LAKEVIEW OAKS

LOT #116 - FOLSOM, CA

SQUARE FOOTAGES

LOT-116 - SQUARE FOOTAGE

FIRST FLOOR	2,936
SECOND FLOOR	2,390
TOTAL	5,327
GARAGE	1,051
PORCH	184
OUTDOOR LOUNGE	292
COVERED DECK	555
UNCOVERED DECK	80

DIRECTORY

OWNER: ELLIOT HOMES — 340 PALLIDIO PARKWAY, SUITE 521, FOLSOM, CA 95630
CONTACT: MARK REGAN — PH 916-984-1300
E-MAIL: MARK.REGAN@ELLIOTHOMES.COM — FAX 916-984-1322

ARCHITECT: BASSENIAN LAGONI ARCHITECTS — 2031 ORCHARD DR, SUITE 100, NEWPORT BEACH, CA 92660
CONTACT: JEFF MARCOTTE — PH 949-553-9100
JMARCOTTE@BASSENIANLAGONI.COM — FAX 949-553-0548

STRUCTURAL ENGINEER: GOUVIS ENGINEERING — 15 STUDEBAKER, IRVINE, CA 92618
CONTACT: HUAN NGUYEN — PH 949-590-9009
E-MAIL: HNGUYEN@GOUVISGROUP.COM

T-24 / MECHANICAL / PLUMBING: VILLARA BUILDING SYSTEMS — 4700 LANG AVE, McClellan, CA 95652
CONTACT: SHAUNA BERDUZCO — PH 916-646-2700
E-MAIL: BERDUZCOS@VILLARA.COM

SOLAR: CITADEL ROOFING & SOLAR — 500 GIUESEPPE COURT, SUITE 3, ROSEVILLE, CA 95678
CONTACT: SARAH CATALANO — PH 916-308-1568
E-MAIL: SCATALANO@CITADELRS.COM

FIRE SPRINKLERS: THORPE DESIGN, INC. — 5850 EL CAMINO REAL, UNIT B, ATASCADERO, CA 93422
CONTACT: CHRIS ARTHUR — PH 805-594-1008
E-MAIL: CARTHUR@THORPEDESIGN.COM

PROJECT DATA

OWNER: ELLIOT HOMES
PROJECT ADDRESS: LOT #116 @ 720 TOWNSEND COURT
BUILDING CLASSIFICATION: SINGLE FAMILY DETACHED R3/U FIRE SPRINKLERS (NFPA 13D) PER CRC R313.3
TYPE OF CONSTRUCTION: TYPE V-B
FIRE ZONE: PER CRC SECTION R337. REFER TO APPROVED FIRE MASTER PLAN AND FIRE PROTECTION PLAN. SEE SHEET G.3 FOR ADDITIONAL INFORMATION.
STORIES: 2
CODES:

2019	CALIFORNIA BUILDING CODE	2019	CALIFORNIA FIRE CODE
2019	CALIFORNIA RESIDENTIAL CODE	2019	CALIFORNIA ELECTRICAL CODE
2019	CALIFORNIA MECHANICAL CODE	2019	CALIFORNIA ENERGY CODE
2019	CALIFORNIA PLUMBING CODE	2019	CALIFORNIA GREEN BUILDING STANDARDS CODE

GOVERNING BODY: FOLSOM

SEQUENCE OF DRAWINGS

SHEET		DESCRIPTION
G1/3		SITE GRADING PLAN
G2/3		SITE GRADING SECTIONS
G3/3		SITE GRADING EROSION PLAN
COVER		COVER SHEET
G.1		GENERAL NOTES
G.2		GENERAL NOTES
G.3		EXTERIOR WILDFIRE EXPOSURE NOTES
GC.1		CAL GREEN BUILDING STANDARDS
GC.2		CAL GREEN RESIDENTIAL VOLUNTARY MEASURES
1.1	LOT #116 ARCHITECTURAL	SLAB INTERFACE PLAN
1.2		FIRST FLOOR PLAN
1.2-1		SECOND FLOOR PLAN
1.3		FIRST FLOOR UTILITY PLAN
1.3-1		SECOND FLOOR UTILITY PLAN
1.4		INTERIOR ELEVATIONS
1.5		SECTIONS A,B & C
1.5-1		SECTIONS D & E
1.6		FRONT AND REAR ELEVATIONS
1.6-1		LEFT AND RIGHT ELEVATIONS
1.6-2		ROOF PLAN
D.1	ARCH. DETAILS	ARCHITECTURAL DETAILS
D.2		ARCHITECTURAL DETAILS
D.2-1		ARCHITECTURAL DETAILS
D.2-2		ARCHITECTURAL DETAILS
D.2-3		ARCHITECTURAL DETAILS
D.3		ARCHITECTURAL DETAILS
D.3-1		ARCHITECTURAL DETAILS
D.4		ARCHITECTURAL DETAILS
D.5		ARCHITECTURAL DETAILS
D.6		ARCHITECTURAL DETAILS

SHEET		DESCRIPTION
EN-1.0	T-24 - LOT #116	T-24 CERTIFICATE OF COMPLIANCE
EN-1.1		T-24 CERTIFICATE OF COMPLIANCE
M-0.1	MECH. - LOT #116	GENERAL NOTES
M-1.0		FIRST FLOOR MECHANICAL LAYOUT
M-1.1		SECOND FLOOR MECHANICAL LAYOUT
SN-1A	STRUCT. - LOT #116	GENERAL NOTES & REQUIREMENTS
S-1.1		FOUNDATION PLAN
S-1.2		FRAMING PLAN
SN-2		STRUCTURAL DETAILS & NOTES
SN-3		STRUCTURAL DETAILS & NOTES
SD-1		STRUCTURAL FOUNDATION DETAILS
SD-2		GENERAL DETAILS & NOTES
SD-3		STRUCTURAL DETAILS
L1.00	LANDSCAPE - LOT #116	LANDSCAPE COVER SHEET
L1.01		LANDSCAPE NOTES
L2.00		LANDSCAPE GRADING & DRAINAGE AND LAYOUT PLAN
L2.01		LANDSCAPE CONSTRUCTION DETAILS
L3.00		IRRIGATION PLAN
L3.01		IRRIGATION DETAILS
L3.02		CONTROLLER SCHEDULE AND WATER CALCULATIONS
L4.00		PLANTING PLAN
L4.01		PLANTING DETIALS
P-0.1	PLUMBING - LOT #116	INDEX, LEGEND, NOTES & SCHEDULE
P-1.1		GAS FLOOR LAYOUT
P-1.2		WASTE & VENT LAYOUT
P-1.3		HOT & COLD WATER LAYOUT
FP1	FIRE SPRINKLERS	FIRE SPRINKLER LAYOUT
FP2	- LOT #116	FIRE SPRINKLER LAYOUT

SHEET		DESCRIPTION
PV1.0	SOLAR	SOLAR COVER SHEET
PV2.0		SOLAR SITE PLAN
PV2.1		SOLAR MOUNTING DETAIL
PV2.2		SOLAR STRUCTURAL
PV3.0		SOLAR ELECTRICAL LINE DIAGRAM
PV4.0		SOLAR SIGNAGE & EQUIPMENT DATA
PV5.0		SOLAR PRODUCT SPECIFICATIONS
PV6.0		SOLAR PRODUCT SPECIFICATIONS
PV7.0		SOLAR PRODUCT SPECIFICATIONS
PV8.0		SOLAR PRODUCT SPECIFICATIONS
PV9.0		SOLAR PRODUCT SPECIFICATIONS
PV10.0		SOLAR PRODUCT SPECIFICATIONS

SHEET	DESCRIPTION	SHEET	DESCRIPTION

AGENCY REQUIREMENTS

2019 Title 24 Compliance Summary

VILLARA BUILDING SYSTEMS

Lakeview Oaks Lot 116
Folsom, CA
Climate Zone: 12

Builder: Elliott Homes
Contact: Paula Davidson

August 26, 2021
2019 CBECC Res V-1.3

2019 Title 24 Minimum Compliance Requirements		
Plan		**Lot 116**
Orientation		All
Stories		2
Conditioned Space (Sq. Ft.)		5349
Number of Bedrooms		4
Glazing Percentage		27.57%
Compliance Margin	(Efficiency / Final)	0.5 / 0.1
PV System Size Required		4.90 kW
Azimuth Range	Solar Access 97%	CH 2
Insulation - Minimum Values		
Attic Insulation at Ceiling		--
Attic Insulation at Furnace		--
Insulation Below Roof Deck		R-22
Attic Type		Enclosed
Exterior Wall Construction		1-Coat Stucco + R4 Foam Board
Exterior Wall Insulation	(2x4 / 2x6)	-- R-20
Garage Wall	(2x4 / 2x6)	-- R-20
Floor Over Garage/Exterior		R-19
Floor Over Crawlspace		R-19
Roofing Products		
Roof Type		Tile
Roof Slope		4/12
Radiant Barrier		No
Aged Reflectance	Default	N/R
Aged Emittance	Default	N/R
HVAC - Minimum Efficiencies		
AFUE (Furnace)		0.92
SEER (AC Unit)		16.0
EER (AC Unit)		13.0
Duct Insulation		R-6.0
Whole House Fan (Minimum CFM)		--
Indoor Air Quality		
Mechanical Ventilation		Balanced
Fan Type		HRV
IAQ CFM (Minimum Required)		154
Balanced IAQ Efficiency (Minimum Required)		65%
HERS Verification		
Quality Insulation Inspection (HQI)		Yes
Mechanical Ventilation (ASHRAE 62.2)		Yes
Kitchen Hood Verification		Yes
Low Leakage Ducts		25 CFM to Outside
Low Leakage Air Handler		--
SEER Verification		Yes
EER Verification		Yes
Refrigerant Charge Verification		Yes
HVAC System Zoning		Zoned
Airflow Verification (CFM / Ton)		275
Fan Wattage Verification (Watts / CFM)		0.45
Infiltatration Inspection (Blower Door ACH50)		--
Ducts In Conditioned Space		Yes
Whole House Fan Verification		--
Domestic Water Heating	Natural Gas	
Uniform Energy Factor		0.93
Tank Capacity (Gallons)		Tankless
Distribution		Standard

Glass	U-Value	SHGC
Operable	0.30	0.22
Fixed	0.28	0.25
Sliding Glass Door	0.30	0.22
French Door	0.34	0.24

Revisions

Signature:_____ Date:_____

CITY APPROVAL

LICENSED ARCHITECT KENNETH CHESTER HUNSICKER C23971 Exp. 01/31/23 STATE OF CALIFORNIA

ARCHITECTURAL STAMP

Bassenian | Lagoni
ARCHITECTURE • PLANNING • INTERIORS
2031 ORCHARD DRIVE | NEWPORT BEACH, CA 92660 T 949.553.9100 F 949.553.0548

