

1121 RIVER BEND COURT CUSTOM HOME

OWNERS:

MIKE & VICKY KENNEDY

PROJECT ADDRESS:

1121 RIVER BEND COURT
FOLSOM, CALIFORNIA

RIVER ROCK SUBDIVISION, LOT NO, 20

A.P.N.= 223-0500-056

.32 ACRES, 13,800 SQ. FT. ZONED R-1-ML

SHEET INDEX

NO.	CONTENTS:
CS	COVER SHEET & SITE PLAN
A1	MAIN LEVEL FLOOR PLAN
A2	APARTMENT LEVEL FLOOR PLAN
A3	BUILDING EXTERIOR ELEVATIONS
A4	BUILDING EXTERIOR ELEVATIONS
A5	BUILDING EXTERIOR ELEVATIONS
A6	BUILDING EXTERIOR ELEVATIONS
A7	BUILDING CROSS SECTIONS
A8	BUILDING CROSS SECTIONS
E1	MAIN LEVEL ELECTRICAL PLAN
E2	APARTMENT LEVEL ELECTRICAL PLAN
S1	FOUNDATION PLAN
S2	FLOOR FRAMING PLAN
S3	ROOF FRAMING PLAN
SD1	STRUCTURAL DETAILS AND NOTES

PROJECT DATA :

ZONED- R-1-ML
SCHOOL DISTRICT- SAN JUAN UNIFIED SCHOOL DISTRICT
FIRE DISTRICT- SACRAMENTO METROPOLITAN FIRE DISTRICT
UTILITY SUPPLIERS-
GAS- PG&E
ELECTRIC-SMUD

LOT COVERAGE BREAKDOWN:

HOME INTERIOR SPACE FOOTPRINT	1,974 SQ. FT.
ATTACHED TWO CAR GARAGE	571 SQ. FT.
HARLEY GARAGE	145 SQ. FT.
COVERED PORCHES & PATIOS	450 SQ. FT.
CONCRETE FLATWORK & DRIVE	1,035 SQ. FT.
SECOND FLOOR DECKS	991 SQ. FT.

TOTAL NEW HOME LOT COVERAGE ON 13,800 SQ. FT. LOT
37% - 5,166 SQ. FT.

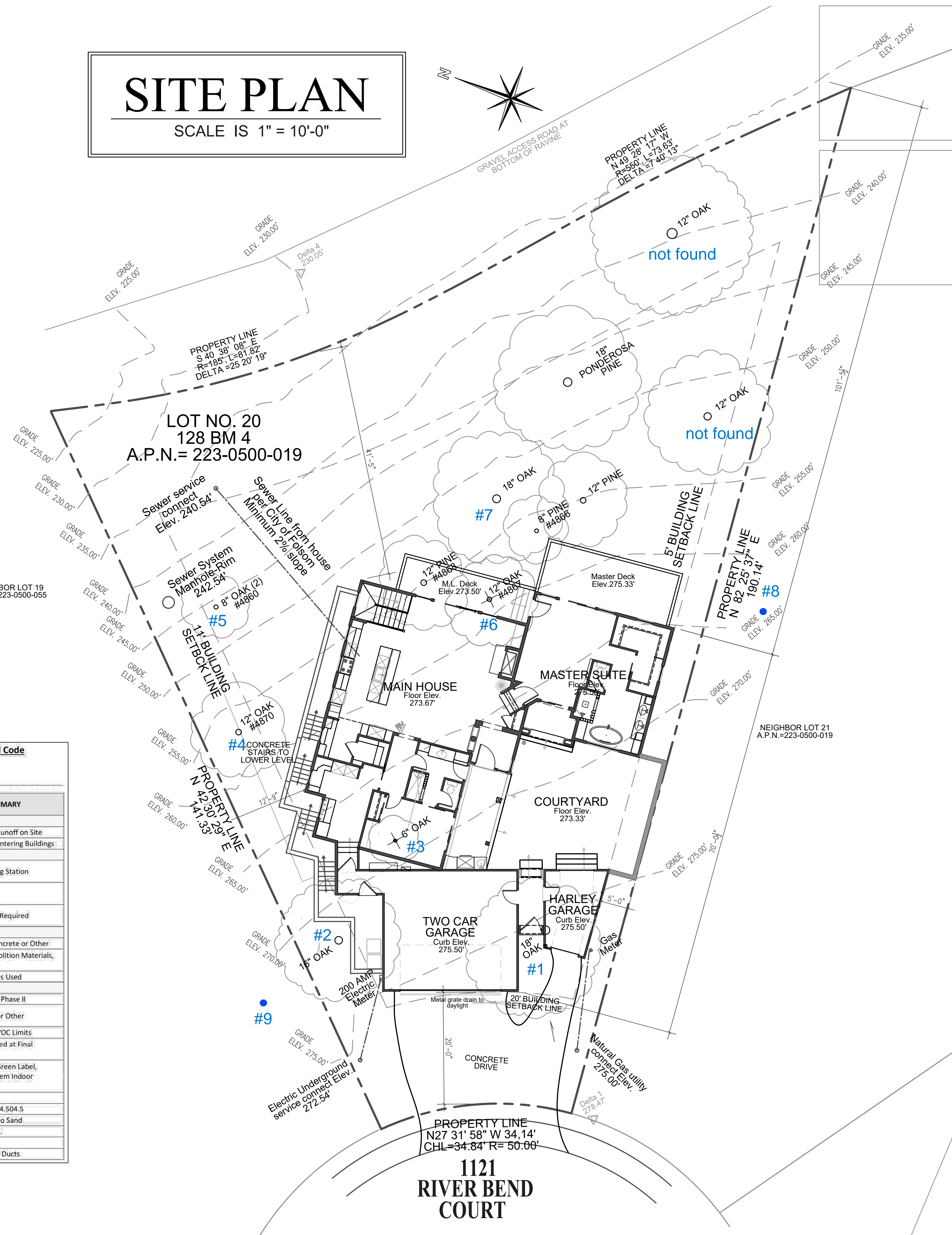
Mandatory Requirements 2016 California Green Building Standard Code for Residential Building Permits			
Project Address: 1121 RIVER BEND COURT		Date:	
ITEM#	CODE SECTION	REQUIREMENTS	MEASURE SUMMARY
PLANNING AND DESIGN			
1	4.106.2	Storm Water Drainage and Retention	Prevention of Erosion and Runoff on Site
2	4.106.3	Grading and Paving	Prevention of Water from Entering Buildings
WATER EFFICIENCY & CONSERVATION			
3	4.106.4	Electric Vehicle (EV) charging station (New Dwellings Only)	Facilitate Future EV Charging Station
4	4.303	Indoor Water Use Reduction Fixture Schedules	CA Plumbing Code
5	4.304.1	Landscape area over 500 sq. ft. (New Dwellings Only)	MWELD Landscape Budget Required
MATERIAL CONSERVATION & RESOURCE EFFICIENCY			
6	4.406.1	Rodent Proofing	Seal Plates with Mortar, Concrete or Other
7	4.408	Construction Waste Reduction, Disposal & Recycling	Recycle/Reuse 65% of Demolition Materials, Waste Management Plan
8	4.410.1	Operation and Maintenance Manual	Owner Manual for Measures Used
ENVIRONMENTAL QUALITY			
9	4.503.1	Fireplaces and Woodstoves	Gas Direct Vent, Wood EPA Phase II
10	4.504.1	Covering of Duct Opening/Protection of Equipment	Plastic, Sheet-Metal, Tape or Other
11	4.504.2	Finish Material Pollutant Control	Adhesives, Sealants, State VOC Limits
12	4.504.2.4	Verification/Certification of Compliance	City Form CDD-0179 Required at Final Inspection
13	4.504.3	Carpet Systems	Carpet and Rug Institutes' Green Label, Scientific Certifications System Indoor Advantage Gold
14	4.504.3.1	Carpet Cushion	
15	4.504.4	Resilient Flooring Systems	80% of Flooring VOC Limits
16	4.504.5	Composite Wood Products	Formaldehyde Limits Table 4.504.5
17	4.505.2.1	Capillary Break	Under Slab Vapor Barrier, No Sand
18	4.505.3	Moisture Content of Building Materials	Building Materials 19% Max.
19	4.506.1	Bathroom Exhaust Fans 50 c.f.m.	Humidity Control
20	4.507.2	Heating and Air-Conditioning System Design	Manual J System, Manual D Ducts

SITE PLAN

SCALE IS 1" = 10'-0"

NEIGHBOR LOT 19
A.P.N.=223-0500-055

NEIGHBOR LOT 21
A.P.N.=223-0500-019



KandE
design

916-604-2932
8757 #2991
Auburn Folsom Rd.
Granite Bay, CA 95746

DATES:

DRAW KJP - 09-02-21
DRAW KJP - 07/24/2021
Cint. Chngs. - 12/25/2021
Cint. Chngs. - 01/01/2022

PROJECT:
MIKE & VICKY KENNEDY RESINCE
1121 RIVER BEND COURT
COVER SHEET & SITE PLAN

SHEET:

CS

1 OF 18

MIKE & VICKY'S RVER BEND COURT CUSTOM HOME

KandE
design

916-604-2932
8757 Auburn Folsom
Road #2991
Granite Bay, CA
95746

DATES:

DRAW- KJP - 06/28/2021
DRAW- KJP - 07/24/2021
Clt. Chngs. - 12/25/2021
Clt. Chngs. - 01/01/2022

MIKE & VICKY'S CUSTOM HOME
1121 RIVER BEND COURT, FOLSOM CA.

