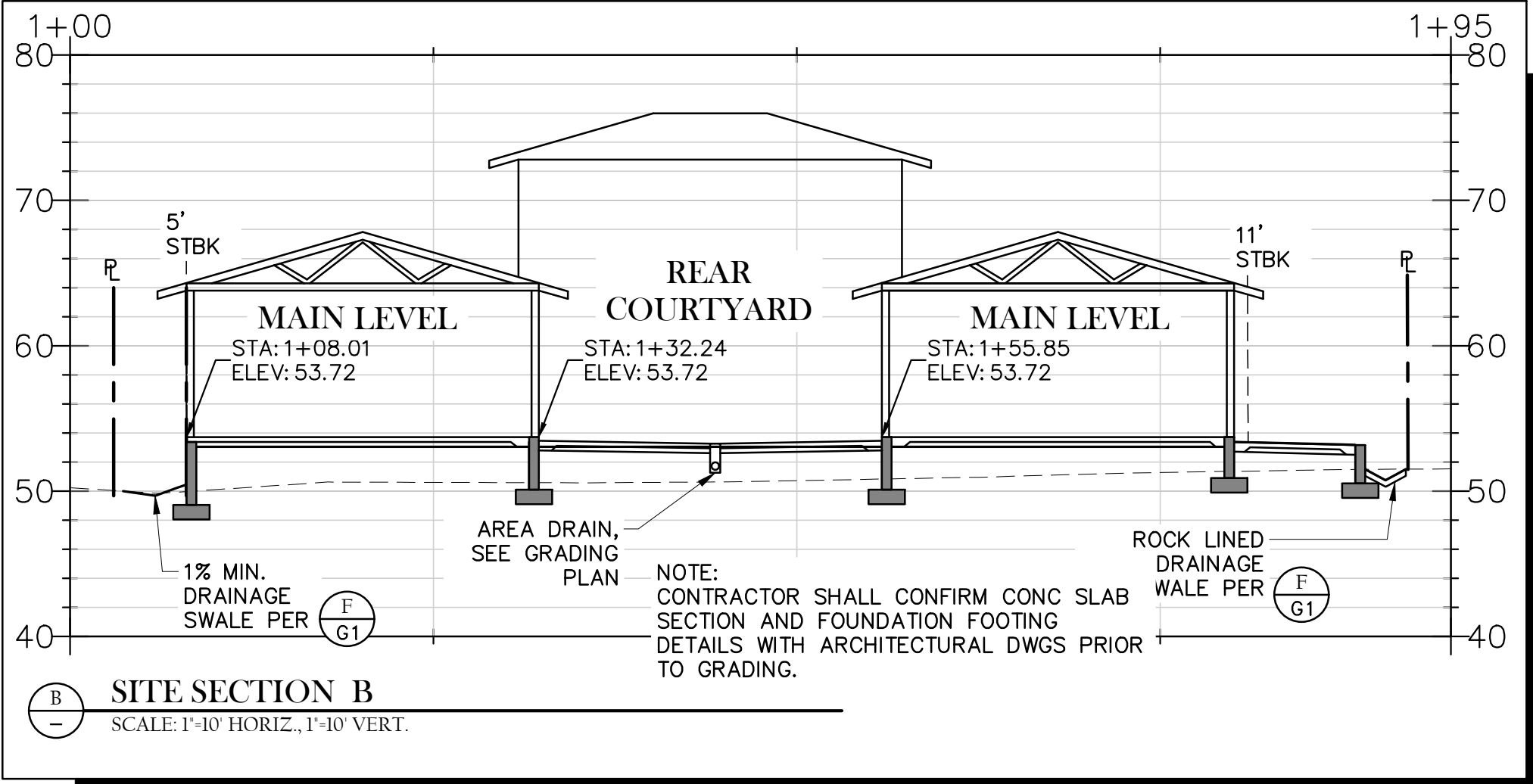
SHEET
G1/3



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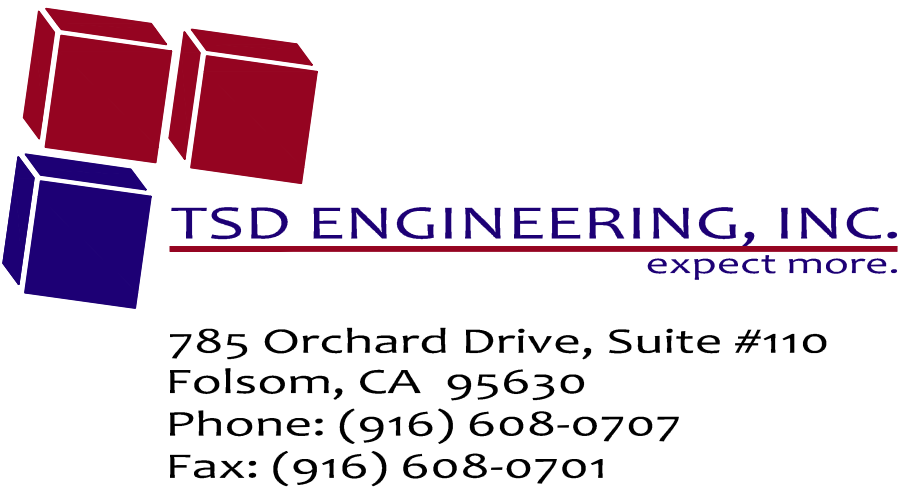
EARTHWORK QUANTITIES:
CUT - ± 287 CY
FILL - ± 1,297 CY
NET - ± 1,010 CY (IMPORT)
AREA OF IMPACT - ± 15,167 SF
RAW NUMBERS, NO SHRINKAGE OR SWELL
WAS ACCOUNTED FOR.

