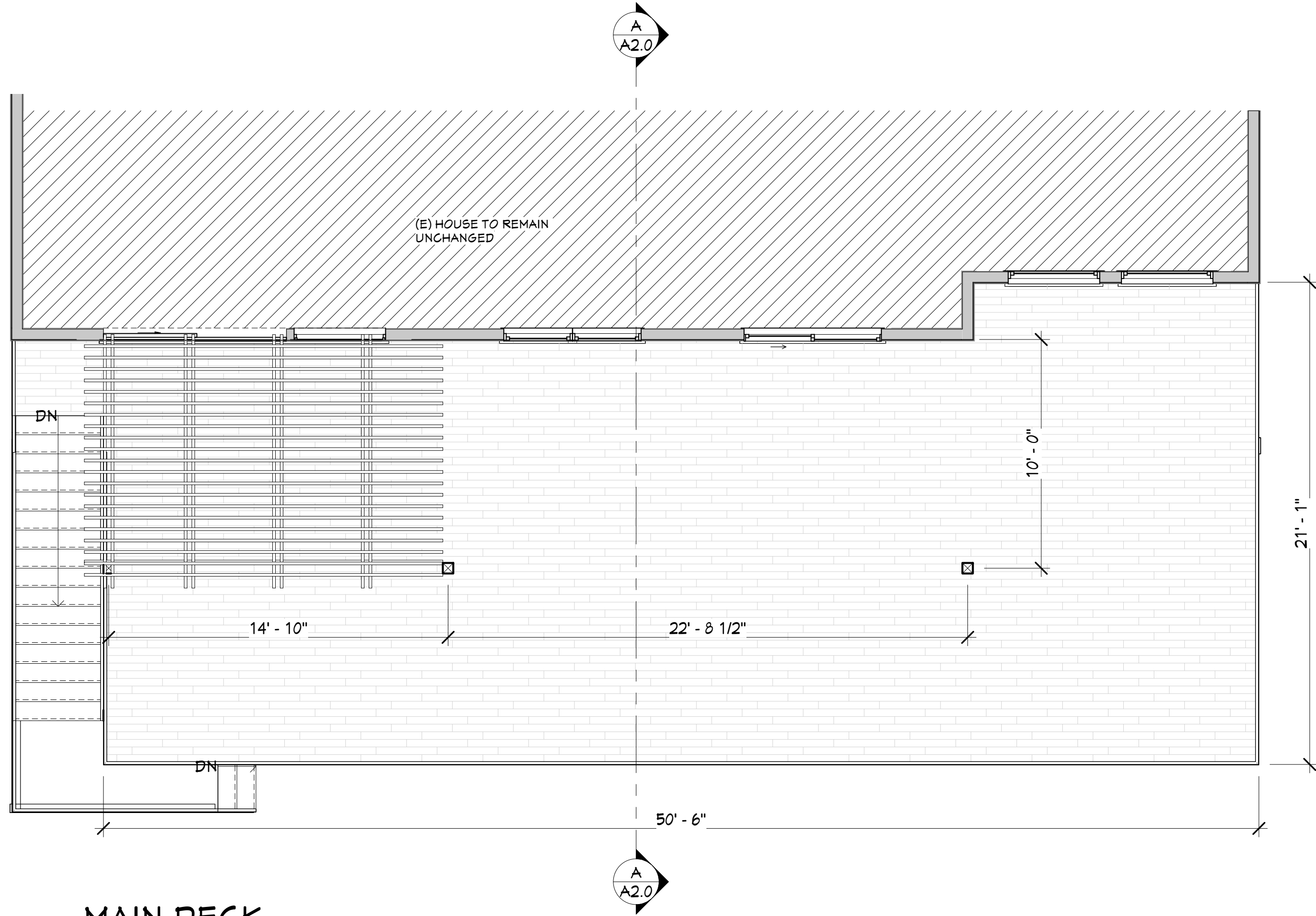
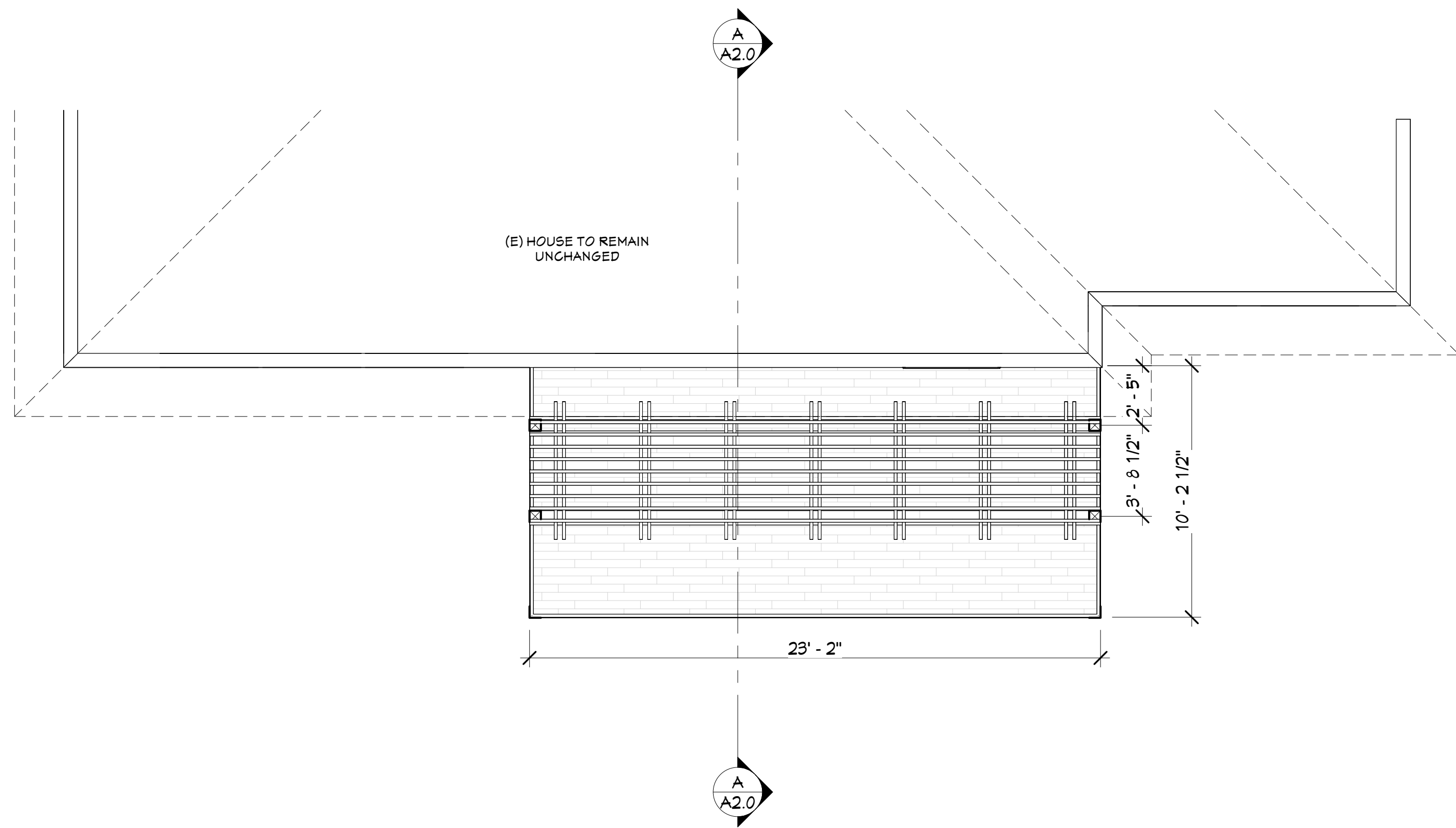
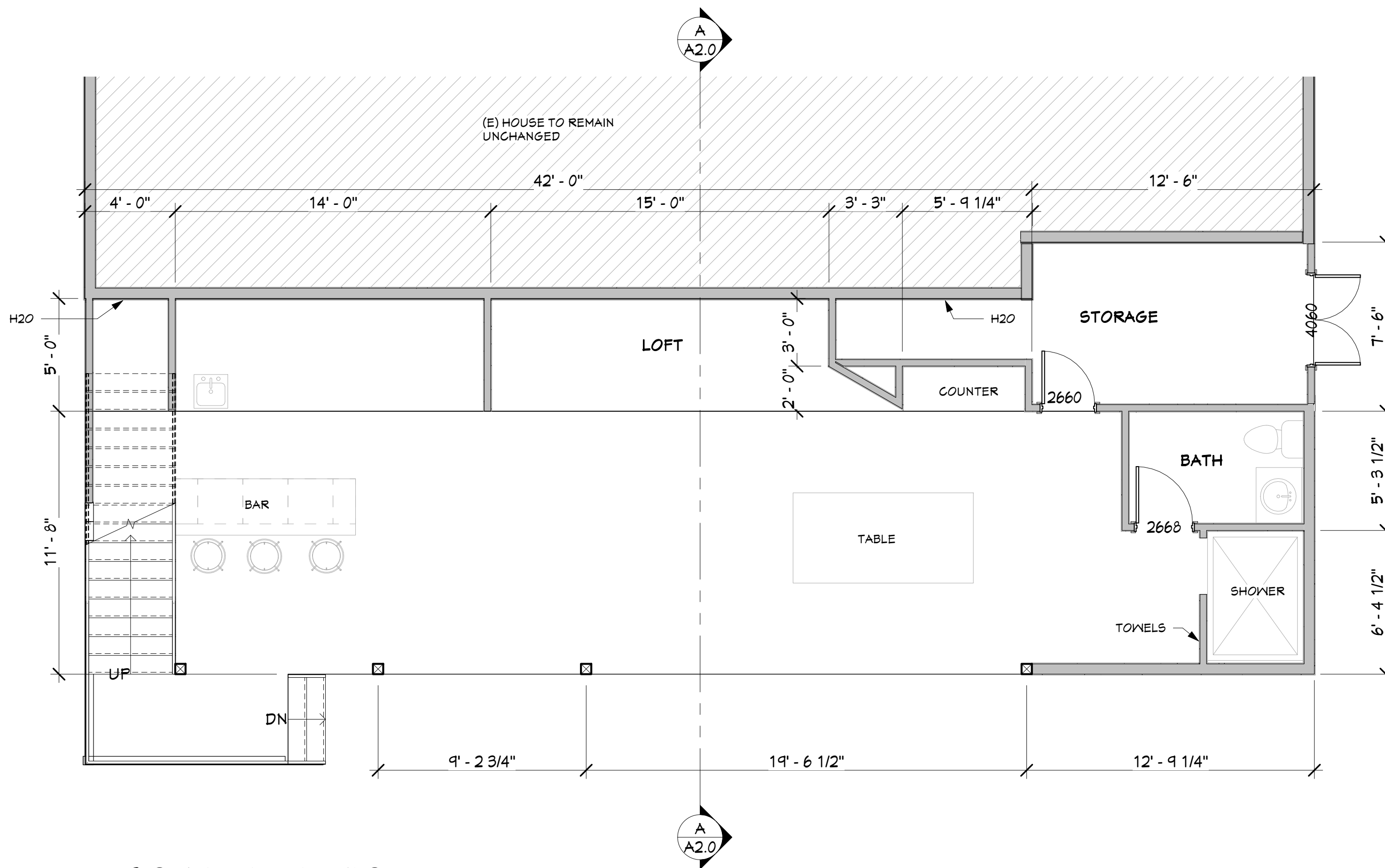




② MAIN DECK  
1/4" = 1'-0"



③ UPPER DECK  
1/4" = 1'-0"



① COVERED PATIO  
1/4" = 1'-0"

## INDEX OF DRAWINGS

|      |                                      |
|------|--------------------------------------|
| A1.0 | ARCHITECTURAL FLOOR PLAN             |
| A2.0 | ELEVATIONS AND ARCHITECTURAL SECTION |
| E1.0 | ELECTRICAL PLANS                     |
| S1.0 | STRUCTURAL FLOOR PLANS               |
| S2.0 | FOUNDATION PLAN                      |
| S3.0 | FLOOR FRAMING PLANS                  |
| SD1  | STRUCTURAL DETAILS                   |
| SN1  | STRUCTURAL NOTES                     |
| C1   | SITE PLAN                            |

## SCOPE OF WORK

REFRAME AND REMODEL EXISTING DECK.

## SQUARE FOOTAGE SUMMARY

|            |                     |
|------------|---------------------|
| PATIO AREA | 982 ft <sup>2</sup> |
| MAIN DECK  | 984 ft <sup>2</sup> |
| UPPER DECK | 237 ft <sup>2</sup> |

## CODES APPLICABLE

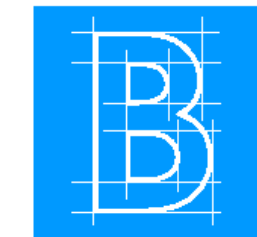
|            |           |           |
|------------|-----------|-----------|
| 2019 CRC   | 2019 CPC  | 2019 CIBC |
| 2019 CMG   | 2019 CEC  | 2019 CBC  |
| 2019 IEBG  | 2019 CBES |           |
| 2019 CGBSC |           |           |