PROJECT:

SHEET:

A1

2 OF xx

MAIN LEVEL FLOOR PLAN

SQUARE FOOTAGE BREAKDOWN:

• MAIN LEVEL INTERIOR SPACE-	1,909 SQUARE FEET
• LOWER LEVEL INTERIOR SPACE-	747 SQUARE FEET
• GARAGES (ATTACHED)-	716 SQUARE FEET
• COVERED PORCHES/PATIOS-	106 SQUARE FEET
• SECOND FLOOR DECKS-	991 SQUARE FEET

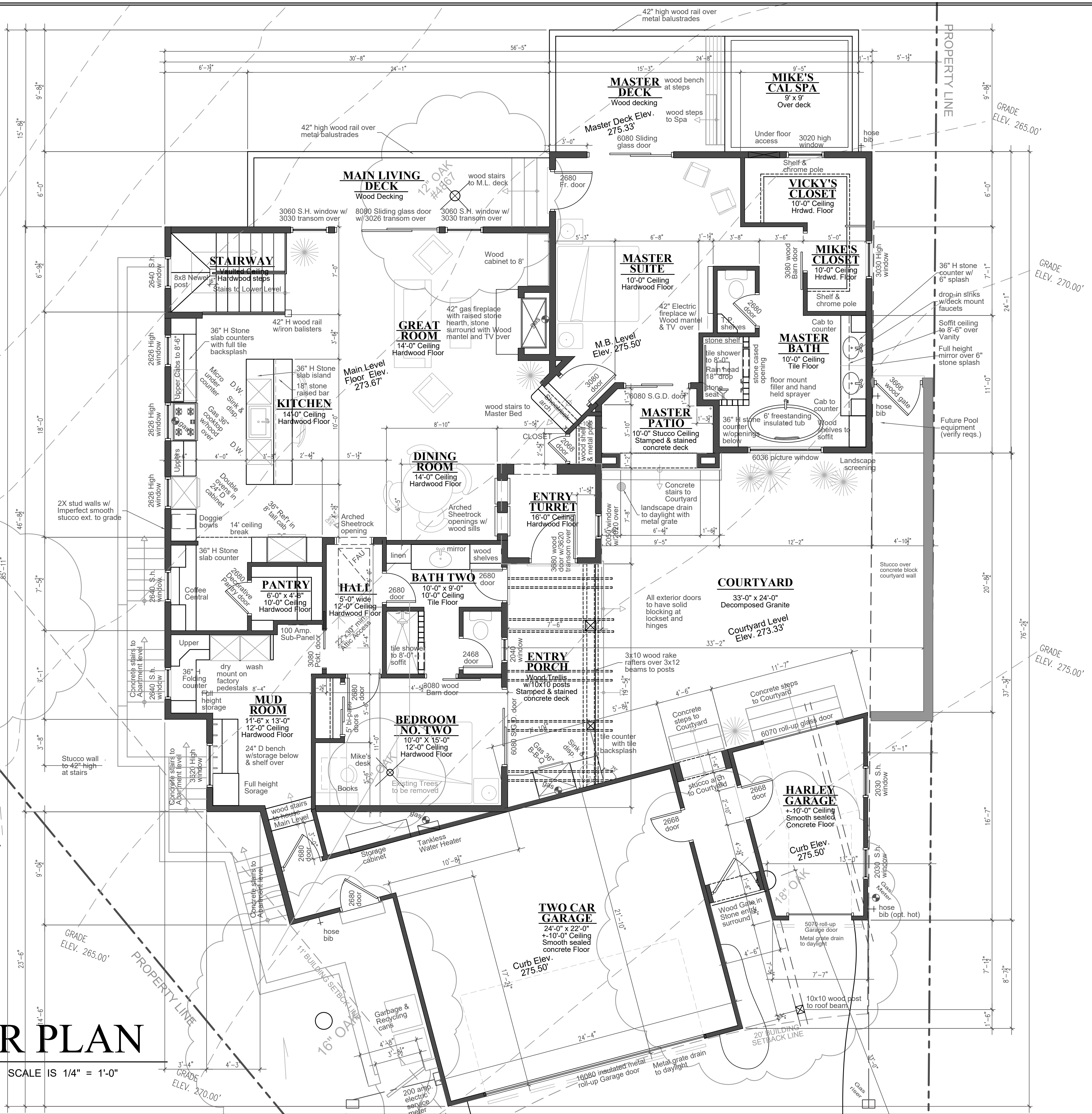
SEE COVER SHEET SITE PLAN FOR LOT COVERAGE AND FURTHER INFORMATION

All Exterior walls to be 2x6 D.F. #2 studs at 16" o.c. with 1-coat
SIP stucco exterior treatment per CBC R 703

MAIN LEVEL FLOOR PLAN

1,890 SQUARE FEET

SCALE IS 1/4" = 1'-0"



DATES:

DRAW- KJP - 06/28/2021
DRAW- KJP - 07/24/2021
Cmt. Chngs. - 12/25/2021
Cmt. Chngs. - 01/01/2022

MIKE & VICKY'S CUSTOM HOME
LOWER LEVEL FLOOR PLAN

PROJECT:

SHEET:

A2

3 OF x

SQUARE FOOTAGE BREAKDOWN:

• MAIN LEVEL INTERIOR SPACE-	1,909 SQUARE FEET
• LOWER LEVEL INTERIOR SPACE-	747 SQUARE FEET
• GARAGES (ATTACHED)-	716 SQUARE FEET
• COVERED PORCHES/PATIOS-	106 SQUARE FEET
• SECOND FLOOR DECKS-	991 SQUARE FEET

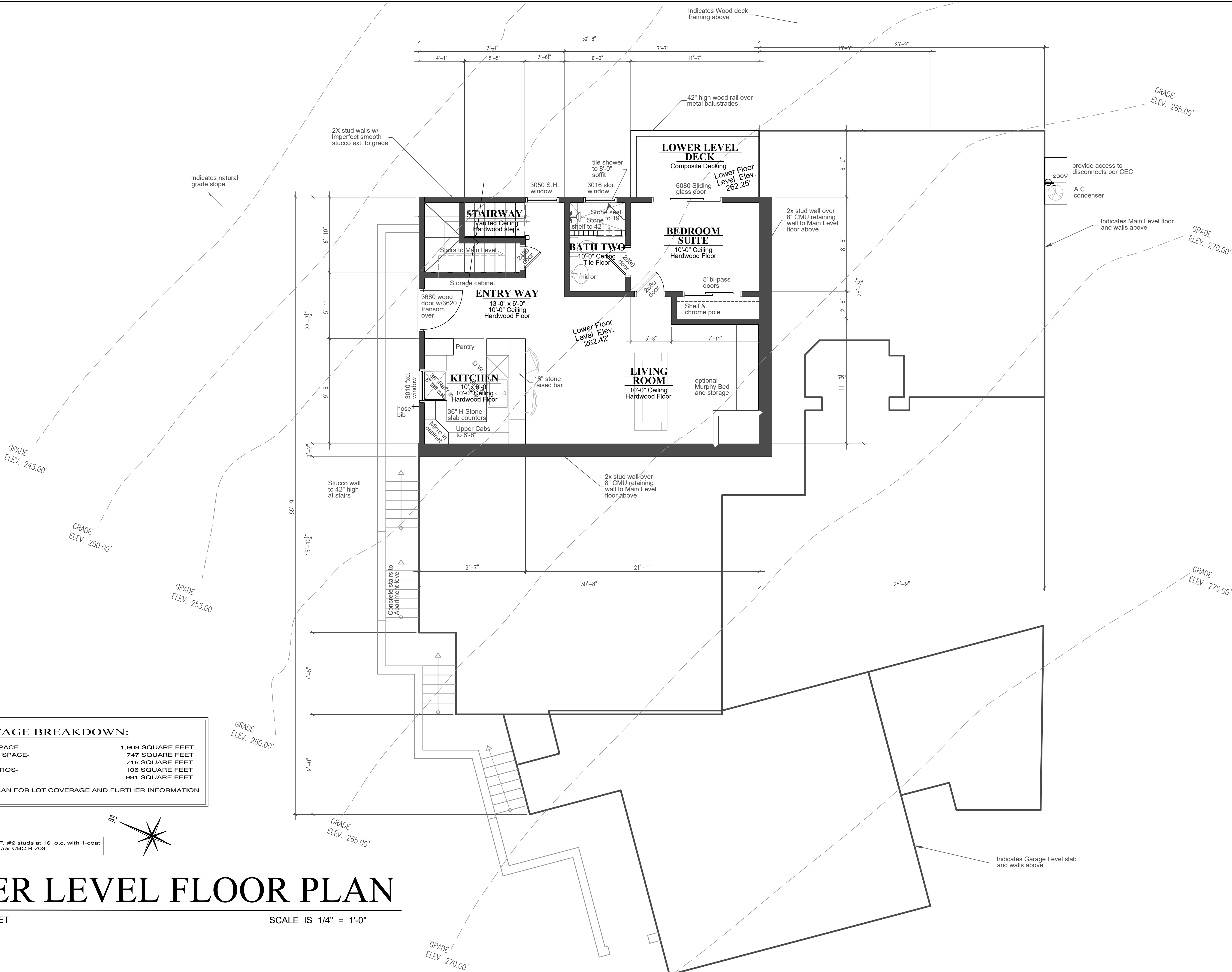
SEE COVER SHEET SITE PLAN FOR LOT COVERAGE AND FURTHER INFORMATION

All Exterior walls to be 2x6 D.F. #2 studs at 16" o.c. with 1-coat
SIP stucco exterior treatment per CBC R 703