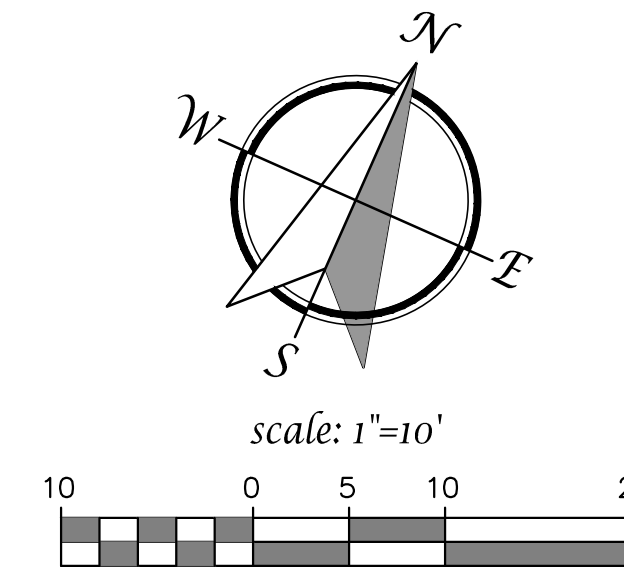


GRADING SECTIONS
712 TOWNSEND COURT
DECEMBER 21, 2021



SHEET
G2/3





1. THE PROJECT OWNER SHALL CONFORM TO THE COLORADO MUNICIPAL CODE (FMC) FOR PROTECTION OF SURFACE WATERS AND URBAN RUN-OFF. IN ADDITION, SITES OF ONE ACRE OR MORE SHALL COMPLY WITH THE STATE'S NPDES GENERAL CONSTRUCTION PERMIT.
2. THE PROJECT OWNER SHALL DESIGNATE AN EROSION AND SEDIMENT CONTROL (ESC) MANAGER WHO SHALL PROVIDE THEIR NAME, PHONE NUMBER, AND E-MAIL ADDRESS TO THE PUBLIC WORKS STORMWATER QUALITY MANAGER OR THE DESIGNATED CITY INSPECTOR. CHANGES TO THE ESC MANAGER'S CONTACT INFORMATION SHALL PROMPTLY BE REPORTED TO THE PUBLIC WORKS STORMWATER QUALITY MANAGER OR THE DESIGNATED CITY INSPECTOR. THE PROJECT OWNER SHALL BE RESPONSIBLE FOR ALL PROJECT PERSONNEL INCLUDING SUBCONTRACTORS AND MATERIAL SUPPLIERS.
3. THE ESC MANAGER SHALL INSPECT AND MAKE NECESSARY CORRECTIONS AND ADJUSTMENTS TO THE STORMWATER CONTROLS ON THE FOLLOWING SCHEDULE: 1) WEEKLY, 2) 48 HOURS PRIOR TO A STORM EVENT PREDICTED BY THE NATIONAL OCEANIC ATMOSPHERIC ADMINISTRATION TO EXCEED 0.10 INCH, 3) DURING A STORM EVENT EXCEEDING 0.10 INCH AND 4) WITHIN 48 HOURS AFTER A STORM EVENT EXCEEDING 0.10 INCH.
4. BEST MANAGEMENT PRACTICES (BMPs) DESCRIBED HEREIN AND ON THE APPROVED EROSION CONTROL PLAN ARE THE MINIMUM REQUIRED BMPs TO BE IMPLEMENTED AND MAINTAINED ON THE CONSTRUCTION SITE YEAR ROUND IN ORDER TO COMPLY WITH CHAPTER 8.70 OF THE FMC. ADDITIONAL MEASURES MAY BE REQUIRED AS SITE CONDITIONS DICTATE, THROUGHOUT THE COURSE OF THE WORK, TO ENSURE THAT WATER QUALITY RUN-OFF INTO CITY DRAINAGE FACILITIES IS PROTECTED.