ARCHITECTURAL FLOOR PLAN  
CASTALDO DECK  
235 CASCADE FALLS DR.  
FOLSOM CA



SHEET #

A1.0



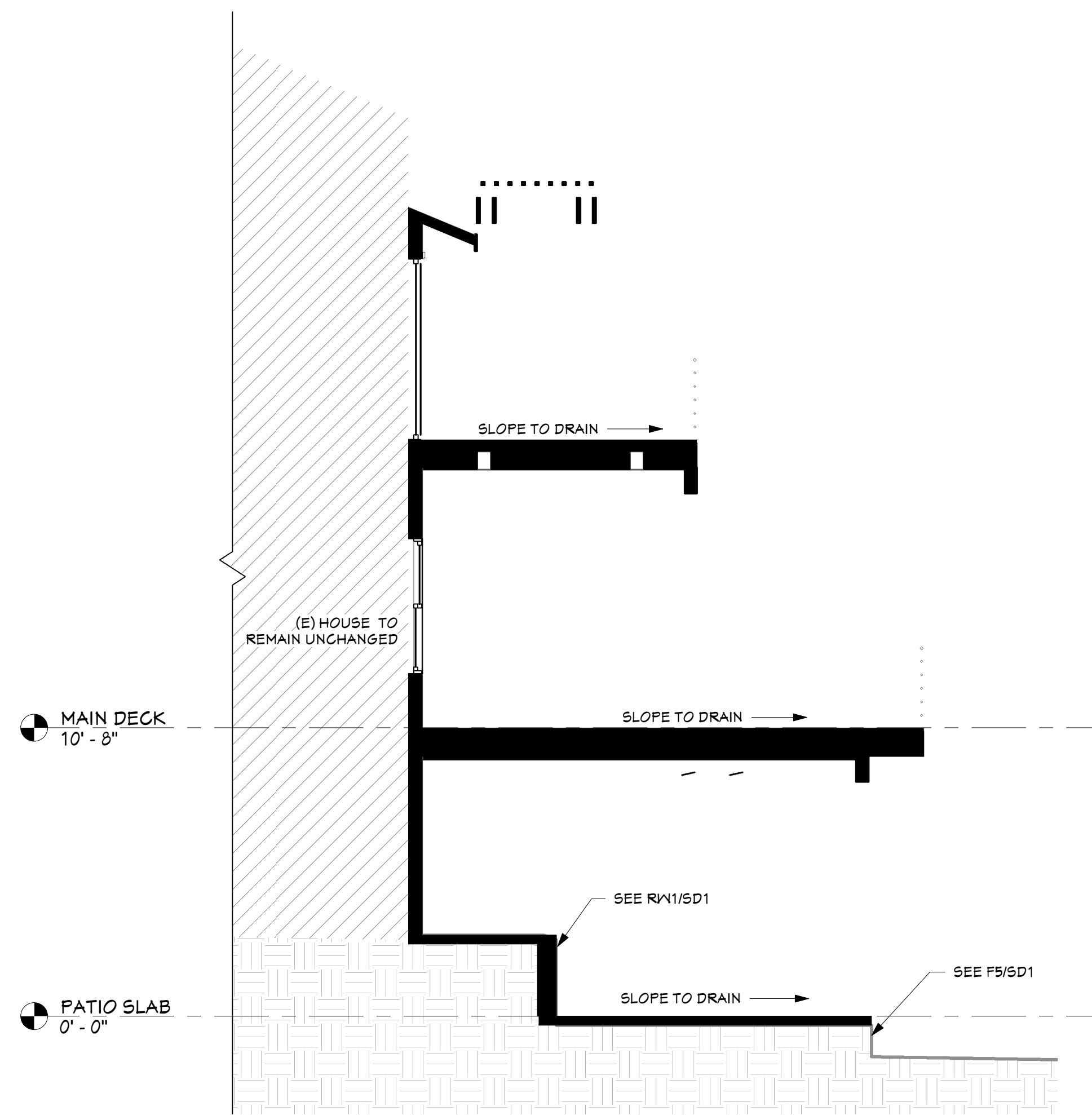
BURNE  
ENGINEERING

(530) 672-1600

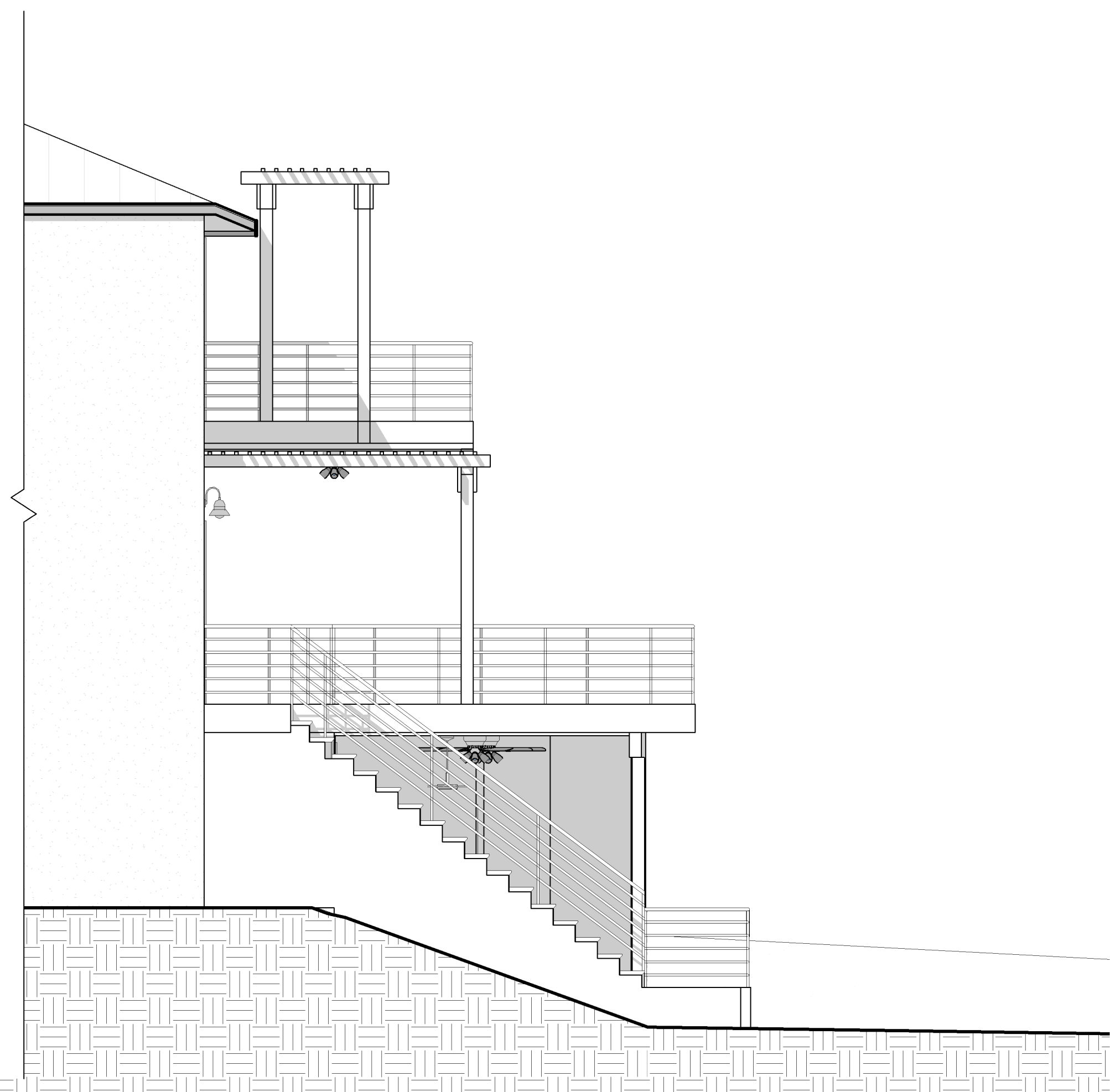




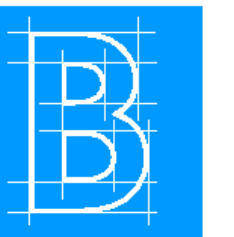
① REAR ELEVATION  
1/4" = 1'-0"



SECTION A-A  
1/4" = 1'-0"



② LEFT ELEVATION  
1/4" = 1'-0"



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ENGINEERING

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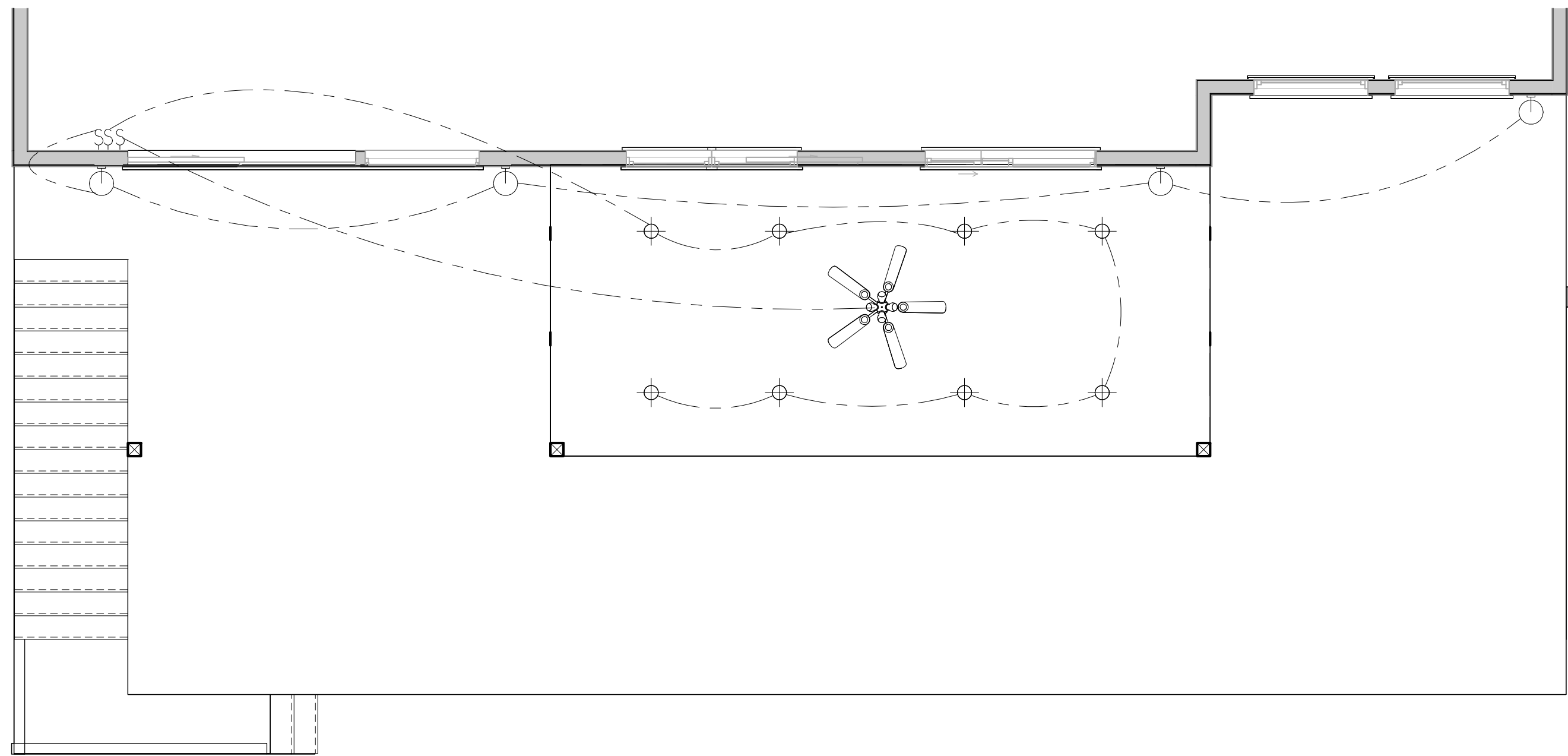
ELEVATIONS AND ARCHITECTURAL SECTION  
CASTALDO DECK  
235 CASCADE FALLS DR.  
FOLSOM CA



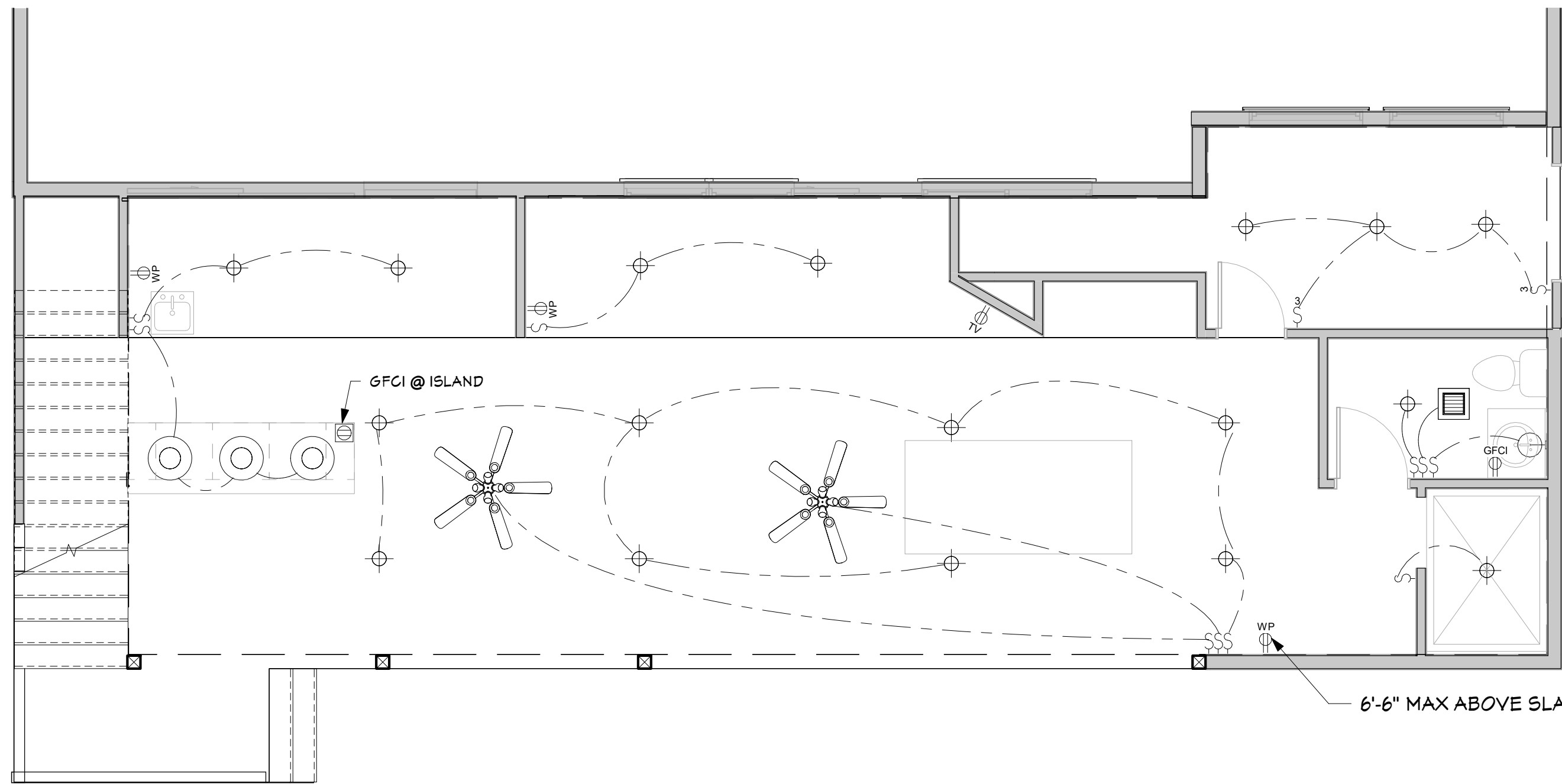
SHEET #

A2.0





③ MAIN DECK ELECTRICAL  
1/4" = 1'-0"



① SLAB ELECTRICAL  
1/4" = 1'-0"

- ELECTRICAL LEGEND:**
- DUPLEX RECEPTACLE
  - WEATHERPROOF RECEPTACLE
  - 220V RECEPTACLE
  - GROUND FAULT CIRCUIT INTERRUPTER
  - SWITCH
  - 3-WAY SWITCH
  - 4-WAY SWITCH
  - CEILING MOUNTED LIGHT FIXTURE
  - CEILING MOUNTED LIGHT FIXTURE
  - CEILING MOUNTED FAN
  - PENDANT LIGHT FIXTURE
  - WALL MOUNTED LIGHT FIXTURE
  - EXHAUST FAN
  - SMOKE DETECTOR
  - CARBON MONOXIDE DETECTOR
  - LED STRIP LIGHT

**LIGHTING REQUIREMENTS:**

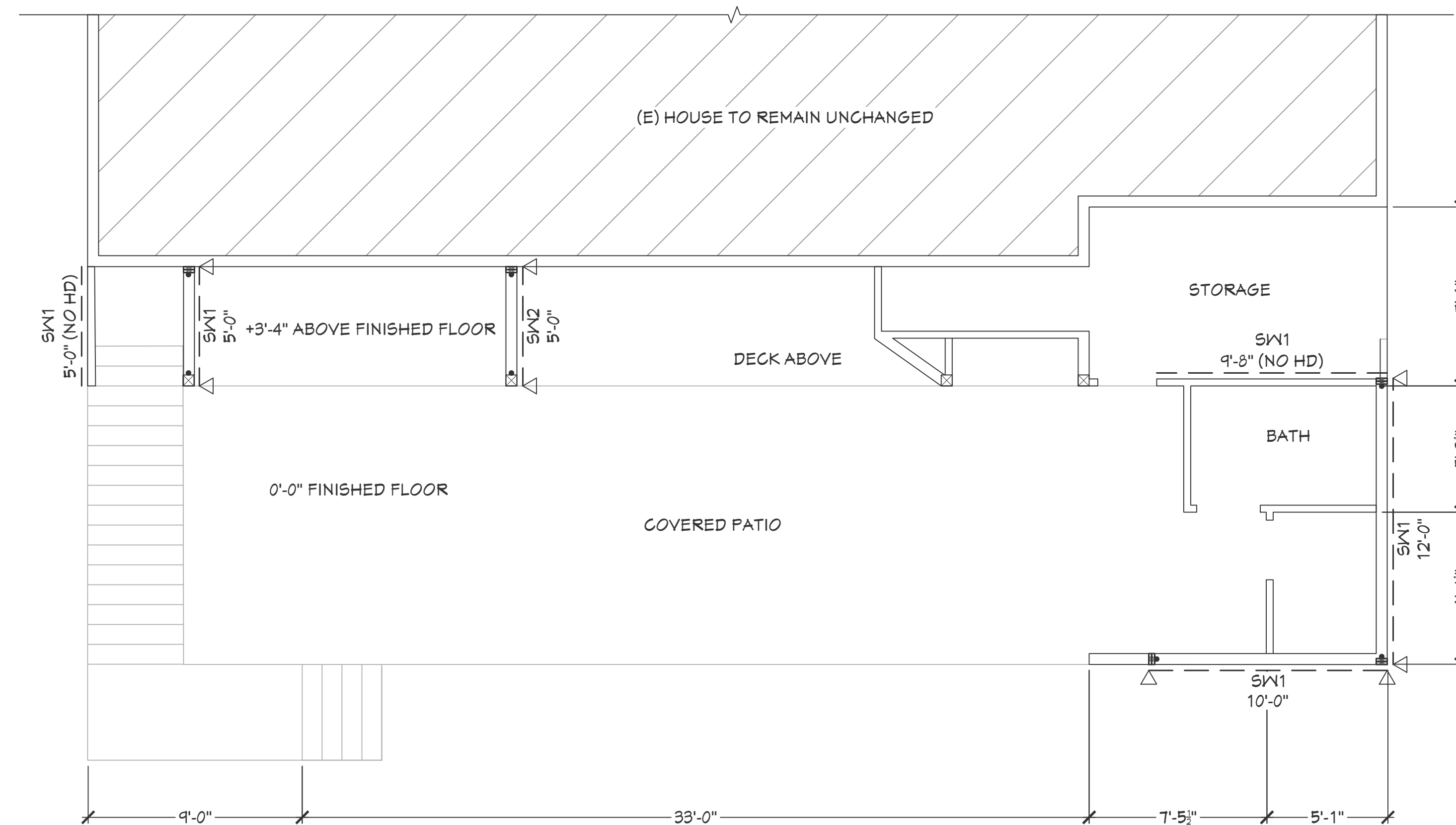
NOTE: ALL NEW LIGHTING TO BE LED, U.O.N.

- ALL INSTALLED LUMINARIES SHALL BE HIGH-EFFICACY IN ACCORDANCE w/ TABLE 150.0-A.
- ALL LUMINARIES REQUIRED TO HAVE LIGHT SOURCE COMPLIANT w/ REFERENCE JOINT APPENDIX JA8, EXCEPT HALLWAYS & CLOSETS OVER 10 sf, SHALL BE CONTROLLED BY DIMMERS OR VACANCY SENSORS. (THIS APPLIES TO ALL GU-24 LEDs AND RECESSED LUMINARIES.)
- IN BATHROOMS, GARAGES, LAUNDRY ROOMS, AND UTILITY ROOMS, AT LEAST ONE LUMINARY IN EACH OF THESE SPACES SHALL BE CONTROLLED BY A VACANCY SENSOR.
- OUTDOOR LIGHTING: ALL OUTDOOR LIGHTING SHALL BE CONTROLLED BY A MANUAL ON AND OFF SWITCH THAT DOES NOT OVERRIDE TO ON AND ONE OF THE FOLLOWING: CONTROLLED BY PHOTOCELL AND MOTION SENSOR, PHOTO CONTROL AND AUTOMATIC SWITCH CONTROL, ASTRONOMICAL TIME CLOCK, OR ENERGY MANAGEMENT CONTROL SYSTEM. 150 (k)3.
- LUMINARIES RECESSED INTO CEILING SHALL MEET ALL OF THE FOLLOWING PER 150.0 (k)1C: LISTED FOR ZERO CLEARANCE INSULATION, LABELED THAT CERTIFIES THE LUMINARY IS AIRTIGHT WITH A LEAKAGE LESS THAN 2.0CFM AT 15 FASCALS, SEALED WITH A GASKET OR CAULK, ALLOW REPLACEMENT AND MAINTENANCE TO BE READILY ACCESSIBLE FROM BELOW THE CEILING WITHOUT CUTTING HOLES IN THE CEILING, SHALL NOT CONTAIN SCREW BASE SOCKETS; AND SHALL CONTAIN LIGHT SOURCES THAT COMPLY WITH JA8.
- UNDER CABINET LIGHTING SHALL BE SWITCHED SEPARATELY THAN FROM OTHER LIGHTING SYSTEM. 150.0(k)2L.