LOWER LEVEL FLOOR PLAN

650 SQUARE FEET

SCALE IS 1/4" = 1'-0"



DATES:

DRAW- KJP - 06/28/2021
DRAW- KJP - 07/24/2021
Cmt. Chngs. - 12/25/2021
Cmt. Chngs. - 01/01/2022

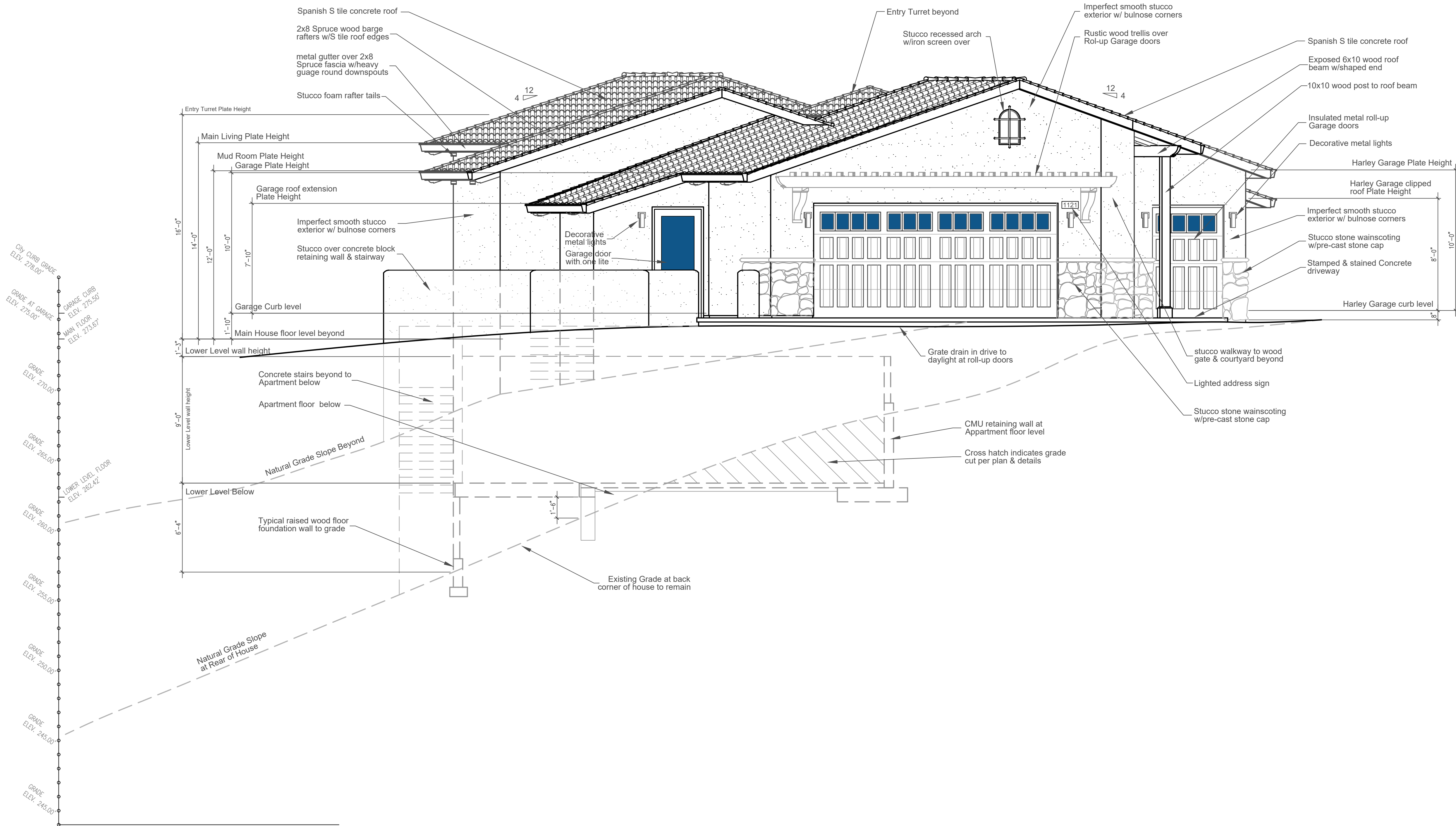
MIKE & VICKY'S CUSTOM HOME
531 TORERO WAY, EL DORADO
RIVER BEND COURT EXTERIOR ELEVATIONS

PROJECT:

SHEET:

A3

4 OF xx



RIVER BEND COURT FRONT ELEVATION

NORTH FACING

SCALE IS 1/4" = 1'-0"

DATES:
DRAW- KJP - 06/28/2021
DRAW- KJP - 07/24/2021
Cmt. Chngs. - 12/25/2021
Cmt. Chngs. - 01/01/2022

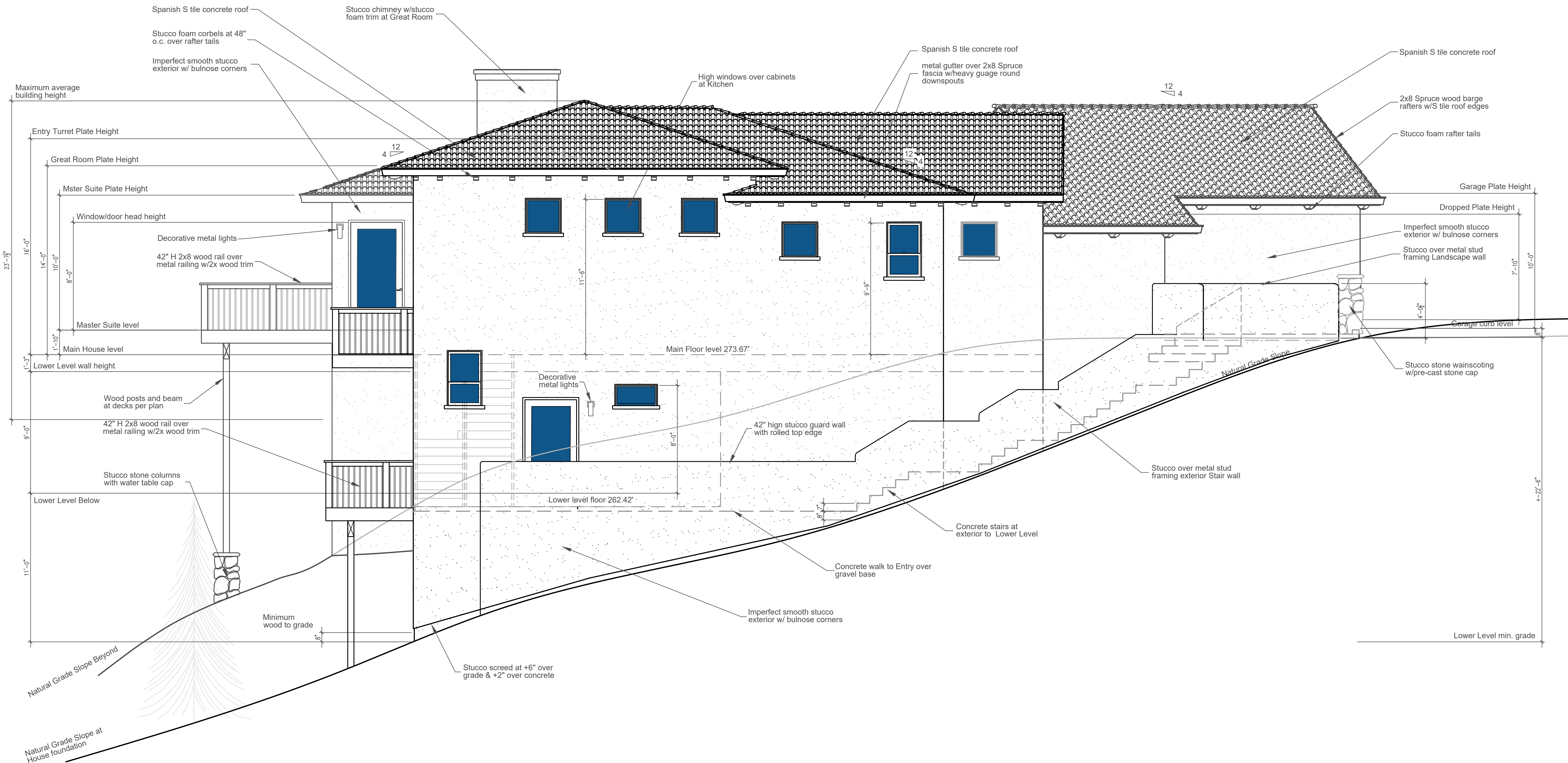
MIKE & VICKY'S CUSTOM HOME
531 TORERO WAY, EL DORADO
MAIN HOUSE EXTERIOR ELEVATIONS

