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ARCHITECTURAL FLOOR CASTALDO DECK 235 CASCADE FALLS D FOLSOM CA

- ELEVATIONS AND ARCHITECTURAL SECTION

SQUARE FOOTAGE SUMMARY

2019 CRC 2019 CMC 2019 IEBC 2019 CGBSC 2019 CPC 2019 CEC 2019 CBEES

2019 CEBC 2019 CBC







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PATIO SLAB 0' - 0"



UPPER DECK 19' - 4"

MAIN DECK 10' - 8"

PATIO SLAB 0' - 0"











3 MAIN DECK ELECTRICAL







LIGHTING REQUIREMENTS:

NOTE: ALL NEW LIGHTING TO BE LED, U.O.N.

- TO ALL GU-24 LEDS AND RECESSED LUMINARIES.)
- CONTROL SYSTEM. 150 (k)3.
- 5.

ELECTRICAL NOTES:

- 2.
- LEVEL OF DWELLING
- PROVIDE DISCONNECT FOR A/C UNIT
- CIRCUIT.
- CONTROLLED BY A VACANCY SENSOR.
- 9 INSULATED PER CEC SECTION 150.0 (j)2.vi.
- AND NOT OVER 50' FROM THE UNIT.
- 15.
- ROOMS, DENS, BEDROOMS, OR SIMILAR ROOMS.





EXHAUST FAN SMOKE DETECTOR CARBON MONOXIDE DETECTOR _____ LED STRIP LIGHT



ALL INSTALLED LUMINARIES SHALL BE HIGH-EFFICACY IN ACCORDANCE W/ TABLE 150.0-A.

2. ALL LUMINARIES REQUIRED TO HAVE LIGHT SOURCE COMPLIANT W/ REFERENCE JOINT APPENDIX JA8, EXCEPT HALLWAYS & CLOSETS OVER 70 sf, SHALL BE CONTROLLED BY DIMMERS OR VACANCY SENSORS. (THIS APPLIES

IN BATHROOMS, GARAGES, LAUNDRY ROOMS, AND UTILITY ROOMS, AT LEAST ONE LUMINARY IN EACH OF THESE SPACES SHALL BE CONTROLLED BY A VACANCY SENSOR.

4. OUTDOOR LIGHTING: ALL OUTDOOR LIGHTING SHALL BE CONTROLLED BY A MANUAL ON AND OFF SWITCH THAT DOES NOT OVERRIDE TO ON AND ONE OF THE FOLLOWING: CONTROLLED BY PHOTOCELL AND MOTION SENSOR, PHOTO CONTROL AND AUTOMATIC SWITCH CONTROL, ASTRONOMICAL TIME CLOCK, OR ENERGY MANAGEMENT

LUMINARIES RECESSED INTO CEILING SHALL MEET ALL OF THE FOLLOWING PER 150.0 (K)1C: LISTED FOR ZERO CLEARANCE INSULATION, LABELED THAT CERTIFIES THE LUMINARY IS AIRTIGHT WITH A LEAKAGE LESS THAN 2.0CFM AT 75 PASCALS, SEALED WITH A GASKET OR CAULK, ALLOW REPLACEMENT AND MAINTENANCE TO BE READILY ACCESSIBLE FROM BELOW THE CEILING WITHOUT CUTTING HOLES IN THE CEILING, SHALL NOT CONTAIN SCREW BASE SOCKETS; AND SHALL CONTAIN LIGHT SOURCES THAT COMPLY WITH JA8.

UNDER CABINET LIGHTING SHALL BE SWITCHED SEPARATELY THAN FROM OTHER LIGHTING SYSTEM. 150.0(k)2L.

1. SMOKE DETECTORS / CARBON MONOXIDE DETECTORS PER R314 / R315 SHALL BE INTERCONNECTED, HARDWIRED AND WITH BATTERY BACK-UP. SMOKE DETECTORS TO BE LOCATED AT LEAST 24" FROM RETURN AIR REGISTERS AND AIR DUCTS. WALL MOUNTED UNITS TO BE WITHIN 12" OF CEILING AND LISTED BY THE STATE FIRE MARSHALL FOR WALL MOUNTING. PROVIDE ONE SMOKE DETECTOR IN EACH SLEEPING AREA. CARBON MONOXIDE/SMOKE DETECTORS SHALL BE PROVIDED OUTSIDE EACH SLEEPING AREA AND AT EACH

PROVIDE SWITCHED LIGHT AND OUTLET AT ATTIC CRAWL

ALL 120-VOLT, SINGLE PHASE, 15 - & 20-AMP BRANCH CIRCUITS SUPPLYING OUTLETS INSTALLED IN DWELLING UNIT KITCHEN, DINING ROOM, FAMILY ROOM, LIVING ROOM, PARLORS, LIBRARIES, DENS, BEDROOM, SUNROOMS, REC ROOMS, CLOSETS, LAUNDRY ROOMS, HALLWAYS AND SIMILAR ROOMS SHALL BE PROTECTED BY A LISTED ARC-FAULT CIRCUIT INTERRUPTER, COMBINATION TYPE, INSTALLED TO PROVIDE PROTECTION OF THE BRANCH

AT LEAST ONE LUMINAIRE IN THE BATHROOMS, GARAGES, LAUNDRY ROOMS, AND UTILITY ROOMS SHALL BE

CEILING FAN LOCATIONS USE ONLY CEC APPROVED ELECTRICAL BOXES RATED FOR SUPPORTING CEILING FANS. PROVIDE 50 CFM FOR ALL BATHROOM FANS AND 100 CFM FOR THE KITCHEN EXHAUST FAN PER THE ENERGY FORM MF-1R MEASURE 150(0) ANSI/ASHARE STANDARD 62.2. FANS MUST BE 3 SONE OR LESS.

ALL NEW 125-VOLT, 15 AND 20 AMP RECEPTACLES IN THE DWELLING UNIT SHALL BE TAMPER RESISTANT. 10. 10. ALL NEW HOT WATER SUPPLY PIPING FROM THE HEATING SOURCE TO THE KITCHEN FIXTURES SHALL BE

11. ALL 15 OR 20 AMP, 125 OR 250 VOLT RECEPTACLES INSTALLED OUTDOORS IN WET LOCATIONS MUST BE LISTED WEATHERPROOF TYPE WHEN THE PLUG IS OR IS NOT INSERTED.

12. BRANCH CIRCUITS SERVICING GARAGE RECEPTACLES SHALL NOT SERVE OUTLETS OUTSIDE OF THE GARAGE. 13. AT THE AC EQUIPMENT, ELECTRICAL DISCONNECTS FOR EQUIPMENT SHALL BE WITHIN SIGHT OF THE EQUIPMENT

14. A GROUND FAULT CIRCUIT INTERRUPTER (GFCI) IS REQUIRED FOR ALL 15 AND 20-AMP RECEPTACLES INSTALLED IN BATHROOMS, GARAGES, INCLUDING THE GARAGES, INCLUDING THE GARAGE DOOR OPENER RECEPTACLE, ACCESSORY BUILDINGS, OUTDOORS, IN UNFINISHED BASEMENTS, UNDER-FLOOR AREAS, LAUNDRY, UTILITY, AND KITCHEN COUNTER TOPS AND WITHIN 6' OF A BAR SINK.