1st PLAN CHECK
Date: 10-11-2021

REVISIONS

Elliott Homes
A Tradition of Quality since 1914
340 PALLADIO PARKWAY
SUITE 521
FOLSOM, CA 95630
PH: (916) 984-1300

LAKEVIEW OAKS
FOLSOM, CA

LOT #116

Cover

JOB NUMBER: 258-21060

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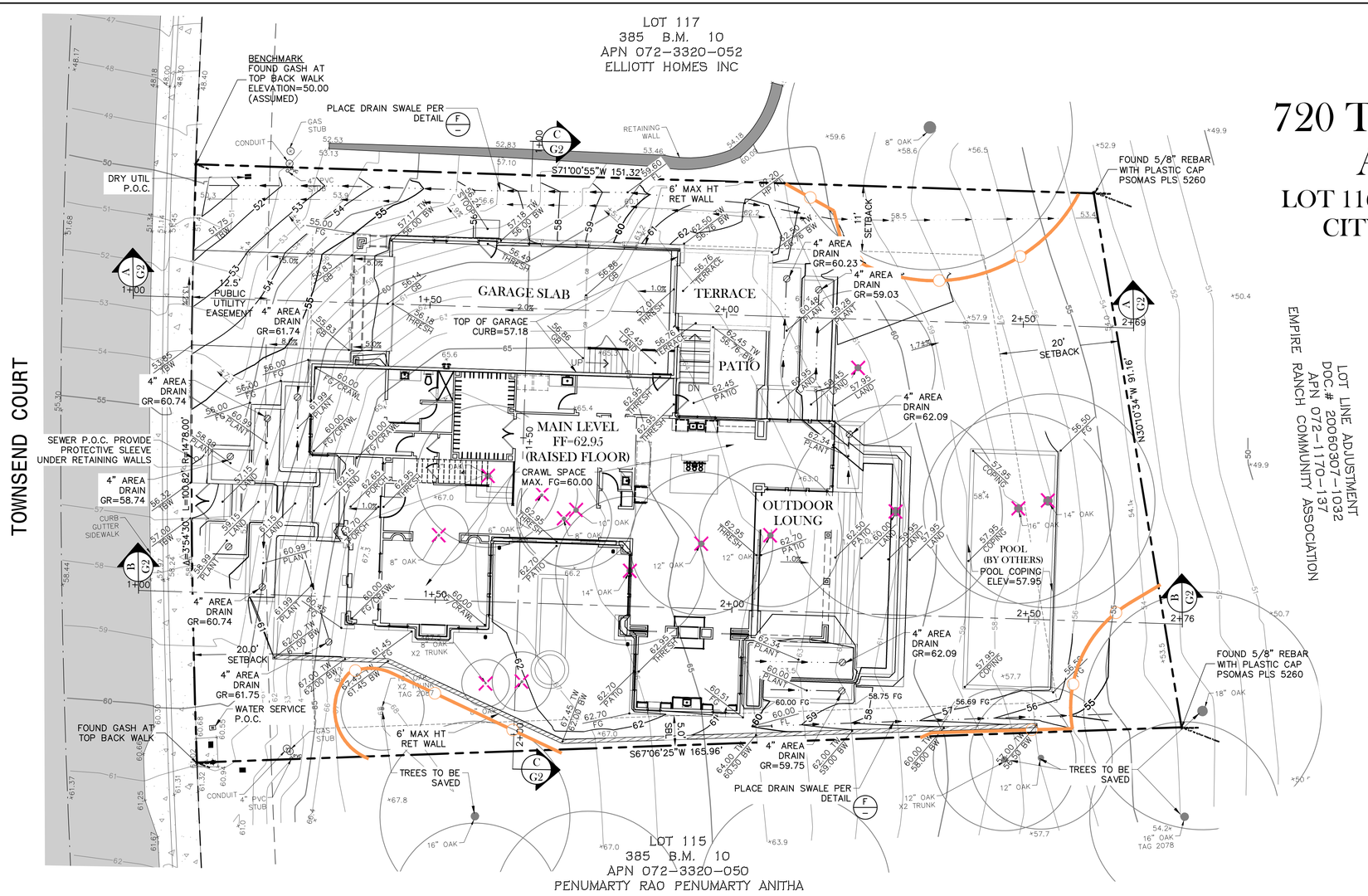
BASSENIAN LAGONI ARCHITECTS

PLOT DATE: 1-18-22

FILE NAME: 21060COVR - LOT 116

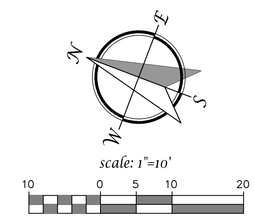
GRADING PLAN
720 TOWNSEND COURT
APN 072-3320-051
LOT 116 - EMPIRE RANCH VILLAGE 32C
CITY OF FOLSOM, CALIFORNIA



LOT LINE ADJUSTMENT
DOC.# 20060307-1032
APN 072-1170-137
EMPIRE RANCH COMMUNITY ASSOCIATION

SHEET INDEX	
G1	SITE/GRADING PLAN
G2	SITE SECTIONS
G3	EROSION CONTROL PLAN

OWNER/APPLICANT
ELLIOTT HOMES, TOM GAMETTE
340 PALLADIO PARKWAY ST 521
FOLSOM, CA 95630
PHONE: (916) 984-1300
EMAIL: t.gamette@elliotthomes.com



EARTHWORK QUANTITIES:

CUT - ± 1,376 CY
FILL - ± 52 CY
NET - ± 1,324 CY (EXPORT)

AREA OF GRADING IMPACTS = 12,364 SF

RAW NUMBERS, NO SHRINKAGE OR SWELL WAS ACCOUNTED FOR.

TREE LEGEND

(TPZ) TREE PROTECTIVE FENCING AROUND TREES TO BE PROTECTED

TREE TO BE REMOVED MAY BE MITIGATION FEES ASSOCIATED WITH OAK TREE REMOVAL

GRADING NOTES:

1. AN ENCROACHMENT PERMIT IS REQUIRED FOR ALL WORK TO BE DONE WITHIN PUBLIC RIGHTS-OF-WAY OR EASEMENTS, AND FOR CONNECTIONS TO PUBLICLY-OWNED AND MAINTAINED FACILITIES.
2. CALL UNDERGROUND SERVICE ALERT (USA) AT 811 OR 800.642.2444, FORTY-EIGHT (48) HOURS PRIOR TO ANY GRADING/EXCAVATION ACTIVITY.
3. THE OWNER/CONTRACTOR SHALL NOTIFY CITY OF FOLSOM CONSTRUCTION INSPECTION SERVICES AT 916.355.7210, TWENTY-FOUR(24) HOURS PRIOR TO COMMENCEMENT OF ANY GRADING.
4. CONTRACTOR SHALL OBTAIN AN APPROVED WATER METER FROM THE CITY AT THE OWNER'S EXPENSE.
5. ALL REFERENCES TO "STANDARD SPECIFICATIONS" SHALL MEAN THE LATEST EDITION OF THE CITY OF FOLSOM STANDARD CONSTRUCTION SPECIFICATIONS AND DESIGN AND PROCEDURES MANUAL.
6. DRAINAGE SWALES ARE TO BE CONSTRUCTED PER CITY STANDARD DETAIL.
7. CLEARING AND GRUBBING SHALL CONFORM TO THE PROVISIONS OF SECTION 9.1 OF THE STANDARD SPECIFICATIONS.
8. ALL EXCAVATION, EMBANKMENT, BACKFILL, ETC., SHALL CONFORM TO THE PROVISIONS IN SECTION 9.2, "EXCAVATION," OF THE STANDARD SPECIFICATIONS.
9. CUSTOM HOMES AND/OR SWIMMING POOLS SHALL BE CHALKED OUT ON THE GROUND AND ALL OAK TREES SHALL BE FENCED WITH HIGH VISIBILITY FENCING BEFORE THE PRE-SITE INSPECTION IS SCHEDULED.
10. NO WORK SHALL BE DONE UNDER OR WITHIN THE TREE PROTECTION ZONE (TPZ) OF ANY EXISTING TREE WITHOUT A VALID TREE PERMIT.
11. GRADING ACTIVITIES SHALL IMPLEMENT EROSION AND DUST CONTROL MEASURES AT ALL TIMES. EROSION CONTROL PLANS SHALL BE SUBMITTED TO THE CITY OF FOLSOM, COMMUNITY DEVELOPMENT DEPARTMENT FOR REVIEW AND APPROVAL.
12. THERE SHALL BE NO TRESPASSING OF ANY KIND INTO PUBLIC OR PRIVATE OPEN SPACE AREAS.
13. ALL GRADING SHALL BE DONE IN ACCORDANCE WITH THE GEOTECHNICAL REPORT JOB NO. E02059.036 FOR EMPIRE RANCH VILLAGES 31, 32, 36 & 40 PROVIDED BY: YOUNGDAHL ENGINEERING GROUP, AND UPDATED: APRIL 2020.
14. ALL GRADING INCLUDING COMPACTION, EXCAVATION, PLACEMENT OF FILL MATERIALS ETC., SHALL BE DONE UNDER THE DIRECTION OF A GEOTECHNICAL ENGINEER.
15. THE OWNER/CONTRACTOR SHALL PROVIDE A GRADING REPORT CONSISTING OF THE OBSERVATIONS MADE DURING EARTHWORK OPERATIONS, SIGNED AND STAMPED BY A LICENSED GEOTECHNICAL ENGINEER, PRIOR TO ISSUANCE OF A BUILDING PERMIT FOR THE STRUCTURE. RECOMMENDATIONS PROVIDED IN THE GRADING REPORT SHALL BE COMPLETED PRIOR TO ANY STRUCTURAL IMPROVEMENTS.

