



CITY OF
FOLSOM
DISTINCTIVE BY NATURE

PLANNING COMMISSION AGENDA
February 21, 2024
CITY COUNCIL CHAMBERS
6:30 p.m.
50 Natoma Street
Folsom, California 95630

CALL TO ORDER PLANNING COMMISSION: Ralph Peña, Bill Romanelli, James Ortega, Mathew Herrera, Daniel West, Bill Miklos, Eileen Reynolds

The Planning Commission has a policy that no new item will begin after 10:30 p.m. Therefore, if you are here for an item that has not been heard by 10:30 p.m., you may leave, as the item will be continued to a future Planning Commission Meeting.

Any documents produced by the City and distributed to the Planning Commission regarding any item on this agenda will be made available upon request at the Community Development Counter at City Hall located at 50 Natoma Street, Folsom, California. The meeting is available to view via webcast on the City's website the day after the meeting.

PLEDGE OF ALLEGIANCE

CITIZEN COMMUNICATION: The Planning Commission welcomes and encourages participation in City Planning Commission meetings and will allow up to five minutes for expression on a non-agenda item. Matters under the jurisdiction of the Commission, and not on the posted agenda, may be addressed by the public, however, California law prohibits the Commission from taking action on any matter which is not on the posted agenda unless it is determined to be an emergency by the Commission.

MINUTES

The minutes of the December 20, 2023 meeting will be presented for approval.

Election of Chair and Vice Chair

NEW BUSINESS

1. PDEV 23-00190: Alder Creek Apartments Planned Development Permit Extension and Determination that No Further Environmental Review is Required

CITY STAFF WILL REQUEST TO CONTINUE THIS ITEM OFF CALENDAR.

A Public Hearing to consider a request from The Spanos Corporation for a Planned Development Permit Extension for a one-year extension in time to a previously approved Planned Development Permit associated with development of the 265-unit Alder Creek Apartments project located at the southeast corner of Alder Creek Parkway and Westwood Drive within the Folsom Plan Area. The General Plan Land Use designation for the project site is MHD (Multifamily High Density), while the Specific Plan land use designation is SP-MHD-PD (Specific Plan-Multifamily High Density-Planned Development). An Environmental Checklist and Addendum to the Folsom Plan Area Specific Plan EIR/EIS was previously approved by the City Council for this project on February 23, 2021 in accordance with the California Environmental Quality Act (CEQA). Staff has determined that no new impacts will result from development of the subject project that were not already considered with the previous approval. No further environmental review is required. **(Project Planner: Steve Banks/Applicant: The Spanos Corporation)**

2. PDEV 23-00129: Alder Creek Marketplace Tentative Parcel Map and Planned Development Permit and Determination that the Project is Exempt from the California Environmental Quality Act

CITY STAFF WILL REQUEST TO CONTINUE THIS ITEM OFF CALENDAR.

A Public Hearing to consider a request from Hunter Properties for approval of a Tentative Parcel Map and Planned Development Permit Modification for development of a 95,000-square-foot shopping center (Alder Creek Marketplace) on a 15.1-acre site located on the southwest corner of the intersection of East Bidwell Street and Alder Creek Parkway within the Folsom Plan Area. The General Plan Land Use designation for the project site is GC (General Commercial), while the Specific Plan land use designation is SP-GC-PD (Specific Plan-General Commercial-Planned Development). The City, as lead agency, has determined that the Alder Creek Marketplace project is entirely consistent with the Folsom Plan Area Specific Plan (FPASP) and Westland Eagle Specific Plan Amendment. No further environmental review is required. **(Project Planner: Steve Banks/Applicant: Hunter Properties)**

3. USPT23-00091: Folsom Farm Livestock Slaughter and Processing and Determination that the Project is Exempt from CEQA

CITY STAFF WILL REQUEST TO CONTINUE THIS ITEM OFF CALENDAR.

A Public Hearing to consider a request from James A. Agostini for a Conditional Use Permit to allow for livestock slaughter and processing at Folsom Farm, located at 6775 and 6879 Folsom Auburn Road. The General Plan Land Use designation for the project site is SF (Single Family), while the Zoning designation is R-1-ML A (Single Family Residential Medium Lot District, Agricultural Combining District). The project is categorically exempt from environmental review under Section 15301 (Existing Facilities) of the California Environmental Quality Act (CEQA) Guidelines. **(Project Planner: Josh Kinkade/Applicant: James A. Agostini)**

4. DRCL 23-00180: Broadstone Estates SHAWOOD Residential Design Review and Confirmation that No Further Environmental Review is Required

A Public Meeting to consider a request from Woodside Homes for Design Review approval for four individual master plans to be implemented on 41 single-family residential lots (Lots 41-81) within Village 2 of the previously approved Broadstone Estates Subdivision located at the southeast corner of the intersection of U.S. Highway 50 and Placerville Road within the Folsom Plan Area. The General Plan Land Use designation for the project site is SF (Single Family), while the Specific Plan land use designation is SP-SF-PD (Specific Plan- Single Family-Planned Development). An Addendum to the Folsom Plan Area Environmental Impact Report was previously approved for the Broadstone Estates Subdivision project (PN 15-308) on June 28, 2016 in accordance with the requirements of the California Environmental Quality Act (CEQA). Staff has determined that no new impacts will result from development of the subject project that were not already considered with the previous approval. No further environmental review is required. **(Project Planner: Steve Banks/Applicant: Woodside Homes)**

5. PDEV23-00179: Folsom Corporate Center Building 6 Sign Program Modification and Determination that the Project is Exempt from CEQA

A Public Hearing to consider a request from the applicant, Weidner CA, for a Planned Development Permit Modification to allow for internally illuminated signage at Folsom Corporate Center Building 6 located at 2365 Iron Point Road. The General Plan Land Use designation for the project site is IND (Industrial/Office Park), while the Zoning designation is M-L (PD) (Limited Manufacturing- Planned Development). The project is categorically exempt from environmental review under Section 15301 (Existing Facilities) of the California Environmental Quality Act (CEQA) Guidelines. **(Project Planner: Josh Kinkade/Applicant: Weidner CA)**

6. USPT23-00171: Social Vocational Services, Conditional Use Permit Project, and Determination that the Project is Exempt from CEQA

A Public Meeting to consider a request from Mike Novak for approval of a Conditional Use Permit for the operation of a 3,677-square-foot day care center for adults with intellectual and developmental disabilities at an existing 8,806-square-foot office building at 771 Oak Avenue Parkway. The zoning classification for the site is Business Professional, Planned Development (BP PD), while the General Plan land-use designation is Professional Office (PO) with an East Bidwell Corridor (EBC) Mixed-Use overlay. The project is categorically exempt under Section 15301 (Existing Facilities) of the California Environmental Quality Act (CEQA) Guidelines. **(Project Planner: Nathan Stroud / Applicant: Mike Novak)**

7. USPT23-00194: Arthur Murray Dance Centers, Conditional Use Permit Project, and Determination that the Project is Exempt from CEQA

A Public Meeting to consider a request from Kate Gonzalez for approval of a Conditional Use Permit for the operation of a dance studio within an existing 3,450-square-foot office building at 2170 East Bidwell Street. The zoning classification for the site is Business Professional-Planned Development (BP-PD), while the General Plan land use designation is Professional Office (PO) with an East Bidwell Corridor (EBC) Mixed-Use overlay. The project is categorically exempt under Section 15301 (Existing Facilities) of the California Environmental Quality Act (CEQA) Guidelines. **(Project Planner: Nathan Stroud / Applicant: Kate Gonzalez)**

PLANNING COMMISSION / PLANNING MANAGER REPORT

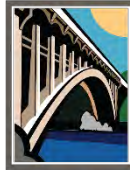
The next Planning Commission meeting is scheduled for **March 20, 2024**. Additional non-public hearing items may be added to the agenda; any such additions will be posted on the bulletin board in the foyer at City Hall at least 72 hours prior to the meeting.

Persons having questions on any of these items can visit the Community Development Department during normal business hours (8:00 a.m. to 5:00 p.m.) at City Hall, 2nd Floor, 50 Natoma Street, Folsom, California, prior to the meeting. The phone number is (916) 461-6200 and FAX number is (916) 355-7274.

In compliance with the Americans with Disabilities Act, if you are a disabled person and you need a disability-related modification or accommodation to participate in the meeting, please contact the Community Development Department at (916) 461-6200, (916) 355-7274 (fax) or ckelley@folsom.ca.us. Requests must be made as early as possible and at least two full business days before the start of the meeting.

NOTICE REGARDING CHALLENGES TO DECISIONS

The appeal period for Planning Commission Action: Any appeal of a Planning Commission action must be filed in writing with the City Clerk's Office no later than ten (10) days from the date of the action pursuant to Resolution No. 8081. Pursuant to all applicable laws and regulations, including without limitation, California Government Code Section 65009 and or California Public Resources Code Section 21177, if you wish to challenge in court any of the above decisions (regarding planning, zoning and/or environmental decisions), you may be limited to raising only those issues you or someone else raised at the public hearing(s) described in this notice/agenda, or in written correspondence delivered to the City at, or prior to, the public hearing.



CITY OF
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PLANNING COMMISSION MINUTES
December 20, 2023
CITY COUNCIL CHAMBERS
6:30 P.M.
50 Natoma Street
Folsom, CA 95630

CALL TO ORDER PLANNING COMMISSION:

The regular Planning Commission Meeting was called to order at 6:30 p.m. with Chair Eileen Reynolds presiding.

PLEDGE OF ALLEGIANCE: The Pledge of Allegiance was recited.

ROLL CALL:

Commissioners Present: Daniel West, Vice Chair
Ralph Peña, Commissioner
Bill Romanelli, Commissioner
James Ortega, Commissioner
Eileen Reynolds, Chair

Commissioners Absent: Bill Miklos, Commissioner
Mathew Herrera, Commissioner

CITIZEN COMMUNICATION: None

MINUTES:

The minutes of the November 15, 2023 Regular Meeting were approved as submitted.

NEW BUSINESS

1. DRCL 23-00149: Broadstone Estates Residential Design Review and Confirmation that No Further Environmental Review is Required

A Public Meeting to consider a request from Woodside Homes for Design Review approval for four individual master plans to be implemented on 40 single-family residential lots (Lots 1-40) within the previously approved Broadstone Estates Subdivision located at the southeast corner of the intersection of U.S. Highway 50 and Placerville Road within the Folsom Plan Area. The General Plan Land Use designation for the project site is SF (Single Family), while the Specific Plan land use designation is SP-SF-PD (Specific Plan- Single Family-Planned Development). An Addendum to the Folsom Plan Area Environmental Impact Report was previously approved for the Broadstone Estates Subdivision project (PN 15-308) on June 28, 2016 in accordance with the requirements of the California Environmental Quality Act (CEQA). Staff has determined that no new impacts will result from development of the

subject project that were not already considered with the previous approval. No further environmental review is required. **(Project Planner: Steve Banks/Applicant: Woodside Homes)**

COMMISSIONER ROMANELLI MOVED TO APPROVE A RESIDENTIAL DESIGN REVIEW APPLICATION FOR 40 TRADITIONAL SINGLE-FAMILY RESIDENTIAL UNITS (VILLAGE 1, LOTS 1-40) WITHIN THE PREVIOUSLY APPROVED BROADSTONE ESTATES SUBDIVISION FOR THE BROADSTONE ESTATES RESIDENTIAL DESIGN REVIEW PROJECT AS ILLUSTRATED ON ATTACHMENTS 5 THROUGH 11, SUBJECT TO THE FINDINGS (FINDINGS A-H) AND CONDITIONS OF APPROVAL (CONDITIONS 1-14) ATTACHED TO THIS REPORT.

COMMISSIONER ORTEGA SECONDED THE MOTION.

AYES: PEÑA, ROMANELLI, ORTEGA, WEST, REYNOLDS

NOES: NONE

RECUSED: NONE

ABSENT: MIKLOS, HERRERA

MOTION PASSED

PLANNING COMMISSION / PLANNING MANAGER REPORT

Planning Manager, Desmond Parrington, shared the following with the Commission:

- Since the November 15th Commission meeting, Planning staff handled 8 director-level design reviews primarily for new custom homes, additions, and accessory structures as well as 1 lot line adjustment.
- The new Permit Counter is almost complete and there will be a grand opening likely in January 2024. The construction of the new permit counter was funded through State grants.
- The Folsom Plan Area Specific Plan amendment to allow one electronic readerboard to serve the Folsom Plan Area, which the Commission recommended for approval on November 15, will go before the City Council for final approval on January 9, 2024.
- The Community Development Department is currently engaged in a fee study to update its processing fees. A workshop on this will be held with the City Council in late February.
- Working with Sacramento Regional Transit, Community Development staff will be applying for a grant to study the feasibility of a new bus route in Folsom to serve all the planned medical facilities around E. Bidwell and Highway 50 including those in the Folsom Plan Area.

The next Planning Commission meeting is scheduled for January 17, 2024.

ADJOURNMENT

There being no further business to come before the Folsom Planning Commission, Chair Eileen Reynolds adjourned the meeting at 6:58 p.m.

RESPECTFULLY SUBMITTED,

Christina Kelley, ADMINISTRATIVE ASSISTANT

APPROVED:

Eileen Reynolds, CHAIR



MEMORANDUM

TO: Members of the Planning Commission

FROM: Desmond Parrington, Planning Manager

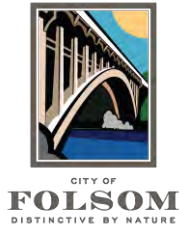
CC: Steven Banks, Principal Planner

SUBJECT: Reason for Continued Items on 2/24/2024 Agenda

Unlike recent prior City Planning Commission meetings, there are three items on this agenda that have been continued. These include the following items:

1. PDEV 23-00129: Alder Creek Marketplace Tentative Parcel Map and Planned Development Permit and Determination that the Project is Exempt from the California Environmental Quality Act.
2. PDEV 23-00190: Alder Creek Apartments Planned Development Permit Extension and Determination that No Further Environmental Review is Required.
3. USPT23-00091: Folsom Farm Livestock Slaughter and Processing and Determination that the Project is Exempt from CEQA.

These items have been continued for a variety of reasons including requests for delay by the applicant or changes to the project; however, since they were previously publicly noticed they must be included on the agenda for the February 21, 2024 meeting agenda.



Planning Commission Staff Report

50 Natoma Street, Council Chambers
Folsom, CA 95630

Project: Broadstone Estates SHAWOOD Residential Design Review
File #: DRCL 23-00180
Requests: Design Review
Location: The Broadstone Estates Subdivision is located at the southeast corner of the intersection of U.S. Highway 50 and Placerville Road within the Folsom Plan Area
Staff Contact: Steve Banks, Principal Planner, 916-461-6207
sbanks@folsom.ca.us

Applicant/Owner

Name: Woodside Homes
Address: 1130 Iron Point Road, Suite 200
Folsom, CA 95630

Recommendation: Conduct a public meeting and upon conclusion recommend approval of a Residential Design Review Application for 41 single-family residential units within Village 2 of the previously approved Broadstone Estates Subdivision, based on the findings (Findings A-H) and subject to the conditions of approval (Conditions 1-14) attached to this report.

Project Summary: The proposed project includes a request for Residential Design Review approval for four individual master plans to be implemented on 41 single-family residential lots (Lots 41-81) within Village 2 of the previously approved Broadstone Estates Subdivision located at the southeast corner of the intersection of U.S. Highway 50 and Placerville Road within the Folsom Plan Area. The proposed project includes four master plans that range in size from 2,966 square feet (3BR/3.5BA) up to 4,359 square feet (5BR/5.5BA). Four distinct architectural styles are proposed including California Craftsman, California Prairie, California Modern, and California Wine Country.

Table of Contents:

Attachment 1 - Description/Analysis
Attachment 2 - Background
Attachment 3 - Conditions of Approval



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AGENDA ITEM NO. 4
Type: Public Meeting
Date: February 21, 2024

- Attachment 4 - Vicinity Map
- Attachment 5 - Approved Tentative Subdivision Map dated March 9, 2017
- Attachment 6 - Master Plan Exhibit, Dated March 9, 2017
- Attachment 7 - Typical Lot Layout and Landscape Exhibits, dated December 2023
- Attachment 8 - Building Elevations and Floor Plans, dated February 2, 2024
- Attachment 9 - Building Renderings dated November 16, 2023
- Attachment 10 - Street Scene Exhibit dated February 2, 2024
- Attachment 11 - Color and Materials Exhibit, dated November 9, 2023
- Attachment 12 - Russell Ranch/Broadstone Estates Design Guidelines

Submitted,

A handwritten signature in blue ink, appearing to read "Pam Johns", with a long horizontal flourish extending to the right.

PAM JOHNS
Community Development Director

ATTACHMENT 1 DESCRIPTION/ANALYSIS

APPLICANT'S PROPOSAL

The applicant, Woodside Homes, is requesting Residential Design Review approval for 41 single-family residential lots situated within Village 2 of the previously approved Broadstone Estates Subdivision project located at the southeast corner of the intersection of U.S. Highway 50 and Placerville Road within the Folsom Plan Area. Specifically, the proposed project, which is being done under the unique SHAWOOD brand, features a request for approval of four individual master plans with four distinctive architectural styles including California Craftsman, California Prairie, California Modern, and California Wine Country.

The proposed master plans, which feature three, two-story models and one, single-story model, range in size from 2,966 to 4,359 square feet (3BR/3.5BA to 5BR/5.5BA) and include an attached two-car or three-car garage. The four California-inspired design themes are characterized by a variety of unique architectural elements including varied roof shapes, different building forms, creative use of building massing, covered entries, and prominent window design. Proposed building materials include stucco, ceramic wall tiles, wood siding, architectural wall panels, stone veneer, themed garage doors, and concrete roof tiles. In addition, there are three distinct color and material alternatives available for each elevation resulting in a total of 44 different visual expressions.

The subject Design Review application represents the introduction of the SHAWOOD homebuilding brand to northern California. SHAWOOD is a Japanese homebuilder that originated in the 1960's from its parent company, Sekisui House, Ltd., with a focus on building stronger, safer, and more resilient homes in response to earthquakes that severely impacted Japan. SHAWOOD homes feature a proprietary framing construction system, along with a custom Bellburn ceramic tiles that are fade, scratch, heat, fire and earthquake resistant.

SHAWOOD homes consist of a series of wooden posts and beams reinforced with metal joints that are pre-cut with laser precision and shipped to be constructed on site in the United States, each with less than two pennies' width of variation, ensuring each home is resilient to nature and natural disasters. Airtight construction and high-insulation window frames ensure optimal year-round temperatures and overall higher quality of air for the resident.

SHAWOOD homes are also engineered to significantly reduce their carbon footprint, making a positive impact on the environment and paving the way for sustainable living. Each SHAWOOD home is outfitted to be zero energy ready, with an option to be fully resilient to power outages, along with featuring efficient lighting, enhanced airflow, and

being outfitted with back-up generators to power the house in an event of an outage. Additionally, wood is harvested from sustainably certified forests, with SHAWOOD pledging two new trees for every tree that is removed for the use of lumber.

Proposed building renderings, street-scenes, and elevations of the master plans are shown below and on the following pages.

FIGURE 1: STREET SCENE EXHIBITS



FIGURE 2: BUILDING RENDERINGS (PLAN 8003 – WINE COUNTRY)



FIGURE 3: BUILDING RENDERINGS (PLAN 8004 – CALIFORNIA PRAIRIE)



FIGURE 4: BUILDING RENDERINGS (PLAN 8005 – CALIFORNIA MODERN)



FIGURE 5: BUILDING RENDERINGS (PLAN 8006 – CALIFORNIA CRAFTSMAN)



FIGURE 6: BUILDING ELEVATIONS (PLAN 8003 – WINE COUNTRY)



FIGURE 7: BUILDING ELEVATIONS (PLAN 8004 – CALIFORNIA PRAIRIE)



FIGURE 8: BUILDING ELEVATIONS (PLAN 8005 – CALIFORNIA MODERN)



FIGURE 9: BUILDING ELEVATIONS (PLAN 8006 – CALIFORNIA CRAFTSMAN)



POLICY/RULE

The Folsom Plan Area Specific Plan (Section 13.2 - Approvals and Entitlements) requires that single-family residential projects located in the Plan Area be subject to Design Review approval by the City as outlined in the Folsom Municipal Code. Folsom Municipal Code (FMC) Section 17.06.030 requires that single-family residential master plans submit a Design Review Application for approval by the Planning Commission.

ANALYSIS

Development Standards

The proposed project is subject to the development standards established by the Folsom Plan Area Specific Plan for SF (Single-Family) designated properties as outlined in the Russell Ranch/Broadstone Estates Design Guidelines (Attachment 12). The table on the following page demonstrates that the proposed project is consistent with all of the required development standards:

FIGURE 10: SINGLE FAMILY (SF) DEVELOPMENT STANDARDS TABLES

Development Standards Table Single Family (SP-SF-PD)(60' X 105' LOTS)		
Development Standard	Requirement	Proposed Project
Minimum Lot Area	6,300 SF	6,300 SF
Front Porch Setback	12.5 Feet	12.5 Feet
Front Primary Structure Setback	12.5/24.5 Feet*	12.5/24.5 Feet*
Front Garage Setback	18/30 Feet*	18/30 Feet*
Side Yard Setback	5 Feet	5 to 10 Feet
Rear Yard Setback	15 Feet	15 Feet
Maximum Building Height	28/35 Feet**	<28/35 Feet**
Maximum Lot Coverage	50%	<50%

* Setbacks for Attached and Detached Sidewalk Conditions

** Building Height for Single-Story and Two-Story Residences

Development Standards Table Single Family (SP-SF-PD)(65' X 105' LOTS)		
Development Standard	Requirement	Proposed Project
Minimum Lot Area	6,825 SF	6,825 SF
Front Porch Setback	12.5 Feet	12.5 Feet
Front Primary Structure Setback	12.5/24.5 Feet*	12.5/24.5 Feet*
Front Garage Setback	18/30 Feet*	18/30 Feet*
Side Yard Setback	5 Feet	5 to 10 Feet
Rear Yard Setback	15 Feet	15 Feet
Maximum Building Height	28/35 Feet**	<28/35 Feet**
Maximum Lot Coverage	50%	<50%

* Setbacks for Attached and Detached Sidewalk Conditions

** Building Height for Single-Story and Two-Story Residences

Residential Design Review

The proposed project, which is located within the northeast portion of the Folsom Plan Area, is subject to the Russell Ranch/Broadstone Estates Design Guidelines which were originally approved by the City Council in 2015 and revised in 2021. The Design Guidelines are a complementary document to the Folsom Plan Area Specific Plan and the Folsom Plan Area Specific Plan Community Guidelines. The Design Guidelines, which are intended to act as an implementation tool for residential development within the Russell Ranch/Broadstone Estates Subdivisions, provide the design framework for architecture, street scene, and landscaping to convey a master plan identity. While these Design Guidelines establish the quality of architectural and landscape development for

the overall subdivision, they are not intended to prevent alternative designs and/or concepts that are compatible with the overall project theme.

As a regulatory tool, the Design Guidelines are intended to assist applicants in creating single-family residential neighborhoods that reflect the City's rich history, reinforce the sense of community, and utilize sustainable best practices. The Design Guidelines also provide the framework for design review approval of residential projects within the Russell Ranch and Broadstone Estates Subdivisions. In addition, the Design Guidelines are intended to be used by builders and developers when designing their Master Plot Plans. Any development project that is submitted to the City must be reviewed for consistency with these Design Guidelines. The following are the general architectural principles intended to guide the design of the Russell Ranch and Broadstone Estates Subdivisions to ensure quality development:

- Master Plan series must include a minimum of three unique building elevations
- Provide an elegant and diverse streetscape
- Building massing must be appropriate and authentic to the architectural style
- Horizontal and vertical articulation is required
- Include varied roof shapes and forms
- Avoid repetition of identical architectural styles
- Ensure four-sided architecture is provided
- Highly visible lots require additional architectural enhancements

In addition to the general architectural principles referenced above, the Design Guidelines also provide specific direction regarding a number of architectural situations and features including building forms, roof details, wall materials, window and door designs, and decorative details. Each of the architectural styles is required to include a specific set of style elements (form, roof, walls, windows/doors, and details) based on the particular design theme. Based on the highly visible nature of the residential lots within the Russell Ranch and Broadstone Estates Subdivisions, the Design Guidelines also require that corner lots and lots adjacent to open space provide additional enhanced elements above and beyond the minimum required style elements for the building elevations facing the street(s) and open space areas respectively. The following are examples of required and enhanced style elements that are relevant to the proposed project:

- Provide symmetrical or asymmetrical form
- Utilize simple massing, front or side gabled
- Include a deep front entry porch
- Provide low-pitched roofs with large over-hanging eaves
- Wall materials should include stucco, lap siding, wood shingles, and masonry
- Use windows individually or in groups
- Provide head and sill window trim or full window surrounds

- Utilize two stories with combination of one and two-story elements
- Utilize enhanced elements on highly visible lots
- Include steep pitched accent gable (enhanced element)
- Provide smooth or imperfect smooth stucco (enhanced element)
- Utilize casement windows (enhanced element)
- Feature entry porch columns with single or multiple posts (enhanced element)
- Include exposed rafter tails or eaves (enhanced element)

The Russell Ranch/Broadstone Estates Design Guidelines identify up to nine unique architectural styles that are envisioned being implemented within the subdivisions including: California Cottage, California Prairie, California Craftsman, California Villa, California Wine Country, Monterey, Transitional Bungalow, Spanish Colonial Revival and Spanish Eclectic. Additional California-themed architectural styles are allowed if they are consistent with the general architectural principles and specific architectural recommendation listed above. As described in the applicant's proposal, the proposed project features three architectural themes that have been chosen from the design collections referenced above including California Craftsman, California Prairie, and California Wine Country. The fourth architectural theme (California Modern) is a new design theme that contains many of the architectural characteristics recommended by the Design Guidelines. Below is a thorough description of each of the proposed architectural styles:

California Craftsman

Influenced by the English Arts and Crafts movement of the late 19th century and stylized by California architects Charles and Henry Greene in the early 1900's, the Craftsman style focused on exterior elements with tasteful and artful attention to detail. Originating in California, Craftsman architecture relied on the simple house tradition, combining hip and gable roof forms with wide, livable porches, and broad overhanging eaves. Extensive built-in elements define this style, treating details such as windows and porches as if they were furniture. The horizontal nature is emphasized by exposed rafter tails and knee braces below broad overhanging eaves constructed in rustic-textured building materials. The overall effect is the creation of a natural, warm, and livable home of artful and expressive character. The California Craftsman architectural style is only utilized on one (Master Plan 8006) of the four proposed master plans.