RECEPTACLES SHALL BE INSTALLED SO THAT NO POINT MEASURED HORIZONTALLY ALONG THE FLOOR LINE IN ANY WALL SPACE IS MORE THAN 6' FROM A RECEPTACLE OUTLET. WALL SPACES GREATER THAN 2' IN WIDTH AND UNBROKEN ALONG THE FLOOR LINE BY OPENINGS OR FIREPLACES SHALL BE PROVIDED WITH A RECEPTACLE. THESE RECEPTACLES SHALL BE PROVIDED IN KITCHENS, FAMILY ROOMS, DINING ROOMS, LIVING

16. AT LEAST ONE 120-VOLT, 20-AMPERE BRANCH CIRCUIT SHALL BE PROVIDED TO SUPPLY BATHROOMS & LAUNDRY ROOM OUTLETS WHICH SHALL HAVE NO OTHER OUTLETS.





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COVERED PATIO (LOWER LEVEL) STRUCTURAL FLOOR PLAN

SCALE 1/4" = 1'-0"



SCALE 1/4" = 1'-0"













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FOUNDATION PLAN

SCALE 1/4" = 1'-0"



SEE SHEET SN1 FOR SHEARWALL SCHEDULE, HOLDOWN LEGEND AND ALL OTHER STRUCTURAL SPECIFICATIONS 52







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- CONSTRUCTION SHALL CONFORM TO ALL APPLICABLE CODES AND REGULATIONS.
- SHOP DRAWING NOTE: A) SHOP DRAWINGS SHALL BE SUBMITTED IN THE FORM OF ELECTRONIC OR HARD COPIES OF EACH SHEET.
- B) THE PURPOSE OF SHOP DRAWING SUBMITTALS BY THE CONTRACTOR IS TO DEMONSTRATE TO THE STRUCTURAL ENGINEER THAT HE UNDERSTANDS THE DESIGN CONCEPT BY INDICATION WHICH MATERIALS HE INTENDS TO FURNISH AND INSTALL, AND BY DETAILING THE FABRICATION AND INSTALLATION METHODS HE INTENDS TO USE.
- C) PRIOR TO FABRICATION, SHOP DRAWINGS SHALL BE SUBMITTED FOR REVIEW TO THE STRUCTURAL ENGINEER. SHOP DRAWING SUBMITTALS SHALL INCLUDE, BUT ARE NOT NECESSARILY LIMITED TO STRUCTURAL STEEL, AND PRE-FABRICATED WOOD ROOF FRAMING ITEMS SUCH AS TRUSSES. D) PRIOR TO SUBMISSION THE CONTRACTOR SHALL REVIEW ALL SUBMITTALS FOR CONFORMANCE WITH
- THE CONTRACT DOCUMENTS AND SHALL STAMP SUBMITTALS AS BEING "REVIEWED FOR CONFORMANCE." E) SHOP DRAWING SUBMITTALS PROCESSED BY THE STRUCTURAL ENGINEER ARE NOT CHANGE ORDERS.
- F) ANY DETAIL ON THE SHOP DRAWING THAT DEVIATES FROM THE CONTRACT DOCUMENTS SHALL CLEARLY BE MARKED WITH THE NOTE "THIS IS A CHANGE"
- G) SHOP DRAWINGS OR CALCULATIONS SUBMITTED FOR REVIEW THAT REQUIRE RESUBMITTAL FOR RE-REVIEW SHALL BE BILLED HOURLY FOR SUCH TIME TO THE GENERAL CONTRACTOR. RE-REVIEW WILL NOT PROCEED WITHOUT WRITTEN APPROVAL FROM THE GENERAL CONTRACTOR FOR ADDITIONAL ENGINEERING REVIEW SERVICES.
- SAFETY NOTE:
- A) IT IS THE CONTRACTORS RESPONSIBILITY TO COMPLY WITH THE PERTINENT SECTIONS. AS THEY APPLY TO THIS PROJECT, OF THE "CONSTRUCTION SAFETY ORDERS" ISSUED BY THE STATE OF CALIFORNIA LATEST EDITION, AND ALL OSHA REQUIREMENTS.
- B) THE OWNER AND THE STRUCTURAL ENGINEER DO NOT ACCEPT ANY RESPONSIBILITY FOR THE CONTRACTOR'S FAILURE TO COMPLY WITH THESE REQUIREMENTS.
- C)THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADEQUATE DESIGN AND CONSTRUCTION OF ALL FORMS AND SHORING REQUIRED THE CONTRACTOR SHALL NOTIFY THE ARCHITECT AND STRUCTURAL ENGINEER WHERE A CONFLICT OR A
- DISCREPANCY OCCURS BETWEEN THE STRUCTURAL DRAWINGS AND ANY OTHER PORTION OF THE CONTRACT DOCUMENTS OR EXISTING FIELD CONDITIONS. SUCH NOTIFICATION SHALL BE GIVEN IN DUE TIME SO AS NOT TO AFFECT THE CONSTRUCTION SCHEDULE. IN CASE OF A CONFLICT BETWEEN STRUCTURAL DRAWINGS AND SPECIFICATIONS, THE MORE RESTRICTIVE SHALL GOVERN. CONTRACTOR SHALL VERIFY ALL DIMENSIONS WITH ARCHITECTURAL AND STRUCTURAL DRAWINGS PRIOR TO COMMENCING ANY WORK.
- WHERE NO SPECIFIC DETAIL IS SHOWN, THE CONSTRUCTION SHALL BE IDENTICAL OR SIMILAR TO THAT INDICATED FOR LIKE CASES OF CONSTRUCTION ON THIS PROJECT. SHOULD THERE BE ANY QUESTION, CONTACT THE ARCHITECT AND STRUCTURAL ENGINEER PRIOR TO PROCEEDING.
- WHEN CONSTRUCTION ATTACHES TO AN EXISTING BUILDING, A COMPLETE SET OF DRAWINGS OF THE EXISTING BUILDING SHALL BE KEPT ON THE JOB SITE. CONTRACTOR TO OBTAIN THESE DRAWINGS FROM THE OWNER.
- CONTRACTOR SHALL PROVIDE AN ALLOWANCE EQUAL TO 2% OF THE BID FOR STRUCTURAL STEEL, MISC. IRON AND REINFORCING STEEL TO BE USED AT THE DISCRETION OF THE STRUCTURAL ENGINEER. UNUSED AMOUNT TO REVERT TO THE OWNER UPON COMPLETION OF THE JOB.
- ANY SUBSTITUTIONS FOR STRUCTURAL MEMBERS, HARDWARE, OR DETAILS SHALL BE REVIEWED BY THE ARCHITECT AND STRUCTURAL ENGINEER. SUCH REVIEW WILL BE BILLED ON A TIME AND MATERIALS BASIS TO THE GENERAL CONTRACTOR WITH NO GUARANTEE THAT THE SUBSTITUTION WILL BE ALLOWED. DO NOT SCALE DRAWINGS. CONTACT THE ARCHITECT OR STRUCTURAL ENGINEER FOR ANY DIMENSIONS
- NOT SHOWN. 10. THESE DRAWINGS ARE NOT COMPLETE UNTIL REVIEWED AND ACCEPTED BY LOCAL BUILDING OFFICIALS AND APPROVED BY THE OWNER.
- 11. ALL DRAWINGS AND WRITTEN MATERIAL APPEARING HEREIN CONSTITUTES THE ORIGINAL AND UNPUBLISHED WORK OF THE STRUCTURAL ENGINEER AND THE SAME MAY NOT BE DUPLICATED, USED OR DISCLOSED WITHOUT WRITTEN CONSENT OF THE STRUCTURAL ENGINEER.
- 12. THE STRUCTURE SHOWN ON THESE DRAWINGS IS STRUCTURALLY SOUND ONLY IN ITS COMPLETED FORM. THE STABILITY OF THIS STRUCTURE DEPENDS ON THE DIAPHRAGMS AND THE BRACING MEMBERS SHOWN. THE CONTRACTOR IS TO PROVIDE FOR THE DESIGN AND CONSTRUCTION OF SHORING FOR ALL EARTH FORMS, CONCRETE, STEEL, WOOD, AND MASONRY TO RESIST GRAVITY, EARTH, WIND, SEISMIC, AND CONSTRUCTION LOADS. SHORING SHALL REMAIN IN PLACE UNTIL ALL DIAPHRAGMS AND LATERAL RESISTING ELEMENTS ARE IN PLACE IN THE ENTIRETY.