**ELECTRICAL NOTES:**

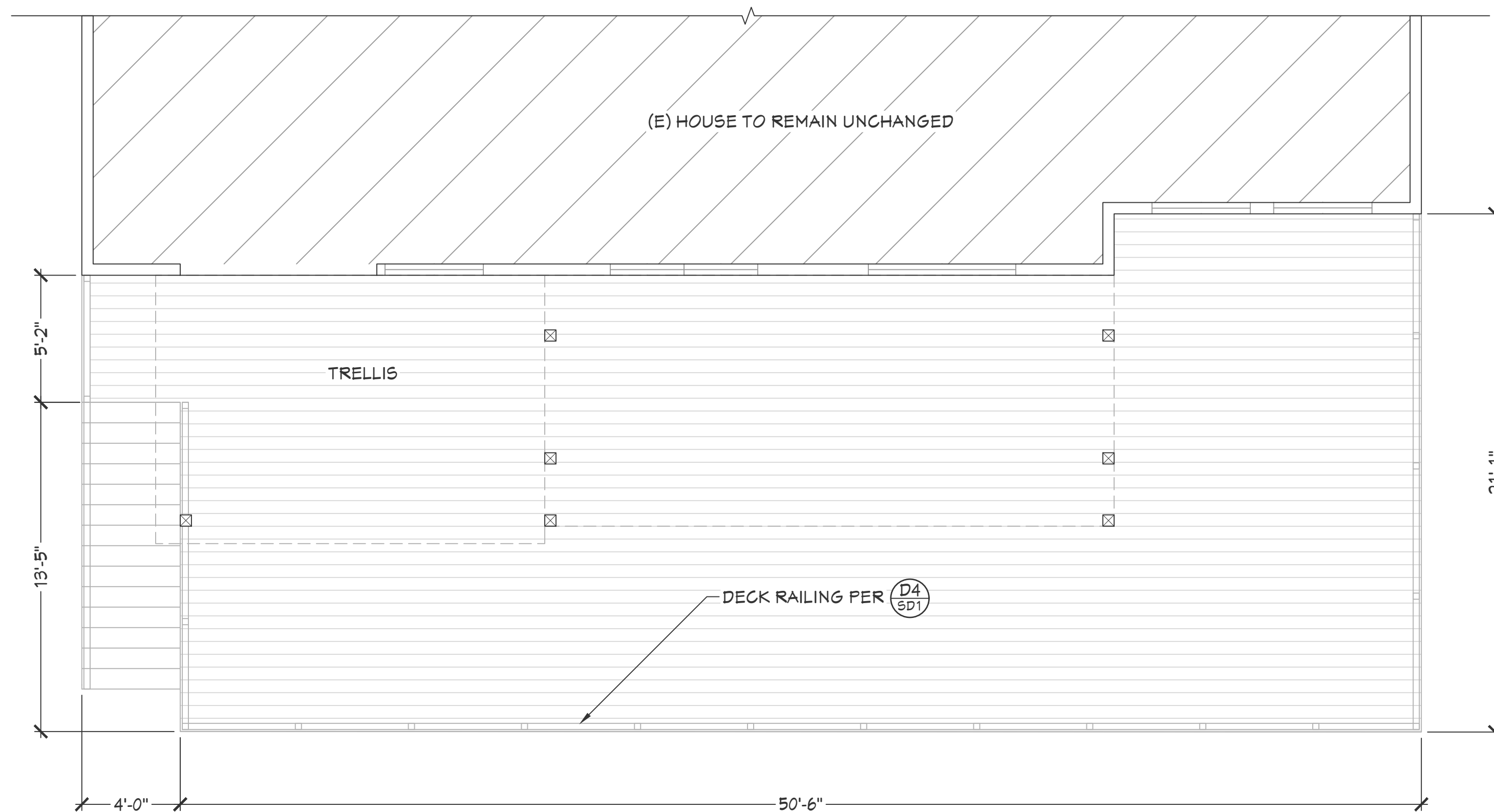
- SMOKE DETECTORS / CARBON MONOXIDE DETECTORS PER R314 / R315 SHALL BE INTERCONNECTED, HARDWIRED AND WITH BATTERY BACK-UP. SMOKE DETECTORS TO BE LOCATED AT LEAST 24" FROM RETURN AIR REGISTERS AND AIR DUCTS. WALL MOUNTED UNITS TO BE WITHIN 12" OF CEILING AND LISTED BY THE STATE FIRE MARSHALL FOR WALL MOUNTING. PROVIDE ONE SMOKE DETECTOR IN EACH SLEEPING AREA.
- CARBON MONOXIDE/SMOKE DETECTORS SHALL BE PROVIDED OUTSIDE EACH SLEEPING AREA AND AT EACH LEVEL OF DWELLING
- PROVIDE SWITCHED LIGHT AND OUTLET AT ATTIC CRAWL
- PROVIDE DISCONNECT FOR A/C UNIT
- ALL 120-VOLT, SINGLE PHASE, 15 - & 20-AMP BRANCH CIRCUITS SUPPLYING OUTLETS INSTALLED IN DWELLING UNIT KITCHEN, DINING ROOM, FAMILY ROOM, LIVING ROOM, PARLORS, LIBRARIES, DENS, BEDROOM, SUNROOMS, REC ROOMS, CLOSETS, LAUNDRY ROOMS, HALLWAYS AND SIMILAR ROOMS SHALL BE PROTECTED BY A LISTED ARC-FAULT CIRCUIT INTERRUPTER, COMBINATION TYPE, INSTALLED TO PROVIDE PROTECTION OF THE BRANCH CIRCUIT.
- AT LEAST ONE LUMINAIRE IN THE BATHROOMS, GARAGES, LAUNDRY ROOMS, AND UTILITY ROOMS SHALL BE CONTROLLED BY A VACANCY SENSOR.
- CEILING FAN LOCATIONS USE ONLY CEC APPROVED ELECTRICAL BOXES RATED FOR SUPPORTING CEILING FANS.
- PROVIDE 50 CFM FOR ALL BATHROOM FANS AND 100 CFM FOR THE KITCHEN EXHAUST FAN PER THE ENERGY FORM MF-1R MEASURE 150(c) ANSI/ASHARE STANDARD 62.2. FANS MUST BE 3 SONE OR LESS.
- ALL NEW 125-VOLT, 15 AND 20 AMP RECEPTACLES IN THE DWELLING UNIT SHALL BE TAMPER RESISTANT.
10. ALL NEW HOT WATER SUPPLY PIPING FROM THE HEATING SOURCE TO THE KITCHEN FIXTURES SHALL BE INSULATED PER CEC SECTION 150.0 (l)2 vi.
- ALL 15 OR 20 AMP, 125 OR 250 VOLT RECEPTACLES INSTALLED OUTDOORS IN WET LOCATIONS MUST BE LISTED WEATHERPROOF TYPE WHEN THE PLUG IS OR IS NOT INSERTED.
- BRANCH CIRCUITS SERVICING GARAGE RECEPTACLES SHALL NOT SERVE OUTLETS OUTSIDE OF THE GARAGE.
- AT THE AC EQUIPMENT, ELECTRICAL DISCONNECTS FOR EQUIPMENT SHALL BE WITHIN SIGHT OF THE EQUIPMENT AND NOT OVER 50' FROM THE UNIT.
- A GROUND FAULT CIRCUIT INTERRUPTER (GFCI) IS REQUIRED FOR ALL 15 AND 20-AMP RECEPTACLES INSTALLED IN BATHROOMS, GARAGES, INCLUDING THE GARAGES, INCLUDING THE GARAGE DOOR OPENER RECEPTACLE, ACCESSORY BUILDINGS, OUTDOORS, IN UNFINISHED BASEMENTS, UNDER-FLOOR AREAS, LAUNDRY, UTILITY, AND KITCHEN COUNTER TOPS AND WITHIN 6' OF A BAR SINK.
- RECEPTACLES SHALL BE INSTALLED SO THAT NO POINT MEASURED HORIZONTALLY ALONG THE FLOOR LINE IN ANY WALL SPACE IS MORE THAN 6' FROM A RECEPTACLE OUTLET. WALL SPACES GREATER THAN 2' IN WIDTH AND UNBROKEN ALONG THE FLOOR LINE BY OPENINGS OR FIREPLACES SHALL BE PROVIDED WITH A RECEPTACLE. THESE RECEPTACLES SHALL BE PROVIDED IN KITCHENS, FAMILY ROOMS, DINING ROOMS, LIVING ROOMS, DENS, BEDROOMS, OR SIMILAR ROOMS.
- AT LEAST ONE 120-VOLT, 20-AMPERE BRANCH CIRCUIT SHALL BE PROVIDED TO SUPPLY BATHROOMS & LAUNDRY ROOM OUTLETS WHICH SHALL HAVE NO OTHER OUTLETS.





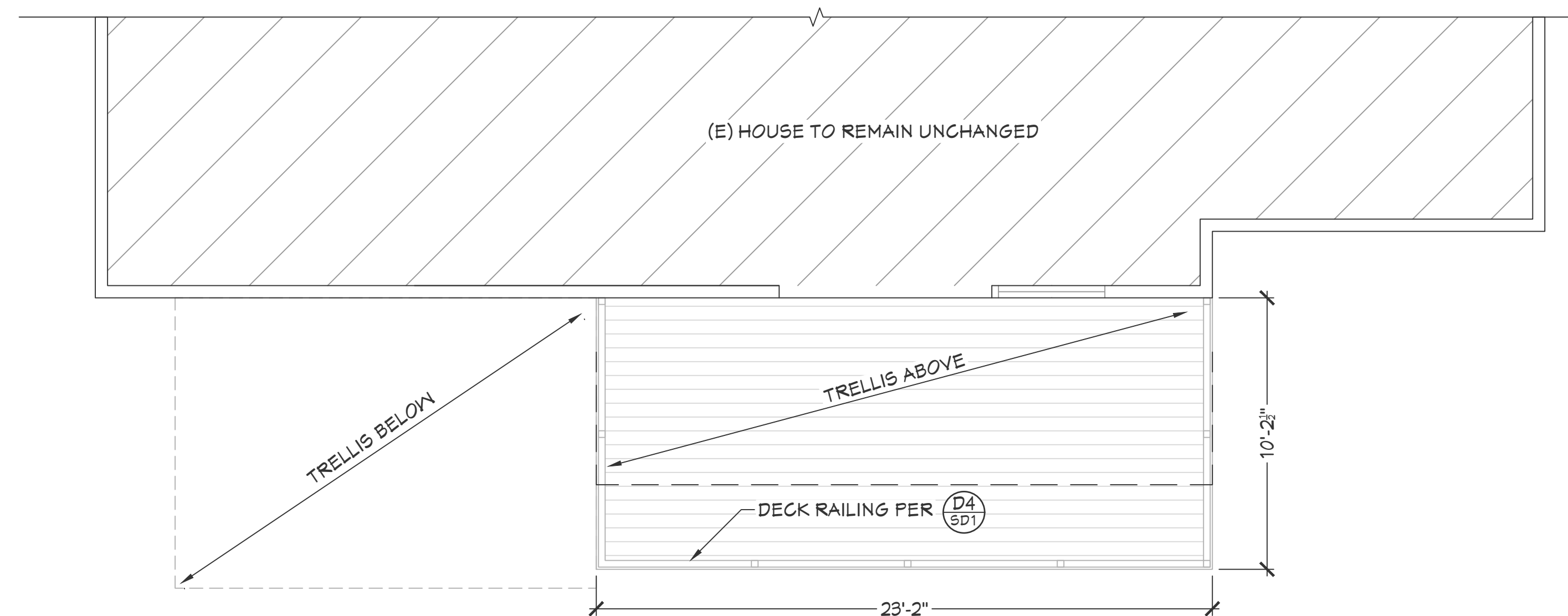
COVERED PATIO (LOWER LEVEL) STRUCTURAL FLOOR PLAN

SCALE 1/4" = 1'-0"



MAIN DECK STRUCTURAL FLOOR PLAN

SCALE 1/4" = 1'-0"

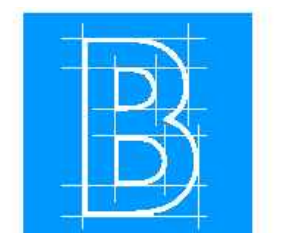


UPPER DECK STRUCTURAL FLOOR PLAN

SCALE 1/4" = 1'-0"

CONTRACTOR TO FIELD  
VERIFY ALL DIMENSIONS  
PRIOR TO ORDERING OR  
FABRICATING MATERIALS

SEE SHEET SN1 FOR SHEARWALL SCHEDULE, HOLDOWN  
LEGEND AND ALL OTHER STRUCTURAL SPECIFICATIONS



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STRUCTURAL FLOOR PLANS  
CASTALDO DECK  
235 CASCADE FALLS DR  
FOLSOM, CA

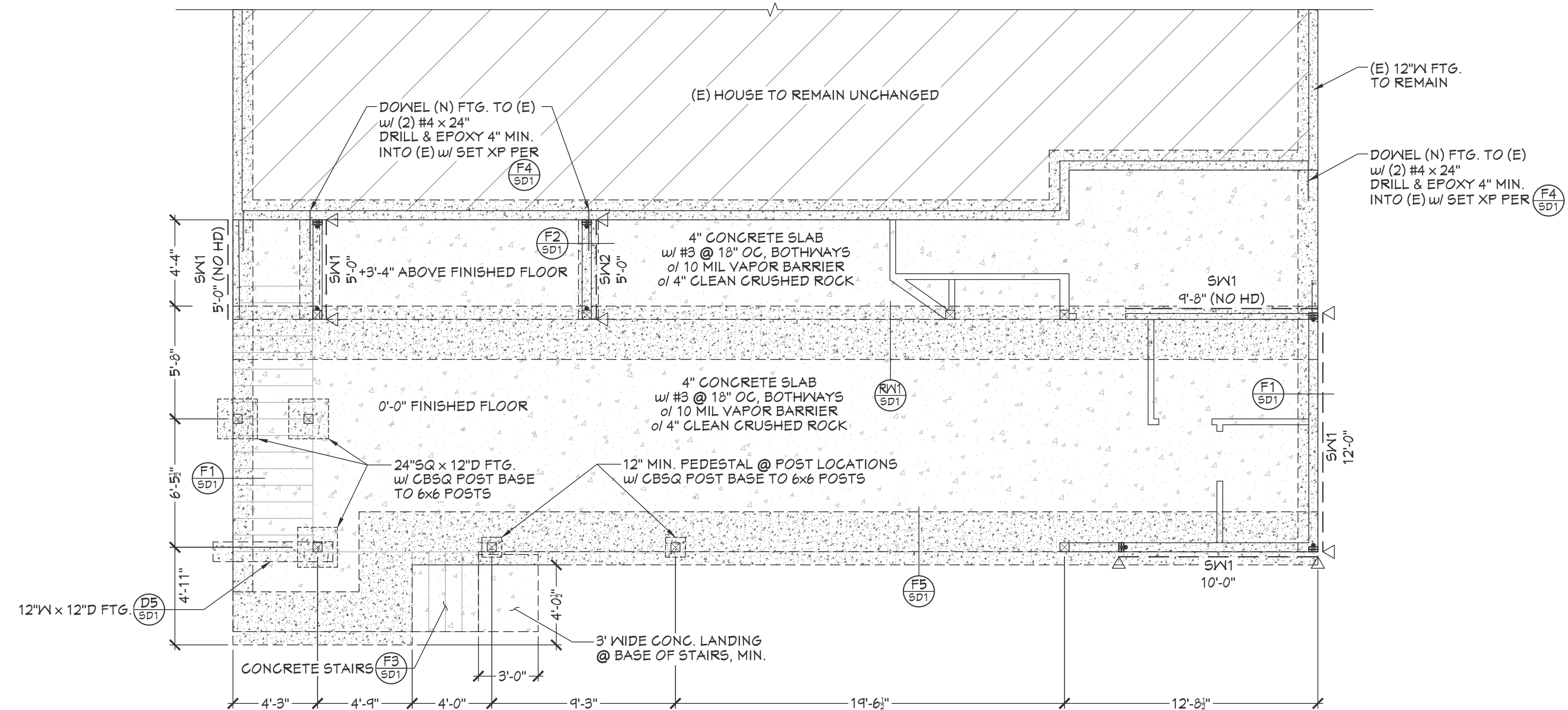
REVISIONS



SHEET #:

S1



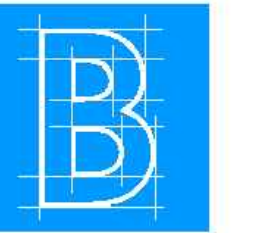


FOUNDATION PLAN

SCALE 1/4" = 1'-0"