5. SEDIMENT CONTROL BMPs SHALL BE INSTALLED AND MAINTAINED YEAR ROUND AND AT A MINIMUM SHALL INCLUDE PERIMETER CONTROLS, DRAIN INLET PROTECTION, AND STABILIZED ACCESS. PUBLIC AREAS AND SIDEWALKS SHALL BE SWEEP DAILY WHEN VEHICLES ARE ACCESSING THE SITE. WASHING THE STREET SHALL NOT BE PERMITTED UNLESS OTHERWISE APPROVED BY THE CITY.
6. THE CONTRACTOR SHALL ANTICIPATE AND ACCOMMODATE ANY RUN-ON FROM NEIGHBORING PROPERTIES, INCLUDING EXISTING WATER COURSES. EXISTING WATER COURSES SHALL BE MAINTAINED IN THEIR ORIGINAL CONDITION, EXCEPT WHERE MODIFICATIONS ARE APPROVED BY THE CITY.
7. ALL AREAS DISTURBED DURING CONSTRUCTION SHALL BE PROTECTED FROM EROSION DURING THE WET SEASON, HYDROSEED, IF USED, SHALL BE PLACED ON OR BEFORE SEPTEMBER 15TH. EROSION CONTROL PLACEMENT BEFORE SEPTEMBER 15TH SHALL BE USED WITH A SECONDARY PROTECTION METHOD SUCH AS A MAT OR BLANKET SPECIFICALLY DESIGNED TO FACILITATE GERMINATION AND GROWTH.
8. PROTECTED AREAS SHALL BE PROTECTED WITH ORANGE CONSTRUCTION FENCING. ADDITIONAL SIGNAGE MAY BE REQUIRED TO IDENTIFY THE RESOURCE BEING PROTECTED AND/OR PROVIDE ADDITIONAL INSTRUCTIONS TO CONSTRUCTION PERSONNEL.
9. CEMENTITIOUS, PAINT, WASTE, AND HAZARDOUS MATERIALS SHALL BE HANDLED, COVERED, AND/OR STORED PROPERLY TO AVOID SPILLS, LEAKAGE, AND CONTACT WITH RAIN OR STORMWATER RUNOFF.
10. ALL CONSTRUCTION DEBRIS AND ALL BMPs SHALL BE REMOVED ONCE LANDSCAPING IS INSTALLED AND FUNCTIONING TO THE SATISFACTION OF THE CITY.
11. VIOLATIONS OF THE FMC 8.70 MAY RESULT IN STOP WORK NOTICES, FINES, AND/OR DELAY IN CITY INSPECTIONS OF THE PROJECT IMPROVEMENTS.



