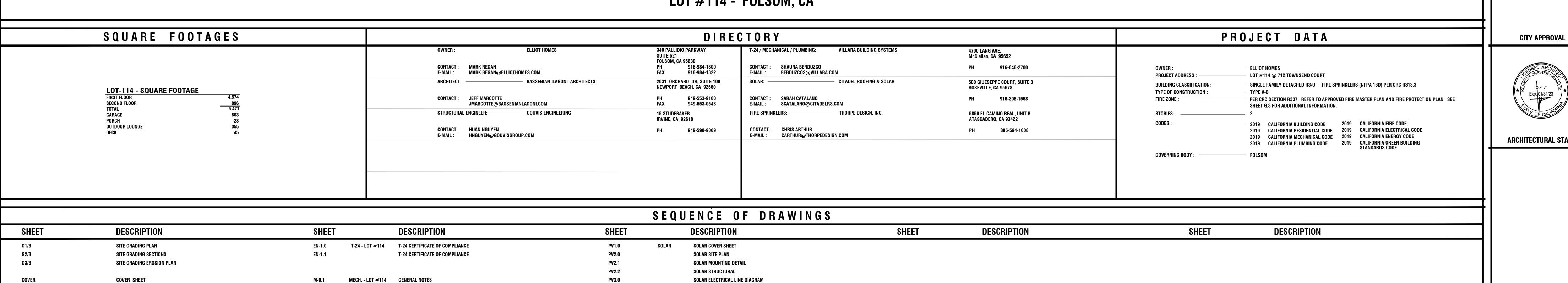
# LAKEVIEW OAKS

**LOT #114 - FOLSOM, CA** 



		SN-2	STRUCTURAL DETAILS & NOTES
1.1	LOT #114 ARCHITECTURAL SLAB INTERFACE PLAN	SN-3	STRUCTURAL DETAILS & NOTES
1.2	FIRST FLOOR PLAN	SD-1	STRUCTURAL FOUNDATION DETAILS
1.2-1	SECOND FLOOR PLAN	SD-2	GENERAL DETAILS & NOTES
1.3	FIRST FLOOR UTILITY PLAN	SD-3	STRUCTURAL DETAILS
1.3-1	SECOND FLOOR UTILITY PLAN		
1.4	INTERIOR ELEVATIONS		
1.5	SECTIONS A,B & C	L1.00	LANDSCAPE - LOT #114 LANDSCAPE COVER SHEET
1.5-1	SECTIONS D,E & F	L1.01	LANDSCAPE NOTES
1.6	FRONT AND REAR ELEVATIONS	L2.00	LANDSCAPE GRADING & DRAINAGE AND LAYOUT PLAN
1.6-1	LEFT AND RIGHT ELEVATIONS	L2.01	LANDSCAPE CONSTRUCTION DETAILS
1.6-2	ROOF PLAN	L3.00	IRRIGATION PLAN
		L3.01	IRRIGATION DETAILS
		L3.02	CONTROLLER SCHEDULE AND WATER CALCULATIONS
		L4.00	PLANTING PLAN
D.1	ARCH. DETAILS ARCHITECTURAL DETAILS	L4.01	PLANTING DETIALS
D.2	ARCHITECTURAL DETAILS		
D.2-1	ARCHITECTURAL DETAILS		
D.2-2	ARCHITECTURAL DETAILS	P-0.1	PLUMBING - LOT #114 INDEX, LEGEND, NOTES & SCHEDULE
D.2-3	ARCHITECTURAL DETAILS	P-1.1	GAS FLOOR LAYOUT
D.3	ARCHITECTURAL DETAILS	P-1.2	WASTE & VENT LAYOUT
D.3-1	ARCHITECTURAL DETAILS	P-1.3	HOT & COLD WATER LAYOUT
D.4	ARCHITECTURAL DETAILS		
D.5	ARCHITECTURAL DETAILS		
D.6	ARCHITECTURAL DETAILS	FP1	FIRE SPRINKLERS FIRE SPRINKLER LAYOUT
		FP2	- LOT #114 FIRE SPRINKLER LAYOUT

**SOLAR SIGNAGE & EQUIPMENT DATA** 

**SOLAR PRODUCT SPECIFICATIONS** 

M-1.0

M-1.1

S-1.2

**GENERAL NOTES** 

**GENERAL NOTES** 

**EXTERIOR WILDFIRE EXPOSURE NOTES** 

CAL GREEN RESIDENTIAL VOLUNTARY MEASURES

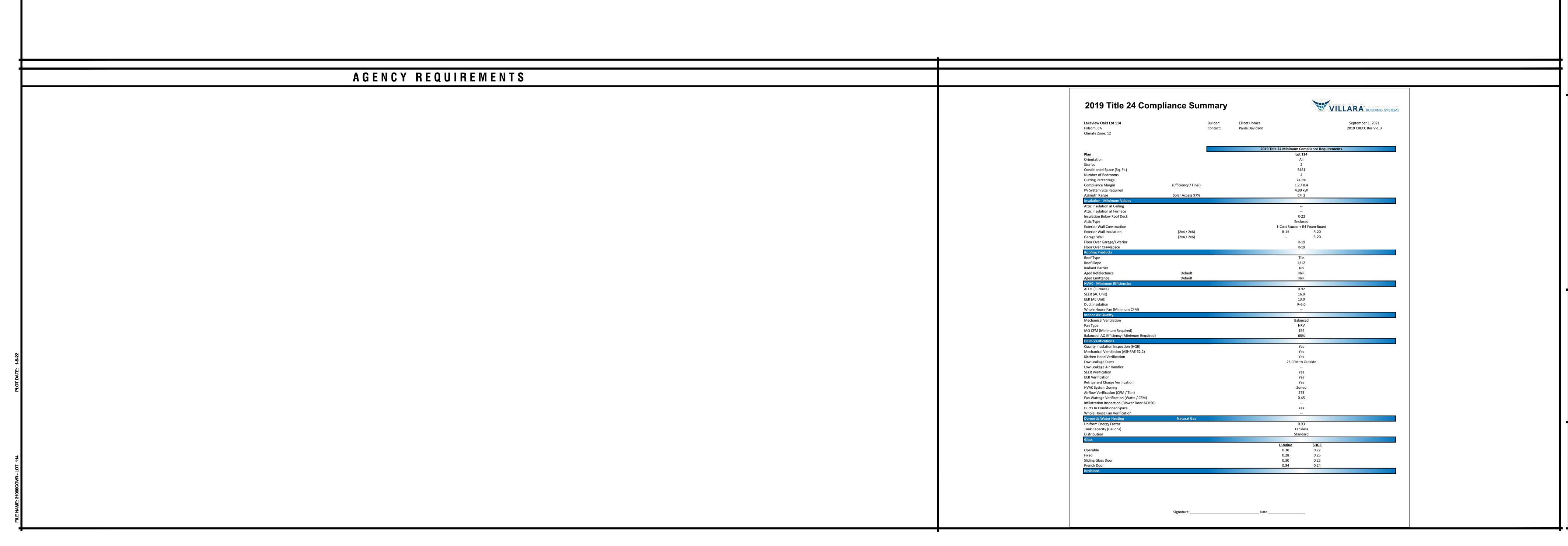
CAL GREEN BUILDING STANDARDS

FIRST FLOOR MECHANICAL LAYOUT

STRUCT. - LOT #114 GENERAL NOTES & REQUIREMENTS

**FOUNDATION PLAN** 

SECOND FLOOR MECHANICAL LAYOUT



**ARCHITECTURAL STAMP** 

0 R gen

ARCHITE(

Date: 10-11-2021 **REVISIONS** 

1st PLAN CHECK

Eliott Homes
A Tradition of Quality since 1914 340 PALLADIO PARKWAY SUITE 521 FOLSOM, CA 95630 PH: (916) 984-1300

> **LAKEVIEW OAKS** FOLSOM, CA

LOT #114

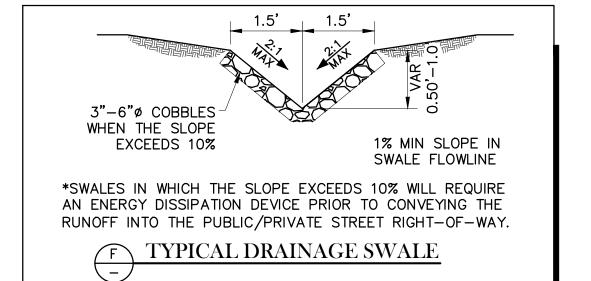
JOB NUMBER: 258-21060 COPYRIGHT (C) 2021 BASSENIAN LAGONI ARCHITECTS

# **GRADING NOTES:**

- 1. AN ENCROACHMENT PERMIT IS REQUIRED FOR ALL WORK TO BE DONE WITHIN PUBLIC RIGHTS-OF-WAY OR EASEMENTS, AND FOR
- CONNECTIONS TO PUBLICLY-OWNED AND MAINTAINED FACILITIES.
- 2. CALL UNDERGROUND SERVICE ALERT (USA) AT 811 OR 800.642.2444, FORTY-EIGHT (48) HOURS PRIOR TO ANY GRADING/EXCAVATION ACTIVITY.
- 3. THE OWNER/CONTRACTOR SHALL NOTIFY CITY OF FOLSOM CONSTRUCTION INSPECTION SERVICES AT 916.355.7210, TWENTY-FOUR(24) HOURS PRIOR TO COMMENCEMENT OF ANY GRADING. 4. CONTRACTOR SHALL OBTAIN AN APPROVED WATER METER FROM THE CITY AT THE OWNER'S
- 5. ALL REFERENCES TO "STANDARD SPECIFICATIONS" SHALL MEAN THE LATEST EDITION OF THE CITY OF FOLSOM STANDARD CONSTRUCTION SPECIFICATIONS AND DESIGN AND PROCEDURES MANUAL. 6.DRAINAGE SWALES ARE TO BE CONSTRUCTED PER CITY STANDARD DETAIL.
- 7. CLEARING AND GRUBBING SHALL CONFORM TO THE PROVISIONS OF SECTION 9.1 OF THE STANDARD SPECIFICATIONS.
- 8. ALL EXCAVATION, EMBANKMENT, BACKFILL, ETC., SHALL CONFORM TO THE PROVISIONS IN SECTION 9.2, "EXCAVATION," OF THE STANDARD SPECIFICATIONS.
- 9. CUSTOM HOMES AND/OR SWIMMING POOLS SHALL BE CHALKED OUT ON THE GROUND AND ALL OAK TREES SHALL BE FENCED WITH HIGH VISIBILITY FENCING BEFORE THE PRE-SITE INSPECTION
- IS SCHEDULED. 10. NO WORK SHALL BE DONE UNDER OR WITHIN THE TREE PROTECTION ZONE (TPZ) OF ANY EXISTING TREE WITHOUT A VALID TREE PERMIT.
- 11. GRADING ACTIVITIES SHALL IMPLEMENT EROSION AND DUST CONTROL MEASURES AT ALL TIMES. EROSION CONTROL PLANS SHALL BE SUBMITTED TO THE CITY OF FOLSOM, COMMUNITY DEVELOPMENT DEPARTMENT FOR REVIEW AND APPROVAL.
- 12. THERE SHALL BE NO TRESPASSING OF ANY KIND INTO PUBLIC OR PRIVATE OPEN SPACE
- 13. ALL GRADING SHALL BE DONE IN ACCORDANCE WITH THE GEOTECHNICAL REPORT JOB NO. E02059.036 FOR EMPIRE RANCH VILLAGES 31, 32, 36 & 40 PROVIDED BY: YOUNGDAHL ENGINEERING GROUP, AND UPDATED: APRIL 2020.
- 14. ALL GRADING INCLUDING COMPACTION, EXCAVATION, PLACEMENT OF FILL MATEWRIALS ETC., SHALL BE DONE UNDER THE DIRECTION OF A GEOTECHNICAL ENGINEER.
- 15. THE OWNER/CONTRACTOR SHALL PROVIDE A GRADING REPORT CONSISTING OF THE OBSERVATION'S MADE DURING EARTHWORK OPERATIONS, SIGNED AND STAMPED BY A LICENSED GEOTECHNICAL ENGINEER, PRIOR TO ISSUANCE OF A BUILDING PERMIT FOR THE STRUCTURE. RECOMMENDATIONS PROVIDED IN THE GRADING REPORT SHALL BE COMPLETED PRIOR TO ANY STRUCTURAL IMPROVEMENTS.