PROJECT:

SHEET:

A4

5 OF xx



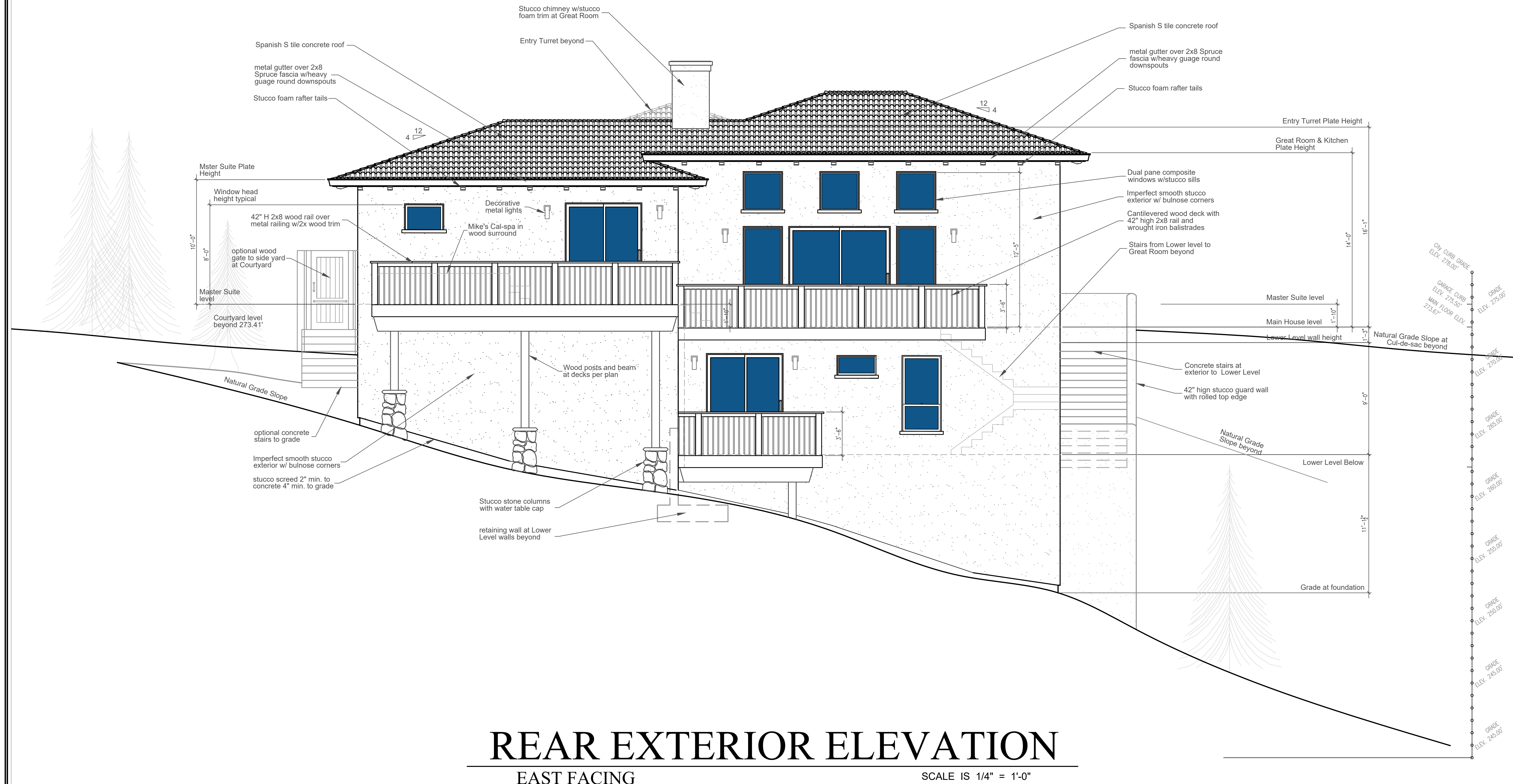
LEFT SIDE ELEVATION
NORTH FACING
SCALE IS 1/4" = 1'-0"

DRAW- KJP - 06/28/2021
DRAW- KJP - 07/24/2021
Clnt. Chngs. - 12/25/2021
Clnt. Chngs. - 01/01/2022

PROJECT:

A5

6 OF xx



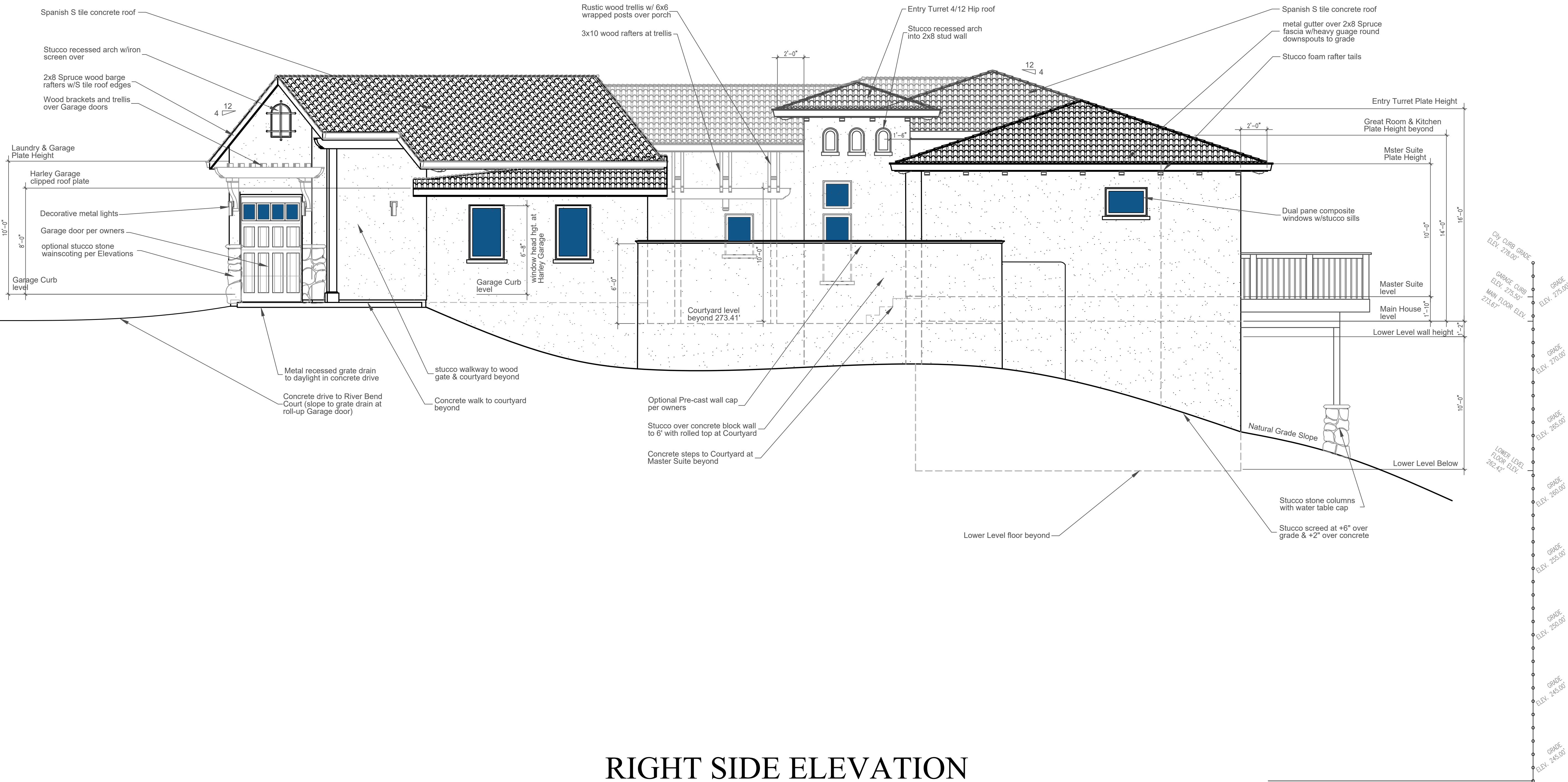
DATES:
DRAW- KJP - 06/28/2021
DRAW- KJP - 07/24/2021
Cmnt. Chngs. - 12/25/2021
Cmnt. Chngs. - 01/01/2022
Cmnt. Chngs. - 01/11/2022

MIKE & VICKY'S CUSTOM HOME
531 TORERO WAY, EL DORADO
SECOND HOUSE EXTERIOR ELEVATIONS

PROJECT:

SHEET:
A6

7 OF xx



RIGHT SIDE ELEVATION
SOUTH FACING
SCALE IS 1/4" = 1'-0"