California Prairie

The California Prairie design, also referred to as Modern Prairie, is a late 19th and early 20th century architectural style that has its roots in the City of Chicago. Frank Lloyd Wright, the most famous proponent of this architectural style, promoted the idea of "organic architecture", the primary principal of which was that a structure should look as if it belongs on the site as if it naturally grew there. California Prairie is a distinctly American style defined by simple structured massing, horizontal lines, and flat or hipped

roofs with broad overhanging eaves. The California Prairie style is also recognized for its use of brick, stone, and stucco exteriors with restrained application of ornamental materials. The California Prairie architectural style is utilized on all four (Master Plans 8003-8006) of the four proposed master plans.

California Wine Country

Present in more rural, agrarian parts of California and influenced by the vineyard estates scattered throughout California's wine country, the California Wine Country style has a built-over-time feel, expressed through its rustic material palette and building forms. Comparable to elements of Western Farmhouse and Early California Ranch, as defined by the Russell Ranch Design Guidelines, the form is humble and simple in its appearance. Gable roofs dominate and exhibit steep roof pitches, while roof tails further distinguish the style. Windows appear as structured compositional elements, emphasized by wrapping foam trim and over grouted stone. A rich material palette of stucco, stone veneer, and textured concrete roof tile contributes to feeling that the structure was developed over time, while the clean execution of its form and materials provides a distinctly contemporary impression. The California Wine Country architectural style is utilized on three (Master Plans 8003-8005) of the four proposed master plans.

California Modern

The California Modern design, which first began in the 1920's and continued to grow in popularity during the first half of the 20th century, is minimalistic in nature with respect to shapes, forms, and details with the intent of creating a calming, friendly, and welcoming environment. The California Modern Style is simple and unadorned and follows the principle that form follows function. Modern Style can be characterized by the use of rectangular and geometric shapes, asymmetrical design, low horizontal architecture, large glass windows, and the use of natural materials. The California Modern architectural style is utilized on all four (Master Plans 8003-8006) of the four proposed master plans.

As referenced in the Description/Analysis section of this staff report, the proposed project represents the introduction of a unique and new method of production home design not previously seen in Folsom or Northern California for that matter. Specifically, the proposed project includes a proprietary framing construction system consist of a series of wooden posts and beams reinforced with metal joints that are pre-cut with laser precision and shipped to be constructed on site in the United States, ensuring each home is resilient to nature and natural disasters. From a design perspective, the proposed project also features more modern visual interpretations of the Traditional Craftsman, California Prairie, and California Wine Country home designs. Examples of these modern design concepts and materials include the use of vertical stone columns on the front building elevations, offset angled roof elements, use of Bellburn ceramic tiles, and use of Nichiha wood fiber panel siding.

In reviewing the architecture and design of the project, staff determined that the design of the four proposed master plans (which also includes a total of four distinct California heritage-themed architectural styles and a total of fourteen color and material alternatives) accurately reflect the level and type of high-quality design features recommended by the Russell Ranch/ Broadstone Estates Design Guidelines. Specifically, the master plans are responsive to views on all four building elevations and include a variety of unique architectural elements that create an interesting streetscape scene including: varied roof shapes, traditional and alternative building forms, covered entries, and themed garage doors. In addition, the master plans feature a number of architectural enhancements as required by the Design Guidelines including but not limited to accent-colored window frames, architectural control joints, cement plank lap siding, cross-gabled massing, divided light windows, extended roof awnings, grouped windows, over grouted stone and brick, stone piers, style-specific lighting fixtures, and wide-wood entry doors.

The proposed building materials (stucco, ceramic wall tiles, architectural wall panels, stone veneer, themed garage doors, and concrete roof tiles) are consistent with the materials recommended by the Russell Ranch/Broadstone Estates Design Guidelines. In addition, the proposed project includes distinct color schemes which are consistent with each of the architectural styles, thus enhancing the visual interest of each of the master plans. Taking into consideration the aforementioned architectural details, materials, and colors, staff has determined that the proposed master plans are consistent with the design principles established by the Russell Ranch/Broadstone Estates Design Guidelines. As a result, staff forwards the following design recommendations to the Commission for consideration:

1. This approval is for four master plans, each with three distinct building elevations and at least three distinct color and material alternatives per elevation (44 different visual expressions) within Village 2 (Lots 41-81) of the previously approved Broadstone Estates Subdivision. The owner/applicant shall submit building plans that comply with this approval and the attached building elevations dated February 2, 2024.
2. The design, materials, and colors for the Broadstone Estates SHAWOOD Subdivision (Village 2, Lots 41-81) single-family residential units shall be consistent with the submitted building elevations, materials samples, and color scheme to the satisfaction of the Community Development Department.
3. The Community Development Department shall approve the individual lot permits to assure no duplication or repetition of the same house, same roof-line, same elevation style, and that there are no homes of the same style that are side-by-side or across the street from each other.

4. All mechanical equipment shall be ground-mounted and concealed from view of public streets, neighboring properties and nearby higher buildings. For lots abutting the open space areas, mechanical equipment shall be located out of view from open space areas.
5. Lighting shall be designed to be directed downward onto the project site and away from adjacent properties and public rights-of-way. In addition, final exterior building and site lighting plans shall be submitted for review and approval by Community Development Department for aesthetics, level of illumination, glare and trespass prior to the issuance of any building permits.
6. A minimum of one tree shall be planted in the front yard of each residential lot within the subdivision. A minimum of two trees are required along the street-side of all corner lots. All front yard irrigation and landscaping shall be installed prior to a Building Permit Final.

These recommendations listed above are included in the conditions of approval presented for consideration by the Planning Commission (Condition No. 12).

ENVIRONMENTAL REVIEW

An Addendum to the Folsom Plan Area Environmental Impact Report was previously approved for the Broadstone Estates Subdivision project (PN 15-308) on June 28, 2016 in accordance with the requirements of the California Environmental Quality Act (CEQA). Staff has determined that no new impacts will result from development of the subject project that were not already considered with the previous approval. No further environmental review is required.

RECOMMENDATION

Staff recommends approval of the proposed project, subject to the attached conditions of approval.

PROPOSED PLANNING COMMISSION ACTION

Move to Approve a Residential Design Review Application for 41 single-family residential units (Village 2, Lots 41-81) within the previously approved Broadstone Estates Subdivision for the Broadstone Estates SHAWOOD Residential Design Review project as illustrated on Attachments 5 through 11, based on the findings (Findings A-H) and subject to the conditions of approval (Conditions 1-14) attached to this report.

GENERAL FINDINGS

- A. NOTICE OF MEETING HAS BEEN GIVEN AT THE TIME AND IN THE MANNER REQUIRED BY STATE LAW AND CITY CODE.
- B. THE PROJECT IS CONSISTENT WITH THE GENERAL PLAN, THE FOLSOM PLAN AREA SPECIFIC PLAN, AND THE RUSSELL RANCH/BROADSTONE ESTATES DESIGN GUIDELINES.

CEQA FINDINGS

- C. AN ADDENDUM TO THE FOLSOM PLAN AREA ENVIRONMENTAL IMPACT REPORT WAS PREVIOUSLY APPROVED FOR THE BROADSTONE ESTATES SUBDIVISION PROJECT (PN 15-308) ON JUNE 28, 2016 IN ACCORDANCE WITH THE REQUIREMENTS OF THE CALIFORNIA ENVIRONMENTAL QUALITY ACT (CEQA).
- D. NO NEW IMPACTS WILL RESULT FROM DEVELOPMENT OF THE SUBJECT PROJECT THAT WERE NOT ALREADY CONSIDERED WITH THE PREVIOUS APPROVAL
- E. NO ADDITIONAL ENVIRONMENTAL REVIEW IS REQUIRED FOR THIS APPLICATION.

DESIGN REVIEW FINDINGS

- F. THE PROJECT IS IN COMPLIANCE WITH THE GENERAL PLAN, THE FOLSOM PLAN AREA SPECIFIC PLAN, AND THE APPLICABLE ZONING ORDINANCES.
- G. THE PROJECT IS IN CONFORMANCE WITH THE RUSSELL RANCH/BROADSTONE ESTATES DESIGN GUIDELINES.
- H. THE BUILDING MATERIALS, TEXTURES, AND COLORS OF THE PROJECT WILL BE COMPATIBLE WITH SURROUNDING DEVELOPMENT AND CONSISTENT WITH THE GENERAL DESIGN THEME OF THE NEIGHBORHOOD.

ATTACHMENT 2 BACKGROUND

BACKGROUND

On June 28, 2016, the City Council approved a General Plan Amendment, Specific Plan Amendment, and First Amended and Restated Development Agreement for development of the Broadstone Estates Subdivision project. The approved General Plan Amendment and Specific Plan Amendment resulted in an increase in the amount of land designated for single-family development, and increase in the amount of open space as well as the elimination of land designated for industrial, office, and commercial uses within the 37.2-acre Broadstone Estates Subdivision project area.

On April 11, 2017, the City Council approved a Small-Lot Vesting Tentative Subdivision Map, Project Design Guidelines, and an Inclusionary Housing Plan for the development of an 81-unit single family residential subdivision (Broadstone Estates Subdivision) on a 37.2-acre site located in the Folsom Plan Area at the southeast corner of Placerville Road and U.S. Highway 50. On August 27, 2019, the City Council approved a three-year extension in time for the previously approved Small-Lot Vesting Tentative Subdivision Map associated with the Broadstone Estates Subdivision project. On August 31, 2021, Elliott Homes submitted a timely letter to the City requesting a three-year extension in time for the Small-Lot Vesting Tentative Subdivision Map associated with the Broadstone Estates Subdivision project.

On August 27, 2021, Elliott Homes submitted an application to the City for approval of a code amendment to modify Section 16.16.120(D) of the Folsom Municipal Code to make it consistent with State law relative to map extensions. State law allows local jurisdictions to extend subdivision maps up to six years from the date of approval, while the Folsom Municipal Code limits the extension to three years. On September 28, 2021, the City Council approved Ordinance No. 1317, an Ordinance of the City of Folsom Amending Section 16.16.120(D) of the Folsom Municipal Code Pertaining to Extension of Tentative Subdivision Maps.

On July 26, 2023, the Community Development Director approved a Minor Administrative Modification (MAM) for the Broadstone Estates Subdivision project. The MAM clarified the front yard setback requirements for certain single-family residential lots (60' by 105' lots and 65' by 105' lots) located within the Broadstone Estates Subdivision. Specifically, the MAM clarified that a 12'5" front yard setback is required for single-family residential lots with an attached sidewalk condition within the Broadstone Estates Subdivision. The MAM also clarified that a 21' street side yard setback is required for single-family residential lots with a detached sidewalk condition within the Broadstone Estates Subdivision. Lastly, the proposed MAM clarified that the front yard setback for a garage with a swing driveway (side load garage) shall be the same as the front living space

setback for lots within the Broadstone Estates Subdivision.

On December 20, 2023, the Planning Commission approved a Design Review Application (DRCL 23-00149) for 40 traditional single-family residential units within Village 1 of the previously approved Broadstone Estates Subdivision. The Design Review approval included four master plans, which ranged in size from 2,616 square feet up to 3,952 square feet, and featured six distinctive architectural styles including California Craftsman, California Prairie, California Villa, California Wine Country, Monterey, and Spanish Colonial Revival.

GENERAL PLAN DESIGNATION	SF (Single-Family)
SPECIFIC PLAN DESIGNATION	SP-SF-PD (Folsom Plan Area Specific Plan, Single-Family, Planned Development District)
ADJACENT LAND USES/ZONING	North: U.S. Highway 50 with the Broadstone Unit No. 3 Subdivision Beyond South: Russell Ranch Subdivision (SP-SFHD-PD) with Alder Creek Parkway Beyond East: Russell Ranch Subdivision (SP-SFHD-PD) with Empire Ranch Road beyond West: Placerville Road with the Mangini Ranch Phase 2 Subdivision Beyond
SITE CHARACTERISTICS	The project site has been rough graded and site improvements (underground utilities, roadways, curbs, gutters, sidewalks, etc.) are under construction.
APPLICABLE CODES	<u>FMC</u> Chapter 17.06, Design Review FPASP (Folsom Plan Area Specific Plan) Russell Ranch/Broadstone Estates Design Guidelines

Attachment 3

Conditions of Approval

CONDITIONS OF APPROVAL FOR BROADSTONE ESTATES SHAWOOD RESIDENTIAL DESIGN REVIEW PROJECT (DRCL 23-00180) SOUTHEAST CORNER OF U.S. HIGHWAY 50 AND PLACERVILLE ROAD				
	Mitigation Measure	Condition/Mitigation Measure	When Required	Responsible Department
1.		<p>The applicant shall submit final site development plans to the Community Development Department that shall substantially conform to the exhibits referenced below:</p> <ul style="list-style-type: none"> • Building Elevations and Floor Plans, dated February 2, 2024 • Building Renderings dated November 16, 2023 • Street Scene Exhibit dated February 2, 2024 • Color and Materials Exhibit, dated November 9, 2023 <p>This project approval is for Broadstone Estates SHAWOOD Design Review (DRCL 23-00180), which includes design review approval of four master plans to be implemented within 41 single-family residential units (Lots 41-81) for the Broadstone Estates SHAWOOD Design Review project as illustrated on Attachments 5 through 11. Implementation of the project shall be consistent with the above-referenced items as modified by these conditions of approval.</p>	B	CD (P)(E)
2.		<p>Building plans shall be submitted to the Community Development Department for review and approval to ensure conformance with this approval and with relevant codes, policies, standards and other requirements of the City of Folsom.</p>	B	CD (P)(E)(B)
3.		<p>The project approvals granted under this staff report (Residential Design Review for Broadstone Estates SHAWOOD Lots 41-81) shall remain in effect for two years from final date of approval (February 21, 2024). If a building permit is not issued within the identified time frame and/or the applicant has not demonstrated substantial progress towards the development of the project, this approval shall be considered null and void. The owner/applicant may file an application with the Community Development Department for an extension not less than 60 days prior to the expiration date of the approval, along with appropriate fees and necessary submittal materials pursuant to Section 17.52.350 of the <u>Folsom Municipal Code</u>. If after approval of this project, a lawsuit is filed which seeks to invalidate any approval, entitlement, building permit, or other construction permit required in connection with any of the activities or construction authorized by the project approvals, or to enjoin the development contemplated herein, or to challenge the issuance by any governmental agency of any environmental document or exemption determination, the one year period for submitting a complete building permit application referenced in <u>FMC</u> section 17.52.350(A) shall be tolled during the time that any litigation is pending, including any appeals.</p>	B	CD (P)

CONDITIONS OF APPROVAL FOR BROADSTONE ESTATES SHAWOOD RESIDENTIAL DESIGN REVIEW PROJECT (DRCL 23-00180) SOUTHEAST CORNER OF U.S. HIGHWAY 50 AND PLACERVILLE ROAD				
	Mitigation Measure	Condition/Mitigation Measure	When Required	Responsible Department
4.		<p>The owner/applicant shall defend, indemnify, and hold harmless the City and its agents, officers and employees from any claim, action or proceeding against the City or its agents, officers or employees to attack, set aside, void, or annul any approval by the City or any of its agencies, departments, commissions, agents, officers, employees, or legislative body concerning the project. The City will promptly notify the owner/applicant of any such claim, action or proceeding, and will cooperate fully in the defense. The City may, within its unlimited discretion, participate in the defense of any such claim, action or proceeding if both of the following occur:</p> <ul style="list-style-type: none"> • The City bears its own attorney’s fees and costs; and • The City defends the claim, action or proceeding in good faith <p>The owner/applicant shall not be required to pay or perform any settlement of such claim, action or proceeding unless the settlement is approved by the owner/applicant.</p>	OG	CD (P)(E)(B) PW, PR, FD, PD, NS
DEVELOPMENT COSTS AND FEE REQUIREMENTS				
5.		The owner/applicant shall pay all applicable taxes, fees and charges at the rate and amount in effect at the time such taxes, fees and charges become due and payable.	B	CD (P)(E)
6.		If applicable, the owner/applicant shall pay off any existing assessments against the property, or file necessary segregation request and pay applicable fees.	B	CD (E)
7.		The City, at its sole discretion, may utilize the services of outside legal counsel to assist in the implementation of this project, including, but not limited to, drafting, reviewing and/or revising agreements and/or other documentation for the project. If the City utilizes the services of such outside legal counsel, the applicant shall reimburse the City for all outside legal fees and costs incurred by the City for such services. The applicant may be required, at the sole discretion of the City Attorney, to submit a deposit to the City for these services prior to initiation of the services. The applicant shall be responsible for reimbursement to the City for the services regardless of whether a deposit is required.	B	CD (P)(E)
8.		If the City utilizes the services of consultants to prepare special studies or provide specialized design review or inspection services for the project, the applicant shall reimburse the City for actual costs it incurs in utilizing these services, including administrative costs for City personnel. A deposit for these services shall be provided prior to initiating review of the Final Map, improvement plans, or beginning inspection, whichever is applicable.	B	CD (P)(E)

CONDITIONS OF APPROVAL FOR BROADSTONE ESTATES SHAWOOD RESIDENTIAL DESIGN REVIEW PROJECT (DRCL 23-00180) SOUTHEAST CORNER OF U.S. HIGHWAY 50 AND PLACERVILLE ROAD				
	Mitigation Measure	Condition/Mitigation Measure	When Required	Responsible Department
9.		This project shall be subject to all City-wide development impact fees, unless exempt by previous agreement. This project shall be subject to all City-wide development impact fees in effect at such time that a building permit is issued. These fees may include, but are not limited to, fees for fire protection, park facilities, park equipment, light rail, transportation systems management (TSM), capital facilities and traffic impacts. The 90-day protest period for all fees, dedications, reservations or other exactions imposed on this project will begin on the date of final approval (February 21, 2024). The fees shall be calculated at the fee rate in effect at the time of building permit issuance.	B	CD (P)(E), PW, PK
10.		The owner/applicant agrees to pay to the Folsom-Cordova Unified School District the maximum fee authorized by law for the construction and/or reconstruction of school facilities. The applicable fee shall be the fee established by the School District that is in effect at the time of the issuance of a building permit. Specifically, the owner/applicant agrees to pay any and all fees and charges and comply with any and all dedications or other requirements authorized under Section 17620 of the Education Code; Chapter 4.7 (commencing with Section 65970) of the Government Code; and Sections 65995, 65995.5 and 65995.7 of the Government Code.	B	CD (P)
ARCHITECTURE/SITE DESIGN REQUIREMENTS				
11.		Final exterior building and site lighting plans shall be submitted for review and approval by Community Development Department for aesthetics, level of illumination, glare and trespass prior to the issuance of any building permits. The exterior building and site lighting will be required to achieve energy efficient standards by installing high-intensity discharge (mercury vapor, high-pressure sodium, or similar) lamps. Lighting shall be equipped with a timer or photo condenser. Lighting shall be designed to be directed downward onto the project site and away from adjacent properties and public rights-of-way.	B	CD (P)

CONDITIONS OF APPROVAL FOR BROADSTONE ESTATES SHAWOOD RESIDENTIAL DESIGN REVIEW PROJECT (DRCL 23-00180) SOUTHEAST CORNER OF U.S. HIGHWAY 50 AND PLACERVILLE ROAD				
	Mitigation Measure	Condition/Mitigation Measure	When Required	Responsible Department
12.		<p>The project shall comply with the following architecture and design requirements:</p> <ol style="list-style-type: none"> 1. This approval is for four master plans, each with three distinct building elevations and at least three distinct color and material alternatives per elevation (44 different visual expressions) within Village 2 (Lots 41-81) of the previously approved Broadstone Estates Subdivision. The owner/applicant shall submit building plans that comply with this approval and the attached building elevations dated February 2, 2024. 2. The design, materials, and colors for the Broadstone Estates SHAWOOD Subdivision (Village 2, Lots 41-81) single-family residential units shall be consistent with the submitted building elevations, materials samples, and color scheme to the satisfaction of the Community Development Department. 3. The Community Development Department shall approve the individual lot permits to assure no duplication or repetition of the same house, same roof-line, same elevation style, side-by-side, or across the street from each other. 4. All mechanical equipment shall be ground-mounted and concealed from view of public streets, neighboring properties and nearby higher buildings. For lots abutting the open space areas, mechanical equipment shall be located out of view from open space areas. 5. Lighting shall be designed to be directed downward onto the project site and away from adjacent properties and public rights-of-way. In addition, final exterior building and site lighting plans shall be submitted for review and approval by Community Development Department for aesthetics, level of illumination, glare and trespass prior to the issuance of any building permits. 6. A minimum of one tree shall be planted in the front yard of each residential lot within the subdivision. A minimum of two trees are required along the street-side of all corner lots. All front yard irrigation and landscaping shall be installed prior to a Building Permit Final. 	B	CD (P) (B)

FIRE DEPARTMENT REQUIREMENT				
13.		The building shall have illuminated addresses visible from the street or drive fronting the property. Size and location of address identification shall be reviewed and approved by the Fire Marshal.	B	FD
POLICE/SECURITY REQUIREMENT				
14.		The owner/applicant shall consult with the Police Department in order to incorporate all reasonable crime prevention measures. The following security/safety measures shall be required: <ul style="list-style-type: none"> • During construction, security guard shall be on-duty at all times at the site or another approved security measure shall be in place including but not limited to a six-foot security fence shall be constructed around the perimeter of construction areas. (This requirement shall be included on the approved construction drawings). • Security measures for the safety of all construction equipment and unit appliances shall be employed. • Landscaping shall not cover exterior doors or windows, block line-of-sight at intersections or screen overhead lighting. 	B	PD

CONDITIONS

See attached tables of conditions for which the following legend applies.