# **INSPECTIONS**

- A. IT SHALL BE THE DUTY OF THE HOLDER OF THE BUILDING PERMIT OR THEIR DULY AUTHORIZED AGENT TO NOTIFY THE BUILDING OFFICIAL WHEN WORK IS READY FOR INSPECTION. IT SHALL BE THE DUTY OF THE PERMIT HOLDER TO PROVIDE ACCESS TO AND MEANS FOR INSPECTIONS OF SAID WORK THAT ARE REQUIRED BY THIS CODE. ALL CONSTRUCTION WORK SHALL BE SUBJECTED TO INSPECTION BY THE CITY OF FOLSOM BUILDING OFFICIAL (OR HIS/HER REPRESENTATIVES) AND SUCH CONSTRUCTION OR WORK SHALL REMAIN ACCESSESSIBLE AND EXPOSED FOR INSPECTION PURPOSES UNTIL APPROVED. APPROVAL AS A RESULT OF AN INSPECTION SHALL NOT BE CONSTRUED TO BE AN APPROVAL OF A VIOLATION OF THE PROVISIONS OF THIS CODE OR OTHER ORDINANCES OF THE JURISDICTION. INSPECTIONS PRESUMING TO GIVE AUTHORITY TO VIOLATE OR CANCEL THE PROVISIONS IT THIS CODE OR OF OTHER ORDINANCES OF THE JURISDICTION SHALL NOT BE VALID. IT SHALL BE THE DUTY OF THE PERMIT APPLICANT TO CAUSE THE WORK
  - TO REMAIN ACCESSIBLE AND EXPOSED FOR INSPECTION PURPOSES. NEITHER THE BUILDING OFFICIAL NOR THE JURISDICTION SHALL BE LIABLE FOR EXPENSES ENTAILED IN THE REMOVAL OR PLACEMENT OF ANY MATERIAL REQUIRED TO ALLOW INSPECTION. 2016 C.R.C. SECTION R109.



# TOPOGRAPHIC SURVEY

TOPOGRAPHIC SURVEY HAS BEEN PROVIDED BY TSD ENGINEERING INC. DATED \_\_\_\_\_ CONTRACTOR SHALL VERIFY EXISTING GRADES PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER OF ANY CONFLICTS.

# **ADDITIONAL GRADING NOTES:**

CONSTRUCTION DOCUMENTS.

1. COMPACTION TEST REQUIRED ON ALL FILL AREAS.

AMENDED CONSTRUCTION DOCUMENTS

WORK SHALL BE INSTALLED IN ACCORDANCE WITH

CHANGES MADE DURING CONSTRUCTION THAT ARE

CONSTRUCTION DOCUMENTS SHALL BE RESUBMITTED

NOT IN COMPLIANCE WITH THE APPROVED

FOR APPROVAL AS AN AMENDED SET OF

THE APPROVED CONSTRUCTION DOCUMENTS, AND ANY

- 2. CALL U.S.A. AT 1-800-642-2444 PRIOR TO EXCAVATION.
- 3. ROCK LINE ANY SWALES STEEPER THAN 10%.
- 4. CONTRACTOR TO VERIFY BUILDING STRUCTURAL SECTION PRIOR TO CONSTRUCTION.

# **RETAINING WALL NOTES:**

- . RETAINING WALLS SHOWN HEREON ARE FOR INFORMATION ONLY AND NOT CONSTRUCTED UNDER THIS PERMIT. SAID WALLS SHALL BE CONSTRUCTED UNDER SEPARATE PERMIT.
- 2. NO PART OF THE ROCKERY WALL CONSTRUCTION, INCLUDING FOOTING AND DRAINAGE SYSTEM, WILL EXTEND OVER THE PROPERTY

REFER TO ROCKERY DESIGN AND CONSTRUCTION GUIDELINES BY FHWA

# APN 072-3320-049 LOT 114 - EMPIRE RANCH VILLAGE 32C CITY OF FOLSOM, CALIFORNIA SHEET INDEX

SITE/GRADING PLAN

712 TOWNSEND COURT

SITE/GRADING PLAN GRADING SECTIONS
EROSION CONTROL PLAN

# OWNER/APPLICANT

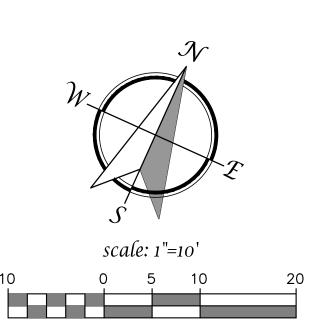
ELLIOTT HOMES, TOM GAMETTE 340 PALLADIO PARKWAY ST 521

FOLSOM, CA 95630 PHONE: (916) 984-1300

EMAIL: t.gamette@elliotthomes.com

# **EARTHWORK QUANTITIES:**

 $\overline{\text{CUT}}$  -  $\pm$  287  $\overline{\text{CY}}$ FILL - ± 1,297 CY NET -  $\pm$  1,010 CY (IMPORT) AREA OF IMPACT -  $\pm$  15,167 SF RAW NUMBERS, NO SHRINKAGE OR SWELL WAS ACCOUNTED FOR.

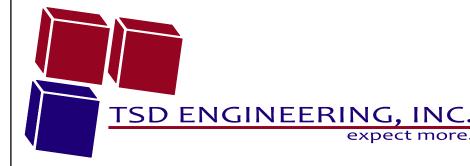




SITE/GRADING PLAN 712 TOWNSEND COURT DECEMBER 21, 2021

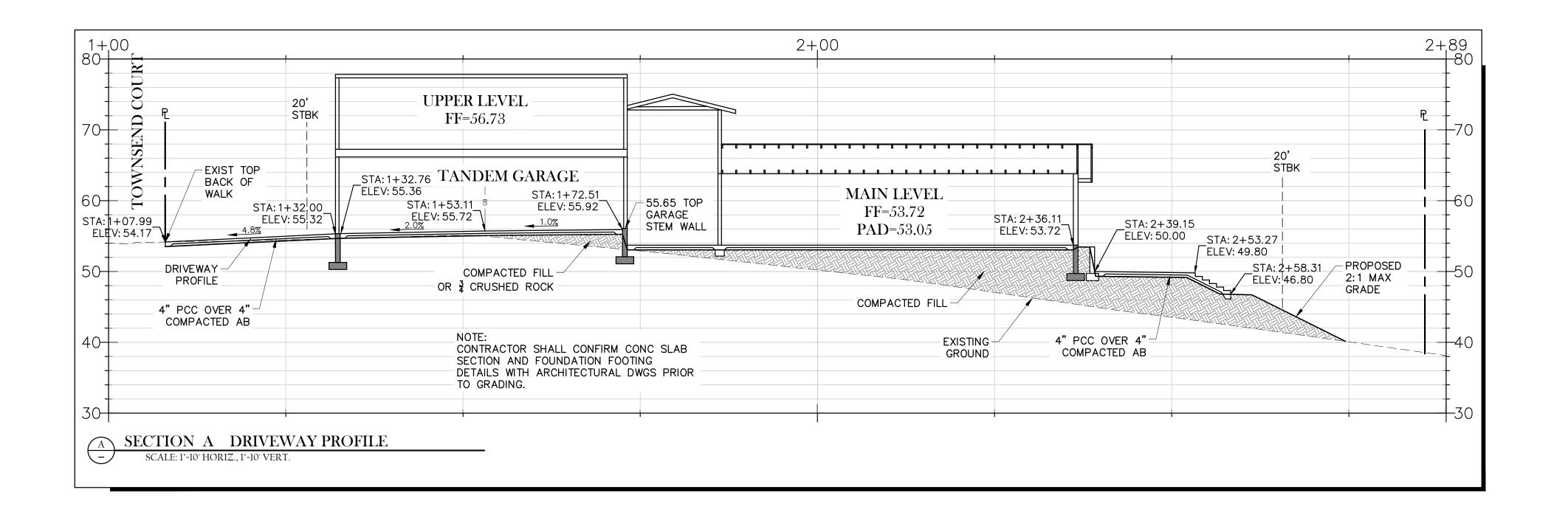


Call before you dig. NOTICE TO CALL A MIN. 48 HOURS PRIOR TO CONSTRUCTION.



785 Orchard Drive, Suite #110 Folsom, CA 95630 Phone: (916) 608-0707 Fax: (916) 608-0701

G1/3



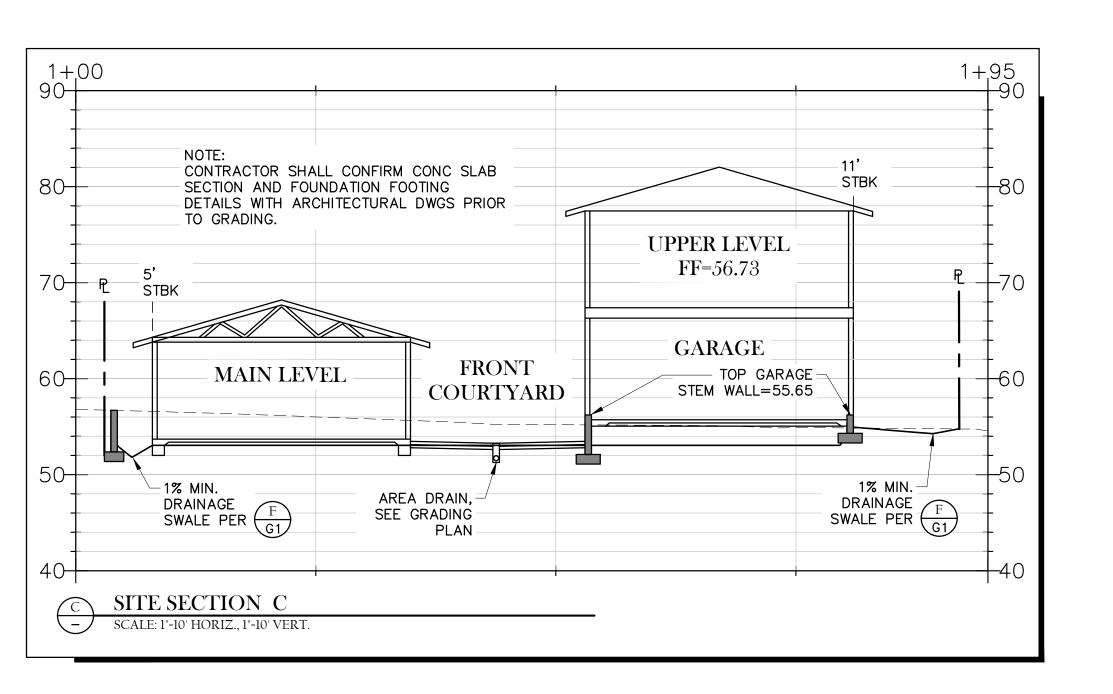
# GRADING SECTIONS 712 TOWNSEND COURT APN 072-3320-049

LOT 114 - EMPIRE RANCH VILLAGE 32C CITY OF FOLSOM, CALIFORNIA

> OWNER/APPLICANT ELLIOTT HOMES, TOM GAMETTE 340 PALLADIO PARKWAY ST 521 FOLSOM, CA 95630 PHONE: (916) 984-1300 EMAIL: t.gamette@elliotthomes.com

**EARTHWORK QUANTITIES:**  $\overline{\text{CUT}}$  -  $\pm$  287 CY FILL - ± 1,297 CY NET -  $\pm$  1,010 CY (IMPORT)

AREA OF IMPACT -  $\pm$  15,167 SF RAW NUMBERS, NO SHRINKAGE OR SWELL WAS ACCOUNTED FOR.