LOT-114

ELEVATION / ROOF NOTES

2. FASCIA SEE DETAIL.
3. BARGE SEE DETAIL.
4. EXPOSED ROOFING TAIL. SEE DETAIL. ALL RAFTER TAILS TO BE EQUALLY SPACED. FRAMER TO COORDINATE WITH TRUSS MAN.
5. EXTERIOR PLASTER OVER PAPER BACKED WITH NIRE MEMBRANE. SEE DETAIL.
6. STANDING SEAM METAL ANVING. SEE DETAIL.
7. EXTERIOR PLASTER SOFFIT OVER EXPANDED METAL LATH. SEE DETAIL.
8. CEILING SMOOTH BOARD & BATTEN FINISH. SEE DETAIL.
9. CEILING SMOOTH BOARD & BATTEN SIDING. SEE EXTERIOR FINISH NOTES.
10. CEILING SMOOTH CORNER TRIM SEE DETAIL. & EXTERIOR FINISH NOTES.
11. CEILING SMOOTH TRIM. SEE ELEVATION OR DETAIL FOR ACTUAL SIZE.
12. FOAM TRIM SEE ELEVATION OR DETAIL FOR ACTUAL SIZE.
13. EXTERIOR PLASTER. SEE ELEVATION FOR DETAIL.
14. POSTHOLE SEE DETAIL.
15. G.I. FLASHING AT BOARD & BATTEN JOINT. SEE DETAIL.
16. G.I. FLASHING ROOF TO WALL. SEE DETAIL.
17. G.I. FLASHING ROOF TO GALL.
18. LINE OF INTERIOR CROWN OR INTERIOR WALL.
19. ADDRESS SIGN.
20. EXPOSED ROOF PINE PLAN FOR SIZE. (REFER TO STRUCTURAL).
21. EXPOSED NOOD BEND. SEE PLAN FOR PLAN SIZE. (REFER TO STRUCTURAL).
22. EXPOSED NOOD CORBEL / BRACKET.
23. DECORATIVE 'FALSE' GABLE END VENT. SEE ELEV. FOR DETAIL.
24. METAL RAILING. SEE DETAIL.
25. 1. GUTTERED & DOWNSPUT. AIR VENT. SEE REQUIRED ATTACHMENT VENTILATION CHART FOR MORE INFORMATION.
26. G.I. GUTTER AND DOWNSPUTS. GUTTER LAYOUT AND DOWNSPUT LAYOUT SEE DETAIL.
27. ADHERED SYNTHETIC STONE VENEER BY OF LENO. BR-25, BR-30, BR-35.
28. 1. REPEAT DETAIL AT OPPOSITE SIDE OF OPENING.
29. 1. REPEAT TERMINATION CAP FOR APPLIANCE FIREPLACE (PER F.P.R.)
30. STONE COATED FOAM TRIM COMPONENT. SEE DETAIL.
31. STONE WALL ATTER. SEE DETAIL.
32. LINE OF RECESSED WINDOW FRAMING. SEE DETAIL.
33. STONE FINISHED INTERIOR OTHERS. STONE VENEER TO MATCH FRONT ELEVATION VENEER.

EXTERIOR FINISHES NOTES

2. ALL EXPOSED SHUTTERS, POSTS AND CORBELS TO BE "RESAWN" AND SHALL BE PRIMED ON ALL SIDES PRIOR TO INSTALLATION/ASSEMBLY.
3. ALL EXPOSED POST TO BEAM HARDWARE TO HAVE HIDDEN INSTALLATION OR STRUCTURALLY APPROVED "ORNAMENTAL" CONNECTORS WITH A TEXTURED BLACK POWDER COAT FINISH. EXTERIOR PLASTER FINISH: STEEL TROWEL "SMOOTH".
4. TYPICAL SIDING TO BE: JAMES HARDIE "V" GROOVE SIDING, ESR-2240
- EXPOSURE: 45'
- FINISH: WOOD GRAIN