RESPONSIBLE DEPARTMENT		WHEN REQUIRED	
CD	Community Development Department Planning Division Engineering Division Building Division Fire Division	I	Prior to approval of Improvement Plans
(P)		M	Prior to approval of Final Map
(E)		B	Prior to issuance of first Building Permit
(B)		O	Prior to approval of Occupancy Permit
(F)		G	Prior to issuance of Grading Permit
PW		Public Works Department	DC
PR	Park and Recreation Department	OG	On-going requirement
PD	Police Department		

Attachment 4

Vicinity Map

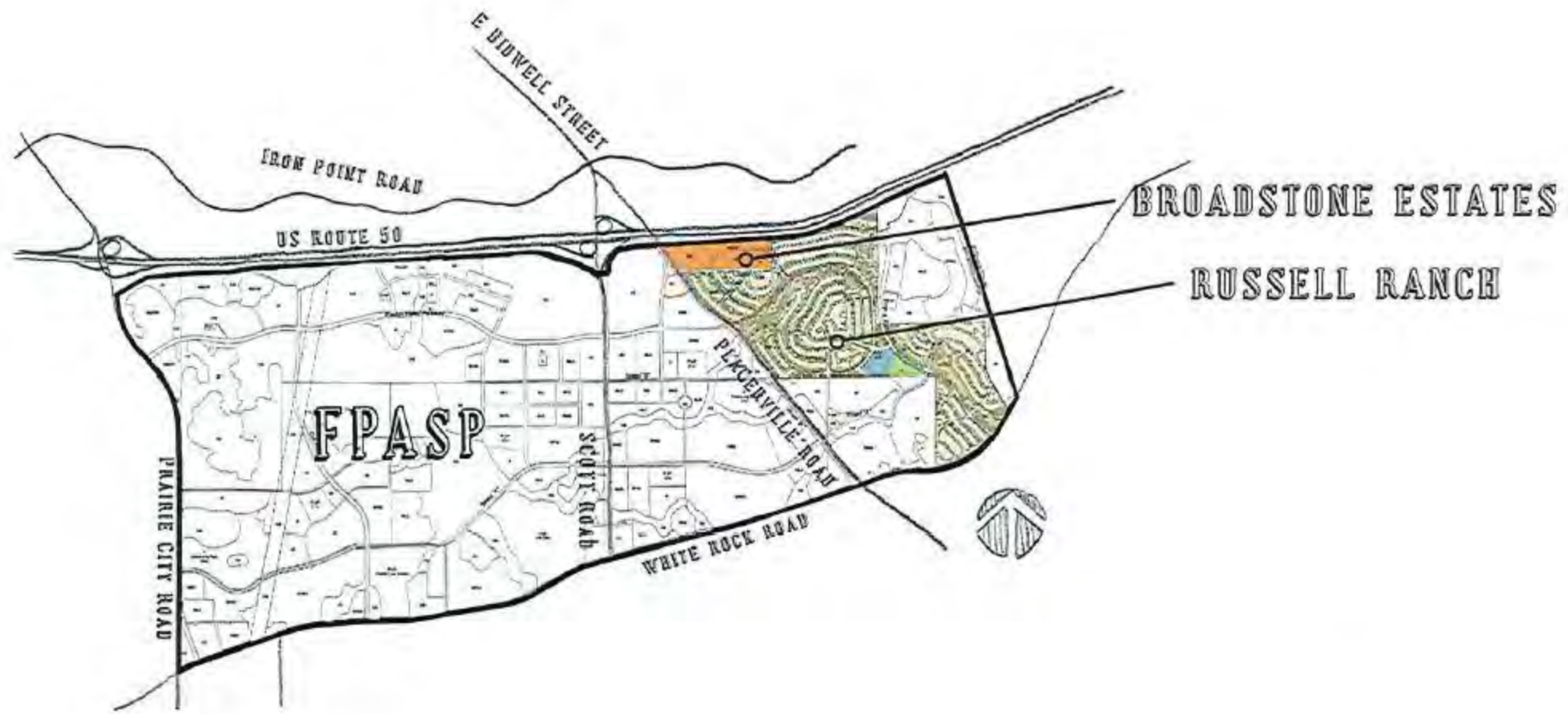
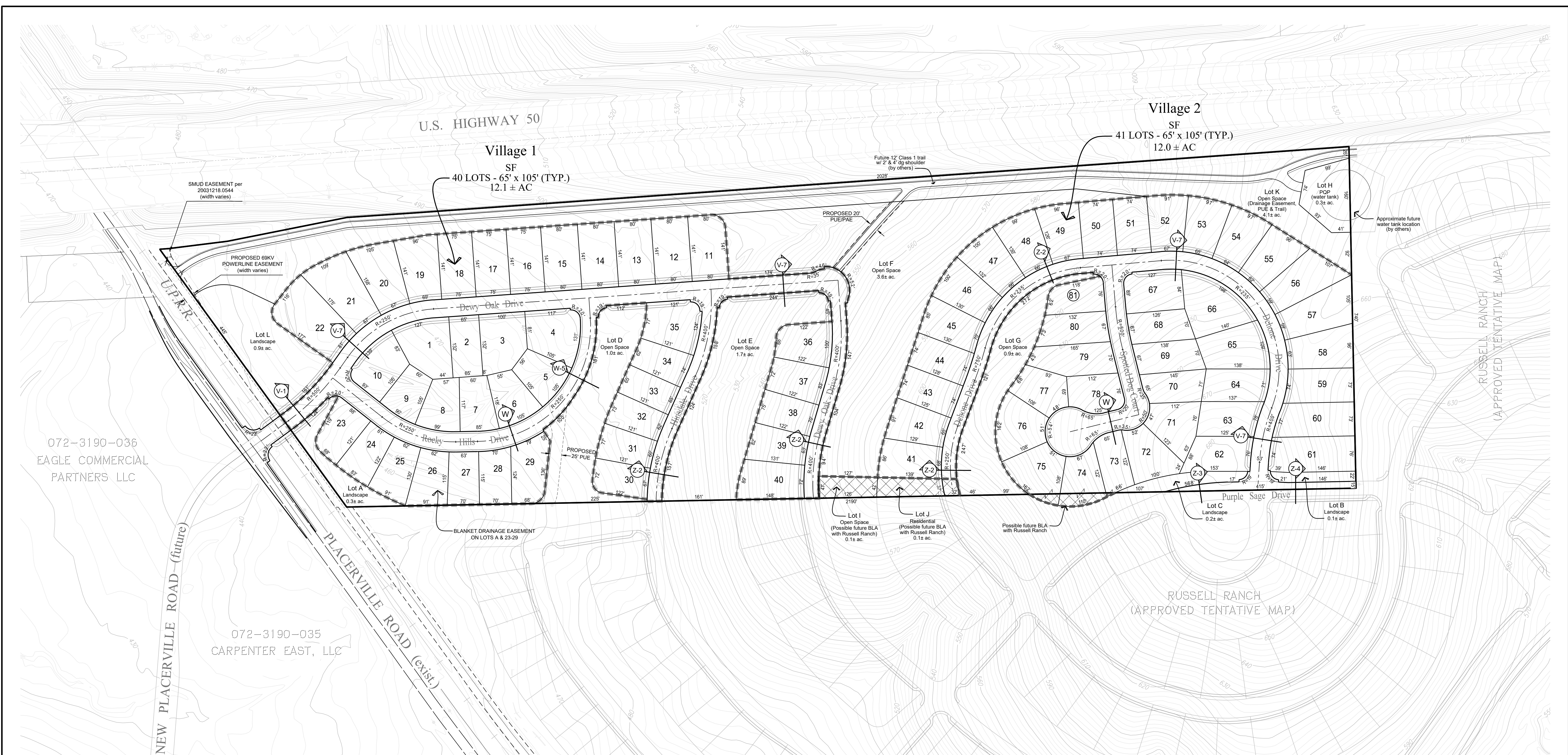


Figure 1: Vicinity Map

Attachment 5

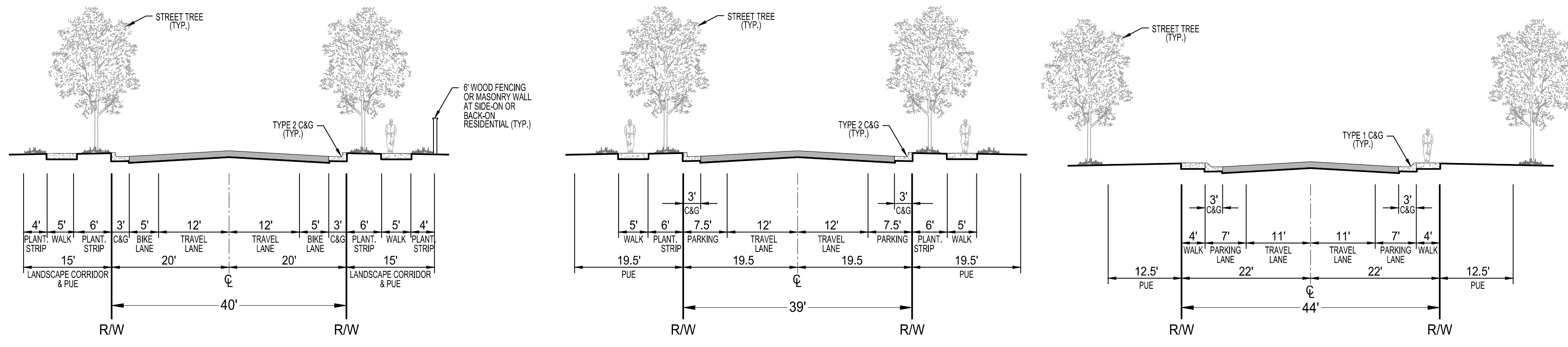
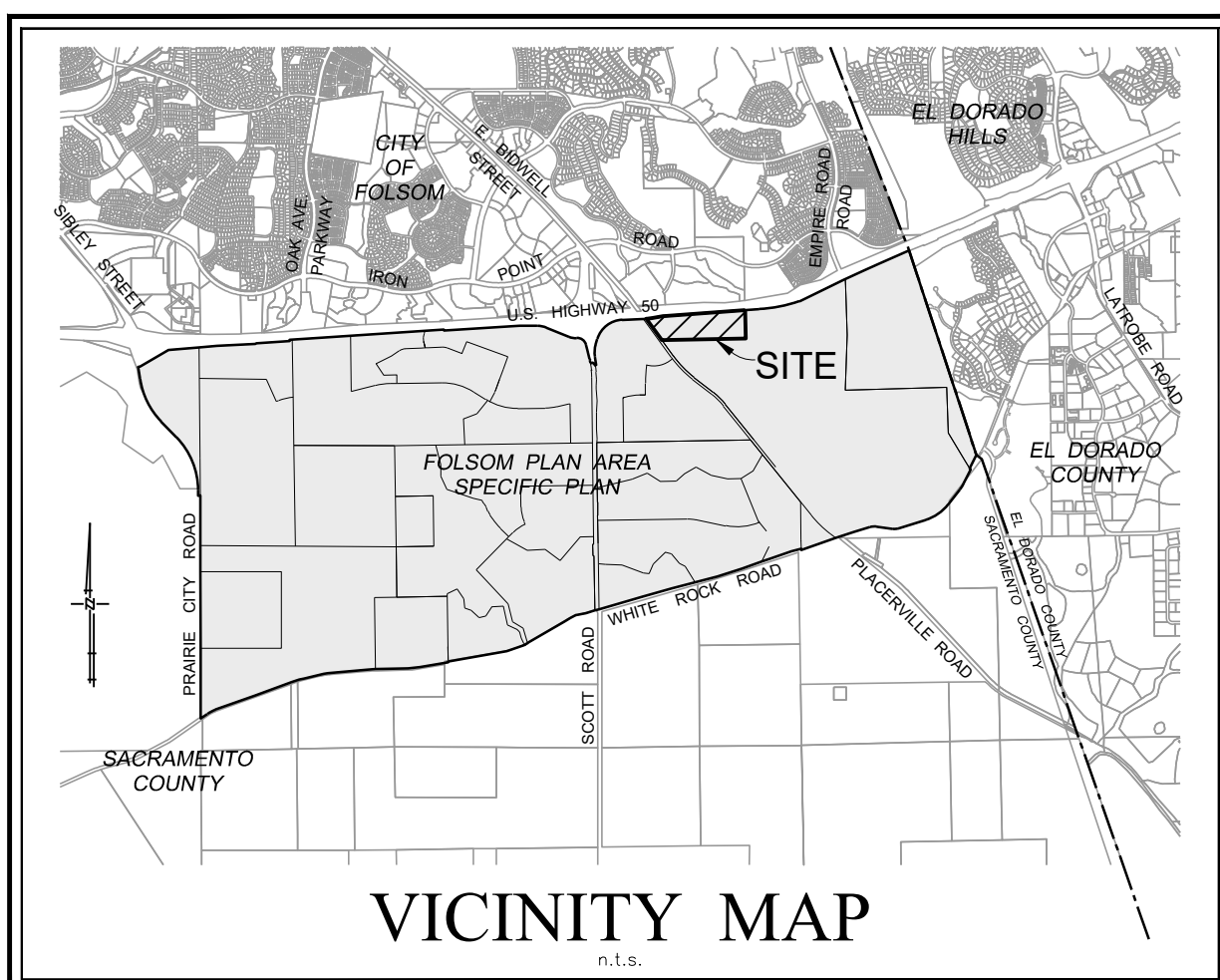
Approved Vesting Tentative Subdivision Map Dated March 9, 2017



072-3190-036
EAGLE COMMERCIAL
PARTNERS LLC

072-3190-035
CARPENTER EAST, LLC

RUSSELL RANCH (APPROVED TENTATIVE MAP)



TENTATIVE MAP INFORMATION	
OWNER / APPLICANT:	ELLIOTT HOMES, INC. AN ARIZONA CORPORATION 340 Pollocke Pkwy # 521 Folsom, Ca 95630
ENGINEER:	Mackay & Somp's CIVIL ENGINEERS, INC. 1552 Eureka Road, Suite 100 Roseville, CA 95661 (916) 773-1189
ASSESSORS PARCEL NO:	072-0270-147
SITE ACREAGE:	37.2 ± AC.
EXISTING LAND USE ZONE:	A portion of the Folsom Plan Area Specific Plan
NUMBER OF LOTS:	93: TOTAL LOTS 81: Residential lots 4: Landscape lots 5: Open Space lots 1: PDP (Tank Site) Lot 1: Resultant Residential lot (Possible Future BLA) 1: Resultant Open Space lot (Possible Future BLA)
SERVICE PROVIDERS	SCHOOL DISTRICTS: Folsom Cordova Unified School District PARKS & RECREATION: City of Folsom POLICE & FIRE PROTECTION: City of Folsom SANITARY SEWER: City of Folsom DOMESTIC WATER: City of Folsom STORM DRAIN: City of Folsom ELECTRICITY: SMUD TELEPHONE: AT&T GAS: PG&E CABLE: Comcast

BENCHMARK
IDENTIFICATION NO.: City of Folsom Benchmark "1b-35"
ELEVATION: 414.63 (NAVD 88)
7/8" TAG AND NAIL IN HEADWALL AT NORTHEAST CORNER OF IRON POINT ROAD AND EAST BOWWELL STREET. BASED ON A LEVEL RUN BY MACKAY & SOMPS IN FEBRUARY 2014.

- NOTES**
- Property Description: A portion of Section 9, Township 9 North, Range 8 East, M D B & M in the County of Sacramento, State of California.
 - Lot dimensions and acreages are approximate and subject to change.
 - Lot lines and lot areas may be adjusted at the time of the Final Map(s) provided no additional lots are created, subject to the approval of the City of Folsom. Flexibility in lot configuration as shown hereon is allowed provided the new configuration is in substantial compliance with the approved Specific Plan, subject to the approval of the City of Folsom.
 - The Final Mapping and subsequent development of lots may be phased. Phasing is to be consistent with the Development Agreement.
 - Phasing and Lot numbering is for identification purposes only and does not indicate phasing order of development. Ultimate development phasing shall be orderly and will be determined at Final Map and/or improvement plan stage.
 - Pursuant to Government Code Section 66456.1, the subdivider may file multiple Final Maps based upon this Tentative Map. The filing of a Final Map on a portion of this Tentative Map shall not invalidate any part of this Tentative Map.
 - Street names shown hereon are for identification purposes only. A street name list will be approved with Tentative Map; final street names & locations will be determined at the time of Final Map and Improvement Plan preparation.
 - Additional easements to accommodate new public utility improvements, access required for lot development, or other similar mapping requirements needed to accomplish the final design may be added prior to each Final Map based on this Tentative Map.
 - A 12.5' public utility easement will be located adjacent to all rights-of-way except as approved by the City Engineer.
 - The entire property contained within this Tentative Subdivision Map is covered by an Avigation Easement to the benefit of the City of Folsom and County of Sacramento recorded November 26, 2014 in Book 20141126, Page 0592, Official Records of Sacramento County.
 - Lots D, E, F, G, I, K and L (12.3 ac) are included in "Measure W" open space.

LAND USE SUMMARY				
LOT/VILLAGE NUMBER	LAND USE	GENERAL PLAN / ZONING	AREA (ACRES)	DENSITY (DU/AC)
1	SINGLE FAMILY RESIDENTIAL (65' X 105')	SF / SP-SF-PD	12.1	40
2	SINGLE FAMILY RESIDENTIAL (65' X 105')	SF / SP-SF-PD	12.0	41
A	LANDSCAPE CORRIDOR	OS / SP-OS2-PD	0.3	-
B	LANDSCAPE CORRIDOR	SF / SP-SF-PD	0.1	-
C	LANDSCAPE CORRIDOR	SF / SP-SF-PD	0.2	-
D	OPEN SPACE	OS / SP-OS2-PD	1.0	-
E	OPEN SPACE	OS / SP-OS2-PD	1.7	-
F	OPEN SPACE	OS / SP-OS2-PD	3.6	-
G	OPEN SPACE	OS / SP-OS2-PD	0.9	-
H	PDP (Tank Site)	POP / SP-POP-PD	0.3	-
I	OPEN SPACE (Possible future BLA)	OS / SP-OS2-PD	0.1	-
J	SINGLE FAMILY RESIDENTIAL (Possible future BLA)	SF / SP-SF-PD	0.1	-
K	OPEN SPACE (Drainage Easement / PUE / Trail)	OS / SP-OS2-PD	4.1	-
L	LANDSCAPE	OS / SP-OS2-PD	0.9	-
TOTAL			37.2	81

SMALL LOT VESTING TENTATIVE SUBDIVISION MAP

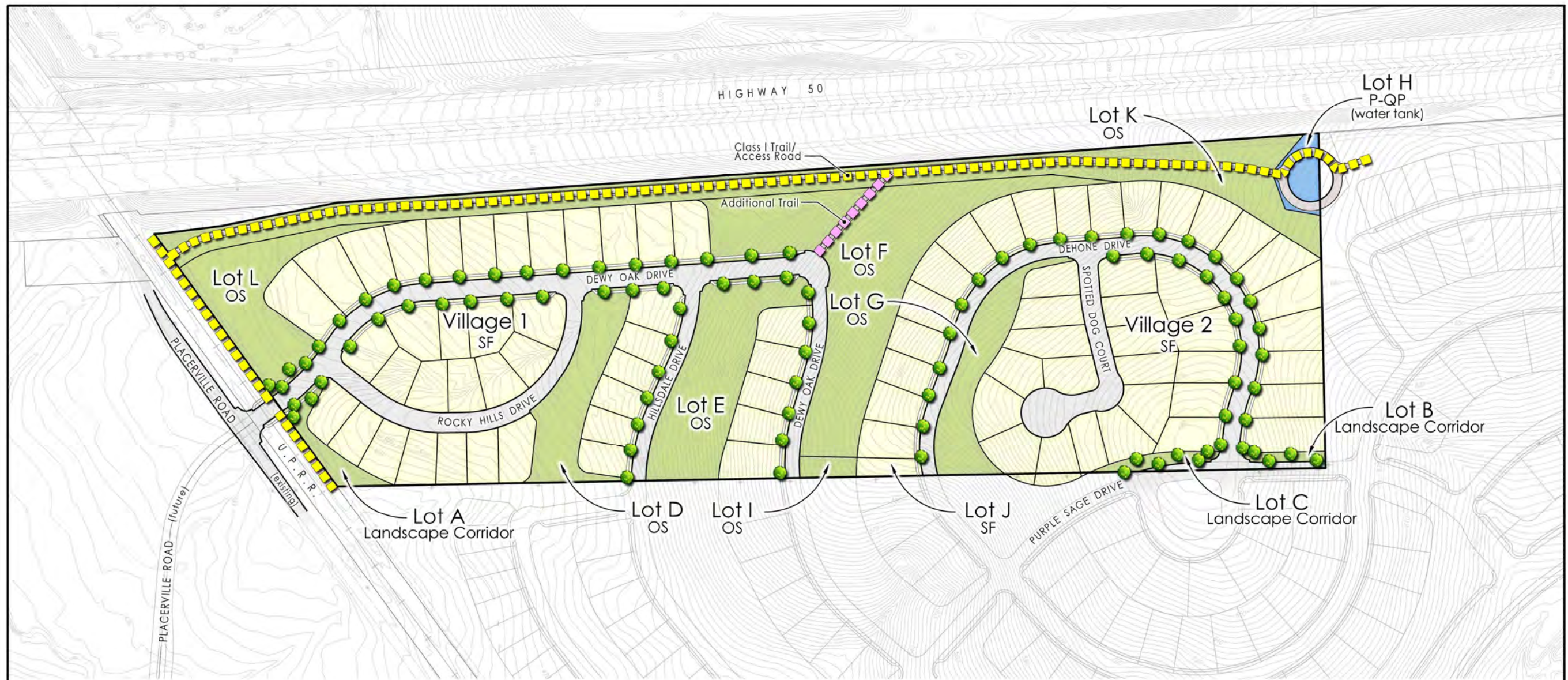
BROADSTONE ESTATES

Scale: 1" = 100'
Folsom, California
October 10, 2015
Revised: April 7, 2016
May 20, 2016
October 21, 2016
February 28, 2017
March 9, 2017

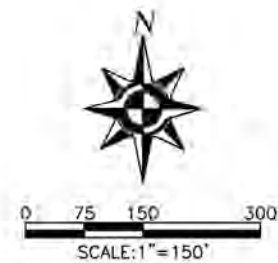


Attachment 6

Master Plan Exhibit Dated March 9, 2017



LAND USE SUMMARY					
LOT/VILLAGE NUMBER	LAND USE	GENERAL PLAN / ZONING	AREA (ACRES)	DU	DENSITY (DU/AC)
1	SINGLE FAMILY RESIDENTIAL (65' X 105')	SF / SP-SF-PD	12.1	40	3.3
2	SINGLE FAMILY RESIDENTIAL (65' X 105')	SF / SP-SF-PD	12.0	41	3.4
A	LANDSCAPE CORRIDOR	OS / SP-OS2-PD	0.3	-	-
B	LANDSCAPE CORRIDOR	SF / SP-SF-PD	0.1	-	-
C	LANDSCAPE CORRIDOR	SF / SP-SF-PD	0.2	-	-
D	OPEN SPACE	OS / SP-OS2-PD	1.0	-	-
E	OPEN SPACE	OS / SP-OS2-PD	1.7	-	-
F	OPEN SPACE	OS / SP-OS2-PD	3.6	-	-
G	OPEN SPACE	OS / SP-OS2-PD	0.9	-	-
H	POP (Tank Site)	POP / SP-POP-PD	0.3	-	-
I	OPEN SPACE (Possible future BLA)	OS / SP-OS2-PD	0.1	-	-
J	SINGLE FAMILY RESIDENTIAL (Possible future BLA)	SF / SP-SF-PD	0.1	-	-
K	OPEN SPACE (Drainage Easement / PUE / Trail)	OS / SP-OS2-PD	4.1	-	-
L	LANDSCAPE	OS / SP-OS2-PD	0.9	-	-
TOTAL			37.2	81	



ILLUSTRATIVE MASTER PLAN EXHIBIT

BROADSTONE ESTATES

Scale: 1" = 100'

Folsom, California

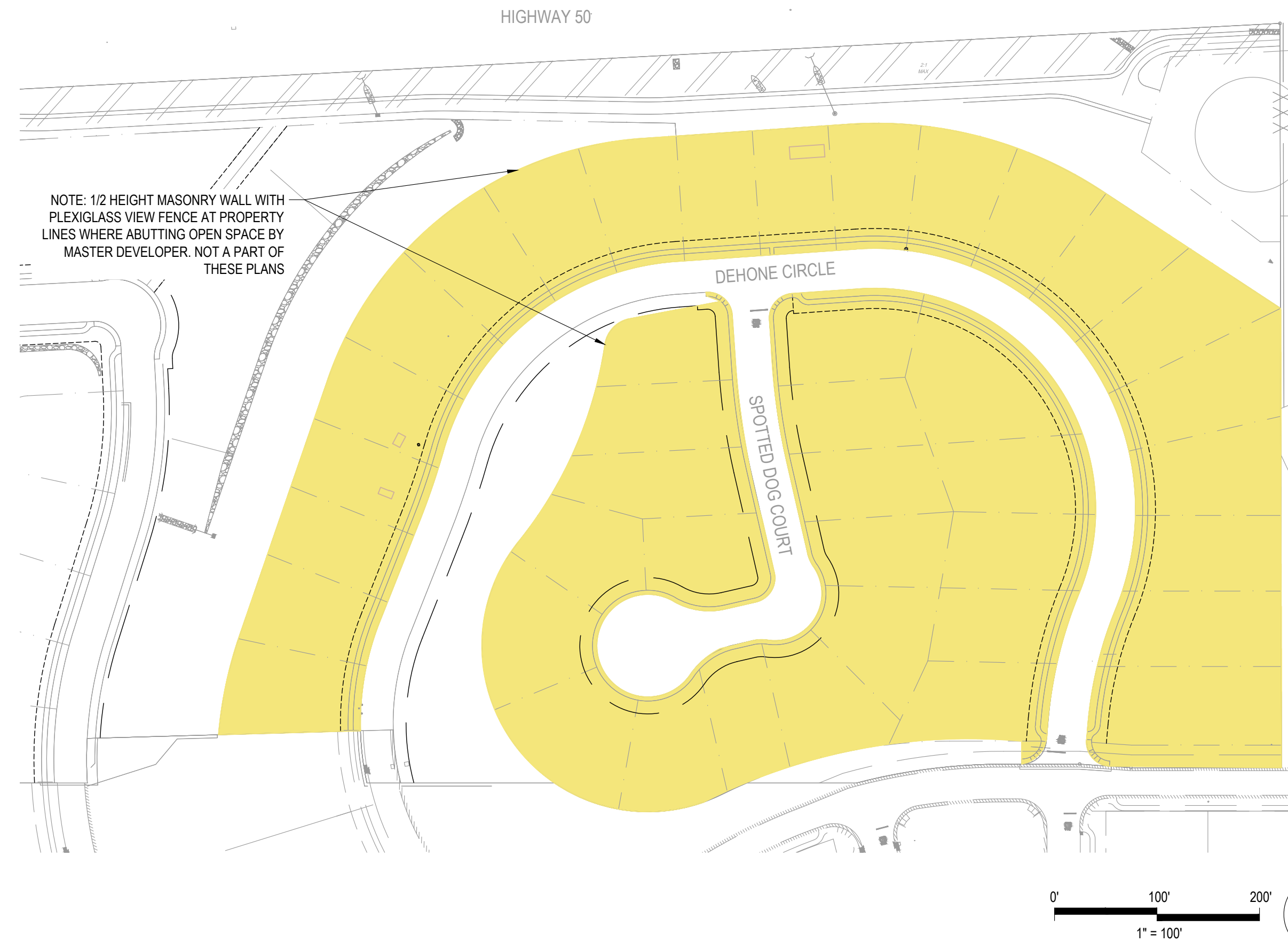
March 9, 2017

MACKAY & SOMPS
ENGINEERS PLANNERS SURVEYORS

Attachment 7

Typical Lot Layout and Landscape Exhibit Dated December 2023

SITE PLAN



PLANTING DESIGN STATEMENT

PLANTING WILL BRIDGE NATURAL AND BUILT (ARCHITECTURAL) FORMS, EXPRESSING ELEMENTS OF EACH IN LINEAR AND MASSES FORMS OF EVERGREEN AND DECIDUOUS PLANTS. SPECIES SELECTION WILL VARY AND BE DIFFERENTIATED BY ELEVATION.