REAR COURTYARD

TO GRADING.

\_\_STA: 1+32.24 / ELEV: 53.72

AREA DRAIN, = SEE GRADING = PLAN =

- MAIN LEVEL

STA: 1+08.01

ELEV: 53.72

1% MIN.
DRAINAGE
SWALE PER

B SITE SECTION B
- SCALE: 1"=10" HORIZ., 1"=10" VERT.

MAIN LEVEL

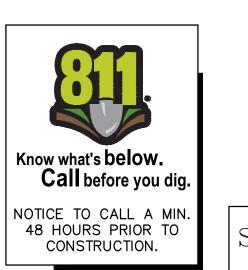
\_STA: 1+55.85 \_ELEV: 53.72

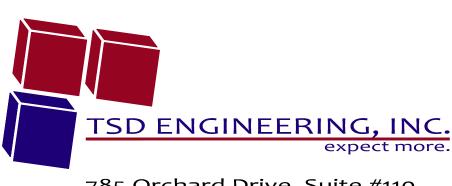
NOTE:

CONTRACTOR SHALL CONFIRM CONC SLAB
SECTION AND FOUNDATION FOOTING
DETAILS WITH ARCHITECTURAL DWGS PRIOR



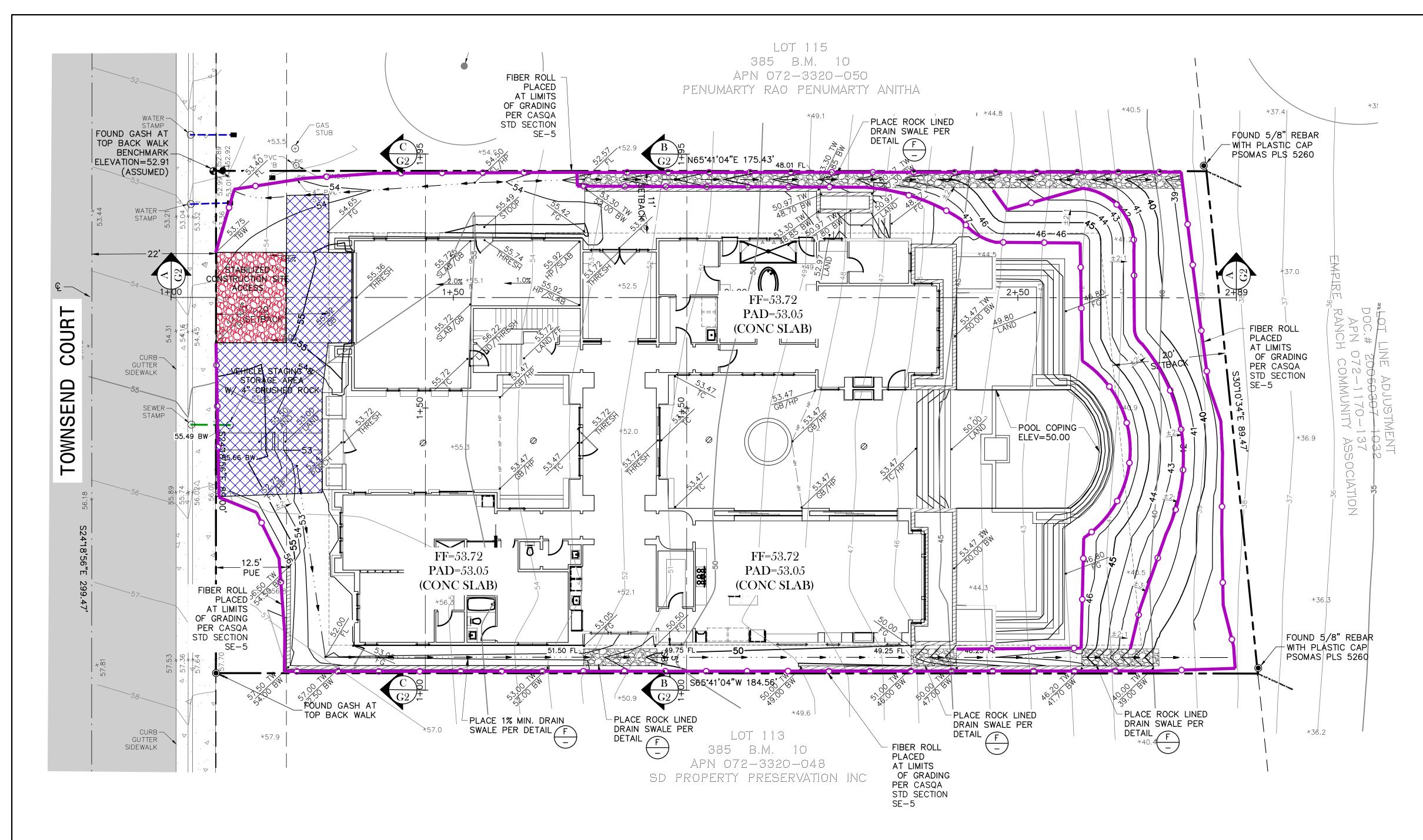
GRADING SECTIONS 712 TOWNSEND COURT DECEMBER 21, 2021





785 Orchard Drive, Suite #110 Folsom, CA 95630 Phone: (916) 608-0707 Fax: (916) 608-0701

SHEET



CUSTOM HOME EROSION AND SEDIMENT CONTROL NOTES

STORM EVENT EXCEEDING 0.10 INCH.

COMPLY WITH THE STATE'S NPDES GENERAL CONSTRUCTION PERMIT.

PERSONNEL INCLUDING SUBCONTRACTORS AND MATERIAL SUPPLIERS.

ADDITIONAL INSTRUCTIONS TO CONSTRUCTION PERSONNEL.

CITY INSPECTIONS OF THE PROJECT IMPROVEMENTS.

INSTALLED AND FUNCTIONING TO THE SATISFACTION OF THE CITY.

. THE PROJECT SHALL CONFORM TO THE FOLSOM MUNICIPAL CODE (FMC) FOR PROTECTION OF

SURFACE WATERS AND URBAN RUN-OFF. IN ADDITION, SITES OF ONE ACRE OR MORE SHALL

SHALL PROVIDE THEIR NAME, PHONE NUMBER, AND E-MAIL ADDRESS TO THE PUBLIC WORKS STORMWATER QUALITY MANAGER OR THE DESIGNATED CITY INSPECTOR. CHANGES TO THE ESC

MANAGER'S CONTACT INFORMATION SHALL PROMPTLY BE REPORTED TO THE PUBLIC WORKS

4.BEST MANAGEMENT PRACTICES (BMPS) DESCRIBED HEREIN AND ON THE APPROVED EROSION

CONSTRUCTION SITE YEAR ROUND IN ORDER TO COMPLY WITH CHAPTER 8.70 OF THE

STORMWATER QUALITY MANAGER. THE ESC MANAGER SHALL BE RESPONSIBLE FOR ALL PROJECT

3. THE ESC MANAGER SHALL INSPECT AND MAKE NECESSARY CORRECTIONS AND ADJUSTMENTS TO

STORM EVENT PREDICTED BY THE NATIONAL OCEANIC ATMOSPHERIC ADMINISTRATION TO EXCEED

0.10 INCH, 3) DURING A STORM EVENT EXCEEDING 0.10 INCH AND 4) WITHIN 48 HOURS AFTER A

CONTROL PLAN ARE THE MINIMUM REQUIRED BMPS TO BE IMPLEMENTED AND MAINTAINED ON THE

5. SEDIMENT CONTROL BMPS SHALL BE INSTALLED AND MAINTAINED YEAR ROUND AND AT A MINIMUM

SHALL INCLUDE PERIMETER CONTROLS, DRAIN INLET PROTECTION, AND STABILIZED ACCESS. PUBLIC

PROPERTIES, INCLUDING EXISTING WATER COURSES. EXISTING WATER COURSES SHALL BE MAINTAINED

7. ALL AREAS DISTURBED DURING CONSTRUCTION SHALL BE PROTECTED FROM EROSION DURING THE

HYDROSEED PLACED AFTER SEPTEMBER 15TH SHALL BE USED WITH A SECONDARY PROTECTION METHOD SUCH AS A MAT OR BLANKET SPECIFICALLY DESIGNED TO FACILITATE GERMINATION AND

9. CEMENTITIOUS, PAINT, WASTE, AND HAZARDOUS MATERIALS SHALL BE HANDLED, COVERED, AND/OR

10. UPON COMPLETION OF THE PROJECT, ALL BMP'S SHALL BE REMOVED ONCE LANDSCAPING IS

11. VIOLATIONS OF THE FMC 8.70 MAY RESULT IN STOP WORK NOTICES, FINES, AND/OR DELAY IN

STORED PROPERLY TO AVOID SPILLS, LEAKAGE, AND CONTACT WITH RAIN OR STORMWATER RUNOFF.

FMC.ADDITIONAL MEASURES MAY BE REQUIRED AS SITE CONDITIONS DICTATE, THROUGHOUT THE COURSE OF THE WORK, TO ENSURE THAT WATER QUALITY RUN-OFF INTO CITY DRAINAGE FACILITIES

STREETS AND SIDEWALKS SHALL BE SWEPT DAILY WHEN VEHICLES ARE ACCESSING THE SITE.

6. THE CONTRACTOR SHALL ANTICIPATE AND ACCOMMODATE ANY RUN-ON FROM NEIGHBORING

IN THEIR ORIGINAL CONDITION, EXCEPT WHERE MODIFICATIONS ARE APPROVED BY THE CITY.

8.PROTECTED AREAS SHALL BE PROTECTED WITH ORANGE CONSTRUCTION FENCING. ADDITIONAL SIGNAGE MAY BE REQUIRED TO IDENTIFY THE RESOURCE BEING PROTECTED AND/OR PROVIDE

WET SEASON. HYDROSEED, IF USED, SHALL BE PLACED ON OR BEFORE SEPTEMBER 15TH.