- See sheets SN1 and SN2 for notes and typical details.
- Aggregate base under slabs to be #4, 3/8 min, crushed rock.
- All dimensions are to face of concrete in line with framing above or center of footing, slab or stud wall framing and based on site measurements (Verify dimensions as needed).
- Footings to be placed on undisturbed natural soil or engineered compacted fill per CBC.
- #4 rebar top and bottom of continuous footings spliced and bent per engineers notes.
- All wall to contact concrete and within 8" of grade, 2" of concrete flatwork to be pressure treated d.f.
- Plumbing and electrical sweeps and penetrations through concrete (in approved sleeve sized for service) to be in place prior to rebar inspection.
- 1/2" x 10" min. anchor bolts (3"x31/4" plate washers) at 60" o.c. max. and a minimum 7" into concrete. Minimum 2 bolts per board. See Brace Wall schedule for anchor bolt spacing and holdown bolts at Brace Walls.
- Tie in place all holdown anchors prior to foundation form/rebar inspection. Slope finish grade per CRC 402.3, a minimum 6" within 10' away from foundation. 1" or 1/4" per 1" at impervious surfaces within 10' of building.
- Hose bibs to have backflow preventer devices permanently installed.
- See Site Plan for utility trenches and connections to Main House.

indicates natural
grade slope

GRADE
ELEV. 250.00'

GRADE
ELEV. 255.00'

Hatched walls Indicate Shearwalls above

Indicates shearwall type See shearwall schedule panel length shown

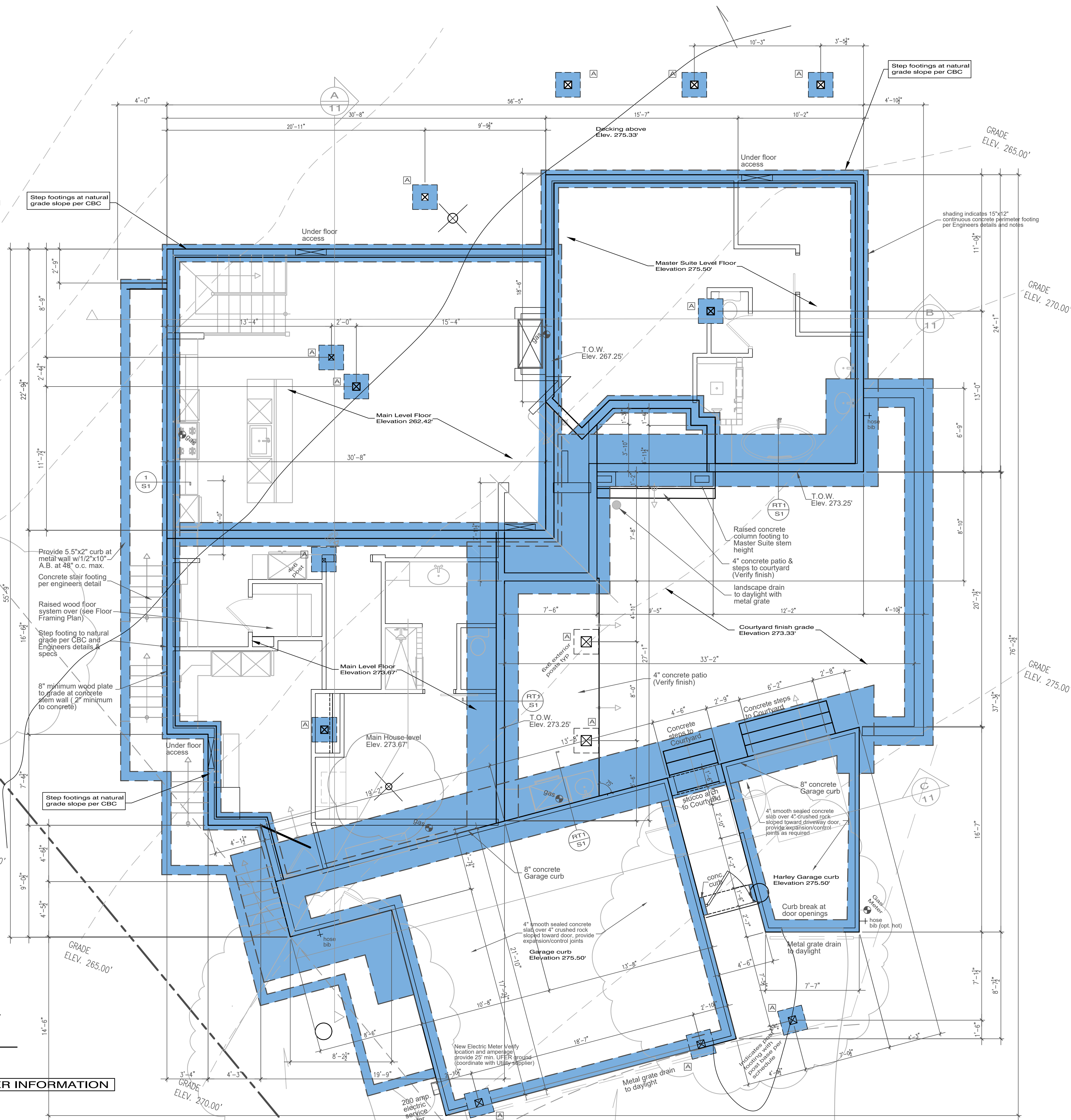
Indicates holddown type See Holddown schedule

All Exterior walls to be 2x6 D.F. #2 studs at 16" o.c. with 1-coat SIP stucco exterior treatment per CBC R 703

FOUNDATION PLAN

SCALE IS 1/4" = 1'-0"

SEE ENGINEERS CALCULATIONS AND SHEETS FOR FURTHER INFORMATION



KandE
design

916-604-2932
8757 Auburn Folsom
Road #2991,
Granite Bay, CA
95746

DATES:

DRAW- KJP - 06/28/2021
DRAW- KJP - 07/24/2021
Clnt. Chngs. - 12/25/2021
Clnt. Chngs. - 01/01/2022

MIKE & VICKY'S CUSTOM HOME
11121 RIVER BEND COURT, FOLSOM CA.

FOUNDATION PLAN

PROJECT:

SHEET: _____

S 1

13 OF xx

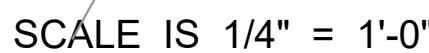
916-604-2932
3757 Auburn Folsom
Road #2991,
Granite Bay, CA
95746

DRAW- KJP - 06/28/2021
DRAW- KJP - 07/24/2021
Clnt. Chngs. - 12/25/2021
Clnt. Chngs. - 01/01/2022

LOWER LEVEL FLOOR FRAMING PLAN

SHEET

2 OF xx



KandE design

916-604-2932
8757 Auburn Folsom
Road #2991,
Granite Bay, CA
95746

DATES:

DRAW- KJP - 06/28/2021

DRAW- KJP - 07/24/2021

Clnt. Chngs. - 12/25/2021

Clnt. Chngs. - 01/01/2022

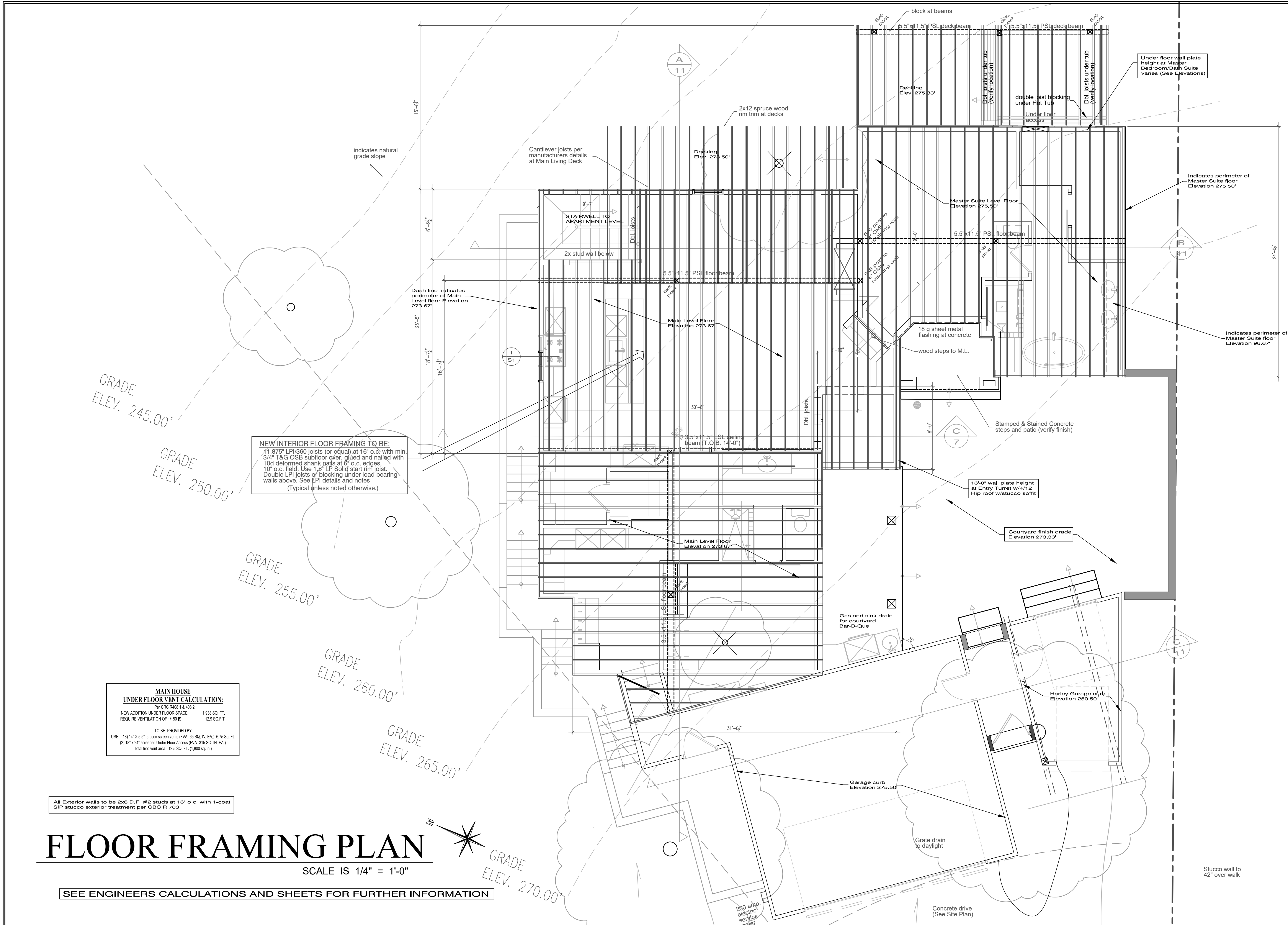
PROJECT:

MIKE & VICKY'S CUSTOM HOME
1121 RIVER BEND COURT, FOLSOM CA.

SHEET:

S3

2 OF xx





**ARBORIST REPORT
AND
TREE INVENTORY SUMMARY**

**1121 River Bend Court
City of Folsom, California
APN 223-0500-019**

Prepared for:

**Mike Kennedy
240 Natoma Station Dr. #260
Folsom, CA 95630**

Prepared by:

**Wayne McKee
ISA Certified Arborist WE-0959A, 1992
ISA Tree Risk Assessment Qualified, 2022
B S Forestry, Humboldt State University, 1983**

**Acorn Arboricultural Services, Inc.
631 Commerce Drive, Suite 200
Roseville, California 95678**

February 13, 2023

TABLE OF CONTENTS

COPYRIGHT STATEMENT	i
QUALIFICATION STATEMENT.....	ii
INTRODUCTION	1
LOCATION AND SITE	1
SCOPE OF INVENTORY EFFORT	1
METHODOLOGY	1
SUMMARY OF INVENTORY EFFORT	2
CONSTRUCTION IMPACT ASSESSMENT	3
GENERAL COMMENTS AND ARBORISTS' DISCLAIMER.....	3
ASSUMPTIONS AND LIMITING CONDITIONS	5
DEFINITIONS.....	7
TREE CONDITION RATING CRITERIA.....	8
GENERAL PROTECTION GUIDELINES FOR TREES PLANNED FOR PRESERVATION.....	9

APPENDICES:

- A. Tree Inventory Summary (sorted by tree number)

COPYRIGHT STATEMENT

This consultant's report dated February 23, 2023, is for the exclusive and confidential use of Mike Kennedy concerning potential development of the 1121 River Bend Court, located in the City of Folsom, California. Any use of this report, the accompanying appendices, or portions thereof, other than for project review and approval by appropriate governmental authorities, shall be subject to and require the written permission of Acorn Arboricultural Services, Inc. Unauthorized modification, distribution and/or use of this report, including the data or portions thereof contained within the accompanying appendices, is strictly prohibited.

QUALIFICATION STATEMENT

Acorn Arboricultural Services, Inc. is a fully insured, Roseville, California-based, professional arboricultural services company which was founded in 2010 following a parent corporation restructuring. The principals are Delinda and Jay Bate. Wayne McKee is an ISA Certified Arborist and is Tree Risk Assessment Qualified. He graduated from Humboldt State University with a B.S. in Forestry. Wayne has more than 36 years' experience in the horticulture, forestry, and arboricultural fields. He has a background working as a consulting arborist compiling tree value assessments, tree inventories, and tree risk assessments, as well as acting as a project arborist on many commercial and residential development projects.

INTRODUCTION

Acorn Arboricultural Services, Inc. is pleased to present this Arborist Report and Tree Inventory Summary for the trees located within and overhanging trees 1121 River Bend Court located in the City of Folsom, California. This Arborist Report and Tree Inventory Summary documents the tree data obtained by Wayne McKee, ISA Certified Arborist WE-0959A, at the time of field reconnaissance and inventory efforts on February 10, 2023.

LOCATION AND SITE

The site is located in the River Rock subdivision and is an undeveloped residential lot of approximately one-third of an acre. Vegetation on the lot consists of annual grasses, foothill pines, and the oak trees.

SCOPE OF INVENTORY EFFORT

The City of Folsom Tree Preservation Ordinance (Chapter 12.16) regulates both the removal of protected trees and the encroachment of construction activities within their driplines. Protected trees include Native Oak Trees, Heritage Trees, Landmark Trees, and Regulated Trees. Native Oak Trees that have a minimum 6-inch DSH and multi-trunked trees with a combined DSH of 20-inches or greater are included. A multi-trunked tree with a single stem 6-inch DSH or greater shall be considered a Native oak tree.

METHODOLOGY

During field reconnaissance and inventory efforts on February 10, 2023, Wayne McKee of Acorn Arboricultural Services, Inc. conducted a visual review from ground level of the trees within and overhanging trees to be impacted by the project. All onsite trees are identified in the field with round stamped aluminum tags attached to the tree trunks. The tree numbers utilized in this report and accompanying Tree Inventory Summary correspond to the tree numbers listed on the Site Plan by K and E designs dated 01/01/2022.

At the time of field identification and inventory efforts specific data was gathered for each tagged tree including the tree's species, diameter measured at standard height (DSH). The dripline radius measurements or critical root zone plus 1 foot are presented as the tree protection zone (TPZ). Using the ASCA Tree Rating System the tree conditions are provided in the numerical rating format per the City of Folsom requirements.

Utilizing this data, the tree's overall structural condition and vigor were separately assessed ranging from "poor" to "good" based upon the observed characteristics noted within the tree

and the Arborist's best professional judgment. Ratings are subjective and are dependent upon both the structure and vigor of the tree. The vigor rating considers factors such as the size, color and density of the foliage; the amount of deadwood within the canopy; bud viability; evidence of wound closure; and the presence or evidence of stress, disease, nutrient deficiency and insect infestation. The structural rating reflects the root crown/collar, trunk and branch configurations; canopy balance; the presence of included bark, weak crotches and other structural defects and decay and the potential for structural failure. Finally, notable characteristics were documented and recommendations on a tree-by-tree basis were made which logically followed the observed characteristics noted within the trees at the time of the field inventory effort. The recommendations are based on the assumption that the tree would be introduced into a developed environment and may require maintenance and/or may not be suitable for retention within a post-development setting.

SUMMARY OF INVENTORY EFFORT

Field reconnaissance and inventory efforts found 9 trees measuring 6 inches in diameter and larger measured at breast height within or overhanging the site. No evidence of the two 12-inch diameter oaks plotted in the southeast corner of the site was found. Composition of the 9 inventoried trees includes the following species and accompanying aggregate diameter inches:

SPECIES DIVERSIFICATION		
Blue Oak	=	8 trees (120 aggregate diameter inches)
Interior live oak	=	1 trees (13 aggregate diameter inches)
TOTAL	=	9 trees (133 aggregate diameter inches)

CONDITIONAL RATINGS	
0 (Dead, no sign of life)	= None
1 (Extreme problems, limited potential for correction)	= None
2 (Major problems, possibility for recovery)	= 1 tree
3 (Fair condition with minor problems)	= 8 trees
4 (Good condition, no apparent problems)	= None
5 (No problems observed)	= None
TOTAL	= 9 trees

CONSTRUCTION IMPACT ASSESSMENT

Trees numbered 1, 3, and 6 are within the buildable area and will require removal due to construction conflicts.

Tree number 2 a 14-inch DSH Blue oak with a 23-foot TPZ will receive encroachment from driveway, walkway, garage, home construction, and trenching for electrical underground service amounting to approximately 45 percent encroachment. The cumulative effects of the impacts can be considered moderate to severe and exceed the City of Folsom's general guidelines and may require mitigation.

Tree number 4 a 12-inch DSH Blue oak with an 18 foot TPZ will receive encroachment from house and walkway construction amounting to approximately 14 percent. This impact can be considered minor.

Tree number 7 an 18-inch DSH Blue oak with a 25 foot TPZ will receive encroachment from walkway and home construction amounting to approximately 12 percent. This impact can be considered minor.

Tree number 8 an offsite 12-inch diameter DSH Blue oak with a 18 foot TPZ will receive less than 5 percent encroachment from home construction. This impact can be considered negligible.

Tree number 9 an offsite 26-inch diameter DSH Blue oak with a 30 TPZ will receive approximately 15 percent encroachment from driveway, walkway, garage construction, and trenching for electrical underground service. This impact can be considered minor.