THE MODERN ELEVATION WILL FOCUS ON A CLEAN CONTEMPORARY PLANT PALETTE, CONCENTRATING ON THE TEXTURE AND ARCHITECTURAL FORMS OF THE PLANTS. CALIFORNIA WINE COUNTRY AND CRAFTSMAN WILL BRING IN MORE COLOR AND SEASONALITY INTO THE PALETTE. CALIFORNIA PRAIRIE WILL ALLOW FOR A LOOSER PLANT SELECTION THAT EMBODIES THE COLLABORATION OF PLANT COMMUNITIES FOUND ON IN THE PRAIRIE.

PAYING HOMAGE TO THE CONCEPT OF GOHON-NO-KI, A CONCEPT DEVELOPED BY PARENT COMPANY SEKISUI HOUSE, "FIVE TREES," THREE FOR THE BIRDS AND TWO FOR THE BUTTERFLIES, A MINIMUM OF THREE TREES WILL BE INCORPORATED INTO THE FRONT YARDS (WHEN POSSIBLE), ANTICIPATING A FUTURE INSTALLATION OF TWO TREES WITHIN THE REAR YARD BY THE HOMEOWNERS, PROVIDING FOR THE NEEDS OF THE LOCAL ECOSYSTEMS AS INTENDED. TREE SELECTIONS WILL FOCUS ON PROVIDING FOOD AND HABITAT FOR THE LOCAL ANIMAL AND POLLINATOR COMMUNITIES.

PER EXISTING DEVELOPMENT PATTERNS, IF LOTS ARE GRADED SUCH THAT SLOPES WITHIN PRIVATE LOTS ARE CONTIGUOUS WITH COMMON AREA SLOPES, AND VISIBLE FROM PUBLIC RIGHTS-OF-WAY, AN 8' WIDE TRANSITION ZONE OF NATIVE/BUFFER PLANTS SHALL BE REQUIRED AND INSTALLED BY THE BUILDER. NOTE THAT NO SUCH CONDITIONS ARE CURRENTLY DESIGNED.

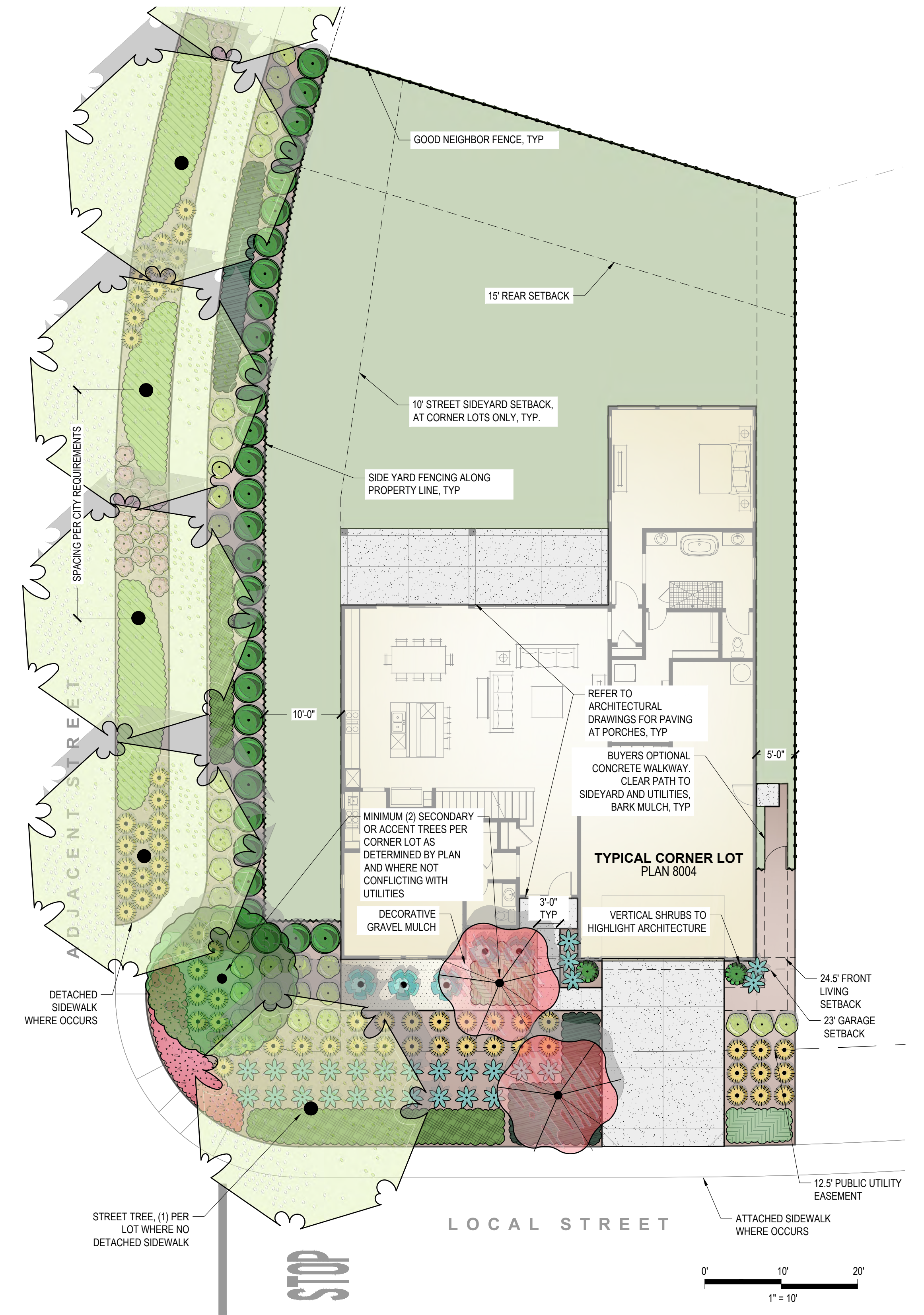
IRRIGATION DESIGN STATEMENT

IRRIGATION SYSTEM WILL CONFORM TO THE LOCALLY ADOPTED MODEL WATER USE ORDINANCE. INDIVIDUAL LOT IRRIGATION WILL BE SERVED BY A TEE OFF THE DOMESTIC WATER SUPPLY. CONTROLLER WILL BE "SMART" WITH SELF-ADJUSTING PROGRAMS BASED ON LOCAL WEATHER CONDITIONS. A EVAOPTRANSPIRATION/WEATHER SENSOR WILL BE INSTALLED. HYDROZONES WILL BE BASED ON EXPOSURE, PLANT WATER REQUIREMENTS AND EMISSION TYPE. A SEPARATE VALVE FOR ADAPTED LANDSCAPE IN THE REAR 8' ACCESS EASEMENT WILL BE INSTALLED BY THE BUILDER. EXCEPT FOR SPECIAL CIRCUMSTANCES, ALL IRRIGATION EMITTERS WILL BE PRESSURE-COMPENSATING DRIP TYPE, LOCATED AT THE ROOTBALL.

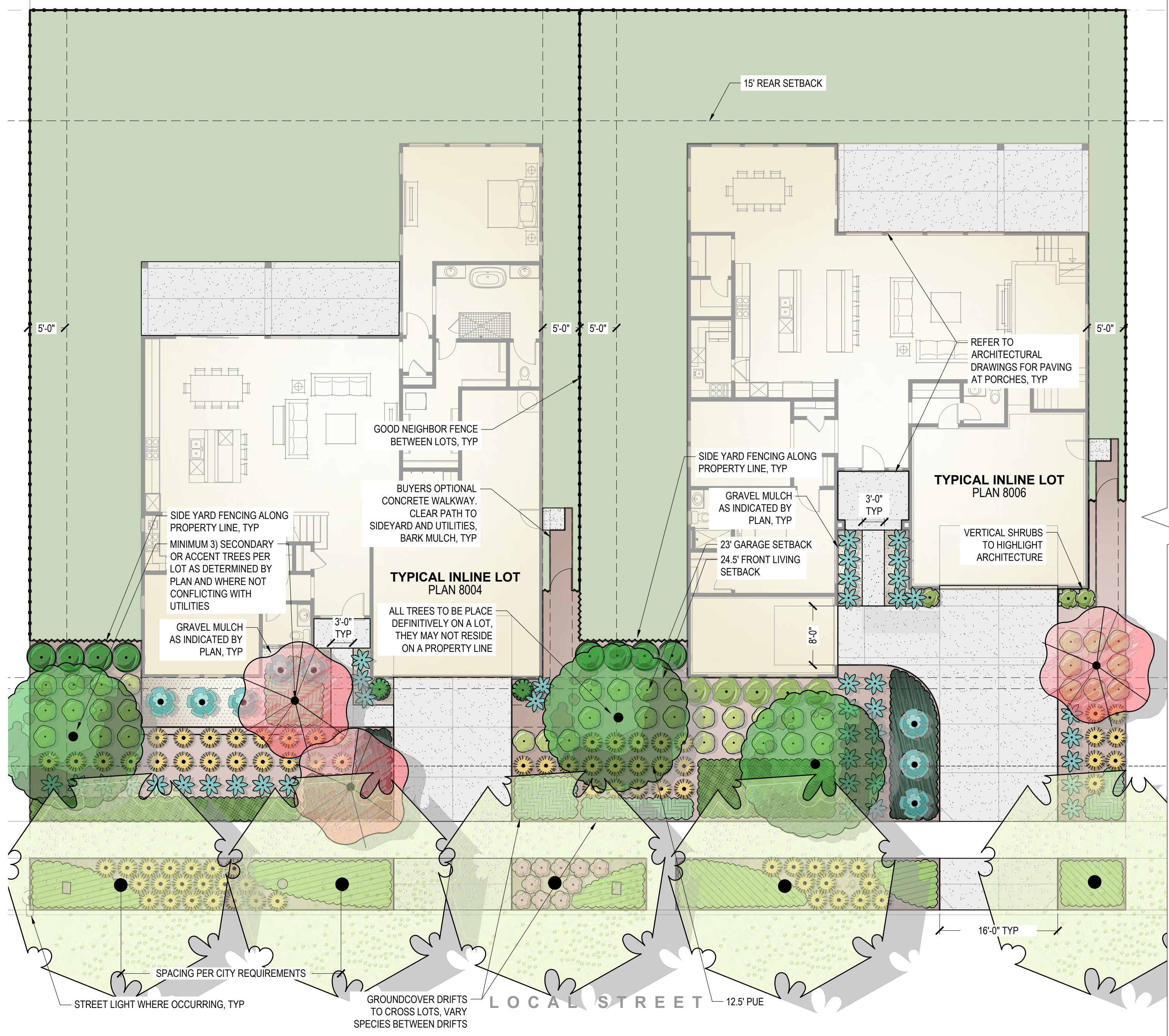
NOTE: LOTS, PLANS, AND ELEVATIONS ARE "TYPICAL" AND NOT REPRESENTATIVE OF ANY SPECIFIC LOT, LOCATION, OR CONFIGURATION. PLANS SHOWN BELOW ARE REPRESENTATIVE OF "PARKWAY STRIP" LOTS WITH A DETACHED SIDEWALK. ATTACHED SIDEWALK LOT CONDITION WILL BE SIMILAR, THOUGH MAY NOT ALLOW ACCENT OR SECONDARY TREE PLANTING DUE TO LESS AREA FOR TREE CANOPIES.

TREE NOTES

1. LOCATION AND CLEARANCES:
 - 1.1. TREES SHALL BE A MINIMUM OF 5' FROM HARDSCAPE
 - 1.2. TREES SHALL BE A MINIMUM OF 4' FROM UNDERGROUND UTILITIES,
 - 1.3. THESE CLEARANCES MAY BE REDUCED IF NOTED OTHERWISE WITHIN THE CITY OF FOLSOM TREE LIST
2. INSTALLATION:
 - 2.1. STREET TREE INSTALLATION SHALL CONFORM TO THE CITY OF FOLSOM STANDARD DETAILS.
 - 2.2. ROOT BARRIERS SHALL BE INSTALLED IF REQUIRED AS NOTED IN THE CITY OF FOLSOM TREE LIST.

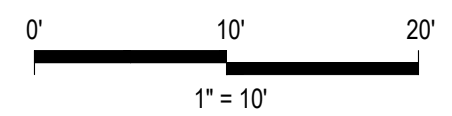


FLOOR PLAN 8004 IS APPLICABLE TO ALL LOTS 41-81



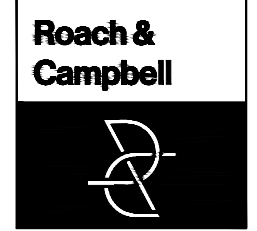
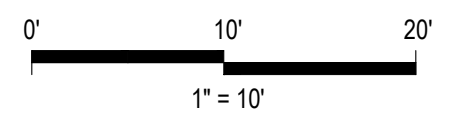
FLOOR PLAN 8004 IS APPLICABLE TO ALL LOTS 41-81

FLOOR PLAN 8006 IS APPLICABLE TO ALL LOTS 41-81



FLOOR PLAN 8003 IS APPLICABLE TO LOTS 41-62, 64, 65, & 67-69,

FLOOR PLAN 8005 IS APPLICABLE TO LOTS 41, 45-49, 53, 54, 66, 71, 72, & 74-78



December 2023
City of Folsom
Design Review Application

Shawood at Broadstone Estates

Preliminary Landscape Plan

L2

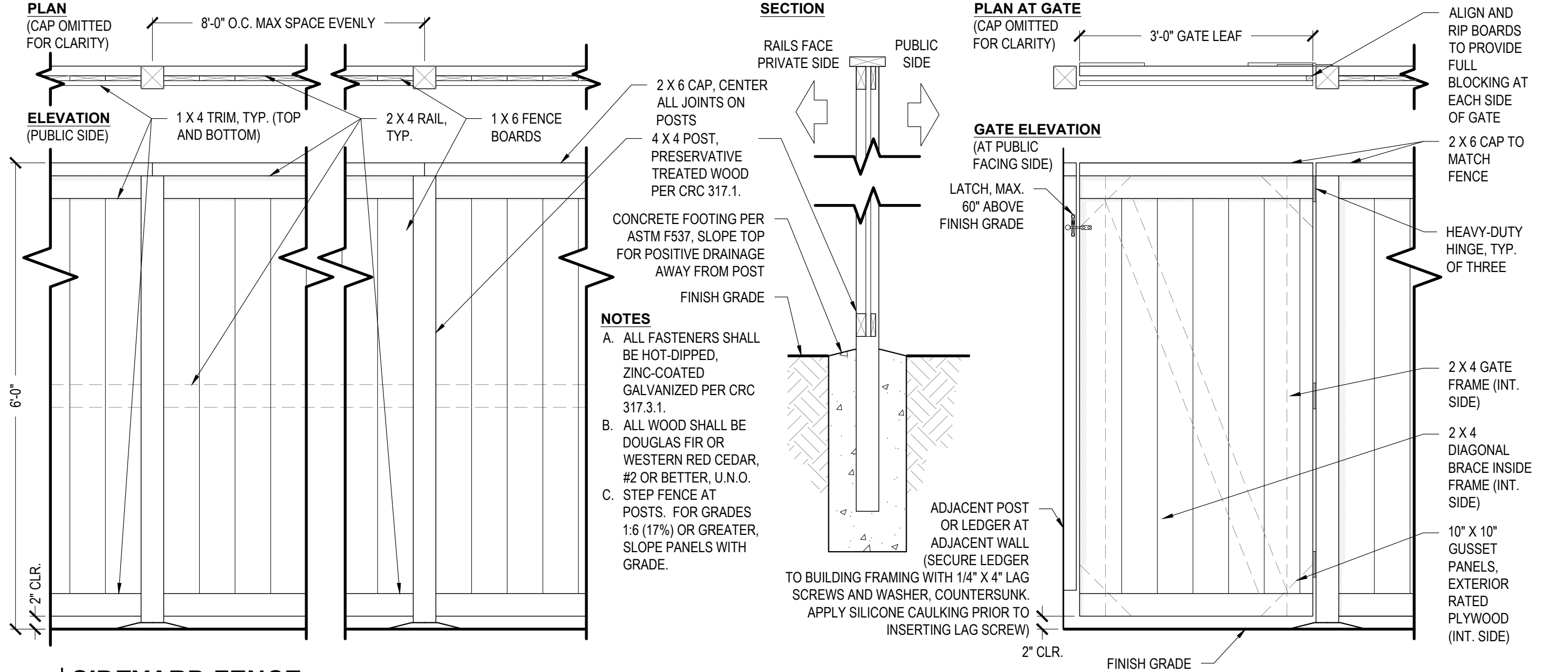
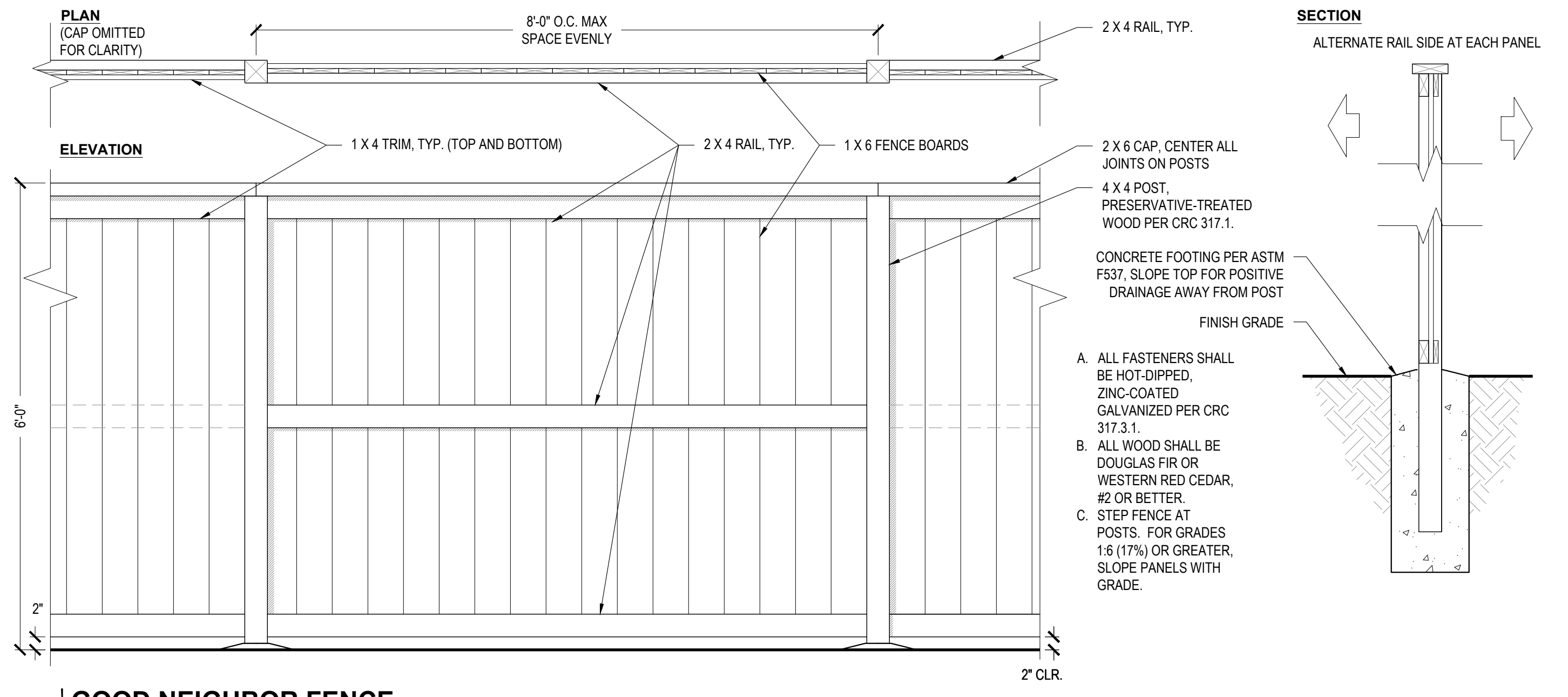
PRELIMINARY PLANT LEGEND