WASHING THE STREET SHALL NOT BE PERMITTED UNLESS OTHERWISE APPROVED BY THE CITY.

THE STORMWATER CONTROLS ON THE FOLLOWING SCHEDULE: 1) WEEKLY, 2) 48 HOURS PRIOR TO A

2. THE PROJECT OWNER SHALL DESIGNATE AN EROSION AND SEDIMENT CONTROL (ESC) MANAGER WHO

# BMP INSTALLATION SCHEDULE

EROSION AND SEDIMENT CONTROL MEASURES

SECTION SE-7 EROSION AND SEDIMENT CONTROL.

### COMPLETION OF PRE-GRADING GRADING OF (CLEARING) ACTIVITIES **IMPROVEMENTS** REFERENCE CALIFORNIA STORMWATER QUALITY ASSOCIATION IMPROVEMENT STANDARDS SECTION EC-1 EROSION AND SEDIMENT CONTROL REFERENCE CALIFORNIA STORMWATER QUALITY ASSOCIATION IMPROVEMENT STANDARDS SECTION EC-3, EC-4 EROSION AND SEDIMENT CONTROL. WATER CONSERVATION PRACTICES REFERENCE CALIFORNIA STORMWATER QUALITY ASSOCIATION IMPROVEMENT STANDARDS SECTION NS-1 EROSION AND SEDIMENT CONTROL. STABILIZED CONSTRUCTION ACCESS ALL CONTRACTORS AND SUBCONTRACTORS MUST ESTABLISH STABILIZED AND APPROVED DISCHARGE POINTS (INLETS & OUTLETS) PRIOR TO ONSET OF CONSTRUCTION. (REFERENCE CASQA SECTION EC-10). DUST CONTROL SHALL BE MAINTAINED BY WATER TRUCK. X REFERENCE CALIFORNIA STORMWATER QUALITY ASSOCIATION IMPROVEMENT STANDARDS SECTION SE-5 EROSION AND SEDIMENT CONTROL. STORM DRAIN INLET PROTECTION/ INLET SEDIMENT CONTROL BARRIER X REFERENCE CALIFORNIA STORMWATER QUALITY ASSOCIATION IMPROVEMENT STANDARDS SECTION SE-10 EROSION AND SEDIMENT CONTROL. CONTRACTOR TO ESTABLISH AREA FOR EQUIPMENT/VEHICLE STORAGE AND VEHICLE/EQUIPMENT X MAINTENANCE, FUELING AND WASHING. CONTRACTOR TO ESTABLISH AREA FOR CONSTRUCTION MATERIAL AND DEBRIS/SOLID WASTE STOCKPILES. REFERENCE CALIFORNIA STORMWATER QUALITY ASSOCIATION IMPROVEMENT STANDARDS SECTION WM-3. STREET SWEEPING AND VACUUMING REFERENCE CALIFORNIA STORMWATER QUALITY ASSOCIATION IMPROVEMENT STANDARDS

PHASE OF CONSTRUCTION

ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH THE CALIFORNIA STORMWATER QUALITY ASSOCIATION IMPROVEMENT STANDARDS FOR EROSION AND SEDIMENT CONTROL EXCEPT WHERE NOTE

EROSION AND SEDIMENT CONTROL NOTES

- EROSION & SEDIMENT CONTROL BMPs MUST BE IN PLACE DURING ALL TIMES OF CONSTRUCTION. APPROPRIATE AMOUNTS (DEPENDING ON SIZE & CONDITION OF SITE) EROSION & SEDIMENT CONTROL DEVICES (FIBER ROLL, GRAVEL BAGS, ETC.) SHALL BE AVAILABLE ON SITE, DURING THE REST OF THE YEAR (DRY-SEASON) AND SHALL BE IMPLEMENTED PRIOR TO ANY SIGNIFICANT STORM EVENT THAT WILL GENERATE 1/10 INCH OF RAIN OR MORE.
- 3. ALL DRAINAGE INLETS IMMEDIATELY DOWNSTREAM OF THE WORK AREAS AND WITHIN THE WORK AREAS SHALL BE PROTECTED WITH SEDIMENT CONTROL AND INLET FILTER BAGS, YEAR ROUND. INLET FILTER BAGS SHALL BE REMOVED FROM THE DRAINAGE INLETS UPON ACCEPTANCE OF THE IMPROVEMENTS BY THE CITY OF
- 4. ALL STABILIZED CONSTRUCTION ACCESS LOCATIONS SHALL BE CONSTRUCTED PER CASQA TR-1, TR-2, TR-3, WHERE CONSTRUCTION TRAFFIC ENTERS OR LEAVES PAVED AREAS. THE STABILIZED ACCESS SHALL BE MAINTAINED ON A YEAR ROUND BASIS UNTIL THE COMPLETION OF CONSTRUCTION. DIMENSIONS HAVE BEEN REDUCED PER LOT SIZE CONSIDERATIONS.
- ALL AREAS DISTURBED DURING CONSTRUCTION, BY GRADING, TRENCHING, OR OTHER ACTIVITIES, SHALL BE PROTECTED FROM EROSION DURING CONSTRUCTION. HYDROSEED PLACED IMMEDIATELY PRIOR TO ANY RAIN EVENT SHALL USE A SECONDARY EROSION PROTECTION METHOD.

# BMP MAINTENANCE SCHEDULE:

EROSION CONTROL PLAN

712 TOWNSEND COURT

APN 072-3320-049

LOT 114 - EMPIRE RANCH VILLAGE 32C

CITY OF FOLSOM, CALIFORNIA

DURING, AND AFTER ANY STORM GENERATING RUNOFF TO DETERMINE MAINTENANCE REQUIREMENTS AND GENERAL CONDITIONS OF THE INSTALLED SYSTEM. THE LOCAL AGENCY MAY ALSO INSPECT THE SITE ON A ROUTINE BASIS TO ASSESS THE MAINTENANCE MAINTENANCE RELATED TO A STORM EVENT FOLLOWING MAINTENANCE TASKS SHOULD BE PERFORMED ON A REGULAR BASIS:

- A. REMOVAL OF SEDIMENT FROM BARRIERS AND
- SEDIMENTATION DEVICES. . REPLACEMENT OR REPAIR OF WORN OR
- DAMAGED SILT FENCE FABRICS. REPLACEMENT OR REPAIR OF DAMAGED
- STRUCTURAL CONTROLS. D. REPAIR OF DAMAGED SOIL STABILIZATION
- MEASURES. OTHER CONTROL MAINTENANCE AS DEFINED IN EACH BMP FACT SHEET.

OWNER/APPLICANT

ELLIOTT HOMES, TOM GAMETTE 340 PALLADIO PARKWAY ST 521 FOLSOM, CA 95630 PHONE: (916) 984-1300

EMAIL: t.gamette@elliotthomes.com

SWALE STABILIZED CONSTRUCTION SITE ACCESS

**VEHICLE STAGING &** STORAGE AREA W/ 4" CRUSHED ROCK

### **EARTHWORK QUANTITIES:**

 $\overline{\text{CUT}}$  -  $\pm 287$  CY FILL - ± 1,297 CY NET -  $\pm$  1,010 CY (IMPORT) AREA OF IMPACT -  $\pm$  15,167 SF

RAW NUMBERS, NO SHRINKAGE OR SWELL WAS ACCOUNTED FOR.

EROSION CONTROL PLAN 712 TOWNSEND COURT JANUARY 24, 2022

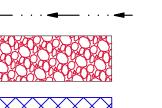




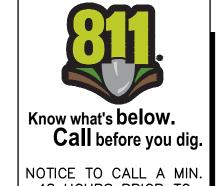
TSD ENGINEERING, INC.