DEMOLITION

- SAFETY NOTES: A) IT IS THE CONTRACTOR'S RESPONSIBILITY TO COMPLY WITH THE PERTINENT SECTIONS, AS THEY APPLY TO THIS PROJECT, OF THE "CONSTRUCTION SAFETY ORDERS" ISSUED BY THE STATE OF
- CALIFORNIA, LATEST EDITION, AND ALL OSHA REQUIREMENTS. B) THE STRUCTURAL ENGINEER AND OWNER DO NOT ACCEPT ANY RESPONSIBILITY FOR THE
- CONTRACTOR'S FAILURE TO COMPLY WITH THESE REQUIREMENTS. SHORE OR BRACE TRUSSES, BEAMS COLUMNS AND WALL AS REQUIRED TO MAINTAIN THE STABLE INTEGRITY OF THE EXISTING STRUCTURE PRIOR TO DEMOLITION. IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO DESIGN AND PROVIDE COMPETENT SHORING AND BRACING FOR ALL LOADS
- IMPOSED DURING AND AFTER DEMOLITION THROUGH COMPLETION OF NEW CONSTRUCTION. ALL DIMENSIONS GIVEN TO AND OF THE EXISTING STRUCTURE ARE APPROXIMATE. VERIFY BY FIELD MEASUREMENTS THE DIMENSIONS OF THE EXISTING STRUCTURE. WHERE ACTUAL CONDITIONS DEVIATE FROM THE DETAILS SHOWN ON THE DRAWINGS, NOTIFY THE STRUCTURAL ENGINEER FOR INSTRUCTIONS PRIOR TO PROCEEDING WITH WORK.
- DEMOLITION AND REMOVAL OF EXISTING CONSTRUCTION SHALL BE MADE IN SUCH A MANNER AS TO AVOID OR MINIMIZE DAMAGE TO ADJACENT CONSTRUCTION.
- EXTENT OF DEMOLITION IS TO BE AS INDICATED ON PLANS, SECTIONS AND DETAILS. DEMOLITION IS TO INCLUDE REMOVAL AND DISPOSAL CONSTRUCTION.

FOUNDATIONS

FOUNDATION DESIGN IS BASED ON 2019 CBC TABLE 1806.2. FOUNDATION DEPTHS INDICATED ON PLANS ARE MINIMUMS. WHEN STRUCTURAL OBSERVATION IS REQUIRED, STRUCTURAL ENGINEER SHALL OBSERVE FOOTING REINFORCING STEEL PRIOR TO CONCRETE PLACEMENT. PROVIDE 48 HOURS NOTICE TO STRUCTURAL ENGINEER PRIOR TO CONCRETE PLACEMENT. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL EXCAVATION PROCEDURES INCLUDING BUT NOT LIMITED TO, LAGGING, SHORING AND PROTECTING OF ADJACENT PROPERTY, STRUCTURES, STREETS, AND UTILITIES IN ACCORDANCE WITH THE LOCAL BUILDING DEPARTMENT. FOUNDATION TYPE: CONVENTIONAL SPREAD FOOTINGS DESIGN VALUES: ALLOWABLE BEARING PRESSURES DL + LL 1500 PSF LATERAL RESISTANCE PASSIVE PRESSURE 300 psf PER FOOT OF DEPTH COEFFICIENT OF FRICTION 0.30

CONCRETE

- 1. STRUCTURAL CONCRETE SHALL ATTAIN 28-DAY COMP
- 2. ALL CONCRETE MIX SHALL BE READY-MIX IN ACCORDA 3. CEMENT SHALL CONFORM TO ASTM C-150 TYPE I OR II.
- 4. WATER SHALL BE CLEAN AND FREE FROM OILS, ACIDS, SUBSTANCES DELETERIOUS TO CONCRETE OR REINFO
- 5. CONCRETE AGGREGATES SHALL CONFORM TO ASTM C
- SHALL CONFORM TO ASTM C-330
- REINFORCING STEEL SHALL CONFORM TO ASTM A615-0 A615-GRADE 40 FOR #4 AND SMALLER, EXCEPT REINFO
- ASTM A706. 7. WELDED WIRE FABRIC SHALL CONFORM TO ASTM A-18
- 8. REINFORCING STEEL SHALL BE FABRICATED ACCORDIN REINFORCED CONCRETE CONSTRUCTION".
- 9. ALL PREHEATING AND WELDING OF REINFORCING BAR LATEST EDITION AND SHALL BE CONTINUOUSLY INSPEC CONTRACTOR SHALL FURNISH REBAR MILL CERTIFICAT 10. MINIMUM CLEAR CONCRETE COVER FOR REINFORCING OTHERWISE:

CAST AGAINST EARTH = 3" CAST IN FORMS AND EXPOSED TO EARTH OR WEATHER #6 & LARGER = 2" #5 & SMALLER = $1\frac{1}{2}$ " NOT EXPOSED TO EARTH OR WEATHER

- SLAB, WALLS, JOISTS = $1\frac{1}{2}$ " BEAMS, COLUMNS, GIRDERS = 1%"
- 11. ALL REINFORCEMENT SHALL BE CONTINUOUS. STAGG
- BE PER THE TYPICAL DETAILS, UNLESS NOTED OTHER
- 12. PROVIDE CONSTRUCTION JOINTS AS INDICATED ON TH CONSTRUCTION JOINTS SHALL BE THOROUGHLY CLEAN
- ON DRAWINGS ROUGHEN CONCRETE SURFACE TO $\frac{1}{4}$ ", 13. PIPES AND ELECTRICAL CONDUITS SHALL NOT BE EMBI
- FILL OVER METAL DECKING EXCEPT WHERE SPECIFICA
- 14. REINFORCING, DOWELS, BOLTS, ANCHORS,, SLEEVES,
- SECURELY POSITIONED IN FORMS BEFORE PLACING C 15. MAXIMUM FREE FALL OF CONCRETE SHALL BE 6'-0".
- 16. ALL CONCRETE AND "NON-METALLIC" GROUT SHALL BE AND THOROUGHLY WORKED AROUND REINFORCEMEN
- 17. PLACE NON-SHRINK GROUT UNDER BASE PLATES, SILL NON-SHRINK GROUT SHALL BE MASTERFLOW 928 GROU
- APPROVED EQUAL WITH A MINIMUM fc OF 750 psi @ 28 1 18. CONCRETE STRENGTHS:

			MAX
CLASS	USE	fc @ 28 DAYS	
A	FOUNDATIONS	2500 psi	

SHEARMALL SCHEDULE

SHEARMALL TYPE	MAXIMUM SHEAR (plf)	EDG NAILI (EN
SM0 ¹¹	100	8d @
5M1	260	8d @
SM2	350	8d @
SM3	490	8d @
S1/14	600	8d @
SM5	760	8d @
SM6	980	8d @
NOTES 1. STUD SI 2. ALL NAI	PACING IS 16 LS INTO PRE	5" MAX (

GALVANIZED

- 3. ALL NAILS INTO SHEATHING 8d = 2-½"×0.131" DIAM
- 10d = 3"×0.148" DIAME 4. ALL NAILS INTO SOLE PLATE
- $16d = 3 \frac{1}{2}$ "x0.135 DIAM
- 5. SOLE PLATE NAILING SHALL
- RIM WHERE SPACING IS LESS
- 6. HARDWARE SPECIFIED IS IN TOP PLATE LOCATION

HOLDOWN LEGEND

SYMBOL	SYMBOL HOLDOWN CAPACITY FRAM		MINIMUM FRAMING	ANCHOR BOLT AT		ALL-THREAD ANCHOR BOLT AT EXISTING FOOTING* (Gr. A36)			
	עו		MEMBER ¹	NEW FOOTING ^{2,0} ,	EMBEDMENT	DIAMETER	MIN FOOTING WIDTH & DEPTH ^{8,9}	EMBEDMENT	EPOXY ¹⁰
\bigtriangledown	HDU2-3	3075	DBL 2×	SSTB20	17"	5⁄8"	8"×12"	8"	SET-XP
•	HDU4-3	4565	DBL 2×	SSTB24	21"	5⁄8"	12"×24"	8"	SET-XP
\bigcirc	HDU5-3	5645	DBL 2×	SB5/8×24	18"	5⁄8"	12"×24"	10"	SET-XP
\bigcirc	HDU8-3.5	6970	4×	SSTB28	25"		$\langle / \rangle \langle \rangle$	\square	
A	HDU8-4.5	078T	TRIPLE 2×	SSTB36	29"				
¥	HDU11-5.5	9535	6×6	SB1×30⁵	24"	\bigvee			
¥	HDU14-5.5	14445	6×6	1" ATR⁵	12" ⁵			\square	

NOTES

- STAGGERED VERTICALLY
- SILL PLATE IS USED
- BOLT LOCATIONS 4. PROVIDE 3" MIN CLEARANCE AT THE BOTTOM OF ANCHOR, WIDEN FOOTING AS
- NEEDED

STRAP LEGEND

		MINIMUM	CAPA	
SYMBOL	STRAP ID	FRAMING	FASTEN	
		MEMBER	10"	
	MGT27		2710#	
	Matar	DDL 2X	22-16d	
	MGTAG		4205#	
	19140		34-16d	
\square	MGTGO		6235#	
	METEO	DDL 2X	46-16d	
	NC TTO		6730#	
	M5112	DDL 2X	62-16d	
NOTES				

*SPECIAL INSPECTION IS REQUIRED PRIOR TO AND DURING INSTALLATION OF POST-INSTALLED TENSION ANCHORS. DRILL HOLE ½" LARGER THAN ANCHOR DIAMETER. HOLE MUST BE CLEANED, BRUSHED, AND BLOWN PRIOR TO 18" DEEP MIN FOOTING. USE 2-1/2" \times 3/8" THICK MIN PLATE 6. EMBEDMENT GIVEN IS INTO FIRST POUR FOR TWO-POUR CONDITION INSTALLATION. DESIGN CRITERIA 1. THESE CODES/STANDARDS APPLY: CITY (Ibs) AND TOTAL NUMBER OF $S_{s}=0.418g$ $S_{DS}=0.408g$ NERS² AT VARIOUS FLOOR DEPTHS 2019 CRC 2019 CPC 2019 CBC $S_1 = 0.214g$ $S_{DI} = NULL$ SEISMIC DESIGN CATEGORY = D 2019 CEC 2019 CEBC 2019 CMC N/A 14-16d 2019 CBEES 2019 IEBC R= 6.5 (MOOD SHEATHED SHEAR WALLS) 2019 CGBSC, EXCEPT PART 11, TITLE 24 N/A 26-16d 5240[#] 4605# 4. WIND DESIGN LOAD: 2. DESIGN LIVE LOADS: SIMPLIFIED PROCEDURE AREA LIVE LOAD TRELLIS V= 95 MPH 5 psf FLOOR EXPOSURE = C 40 psf DECK 60 psf 3. EARTHQUAKE DESIGN LOADS: STITCH NAIL DF STUDS WITH (2) ROWS OF 16d @ 12" O.C. STAGGERED VERTICALLY SIMPLIFIED EQUIVALENT LATERAL FORCE NAILS: 16d = 0.162" DIAMETER $\times 3\frac{1}{2}"$ LONG 3. OK TO INSTALL STRAPS OVER SHEATHING PROCEDURE

WEEK OF CURING.