ROOF PLAN NOTES

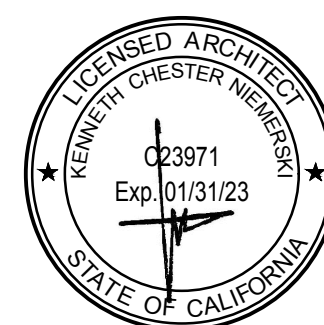
- INDICATES ROOF SLOPE, REFER TO ROOF PLAN(S).
- TYPICAL ROOFING: CONCRETE FLAT TILE
BY EAGLE ROOFING OR APPROVED AL. (APMO) UES-1900.
MINIMUM GLASS A ROOF, 4.7 POUNDS PER S.F.
3. TYPICAL ROOF OVERHANG AT RAKE CONDITION TO BE LOT #21 -
UNLESS NOTED OTHERWISE ON ROOF PLAN. LOT #22 -
4. TYPICAL ROOF OVERHANG AT EAVE CONDITION TO BE LOT #21 -
UNLESS NOTED OTHERWISE ON ROOF PLAN. LOT #22 -

REQUIRED ATTIC VENTILATION

- ATTIC VENTILATION CALCULATIONS PER C.R.C. R806.2 AS FOLLOWS:
- ATTIC AREA (SQUARE FEET)
8. DIVIDE BY 300 AND MULTIPLY BY 144 TO CALCULATE THE TOTAL REQUIRED MIN. NET FREE VENTILATING AREA IN SQUARE INCHES AT LEAST 40% AND NO MORE THAN 50% OF THE REQUIRED VENTILATING AREA SHALL BE PROVIDED BY RIDGE VENTILATION. (SEE ATTIC VENT CHART FOR FREE AREA) 3 FEET VENTILATION BELOW THE RIDGE OR HIGHEST POINT OF ROOF WITH BALANCE OF VENTILATION PROVIDED BY EAVE/LOW VENTS OR GROUND LEVEL VENTS. (SEE C.R.C. R806.1 FOR VAPOR RETARDER SHALL BE INSTALLED ON THE WARM-IN-WINTER SIDE OF CEILING.)
9. DIVIDE A BY 80 AND MULTIPLY BY 144 TO CALCULATE THE TOTAL REQUIRED MIN. NET FREE VENTILATING AREA IN SQUARE INCHES
10. TOTAL SQUARE INCHES OF NET FREE VENTILATING AREA PROVIDED BY RIDGE VENTS. (SEE ATTIC VENT CHART FOR FREE AREA)
11. $\frac{\text{TOTAL SQUARE INCHES OF NET FREE VENTILATING AREA PROVIDED BY RIDGE VENTS}}{\text{TOTAL SQUARE INCHES OF NET FREE VENTILATING AREA PROVIDED BY ROOF AIR VENTS. (SEE ATTIC VENT CHART FOR FREE AREA)}}$
12. $\frac{\text{H} \times \text{H} \times \text{H}}{\text{H} \times \text{H} \times \text{H} + \text{L} \times \text{L} \times \text{L} + \text{H} \times \text{A} \times \text{L} + \text{L} \times \text{A} \times \text{H} + \text{H} \times \text{H} \times \text{H} + \text{L} \times \text{L} \times \text{L} + \text{H} \times \text{A} \times \text{L} + \text{L} \times \text{A} \times \text{H}}$

NOTE: FOR ADDITIONAL GENERAL ATTIC / ROOF AIR VENTING REQUIREMENTS REFER TO GENERAL NOTE SHEETS.