CONTRACTOR TO FIELD  
VERIFY ALL DIMENSIONS  
PRIOR TO ORDERING OR  
FABRICATING MATERIALS

SEE SHEET SN1 FOR SHEARWALL SCHEDULE, HOLDOWN  
LEGEND AND ALL OTHER STRUCTURAL SPECIFICATIONS



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FOUNDATION PLAN  
CASTALDO DECK  
235 CASCADE FALLS DR  
FOLSOM, CA

REVISIONS

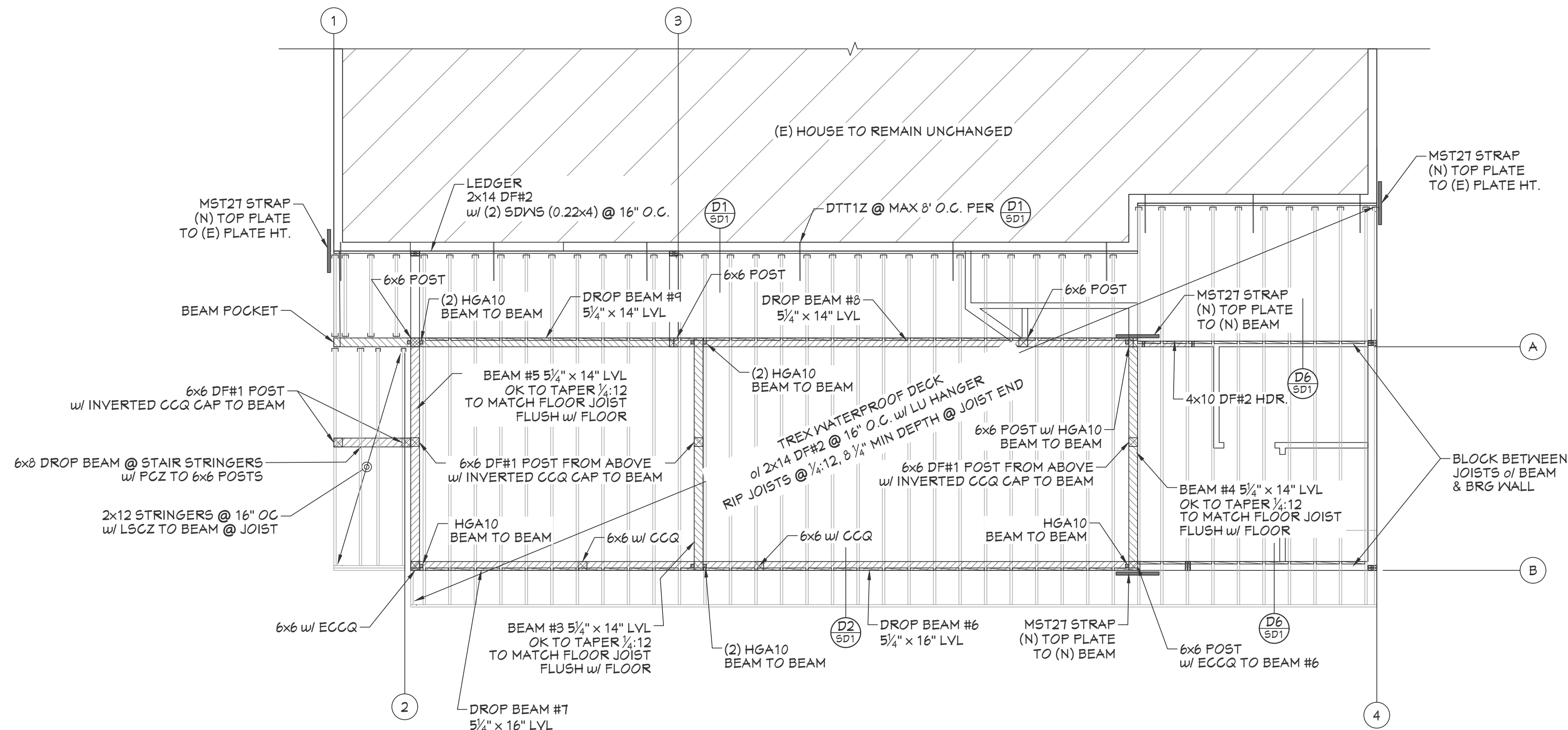


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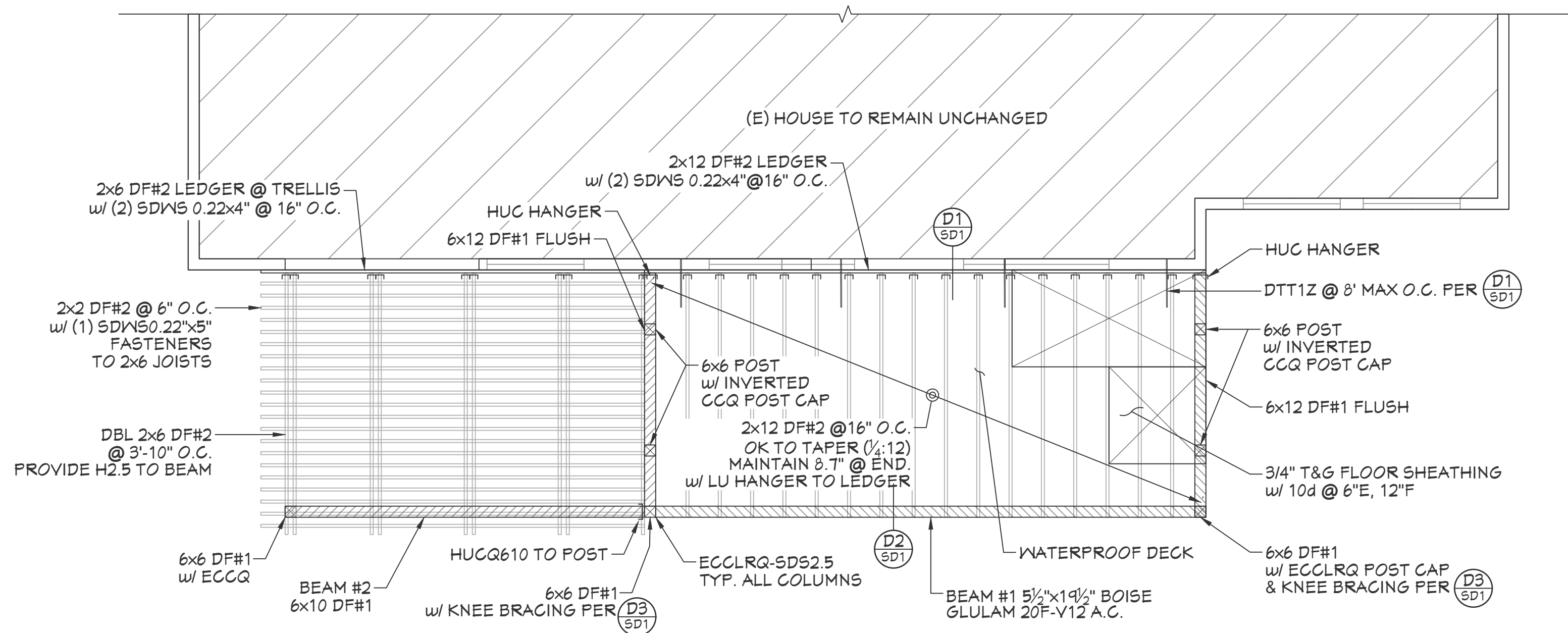
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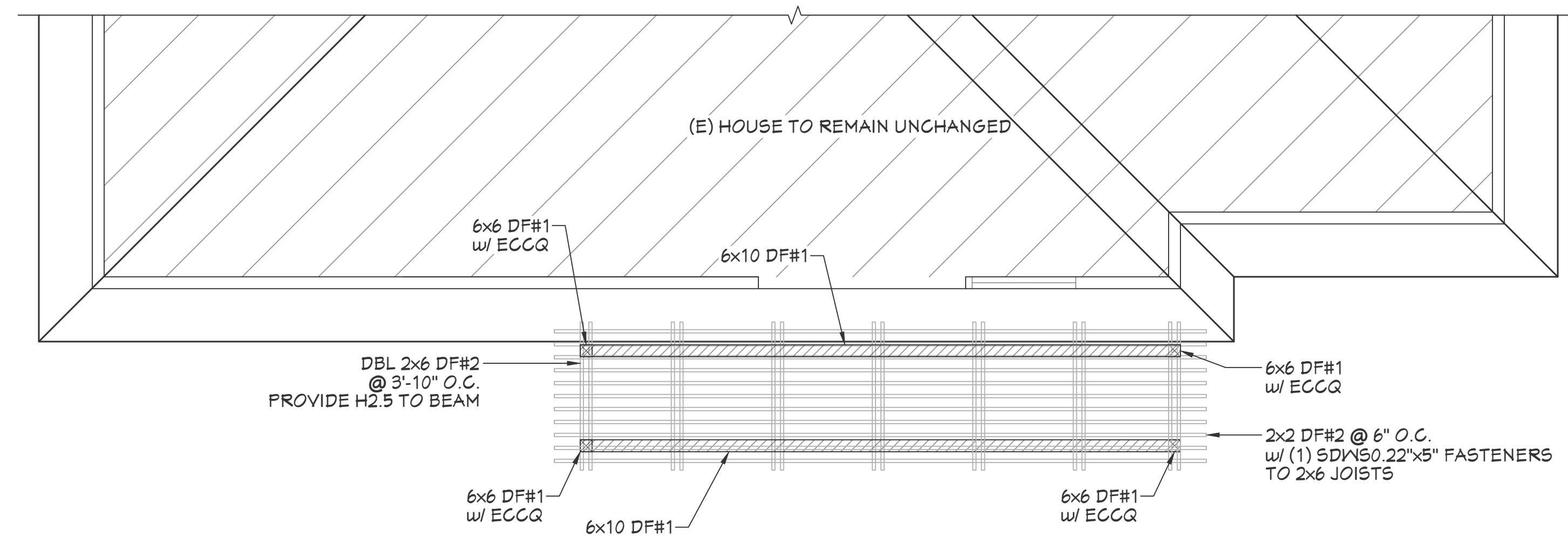
MAIN DECK FLOOR FRAMING PLAN

SCALE 1/4" = 1'-0"



UPPER DECK FRAMING PLAN

SCALE 1/4" = 1'-0"

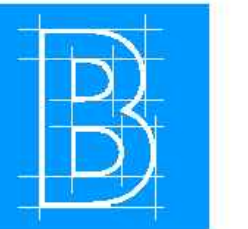


UPPER DECK PERGOLA FRAMING PLAN

SCALE 1/4" = 1'-0"

CONTRACTOR TO FIELD  
VERIFY ALL DIMENSIONS  
PRIOR TO ORDERING OR  
FABRICATING MATERIALS

SEE SHEET SN1 FOR SHEARWALL SCHEDULE, HOLDOWN  
LEGEND AND ALL OTHER STRUCTURAL SPECIFICATIONS



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FLOOR FRAMING PLANS  
CASTALDO DECK  
235 CASCADE FALLS DR  
FOLSOM, CA