785 Orchard Drive, Suite #110 Folsom, CA 95630 Phone: (916) 608-0707 Fax: (916) 608-0701





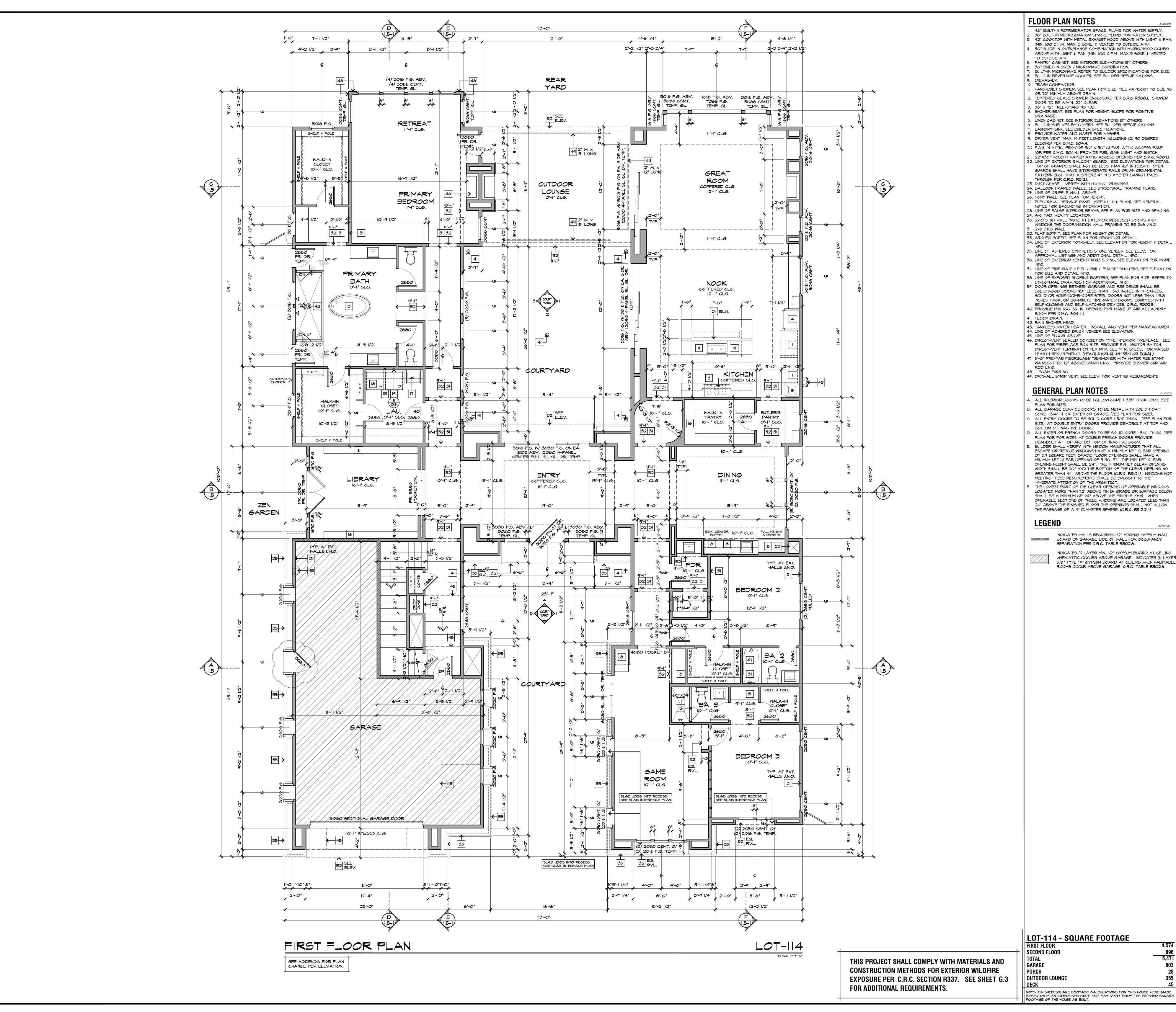
FIBER ROLL



48 HOURS PRIOR TO CONSTRUCTION.

SHEET





- 48" BUILT-IN REFRIGERATOR SPACE, PLUMB FOR WATER SUPPLY. 36" BUILT-IN REFRIGERATOR SPACE. PLUMB FOR WATER SUPPLY. 42" COOKTOP WITH METAL EXHAUST HOOD ABOVE WITH LIGHT & FAN. (MIN. 100 C.F.M., MAX. 3 SONE, & VENTED TO OUTSIDE AIR).
- 30" SLIDE-IN OVEN/RANGE COMBINATION WITH MICRO/HOOD COMBO ABOVE WITH LIGHT & FAN. (MIN. 100 C.F.M., MAX 3 SONE & VENTED PANTRY CABINET. SEE INTERIOR ELEVATIONS BY OTHERS..
- . 30" BUILT-IN OVEN / MICROWAVE COMBINATION. BUILT-IN MICROWAVE, REFER TO BUILDER SPECIFICATIONS FOR SIZE. BUILT-IN BEVERAGE COOLER, SEE BUILDER SPECIFICATIONS.
- HAND-BUILT SHOWER, SEE PLAN FOR SIZE. TILE WAINSCOT TO CEILING
- . TEMPERED GLASS SHOWER ENCLOSURE PER C.R.C R308.1. SHOWER 4. SHOWER SEAT. SEE PLAN FOR HEIGHT. SLOPE FOR POSITIVE
- . LINEN CABINET. SEE INTERIOR ELEVATIONS BY OTHERS. . BUILT-IN SHELVES BY OTHERS. SEE BUILDER SPECIFICATIONS. LAUNDRY SINK, SEE BUILDER SPECIFICATIONS. 3. PROVIDE WATER AND WASTE FOR WASHER. 1. DRYER VENT (MAX. 14 FEET LENGTH INCLUDING (2) 90 DEGREE
- 20. F.A.U. IN ATTIC. PROVIDE 30" X 30" CLEAR, ATTIC ACCESS PANEL (OR PER C.M.C. 304.4) PROVIDE FUEL GAS, LIGHT AND SWITCH. 21. 22"X30" ROUGH FRAMED ATTIC ACCESS OPENING PER C.R.C. R807.I. 22. LINE OF EXTERIOR BALCONY GUARD. SEE ELEVATIONS FOR DETAIL. TOP OF GUARDS SHALL NOT BE LESS THAN 42" IN HEIGHT. OPEN GUARDS SHALL HAVE INTERMEDIATE RAILS OR AN ORNAMENTAL PATTERN SUCH THAT A SPHERE 4" IN DIAMETER CANNOT PASS
- 23. DUCT CHASE . VERIFY WITH H.V.A.C. DRAWINGS. 24. BALLOON FRAMED WALLS. SEE STRUCTURAL FRAMING PLANS.
- 27. ELECTRICAL SERVICE PANEL. (SEE UTILITY PLAN). SEE GENERAL NOTES FOR GROUNDING INFORMATION. 28. LINE OF FALSE INTERIOR BEAMS, SEE PLAN FOR SIZE AND SPACING. 30. 2x10 STUD WALL (NOTE AT EXTERIOR RECESSED DOORS AND
- 32. FLAT SOFFIT. SEE PLAN FOR HEIGHT OR DETAIL. 33. ARCHED SOFFIT. SEE PLAN FOR HEIGHT OR DETAIL. 34. LINE OF EXTERIOR POT-SHELF, SEE ELEVATION FOR HEIGHT & DETAIL
- 35. LINE OF ADHERED SYNTHETIC STONE VENEER. SEE ELEV. FOR APPROVAL LISTINGS AND ADDITIONAL DETAIL INFO. 36. LINE OF EXTERIOR CEMENTITUOUS SIDING, SEE ELEVATION FOR MORE 37. LINE OF FIRE-RATED FIELD-BUILT "FALSE" SHUTTERS, SEE ELEVATION
- 9. DOOR OPENINGS BETWEEN GARAGE AND RESIDENCE SHALL BE SOLID WOOD DOORS NOT LESS THAN I 3/8 INCHES IN THICKNESS, SOLID OR HONEYCOMB-CORE STEEL DOORS NOT LESS THAN I 3/8 INCHES THICK, OR 20-MINUTE FIRE-RATED DOORS, EQUIPPED WITH SELF-CLOSING AND SELF-LATCHING DEVICES. C.R.C. R302.5.1. O. PROVIDE MIN. 100 SQ. IN. OPENING FOR MAKE UP AIR AT LAUNDRY
- 43. TANKLESS WATER HEATER. INSTALL AND VENT PER MANUFACTURER. 44. LINE OF ADHERED BRICK VENEER SEE ELEVATION.
- 46. DIRECT-VENT SEALED COMBUSTION TYPE INTERIOR FIREPLACE. SEE PLAN FOR FIREPLACE BOX SIZE. PROVIDE F.G., IGNITOR SWITCH, DIRECT-VENT TERMINATION PER MFR. SEE MFR. SPECS. FOR RAISED HEARTH REQUIREMENTS. (HEATILATOR-UL-MHI5519 OR EQUAL) 47. 5'-0" PRE-FAB FIBERGLASS TUB/SHOWER WITH WATER RESISTANT WAINSCOT TO 72" ABOVE DRAIN U.N.O. PROVIDE SHOWER CURTAIN
- 49. DRYWALL STRIP VENT, SEE ELEV. FOR VENTING REQUIREMENTS
- . ALL INTERIOR DOORS TO BE HOLLOW CORE I 3/8" THICK U.N.O., (SEE ALL GARAGE SERVICE DOORS TO BE METAL WITH SOLID FOAM CORE | 3/4" THICK EXTERIOR GRADE. (SEE PLAN FOR SIZE). ALL ENTRY DOORS TO BE SOLID CORE | 3/4" THICK. (SEE PLAN FOR
- ALL EXTERIOR FRENCH DOORS TO BE SOLID CORE | 3/4" THICK. (SEE PLAN FOR FOR SIZE). AT DOUBLE FRENCH DOORS PROVIDE DEADBOLT AT TOP AND BOTTOM OF INACTIVE DOOR. BUILDER SHALL VERIFY WITH WINDOW MANUFACTURER THAT ALL ESCAPE OR RESCUE WINDOWS HAVE A MINIMUM NET CLEAR OPENING OF 5.7 SQUARE FEET, GRADE FLOOR OPENINGS SHALL HAVE A MINIMUM NET CLEAR OPENING OF 5 SQ. FT. THE MIN. NET CLEAR
- OPENING HEIGHT SHALL BE 24". THE MINIMUM NET CLEAR OPENING WIDTH SHALL BE 20" AND THE BOTTOM OF THE CLEAR OPENING NO GREATER THAN 44" ABOVE THE FLOOR (C.R.C. R310.1). WINDOWS NOT MEETING THESE REQUIREMENTS SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE ARCHITECT. THE LOWEST PART OF THE CLEAR OPENING OF OPERABLE WINDOWS LOCATED MORE THAN 72" ABOVE FINISH GRADE OR SURFACE BELOW SHALL BE A MINIMUM OF 24" ABOVE THE FINISH FLOOR. WHEN

INDICATES WALLS REQUIRING 1/2" MINIMUM GYPSUM WALL

BOARD ON GARAGE SIDE OF WALL FOR OCCUPANCY SEPARATION PER C.R.C. TABLE R302.6.

INDICATES (I) LAYER MIN. I/2" GYPSUM BOARD AT CEILING WHEN ATTIC OCCURS ABOVE GARAGE. INDICATES (I) LAYER 5/8" TYPE "X" GYPSUM BOARD AT CEILING WHEN HABITABLE

> **1st PLAN CHECK** Date: 10-11-2021 **REVISIONS**

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**Elliott Homes** Tradition of Quality since 19

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340 PALLADIO PARKWAY

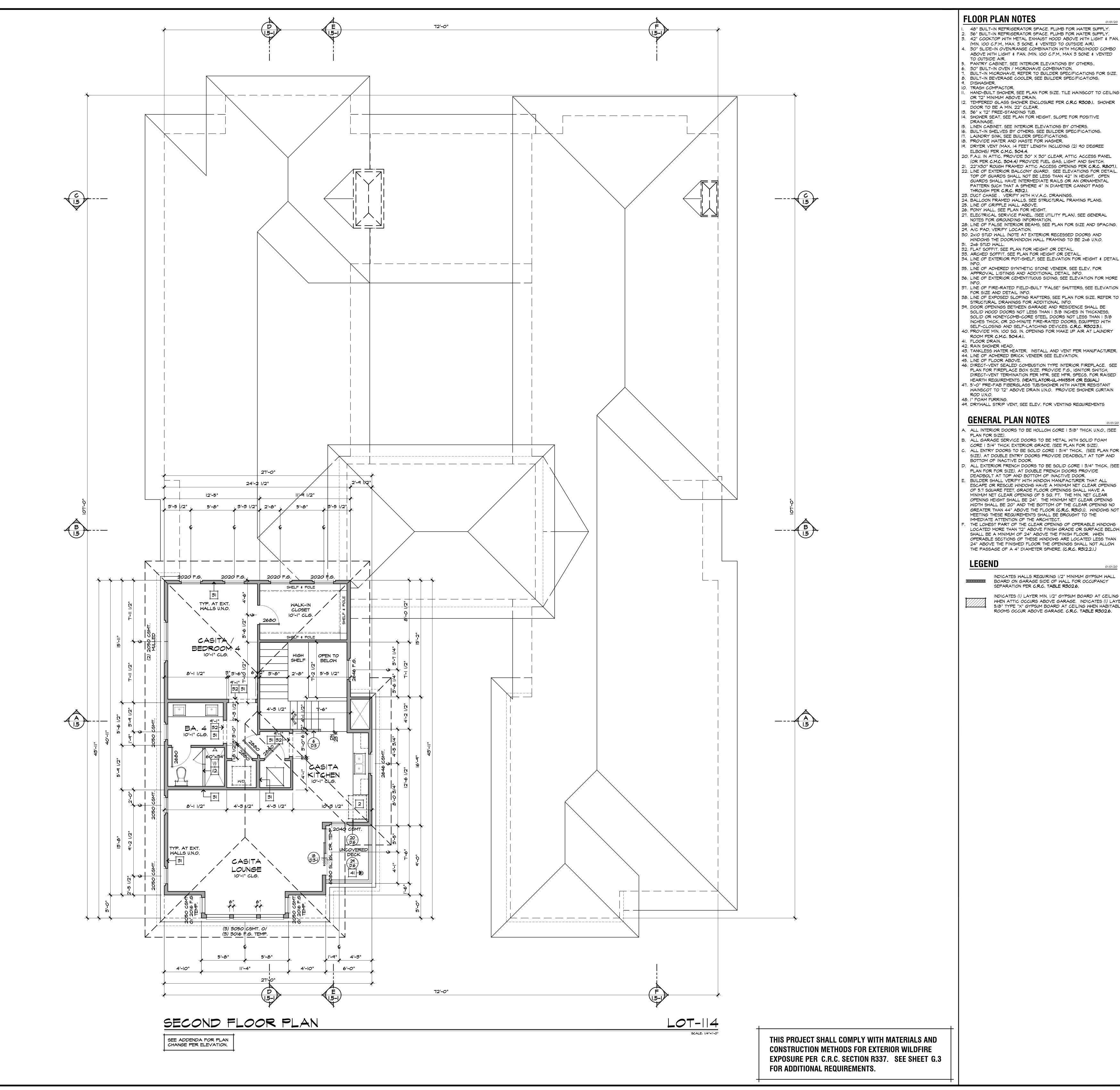
SUITE 521

FOLSOM, CA 95630

LAKEVIEW OAKS FOLSOM, CA

> LOT-114 FIRST FLOOR

JOB NUMBER: 258-21060 COPYRIGHT (C) 2021 **BASSENIAN LAGONI ARCHITECTS** 



**FLOOR PLAN NOTES** 

48" BUILT-IN REFRIGERATOR SPACE. PLUMB FOR WATER SUPPLY. . 36" BUILT-IN REFRIGERATOR SPACE. PLUMB FOR WATER SUPPLY. 42" COOKTOP WITH METAL EXHAUST HOOD ABOVE WITH LIGHT & FAN. (MIN. 100 C.F.M., MAX. 3 SONE, & VENTED TO OUTSIDE AIR). . 30" SLIDE-IN OVEN/RANGE COMBINATION WITH MICRO/HOOD COMBO ABOVE WITH LIGHT & FAN. (MIN. 100 C.F.M., MAX 3 SONE & VENTED