			WOOD					STR		
RESSIVE STRENGTH , NCE WITH ASTM-C94	AS REQUIRE:	D IN NOTE #18	1. ALL SA (MCLI)	1. ALL SAWN LUMBER SHALL BE DOUGLAS FIR-LARCH AS GRADED BY THE WEST COAST LUMBER INSPECTION BUREAU (WCLIB) IN ACCORDANCE WITH STANDARD GRADING RULES NO. 17 TYPICAL UNLESS NOTED OTHERWISE. ALL						
, ALKALIS, SALTS. OR	GANIC MATE	RIALS OR OTHER	MEMB 2. ALL S ⁻	MEMBERS SHALL HAVE A MINIMUM GRADE OF NO.1 EXCEPT 2x & 4x MEMBERS MAY BE NO. 2. 2. ALL STRUCTURAL SHEATHING USED FOR SHEARWALLS AND ROOF SHEATHING SHALL BE MANUFACTURED IN						
DRCEMENT.			ACCO	RDANCE WITH PRODUC	CT STANDARDS OF AP					
2-55. AGGREGATES P	ORLIGHTME	IGHT CONCRETE	OR SIL	LS ON CONCRETE OR	MASONRY FOUNDATIC	2 SLAB MAICH ARE IN 2NS, SHALL BE PRES	SURE TREATED.	3.		
GRADE 60 FOR #5 AN DRCING STEEL TO BE	D LARGER, A MELDED SH	ND ASTM ALL CONFORM TC	4. ALL FA 5. ALL M 6. 8" MIN	ASTENERS INTO PRESS OOD SHALL HAVE A MO IMUM CLEARANCE SHA	SURE TREATED LUMBE DISTURE CONTENT OF SLL BE MAINTAINED AT	R SHALL BE HOT DIF NOT MORE THAN 19 ALL EXTERIOR WALL	PED GALVANIZED OR STAINLESS STEEL. % WHEN SHEATHING IS APPLIED. _S BETWEEN FINISH GRADE AND BOTTOM OF	4. 5.		
5. NG TO "MANUAL OF S	TANDARD P	RACTICE FOR	MOOD 7. BEARI	WOOD WALLS. 7. BEARING AND SHEARWALLS SHALL HAVE DOUBLE TOP PLATES LAPPED AT WALL CORNERS AND INTERSECTIONS						
S SHALL BE DONE IN	ACCORDAN	CE WITH AMS D1.4	AND P 8. SILL P	LATES SHALL BE INTER LATE ANCHOR BOLTS S	RNAILED WITH 3-16d A BHALL BE INSTALLED I	T SUCH LOCATIONS. NITH PLATE WASHER	FOR PLATE SPLICE DETAILS, SEE DRAWINGS. RS 3x3x0.229" BETWEEN NUT AND PLATE.			
CTED BY A QUALIFIEI	D TESTING LA	ABORATORY.	9. PROVI	DE SOLID BLOCKING B	ETWEEN JOISTS AND	RAFTERS AT ALL SUF	PORTS.	6.		
TES TO THE TESTING 5 SHALL BE AS FOLLC	DABORATOR	RY. NOTED	10. PROVI 11. JOISTS	DE BLOCKING AT ALL C 5 UNDER AND PARALLE	ZEILING LEVELS. EL TO PARTITIONS SHA	LL BE DOUBLED AND	NAILED TOGETHER.			
			12. HOLES	FOR BOLTS IN WOOD	SHALL BE BORED WIT	H A BIT OF THE SAM	E NOMINAL DIAMETER AS THE BOLT PLUS $\mathcal{Y}_{ m 16}$ ".	7.		
TILT-UP PANELS CAST	ON SLAB		13. HOLES A) THE	5 FOR LAG SCREMS SH E CLEARANCE HOLE FO	IALL BE BORED AS FOI OR THE SHANK SHALL I	_LOWS: HAVE THE SAME DIAN	METER AS THE SHANK AND THE SAME DEPTH	8.		
EXPOSED TO WEATHE	R		OF F	PENETRATION AS THE	ENGTH OF UNTHREA	DED SHANK.				
#8 & SMALLER = 1 #9 & LARGER = 2"	1/2"		B) THE	LEAD HOLE FOR THE	THREADED PORTION S	HALL HAVE A DIAME	TER EQUAL TO 60% TO 75% OF THE SHANK			
			14. LAG S	CREWS AND WOOD SC	REWS SHALL BE SCRE	EWED AND NOT DRIV	EN INTO PLACE. SOAP MAY BE USED TO	9.		
				CATE THE SCREWS.						
			ON WO	OD. APPLIES ALSO TO	NSERTED EXPANDIN	G FASTENERS, RED I	HEAD, ETC.	10.		
				BOLT DIAMETER	MIWASHER	STEEL WASHER				
AISE.	OSSIBLE. LA	AP SPLICES SHALL		3∕8"Ø 3∕4"Ø	$\frac{2 \frac{3}{4}"}{9 \times \frac{3}{16}"}$	2 ½" × 2 ½" × ¼" 3"×3"× 5¼"		11.		
E DRAWINGS. CONCI	RETE SURFA	CE AT		74" Ø	3½"Ø×7/16"	$3\frac{1}{2} \times 3\frac{1}{2} \times 3\frac{3}{6}$		12.		
NED AND LAITANCE F AMPLITUDE	REMOVED. M	HERE INDICATED	16. ALL BO	OLTS AND LAG SCREW	4" Ø × ½" 3 SHALL BE TIGHTENE	<u>3 %" × 3 %" × %</u> " D AT INSTALLATION /	AND RETIGHTENED BEFORE CLOSING IN OR	13		
EDDED IN STRUCTUR	RAL CONCRE	TE OR CONCRETE	AT CO	MPLETION OF JOB.				10.		
ETC., TO BE EMBEDD ONCRETE. THOROUGHLY CONS T, EMBEDDED ITEMS PLATES, ETC AS IND	SOLIDATED E AND INTO CO	RETE SHALL BE BY SUITABLE MEA ORNERS OF FORM	TYPIC 18. CONN SHALL NS BE SU 15. 19. ANCHO 20. EACH	AL UNLESS NOTED OTH ECTOR HARDWARE MO . BE SIMPSON U SERIES BMITTED FOR REVIEW OR BOLTS SHALL BE EN PIECE OF SILL PLATE F	HERWISE. USE PLY-CL DEL NUMBER ARE TH 5 UNLESS NOTED OTH AS AN ALTERNATE. MBEDDED 7"MIN AND S REQUIRES A MINIMUM	IPS AT UNSUPPORTE OSE FOR SIMPSON S ERWISE. EQUIVALEN OPREAD AT 6' MAX OC OF 2 BOLTS LOCATE!	D SHEATHING EDGES. TRONG-TIE COMPANY. ALL JOIST HANGERS T CONNECTORS WITH ICC ACCEPTANCE MAY C, EXCEPT AS NOTED ALONG SHEARWALLS. D 12" MAX AND 7 BOLT DIAMETERS MIN. FROM	14.		
UT BY MASTER BUILD DAYS.	DERS TECHNO	OLOGIES OR	EACH	END OF THE SILL PLAT	E.					
							۸	AILIN		
AGGREGATE SIZE WI	EIGHT CEN	<u>NATER TO</u> MENT RATIO						1. ALI		
3⁄4"	145	0.5-0.6								
								2. PR		
								NO 3 NA		
							¬	MA		
G NAILING PLY	NOODIOSB	%" ANCHOR BOLT	FRAMING MEMBER	TRUSS/RAFTER OR	FRAMING MEMBER A	SILL PLATE		4. HO		
(FN) ³			BELOW ^{4,5}	BLOCK ABOVE			_	CON		
" 8d @ 12"	3%" 3%"	48"	16d @ 6"	N/A A35 @ 24"	2× MIN 2× MIN	2× MIN 2× MIN	_	1. JC		
" 8d @ 12"	3/"	36"	16d @ 4"	A35 @ 12"	2× MIN	2× MIN		2. B		
" 8d @ 12" 3%" Bo		16"	5D5 1/4"×6" @ 6"	A35 @ 12 A35 @ 12"	3× MIN 3× MIN	2× MIN 2× MIN	-	3. 1"		
" 8d @ 12" 3%" BC	OTH SIDES**	12"	SDS 1/4"×6" @ 6"	L590 @ 12"	3× MIN	3× MIN		4. M		
" 8a @ 12" %" B	OTH SIDES	12"	5D5 /4"×6" @ 4"	L940 @ 8"	3× MIN	3× MIN		5. 2 6. S		
C.			7. ALL FRAMING LL	JMBER IS DF	MITH 3"-23"-20 204" 6/011			<u>то.</u> 7. То		
REATED LONDER SH			WASHERS	JALL DE INJIALLED	ATT 5 X5 X0.224 500			8.5		
ARE COMMON NAILS . ETER	AS FOLLOWS	5:	9. INSTALL WASHE	R WITHIN ½" OF THE SH	HEATHED SIDE OF THE RETE SHALL BE DRILLE	MUD SILL		9.DC		
TER			6" MIN WITH SET	EPOXY				LAP		
ARE BOX NAILS AS F ETER	ULLUM5:		11. SMU USES GYPS NO. 6x11/" DRYW	OUM MALL BOARD ON 1 ALL SCREMS @ 7" MAX	SIDE ONLY W/6 COOL	EK NAILS OR		11. E		
BE STAGGERED 1/2" M	IN ABOUT TH	IE & OF THE	*04 TO CLIPCTIC					13. 1		
5 THAN 6" ADDITION TO H1 TIES	EACH TRUS	S/RAFTER TO	FN IN LIEU OF DO	72 USB OR PLYMOOD OUBLE SIDED SHEAR	UN UNE SIDE UNLY W	10a @ 3" EN, 12"		14.B		
		-		2" OSB OR PLYWOOD	ON ONE SIDE ONLY W	/ 10d @ 2"EN,		15.0		
								17. 0		
								18.0		