	<p>ACCENT TREES SMALLER SIZE SUITABLE FOR PLANTING ADJACENT HOMES. TREES SELECTED FOR BUTTERFLIES AND BEES. MAY BE DECIDUOUS OR EVERGREEN.</p> <p>ARBUTUS X 'MARINA' / MARINA STRAWBERRY TREE STANDARD (M) (C) 15 GAL. CERCIUS CANADENSIS 'FOREST PANSY' / FOREST PANSY EASTERN REDBUD (P) 15 GAL. CERCIUS CANADENSIS 'OKLAHOMA' / OKLAHOMA REDBUD 15 GAL. CHONANTHUS RETUSUS / CHINESE FRINGE TREE 15 GAL. LAGERSTROEMIA INDICA 'NATCHEZ' / NATCHEZ CRAPE MYRTLE 15 GAL. LAURUS NOBILIS / SWEET BAY STANDARD 15 GAL. PARKINSONIA X 'DESERT MUSEUM' / DESERT MUSEUM PALO VERDE (M) 15 GAL. SYRINGA RETICULATA 'IVORY SILK' / IVORY SILK JAPANESE TREE LILAC (C) 15 GAL.</p>
	<p>STREET TREES STREET TREES PLANTED FOR SHADE AND CANPY GROWTH. PLANT SAME SPECIES THROUGHOUT EACH STREET.</p> <p>QUERCUS TOMENTELLA / ISLAND OAK 15 GAL. TILIA CORDATA 'CORZAM' / CORINTHIAN® LITTLELEAF LINDEN 15 GAL. ULMUS AMERICANA 'PRINCETON' / AMERICAN ELM 15 GAL. ULMUS X 'FRONTIER' / FRONTIER ELM 15 GAL.</p>
	<p>SECONDARY TREES DECIDUOUS AND EVERGREEN SECONDARY TREES TO USE TO PROVIDE SCALE TO ARCHITECTURE AND DIVERSITY TO THE COMMUNITY.</p> <p>ACER TATARICUM GINNALA / AMUR MAPLE (C) 15 GAL. BETULA NIGRA 'BNMTF' / DURA HEAT® RIVER BIRCH 15 GAL. GEUERA PARVIFLORA / AUSTRALIAN WILLOW (M) 15 GAL. GINKGO BILOBA 'PRINCETON SENTRY' / PRINCETON SENTRY MAIDENHAIR TREE 15 GAL. ILEX X ALTACLAARENSIS 'WILSONII' / WILSON ALTACLAARA HOLLY 15 GAL. NYSSA SYLVATICA / TUPELO (P) 15 GAL.</p>
	<p>ATRIUM TREE SMALL TREE OR SHRUB SELECTED FOR VISUAL INTEREST.</p> <p>ACER CIRCINATUM 'PACIFIC FIRE' / PACIFIC FIRE VINE MAPLE 15 GAL. ACER PALMATUM 'KATSURA' / KATSURA JAPANESE MAPLE 15 GAL. ALOE X 'HERCULES' / HERCULES ALOE 15 GAL. STYRAX JAPONICUS 'EVENING LIGHT' / EVENING LIGHT JAPANESE SNOWBELL 15 GAL.</p>
	<p>LARGE SHRUBS LARGE, EVERGREEN SHRUBS USED AS FOUNDATION PLANTING, BACKGROUND PLANTING, AND FOR SCREENING.</p> <p>ARCTOSTAPHYLOS DENSIFLORA 'HOWARD MCMINN' / HOWARD MCMINN MANZANITA 5 GAL. OLEA EUROPAEA 'PETITE OLIVE' / DWARF OLIVE 5 GAL. PIERIS JAPONICA 'KATSURA' / KATSURA JAPANESE PIERIS 5 GAL. PRUNUS LAUROCERASUS 'OTTO LUYKEN' / LUYKENS LAUREL 5 GAL. RHAMNUS CALIFORNICA 'EVE CASE' / CALIFORNIA COFFEEBERRY 5 GAL. RHAPHIOLEPIS X 'MONTIC' / MAGESTIC BEAUTY INDIAN HAWTHORNE 5 GAL.</p>
	<p>VERTICAL SCREEN VERTICAL SCREENING SHRUBS - UPRIGHT HABIT, USED AGAINST LARGE BLANK WALLS, FENCES, ETC.</p> <p>ELAEAGARBUS DECIPIENS 'LITTLE EMPEROR' / DWARF JAPANESE BLUEBERRY TREE 15 GAL. LAURUS X 'SARATOGA' / SARATOGA HYBRID LAUREL (C) 15 GAL. PITTOSPORUM TENUIFOLIUM 'MARJORIE CHANNON' / MARJORIE CHANNON TAWHIWIHI (M) 15 GAL. PRUNUS CAROLINIANA 'BRIGHT 'N TIGHT' TM / BRIGHT 'N TIGHT CAROLINA LAUREL 15 GAL. RHAMNUS CALIFORNICA 'LEATHERLEAF' / LEATHERLEAF COFFEEBERRY (P) 15 GAL.</p>
	<p>MID-GROUND SHRUBS MID-GROUND SHRUBS SELECTED FOR INTEREST AND COLOR. PREDOMINATELY LOW WATER USE.</p> <p>CALLISTEMON VIMINALIS BETTER JOHN / BOTTLEBRUSH 5 GAL. FEUOA SELLOWIANA 'THARFIONA' / BAMBINA™ PINEAPPLE GUAVA 5 GAL. GREVILLEA ROSMARINIFOLIA 'DWARF FORM' / DWARF ROSEMARY GREVILLEA 5 GAL. NANDINA DOMESTICA 'LEMON-LIME' / LEMON-LIME HEAVENLY BAMBOO 5 GAL. PITTOSPORUM TENUIFOLIUM 'GOLF BALL' / GOLF BALL TAWHIWIHI 5 GAL. RHAPHIOLEPIS INDICA 'PINK DANCER' / INDIAN HAWTHORNE 5 GAL. RHAPHIOLEPIS UMBELLATA 'PINKIE' / PINK INDIAN HAWTHORNE 5 GAL. ROSA FLORIBUNDA 'ICEBERG' / ICEBERG ROSE 5 GAL. ROSMARINUS OFFICINALIS 'COLLINGWOOD INGRAM' / ROSEMARY 5 GAL. SPIRAEA X BUMALDA 'ANTHONY WATERER' / ANTHONY WATERER SPIRAEA 5 GAL. TEUCRIUM FRUTICOSA 'AZUREUM' / AZURE BUSH GERMANDER 5 GAL. WESTRINGIA FRUTICOSA 'BLUE GEM' / COAST ROSEMARY 5 GAL.</p>
	<p>ACCENT PLANTS ACCENT PLANTS FOR SPECIAL INTEREST</p> <p>AGAPANTHUS PRAEOX ORIENTALIS 'GETTY WHITE' / GETTY WHITE AFRICAN LILY 1 GAL. AGAPANTHUS X 'BRILLIANT BLUE' / BRILLIANT BLUE AFRICAN LILY 1 GAL. AGAVE FILIFERA / THREAD AGAVE 1 GAL. AGAVE X 'BLUE GLOW' / BLUE GLOW AGAVE 1 GAL. AGAVE X 'GREEN GLOW' / GREEN GLOW AGAVE 1 GAL. ALOE STRIATA / CORAL ALOE 1 GAL. ALOE X 'CYNTHIA GIDDY' / CYNTHIA GIDDY ALOE 1 GAL. DIANELLA REVOLUTA 'LITTLE REV' / LITTLE REV FLAX LILY 1 GAL. ERIGERON KARVINSKIANUS 'PROFUSION' / SANTA BARBARA DAISY 1 GAL. HESPERALOE PARVIFLORA 'PERPA' / BRAKELIGHTS® RED YUCCA 1 GAL. ROSMARINUS OFFICINALIS 'ROMAN BEAUTY' / CHEF'S CHOICE® ROSEMARY 1 GAL.</p>
	<p>ORNAMENTAL GRASSES ORNAMENTAL GRASSES FOR SEASONAL INTEREST AND TEXTURE.</p> <p>CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER' / FEATHER REED GRASS (M) (P) 1 GAL. CHONDROPETALUM TECTORUM 'EL CAMPO' / EL CAMPO CAPE RUSH (M) (C) 1 GAL. DIANELLA X 'DP401' / CLARITY BLUE™ FLAX LILY 1 GAL. FESTUCA MAIREI 'GREENLEE'S FORM' / GREENLEE ATLAS FESCUE (P) (C) 1 GAL. LOMANDRA LONGIFOLIA 'BREEZE' / BREEZE™ MAT RUSH 1 GAL. LOMANDRA LONGIFOLIA 'ROMA 13' / PLATINUM BEAUTY® VARIEGATED MAT RUSH 1 GAL. MUHLENBERGIA DUBIA / PINE MUHLY 1 GAL. PENNISETUM ALOPECUROIDES 'HAMELN' / HAMELN FOUNTAIN GRASS 1 GAL.</p>
	<p>SPECIMEN PLANTS UNIQUE SPECIMENS FOR VISUAL INTEREST</p> <p>AGAVE AMERICANA 'MEDIO-PICTA ALBA' / STRIPED CENTURY PLANT (C) 5 GAL. AGAVE X 'CORNELIUS' / CORNELIUS AGAVE 5 GAL. DASYLIRIUM LONGISSIMUM / TOOTHLESS DESERT SPOON (M) (P) 5 GAL. HESPERALOE PARVIFLORA / RED YUCCA (M) (C) 5 GAL. HESPERALOE PARVIFLORA 'DESERT FLAMENCO' / DESERT FLAMENCO RED YUCCA 5 GAL. LEUCADENDRON SALIGNUM 'WINTER RED' / WINTER RED CONEBUSH (P) 5 GAL. LEUCADENDRON X 'EBONY' / EBONY CONEBUSH 5 GAL. PHORMIUM X 'DUET' / DUET NEW ZEALAND FLAX 5 GAL. PHORMIUM X 'RAINBOW QUEEN' / RAINBOW QUEEN NEW ZEALAND FLAX 5 GAL. YUCCA GLORIOSA RECURVIFOLIA 'WALBRISTAR' / BRIGHT STAR SOFT LEAF YUCCA (C) 5 GAL. YUCCA GLORIOSA TRISTIS 'COLOR GUARD' / COLOR GUARD SOFT LEAF YUCCA (M) 5 GAL. YUCCA ROSTRATA / BEAKED YUCCA (P) 5 GAL.</p>
	<p>VERTICAL ACCENT TALL VERTICAL SHRUBS USED TO ACCENTUATE ARCHITECTURAL FEATURES.</p> <p>CUPRESSUS SEMPERVIRENS 'TINY TOWER' TM / TINY TOWER ITALIAN CYPRESS 5 GAL. ILEX CRENATA 'SKY PENCIL' / SKY PENCIL JAPANESE HOLLY 5 GAL. JUNIPERUS SCOPULORUM 'BLUE ARROW' / BLUE ARROW JUNIPER 5 GAL.</p>
	<p>VERTICAL SHRUBS VERTICAL SHRUBS FOR SMALL SPACES, TYPICALLY EVERGREEN.</p> <p>BUXUS MICROPHYLLA JAPONICA 'WINTER GEM' / WINTER GEM JAPANESE BOXWOOD 5 GAL. DIETES VEGETA / AFRICAN IRIS 5 GAL. DIETES VEGETA 'VARIEGATA' / VARIEGATED AFRICAN IRIS 5 GAL. ROSMARINUS OFFICINALIS 'BARBEQUE' / BARBEQUE ROSEMARY 5 GAL.</p>
	<p>COMPACT SHRUBS FLOWERING OR EVERGREEN PLANTS SUITED TO SMALL SPACES 24" WIDE OR LESS</p> <p>ILEX CRENATA 'SKY PENCIL' / SKY PENCIL JAPANESE HOLLY 1 GAL. LIRIOPE MUSCARI 'BIG BLUE' / BIG BLUE LILYTURF 1 GAL. LIRIOPE MUSCARI 'SILVERLY SUNPROOF' / SILVERLY SUNPROOF LILYTURF 1 GAL.</p>
	<p>PARKWAY STRIP ACCENT PLANTS ACCENT PLANT TO PLANT IN MASS IN PARKWAY STRIPS.</p> <p>ANIGOZANTHOS X 'BIG RED' / BIG RED KANGAROO PAW 5 GAL. CALLISTEMON VIMINALIS 'LJ23' / LIGHT SHOW WEEPING BOTTLEBRUSH 5 GAL. DIANELLA REVOLUTA 'LITTLE REV' / LITTLE REV FLAX LILY 5 GAL. DIETES VEGETA / AFRICAN IRIS 5 GAL. DIETES VEGETA 'VARIEGATA' / VARIEGATED AFRICAN IRIS 5 GAL. WESTRINGIA FRUTICOSA 'WES04' / GREY BOX™ COAST ROSEMARY 5 GAL.</p>
	<p>EVERGREEN GROUNDCOVER SPREADING PLANTS, USED AS A GREEN BACKDROP TO THE NEXT LEVEL OF PLANTING.</p> <p>ARCTOSTAPHYLOS X 'EMERALD CARPET' / EMERALD CARPET MANZANITA 1 GAL. 36" oc COPROSMA PUMILA 'VERDE VISTA' / CREEPING COPROSMA 1 GAL. 36" oc COTONEASTER DAMMERI 'LOWFAST' / LOWFAST BEARBERRY COTONEASTER 1 GAL. 36" oc ROSMARINUS OFF. 'HUNTINGTON CARPET' / PROSTRATE ROSEMARY 1 GAL. 36" oc</p>
	<p>BLOOMING GROUNDCOVER SMALLER-SCALE FLOWERING GROUNDCOVERS, USED TO ADD INTEREST AND COLOR AT ENTRY WALKS</p> <p>GREVILLEA LANIGERA 'MT. TAMBORITHA' / MT. TAMBORITHA WOOLLY GREVILLEA 1 GAL. 42" oc ROSA X 'MEIZORLAND' / WHITE DRIFT® GROUNDCOVER ROSE 1 GAL. 30" oc TEUCRIUM AROANIUM / CREEPING GERMANDER 1 GAL. 30" oc TRACHELOSPERMIUM JASMINOIDES / STAR JASMINE 1 GAL. 36" oc VERBENA C. 'HOMESTEAD PURPLE' / HOMESTEAD PURPLE VERBENA 1 GAL. 30" oc</p>
	<p>PARKWAY GROUNDCOVER COMMUNITY PARKWAY STRIP GROUNDCOVER. CONSISTENT, EVERGREEN MAT OF DENSE FOLIAGE</p> <p>HYPERICUM CALYCIUM / CREEPING ST. JOHN'S WORT 1 GAL. 36" oc MYOPORUM X 'PUTAH CREEK' / PUTAH CREEK MYOPORUM 1 GAL. 36" oc ROSMARINUS OFFICINALIS 'HUNTINGTON CARPET' / HUNTINGTON CARPET ROSEMARY 1 GAL. 36" oc TRACHELOSPERMIUM ASIATICUM / ASIATIC JASMINE 1 GAL. 36" oc WESTRINGIA FRUTICOSA MUNDI TM / COAST ROSEMARY 1 GAL. 36" oc</p>
	<p>CORNER GROUNDCOVER LOW FLOWERING GROUNDCOVERS, USED TO ADD INTEREST AND COLOR AT CORNERS</p> <p>ROSA X 'FLOWER CARPET CORAL' / ROSE 2 GAL. 32" oc ROSA X 'MEIZORLAND' / WHITE DRIFT® GROUNDCOVER ROSE 2 GAL. 32" oc</p>
	<p>LOW GROUNDCOVER SPREADING PLANTS. LOW MATTING GROUNDCOVER TO USE UNDER AND AROUND SHRUBS, TYPICALLY EVERGREEN.</p> <p>ARCTOSTAPHYLOS X 'EMERALD CARPET' / EMERALD CARPET MANZANITA 1 GAL. 36" oc COPROSMA PUMILA 'VERDE VISTA' / CREEPING COPROSMA 1 GAL. 36" oc MYOPORUM PARVIFOLIUM / TRAILING MYOPORUM 1 GAL. 36" oc</p>

NO PLANT GROUPINGS OF 4 OR 6 WILL BE ALLOWED. TREE SELECTIONS WILL INCLUDE TWO FOR THE BIRDS AND ONE FOR THE BUTTERFLIES.

PLANT WATER USE (WUCOLS) DESIGNATIONS TYPICALLY FALL WITHIN THE LOW TO MODERATE RANGE AND PLANTING WILL ADHERE TO THE CALIFORNIA MODEL WATER EFFICIENT LANDSCAPE ORDINANCE. TREE DIVERSITY AND PLANTING SIZE REQUIREMENTS WILL ADHERE TO THE CITY OF FOLSOM STANDARDS.

SOME PLANTS HAVE BEEN DESIGNATED FOR CERTAIN ELEVATIONS ONLY.
 (M) MODERN
 (P) CALIFORNIA PRAIRIE
 (C) CALIFORNIA WINE COUNTRY AND CRAFTSMAN



REPRESENTATIVE PLANT SELECTIONS

PLANT SELECTION NOTE
 NOT ALL PLANTS PROPOSED ARE SHOWN, AND CONVERSELY, ADDITIONAL PLANTS SIMILAR TO THOSE SHOWN MAY BE USED. PLANT SELECTIONS MAY VARY DEPENDING ON AVAILABILITY AND INTRODUCTION OF NEW, SIMILAR VARIETIES WITHIN THE NURSERY TRADE. FINAL PLANTING SELECTION AND INTENT SHALL CONFORM TO THE CITY OF FOLSOM DESIGN GUIDELINES AND ARCHETYPES DEFINED WITHIN THE RUSSELL RANCH DESIGN GUIDELINES.

Street Trees



Quercus tomentella
 Ulmus x 'Frontier'

Accent and Secondary Trees



Cercis canadensis 'Forest Pansy'
 Syringa reticulata 'Ivory Silk'
 Betula nigra 'Dura Heat'

Large Shrubs



Arctostaphylos densiflora 'Howard McMinn'
 Pieris japonica 'Katsura'
 Olea europaea 'Petite Olive'
 Rhamnus californica 'Leatherleaf'

Mid-Ground shrubs



Callistemon viminalis 'Better John'
 Feijoa sellowiana 'Tharfiona'
 Grevillea rosmarinifolia 'Dwarf Form'
 Nandina domestica 'Lemon Lime'
 Rosmarinus officinalis 'Collingwood Ingram'
 Teucrium fruticans
 Westringia fruticosa 'Blue Gem'

Parkway Strip Accent Plants



Acacia redolens 'Low Boy'
 Diets vegata 'Variegata'
 Westringia fruticosa 'Grey Box'

Vertical Screening Shrubs



Elaeocarpus decipiens 'Little Emperor'
 Pittosporum tenuifolium 'Marjorie Channon'
 Rhamnus californica 'Leatherleaf'

Specimen Shrubs



Agave americana 'Medio-picta'
 Dasylyrion longissimum
 Hesperaloe parvifolia 'Desert Flamenco'
 Leucadendron salignum 'Winter Red'
 Phormium x 'Rainbow Queen'
 Yucca gloriosa 'Color Guard'
 Yucca gloriosa 'Bright Star'

Accent Plants



Agave 'Blue Glow'
 Dionella 'Little Rev'
 Aloe 'Cynthia Giddy'
 Hesperaloe parvifolia 'Perpa'

Ornamental Grasses



Calamagrostis acutifolia 'Karl Foerster'
 Festuca mairei
 Lomandra longifolia 'Breeze'
 Pennisetum sp.

Vertical Accent

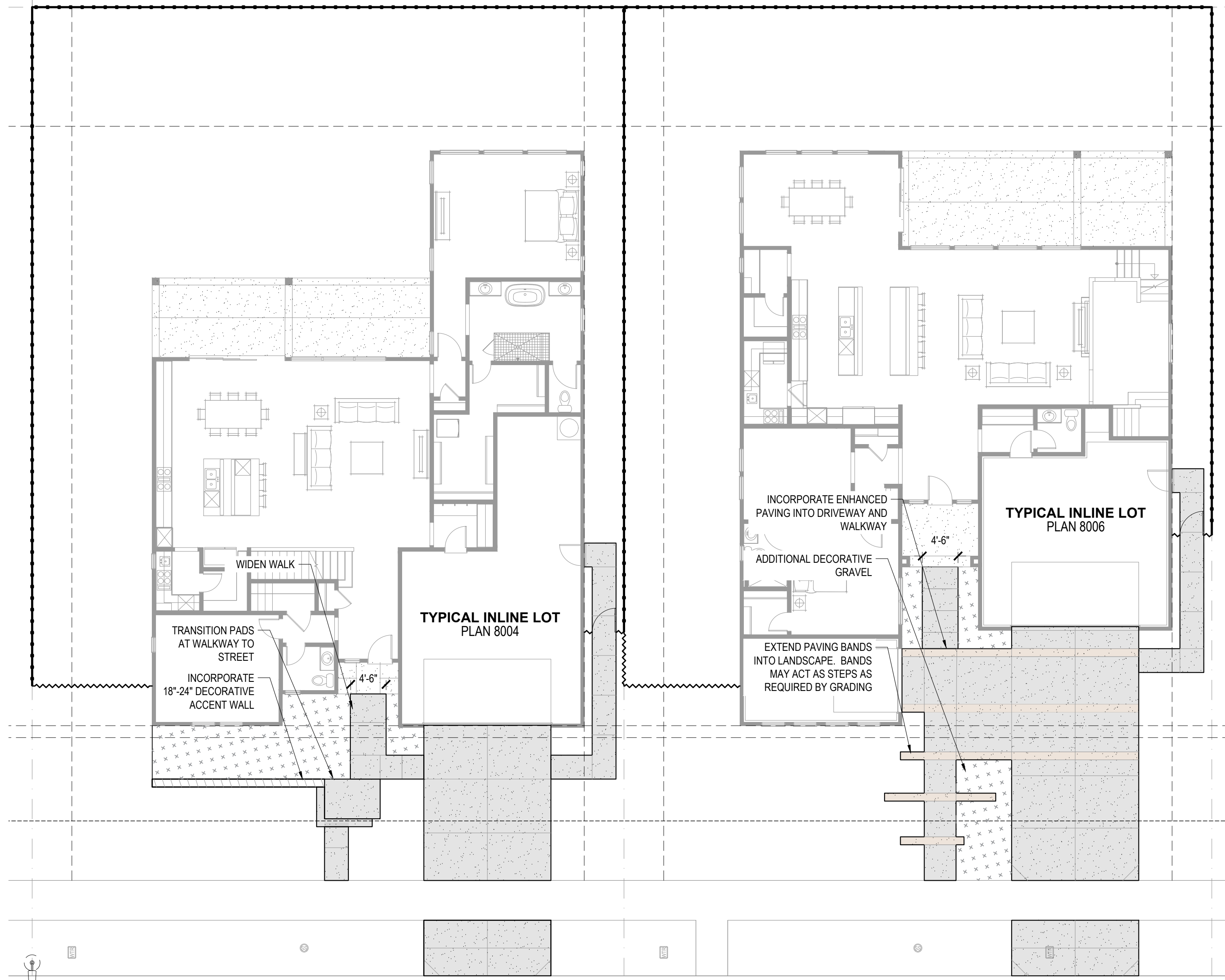


Cupressus sempervirens 'Tiny Tower'

Groundcovers



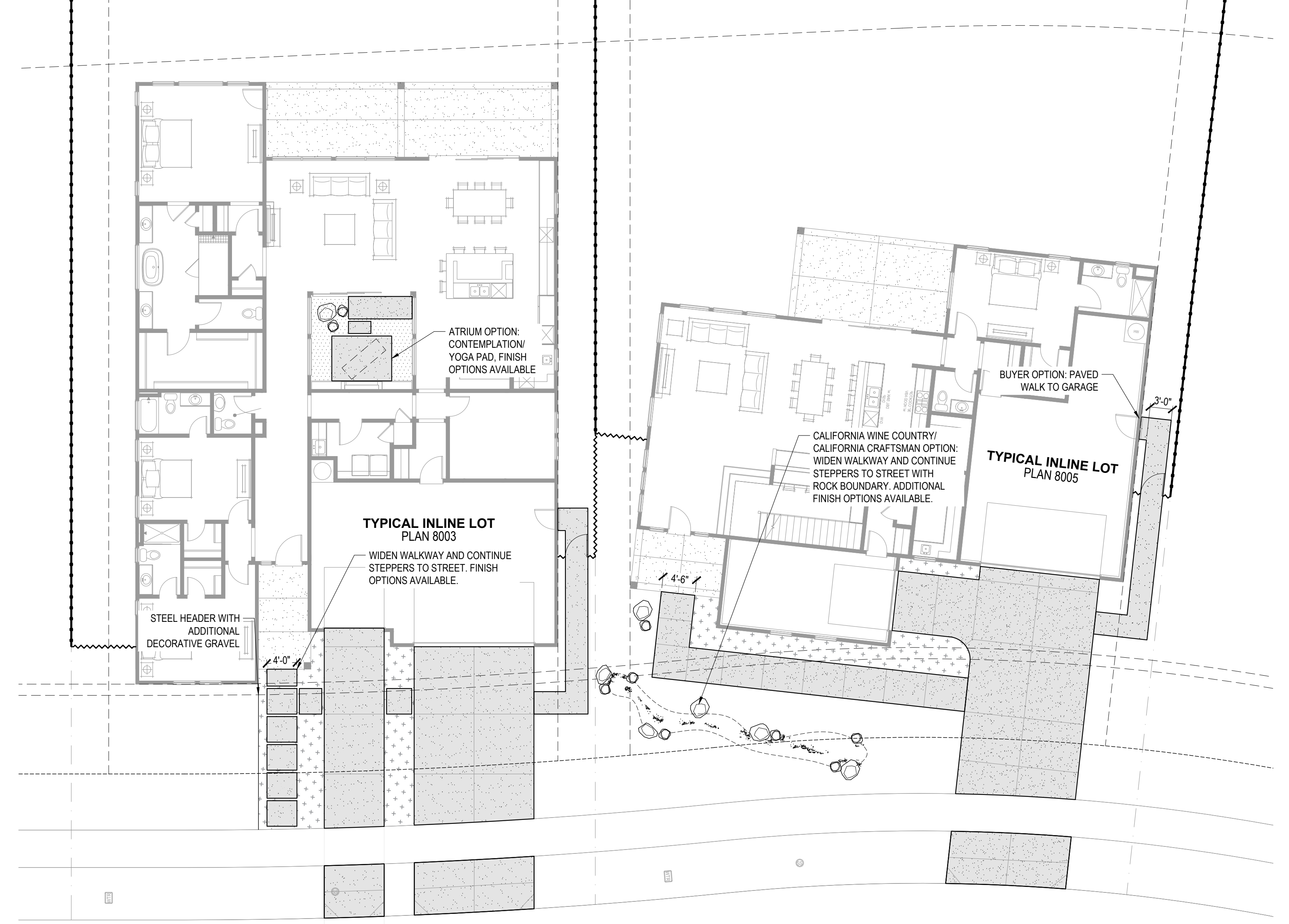
Rosa 'Flower Carpet Coral'
 Rosmarinus officinalis 'Huntington Carpet'
 Trachelospermum asiaticum
 Trachelospermum jasminoides
 Arctostaphylos 'Emerald Carpet'
 Grevillea lanigera 'Mt. Tamboritha'



LOCAL STREET

- CALIFORNIA PRAIRIE WALK OPTIONS (APPLY TO ALL FLOOR PLANS)**
- EXPAND WALK WIDTH AND BRING TO STREET
 - ADD DECORATIVE SEATWALL WITH STONE OR WOOD TILE VENEER
 - INCORPORATE TRANSITION LANDING PADS TO WALK

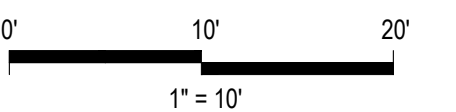
- MODERN WALK OPTIONS. (APPLY TO ALL FLOOR PLANS)**
- EXPAND WALK WIDTH AND BRING TO STREET
 - INCORPORATE DECORATIVE PAVING BANDS IN WALK AND DRIVEWAY
 - ADD ADDITIONAL DECORATIVE ROCK



LOCAL STREET

- CALIFORNIA WINE COUNTRY AND CALIFORNIA CRAFTSMAN WALK OPTIONS. (APPLY TO ALL FLOOR PLANS)**
- PLAN 8003 ATRIUM OPTION.**
- EXPAND WALK WIDTH AND BRING TO STREET
 - CONVERT WALK TO STEPPERS
 - ADD ADDITIONAL STEEL HEADER AND DECORATIVE ROCK
 - ADD ADDITIONAL HARDSCAPE TO ATRIUM

- LANDSCAPE ENHANCEMENT OPTIONS:**
- OPTION 1: EXPAND WALKWAY STANDARD WALKWAY WIDTH.
 - OPTION 2: INCORPORATE LARGE BOULDER GROUPINGS
 - OPTION 3: INCORPORATE COBBLED DRY CREEK BED
 - OPTION 4: CONCRETE WALKWAY FROM DRIVEWAY TO SIDEYARD PERSON DOOR AT GARAGE.
 - OPTION 5: UPSIZE PLANTS;
 - 1-GAL TO 5-GAL
 - 5-GAL TO 15-GAL
 - 15-GAL TREES TO 24" BOX
 - 24" BOX TREES TO 36" BOX



CONCRETE OPTIONS



STANDARD BROOM FINISH

OPTION: TOPCAST FINISH

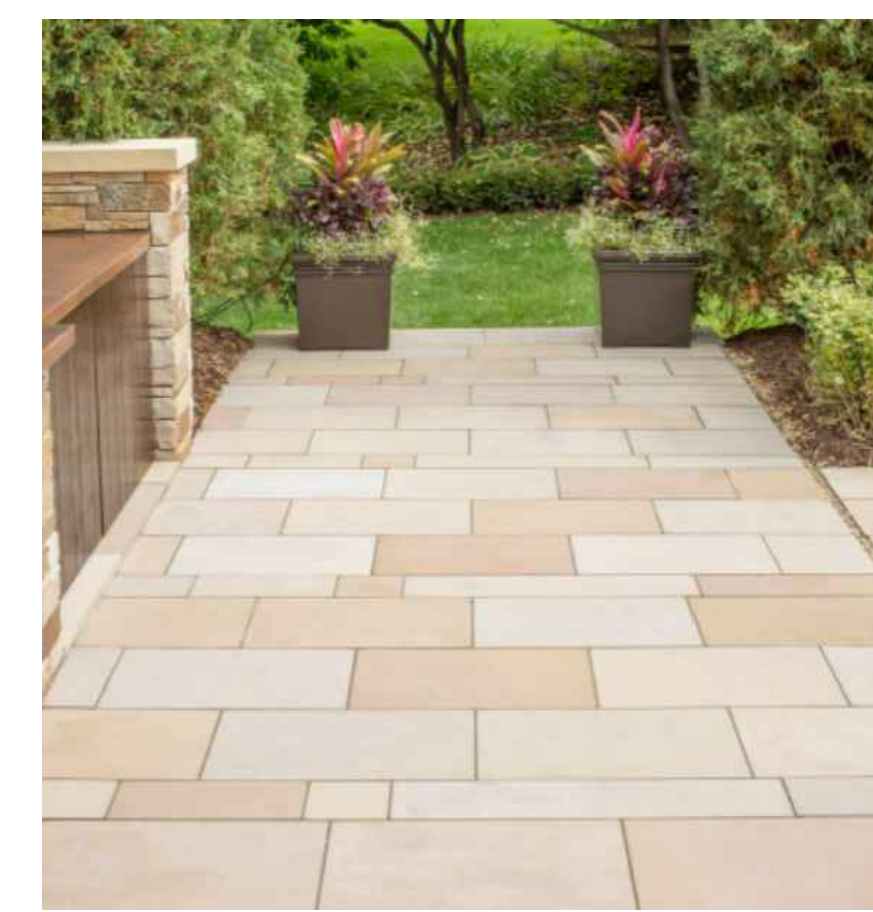
PAVER OPTIONS



NATURAL STONE PAVERS (FERRIS LIMESTONE BY ORIJN)