PANTRY CABINET. SEE INTERIOR ELEVATIONS BY OTHERS.. . 30" BUILT-IN OVEN / MICROWAVE COMBINATION. BUILT-IN MICROWAVE, REFER TO BUILDER SPECIFICATIONS FOR SIZE. BUILT-IN BEVERAGE COOLER, SEE BUILDER SPECIFICATIONS.

O. TRASH COMPACTOR. HAND-BUILT SHOWER, SEE PLAN FOR SIZE. TILE WAINSCOT TO CEILING OR 72" MINIMUM ABOVE DRAIN. . TEMPERED GLASS SHOWER ENCLOSURE PER C.R.C R308.1. SHOWER DOOR TO BE A MIN. 22" CLEAR.

3. 36" x 72" FREE-STANDING TUB. 4. SHOWER SEAT. SEE PLAN FOR HEIGHT. SLOPE FOR POSITIVE 5. LINEN CABINET. SEE INTERIOR ELEVATIONS BY OTHERS.

6. BUILT-IN SHELVES BY OTHERS. SEE BUILDER SPECIFICATIONS. . LAUNDRY SINK, SEE BUILDER SPECIFICATIONS. 8. PROVIDE WATER AND WASTE FOR WASHER. 9. DRYER VENT (MAX. 14 FEET LENGTH INCLUDING (2) 90 DEGREE ELBOWS) PER C.M.C. 504.4. 20. F.A.U. IN ATTIC. PROVIDE 30" X 30" CLEAR, ATTIC ACCESS PANEL

PATTERN SUCH THAT A SPHERE 4" IN DIAMETER CANNOT PASS THROUGH PER C.R.C. R312.1. 23. DUCT CHASE . VERIFY WITH H.V.A.C. DRAWINGS. 24. BALLOON FRAMED WALLS. SEE STRUCTURAL FRAMING PLANS. 25. LINE OF CRIPPLE WALL ABOVE.

27. ELECTRICAL SERVICE PANEL. (SEE UTILITY PLAN). SEE GENERAL NOTES FOR GROUNDING INFORMATION. 28. LINE OF FALSE INTERIOR BEAMS, SEE PLAN FOR SIZE AND SPACING. 29. A/C PAD, VERIFY LOCATION. 30. 2x10 STUD WALL (NOTE AT EXTERIOR RECESSED DOORS AND WINDOWS THE DOOR/WINDOW WALL FRAMING TO BE 2x6 U.N.O.

33. ARCHED SOFFIT. SEE PLAN FOR HEIGHT OR DETAIL. 34. LINE OF EXTERIOR POT-SHELF, SEE ELEVATION FOR HEIGHT & DETAIL

35. LINE OF ADHERED SYNTHETIC STONE VENEER, SEE ELEV. FOR APPROVAL LISTINGS AND ADDITIONAL DETAIL INFO. 36. LINE OF EXTERIOR CEMENTITUOUS SIDING, SEE ELEVATION FOR MORE 37. LINE OF FIRE-RATED FIELD-BUILT "FALSE" SHUTTERS, SEE ELEVATION FOR SIZE AND DETAIL INFO. 38. LINE OF EXPOSED SLOPING RAFTERS, SEE PLAN FOR SIZE. REFER TO

39. DOOR OPENINGS BETWEEN GARAGE AND RESIDENCE SHALL BE SOLID WOOD DOORS NOT LESS THAN I 3/8 INCHES IN THICKNESS, SOLID OR HONEYCOMB-CORE STEEL DOORS NOT LESS THAN I 3/8 INCHES THICK, OR 20-MINUTE FIRE-RATED DOORS, EQUIPPED WITH SELF-CLOSING AND SELF-LATCHING DEVICES. C.R.C. R302.5.1. O. PROVIDE MIN. 100 SQ. IN. OPENING FOR MAKE UP AIR AT LAUNDRY ROOM PER C.M.C. 504.4.1.

44. LINE OF ADHERED BRICK VENEER SEE ELEVATION. 45. LINE OF FLOOR ABOVE. 46. DIRECT-VENT SEALED COMBUSTION TYPE INTERIOR FIREPLACE. SEE PLAN FOR FIREPLACE BOX SIZE. PROVIDE F.G., IGNITOR SWITCH, DIRECT-VENT TERMINATION PER MFR. SEE MFR. SPECS. FOR RAISED HEARTH REQUIREMENTS. (HEATILATOR-UL-MHI5519 OR EQUAL) 47. 5'-0" PRE-FAB FIBERGLASS TUB/SHOWER WITH WATER RESISTANT

49. DRYWALL STRIP VENT, SEE ELEV. FOR VENTING REQUIREMENTS

# **GENERAL PLAN NOTES**

. ALL INTERIOR DOORS TO BE HOLLOW CORE I 3/8" THICK U.N.O., (SEE . ALL GARAGE SERVICE DOORS TO BE METAL WITH SOLID FOAM CORE | 3/4" THICK EXTERIOR GRADE. (SEE PLAN FOR SIZE). ALL ENTRY DOORS TO BE SOLID CORE | 3/4" THICK. (SEE PLAN FOR SIZE). AT DOUBLE ENTRY DOORS PROVIDE DEADBOLT AT TOP AND BOTTOM OF INACTIVE DOOR. ALL EXTERIOR FRENCH DOORS TO BE SOLID CORE | 3/4" THICK. (SEE

PLAN FOR FOR SIZE). AT DOUBLE FRENCH DOORS PROVIDE DEADBOLT AT TOP AND BOTTOM OF INACTIVE DOOR. BUILDER SHALL VERIFY WITH WINDOW MANUFACTURER THAT ALL ESCAPE OR RESCUE WINDOWS HAVE A MINIMUM NET CLEAR OPENING OF 5.7 SQUARE FEET, GRADE FLOOR OPENINGS SHALL HAVE A MINIMUM NET CLEAR OPENING OF 5 SQ. FT. THE MIN. NET CLEAR OPENING HEIGHT SHALL BE 24". THE MINIMUM NET CLEAR OPENING WIDTH SHALL BE 20" AND THE BOTTOM OF THE CLEAR OPENING NO GREATER THAN 44" ABOVE THE FLOOR (C.R.C. R310.1). WINDOWS NOT MEETING THESE REQUIREMENTS SHALL BE BROUGHT TO THE

IMMEDIATE ATTENTION OF THE ARCHITECT. THE LOWEST PART OF THE CLEAR OPENING OF OPERABLE WINDOWS LOCATED MORE THAN 72" ABOVE FINISH GRADE OR SURFACE BELOW SHALL BE A MINIMUM OF 24" ABOVE THE FINISH FLOOR. WHEN OPERABLE SECTIONS OF THESE WINDOWS ARE LOCATED LESS THAN 24" ABOVE THE FINISHED FLOOR THE OPENINGS SHALL NOT ALLOW THE PASSAGE OF A 4" DIAMETER SPHERE. (C.R.C. R312.2.1.)

INDICATES WALLS REQUIRING 1/2" MINIMUM GYPSUM WALL

BOARD ON GARAGE SIDE OF WALL FOR OCCUPANCY SEPARATION PER C.R.C. TABLE R302.6.

INDICATES (I) LAYER MIN. I/2" GYPSUM BOARD AT CEILING WHEN ATTIC OCCURS ABOVE GARAGE. INDICATES (I) LAYER 5/8" TYPE "X" GYPSUM BOARD AT CEILING WHEN HABITABLE ROOMS OCCUR ABOVE GARAGE. C.R.C. TABLE R302.6.