INSPECTIONS

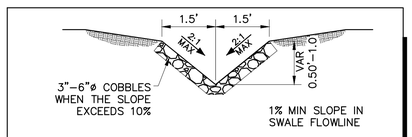
A. IT SHALL BE THE DUTY OF THE HOLDER OF THE BUILDING PERMIT OR THEIR DULY AUTHORIZED AGENT TO NOTIFY THE BUILDING OFFICIAL WHEN WORK IS READY FOR INSPECTION. IT SHALL BE THE DUTY OF THE PERMIT HOLDER TO PROVIDE ACCESS TO AND MEANS FOR INSPECTIONS OF SAID WORK THAT ARE REQUIRED BY THIS CODE.
B. ALL CONSTRUCTION WORK SHALL BE SUBJECTED TO INSPECTION BY THE CITY OF FOLSOM BUILDING OFFICIAL (OR HIS/HER REPRESENTATIVES) AND SUCH CONSTRUCTION OR WORK SHALL REMAIN ACCESSESSIBLE AND EXPOSED FOR INSPECTION PURPOSES UNTIL APPROVED. APPROVAL AS A RESULT OF AN INSPECTION SHALL NOT BE CONSTRUED TO BE AN APPROVAL OF A VIOLATION OF THE PROVISIONS OF THIS CODE OR OTHER ORDINANCES OF THE JURISDICTION. INSPECTIONS PRESUMING TO GIVE AUTHORITY TO VIOLATE OR CANCEL THE PROVISIONS IT THIS CODE OR OF OTHER ORDINANCES OF THE JURISDICTION SHALL NOT BE VALID. IT SHALL BE THE DUTY OF THE PERMIT APPLICANT TO CAUSE THE WORK TO REMAIN ACCESSIBLE AND EXPOSED FOR INSPECTION PURPOSES. NEITHER THE BUILDING OFFICIAL NOR THE JURISDICTION SHALL BE LIABLE FOR EXPENSES ENTAILED IN THE REMOVAL OR PLACEMENT OF ANY MATERIAL REQUIRED TO ALLOW INSPECTION. 2016 C.R.C. SECTION R109.

AMENDED CONSTRUCTION DOCUMENTS

WORK SHALL BE INSTALLED IN ACCORDANCE WITH THE APPROVED CONSTRUCTION DOCUMENTS, AND ANY CHANGES MADE DURING CONSTRUCTION THAT ARE NOT IN COMPLIANCE WITH THE APPROVED CONSTRUCTION DOCUMENTS SHALL BE RESUBMITTED FOR APPROVAL AS AN AMENDED SET OF CONSTRUCTION DOCUMENTS.

TOPOGRAPHIC SURVEY

TOPOGRAPHIC SURVEY HAS BEEN PROVIDED BY TSD ENGINEERING INC. DATED FEBRUARY 2021. CONTRACTOR SHALL VERIFY EXISTING GRADES PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER OF ANY CONFLICTS.



*SWALES IN WHICH THE SLOPE EXCEEDS 10% WILL REQUIRE AN ENERGY DISSIPATION DEVICE PRIOR TO CONVEYING THE RUNOFF INTO THE PUBLIC/PRIVATE STREET RIGHT-OF-WAY.

F — TYPICAL DRAINAGE SWALE

REGISTERED PROFESSIONAL ENGINEER — JEFF S. FITCHEN — No. 58930 Exp. 6-30-23 — CIVIL — STATE OF CALIFORNIA

SITE/GRADING PLAN
720 TOWNSEND COURT
JANUARY 25, 2022

ADDITIONAL GRADING NOTES:

1. COMPACTION TEST REQUIRED ON ALL FILL AREAS.
2. CALL U.S.A. AT 1-800-642-2444 PRIOR TO EXCAVATION.
3. ROCK LINE ANY SWALES STEEPER THAN 10%.
4. CONTRACTOR TO VERIFY BUILDING STRUCTURAL SECTION PRIOR TO CONSTRUCTION.

RETAINING WALL NOTES:

1. RETAINING WALLS SHOWN HEREON ARE FOR INFORMATION ONLY AND NOT CONSTRUCTED UNDER THIS PERMIT. SAID WALLS SHALL BE CONSTRUCTED UNDER SEPARATE PERMIT.
2. NO PART OF THE ROCKERY WALL CONSTRUCTION, INCLUDING FOOTING AND DRAINAGE SYSTEM, WILL EXTEND OVER THE PROPERTY LINE.
3. REFER TO ROCKERY DESIGN AND CONSTRUCTION GUIDELINES BY FHWA OR ASCE.

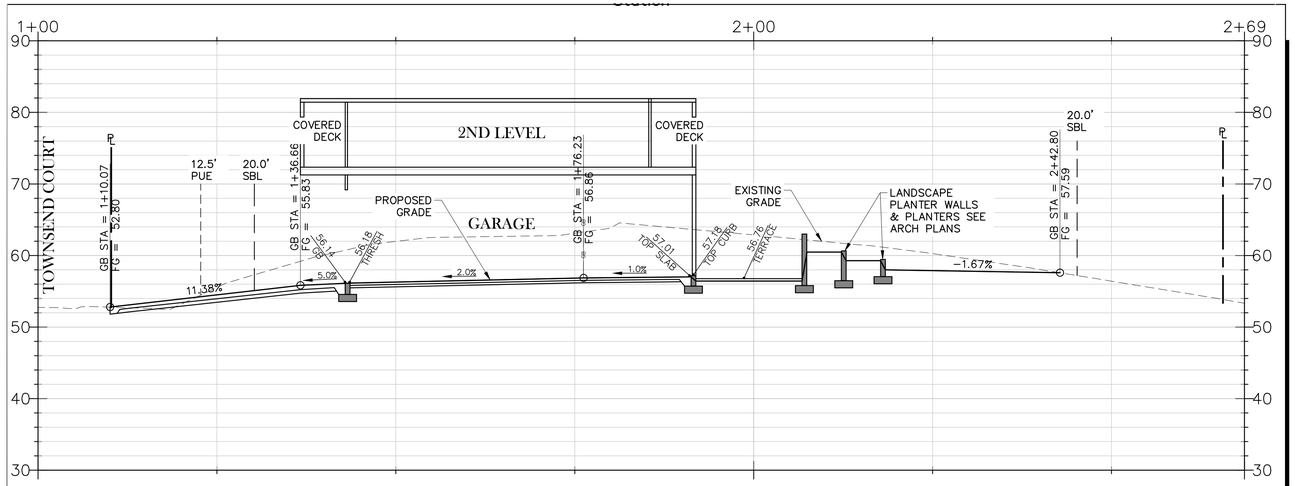
811 Know what's below. Call before you dig.

NOTICE TO CALL A MIN. 48 HOURS PRIOR TO CONSTRUCTION.

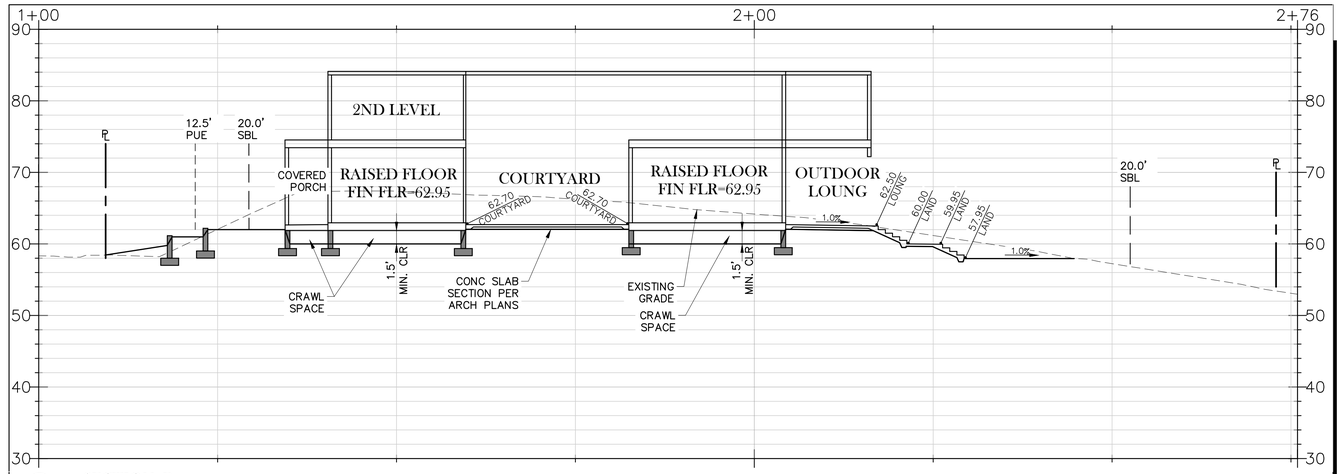
SHEET G1/3

TSD ENGINEERING, INC.
expect more.
785 Orchard Drive, Suite #110
Folsom, CA 95630
Phone: (916) 608-0707
Fax: (916) 608-0701

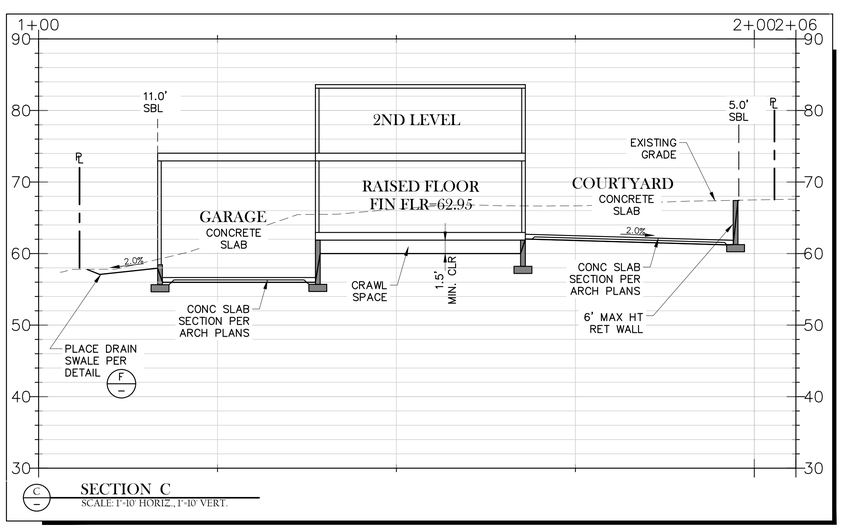
P:\Projects\103-046\02 DWG\C- Civil\MASTER\103-046 Lot 116 G1-G3.dwg, Tim Orr, 13:30:10, 01-25-22



A
SECTION A - DRIVEWAY PROFILE
SCALE: 1"=10' HORIZ., 1"=10' VERT.



B
SECTION B
SCALE: 1"=10' HORIZ., 1"=10' VERT.



C
SECTION C
SCALE: 1"=10' HORIZ., 1"=10' VERT.

SITE SECTIONS
720 TOWNSEND COURT
APN 072-3320-051
LOT 116 - EMPIRE RANCH VILLAGE 32C
CITY OF FOLSOM, CALIFORNIA

OWNER/APPLICANT
ELLIOTT HOMES, TOM GAMETTE
340 PALLADIO PARKWAY ST 521
FOLSOM, CA 95630
PHONE: (916) 984-1300
EMAIL: t.gamette@elliotthomes.com

AMENDED CONSTRUCTION DOCUMENTS

WORK SHALL BE INSTALLED IN ACCORDANCE WITH THE APPROVED CONSTRUCTION DOCUMENTS, AND ANY CHANGES MADE DURING CONSTRUCTION THAT ARE NOT IN COMPLIANCE WITH THE APPROVED CONSTRUCTION DOCUMENTS SHALL BE RESUBMITTED FOR APPROVAL AS AN AMENDED SET OF CONSTRUCTION DOCUMENTS.