All excavations including footing trenches within the TPZs shall be monitored by an ISA Certified Arborist and any roots encountered properly pruned. Canopy clearance pruning should not exceed 20 percent for any of the trees and shall conform to ANSI A300 pruning standards.

I recommend fall / winter subsurface fertilization soil enhancement for trees numbered 2, 4, 7, and 9 to help these trees adapt to the impacts. In addition, if tree number 2 is preserved, I recommend an application of Paclobutrazol to stimulate the growth of fine fibrous roots.

GENERAL COMMENTS AND ARBORISTS' DISCLAIMER

The City of Folsom regulates both the removal of protected trees and the encroachment of construction activities within their driplines. Therefore, a tree permit and/or additional development authorization should be obtained from the City of Folsom prior to the removal of any trees within the proposed project area. All terms and conditions of the tree permit and/or other Conditions of Approval are the sole and exclusive responsibility of the project applicant. It should be noted that prior to final inspection written verification from an ISA

Certified Arborist may be required certifying the approved removal activities and/or implementation of other Conditions of Approval outlined for the retained trees on the site. ***Acorn Arboricultural Services, Inc. will not provide written Certification of Compliance unless we have been provided with a copy of the approved site development plans, applicable permits and/or Conditions of Approval, and are on site to monitor and observe regulated activities during the course of construction.*** Therefore, it will be necessary for the project applicant to notify Acorn Arboricultural Services, Inc. well in advance (at least 72 hours prior notice) of any regulated activities which are scheduled to occur on site so that those activities can be properly monitored and documented for compliance certification.

Please bear in mind that implementation of the recommendations provided within this report will help to reduce adverse impacts of construction on the retained trees; however, implementation of any recommendations should not be viewed as a guarantee or warranty against the trees' ultimate demise and/or failure in the future ***may cause bodily injury or property damage.*** Acorn Arboricultural Services, Inc. cannot predict acts of nature including, without limitation, storms of sufficient strength which can even take down a tree with a structurally sound and vigorous appearance.

Finally, the trees preserved within and/or overhanging the proposed project area will experience a physical environment different from the pre-development environment. As a result, tree health and structural stability should be regularly monitored. As trees age, the likelihood of failure of branches or entire trees increases. Therefore, ***the future management plan should include an annual inspection*** by a qualified ISA Certified Arborist to keep abreast of the trees' changing condition(s) and to assess the trees' ongoing structural integrity and potential for hazard in a developed environment.

Thank you for allowing Acorn Arboricultural Services, Inc. to assist you with this review. Please feel free to give me a call if you have any questions or require additional information and/or clarification.

Sincerely,



Wayne McKee

ISA Certified Arborist WE-0959A, 1992

ISA Tree Risk Assessment Qualified, 2022

B S Forestry, Humboldt State University, 1983

ASSUMPTIONS AND LIMITING CONDITIONS

1. Any legal description provided to the consultant is assumed to be correct. Any titles and ownership of any property are assumed to be good and marketable. No responsibility is assumed for matters legal in character. All property is appraised or evaluated as free and clear, under responsible ownership and competent management.
2. It is assumed that any property is not in violation of any applicable codes, ordinances, statutes, or other governmental regulations.
3. Care has been taken to obtain all information from reliable sources. All data has been verified insofar as possible; however, the consultant can neither guarantee nor be responsible for the accuracy of information provided by others.
4. The consultant shall not be required to give a deposition and/or attend court by reason of this report unless subsequent contractual arrangements are made for in advance, including payment of an additional fee for such services according to our standard fee schedule, adjusted yearly, and terms of the subsequent contract of engagement.
5. Loss or alteration of any part of this report invalidates the entire report. Ownership of any documents produced passes to the Client only when all fees have been paid.
6. Possession of this report or a copy thereof does not imply right of publication or use for any purpose by any other than the person to whom it is addressed, without the prior expressed written or verbal consent of the consultant.
7. Neither all nor any part of the contents of this report, nor copy thereof, shall be conveyed by anyone, including the client, to the public through advertising, public relations, news, sales, or other media, without the prior expressed written or verbal consent of the consultant, particularly as to value conclusions, identity of the consultant, or any reference to any professional society or institute or to any initialed designation conferred upon the consultant as stated in his qualifications.
8. This report and any values expressed herein represent the opinion of the consultant and the consultant's fee is in no way contingent upon the reporting of a specified value, a stipulated result, the occurrence of a subsequent event, nor upon any finding to be reported.
9. Sketches, diagrams, graphs, drawings, and photographs within this report are intended as visual aids and are not necessarily to scale and should not be construed as engineering or architectural reports or surveys. The reproduction of information generated by other consultants is for coordination and ease of

reference. Inclusion of such information does not constitute a representation by the consultant as to the sufficiency or accuracy of the information.

10. Unless expressed otherwise: 1) information contained in this report covers only those items that were examined and reflects the condition of those items at the time of inspection; and 2) the inspection is limited to visual examination of accessible items without laboratory analysis, dissection, excavation, probing or coring, unless otherwise stated.
11. There is no warranty or guarantee, expressed or implied, that problems or deficiencies of the plants or property in question may not arise in the future.
12. This report is based on the observations and opinions of Wayne McKee, and does not provide guarantees regarding the future performance, health, vigor, structural stability or safety of the plants described herein. Neither this author nor Acorn Arboricultural Services, Inc. has assumed any responsibility for liability associated with the trees on or adjacent to this Project Site, their future demise and/or any damage which may result therefrom.
13. The information contained within this report is true to the best of the author's knowledge and experience as of the date it was prepared; however, certain conditions may exist which only a comprehensive, scientific, investigation might reveal which should be performed by other consulting professionals.
14. The legal description, dimensions, and areas herein are assumed to be correct. No responsibility is assumed for matters that are legal in nature.
15. Any changes to an established tree's environment can cause its decline, death and/or structural failure.

DEFINITIONS

Tree Number:	Corresponds to aluminum tag attached to the tree.
Species Identification:	Scientific and common species name.
Diameter (DSH):	This is the trunk diameter measured at standard height (industry standard 4.5 feet above ground level).
Critical Root Zone (CRZ):	The area of soil extending from the tree trunk where roots required for future tree health and survival are located. This Critical Root Zone area for all trees except Heritage Trees is a circle with a minimum radius of 1 foot for every 1 inch in trunk diameter at DSH.
Dripline radius (DLR):	A radius equal to the horizontal distance from the trunk of the tree to the end of the farthest most branch tip prior to any cutting.
Protected Zone (TPZ):	The circumference of the outermost edge of a tree's Critical Root Zone or Dripline Radius, whichever is greater, plus one foot. When depicted on a map, the Tree Protection Zone will appear as a perfect circle, or group of overlapping circles for multiple trees.
Root Crown:	Assessment of the root crown/collar area located at the base of the trunk of the tree at soil level.
Trunk:	Assessment of the tree's main trunk from ground level generally to the point of the primary crotch structure.
Limbs:	Assessment of both smaller and larger branching, generally from primary crotch structure to branch tips.
Foliage:	Tree's leaves.
Overall Condition:	Describes overall condition of the tree in terms of structure and vigor.
Recommendation:	Pre-development recommendations based upon observed characteristics noted at the time of the field inventory effort and recommended mitigative measures.

TREE CONDITION RATING CRITERIA

RATING TERM	ROOT CROWN	TRUNK	LIMBS	FOLIAGE	STRUCTURE	VIGOR
Good	No apparent injuries, decay, cavities or evidence of hollowing; no anchoring roots exposed; no indications of infestation or disease	No apparent injuries, decay, cavities or evidence of hollowing; no codominant attachments or multiple trunk attachments are observed; no indications of infestation or disease	No apparent injuries, decay, cavities or evidence of hollowing; below average amount of dead limbs or twigs; no major limb failures or included bark; callus growth is vigorous	Leaf size, color and density are typical for the species; buds are normal in size, viable, abundant and uniform throughout the canopy; annual seasonal growth increments are average or above average; no insect or disease infestations/ infections evident	No apparent structural defects; no weak crotches; no excessively weighted branches and no significant cavities or decay	Tree appears healthy and has little or no significant deadwood; foliage is normal and healthy
Fair	Small to moderate injuries, decay, cavities or hollowing may be evident but are not currently affecting the overall structure; some evidence of infestation or disease may be present but is not currently affecting the tree's structure	Small to moderate injuries, decay, cavities or hollowing may be evident; codominant branching or multiple trunk attachments or minor bark inclusion may be observed; some infestation or disease may be present but not currently affecting the tree's structure	Small to moderate injuries, decay or cavities may be present; average or above average dead limbs or twigs may be present; some limb failures or bark inclusion observed; callus growth is average	Leaf size, color and density are typical or slightly below typical for the species; buds are normal or slightly sparse with potentially varied viability, abundance and distribution throughout the canopy; annual seasonal growth increments are average or slightly below average; minor insect or disease infestation/infection may be present	Minor structural problems such as weak crotches, minor wounds and/or cavities or moderate amount of excessive weight; non-critical structural defects which can be mitigated through pruning, cabling or bracing	Tree appears stressed or partially damaged; minimal vegetative growth since previous season; moderate amount of deadwood, abnormal foliage and minor lesions or cambium dieback
Poor	Moderate to severe injuries, decay, cavities or hollowing may be evident and are affecting the overall structure; presence of infestation or disease may be significant and affecting the tree's structure	Moderate to severe injuries, decay, cavities or hollowing may be evident and are affecting the tree's structure; presence of infestation or disease may be significant and affecting the tree's structure	Severe injuries, decay or cavities may be present; major deadwood, twig dieback, limb failures or bark inclusion observed; callus growth is below average	Leaf size, color and density are obviously abnormal; buds are obviously abnormal or absent; annual seasonal growth is well below average for the species; insect or disease problems may be severe	Obvious major structural problems which cannot be corrected with mitigation; potential for major limb, trunk or root system failure is high; significant decay or dieback may be present	Tree health is declining; no new vegetative growth; large amounts of deadwood; foliage is severely abnormal

The ratings "poor to fair" and "fair to good" are used to describe trees that fall between the described major categories and have elements of both

GENERAL PROTECTION GUIDELINES FOR TREES PLANNED FOR PRESERVATION

Great care must be exercised when work is conducted upon or around protected trees. The purpose of these General Protection Measures is to provide guidelines to protect the health of the affected protected trees. These guidelines apply to all encroachments into the protected zone of a protected tree and may be incorporated into tree permits and/or other Conditions of Approval as deemed appropriate by the applicable governing body.