CITY APPROVAL _____



ARCHITECTURAL STAMP

Bassenian | Lagoni
ARCHITECTURE • PLANNING • INTERIORS

T 949.553.9100 F 949.553.0548

2031 ORCHARD DRIVE | NEWPORT BEACH, CA 92660

1st PLAN CHECK

Date: 10-11-2021

REVISIONS

Elliott Homes
A Tradition of Quality since 1914

340 PALLADIO PARKWAY
SUITE 521
FOLSOM, CA 95630
PH: (916) 984-1300

LAKEVIEW OAKS
FOLSOM, CA

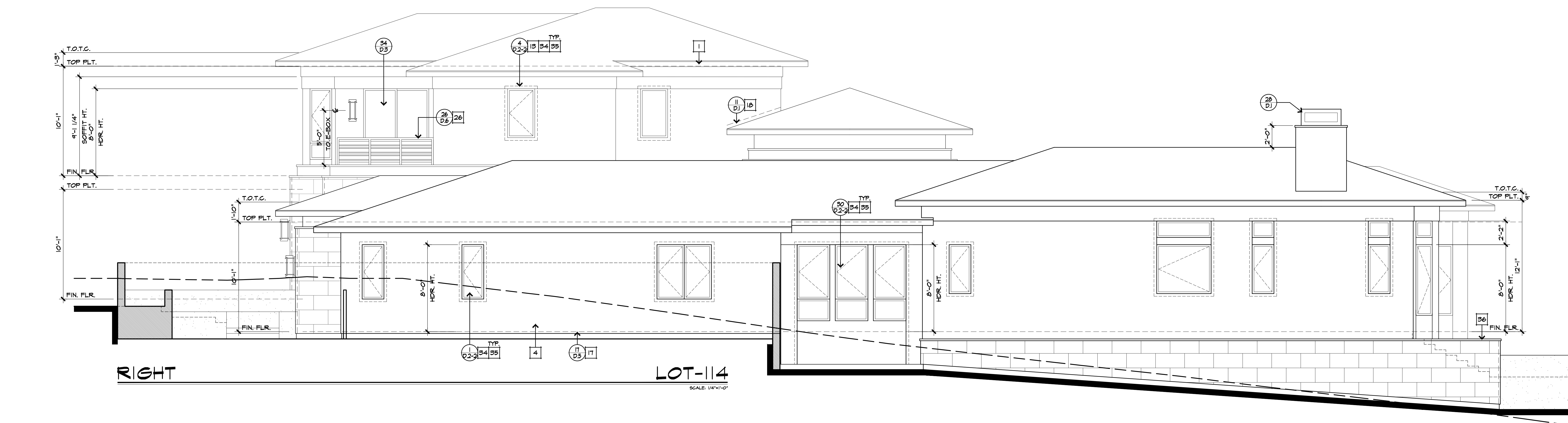
LOT-114
FRONT & REAR
ELEVATIONS

1.6

JOB NUMBER: 258-21060
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BASSENIAN LAGONI ARCHITECT

PLOT DATE: 10-8-21

FILE NAME: 21080ELV114



ELEVATION / ROOF NOTES

01-20-20

1. FASCIA, SEE DETAIL.
2. BARGE, SEE DETAIL.
3. EXPOSED RAFTER TAILS, SEE DETAIL. ALL RAFTER TAILS TO BE SHOWN UNCEA. FRAMER TO COORDINATE WITH TRUSS ENGINEER.
4. EXTERIOR PLASTER OVER PAPER BACKED WITH NIRE MEM.
5. STANDING SEAM METAL ANNOING, SEE DETAIL.
6. STANDING SEAM METAL ANNOING, SEE DETAIL.
7. GEMENTUITOUS SIDING, SEE DETAIL. EXTERIOR FINISHES NOTES.
8. GEMENTUITOUS SOFFIT, SEE DETAIL.
9. GEMENTUITOUS BOARD, STANDING SIDING, SEE DETAIL. EXTERIOR FINISH NOTES.
10. GEMENTUITOUS CORNER TRIM, SEE DETAIL. & EXTERIOR FINISH NOTES.
11. GEMENTUITOUS TRIM, SEE ELEVATION OR DETAIL, FOR ACTUAL SIZE.
12. FOAM TRIM, SEE ELEVATION OR DETAIL, FOR ACTUAL SIZE.
13. FOAM TRIM, SEE ELEVATION OR DETAIL, FOR ACTUAL SIZE.
14. FOAM TRIM, SEE ELEVATION OR DETAIL, FOR ACTUAL SIZE.
15. ROPSHELF, SEE DETAIL.
16. FLASHING AT ROOF & BATTEN JOINT, SEE DETAIL.
17. G/1 EXTERIOR PLASTER, SEE DETAIL.
18. G/1 FLASHING ROOF TO WALL.
19. FLASHING AND SACK, OR
20. LINE OF INTERIOR CEILING OR INTERIOR WALL.
21. EXPOSED SIGN.
22. WOOD POST(S), SEE PLAN FOR SIZE. (REFER TO STRUCTURAL).
23. EXPOSED WOOD BEAM, SEE PLAN FOR SIZE. (REFER TO STRUCTURAL).
24. EXPOSED WOOD CORBEL / BRACKET.
25. DECORATIVE "FALSE" GABLE END VENT, SEE ELEV. FOR ACTUAL INFO.
26. METAL RAILING, SEE DETAIL.
27. 1. ADHERED RATED AIR VENT, SEE REQUIRED ATTIC VENTILATION CHART FOR MORE INFORMATION.
2. G/1 GUTTER AND DOWNSPOUTS, GUTTER LAYOUT AND DOWNSPOUT LOCATIONS TO BE DETERMINED BY FIELD ENGINEER.
3. ADHERED SYNTHETIC STONE VENEER BY EL DORADO, OR-215.
4. REPEAT LASTER CONTROL LINE.
5. REPEAT DETAIL AT OPPOSITE SIDE OF ROOF.
28. APPROVED TERMINATION CAP FOR APPLIANCE FILLPIPE (PER APPROVED DETAIL).
29. STONE COATED FOAM TRIM/COMPONENT, SEE DETAIL.
30. STONE COATED TRIM, REPEAT DETAIL.
31. LINE OF REGRESSED WINDOW FRAMING, SEE DETAIL.
32. C/MU PLANKER WALL BY OTHERS, STONE VENEER TO MATCH EXISTING STONE VENEER.