ADDITIONAL GRADING NOTES:

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2. CALL U.S.A. AT 1-800-642-2444 PRIOR TO EXCAVATION.
3. ROCK LINE ANY SWALES STEEPER THAN 10%.
4. CONTRACTOR TO VERIFY BUILDING STRUCTURAL SECTION W/ ARCHITECT'S DWGS PRIOR TO CONSTRUCTION.

RETAINING WALL NOTES:

1. RETAINING WALLS SHOWN HEREON ARE FOR INFORMATION ONLY AND NOT CONSTRUCTED UNDER THIS PERMIT. SAID WALLS SHALL BE CONSTRUCTED UNDER SEPARATE PERMIT.
2. NO PART OF THE RETAINING WALL CONSTRUCTION, INCLUDING FOOTING AND DRAINAGE SYSTEM, WILL EXTEND OVER THE PROPERTY LINE.

REGISTERED PROFESSIONAL ENGINEER
CASEY S. TEITGREN
No. 58930
Exp. 6-30-23
CIVIL
STATE OF CALIFORNIA

SITE SECTIONS
720 TOWNSEND COURT
JANUARY 25, 2022

811
Know what's **below.**
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SHEET
G2/3

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Folsom, CA 95630
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Fax: (916) 608-0701

P:\Projects\103-046\02 DWG\C- Civil\MASTER\103-046 Lot 116 G1-G3.dwg, Tim Orr, 13:30:47, 01-25-22

EROSION CONTROL PLAN
720 TOWNSEND COURT
APN 072-3320-051
LOT 116 - EMPIRE RANCH VILLAGE 32C
CITY OF FOLSOM, CALIFORNIA

EROSION CONTROL LEGEND

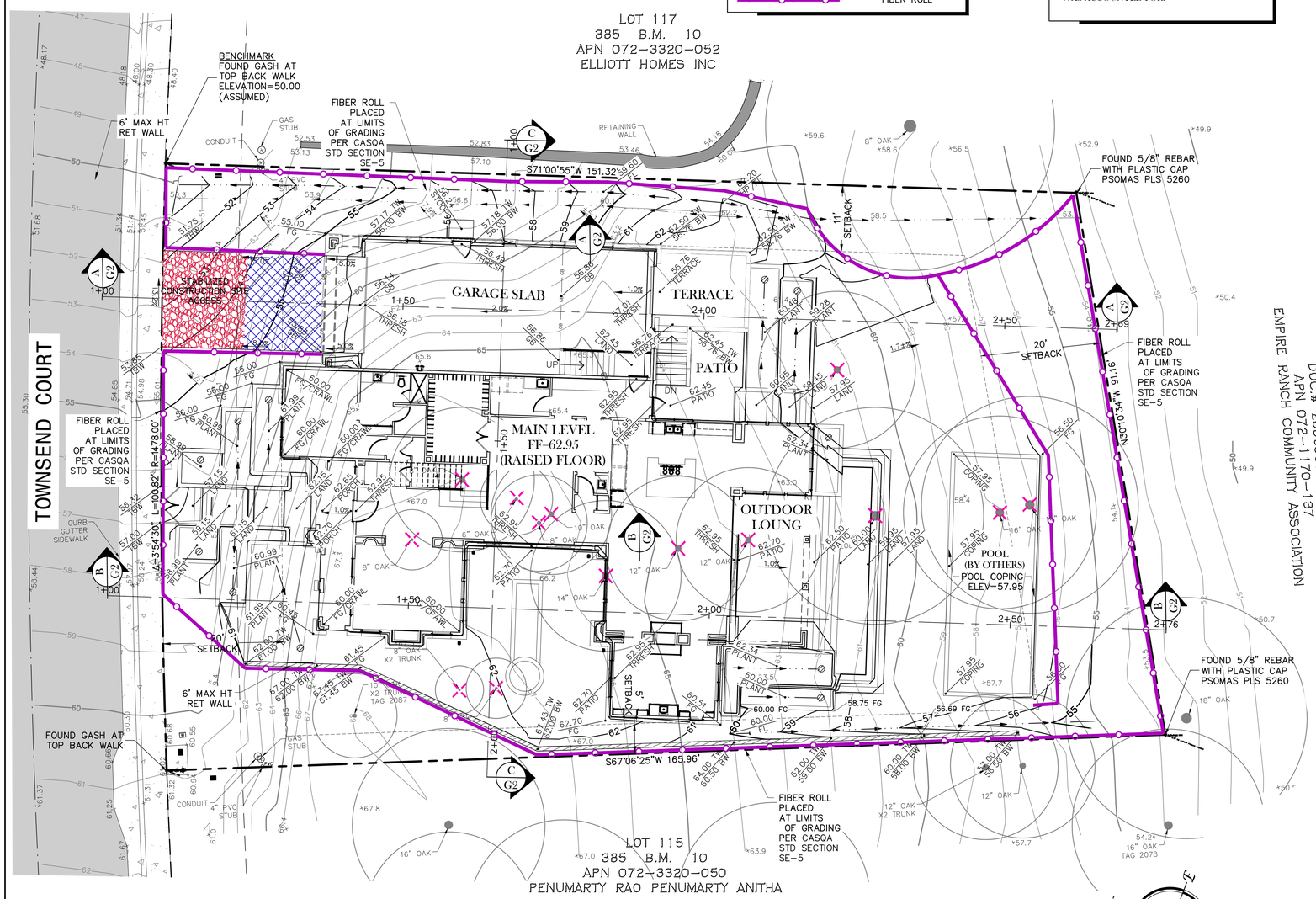
- SWALE
- STABILIZED CONSTRUCTION SITE ACCESS
- VEHICLE STAGING & STORAGE AREA W/ 4" CRUSHED ROCK
- FIBER ROLL

EARTHWORK QUANTITIES:

CUT - ± 1,376 CY
FILL - ± 52 CY
NET - ± 1,324 CY (EXPORT)

AREA OF GRADING IMPACTS = 12,364 SF

RAW NUMBERS, NO SHRINKAGE OR SWELL WAS ACCOUNTED FOR.



BMP INSTALLATION SCHEDULE

EROSION AND SEDIMENT CONTROL MEASURES	PHASE OF CONSTRUCTION			
	PRE-GRADING (CLEARING)	CUT & FILL ACTIVITIES	GRADING OF PADS	COMPLETION OF SITE IMPROVEMENTS
SCHEDULING REFERENCE CALIFORNIA STORMWATER QUALITY ASSOCIATION IMPROVEMENT STANDARDS SECTION EC-1 EROSION AND SEDIMENT CONTROL.	X	X	X	X
HYDROSEEDING REFERENCE CALIFORNIA STORMWATER QUALITY ASSOCIATION IMPROVEMENT STANDARDS SECTION EC-3, EC-4 EROSION AND SEDIMENT CONTROL.		X		
WATER CONSERVATION PRACTICES REFERENCE CALIFORNIA STORMWATER QUALITY ASSOCIATION IMPROVEMENT STANDARDS SECTION NS-1 EROSION AND SEDIMENT CONTROL.	X	X	X	X
STABILIZED CONSTRUCTION ACCESS ALL CONTRACTORS AND SUBCONTRACTORS MUST ESTABLISH STABILIZED AND APPROVED DISCHARGE POINTS (INLETS & OUTLETS) PRIOR TO ONSET OF CONSTRUCTION. (REFERENCE CASQA SECTION EC-10).	X	X	X	X
DUST CONTROL DUST CONTROL SHALL BE MAINTAINED BY WATER TRUCK.	X	X	X	
FIBER ROLLS REFERENCE CALIFORNIA STORMWATER QUALITY ASSOCIATION IMPROVEMENT STANDARDS SECTION SE-5 EROSION AND SEDIMENT CONTROL.	X	X	X	
STORM DRAIN INLET PROTECTION/ INLET SEDIMENT CONTROL BARRIER REFERENCE CALIFORNIA STORMWATER QUALITY ASSOCIATION IMPROVEMENT STANDARDS SECTION SE-10 EROSION AND SEDIMENT CONTROL.	X	X	X	
EQUIPMENT STAGING AREA CONTRACTOR TO ESTABLISH AREA FOR EQUIPMENT/VEHICLE STORAGE AND VEHICLE/EQUIPMENT MAINTENANCE, FUELING AND WASHING.	X	X	X	
MATERIAL STORAGE AREA CONTRACTOR TO ESTABLISH AREA FOR CONSTRUCTION MATERIAL AND DEBRIS/SOLID WASTE STOCKPILES. REFERENCE CALIFORNIA STORMWATER QUALITY ASSOCIATION IMPROVEMENT STANDARDS SECTION WM-3.	X	X	X	
STREET SWEEPING AND VACUUMING REFERENCE CALIFORNIA STORMWATER QUALITY ASSOCIATION IMPROVEMENT STANDARDS SECTION SE-7 EROSION AND SEDIMENT CONTROL.	X	X	X	