A circle with a radius measurement from the trunk of the tree to the tip of its longest limb, plus one foot, shall constitute the tree protection zone area of each protected tree. Limbs must not be cut back in order to change the dripline. The area beneath the dripline is a critical portion of the root zone and defines the minimum protected area of each protected tree. Removing limbs that make up the dripline does not change the protected area.

Any protected trees on site which require pruning, the pruning shall be supervised by an ISA Certified Arborist prior to the start of construction work. All pruning shall be in accordance with the American National Standards Institute (ANSI) A300 pruning standards, ANSI Standard 2133.1-2000 regarding safety practices, and the International Society of Arboriculture (ISA) "Tree Pruning Guidelines" and Best Management Practices.

Prior to initiating construction, temporary protective fencing shall be installed at least one foot outside the tree protected zone of the protected trees in order to avoid damage to the tree canopies and root systems. Fencing shall be installed in accordance with the approved fencing plan prior to the commencement of any grading operations or such other time as determined by the review body. The developer shall contact the Project Arborist and the Planning Department for an inspection of the fencing prior to commencing construction activities on site.

Signs shall be installed on the protective fence in four (4) equidistant locations around each individual protected tree. The size of each sign must be a minimum of two (2) feet by two (2) feet and must contain the following language:

**WARNING: THIS FENCE SHALL NOT BE REMOVED OR RELOCATED
WITHOUT WRITTEN AUTHORIZATION FROM THE CITY OF
FOLSOM.**

Once approval has been obtained by the City of Folsom protective fencing shall remain in place throughout the entire construction period and shall not be removed, relocated, taken down or otherwise modified in whole or in part without prior written authorization from the Agency, or as deemed necessary by the Project Arborist to facilitate approved activities within the root protection zone.

Any removal of paving or structures (i.e. demolition) that occurs within the dripline of a protected tree shall be done under the direct supervision of the Project Arborist. To the maximum extent feasible, demolition work within the protection zone of the protected tree shall be performed by hand. If the Project Arborist determines that it is not feasible to perform some portion(s) of this work by hand, then the smallest/lightest weight equipment that will adequately perform the demolition work shall be used.

No signs, ropes, cables (except those which may be installed by an ISA Certified Arborist to provide limb support) or any other items shall be attached to the protected trees. Small metallic numbering tags for the purpose of identification in preparing tree reports and inventories shall be allowed.

No vehicles, construction equipment, mobile homes/office, supplies, materials or facilities shall be driven, parked, stockpiled or located within the driplines of protected trees.

Drainage patterns on the site shall not be modified so that water collects, stands or is diverted across the dripline of any protected tree.

No trenching shall be allowed within the tree protected zones of protected trees, except as specifically approved by the Planning Department as set forth in the project's Conditions of Approval and/or approved tree permit. If it is absolutely necessary to install underground utilities within the dripline of a protected tree the utility line within the protected zone shall be "bored and jacked" or performed utilizing hand tools to avoid root injury under the direct supervision of the Project Arborist.

Grading within the protected zone of a protected tree shall be minimized. Cuts within the protected zone shall be maintained at less than 20% of the protected zone area. Grade cuts shall be monitored by the Project Arborist. Any damaged roots encountered shall be root pruned and properly treated as deemed necessary by the Project Arborist.

Minor roots less than one (1) inch in diameter encountered during approved excavation and/or grading activities may be cut, but damaged roots shall be traced back and cleanly cut behind any split, cracked or damaged area as deemed necessary by the Project Arborist.

Major roots greater than one (1) inch in diameter encountered during approved excavation and/or grading activities may not be cut without approval of the Project Arborist. Depending upon the type of improvement being proposed, bridging techniques or a new site design may need to be employed to protect the roots and the tree.

Cut faces, which will be exposed for more than 2-3 days, shall be covered with dense burlap fabric and watered to maintain soil moisture at least on a daily basis (or possibly more frequently during summer months). If any native ground surface fabric within the protected zone must be removed for any reason, it shall be replaced within forty-eight (48) hours.

If fills exceed 1 foot in depth up to 20% of the protected zone area, aeration systems may serve to mitigate the presence of the fill materials as determined by the Project Arborist.

When fill materials are deemed necessary on two or three sides of a tree it is critical to provide for drainage away from the protected zone area of the tree (particularly when considering heavy winter rainfalls). Overland releases and subterranean drains dug outside the protected zone area and tied directly to the main storm drain system are two options.

In cases where a permit has been approved for construction of a retaining wall(s) within the protected zone of a protected tree the applicant will be required to provide for immediate protection of exposed roots from moisture loss during the time prior to completion of the wall. The retaining wall within the protected zone of the protected tree shall be constructed within seventy-two (72) hours after completion of grading within the root protection zone.

The construction of impervious surfaces within the dripline of a protected tree shall be minimized. When necessary, a piped aeration system shall be installed under the direct supervision of the Project Arborist.

Preservation devices such as aeration systems, tree wells, drains, special paving and cabling systems must be installed in conformance with approved plans and certified by the Project Arborist.

No sprinkler or irrigation system shall be installed in such a manner that sprays water or requires trenching within the dripline of a protected tree. An above ground drip irrigation system is recommended. An independent low-flow drip irrigation system may be used for establishing drought-tolerant plants within the protected zone of a protected tree. Irrigation shall be gradually reduced and discontinued after a two (2) year period.

All portions of permanent fencing that will encroach into the protected zone of a protected tree shall be constructed using posts set no closer than ten (10) feet on center. Posts shall be spaced in such a manner as to maximize the separation between the tree trunks and the posts in order to reduce impacts to the tree(s).

Mike Kennedy
1121 River Bend Court
City of Folsom, California
TREE INVENTORY SUMMARY

TREE #	COMMON NAME	SPECIES	MULTI-STEMS (inches)	EXTRA-POLATED DSH (inches)	TPZ (feet)	CONDITION		Rating (0-5)	NOTABLE CHARACTERISTICS - MAINTENANCE RECOMMENDATIONS
						STRUCTURE	VIGOR		
1	Blue oak	<i>Quercus douglasii</i>		18	24	fair	fair	3	Callused trunk wounds various locations. - Remove due to construction conflicts.
2	Blue oak	<i>Quercus douglasii</i>		14	23	fair	fair	3	Measured at 3 feet above grade, forks at 5 feet above grade, trunk and branching bend to the southeast due to competition with the adjoining tree. - None at this time.
3	Blue oak	<i>Quercus douglasii</i>		6	11	fair	fair	3	Remove due to construction conflicts.
4	Blue oak	<i>Quercus douglasii</i>		12	18	fair	fair	3	Also tagged #4870. - None at this time.
5	Interior live oak	<i>Quercus wislizenii</i>	6, 7	9	15	fair	fair	3	None at this time.
6	Blue oak	<i>Quercus douglasii</i>		14	21	fair	fair	3	Also tagged #4867. - Remove due to construction conflicts.
7	Blue oak	<i>Quercus douglasii</i>		18	25	fair	poor to fair	3	Above average amount of deadwood. Also tagged #4865. - None at this time.
8	Blue oak	<i>Quercus douglasii</i>		12	18	poor to fair	poor to fair	2	Lower trunk leans significantly to the west, above average amount of deadwood. Dense vine growth on the lower trunk. - None at this time. Tree is offsite approximately 10 feet south of the southerly property line.
9	Blue oak	<i>Quercus douglasii</i>		26	30	fair	fair	3	Diameter estimated at 2 feet above, forks at 6 feet above grade. Lower trunk surrounded by decking. - None at this time. Tree is offsite approximately 10 feet north of the northerly property line. Tag on post.

TOTAL INVENTORIED TREES = 9 trees (129 aggregate DSH inches)

TOTAL REMOVALS = 3 trees

Rating: 0=1 trees; 1=0 trees; 2=1 tree; 3=8 trees; 4=0 trees; 5=0 trees