1. STITCH NAIL DF STUDS WITH (2) ROWS OF 16d @ 12" O.C. (MIN 18 TOTAL),

2. USE 'L' VERSION OF SSTB ANCHORS FOR: TWO-POUR FOUNDATIONS AND WHERE 3×

3. PROVIDE HORIZONTAL REBAR WITHIN 3"-5" FROM TOP OF FOOTING AT ALL ANCHOR

5. 1" ALL THREAD WITH NUT-WASHER-NUT ASSEMBLY EMBEDDED 12" MIN INTO 36"sq ×

RISK CATEGORY II, SITE CLASS "D"

7. AT CMU WALLS, ANCHORS SHALL BE EMBEDDED INTO THE FOOTINGS AND

ONE SIDE ONLY (6" MIN) AND DOWEL INTO EXISTING FOOTING

FOOTING DEPTH INCLUDES 8" SLAB OR 8" STEM WALL

EXTENDED WITH ALL-THREAD BARS AND HIGH STRENGTH COUPLER NUT

9. WHERE EXISTING FOOTING OR STEM WALL WIDTH IS NOT MET, OK TO WIDEN FROM

10. SUBSTITUTE WITH AT-XP EPOXY IF CURING TEMP. IS BELOW 32°F DURING FIRST

RUCTURAL STEEL

- FABRICATION, ERECTION AND MATERIALS SHALL CONFORM WITH THE AISC SPECIFICATION FOR THE DESIGN, FABRICATION, AND ERECTION OF STRUCTURAL STEEL
- FOR BUILDING, AND CALIFORNIA BUILDING CODE, LATEST EDITION. STRUCTURAL STEEL W AND WT SHAPES SHALL CONFORM WITH ASTM A992 STEEL.
- STRUCTURAL STEEL ANGLES, CHANNELS, MISCELLANEOUS CHANNELS, AND PLATES SHALL CONFORM WITH ASTM A36 STEEL UNLESS NOTED OTHERWISE.
- STEEL PIPE SHALL CONFORM TO ASTM A-53, TYPES E OR S, GRADE B.
- STRUCTURAL STEEL TUBING SHALL CONFORM TO ASTM A-500, GRADE B.
- WELDING SHALL BE DONE BY THE ELECTRIC ARC PROCESS IN ACCORDANCE WITH AMERICAN WELDING SOCIETY STANDARDS, USING ONLY CERTIFIED WELDERS. ALL GROOVE WELDS SHALL BE GROUND. ALL WELDING TO BE DONE USING ETOXX ELECTRODES. IN ADDITION, WELDING OF ASTM A572 GRADE 50 STEEL AND ASTM A992
- STEEL SHALL BE DONE WITH ELECTRODES CAPABLE OF DEPOSITING WELD METAL WITH A MAXIMUM DIFFUSIBLE HYDROGEN CONTENT OF 16ml/100g (H16). ALL STRUCTURAL STEEL SHALL BE ERECTED PLUMB AND TRUE TO LINE. TEMPORARY
- BRACING SHALL BE INSTALLED AND SHALL BE LEFT IN PLACE UNTIL OTHER MEANS ARE PROVIDED TO ADEQUATELY BRACE THE STRUCTURE. PLACE NON-SHRINK GROUT UNDER ALL BASE PLATED BEFORE ADDING VERTICAL LOAD.
- FOR NON-SHRINK GROUT SEE CONCRETE NOTE #18. BOLTED CONNECTIONS SHALL CONSIST OF UNFINISHED BOLTS CONFORMING TO ASTM
- A-307 UNLESS NOTED OTHERWISE. WHERE HIGH STRENGTH BOLTS ARE INDICATED, BOLTS CONFORMING TO ASTM A325-N SHALL BE PROVIDED (PROVIDE A325-SC BOLTS WHERE INDICATED.)
- HOLES FOR UNFINISHED BOLTS SHALL BE OF THE SAME NOMINAL DIAMETER OF THE BOLT PLUS $\frac{\gamma_{6}}{10}$. USE STANDARD AISC GAGE AND PITCH FOR BOLTS EXCEPT AS NOTED OTHERWISE.
- HOLES FOR ANCHOR BOLTS EMBEDDED IN CONCRETE SHALL BE OF THE SAME NOMINAL BOLT DIAMETER PLUS 3/16" UNLESS NOTED OTHERWISE.
- PROVIDE 1/2" DIAMETER STITCH BOLTS AND RING FILLS, SPACED AT NOT MORE THAN 24"cc FOR ALL DOUBLE ANGLE MEMBERS.
- AT WOOD TO STEEL PARALLEL CONTACT, BOLT WITH 5" DIAMETER BOLTS AT MAXIMUM 24"cc, TYPICAL UNLESS NOTED OTHERWISE. ALL STRUCTURAL STEEL SHALL RECEIVE MINIMUM OF ONE SHOP COAT OF RED PRIMER
- PAINT. DO NOT PAINT AREAS TO BE FIELD WELDED, TO RECEIVE FRICTION TYPE HIGH STRENGTH BOLTS, OR TO BE EMBEDDED IN CONCRETE.
- STRUCTURAL STEEL BELOW GRADE SHALL HAVE 3" MINIMUM OF CONCRETE COVER.

IG SCHEDULE

NAILS FOR STRUCTURAL WORK SHALL BE COMMON WIRE NAILS CONFORMING TO THE FOLLOWING MINIMUM SIZES: 0.131"Ø×2½"

8d	
10d	
10d SHORTS	
16d	
20d	

0.162"Ø×3½" 0.192"Ø×4"

0.148"Ø×3"

ROVIDE NAILS AT CONNECTIONS AS INDICATED ON THE STRUCTURAL DRAWINGS. WHERE NAILS AT CONNECTIONS ARE OT INDICATED NAIL PER NAILING SCHEDULE IN NOTE 5. ALLING NOT NOTED IN SCHEDULE OR ON PLANS SHALL BE A MINIMUM OF TWO NAILS AT EACH CONTACT. 8d NAILS FOR 1"

0.148" Ø x 1 ½" PLUS THICKNESS OF SHTG

ATERIAL AND 16d NAILS FOR 2" MATERIAL OLES SHALL BE PER-DRILLED WHERE NECESSARY TO PREVENT SPLITTING.

NAILING SCHEDULE:	
CONNECTION	NAILING
1. JOIST TO SILL OR GIRDER, TOENAIL	3-8d
2. BRIDGING TO JOIST, TOENAIL EACH END	2-8d
3. 1" × 6" SUBFLOOR OR LESS TO EACH JOIST, FACE NAIL	2-8d
4. WIDER THAN 1" × 6" SUBFLOOR TO EA JOIST, FACE NAIL	2-16d
5. 2" SUBFLOOR TO JOIST OR GIRDER, BLIND AND FACE NAIL	2-16d
6. SOLE PLATE TO JOIST BLOCKING, TYPICAL FACE NAIL SOLE PLATE TO JOIST OR BLOCKING AT SHEAR WALL PANELS	16d AT 16" OC, 3-16d PER 16"
7. TOP PLATE TO STUD, END NAIL	2-16d
8. STUD TO SOLE PLATE	4-8d, TOENAIL OR 2-16d, END NAIL
9.DOUBLE STUDS, FACE NAIL	16d AT 24" OC
10. DOUBLE TOP PLATES, TYPICAL FACE NAIL DOUBLE TOP PLATES, LAP SPLICE	16d AT 16" OC 8-16d
11. BLOCKING BETWEEN JOISTS OR RAFTERS TO TOP PLATE, TOENAIL	3-8d
12. RIM JOIST TO TOP PLATE, TOENAIL	8d AT 6" OC
13. TOP PLATES, LAP AT INTERSECTIONS, FACE NAIL	2-16d
14.BUILT-UP HEADER, FACE NAIL	16d @ 16" O.C.
15. CEILING JOISTS TO PLATE, TOENAIL	3-8d
16. CONTINUOUS HEADER TO STUD, TOENAIL	4-8d
17. CEILING JOISTS, LAPS OVER PARTITIONS, FACE NAIL	3-16d
18. CEILING JOISTS TO PARALLEL RAFTERS, FACE NAIL	3-16d
19. RAFTER TO PLATE, TOENAIL	3-10d
20. 1" BRACE TO EACH STUD AND PLATE, FACE NAIL	2-8d
21. 1" × 6" SHEATHING TO EACH BEARING, FACE NAIL	2-8d
22. WIDER THAN 1" × 8" SHEATHING TO EACH BEARING, FACE NAIL	3-8d
23. BUILT-UP CORNER STUDS. FACE NAIL	16d AT 24"oc
24. BUILT-UP GIRDER AND BEAMS. FACE NAIL	20d AT 32"oc AT TOP & BOTTOM, STAGGERED 2-20d AT ENDS & AT EACH SPLICE