EXTERIOR FINISHES NOTES

01/20/2020

- A. ALL EXPOSED SHUTTERS, POSTS AND CORBELS TO BE "RESAWN" AND SHALL BE PRIMED ON ALL SIDES PRIOR TO INSTALLATION/ASSEMBLY.
- B. ALL EXPOSED POST TO BEAM HARDWARE TO HAVE HIDDEN INSTALLATION OR STRUCTURALLY APPROVED ORNAMENTAL CONNECTORS WITH A TEXTURED BLACK POWDER COAT FINISH.
- C. EXTERIOR PLASTER FINISH: STEEL TROMEL "SMOOTH".
- D. TYPICAL SIDING TO BE: JAMES HARDIE V GROOVE SIDING, ESR-2290

EXPOSURE: 45'
FINISH: MOOD GRAIN

ROOF PLAN NOTES

INDICATES ROOF SLOPE. REFER TO ROOF PLAN(S).

A. TYPICAL ROOFING: CONCRETE FLAT TILE
BY EAGLE ROOFING OR APPROVED EQUAL. (APMO) UES-1400.
MINIMUM CLASS A ROOF, 1.7 POUNDS PER S.F.

B. TYPICAL ROOF OVERHANG AT RAKE CONDITION TO BELOT #21 - 24"
UNLESS NOTED OTHERWISE ON ROOF PLAN. LOT #22 - TIE

A. TYPICAL ROOF OVERHANG AT EAVE CONDITION TO BE LOT #21 - 24"
UNLESS NOTED OTHERWISE ON ROOF PLAN. LOT #22 - 18"

REQUIRED ATTIC VENTILATION

01-20-20

ATTIC VENTILATION CALCULATIONS PER C.R.G. R202.6 AS FOLLOWS:

A. ATTIC VENTILATION (SQUARE INCHES REQUIRED PER SQUARE FOOT OF AREA):

1. DIVIDE AREA BY 800 AND MULTIPLY BY 144 TO CALCULATE THE TOTAL SQUARE INCHES OF NET FREESTANDING AREA IN SQUARE INCHES AT LEAST 40% AND NO MORE THAN 50% OF THE REQUIRED VENTILATION AREA SHALL BE PROVIDED BY RIDGE VENTILATION LOCATED NO MORE THAN 1 FEET VERTICALLY BELOW THE RIDGE OR HIGHEST POINT OF ROOF OR EAVE LINE. VENTILATION SHALL BE PROVIDED BY ONE OF THE FOLLOWING ZONES 14 AND 16 A CLASS I OR CLASS I VAPOR RETARDER SHALL BE INSTALLED ON THE HATCH-WINTER SIDE OF CEILING.