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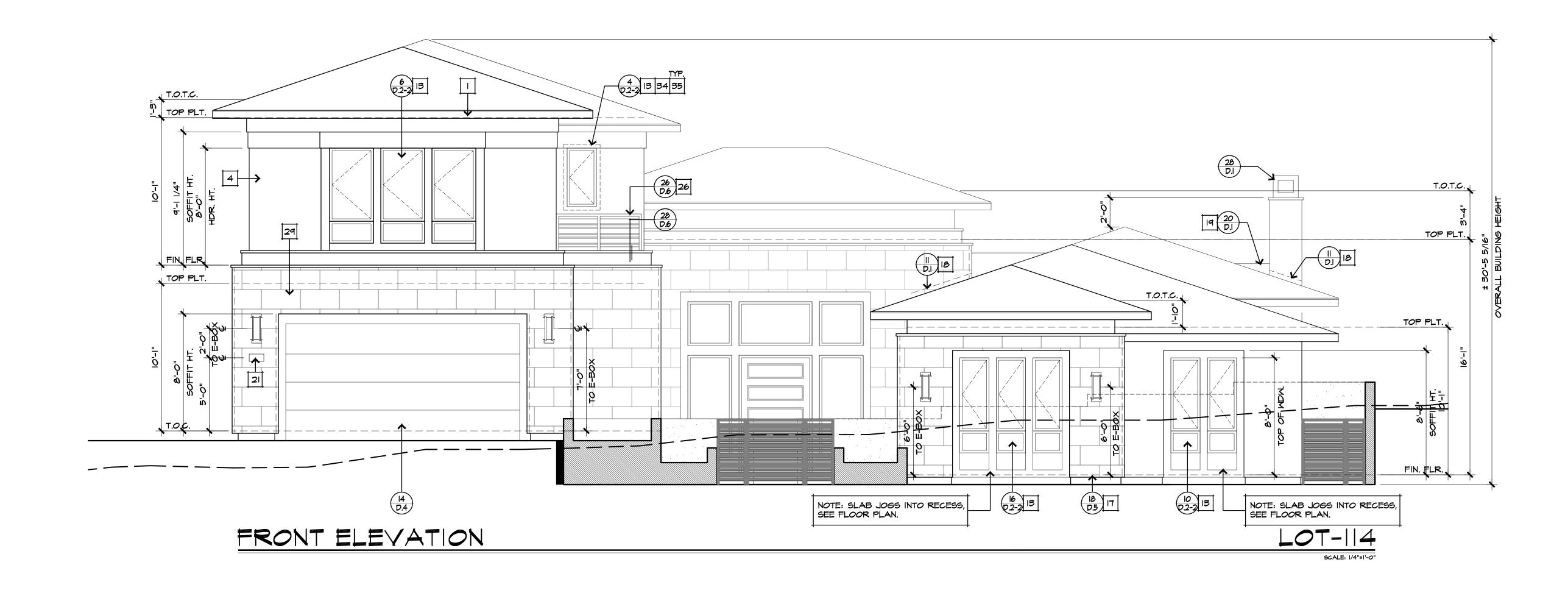
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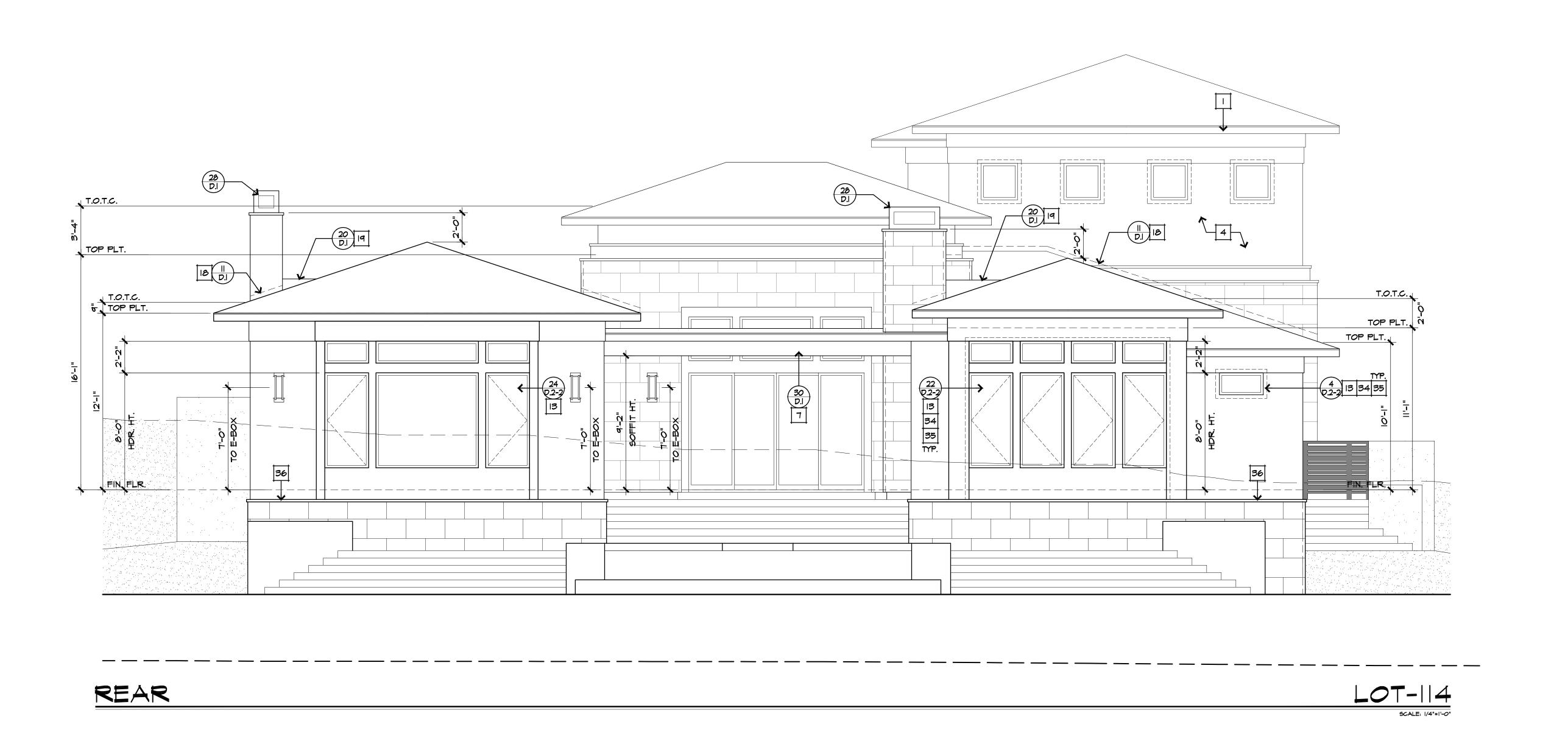
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**LAKEVIEW OAKS** FOLSOM, CA

> LOT-114 **SECOND FLOOR**

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THIS PROJECT SHALL COMPLY WITH MATERIALS AND CONSTRUCTION METHODS FOR EXTERIOR WILDFIRE EXPOSURE PER C.R.C. SECTION R337. SEE SHEET G.3 FOR ADDITIONAL REQUIREMENTS.

# **ELEVATION / ROOF NOTES**

FASCIA, SEE DETAIL.

BARGE, SEE DETAIL.

EXPOSED RAFTER TAILS, SEE DETAIL. ALL RAFTER TAILS TO BE EQUALLY SPACED. FRAMER TO COORDINATE WITH TRUSS ENGINEER.

EXTERIOR PLASTER OVER PAPER BACKED WITH WIRE MESH.

STANDING SEAM METAL ROOF, SEE ROOF PLAN.

5. STANDING SEAM METAL ROOF, SEE ROOF PLAN.
6. STANDING SEAM METAL AWNING, SEE DETAIL.
7. EXTERIOR PLASTER SOFFIT OVER EXPANDED METAL LATH.
8. CEMENTITUOUS SIDING, SEE EXTERIOR FINISHES NOTES.
9. CEMENTITUOUS SOFFIT, SEE DETAIL
10. CEMENTITUOUS BOARD & BATTEN SIDING, SEE EXTERIOR FINISH NOTES.

CEMENTITUOUS CORNER TRIM, SEE DETAIL & EXTERIOR FINISH NOTES.
 CEMENTITIOUS TRIM. SEE ELEVATION OR DETAIL FOR ACTUAL SIZE.
 FOAM TRIM, SEE ELEVATION OR DETAIL FOR ACTUAL SIZE.
 FALSE FIXED SHUTTERS, SEE ELEVATION FOR SIZE.

13. FOAM TRIM, SEE ELEVATION OR DETAIL FOR ACTUAL SIZ
14. FALSE FIXED SHUTTERS, SEE ELEVATION FOR SIZE.
15. POTSHELF, SEE DETAIL.
16. G.I. FLASHING AT BOARD & BATTEN JOINT, SEE DETAIL.
17. G.I. EXTERIOR PLASTER SCREED, SEE DETAIL.
18. G.I. FLASHING ROOF TO WALL.

19. G.I. FLASHING AND SADDLE / CR
20. LINE OF INTERIOR CEILING OR INTERIOR WALL.
21. ADDRESS SIGN.
22. WOOD POST(S). SEE PLAN FOR SIZE. (REFER TO STRUCTURAL).
23. EXPOSED WOOD BEAM. SEE PLAN FOR SIZE. (REFER TO

STRUCTURAL).

24. EXPOSED WOOD CORBEL / BRACKET.

25. DECORATIVE "FALSE" GABLE END VENT, SEE ELEV. FOR PLACEMENT INFO.

26. METAL RAILING, SEE DETAIL.
27. G.I. SCREENED 'ROOF' AIR VENT. SEE REQUIRED ATTIC VENTILATION CHART FOR MORE INFORMATION.
28. G.I. GUTTER AND DOWNSPOUTS, GUTTER LAYOUT AND DOWNSPOUT LOCATIONS TO BE FIELD VERIFIED.
29. ADHERED SYNTHETIC STONE VENEER BY EL DORADO, ESR-1215.

32. APPROVED TERMINATION CAP FOR APPLIANCE FIREPLACE (PER F.P. MFR.)
33. STONE COATED FOAM TRIM/COMPONENT, SEE DETAIL.
34. FOAM FILL AT RECESSED WINDOW, SEE DETAIL.
35. LINE OF RECESSED WINDOW FRAMING, SEE DETAIL.
36. C.M.U. PLANTER WALL BY OTHERS, STONE VENEER TO MATCH FRONT ELEVATION VENEER.

31. REPEAT DETAIL AT OPPOSITE SIDE OF OPENING.

# **EXTERIOR FINISHES NOTES**

30. G.I. PLASTER CONTROL JOINT.

A. ALL EXPOSED SHUTTERS, POSTS AND CORBELS TO BE "RESAWN"

AND SHALL BE PRIMED ON ALL SIDES PRIOR TO

INSTALLATION/ASSEMBLY.

B. ALL EXPOSED POST TO BEAM HARDWARE TO HAVE HIDDEN INSTALLATION OR STRUCTURALLY APPROVED 'ORNAMENTAL' CONNECTORS WITH A TEXTURED BLACK POWDER COAT FINISH.

C. EXTERIOR PLASTER FINISH: STEEL TROWEL "SMOOTH".

D. TYPICAL SIDING TO BE: JAMES HARDIE 'V' GROOVE SIDING, ESR-2290

EXPOSURE: 9.5"

FINISH: WOOD GRAIN

# **ROOF PLAN NOTES**

INDICATES ROOF SLOPE, REFER TO ROOF PLAN(S).

A. TYPICAL ROOFING: CONCRETE FLAT TILE

BY FACILE ROOFING OR APPROVED FOUND LARWOOT.

UNLESS NOTED OTHERWISE ON ROOF PLAN.

BY EAGLE ROOFING OR APPROVED EQUAL. IAPMO# UES-1900.
MINIMUM CLASS A ROOF, 9.7 POUNDS PER S.F.

B. TYPICAL ROOF OVERHANG AT RAKE CONDITION TO BELOT #21 - 24" O.H

A. TYPICAL ROOF OVERHANG AT EAVE CONDITION TO BE LOT #21 - 24" O.H UNLESS NOTED OTHERWISE ON ROOF PLAN. LOT #22 - 18" O.H

LOT #22 - TIGHT

# REQUIRED ATTIC VENTILATION

ATTIC VENTILATION CALCULATIONS PER C.R.C. R806.2 AS FOLLOWS:
A. ATTIC AREA (SQUARE FEET)

B. DIVIDE A. BY 300 AND MULTIPLY BY 144 TO CALCULATE THE TOTAL REQUIRED MIN. NET FREE VENTING AREA IN SQUARE INCHES. AT LEAST 40% AND NO MORE THAN 50% OF THE REQUIRED VENTING AREA SHALL BE PROVIDED BY HIGH VENTS LOCATED NO MORE THAN 3 FEET VERTICAL BELOW THE RIDGE OR HIGHEST POINT OF ROOF WITH BALANCE OF VENTING PROVIDED BY EAVE/ LOW VENTS (OR IN CLIMATE ZONES 14 AND 16 A CLASS I OR II VAPOR RETARDER SHALL BE INSTALLED ON THE WARM-IN-WINTER SIDE OF CEILING.)

\*\*EVIDE A. BY 150 AND MULTIPLY BY 144 TO CALCULATE THE

TOTAL REQUIRED MIN. NET FREE VENTING AREA IN SQUARE INCHES.