REVISIONS

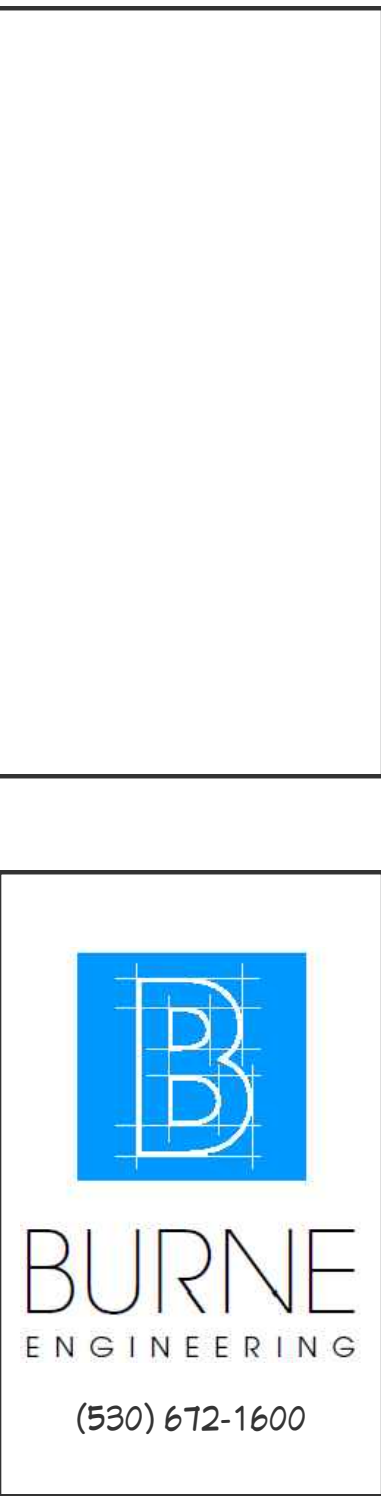
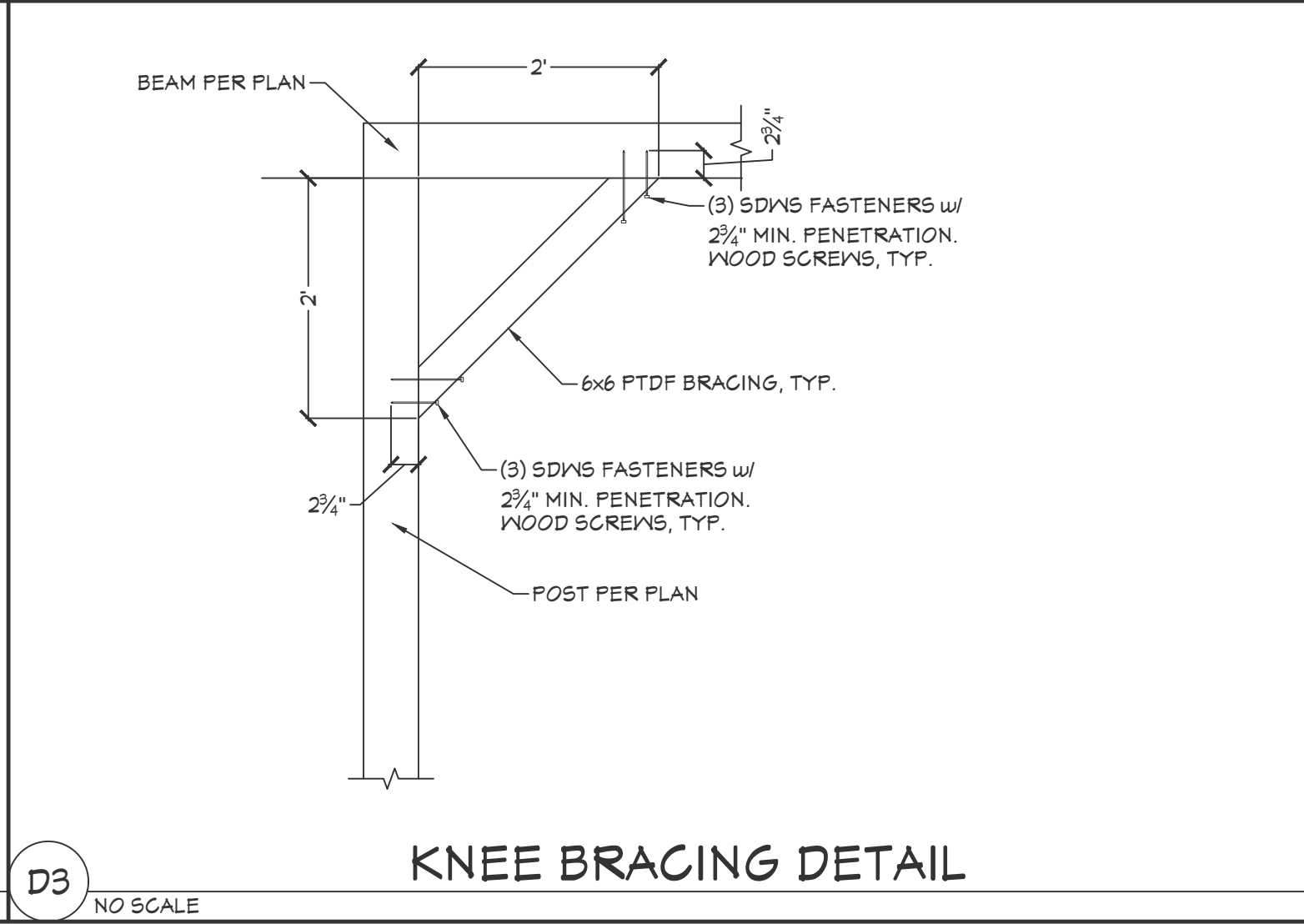
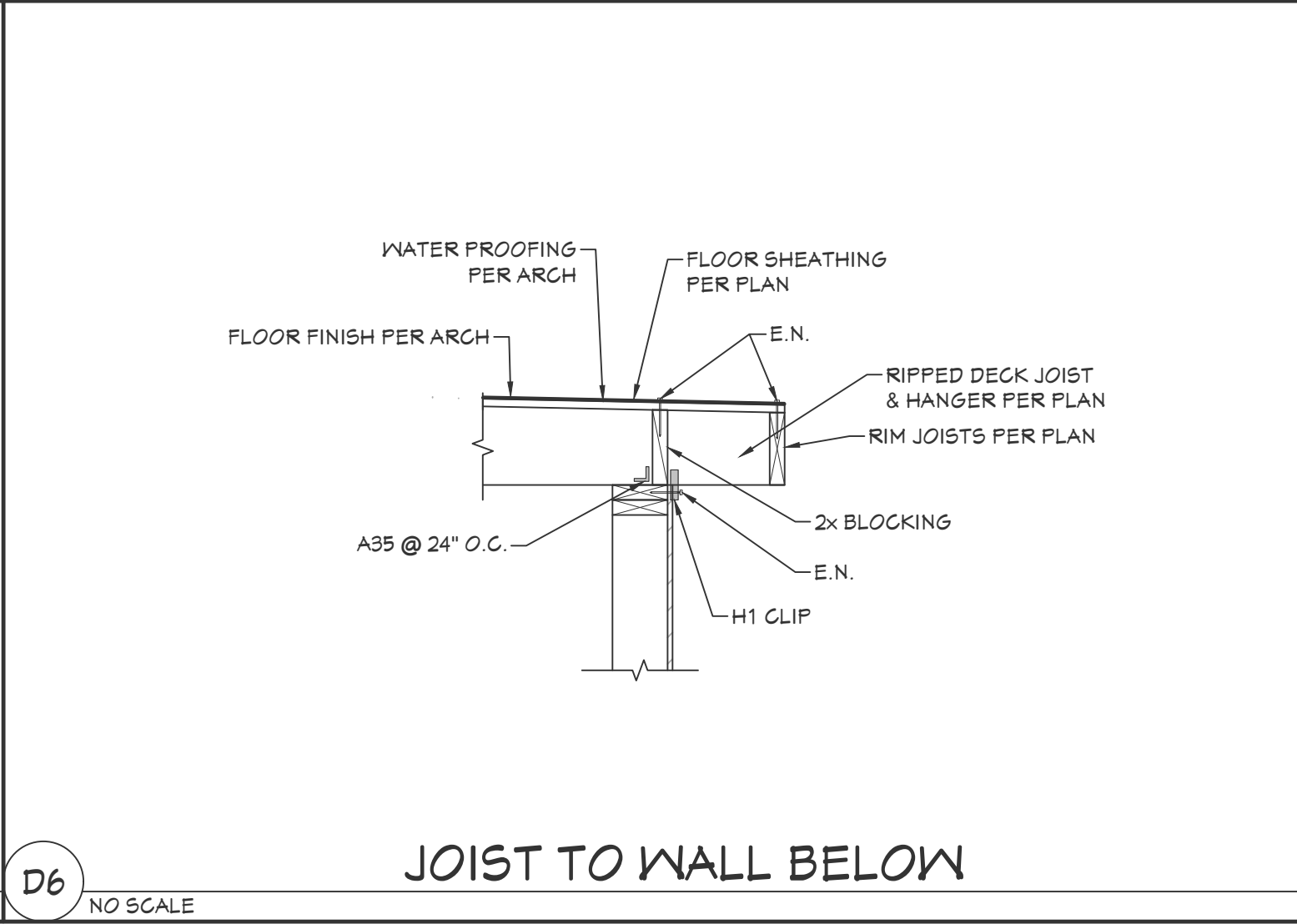
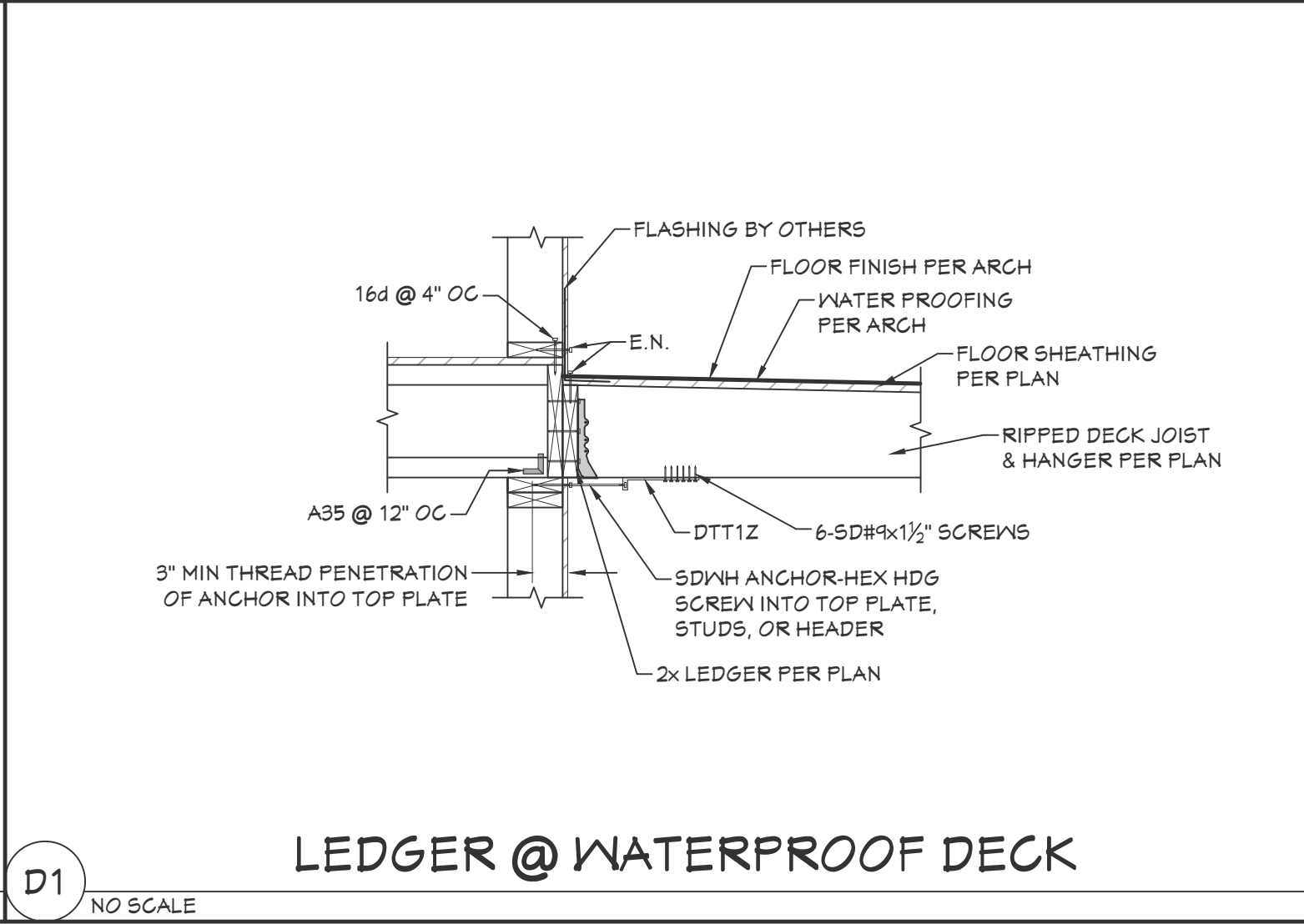
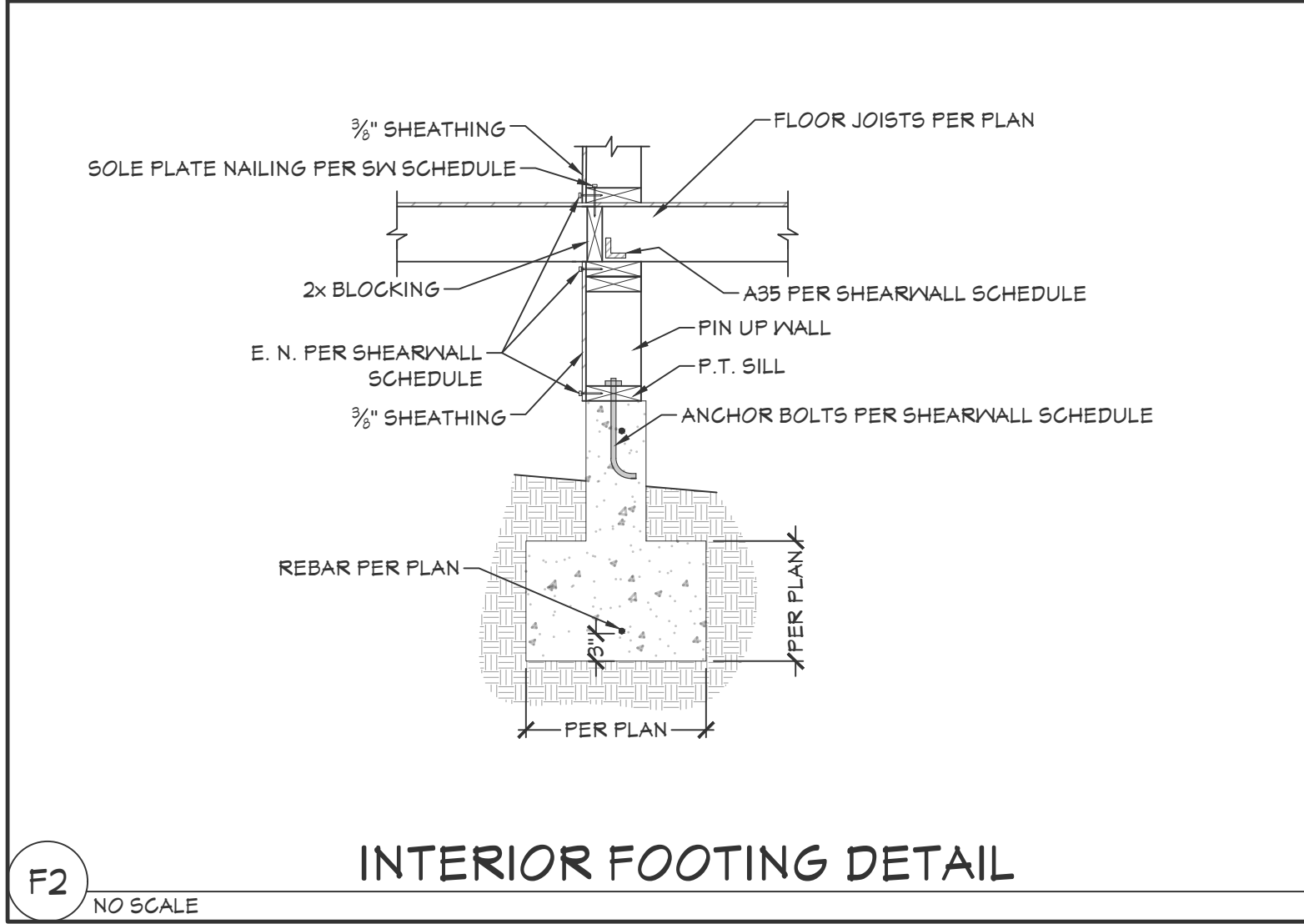
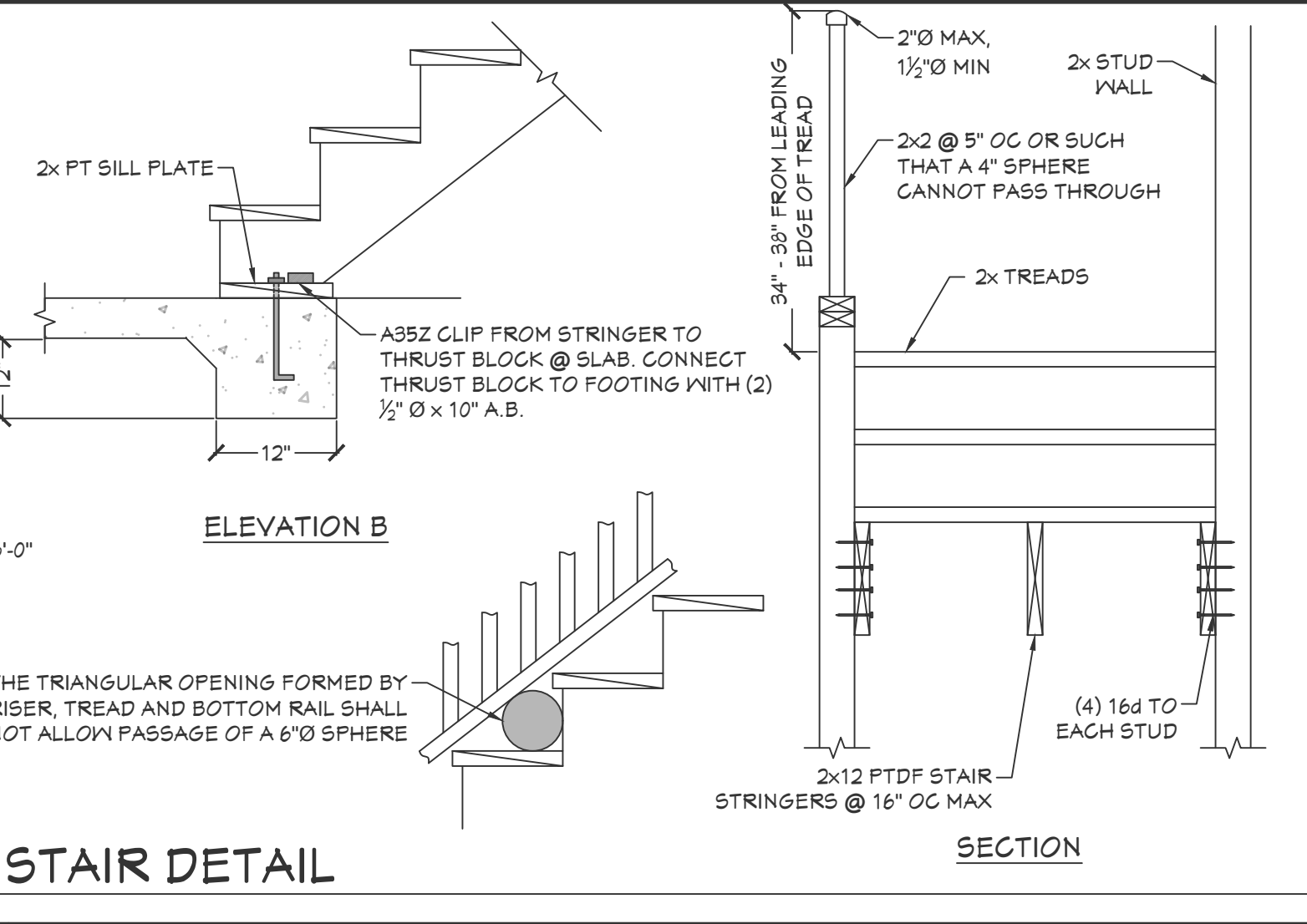