CUSTOM HOME EROSION AND SEDIMENT CONTROL NOTES

1. THE PROJECT SHALL CONFORM TO THE FOLSOM MUNICIPAL CODE (FMC) FOR PROTECTION OF SURFACE WATERS AND URBAN RUN-OFF. IN ADDITION, SITES OF ONE ACRE OR MORE SHALL COMPLY WITH THE STATE'S NPDES GENERAL CONSTRUCTION PERMIT.
2. THE PROJECT OWNER SHALL DESIGNATE AN EROSION AND SEDIMENT CONTROL (ESC) MANAGER WHO SHALL PROVIDE THEIR NAME, PHONE NUMBER, AND E-MAIL ADDRESS TO THE PUBLIC WORKS STORMWATER QUALITY MANAGER OR THE DESIGNATED CITY INSPECTOR. CHANGES TO THE ESC MANAGER'S CONTACT INFORMATION SHALL PROMPTLY BE REPORTED TO THE PUBLIC WORKS STORMWATER QUALITY MANAGER. THE ESC MANAGER SHALL BE RESPONSIBLE FOR ALL PROJECT PERSONNEL INCLUDING SUBCONTRACTORS AND MATERIAL SUPPLIERS.
3. THE ESC MANAGER SHALL INSPECT AND MAKE NECESSARY CORRECTIONS AND ADJUSTMENTS TO THE STORMWATER CONTROLS ON THE FOLLOWING SCHEDULE: 1) WEEKLY, 2) 48 HOURS PRIOR TO A STORM EVENT PREDICTED BY THE NATIONAL OCEANIC ATMOSPHERIC ADMINISTRATION TO EXCEED 0.10 INCH, 3) DURING A STORM EVENT EXCEEDING 0.10 INCH AND 4) WITHIN 48 HOURS AFTER A STORM EVENT EXCEEDING 0.10 INCH.
4. BEST MANAGEMENT PRACTICES (BMPS) DESCRIBED HEREIN AND ON THE APPROVED EROSION CONTROL PLAN ARE THE MINIMUM REQUIRED BMPS TO BE IMPLEMENTED AND MAINTAINED ON THE CONSTRUCTION SITE YEAR ROUND IN ORDER TO COMPLY WITH CHAPTER 8.70 OF THE FMC.ADDITIONAL MEASURES MAY BE REQUIRED AS SITE CONDITIONS DICTATE, THROUGHOUT THE COURSE OF THE WORK, TO ENSURE THAT WATER QUALITY RUN-OFF INTO CITY DRAINAGE FACILITIES IS PROTECTED.
5. SEDIMENT CONTROL BMPS SHALL BE INSTALLED AND MAINTAINED YEAR ROUND AND AT A MINIMUM SHALL INCLUDE PERIMETER CONTROLS, DRAIN INLET PROTECTION, AND STABILIZED ACCESS. PUBLIC STREETS AND SIDEWALKS SHALL BE SWEPT DAILY WHEN VEHICLES ARE ACCESSING THE SITE. WASHING THE STREET SHALL NOT BE PERMITTED UNLESS OTHERWISE APPROVED BY THE CITY.
6. THE CONTRACTOR SHALL ANTICIPATE AND ACCOMMODATE ANY RUN-ON FROM NEIGHBORING PROPERTIES, INCLUDING EXISTING WATER COURSES. EXISTING WATER COURSES SHALL BE MAINTAINED IN THEIR ORIGINAL CONDITION, EXCEPT WHERE MODIFICATIONS ARE APPROVED BY THE CITY.
7. ALL AREAS DISTURBED DURING CONSTRUCTION SHALL BE PROTECTED FROM EROSION DURING THE WET SEASON. HYDROSEED, IF USED, SHALL BE PLACED ON OR BEFORE SEPTEMBER 15TH. HYDROSEED PLACED AFTER SEPTEMBER 15TH SHALL BE USED WITH A SECONDARY PROTECTION METHOD SUCH AS A MAT OR BLANKET SPECIFICALLY DESIGNED TO FACILITATE GERMINATION AND GROWTH.
8. PROTECTED AREAS SHALL BE PROTECTED WITH ORANGE CONSTRUCTION FENCING. ADDITIONAL SIGNAGE MAY BE REQUIRED TO IDENTIFY THE RESOURCE BEING PROTECTED AND/OR PROVIDE ADDITIONAL INSTRUCTIONS TO CONSTRUCTION PERSONNEL.
9. CEMENTITIOUS, PAINT, WASTE, AND HAZARDOUS MATERIALS SHALL BE HANDLED, COVERED, AND/OR STORED PROPERLY TO AVOID SPILLS, LEAKAGE, AND CONTACT WITH RAIN OR STORMWATER RUNOFF.
10. UPON COMPLETION OF THE PROJECT, ALL BMP'S SHALL BE REMOVED ONCE LANDSCAPING IS INSTALLED AND FUNCTIONING TO THE SATISFACTION OF THE CITY.
11. VIOLATIONS OF THE FMC 8.70 MAY RESULT IN STOP WORK NOTICES, FINES, AND/OR DELAY IN CITY INSPECTIONS OF THE PROJECT IMPROVEMENTS.

BMP MAINTENANCE SCHEDULE:

THE BMP INSPECTOR SHOULD INSPECT THE SITE ON A WEEKLY BASIS, AND BEFORE, DURING, AND AFTER ANY STORM GENERATING RUNOFF TO DETERMINE MAINTENANCE REQUIREMENTS AND GENERAL CONDITIONS OF THE INSTALLED SYSTEM. THE LOCAL AGENCY MAY ALSO INSPECT THE SITE ON A ROUTINE BASIS TO ASSESS THE MAINTENANCE PERFORMED ON THE SYSTEMS. ALL MAINTENANCE RELATED TO A STORM EVENT SHOULD BE COMPLETED WITHIN FORTY-EIGHT (48) HOURS OF THE STORM EVENT. THE FOLLOWING MAINTENANCE TASKS SHOULD BE PERFORMED ON A REGULAR BASIS:

A. REMOVAL OF SEDIMENT FROM BARRIERS AND SEDIMENTATION DEVICES.
B. REPLACEMENT OR REPAIR OF WORN OR DAMAGED SILT FENCE FABRICS.
C. REPLACEMENT OR REPAIR OF DAMAGED STRUCTURAL CONTROLS.
D. REPAIR OF DAMAGED SOIL STABILIZATION MEASURES.
E. OTHER CONTROL MAINTENANCE AS DEFINED IN EACH BMP FACT SHEET.

EROSION AND SEDIMENT CONTROL NOTES

1. ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH THE CALIFORNIA STORMWATER QUALITY ASSOCIATION IMPROVEMENT STANDARDS FOR EROSION AND SEDIMENT CONTROL EXCEPT WHERE NOTED OTHERWISE.

2. EROSION & SEDIMENT CONTROL BMPs MUST BE IN PLACE DURING ALL TIMES OF CONSTRUCTION. APPROPRIATE AMOUNTS (DEPENDING ON SIZE & CONDITION OF SITE) EROSION & SEDIMENT CONTROL DEVICES (FIBER ROLL, GRAVEL BAGS, ETC.) SHALL BE AVAILABLE ON SITE, DURING THE REST OF THE YEAR (DRY-SEASON) AND SHALL BE IMPLEMENTED PRIOR TO ANY SIGNIFICANT STORM EVENT THAT WILL GENERATE 1/10 INCH OF RAIN OR MORE.

3. ALL DRAINAGE INLETS IMMEDIATELY DOWNSTREAM OF THE WORK AREAS AND WITHIN THE WORK AREAS SHALL BE PROTECTED WITH SEDIMENT CONTROL AND INLET FILTER BAGS, YEAR ROUND. INLET FILTER BAGS SHALL BE REMOVED FROM THE DRAINAGE INLETS UPON ACCEPTANCE OF THE IMPROVEMENTS BY THE CITY OF FOLSOM.

4. ALL STABILIZED CONSTRUCTION ACCESS LOCATIONS SHALL BE CONSTRUCTED PER CASQA TR-1, TR-2, TR-3, WHERE CONSTRUCTION TRAFFIC ENTERS OR LEAVES PAVED AREAS. THE STABILIZED ACCESS SHALL BE MAINTAINED ON A YEAR ROUND BASIS UNTIL THE COMPLETION OF CONSTRUCTION. DIMENSIONS HAVE BEEN REDUCED PER LOT SIZE CONSIDERATIONS.

5. ALL AREAS DISTURBED DURING CONSTRUCTION, BY GRADING, TRENCHING, OR OTHER ACTIVITIES, SHALL BE PROTECTED FROM EROSION DURING CONSTRUCTION. HYDROSEED PLACED IMMEDIATELY PRIOR TO ANY RAIN EVENT SHALL USE A SECONDARY EROSION PROTECTION METHOD.

OWNER/APPLICANT
ELLIOTT HOMES, TOM GAMETTE
340 PALLADIO PARKWAY ST 521
FOLSOM, CA 95630
PHONE: (916) 984-1300
EMAIL: t.gamette@elliotthomes.com

811 Know what's below. Call before you dig.

NOTICE TO CALL A MIN. 48 HOURS PRIOR TO CONSTRUCTION.

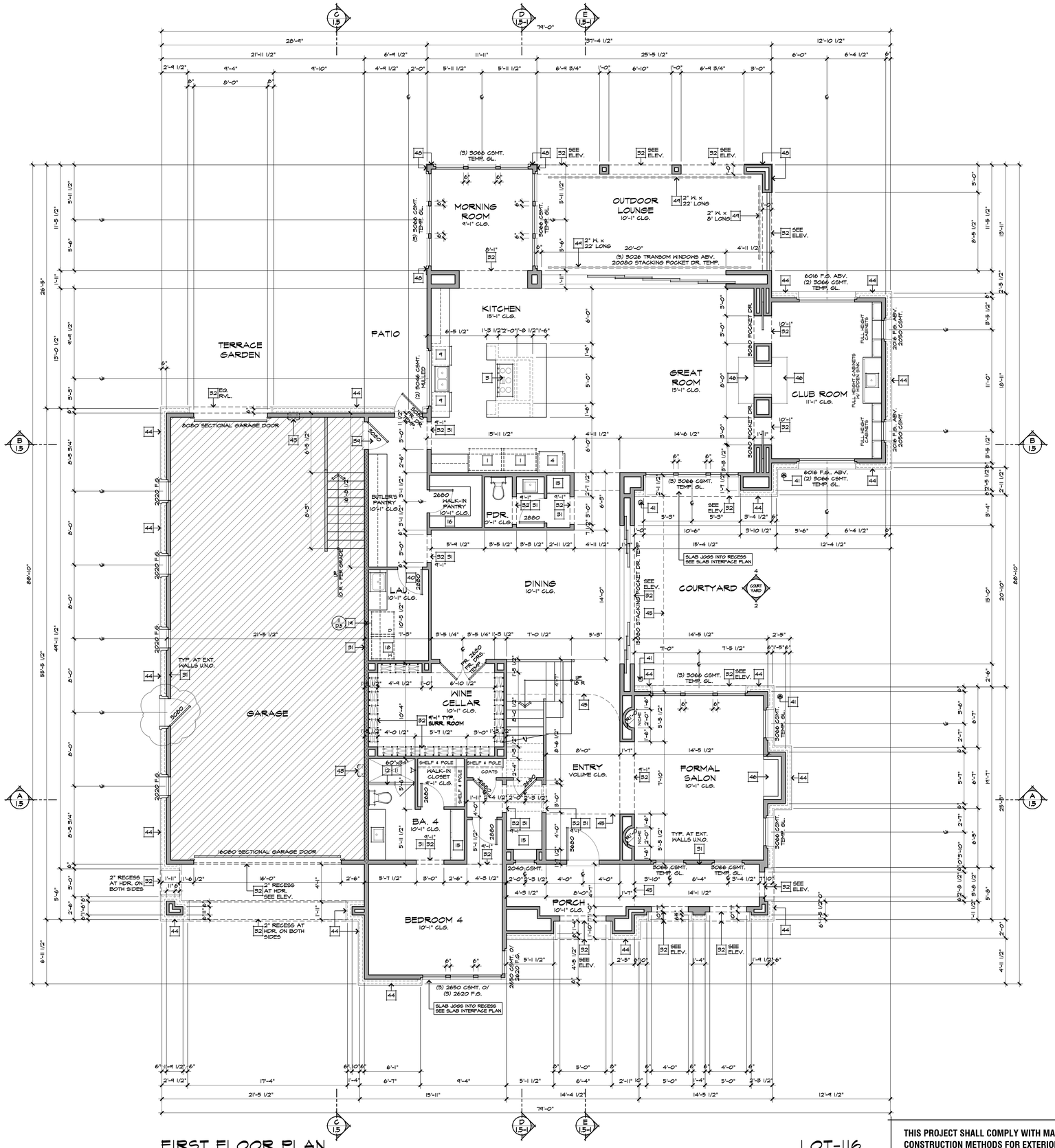
REGISTERED PROFESSIONAL ENGINEER — JOSEF S. TEPPERMAN — No. 58930 Exp. 6-30-23 — CIVIL — STATE OF CALIFORNIA

EROSION CONTROL PLAN
720 TOWNSEND COURT
JANUARY 25, 2022

SHEET G3/3

TSD ENGINEERING, INC.
expect more.
785 Orchard Drive, Suite #110
Folsom, CA 95630
Phone: (916) 608-0707
Fax: (916) 608-0701

A:\Projects\103-046\02 DWGS\- Civil\MASTER\103-046 Lot 116 G1-G3.dwg, Tom Orr, 1/25/2022, 01:25:22



FIRST FLOOR PLAN

LOT-116

SCALE: 1/4"=1'-0"

SEE ADDENDA FOR PLAN CHANGE PER ELEVATION.