2. DIVIDE AREA BY 800 AND MULTIPLY BY 144 TO CALCULATE THE TOTAL REQUIRED MIN. NET FREESTANDING AREA IN SQUARE INCHES.

B. RIDGE VENTILATION:

1. TOTAL SQUARE INCHES OF NET FREESTANDING AREA PROVIDED BY RIDGE VENTS. (SEE ATTIC VENT CHART FOR FREE AREA)

C. RIDGE VENT

2. TOTAL SQUARE INCHES OF NET FREESTANDING AREA PROVIDED BY RIDGE VENTS. (SEE ATTIC VENT CHART FOR FREE AREA)

D. HIGH VENT **E. LOW VENT** **F. AREA / 30 VENT**

PROVIDE ACCESS AND VENTILATION FROM THE EXTERIOR THROUGH THE ROOF TO ALL ATTIC SPACES. REFER TO STRUCTURAL DRAWINGS FOR SHEATHING PENETRATIONS.

NOTE: FOR ADDITIONAL GENERAL ATTIC, RIDGE, AIR VENT, AND VAPOR RETARDERS REFER TO THE ATTIC DETAIL SHEETS.

ARCHITECTURAL STAMP

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REVISIONS

340 PALLADIO PARKWAY
SUITE 521
FOLSOM, CA 95630
PH: (916) 984-1300

LAKEVIEW OAKS
FOLSOM, CA

1.6-1

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LAKEVIEW OAKS LOT 114

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FOLSOM, CALIFORNIA

JOB# 258-21060

COLOR SELECTION CHART

ROOF: EAGLE
PAINT: KELLY MOORE
STONE: ELDORADO, CREATIVE MINES
GUTTERS & DOWNSPOUT: CUSTOM BILT METALS

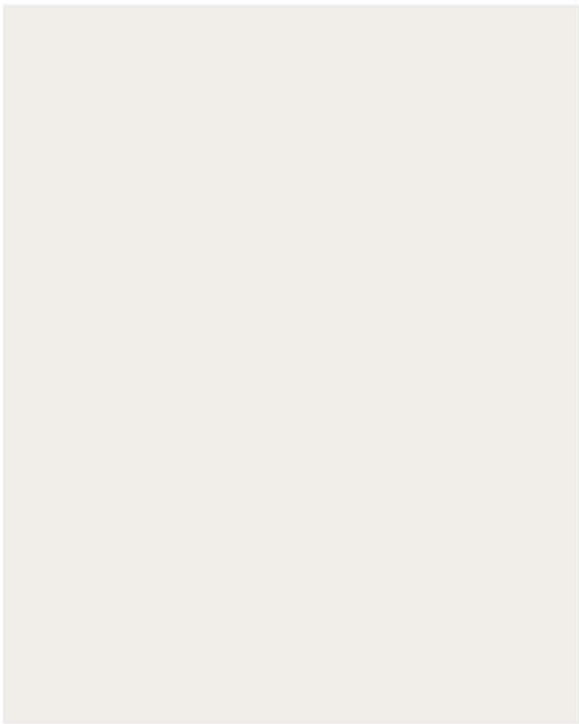
JULY 26, 2021

FASCIA, EAVES, TAILS, HEADERS, BEAMS, TRIMS & GARAGE DOOR	KM 4938-3 GROUCHY BADGER
FRONT ENTRY DOOR	KM 4938-3 GROUCHY BADGER
BASE STUCCO	KMW 46 PICKET FENCE
STONE	CREATIVE MINES SANDDOLLAR CHISLED RECTANGLE
STONE MORTAR	ORCO PEARL
WINDOW FRAME MILGARD	BRONZE
FLAT ROOF EAGLE	4588
WROUGHT IRON	KM 4911-5 DESERT SHADOW
GUTTERS AND DOWNSPOUT	MUSKET

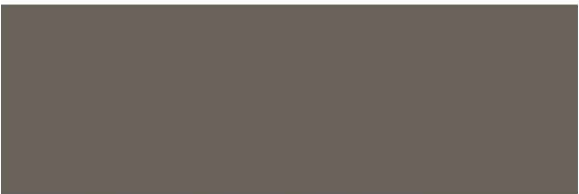
LOT 114



FLAT ROOF



BASE STUCCO



FASCIA, EAVES, TAILS, HEADERS,
BEAMS, POSTS, KICKERS & GARAGE DOORS



WINDOW FRAME & ENTRY DOORS



WROUGHT IRON



STONE