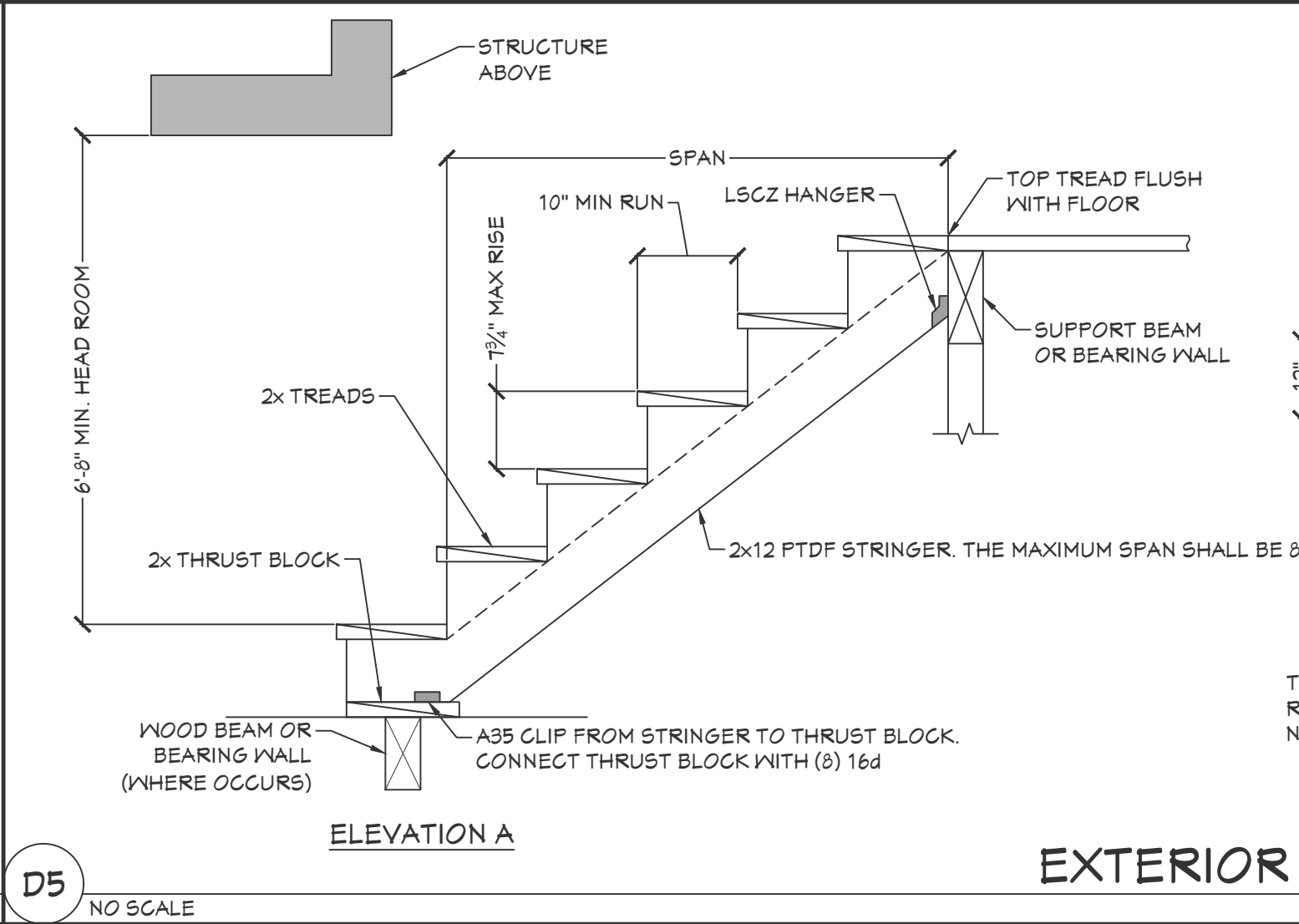
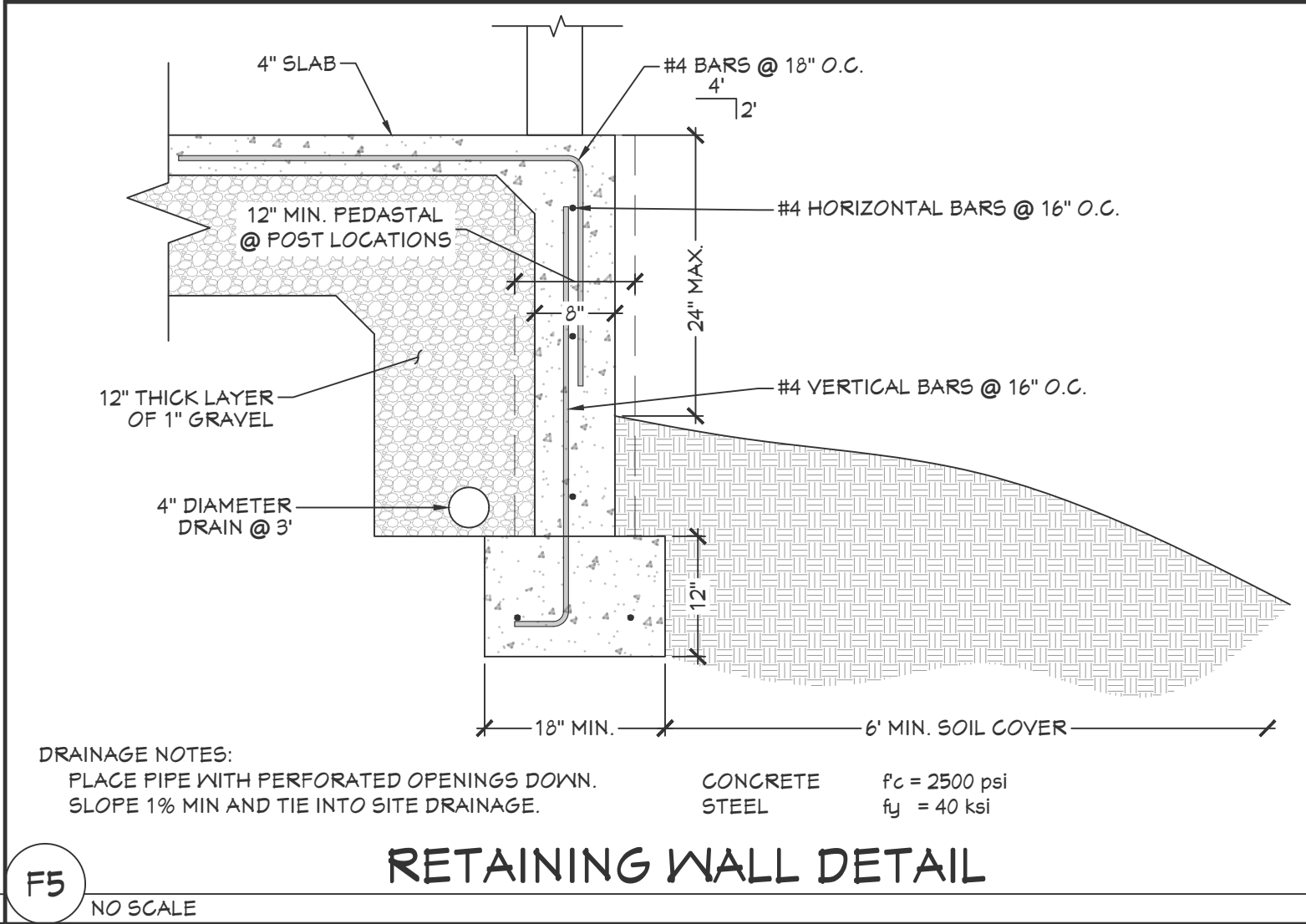
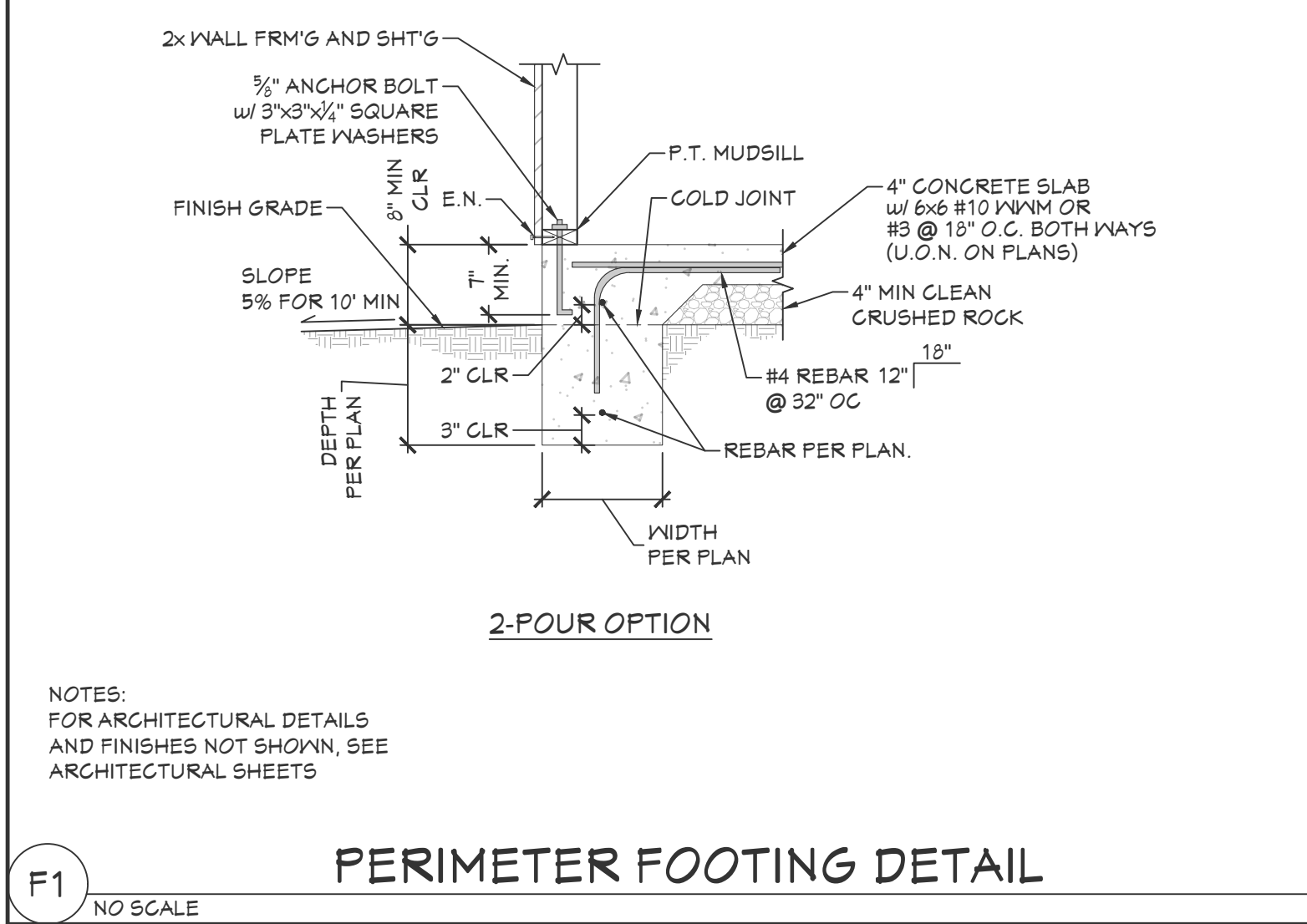
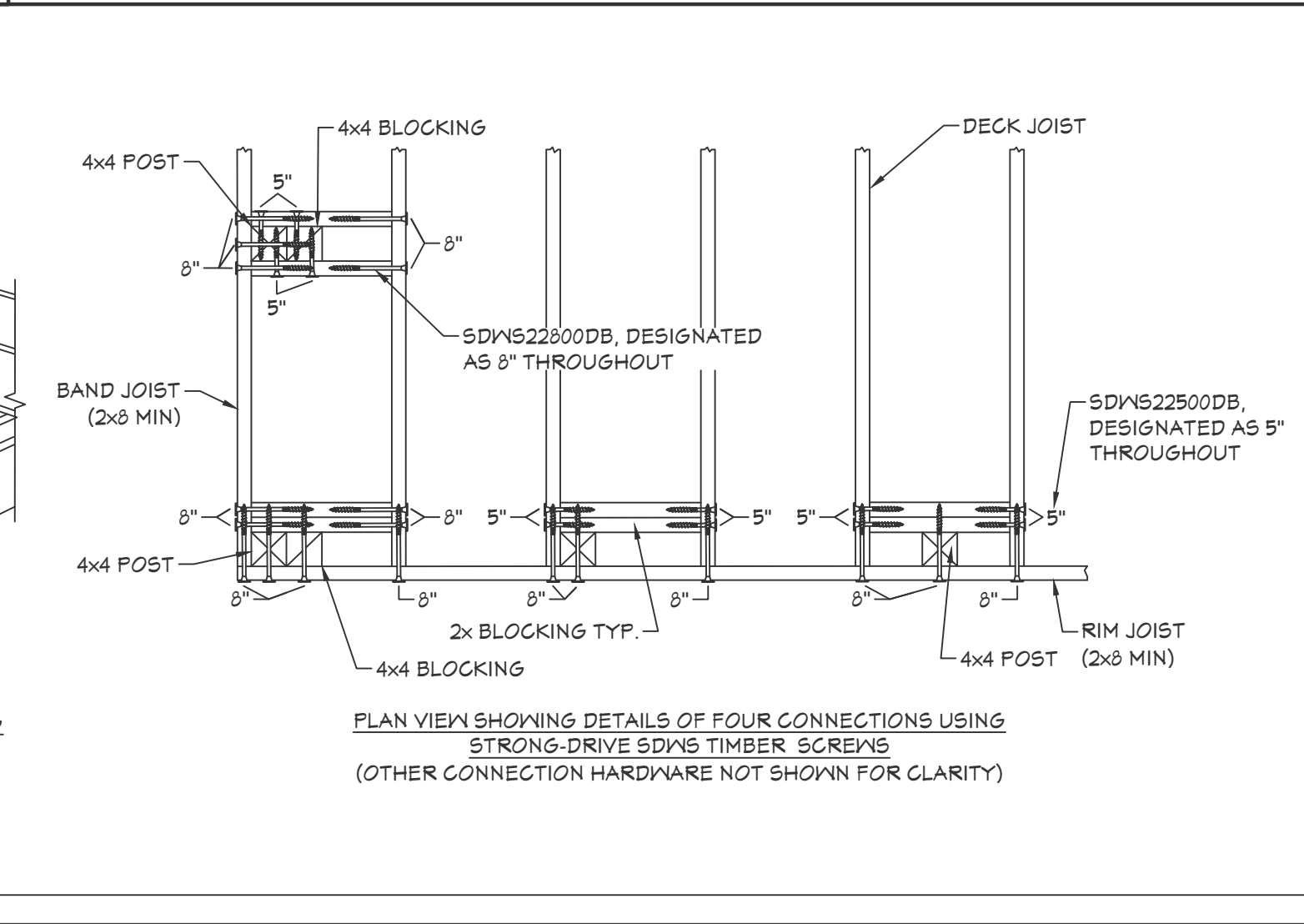
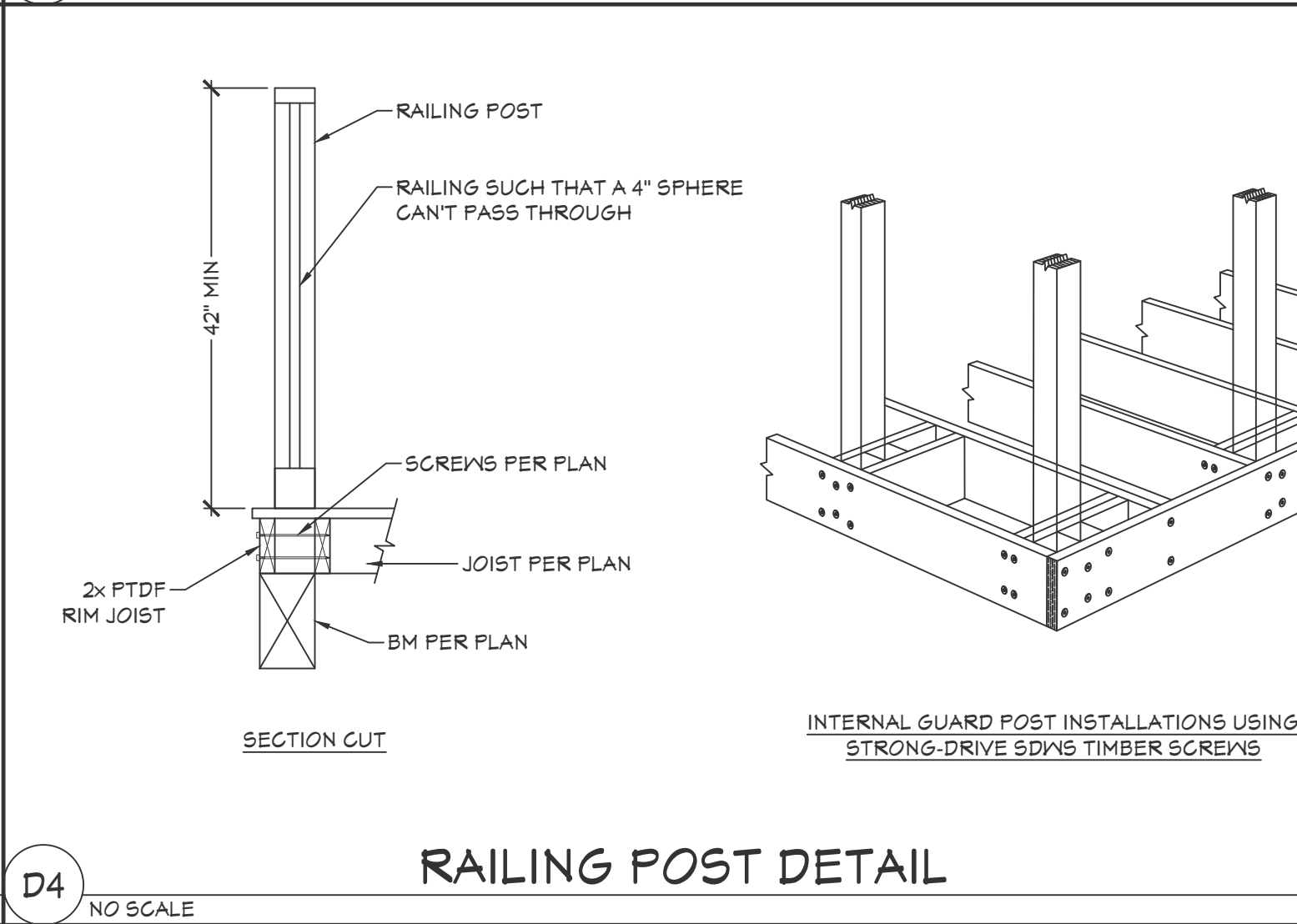