FULL COLOR LIMESTONE



WARM TONE LIMESTONE



WOOD LOOK TILE (MOKUZAI II BY EMSER TILE)

DECORATIVE STONE



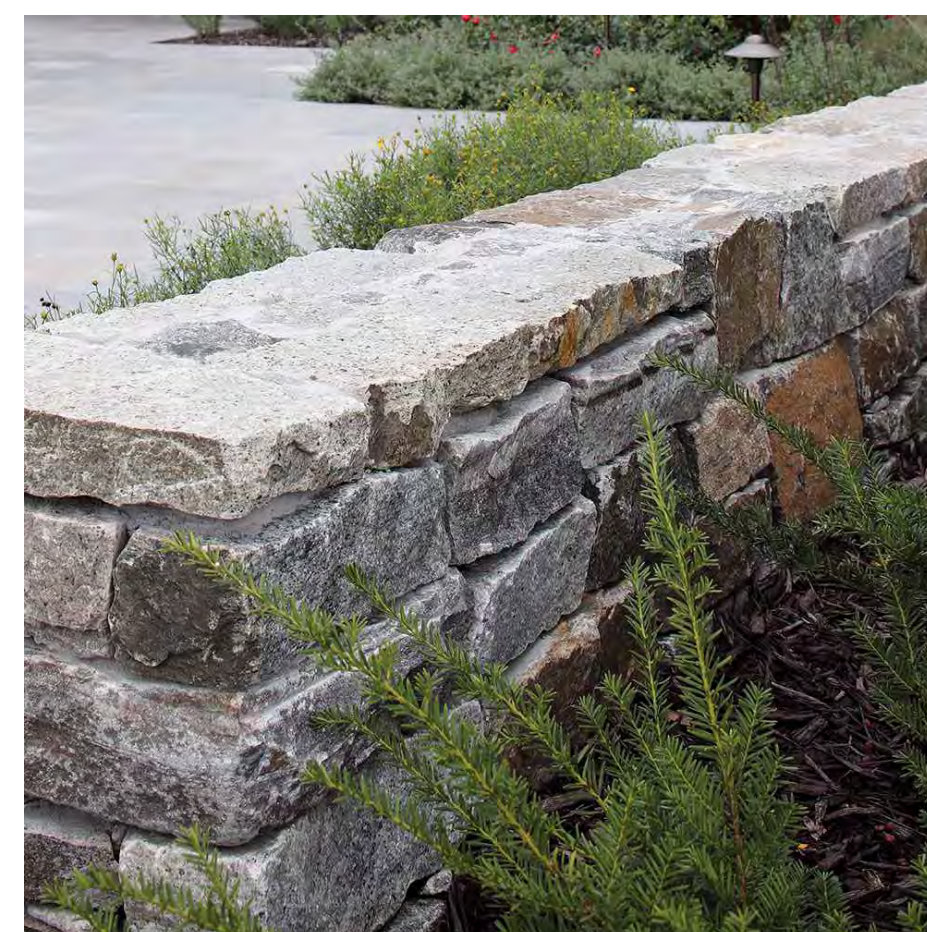
3/4" LIMESTONE



3/4" SONOMA GOLD CRUSHED ROCK



DECORATIVE WALL



STONE VENEER



CAST IN PLACE CONCRETE



STUCCO WITH CAP

Attachment 8

Building Elevations and Floor Plans Dated February 2, 2024



RIGHT



REAR



LEFT



FRONT

SHAWOOD®

Folsom, California

Enhancements Provided (Min. 3 Required)

- Colored window frames.
- Overgrouted stone or brick as entire massing element.
- Combination of Stone and Bellburn massing.
- Use of control joints as an aesthetic element.

THE CALIFORNIA WINE COUNTRY
PLAN 8003 - ELEVATIONS

SHAWOOD AT BROADSTONE ESTATES

Folsom, California



0' 2' 4' 8'
SCALE : 3/16" = 1'-0"

RIGHT



0' 2' 4' 8'
SCALE : 3/16" = 1'-0"

REAR



0' 2' 4' 8'
SCALE : 3/16" = 1'-0"

LEFT



0' 2' 4' 8'
SCALE : 3/16" = 1'-0"

FRONT

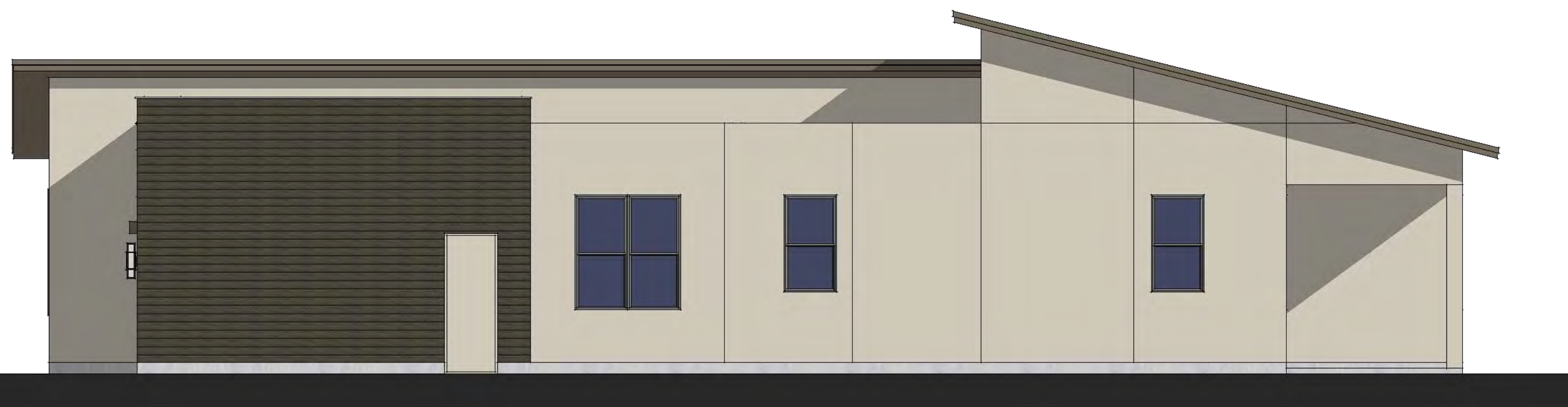
SHAWOOD[®]
Folsom, California

- Enhancements Provided (Min. 3 Required)
- Accent colored window frames.
 - Style-specific unique lighting fixtures.
 - 12"-18" overhangs.
 - Cement plank lap siding (Bellburn i.l.o. horizontal emphasized lap siding).
 - Massive stone piers.

THE CALIFORNIA PRAIRIE
PLAN 8003 - ELEVATIONS

SHAWOOD AT BROADSTONE ESTATES
Folsom, California





0' 2' 4' 8'
SCALE : 3/16" = 1'-0"

RIGHT



0' 2' 4' 8'
SCALE : 3/16" = 1'-0"

REAR



0' 2' 4' 8'
SCALE : 3/16" = 1'-0"

LEFT



0' 2' 4' 8'
SCALE : 3/16" = 1'-0"

FRONT

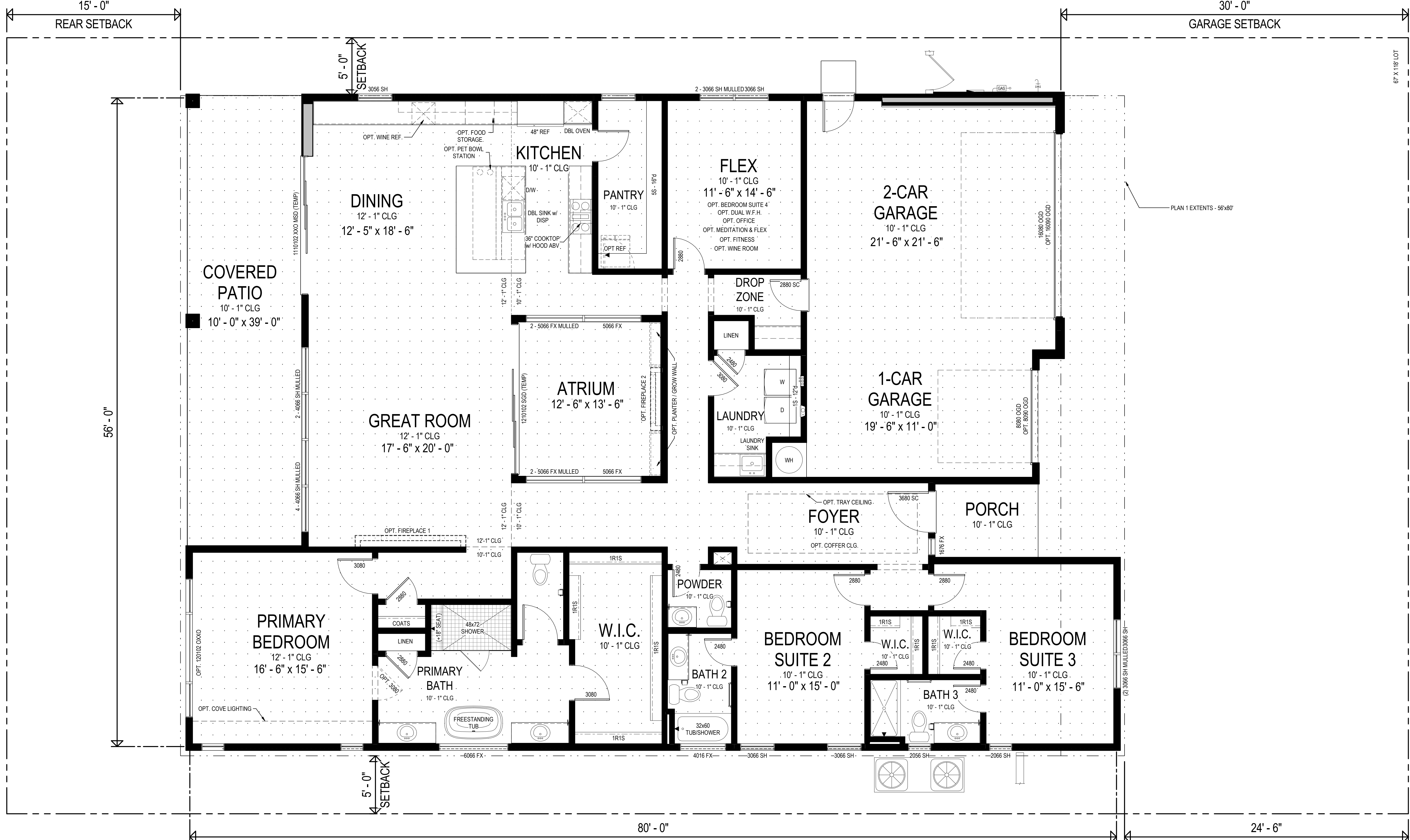
SHAWOOD[®]
Folsom, California

- Enhancements Provided (Min. 3 Required)
- Accent colored window frames.
 - Flat Extended window awnings.
 - Mix of shed roof forms and flat roof accents.
 - Combination of Bellburn and Nichiha accent massing.
 - Combination of 2 to 3 grouped windows.
 - Use of control joints as an aesthetic element.

THE CALIFORNIA MODERN
PLAN 8003 - ELEVATIONS

SHAWOOD AT BROADSTONE ESTATES
Folsom, California





ELEVATION A	
MAIN FLOOR LIVABLE	2966 SF
LIVABLE	2966 SF
3-CAR GARAGE	720 SF
COVERED PATIO	390 SF
PORCH	59 SF
ATRIUM	172 SF
NON-LIVABLE	1341 SF
ELEVATION A	4307 SF

LOT COVERAGE CALCULATIONS			
LOT SIZE: 8,925 SQUARE FEET	PROPOSED	ALLOWABLE	3-SIDED PATIO ALLOWABLE
LOT COVERAGE	4,333 SQUARE FEET (48.5%)	4,463 SQUARE FEET (50.0%)	5,355 SQUARE FEET (60.0%)
LAND AREA COVERED BY ALL STRUCTURES THAT ARE OVER 6 FEET IN HEIGHT			

**Elevation A - The California Wine Country
Main Floor Plan**

SCALE: 1/4" = 1'-0"



Plan 8003

SHAWOOD AT BROADSTONE ESTATES

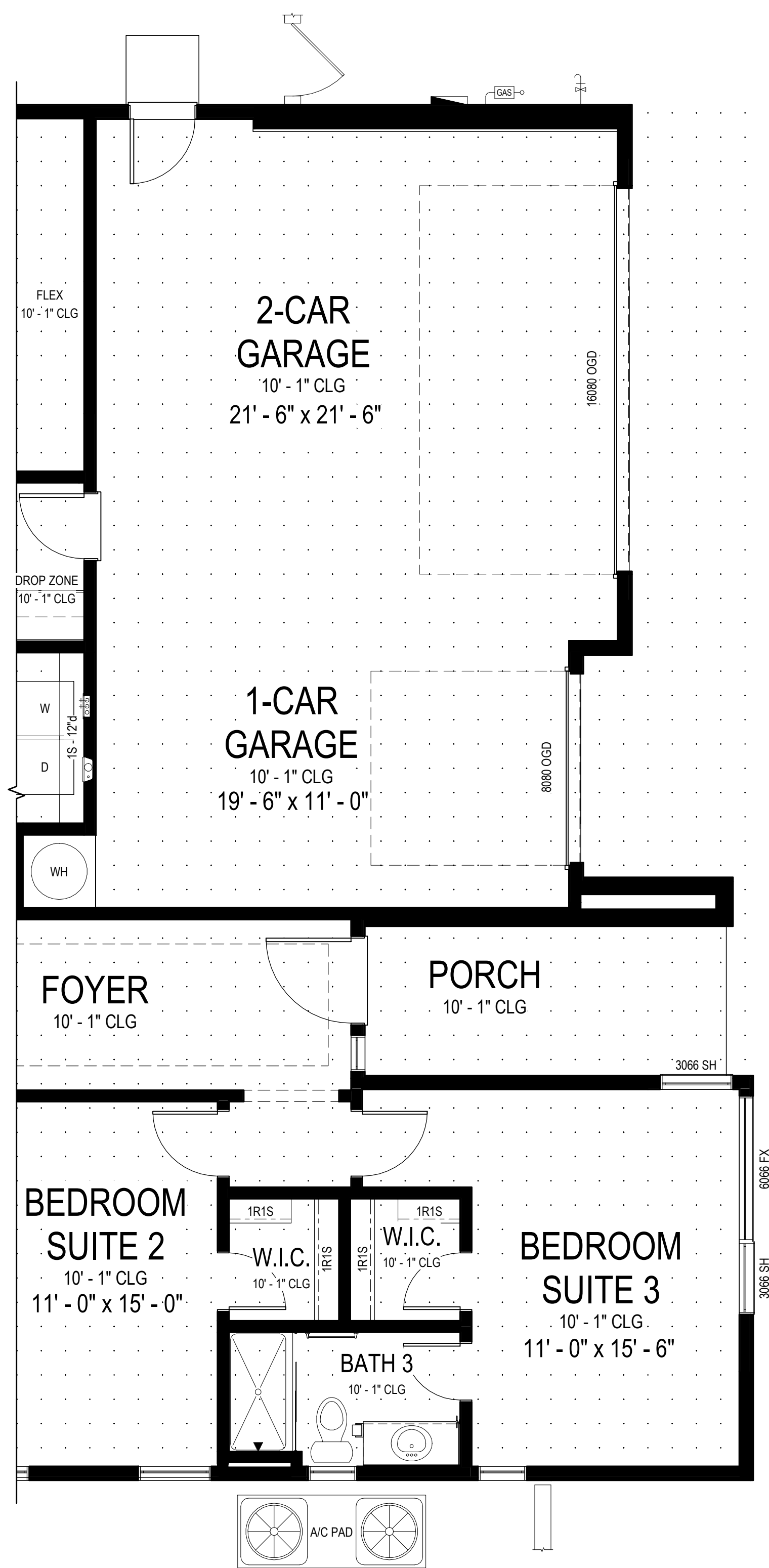
Folsom, California



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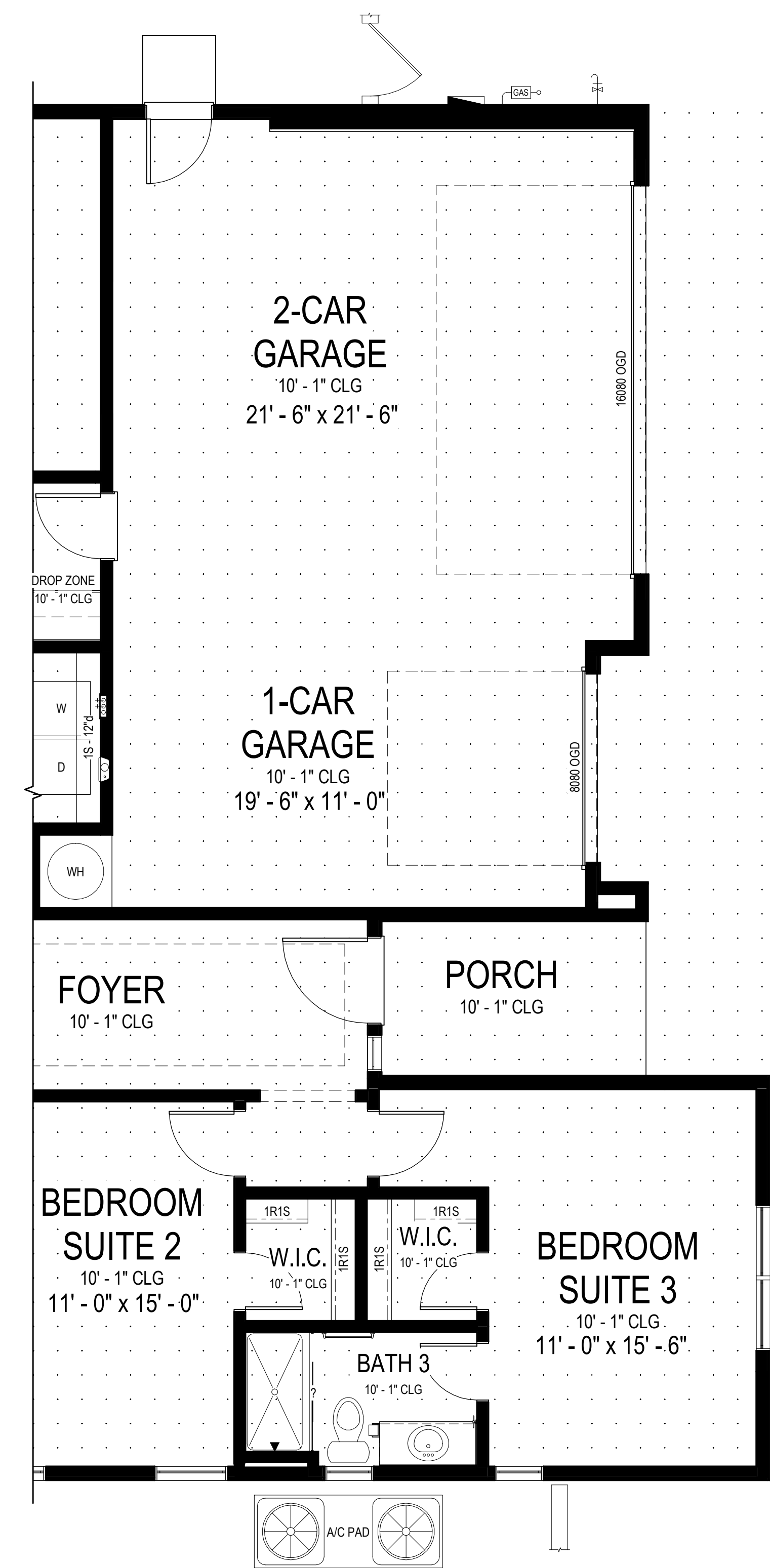
February 2, 2024 | SF230312.00

A1.4



**Elevation C - The California Prairie
Partial Main Floor Plan**

SCALE: 1/4" = 1'-0"



**Elevation D - Modern
Partial Main Floor Plan**

SCALE: 1/4" = 1'-0"

Plan 8003

SHAWOOD AT BROADSTONE ESTATES

Folsom, California

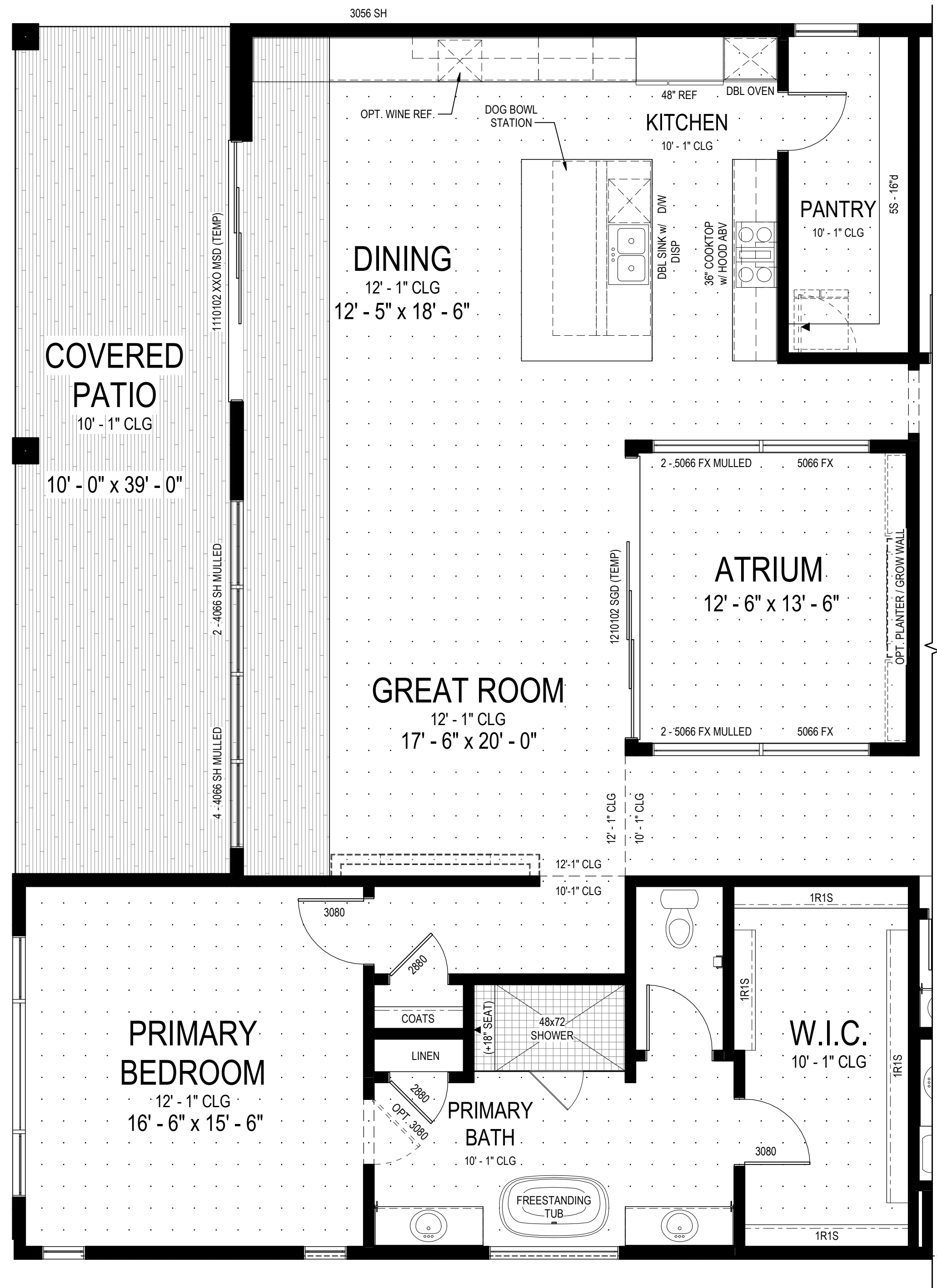
February 2, 2024 | SF230312.00

A1.5



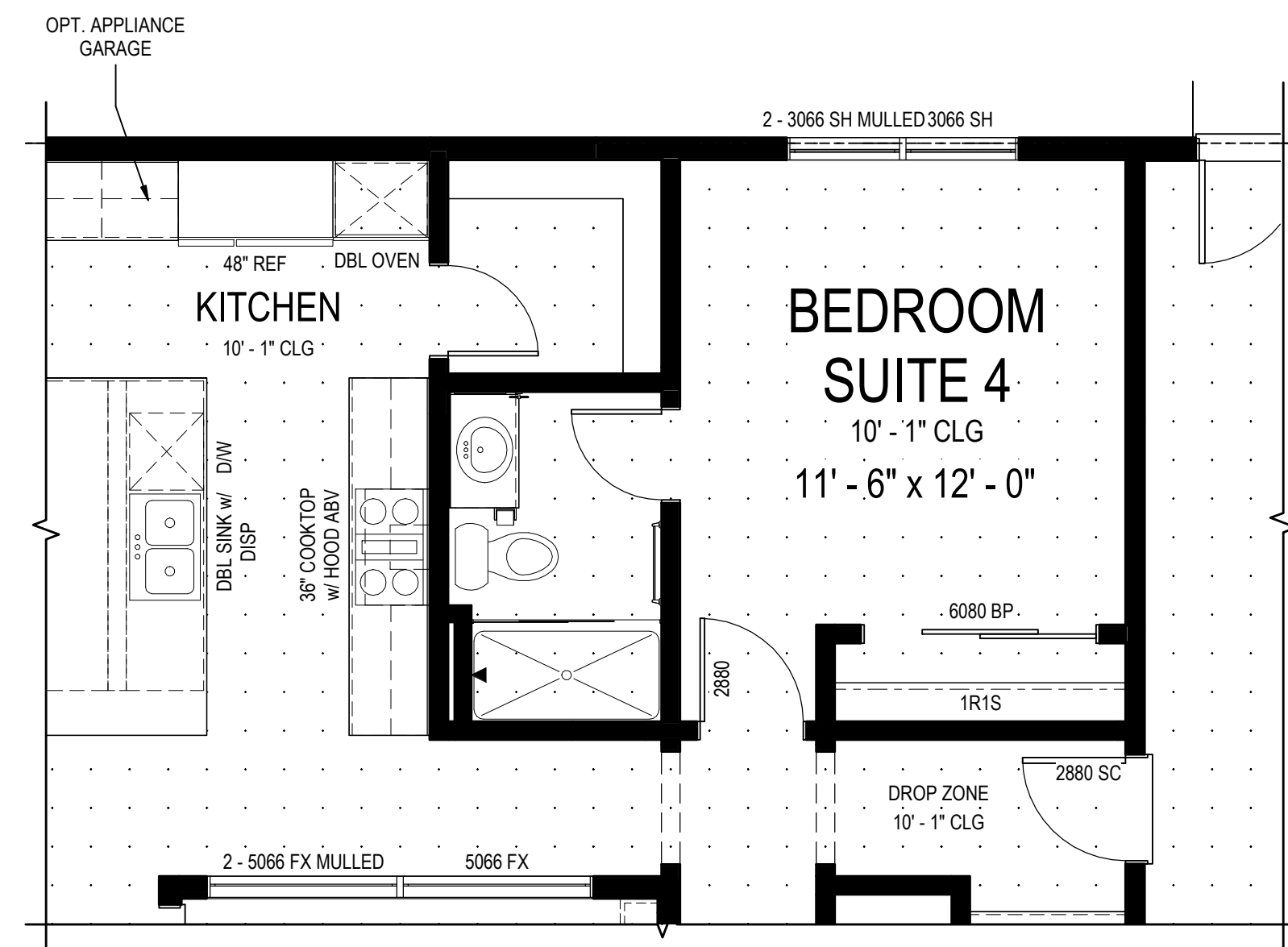
SHAWOOD[®]