FLOOR PLAN NOTES

01.01.20

1. 48" BUILT-IN REFRIGERATOR SPACE. PLUMB FOR WATER SUPPLY.
2. 36" BUILT-IN REFRIGERATOR SPACE. PLUMB FOR WATER SUPPLY.
3. 42" COOKTOP WITH METAL EXHAUST HOOD ABOVE WITH LIGHT & FAN. (MIN. 100 C.F.M. MAX. 3 SONE, & VENTED TO OUTSIDE AIR).
4. 30" SLIDE-IN OVEN/RANGE COMBINATION WITH MICRO/HOOD COMBO ABOVE WITH LIGHT & FAN. (MIN. 100 C.F.M., MAX 3 SONE & VENTED TO OUTSIDE AIR.
5. PANTRY CABINET. SEE INTERIOR ELEVATIONS BY OTHERS..
6. 30" BUILT-IN OVEN / MICROWAVE COMBINATION.
7. BUILT-IN MICROWAVE. REFER TO BUILDER SPECIFICATIONS FOR SIZE.
8. BUILT-IN BEVERAGE COOLER. SEE BUILDER SPECIFICATIONS.
9. DISHASHER.
10. TRASH COMPACTOR.
11. HAND-BUILT SHOWER. SEE PLAN FOR SIZE. TILE WAINSCOT TO CEILING OR 72" MINIMUM ABOVE DRAIN.
12. TEMPERED GLASS SHOWER ENCLOSURE PER C.R.C. R308.1. SHOWER DOOR TO BE A MIN. 22" CLEAR.
13. 36" x 72" FREE-STANDING TUB.
14. SHOWER SEAT. SEE PLAN FOR HEIGHT. SLOPE FOR POSITIVE DRAINAGE.
15. LINEN CABINET. SEE INTERIOR ELEVATIONS BY OTHERS.
16. BUILT-IN SHELVES BY OTHERS. SEE BUILDER SPECIFICATIONS.
17. LAUNDRY SINK. SEE BUILDER SPECIFICATIONS.
18. PROVIDE WATER AND WASTE FOR WASHER.
19. DRYER VENT (MAX. 14 FEET LENGTH INCLUDING (2) 90 DEGREE ELBOWS) PER C.M.C. 504.4.
20. F.A.U. IN ATTIC. PROVIDE 30" X 30" CLEAR, ATTIC ACCESS PANEL (OR PER C.M.C. 504.4) PROVIDE FUEL GAS, LIGHT AND SWITCH.
21. 22"X30" ROUGH FRAMED ATTIC ACCESS OPENING PER C.R.C. R807.1.
22. LINE OF EXTERIOR BALCONY GUARD. SEE ELEVATIONS FOR DETAIL. TOP OF GUARDS SHALL NOT BE LESS THAN 42" IN HEIGHT. OPEN GUARDS SHALL HAVE INTERMEDIATE RAILS OR AN ORNAMENTAL PATTERN SUCH THAT A SPHERE 4" IN DIAMETER CANNOT PASS THROUGH PER C.R.C. R312.1.
23. DUCT CHASE . VERIFY WITH H.V.A.C. DRAWINGS.
24. BALLOON FRAMED WALLS. SEE STRUCTURAL FRAMING PLANS.
25. LINE OF CRIPPLE WALL ABOVE.
26. PONY WALL. SEE PLAN FOR HEIGHT.
27. ELECTRICAL SERVICE PANEL (SEE UTILITY PLAN). SEE GENERAL NOTES FOR GROUNDING INFORMATION.
28. LINE OF FALSE INTERIOR BEAMS. SEE PLAN FOR SIZE AND SPACING.
29. A/C PAD. VERIFY LOCATION.
30. 2x10 STUD WALL (NOTE AT EXTERIOR RECESSED DOORS AND WINDOWS THE DOOR/WINDOW WALL FRAMING TO BE 2x6 U.N.O.
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32. FLAT SOFFIT. SEE PLAN FOR HEIGHT OR DETAIL.
33. ARCHED SOFFIT. SEE PLAN FOR HEIGHT OR DETAIL.
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37. LINE OF FIRE-RATED FIELD-BUILT "FALSE" SHUTTERS. SEE ELEVATION FOR SIZE AND DETAIL INFO.
38. LINE OF EXPOSED SLOPING RAFTERS. SEE PLAN FOR SIZE. REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL INFO.
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41. FLOOR DRAIN.
42. RAIN SHOWER HEAD.
43. TANKLESS WATER HEATER. INSTALL AND VENT PER MANUFACTURER.
44. LINE OF ADHERED BRICK VENEER SEE ELEVATION.
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47. 5'-0" PRE-FAB FIBERGLASS TUB/SHOWER WITH WATER RESISTANT WAINSCOT TO 12" ABOVE DRAIN U.N.O. PROVIDE SHOWER CURTAIN ROD U.N.O.
48. 1" FOAM FURRING.
49. DRYWALL STRIP VENT. SEE ELEV. FOR VENTING REQUIREMENTS

GENERAL PLAN NOTES

01.01.20

A. ALL INTERIOR DOORS TO BE HOLLOW CORE 1 3/8" THICK U.N.O., (SEE PLAN FOR SIZE).
B. ALL GARAGE SERVICE DOORS TO BE METAL WITH SOLID FOAM CORE 1 3/4" THICK EXTERIOR GRADE. (SEE PLAN FOR SIZE).
C. ALL ENTRY DOORS TO BE SOLID CORE 1 3/4" THICK. (SEE PLAN FOR SIZE). AT DOUBLE ENTRY DOORS PROVIDE DEADBOLT AT TOP AND BOTTOM OF INACTIVE DOOR.
D. ALL EXTERIOR FRENCH DOORS TO BE SOLID CORE 1 3/4" THICK. (SEE PLAN FOR FOR SIZE). AT DOUBLE FRENCH DOORS PROVIDE DEADBOLT AT TOP AND BOTTOM OF INACTIVE DOOR.
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LEGEND

01.01.20

INDICATES WALLS REQUIRING 1/2" MINIMUM GYPSUM WALL BOARD ON GARAGE SIDE OF WALL FOR OCCUPANCY SEPARATION PER C.R.C. TABLE R302.6.

INDICATES (1) LAYER MIN. 1/2" GYPSUM BOARD AT CEILING WHEN ATTIC OCCURS ABOVE GARAGE. INDICATES (1) LAYER 5/8" TYPE "X" GYPSUM BOARD AT CEILING WHEN HABITABLE ROOMS OCCUR ABOVE GARAGE. C.R.C. TABLE R302.6.

THIS PROJECT SHALL COMPLY WITH MATERIALS AND CONSTRUCTION METHODS FOR EXTERIOR WILDFIRE EXPOSURE PER C.R.C. SECTION R337. SEE SHEET G.3 FOR ADDITIONAL REQUIREMENTS.

LOT-116 - SQUARE FOOTAGE

FIRST FLOOR	2,936
SECOND FLOOR	2,390
TOTAL	5,327
GARAGE	1,051
PORCH	184
OUTDOOR LOUNGE	292
COVERED DECK	555
UNCOVERED DECK	80

NOTE: FINISHED SQUARE FOOTAGE CALCULATIONS FOR THIS HOUSE HERE MADE BASED ON PLAN DIMENSIONS ONLY AND MAY VARY FROM THE FINISHED SQUARE FOOTAGE OF THE HOUSE AS BUILT.

CITY APPROVAL

ARCHITECTURAL STAMP

LICENSED ARCHITECT KENNETH CHESTER BASSENIAN C3971 Exp. 01/31/23 STATE OF CALIFORNIA

1st PLAN CHECK

Date: 10-11-2021

REVISIONS

Elliott Homes
A Tradition of Quality since 1914
340 PALLADIO PARKWAY
SUITE 521
FOLSOM, CA 95630
PH: (916) 984-1300