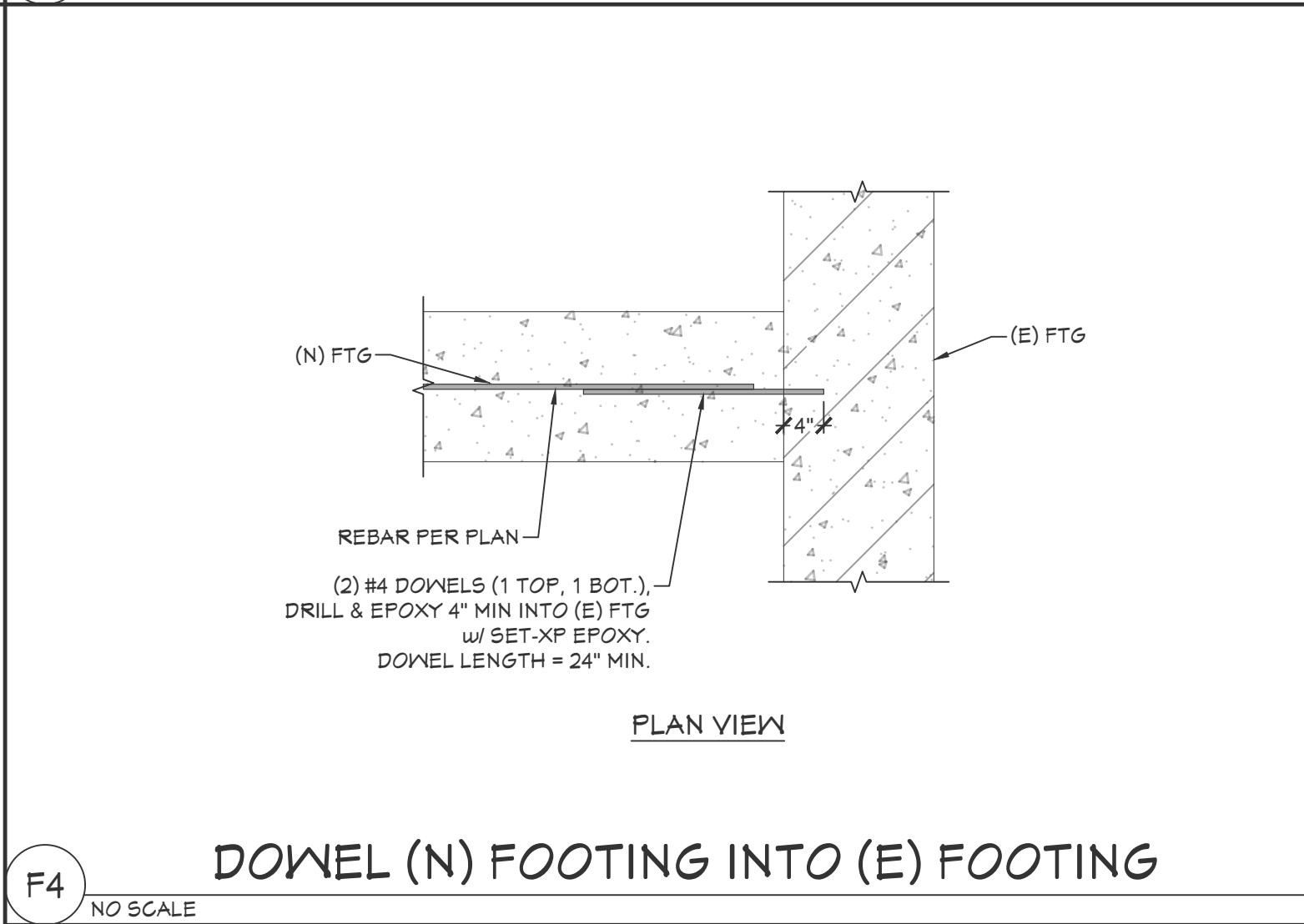
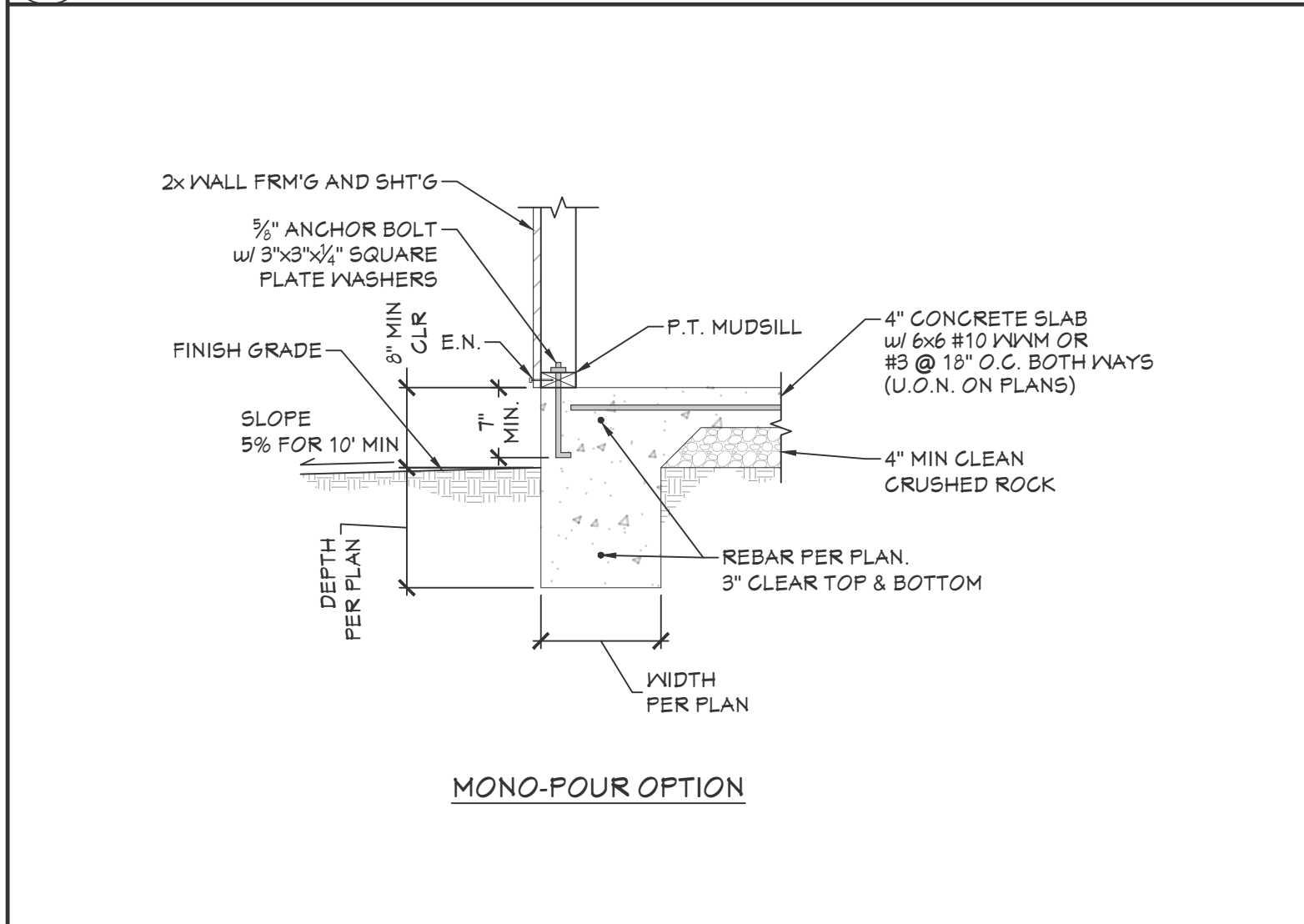
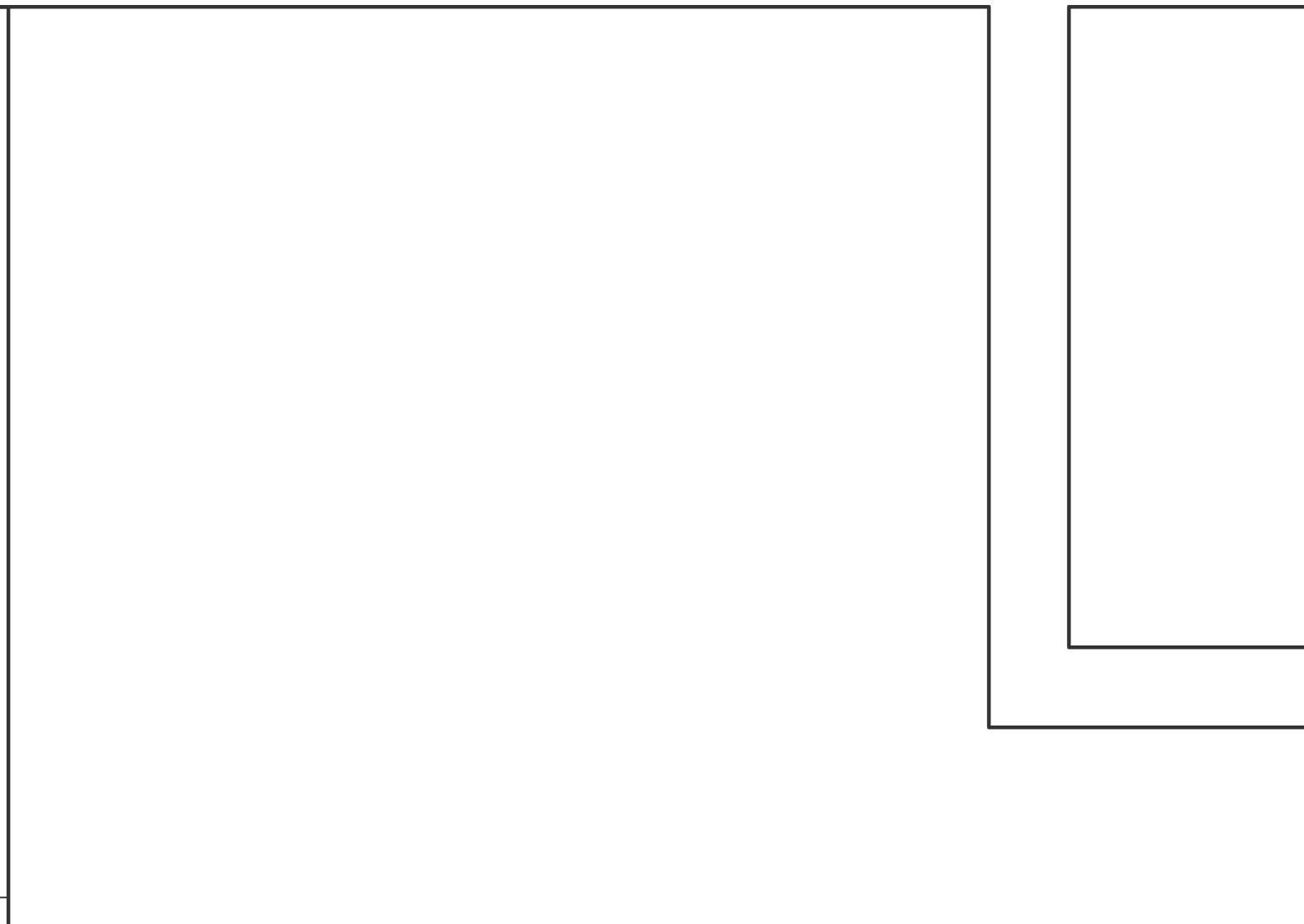
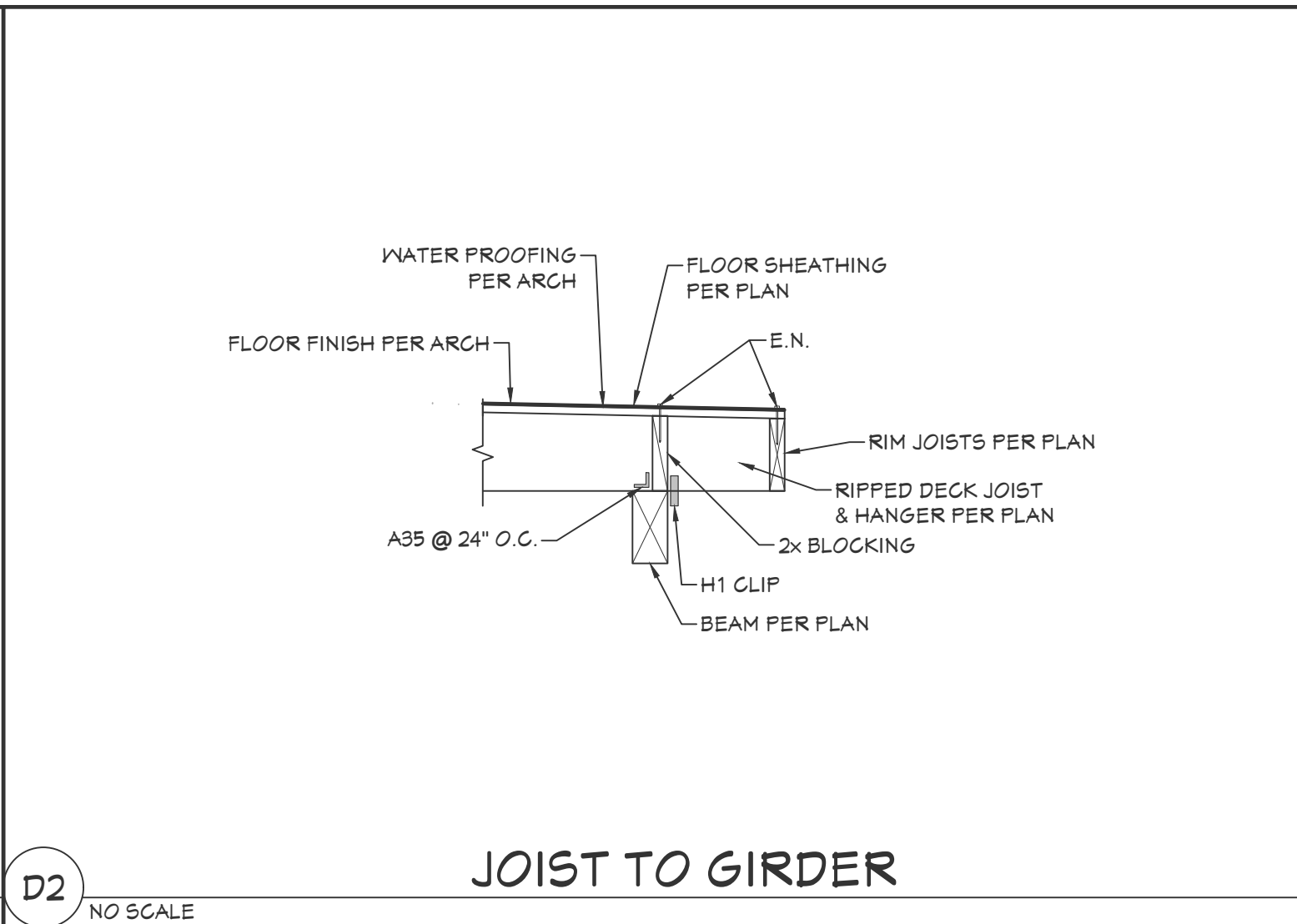
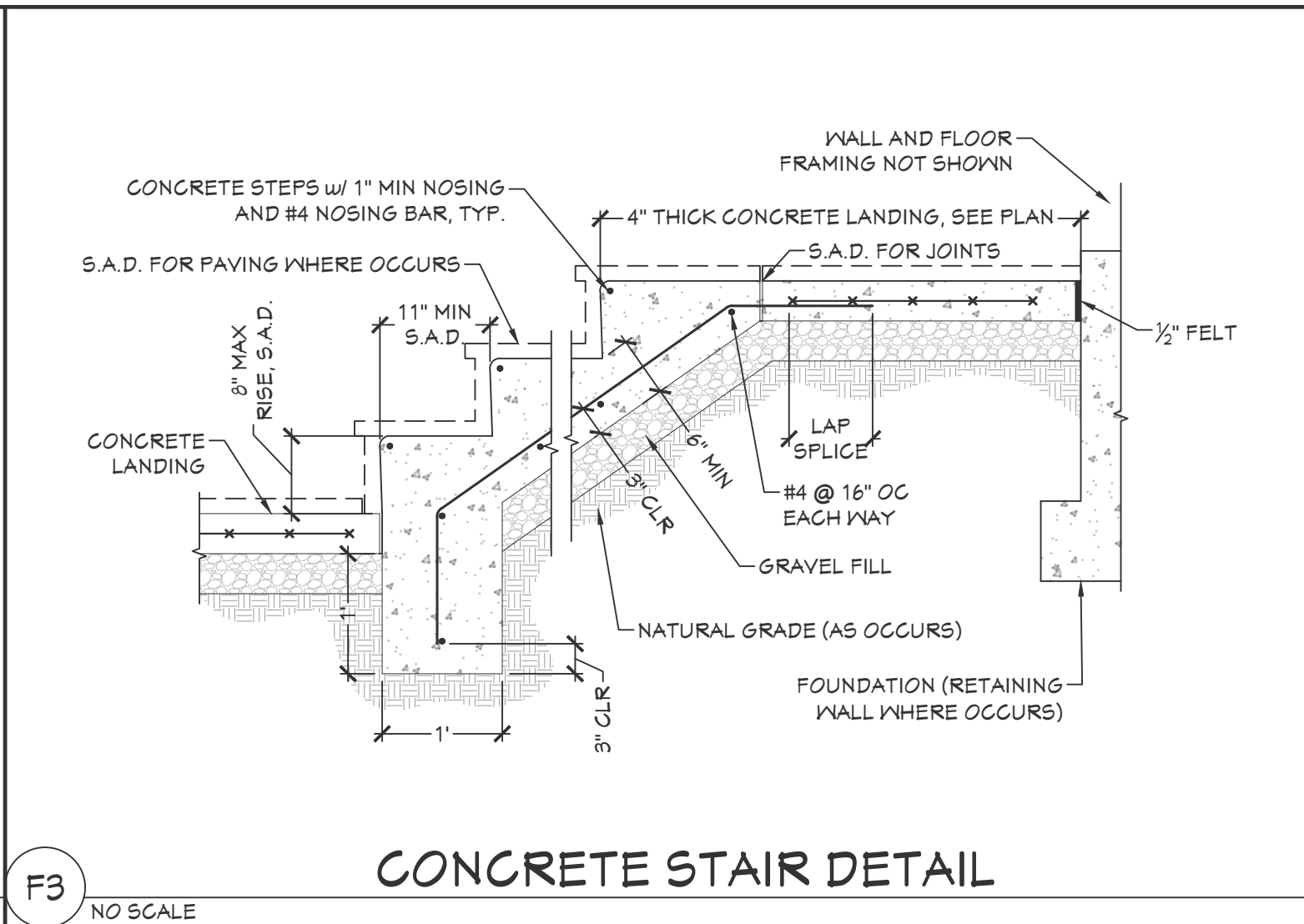
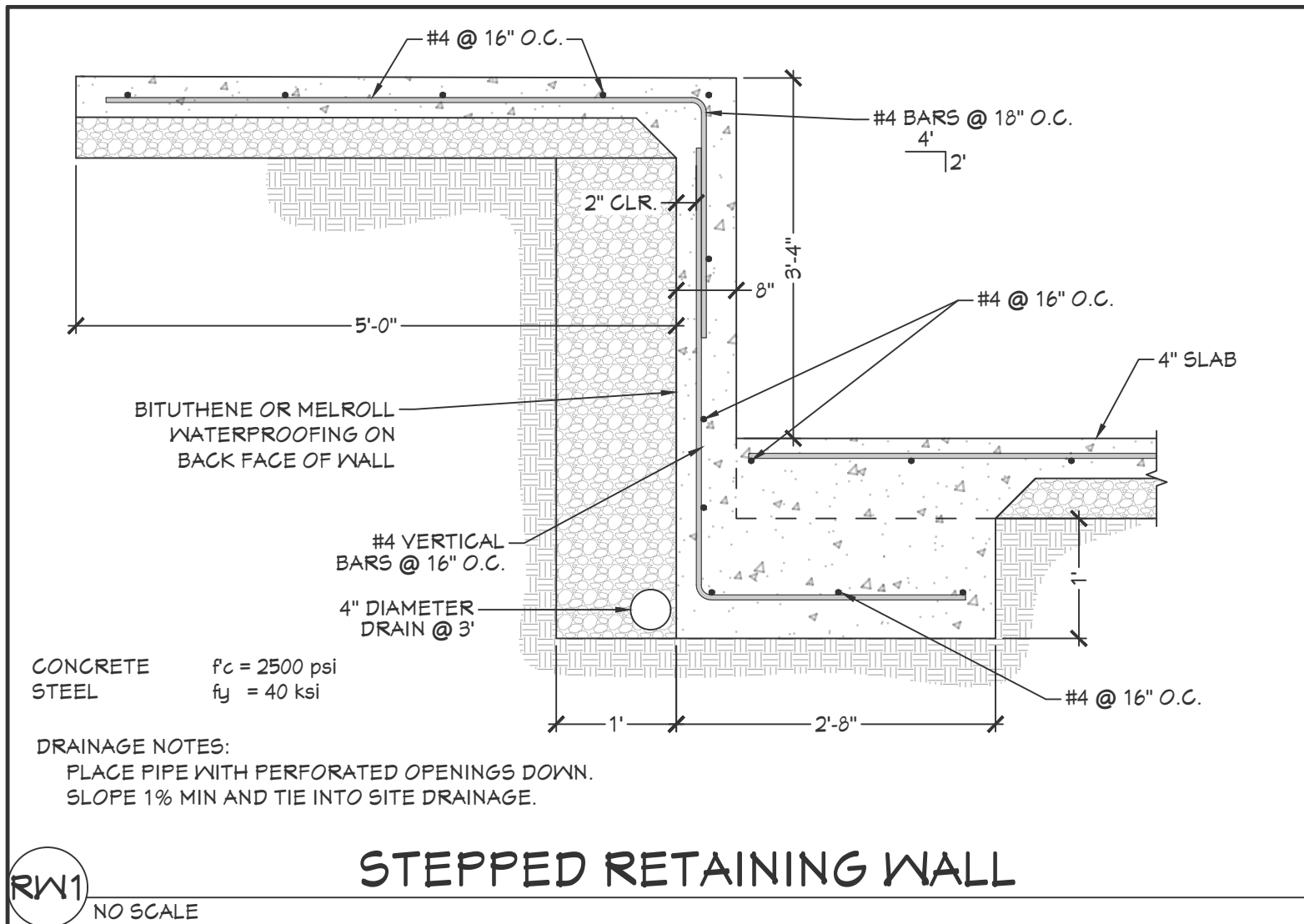