Folsom, California



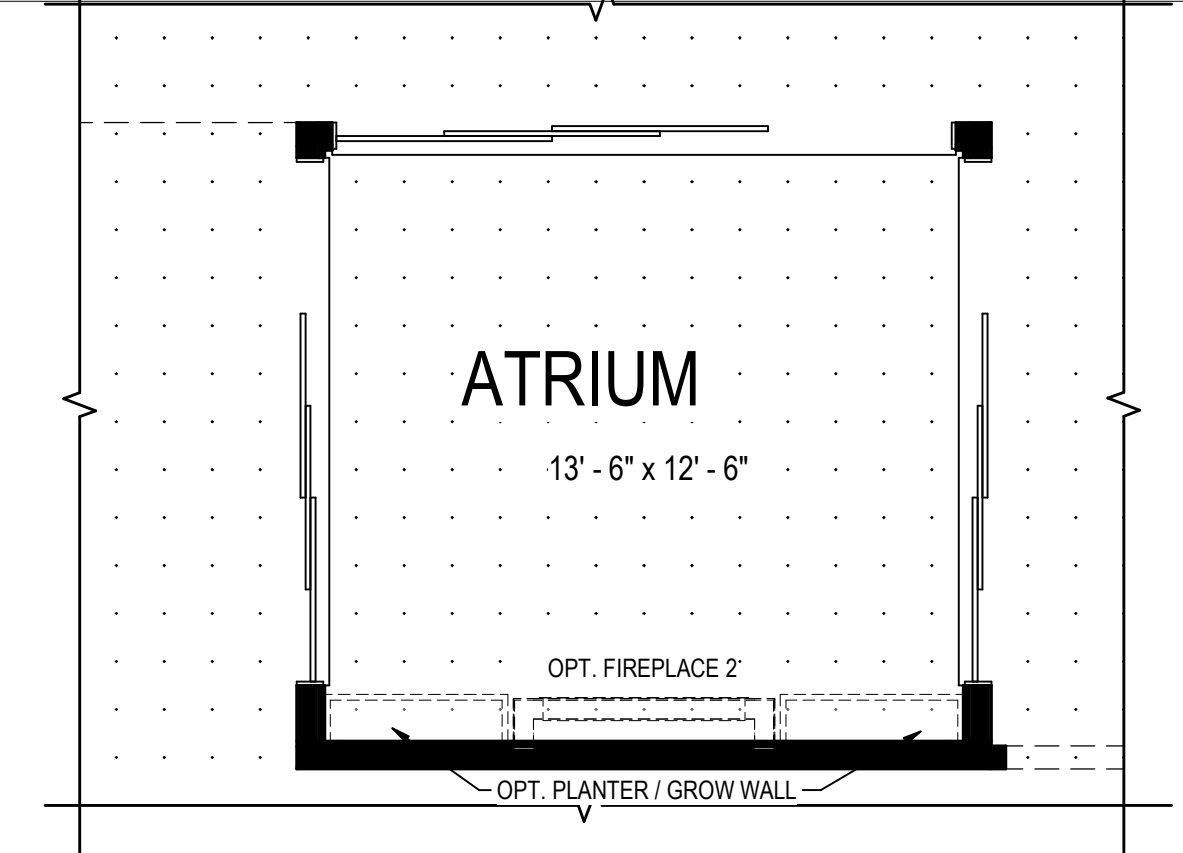
**Opt. Clearview Ceiling
Main Floor Plan**

SCALE: 1/4" = 1'-0"



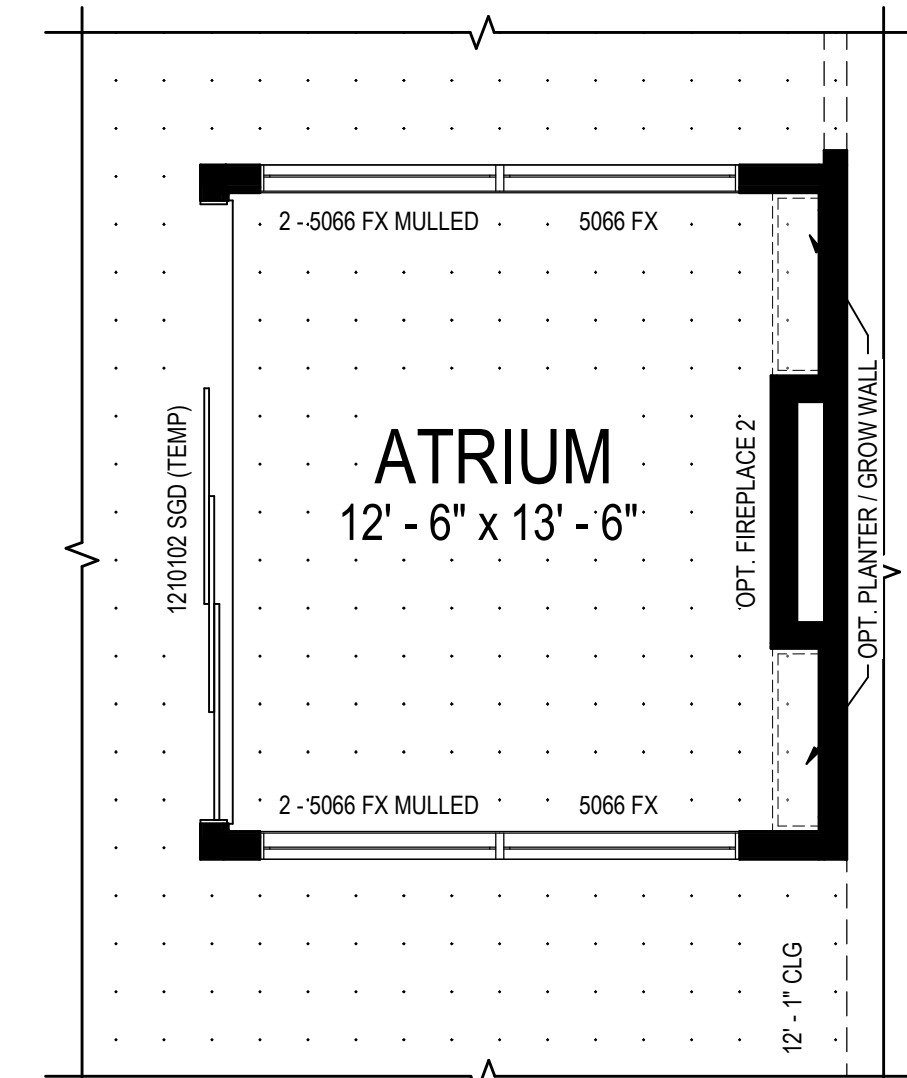
**Opt. Bedroom Suite 4
Partial Main Floor Plan**

SCALE: 1/4" = 1'-0"



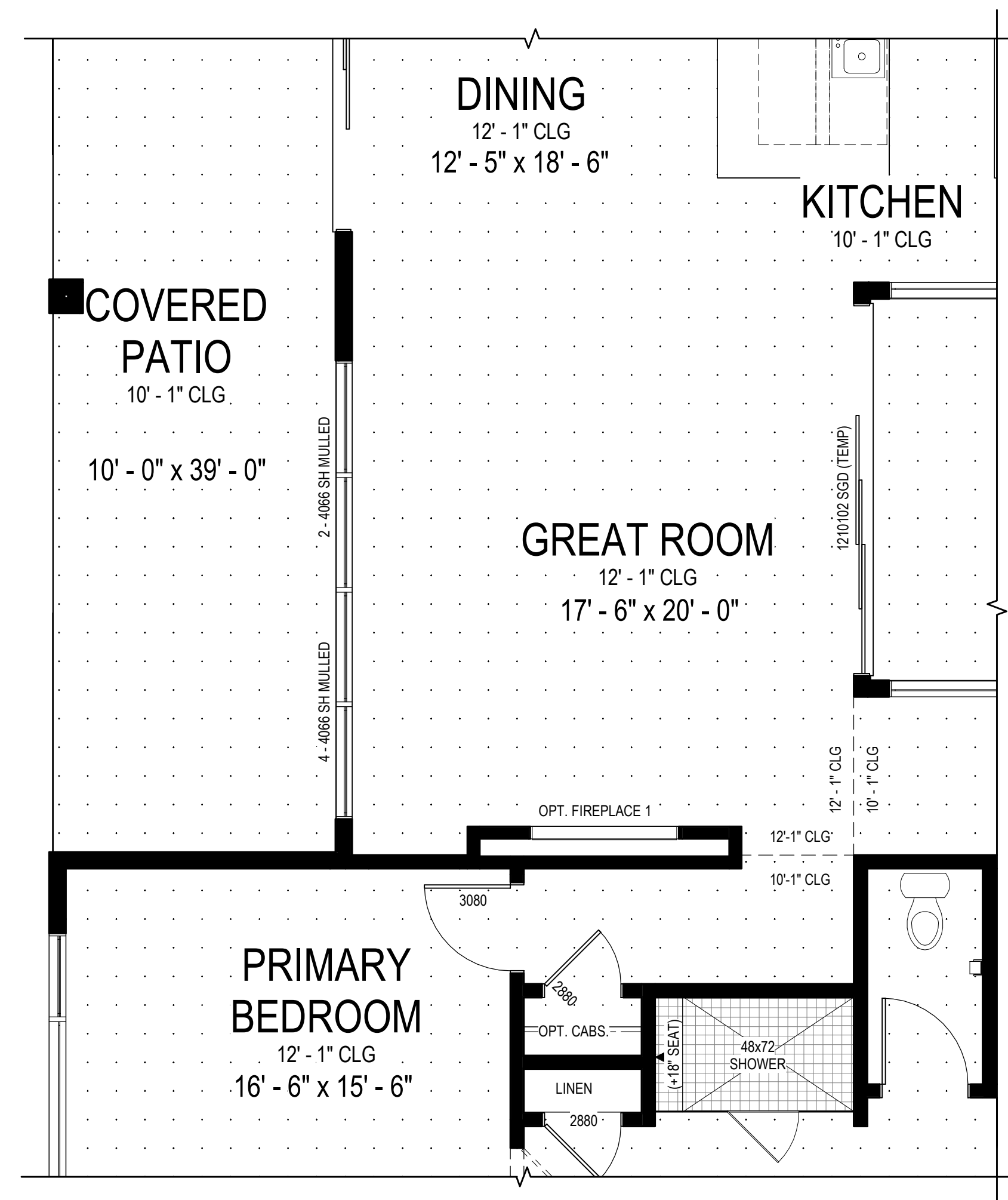
**Opt. Multi-SGD at Atrium
Partial Main Floor Plan**

SCALE: 1/4" = 1'-0"



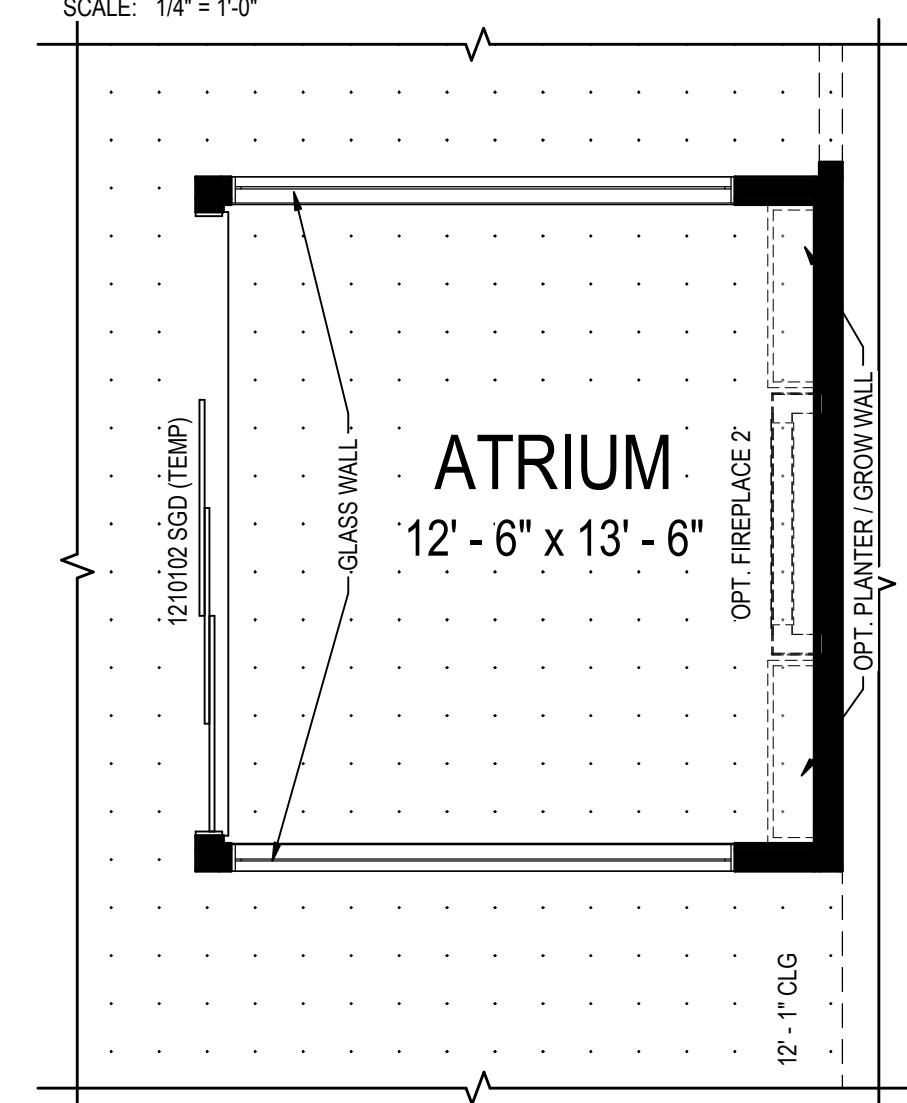
**Opt. Fireplace 2
Partial Main Floor Plan**

SCALE: 1/4" = 1'-0"



**Opt. Fireplace 1
Partial Main Floor Plan**

SCALE: 1/4" = 1'-0"



**Opt. Glass Walls at Atrium
Partial Main Floor Plan**

SCALE: 1/4" = 1'-0"

SHAWOOD[®]

Folsom, California

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Plan 8003

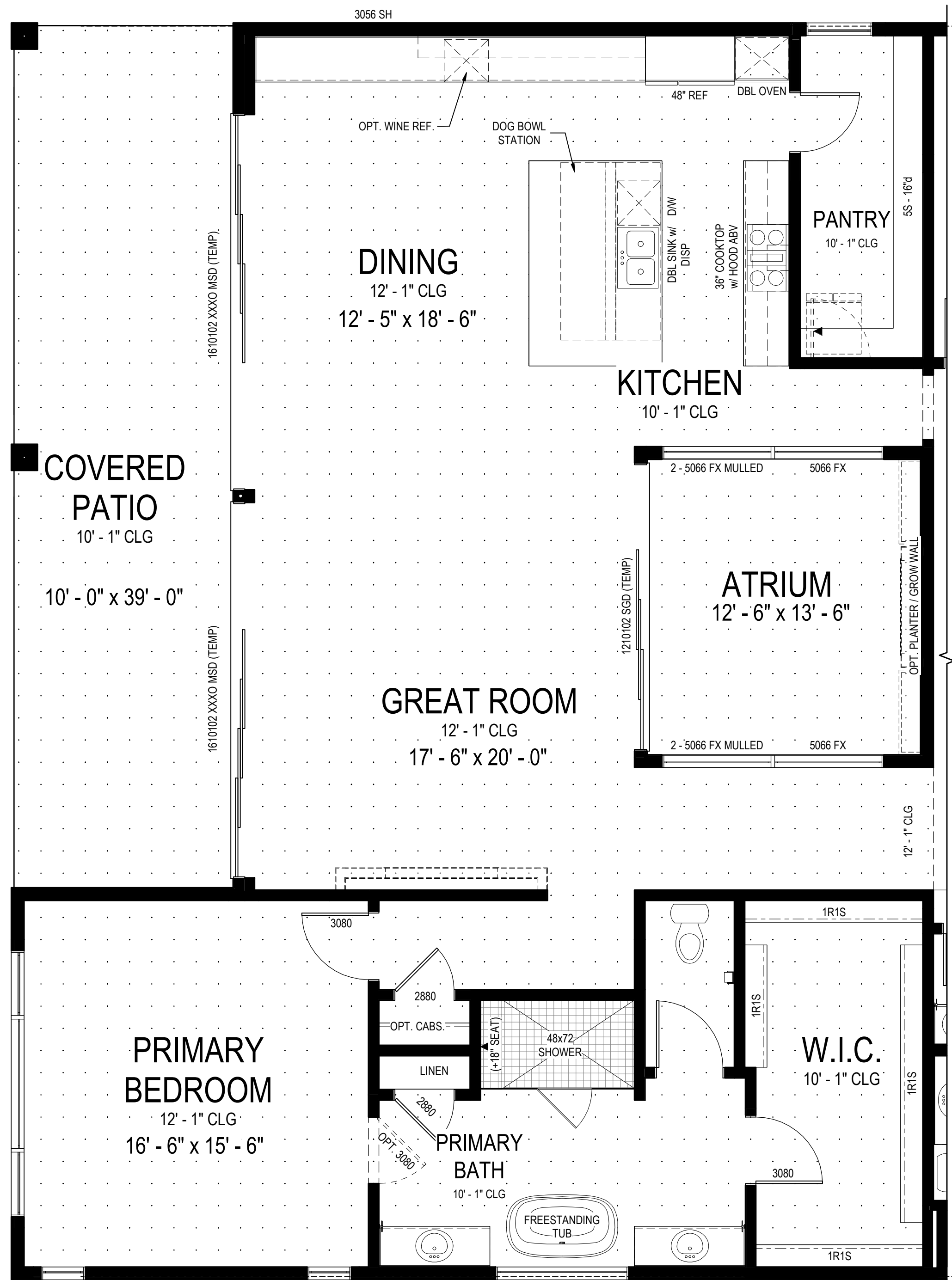
SHAWOOD AT BROADSTONE ESTATES

Folsom, California

February 2, 2024 | SF230312.00

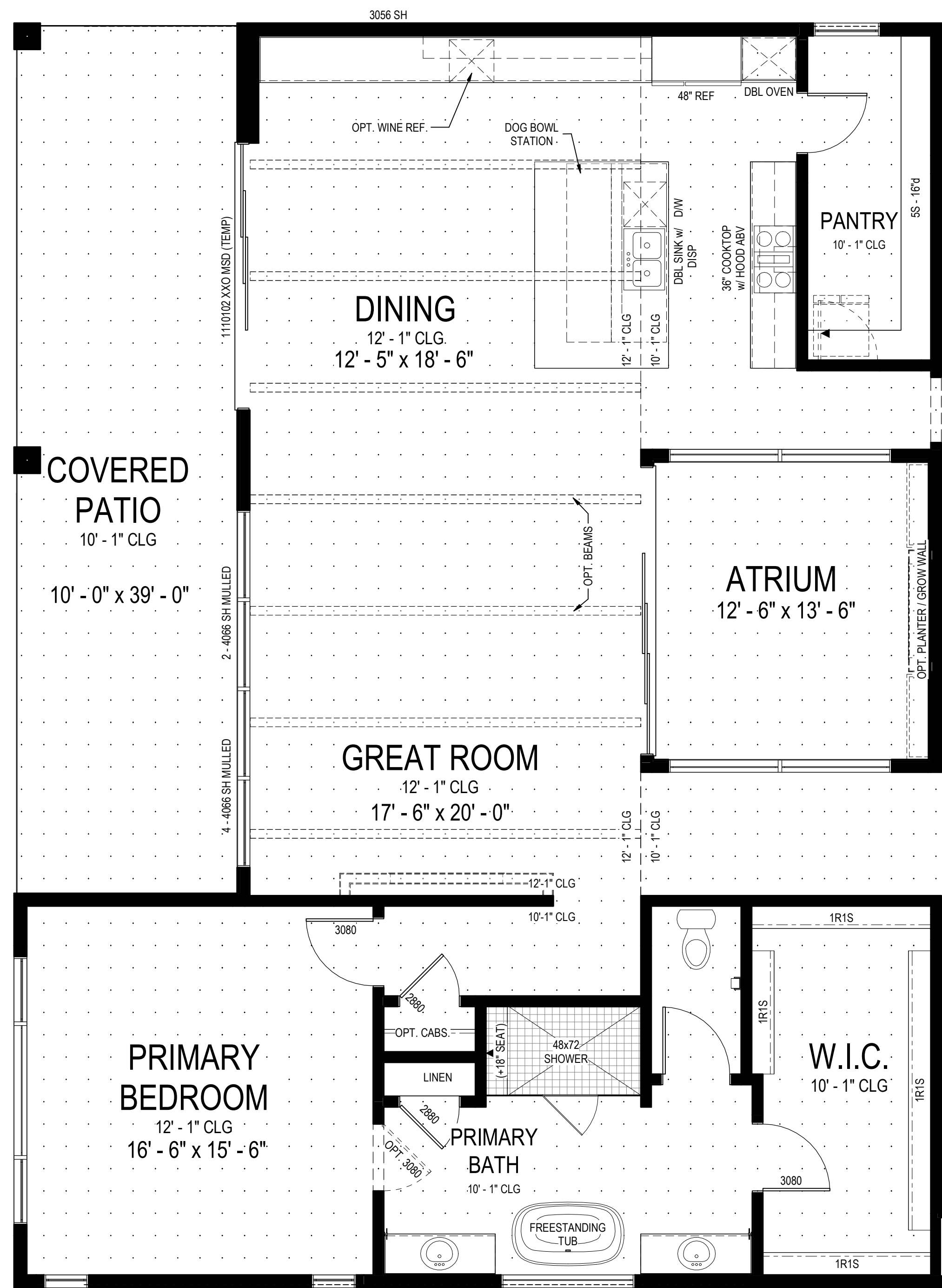
A1.6

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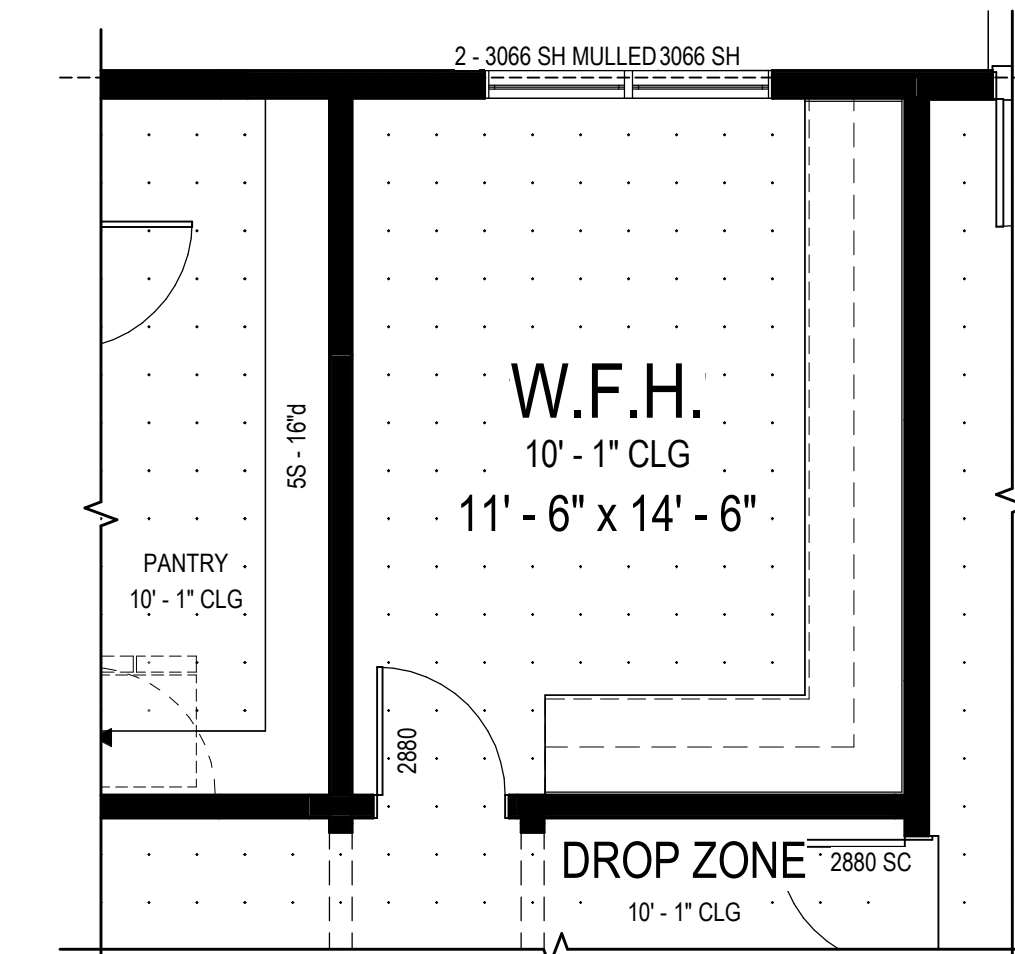
**Opt. Multi-SGD
Main Floor Plan**