TEST AND SPECIAL INSPECTIONS

1. TESTS AND SPECIAL INSPECTIONS SHALL BE PROVIDED AS INDICATED ON THE TESTING & INSPECTION FORM APPROVED BY THE BUILDING DEPARTMENT WITH THE APPROVED CONSTRUCTION DOCUMENTS.

2. ALL TEST AND SPECIAL INSPECTIONS SHALL BE PERFORMED BY A CERTIFIED SPECIAL INSPECTOR FROM AN ESTABLISHED TESTING & INSPECTION COMPANY, UNLESS NOTED OTHERWISE. JOBSITE VISITS BY THE STRUCTURAL ENGINEER DO NOT CONSTITUTE INSPECTIONS AND ARE NOT A SUBSTITUTE FOR SPECIAL INSPECTION. 3. THE SPECIAL INSPECTOR SHALL OBSERVE THE WORK INDICATED FOR CONFORMANCE WITH THE APPROVED

CONSTRUCTION DOCUMENTS. 4. THE SPECIAL INSPECTOR SHALL FURNISH INSPECTION REPORTS TO THE BUILDING OFFICIAL, THE ENGINEER OR ARCHITECT OF RECORD AND OTHER DESIGNATED PERSONS. ALL DISCREPANCIES SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE CONTRACTOR FOR CORRECTION, THEN, IF UNCORRECTED, TO THE PROPER DESIGN AUTHORITY AND TO THE BUILDING OFFICIAL.

5. THE SPECIAL INSPECTOR SHALL SUBMIT A FINAL SIGNED REPORT STATING WHETHER THE WORK WITH THE APPROVED CONSTRUCTION DOCUMENTS AND THE APPLICABLE WORKMANSHIP PROVISIONS OF THE 2019 CBC. 6. IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO SEE THAT THESE TESTS AND SPECIAL INSPECTIONS ARE PERFORMED.

7. ITEMS REQUIRING TESTS AND/OR SPECIAL INSPECTIONS ARE IDENTIFIED BELOW. THE LIST BELOW IS INTENDED TO PROVIDE A QUICK GENERAL REFERENCE AS TO WHAT TESTS AND/ OR INSPECTIONS ARE REQUIRED. FOR THE COMPLETE LISTING OF TESTS AND/OR INSPECTIONS REQUIRED SEE THE APPROVED TESTING AND INSPECTION FORM.

TESTS	SPECIAL INSPECTIONS
A. FILL COMPACTION	A. FOOTING EXCAVATION (BY GEOTECHNICAL ENGINEER)
B. CONCRETE	B. PILE / PIER INSTALLATION
C. SAMPLING AND TESTING OF REINFORCING STEEL	C. REINFORCEMENT PLACEMENT
D. MILL CERTIFICATES FOR REINFORCING STEEL	D. CONCRETE PLACEMENT
E. MASONRY	E. PLACING & STRESSING TENDONS
F. GROUT & MORTAR	F. REBAR COUPLERS
G. ALL COMPLETE PENETRATION GROOVE WELDS BY ULTRASONIC TESTING OR RADIOGRAPHY	G. MASONRY PLACEMENT & GROUTING
H. SAMPLING & TESTING OF STRUCTURAL STEEL	H. SHOP WELDING
I. MILL CERTIFICATES FOR STRUCTURAL STEEL	I. FIELD WELDING
J.EXPANSION OR EPOXY ANCHORS	J. HIGH STRENGTH BOLTING
	K. EXPANSION OR EPOXY ANCHORS
	L. SHEAR STUD INSTALLATION
	M.POST INSTALLED ANCHORS



0. SHEARWALLS WHERE EDGE NAILING IS ≤ 4 " 0.C.







REVISIONS



08.05.22



CITY OF FOLSON <u>GRADING NOTES:</u> 1. AN ENCROACHMENT EASEMENTS, AND FOR (2. CALL UNDERGROUN GRADING/EXCAVATION AC 3. THE OWNER/CONTR TWENTY-FOUR

(1. HOURS PRIOR TO CONTRACTOR SHALL 5. ALL REFERENCES STANDARD CONSTRUCTIO 6. DRAINAGE SWALES

SPECIFICATIONS. 8. ALL EXCAVATION, SECTION 9.2, "EXCAVATION 9. CUSTOM HOMES AN SHALL BE FENCED WITH 10. NO WORK SHALL WITHOUT A VALID TREE 11. GRADING ACTIVITIES CONTROL PLANS SHALL

12. THERE SHALL BE 13. ALL GRADING SHAL BY YOUNGDAHL CONSUL 14. ALL GRADING INCLU THE DIRECTION OF A GE 15. THE OWNER/CONTR EARTHWORK OPERATIONS BUILDING PERMIT FOR PRIOR TO ANY STRUCTU

EROSION CONTROL NOTE 1. THE PROJECT SHALL CO IN ADDITION, SITES OF ONE 2. THE PROJECT OWNER PHONE NUMBER, AND E-MA CHANGES TO THE ESC MANA MANAGER. THE ESC MANAGI

3. THE ESC MANAGER SH FOLLOWING SCHEDULE: 1) W ADMINISTRATION TO EXCEED EXCEEDING 0.10 INCH.

4. BEST MANAGEMENT F REQUIRED BMPS TO BE IMPL OF THE FMC. ADDITIONAL M THAT WATER QUALITY RUN-5. SEDIMENT CONTROL CONTROLS, DRAIN INLET PRO ACCESSING THE SITE. WASHI 6. THE CONTRACTOR SHA COURSES. EXISTING WATER (BY THE CITY.

7. ALL AREAS DISTURBED SHALL BE PLACED ON OR BEF PROTECTION METHOD SUCH 8. PROTECTED AREAS SHA THE RESOURCE BEING PROTE 9. CEMENTITIOUS, PAINT SPILLS, LEAKAGE, AND CONT 10. UPON COMPLETION O SATISFACTION OF THE CITY.