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SHEET #:

S3





**STRUCTURAL DETAILS**  
**CASTALDO DECK**  
**235 CASCADE FALLS DR**  
**FOLSOM, CA**

| REVISIONS |
|-----------|
|           |





[illegible]



LEGEND

- EASEMENT
- SETBACK
- PROPERTY LINE
- STRAW WATTLES
- GB

GRADE BREAK
- FF=100.00

FINISH FLOOR ELEVATION
- EP=100.00

EDGE OF PAVEMENT ELEVATION
- FG=100.00

FINISHED GRADE ELEVATION
- FL=100.00

FLOWLINE ELEVATION

SITE INFORMATION:

OWNER: ADAM CASTALDO  
CONTACT NUMBER: 530-304-0416  
APN: 227-0370-001; 0.35 ACRES  
ZONE: R-1-ML-SINGLE FAMILY; MEDIUM LOT  
SETBACKS: FRONT=; SIDE=; REAR=  
WATER=SAN JUAN WATER DIST; SEWER=SRCSO; FIRE=CITY OF FOLSOM  
AREA OF DISTURBANCE: 1300 SF

SURVEY PROVIDED BY NORTHERN CALIFORNIA GEOMATICS; MARCH 2021.  
THE BOUNDARY SHOWN IS BASED ON THE RESOLUTION SHOWN ON 180  
BM 22. THE ONLY EASEMENTS SHOWN ARE THOSE THAT WERE  
REFERENCED ON SAID MAP. THERE WAS NO TITLE REPORT SUPPLIED  
THEREFORE EASEMENTS OF RECORD MAY EXIST.

CASTALDO SITE PLAN  
235 CASCADE FALLS  
APN: 227-0370-001

CITY OF FOLSOM NOTES:  
GRADING NOTES:

- AN ENCROACHMENT PERMIT IS REQUIRED FOR ALL WORK TO BE DONE WITHIN PUBLIC RIGHTS-OF-WAY OR EASEMENTS, AND FOR CONNECTIONS TO PUBLICLY-OWNED AND MAINTAINED FACILITIES.
- CALL UNDERGROUND SERVICE ALERT (USA) AT 811 OR 800.642.2444, FORTY-EIGHT (48) HOURS PRIOR TO ANY GRADING/EXCAVATION ACTIVITY.
- THE OWNER/CONTRACTOR SHALL NOTIFY CITY OF FOLSOM CONSTRUCTION INSPECTION SERVICES AT 916.355.7210, TWENTY-FOUR (24) HOURS PRIOR TO COMMENCEMENT OF ANY GRADING.
- CONTRACTOR SHALL OBTAIN AN APPROVED WATER METER FROM THE CITY AT THE OWNER'S EXPENSE.
- ALL REFERENCES TO "STANDARD SPECIFICATIONS" SHALL MEAN THE LATEST EDITION OF THE CITY OF FOLSOM STANDARD CONSTRUCTION SPECIFICATIONS AND DESIGN AND PROCEDURES MANUAL.
- DRAINAGE SWALES ARE TO BE CONSTRUCTED PER CITY STANDARD DETAIL.
- CLEARING AND GRUBBING SHALL CONFORM TO THE PROVISIONS OF SECTION 9.1 OF THE STANDARD SPECIFICATIONS.
- ALL EXCAVATION, EMBANKMENT, BACKFILL, ETC., SHALL CONFORM TO THE PROVISIONS IN SECTION 9.2, "EXCAVATION," OF THE STANDARD SPECIFICATIONS.
- CUSTOM HOMES AND/OR SWIMMING POOLS SHALL BE CHALKED OUT ON THE GROUND AND ALL OAK TREES SHALL BE FENCED WITH HIGH VISIBILITY FENCING BEFORE THE PRE-SITE INSPECTION IS SCHEDULED.
- NO WORK SHALL BE DONE UNDER OR WITHIN THE TREE PROTECTION ZONE (TPZ) OF ANY EXISTING TREE WITHOUT A VALID TREE PERMIT.
- GRADING ACTIVITIES SHALL IMPLEMENT EROSION AND DUST CONTROL MEASURES AT ALL TIMES. EROSION CONTROL PLANS SHALL BE SUBMITTED TO THE CITY OF FOLSOM, COMMUNITY DEVELOPMENT DEPARTMENT FOR REVIEW AND APPROVAL.
- THERE SHALL BE NO TRESPASSING OF ANY KIND INTO PUBLIC OR PRIVATE OPEN SPACE AREAS.
- ALL GRADING SHALL BE DONE IN ACCORDANCE WITH THE SOILS REPORT REFERENCE NO. E02059.036, PROVIDED BY YOUNGDAHL CONSULTING GRP, AND DATED JANUARY 2017.
- ALL GRADING INCLUDING COMPACTION, EXCAVATION, PLACEMENT OF FILL MATERIALS, ETC., SHALL BE DONE UNDER THE DIRECTION OF A GEOTECHNICAL ENGINEER.
- THE OWNER/CONTRACTOR SHALL PROVIDE A GRADING REPORT CONSISTING OF THE OBSERVATIONS MADE DURING EARTHWORK OPERATIONS, SIGNED AND STAMPED BY A LICENSED GEOTECHNICAL ENGINEER, PRIOR TO ISSUANCE OF A BUILDING PERMIT FOR THE STRUCTURE. RECOMMENDATIONS PROVIDED IN THE GRADING REPORT SHALL BE COMPLETED PRIOR TO ANY STRUCTURAL IMPROVEMENTS.

EROSION CONTROL NOTES:

- THE PROJECT SHALL CONFORM TO THE FOLSOM MUNICIPAL CODE (FMC) FOR PROTECTION OF SURFACE WATERS AND URBAN RUN-OFF. IN ADDITION, SITES OF ONE ACRE OR MORE SHALL COMPLY WITH THE STATE'S NPDES GENERAL CONSTRUCTION PERMIT.
- THE PROJECT OWNER SHALL DESIGNATE AN EROSION AND SEDIMENT CONTROL (ESC) MANAGER WHO SHALL PROVIDE THEIR NAME, PHONE NUMBER, AND E-MAIL ADDRESS TO THE PUBLIC WORKS STORMWATER QUALITY MANAGER OR THE DESIGNATED CITY INSPECTOR. CHANGES TO THE ESC MANAGER'S CONTACT INFORMATION SHALL PROMPTLY BE REPORTED TO THE PUBLIC WORKS STORMWATER QUALITY MANAGER. THE ESC MANAGER SHALL BE RESPONSIBLE FOR ALL PROJECT PERSONNEL, INCLUDING SUBCONTRACTORS AND MATERIAL SUPPLIERS.
- THE ESC MANAGER SHALL INSPECT AND MAKE NECESSARY CORRECTIONS AND ADJUSTMENTS TO THE STORMWATER CONTROLS ON THE FOLLOWING SCHEDULE: 1) WEEKLY, 2) 48 HOURS PRIOR TO A STORM EVENT PREDICTED BY THE NATIONAL OCEANIC ATMOSPHERIC ADMINISTRATION TO EXCEED 0.10 INCH, 3) DURING A STORM EVENT EXCEEDING 0.10 INCH AND 4) WITHIN 48 HOURS AFTER A STORM EVENT EXCEEDING 0.10 INCH.
- BEST MANAGEMENT PRACTICES (BMPs) DESCRIBED HEREIN AND ON THE APPROVED EROSION CONTROL PLAN ARE THE MINIMUM REQUIRED BMPs TO BE IMPLEMENTED AND MAINTAINED ON THE CONSTRUCTION SITE YEAR ROUND IN ORDER TO COMPLY WITH CHAPTER 8.70 OF THE FMC. ADDITIONAL MEASURES MAY BE REQUIRED AS SITE CONDITIONS DICTATE, THROUGHOUT THE COURSE OF THE WORK, TO ENSURE THAT WATER QUALITY RUN-OFF INTO CITY DRAINAGE FACILITIES IS PROTECTED.
- SEDIMENT CONTROL BMPs SHALL BE INSTALLED AND MAINTAINED YEAR ROUND AND AT A MINIMUM SHALL INCLUDE PERIMETER CONTROLS, DRAIN INLET PROTECTION, AND STABILIZED ACCESS. PUBLIC STREETS AND SIDEWALKS SHALL BE SWEEPED DAILY WHEN VEHICLES ARE ACCESSING THE SITE. WASHING THE STREET SHALL NOT BE PERMITTED UNLESS OTHERWISE APPROVED BY THE CITY.
- THE CONTRACTOR SHALL ANTICIPATE AND ACCOMMODATE ANY RUN-ON FROM NEIGHBORING PROPERTIES, INCLUDING EXISTING WATER COURSES. EXISTING WATER COURSES SHALL BE MAINTAINED IN THEIR ORIGINAL CONDITION, EXCEPT WHERE MODIFICATIONS ARE APPROVED BY THE CITY.
- ALL AREAS DISTURBED DURING CONSTRUCTION SHALL BE PROTECTED FROM EROSION DURING THE WET SEASON. HYDROSEED, IF USED, SHALL BE PLACED ON OR BEFORE SEPTEMBER 15TH. HYDROSEED PLACED AFTER SEPTEMBER 15TH SHALL BE USED WITH A SECONDARY PROTECTION METHOD SUCH AS A MAT OR BLANKET SPECIFICALLY DESIGNED TO FACILITATE GERMINATION AND GROWTH.
- PROTECTED AREAS SHALL BE PROTECTED WITH ORANGE CONSTRUCTION FENCING. ADDITIONAL SIGNAGE MAY BE REQUIRED TO IDENTIFY THE RESOURCE BEING PROTECTED AND/OR PROVIDE ADDITIONAL INSTRUCTIONS TO CONSTRUCTION PERSONNEL.
- CEMENTITIOUS, PAINT, WASTE, AND HAZARDOUS MATERIALS SHALL BE HANDLED, COVERED, AND/OR STORED PROPERLY TO AVOID SPILLS, LEAKAGE, AND CONTACT WITH RAIN OR STORMWATER RUNOFF.
- UPON COMPLETION OF THE PROJECT, ALL BMP'S SHALL BE REMOVED ONCE LANDSCAPING IS INSTALLED AND FUNCTIONING TO THE SATISFACTION OF THE CITY.
- VIOLATIONS OF THE FMC 8.70 MAY RESULT IN STOP WORK NOTICES, FINES, AND/OR DELAY IN CITY INSPECTIONS OF THE PROJECT IMPROVEMENTS.

| EARTHWORK                                                                                                                  |      |                |
|----------------------------------------------------------------------------------------------------------------------------|------|----------------|
| CUT                                                                                                                        | FILL | IMPORT/EXPORT* |
| 0 CY                                                                                                                       | 0 CY | 0 CY           |
| *NO EARTHWORK IS REQUIRED FOR THIS PROJECT OTHER THAN FOOTING CONSTRUCTION. NO IMPORT/EXPORT SHALL BE A PART OF THIS PLAN. |      |                |

CASTALDO SITE PLAN

235 CASCADE FALLS DR, FOLSOM, CA  
APN: 227-0370-001

SCALE: 1"=10'



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FILE NO: 22-009  
DATE: FEB 2022

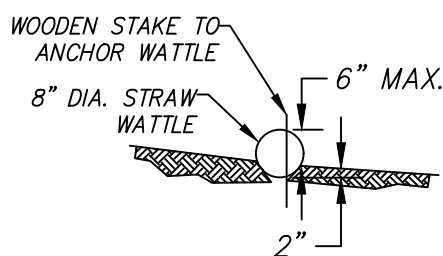
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APN:  
227-0420-024

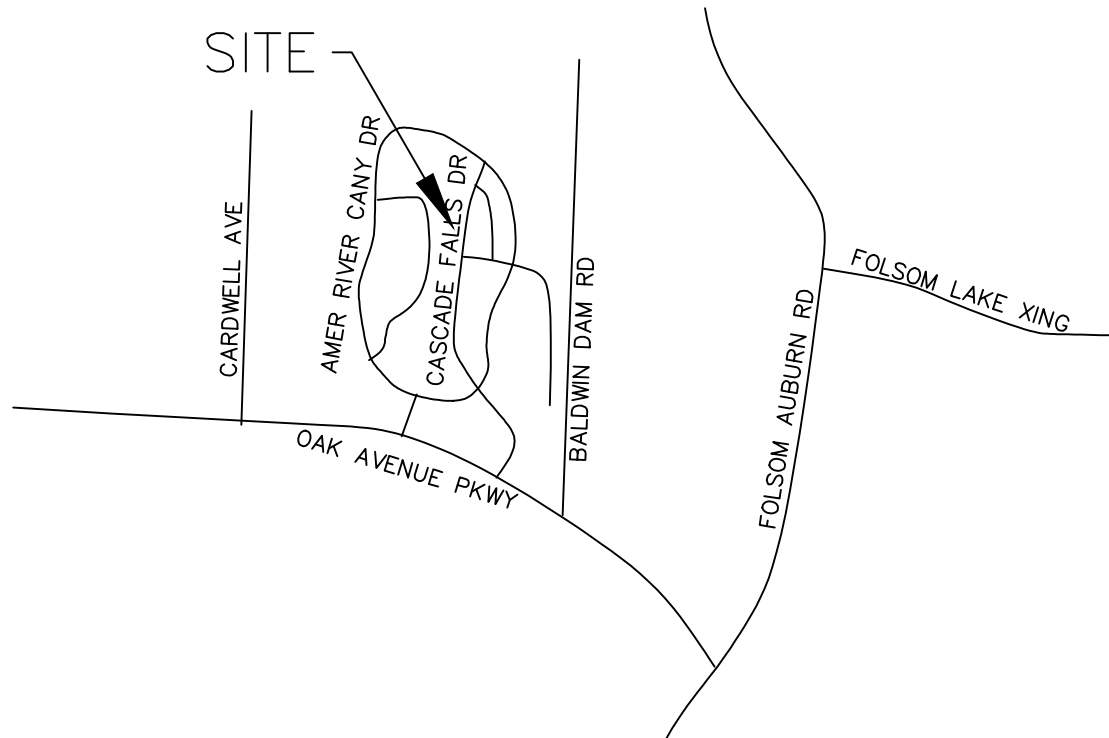
APN:  
227-0370-002

APN:  
227-0320-001

CASCADE FALLS DRIVE



STRAW WATTLE DETAIL  
NTS



VICINITY MAP  
NTS