TOTAL SQUARE INCHES OF NET FREE VENTILATING AREA PROVIDED BY RIDGE VENTS. (SEE ATTIC VENT CHART FOR FREE AREA)

SPACES. REFER TO STRUCTURAL DRAWINGS FOR SHEATHING PENETRATIONS.

NOTE: FOR ADDITIONAL GENERAL ATTIC / ROOF AIR VENTING

REQUIREMENTS REFER TO GENERAL NOTE SHEETS.

CALIFORNIA FRAMED AREAS TO ADJACENT ATTIC

PROVIDE ACCESS AND VENTILATION FROM

CELL CHESTER WILLIAM CONTROL OF CALIFORNIA STAMP

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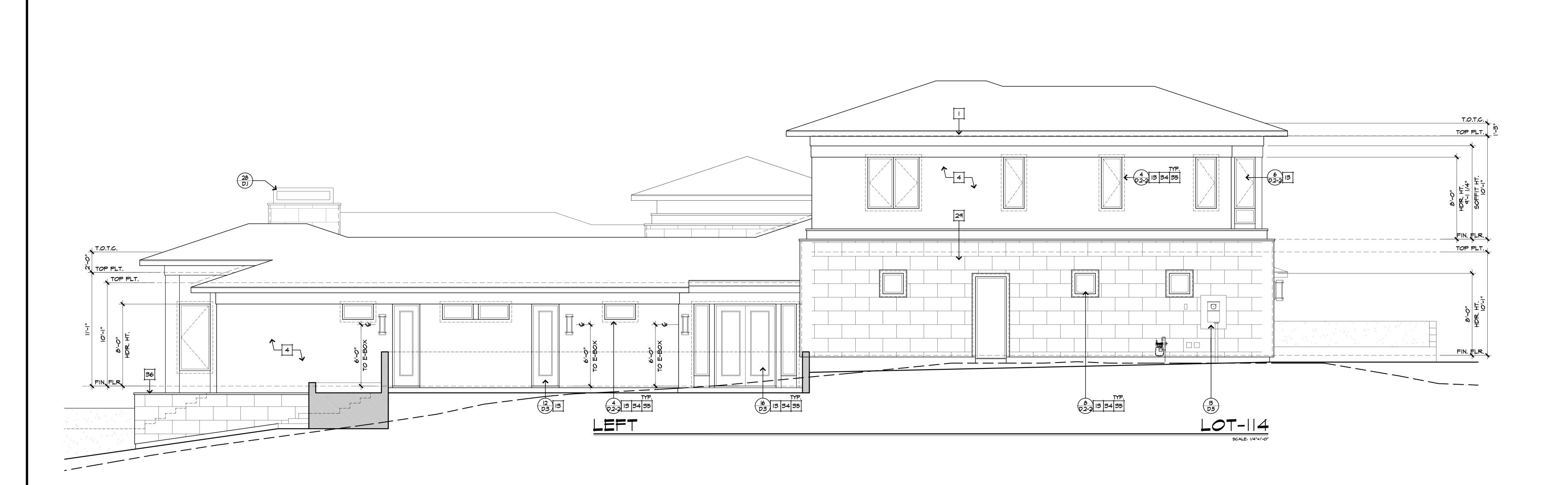
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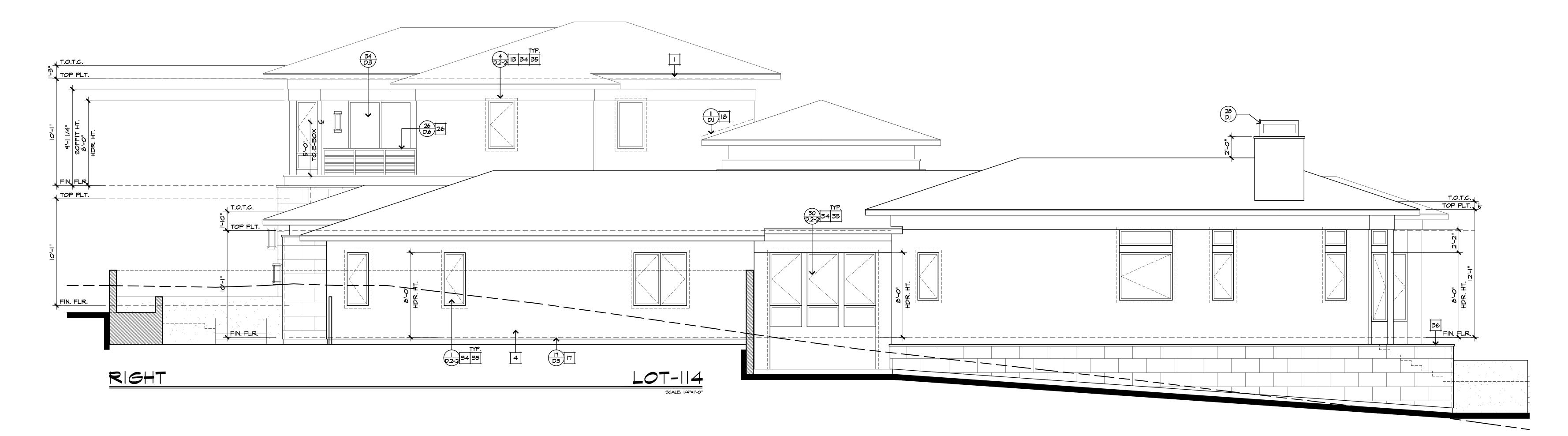
LAKEVIEW OAKS FOLSOM, CA

LOT-114
FRONT & REAR
ELEVATIONS

JOB NUMBER: 258-21060
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E NAME: 94060EI V444





**ELEVATION / ROOF NOTES** 

FASCIA, SEE DETAIL.
 BARGE, SEE DETAIL.
 EXPOSED RAFTER TAILS, SEE DETAIL. ALL RAFTER TAILS TO BE EQUALLY SPACED. FRAMER TO COORDINATE WITH TRUSS ENGINEER.
 EXTERIOR PLASTER OVER PAPER BACKED WITH WIRE MESH.
 STANDING SEAM METAL ROOF, SEE ROOF PLAN.

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 CEMENTITUOUS SOFFIT, SEE DETAIL
 CEMENTITUOUS BOARD & BATTEN SIDING, SEE EXTERIOR FINISH NOTES.

II. CEMENTITUOUS CORNER TRIM, SEE DETAIL & EXTERIOR FINISH NOTES.
 I2. CEMENTITIOUS TRIM. SEE ELEVATION OR DETAIL FOR ACTUAL SIZE.
 I3. FOAM TRIM, SEE ELEVATION OR DETAIL FOR ACTUAL SIZE.
 I4. FALSE FIXED SHUTTERS, SEE ELEVATION FOR SIZE.
 I5. POTSHELF, SEE DETAIL.

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17. G.I. EXTERIOR PLASTER SCREED, SEE DETAIL.
18. G.I. FLASHING ROOF TO WALL.
19. G.I. FLASHING AND SADDLE / CR

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F.P. MFR.)
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34. FOAM FILL AT RECESSED WINDOW, SEE DETAIL.
35. LINE OF RECESSED WINDOW FRAMING, SEE DETAIL.
36. C.M.J. PLANTER WALL BY OTHERS, STONE VENEER TO MATCH FRONT ELEVATION VENEER.

31. REPEAT DETAIL AT OPPOSITE SIDE OF OPENING.

# **EXTERIOR FINISHES NOTES**

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A. ALL EXPOSED SHUTTERS, POSTS AND CORBELS TO BE "RESAWN"
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B. ALL EXPOSED POST TO BEAM HARDWARE TO HAVE HIDDEN INSTALLATION OR STRUCTURALLY APPROVED 'ORNAMENTAL' CONNECTORS WITH A TEXTURED BLACK POWDER COAT FINISH.

C. EXTERIOR PLASTER FINISH: STEEL TROWEL "SMOOTH".

D. TYPICAL SIDING TO BE: JAMES HARDIE 'V' GROOVE SIDING, ESR-2290

EXPOSURE: 9.5"
FINISH: WOOD GRAIN

# **ROOF PLAN NOTES**

A. TYPICAL ROOFING: CONCRETE FLAT TILE

BY FAGILE ROOFING OR APPROVED FOUND LARMON UP

BY EAGLE ROOFING OR APPROVED EQUAL. IAPMO# UES-1900.
MINIMUM CLASS A ROOF, 9.7 POUNDS PER S.F.

B. TYPICAL ROOF OVERHANG AT RAKE CONDITION TO BELOT #21 - 24" O.H.

UNLESS NOTED OTHERWISE ON ROOF PLAN. LOT #22 - TIGHT

A. TYPICAL ROOF OVERHANG AT EAVE CONDITION TO BE LOT #21 - 24" O.H UNLESS NOTED OTHERWISE ON ROOF PLAN. LOT #22 - 18" O.H

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\*\*DIVIDE A. BY 150 AND MULTIPLY BY 144 TO CALCULATE THE TOTAL REQUIRED MIN. NET FREE VENTING AREA IN SQUARE

TOTAL SQUARE INCHES OF NET FREE VENTILATING AREA PROVIDED BY RIDGE VENTS. (SEE ATTIC VENT CHART FOR FREE AREA)

| ZZZ = RIDGE VENT

SPACES. REFER TO STRUCTURAL DRAWINGS FOR SHEATHING PENETRATIONS.

CALIFORNIA FRAMED AREAS TO ADJACENT ATTIC

NOTE: FOR ADDITIONAL GENERAL ATTIC / ROOF AIR VENTING REQUIREMENTS REFER TO GENERAL NOTE SHEETS.

1st PLAN CHECK

Date: 10-11-2021

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LOT-114
LEFT & RIGHT
ELEVATIONS

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JOB NUMBER: 258-21060

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THIS PROJECT SHALL COMPLY WITH MATERIALS AND CONSTRUCTION METHODS FOR EXTERIOR WILDFIRE EXPOSURE PER C.R.C. SECTION R337. SEE SHEET G.3 FOR ADDITIONAL REQUIREMENTS.



# LAKEVIEW OAKS LOT 114



#### FOLSOM, CALIFORNIA JOB# 258-21060 COLOR SELECTION CHART

ROOF: EAGLE JULY 26, 2021

**PAINT: KELLY MOORE** 

STONE: ELDORADO, CREATIVE MINES

**GUTTERS & DOWNSPOUT:** CUSTOM BILT METALS

FASCIA, EAVES, TAILS,	KM 4938-3	
HEADERS, BEAMS, TRIMS &	GROUCHY BADGER	
GARAGE DOOR		
FRONT ENTRY DOOR	KM 4938-3	
	GROUCHY BADGER	
BASE STUCCO	KMW 46	
	PICKET FENCE	
STONE	CREATIVE MINES	
	SANDDOLLAR	
	CHISLED RECTANGLE	
STONE MORTAR	ORCO	
	PEARL	
WINDOW FRAME	BRONZE	
MILGARD		
FLAT ROOF	4588	
EAGLE		
WROUGHT IRON	KM 4911-5	
	DESERT SHADOW	
GUTTERS AND	MUSKET	
DOWNSPOUT		

# LOT 114



**FLAT ROOF** 



**BASE STUCCO** 