STRAW WATTLE DETAIL NTS

M NOTES:						
T PERMIT IS REQUIR CONNECTIONS TO PU ND SERVICE ALERT (I CTIVITY. RACTOR SHALL NOTIF	ED FOR BLICLY—(USA) AT FY CITY (ALL WORK T DWNED AND 811 OR 800 DF FOLSOM	O BE DONE WITHIN MAINTAINED FACILIT 0.642.2444, FORTY CONSTRUCTION INS	I PUBLIC RIGHTS—OF—WAY OR IES. —EIGHT (48) HOURS PRIOR T PECTION SERVICES AT 916.35	R O ANY 55.7210,	
COMMENCEMENT OF L OBTAIN AN APPRO TO "STANDARD SPEC ON SPECIFICATIONS A ARE TO BE CONSTR UBBING SHALL CONF	ANY GRA VED WAT IFICATION AND DESI RUCTED F ORM TO	ADING. ER METER F S" SHALL ME GN AND PRO PER CITY STA THE PROVIS	ROM THE CITY AT AN THE LATEST ED DCEDURES MANUAL. NDARD DETAIL. IONS OF SECTION	THE OWNER'S EXPENSE. ITION OF THE CITY OF FOLSO 9.1 OF THE STANDARD	M	
EMBANKMENT, BACKF ON," OF THE STANDA ND/OR SWIMMING PO H HIGH VISIBILITY FEN BE DONE UNDER OR PERMIT. S SHALL IMPLEMENT BF SUBMITTED TO	ILL, ETC. RD SPEC DOLS SHA NCING BE WITHIN EROSION THE CITY	, SHALL CON IFICATIONS. ALL BE CHAL FORE THE F THE TREE P AND DUST OF FOLSOM	NFORM TO THE PRO LKED OUT ON THE PRE-SITE INSPECTION ROTECTION ZONE (CONTROL MEASURE	DVISIONS IN GROUND AND ALL OAK TREES ON IS SCHEDULED. TPZ) OF ANY EXISTING TREE TS AT ALL TIMES. EROSION	S	
NO TRESPASSING OF LL BE DONE IN ACCO TING GRP, AND DAT UDING COMPACTION, EOTECHNICAL ENGINE RACTOR SHALL PROV S, SIGNED AND STAM THE STRUCTURE. RE JRAL IMPROVEMENTS.	ANY KII ORDANCE ED JANU EXCAVAT EER. (IDE A GI (IDE A GI (IDE BY ECOMMEN	ND INTO PUE WITH THE S ARY 2017. ION, PLACEM RADING REPO A LICENSED IDATIONS PRO	BLIC OR PRIVATE C SOILS REPORT REFI MENT OF FILL MATE ORT CONSISTING OF GEOTECHNICAL EN OVIDED IN THE GR/	PEN SPACE AREAS. ERENCE NO. E02059.036, PRO RIALS, ETC., SHALL BE DONE THE OBSERVATIONS MADE DO GINEER, PRIOR TO ISSUANCE ADING REPORT SHALL BE COM	OVIDED UNDER URING OF A MPLETED	
ES: CONFORM TO THE FOLSO ACRE OR MORE SHALL CO SHALL DESIGNATE AN EF AIL ADDRESS TO THE PUB AGER'S CONTACT INFORM GER SHALL BE RESPONSIB HALL INSPECT AND MAKE WEEKLY, 2) 48 HOURS PRI CD 0.10 INCH, 3) DURING	M MUNICI OMPLY WI ROSION AN LIC WORKS MATION SH LE FOR ALI E NECESSAI IOR TO A S A STORM	PAL CODE (FM TH THE STATE'S ND SEDIMENT C S STORMWATE IALL PROMPTL' L PROJECT PERS RY CORRECTION TORM EVENT F EVENT EXCEED	C) FOR PROTECTION O S NPDES GENERAL CON CONTROL (ESC) MANAG R QUALITY MANAGER Y BE REPORTED TO THE SONNEL INCLUDING SU S AND ADJUSTMENTS PREDICTED BY THE NAT ING 0.10 INCH AND 4)	SURFACE WATERS AND URBAN RU STRUCTION PERMIT. SER WHO SHALL PROVIDE THEIR NAI OR THE DESIGNATED CITY INSPECTO PUBLIC WORKS STORMWATER QU BCONTRACTORS AND MATERIAL SU TO THE STORMWATER CONTROLS (IONAL OCEANIC ATMOSPHERIC WITHIN 48 HOURS AFTER A STORM	IN-OFF. ME, DR. ALITY JPPLIERS. ON THE EVENT	SOM, CA
PRACTICES (BMPS) DESCE LEMENTED AND MAINTA IEASURES MAY BE REQU OFF INTO CITY DRAINAG BMPS SHALL BE INSTALLE OTECTION, AND STABILIZ ING THE STREET SHALL N ALL ANTICIPATE AND ACC COURSES SHALL BE MAIN	RIBED HERI VINED ON T IRED AS SI DE FACILITII ED AND MA ZED ACCES IOT BE PER COMMOD NTAINED II	EIN AND ON TH THE CONSTRUC TE CONDITIONS ES IS PROTECTE AINTAINED YEA S. PUBLIC STRE MITTED UNLES ATE ANY RUN-C N THEIR ORIGIN	IE APPROVED EROSION TION SITE YEAR ROUNI S DICTATE, THROUGHO D. R ROUND AND AT A M ETS AND SIDEWALKS SI SS OTHERWISE APPROV ON FROM NEIGHBORIN IAL CONDITION, EXCEP	CONTROL PLAN ARE THE MINIMUN D IN ORDER TO COMPLY WITH CHAP UT THE COURSE OF THE WORK, TO INIMUM SHALL INCLUDE PERIMETE HALL BE SWEPT DAILY WHEN VEHICI 'ED BY THE CITY. G PROPERTIES, INCLUDING EXISTING T WHERE MODIFICATIONS ARE APPL	M PTER 8.70 ENSURE R LES ARE G WATER ROVED	S DR, FOL-0370-001
D DURING CONSTRUCTIO FORE SEPTEMBER 15TH. AS A MAT OR BLANKET IALL BE PROTECTED WITH ECTED AND/OR PROVIDE T, WASTE, AND HAZARDO FACT WITH RAIN OR STOP OF THE PROJECT, ALL BMI	N SHALL B HYDROSE SPECIFICA H ORANGE ADDITION DUS MATE RMWATER P'S SHALL I	E PROTECTED F ED PLACED AFT LLY DESIGNED CONSTRUCTIO NAL INSTRUCTIO RIALS SHALL BE RUNOFF. BE REMOVED C	FROM EROSION DURIN TER SEPTEMBER 15TH S TO FACILITATE GERMIN N FENCING. ADDITION ONS TO CONSTRUCTIO E HANDLED, COVERED, NNCE LANDSCAPING IS	G THE WET SEASON. HYDROSEED, IF HALL BE USED WITH A SECONDARY IATION AND GROWTH. AL SIGNAGE MAY BE REQUIRED TO I N PERSONNEL. AND/OR STORED PROPERLY TO AVC NSTALLED AND FUNCTIONING TO T	F USED, IDENTIFY DID THE	ADE FALL APN: 227
MC 8.70 MAY RESULT IN	STOP WO	RK NOTICES, FI	NES, AND/OR DELAY IN	CITY INSPECTIONS OF THE PROJECT	AST	ASC/
		EARTHW	'ORK		U	2 C
	CUT	FILL	IMPORT/EXPORT*	1		53

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*NO EARTHWORK IS REQUIRED FOR THIS PROJECT OTHER

THAN FOOTING CONSTRUCTION. NO IMPORT/EXPORT SHALL

BE A PART OF THIS PLAN.

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