LAKEVIEW OAKS
FOLSOM, CA

LOT-116
FIRST FLOOR PLAN

1.2

JOB NUMBER: 258-21060

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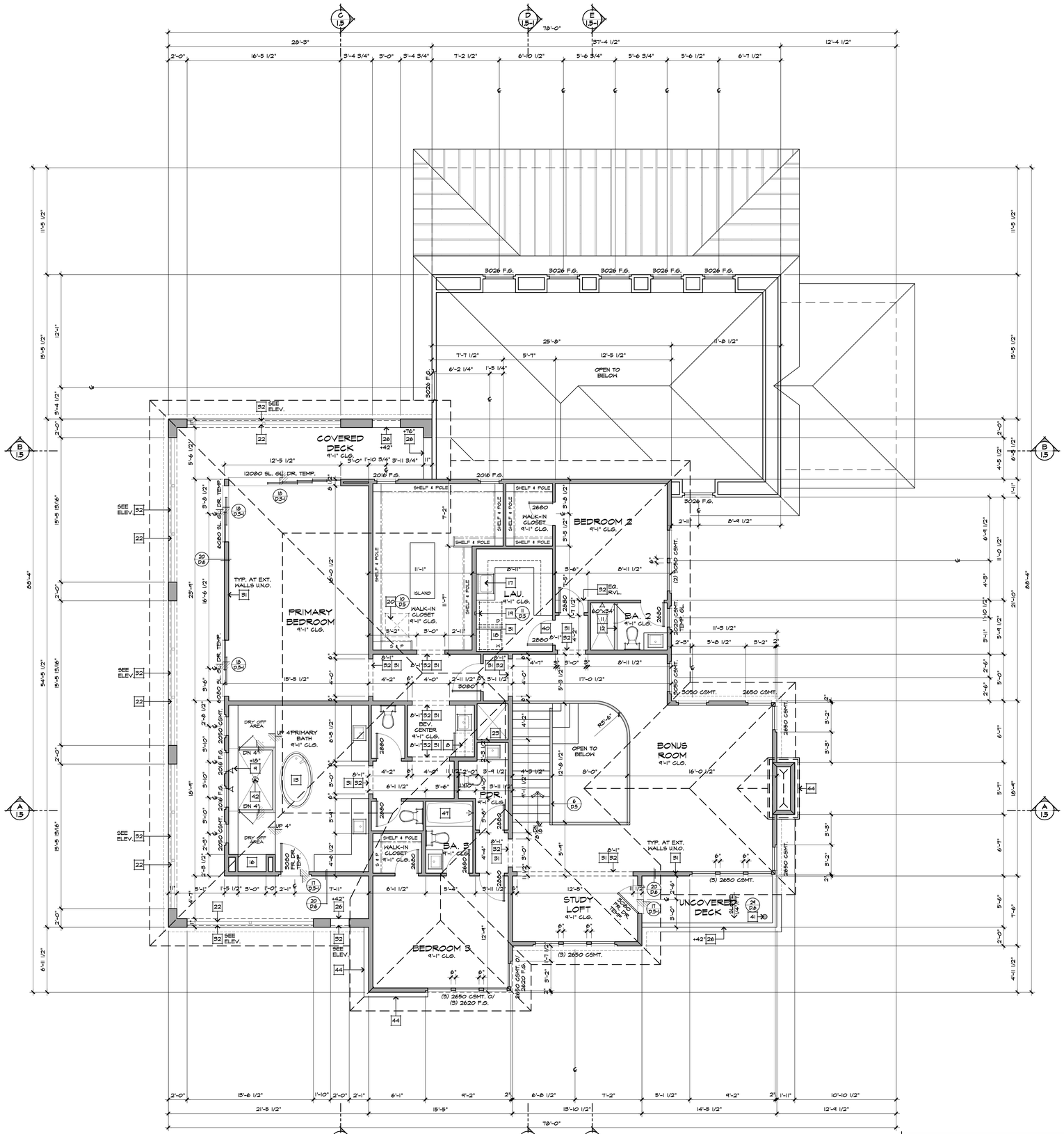
BASSENIAN LAGONI ARCHITECTS

Bassenian | Lagoni
ARCHITECTURE • PLANNING • INTERIORS
2031 ORCHARD DRIVE | NEWPORT BEACH, CA 92660 T 949.553.9100 F 949.553.0548

PLOT DATE: 1-25-22

FILE NAME: 21060FLR116



SECOND FLOOR PLAN

LOT-116

SCALE: 1/4"=1'-0"

SEE ADDENDA FOR PLAN CHANGE PER ELEVATION.

THIS PROJECT SHALL COMPLY WITH MATERIALS AND CONSTRUCTION METHODS FOR EXTERIOR WILDFIRE EXPOSURE PER C.R.C. SECTION R337. SEE SHEET G.3 FOR ADDITIONAL REQUIREMENTS.

FLOOR PLAN NOTES

01/01/20

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GENERAL PLAN NOTES

01/01/20

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LEGEND

01/01/20

INDICATES WALLS REQUIRING 1/2" MINIMUM GYPSUM WALL BOARD ON GARAGE SIDE OF WALL FOR OCCUPANCY SEPARATION PER C.R.C. TABLE R302.6.

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CITY APPROVAL

ARCHITECTURAL STAMP

Bassenian | Lagoni
ARCHITECTURE • PLANNING • INTERIORS
2031 ORCHARD DRIVE | NEWPORT BEACH, CA 92660 T 949.553.9100 F 949.553.0548

1st PLAN CHECK

Date: 10-11-2021

REVISIONS

Elliott Homes
A Tradition of Quality since 1914
340 PALLADIO PARKWAY
SUITE 521
FOLSOM, CA 95630
PH: (916) 984-1300

LAKEVIEW OAKS
FOLSOM, CA

LOT-116
SECOND FLOOR PLAN

1.2-1

JOB NUMBER: 258-21060

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BASSENIAN LAGONI ARCHITECTS

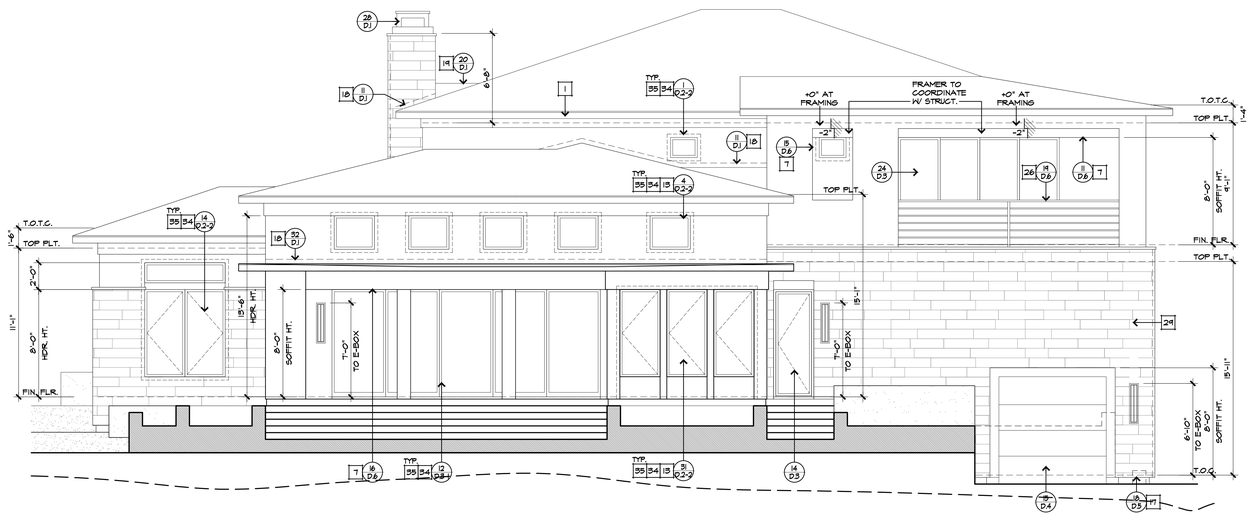
PLOT DATE: 1-19-22

FILE NAME: 2-1060FLR1.1B

FRONT ELEVATION

LOT-116

SCALE: 1/4"=1'-0"



REAR

LOT-116

SCALE: 1/4"=1'-0"

ELEVATION / ROOF NOTES

01/01/20

1. FASCIA. SEE DETAIL.
2. BARGE. SEE DETAIL.
3. EXPOSED RAFTER TAILS, SEE DETAIL. ALL RAFTER TAILS TO BE EQUALLY SPACED. FRAMER TO COORDINATE WITH TRUSS ENGINEER.
4. EXTERIOR PLASTER OVER PAPER BACKED WITH WIRE MESH.
5. STANDING SEAM METAL ROOF, SEE ROOF PLAN.
6. STANDING SEAM METAL AWNING, SEE DETAIL.
7. EXTERIOR PLASTER SOFFIT OVER EXPANDED METAL LATH.
8. CEMENTITIOUS SIDING, SEE EXTERIOR FINISHES NOTES.
9. CEMENTITIOUS SOFFIT, SEE DETAIL.
10. CEMENTITIOUS BOARD & BATTEN SIDING, SEE EXTERIOR FINISH NOTES.
11. CEMENTITIOUS CORNER TRIM, SEE DETAIL & EXTERIOR FINISH NOTES.
12. CEMENTITIOUS TRIM. SEE ELEVATION OR DETAIL FOR ACTUAL SIZE.
13. FOAM TRIM, SEE ELEVATION OR DETAIL FOR ACTUAL SIZE.
14. FALSE FIXED SHUTTERS, SEE ELEVATION FOR SIZE.
15. POTSHELF, SEE DETAIL.
16. G.I. FLASHING AT BOARD & BATTEN JOINT, SEE DETAIL.
17. G.I. EXTERIOR PLASTER SCREED, SEE DETAIL.
18. G.I. FLASHING ROOF TO WALL.
19. G.I. FLASHING AND SADDLE / CR.
20. LINE OF INTERIOR CEILING OR INTERIOR WALL.
21. ADDRESS SIGN.
22. WOOD POST(S). SEE PLAN FOR SIZE. (REFER TO STRUCTURAL).
23. EXPOSED WOOD BEAM. SEE PLAN FOR SIZE. (REFER TO STRUCTURAL).
24. EXPOSED WOOD CORBEL / BRACKET.
25. DECORATIVE "FALSE" GABLE END VENT, SEE ELEV. FOR PLACEMENT INFO.
26. METAL RAILING. SEE DETAIL.
27. G.I. SCREENED "ROOF" AIR VENT. SEE REQUIRED ATTIC VENTILATION CHART FOR MORE INFORMATION.
28. G.I. GUTTER AND DOWNSPOUTS, GUTTER LAYOUT AND DOWNSPOUT LOCATIONS TO BE FIELD VERIFIED.
29. ADHERED SYNTHETIC STONE VENEER BY EL DORADO, ESR-1215.
30. G.I. PLASTER CONTROL JOINT.
31. REPEAT DETAIL AT OPPOSITE SIDE OF OPENING.
32. APPROVED TERMINATION CAP FOR APPLIANCE FIREPLACE (PER F.P. MFR.)
33. STONE COATED FOAM TRIM/COMPONENT, SEE DETAIL.
34. FOAM FILL AT RECESSED WINDOW, SEE DETAIL.
35. LINE OF RECESSED WINDOW FRAMING, SEE DETAIL.
36. C.M.U. PLANTER WALL BY OTHERS, STONE VENEER TO MATCH FRONT ELEVATION VENEER.

EXTERIOR FINISHES NOTES

01/01/20

A. ALL EXPOSED SHUTTERS, POSTS AND CORBELS TO BE "RESAWN" AND SHALL BE PRIMED ON ALL SIDES PRIOR TO INSTALLATION/ASSEMBLY.
B. ALL EXPOSED POST TO BEAM HARDWARE TO HAVE HIDDEN INSTALLATION OR STRUCTURALLY APPROVED 'ORNAMENTAL' CONNECTORS WITH A TEXTURED BLACK POWDER COAT FINISH.
C. EXTERIOR PLASTER FINISH. STEEL TROWEL "SMOOTH".
D. TYPICAL SIDING TO BE : JAMES HARDIE 'V' GROOVE SIDING, ESR-2290
   EXPOSURE : 4.5"
   FINISH : WOOD GRAIN

ROOF PLAN NOTES

01/01/20

INDICATES ROOF SLOPE. REFER TO ROOF PLAN(S).

A. TYPICAL ROOFING: CONCRETE FLAT TILE
   BY EAGLE ROOFING OR APPROVED EQUAL. IAPMO# UES-1900.
   MINIMUM CLASS A ROOF, 4.1 POUNDS PER S.F.

B. TYPICAL ROOF OVERHANG AT RAKE CONDITION TO BE LOT #21 - 24" O.H.
   UNLESS NOTED OTHERWISE ON ROOF PLAN. LOT #22 - TIGHT

A. TYPICAL ROOF OVERHANG AT EAVE CONDITION TO BE LOT #21 - 24" O.H.
   UNLESS NOTED OTHERWISE ON ROOF PLAN. LOT #22 - 18" O.H.

REQUIRED ATTIC VENTILATION

01/01/20

ATTIC VENTILATION CALCULATIONS PER C.R.C. R806.2 AS FOLLOWS:

A. ATTIC AREA (SQUARE FEET)

B. DIVIDE A. BY 300 AND MULTIPLY BY 144 TO CALCULATE THE TOTAL REQUIRED MIN. NET FREE VENTING AREA IN SQUARE INCHES. AT LEAST 40% AND NO MORE THAN 50% OF THE REQUIRED VENTING AREA SHALL BE PROVIDED BY HIGH VENTS LOCATED NO MORE THAN 3 FEET VERTICAL BELOW THE RIDGE OR HIGHEST POINT OF ROOF WITH BALANCE OF VENTING PROVIDED BY EAVE/ LOW VENTS (OR IN CLIMATE ZONES 14 AND 16 A CLASS I OR II VAPOR RETARDER SHALL BE INSTALLED ON THE WARM-IN-WINTER SIDE OF CEILING.)
   *DIVIDE A. BY 150 AND MULTIPLY BY 144 TO CALCULATE THE TOTAL REQUIRED MIN. NET FREE VENTING AREA IN SQUARE INCHES.

C. TOTAL SQUARE INCHES OF NET FREE VENTILATING AREA PROVIDED BY RIDGE VENTS. (SEE ATTIC VENT CHART FOR FREE AREA)
   *RIDGE VENT

D. TOTAL SQUARE INCHES OF NET FREE VENTILATING AREA PROVIDED BY ROOF AIR VENTS. (SEE ATTIC VENT CHART FOR FREE AREA)
   *HIGH VENT *LOW VENT *AREA / 150 VENT

   PROVIDE ACCESS AND VENTILATION FROM CALIFORNIA FRAMED AREAS TO ADJACENT ATTIC SPACES. REFER TO STRUCTURAL DRAWINGS FOR SHEATHING PENETRATIONS.

NOTE: FOR ADDITIONAL GENERAL ATTIC / ROOF AIR VENTING REQUIREMENTS REFER TO GENERAL NOTE SHEETS.

THIS PROJECT SHALL COMPLY WITH MATERIALS AND CONSTRUCTION METHODS FOR EXTERIOR WILDFIRE EXPOSURE PER C.R.C. SECTION R337. SEE SHEET G.3 FOR ADDITIONAL REQUIREMENTS.

CITY APPROVAL

LICENSED ARCHITECT KENNETH CHESTER BASSENIAN C3971 Exp. 01/31/23 STATE OF CALIFORNIA

ARCHITECTURAL STAMP

1st PLAN CHECK

Date: 10-11-2021

REVISIONS

Elliott Homes
A Tradition of Quality since 1914
340 PALLADIO PARKWAY
SUITE 521
FOLSOM, CA 95630
PH: (916) 984-1300

LAKEVIEW OAKS
FOLSOM, CA

LOT-116
FRONT & REAR ELEVATIONS

1.6-0

JOB NUMBER: 258-21060

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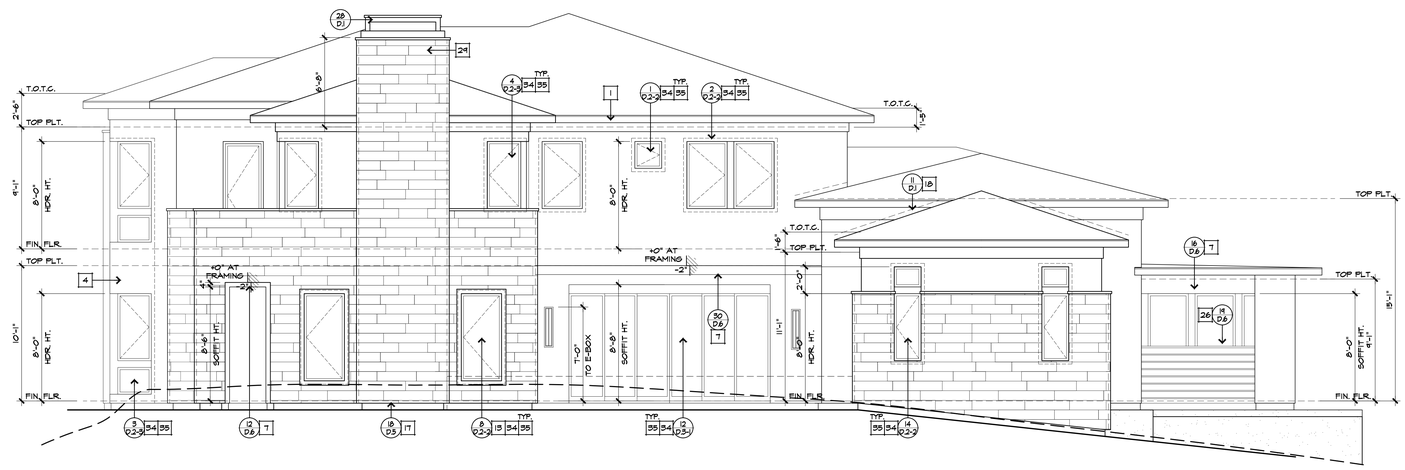
PLOT DATE: 1-19-22

FILE NAME: 210925LV116

LEFT

LOT-116

SCALE: 1/4"=1'-0"



RIGHT

LOT-116

SCALE: 1/4"=1'-0"

CITY APPROVAL

LICENSED ARCHITECT KENNETH CHESTER RUBSCHEN C-23971 Exp. 01/31/23 STATE OF CALIFORNIA

ARCHITECTURAL STAMP

1st PLAN CHECK

Date: 10-11-2021

REVISIONS

Elliott Homes
A Tradition of Quality since 1914

340 PALLADIO PARKWAY
SUITE 321
FOLSOM, CA 95630
PH: (916) 984-1300

LAKEVIEW OAKS
FOLSOM, CA

LOT-116
LEFT & RIGHT ELEVATIONS

1.6-1

JOB NUMBER: 258-21060

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PLOT DATE: 1-25-22

FILE NAME: 21000ELV116

Elliott Homes
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LAKEVIEW OAKS
LOT 116
FOLSOM, CALIFORNIA
JOB# 258-21060
COLOR SELECTION CHART

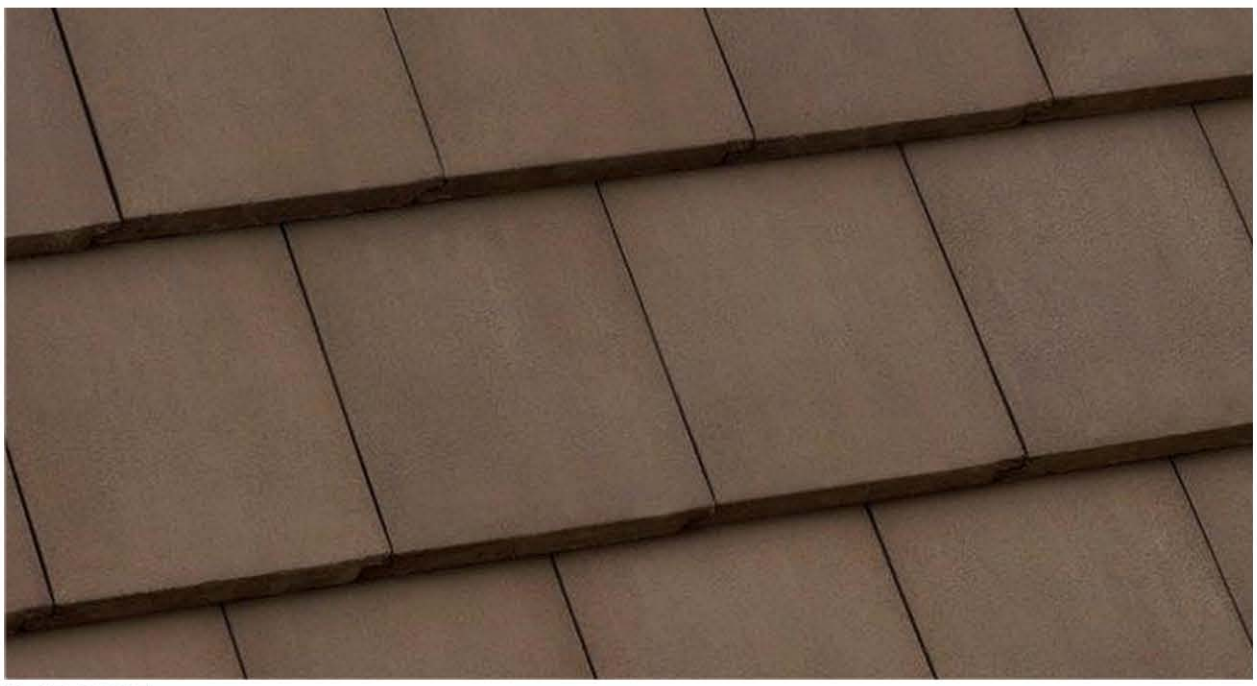
Bassenian | Lagoni
ARCHITECTURE • PLANNING • INTERIORS

ROOF: EAGLE
PAINT: KELLY MOORE
STONE: ELDORADO, CREATIVE MINES
GUTTERS & DOWNSPOUT: CUSTOM BILT METALS

JULY 26, 2021

FASCIA, EAVES, TAILS, HEADERS, BEAMS, TRIMS & GARAGE DOOR	KM 5800 SAUSALITO RIDGE
FRONT ENTRY DOOR	KM 5800 SAUSALITO RIDGE
BASE STUCCO	KM 5766 WHISPER RIDGE
STONE	ELDORADO SEA SHELL CUT COARSE STONE
STONE MORTAR	ORCO PEARL
WINDOW FRAME MILGARD	BRONZE
FLAT ROOF EAGLE	4743
WROUGHT IRON	KM 4911-5 DESERT SHADOW
GUTTERS AND DOWNSPOUT	MUSKET

LOT 116



FLAT ROOF

BASE STUCCO

FASCIA, EAVES, TAILS, HEADERS,
BEAMS, POSTS, KICKERS & GARAGE DOORS

WINDOW FRAME & ENTRY DOORS

WROUGHT IRON

STONE