SCALE: 1/4" = 1'-0"



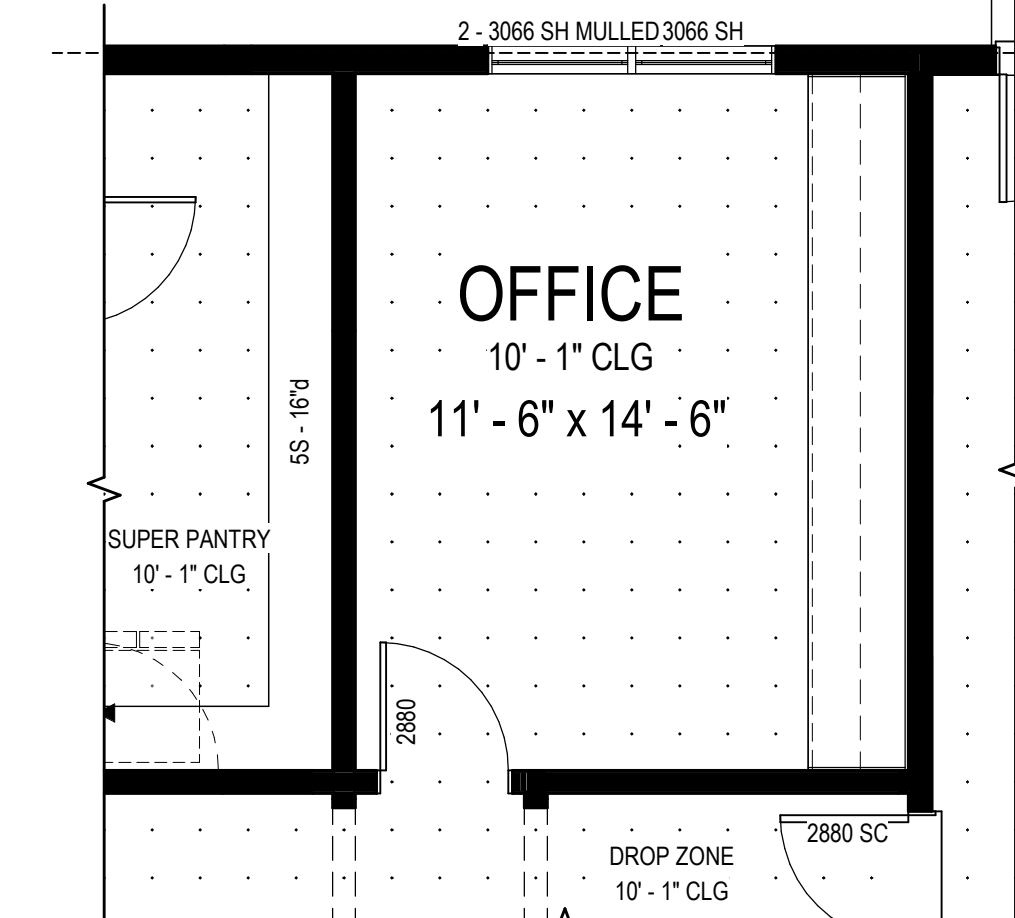
**Opt. Beams
Main Floor Plan**

SCALE: 1/4" = 1'-0"



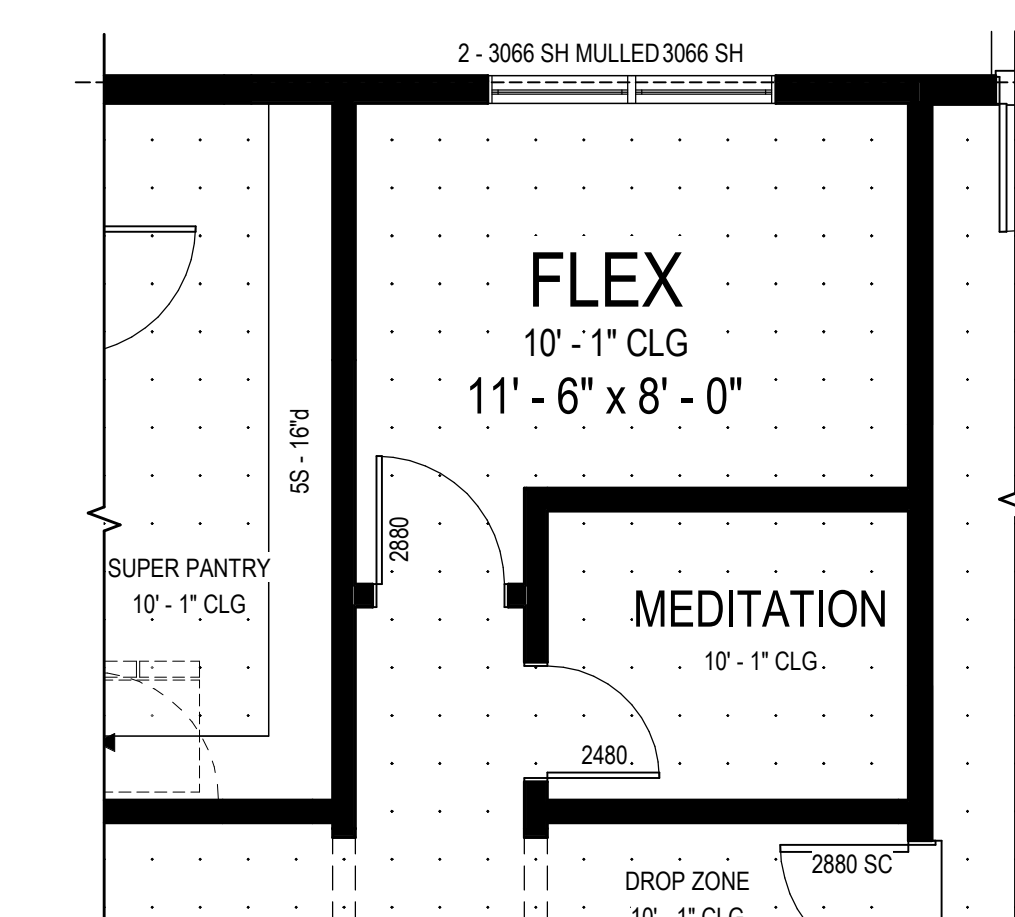
**Opt. Dual W.F.H. I.L.O. Flex
Partial Main Floor Plan**

SCALE: 1/4" = 1'-0"



**Opt. Office I.L.O. Flex
Partial Main Floor Plan**

SCALE: 1/4" = 1'-0"



**Opt. Meditation & Flex
Partial Main Floor Plan**

SCALE: 1/4" = 1'-0"

SHAWOOD[®]

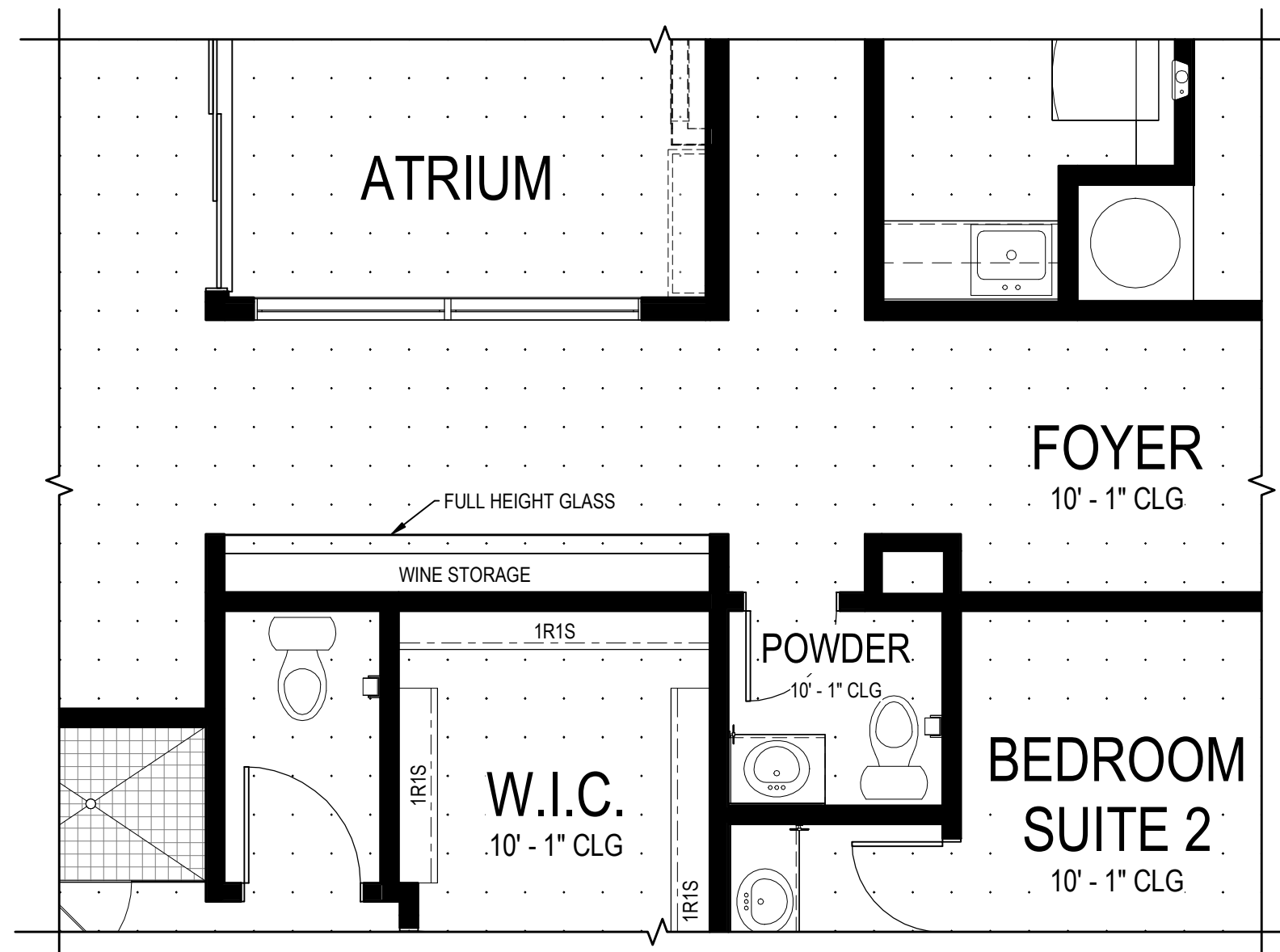
Folsom, California

Plan 8003

SHAWOOD AT BROADSTONE ESTATES

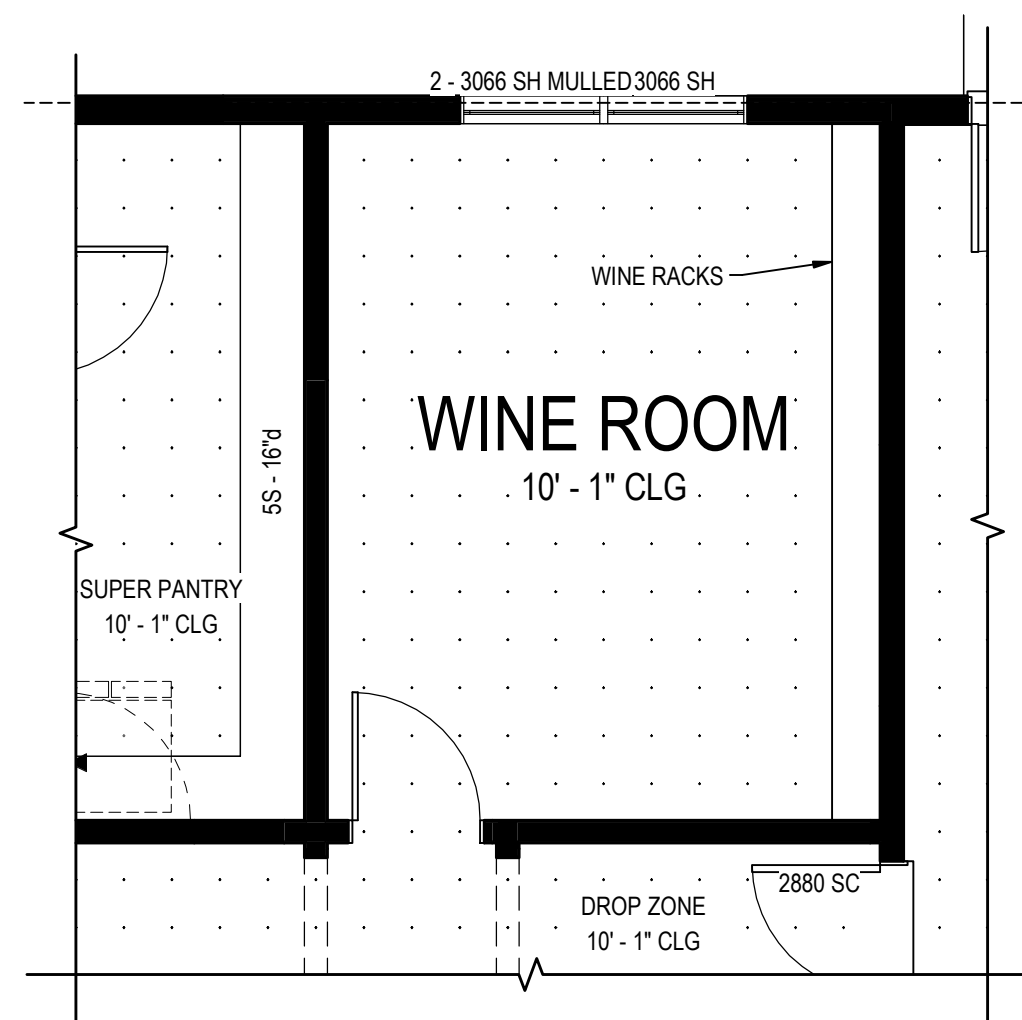
Folsom, California





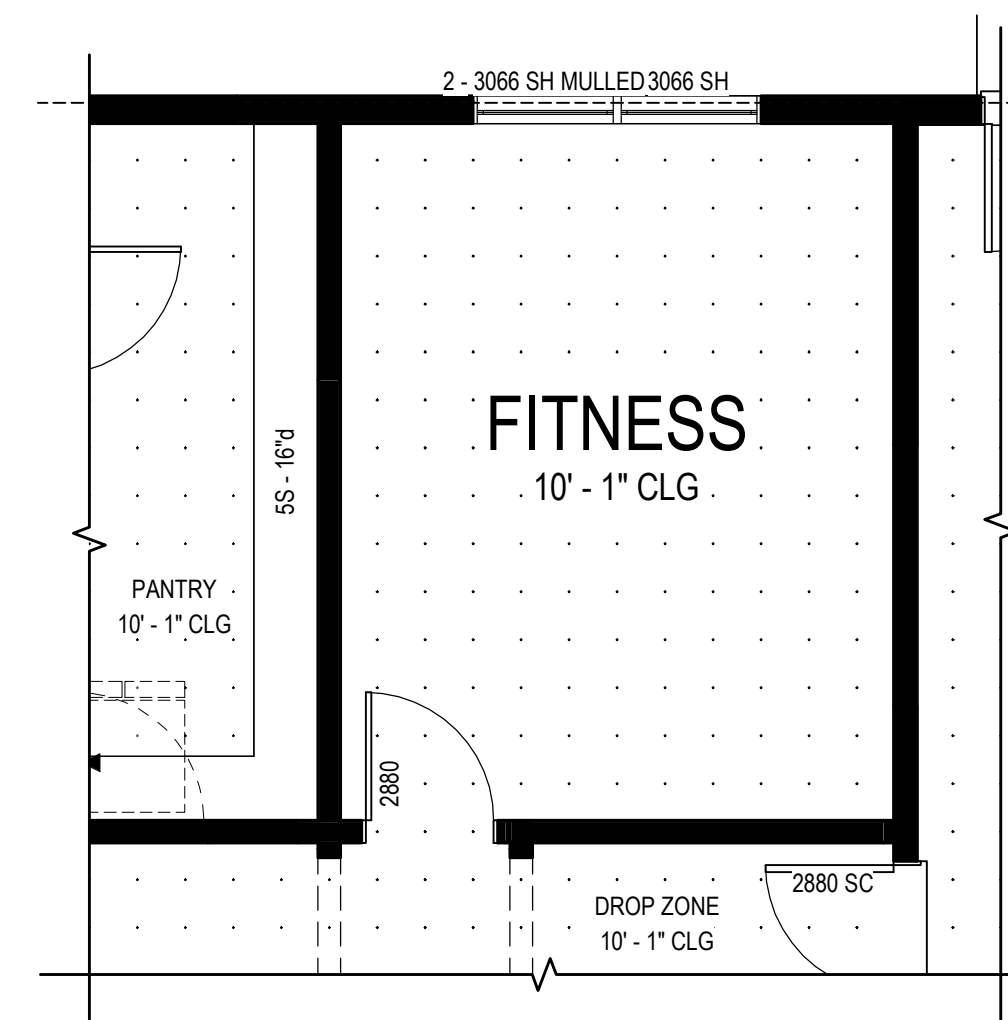
**Opt. Wine Storage
Partial Main Floor Plan**

SCALE: 1/4" = 1'-0"



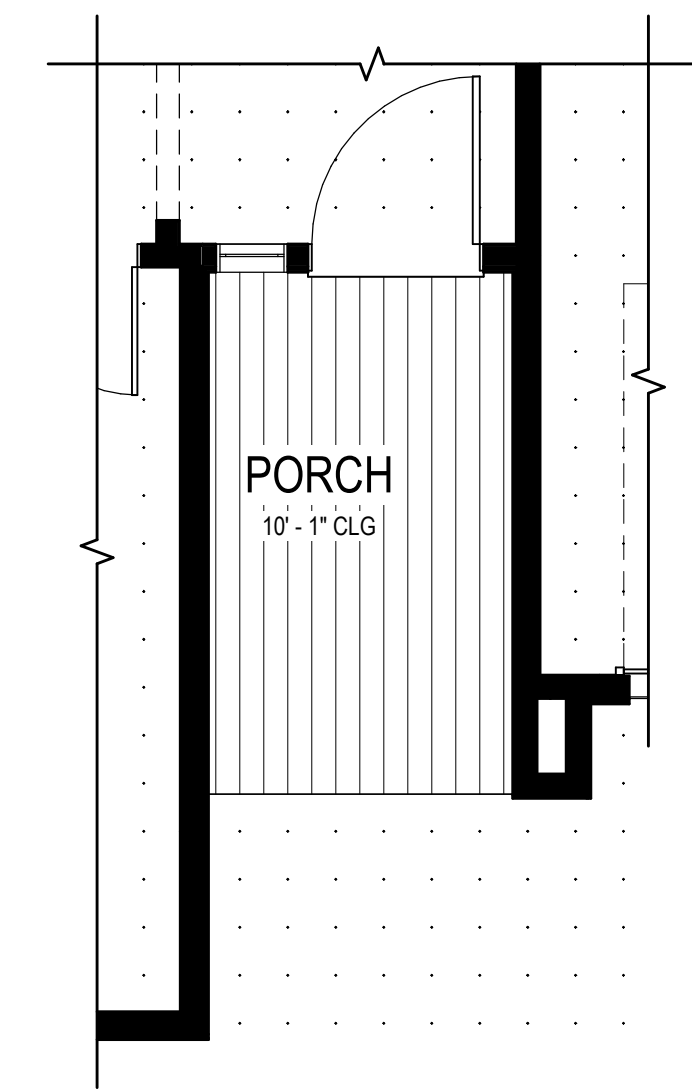
**Opt. Wine Room I.L.O. Flex
Partial Main Floor Plan**

SCALE: 1/4" = 1'-0"



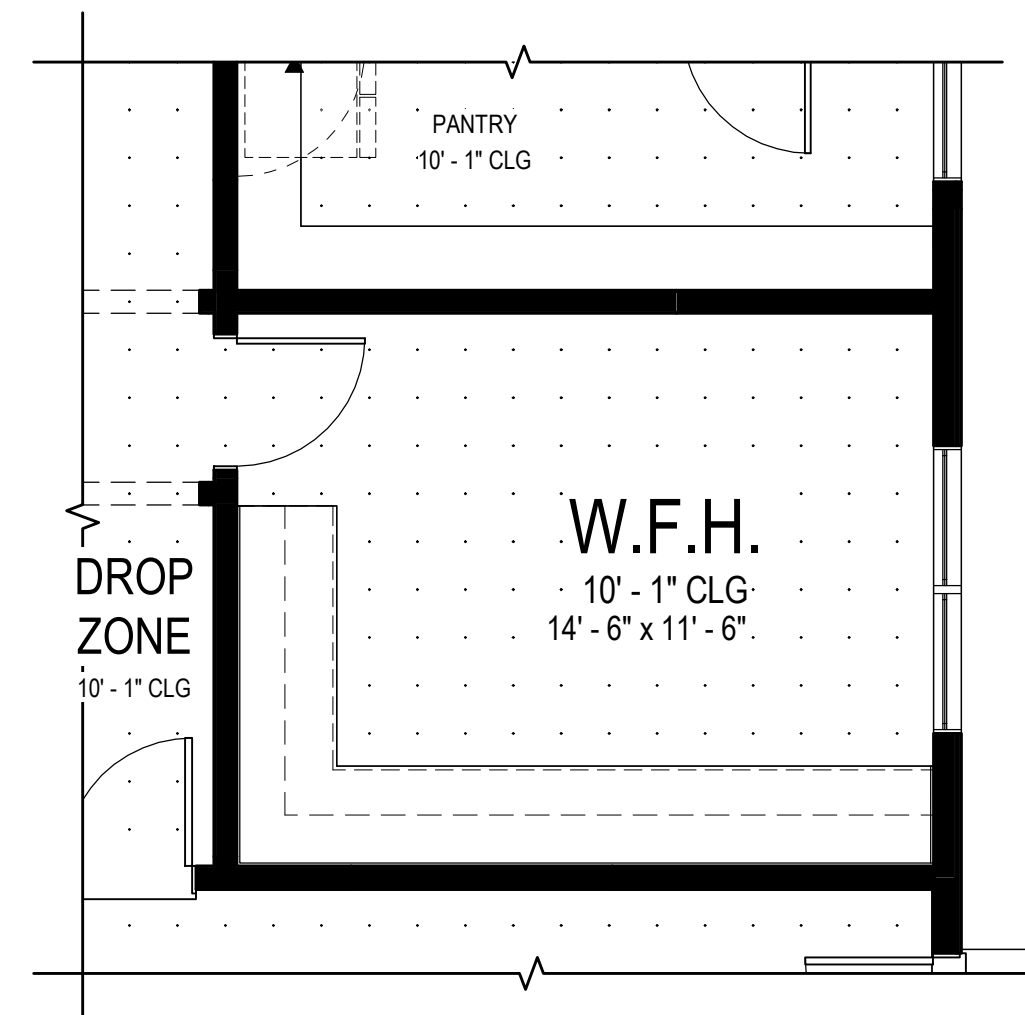
**Opt. Fitness I.L.O. Flex
Partial Main Floor Plan**

SCALE: 1/4" = 1'-0"



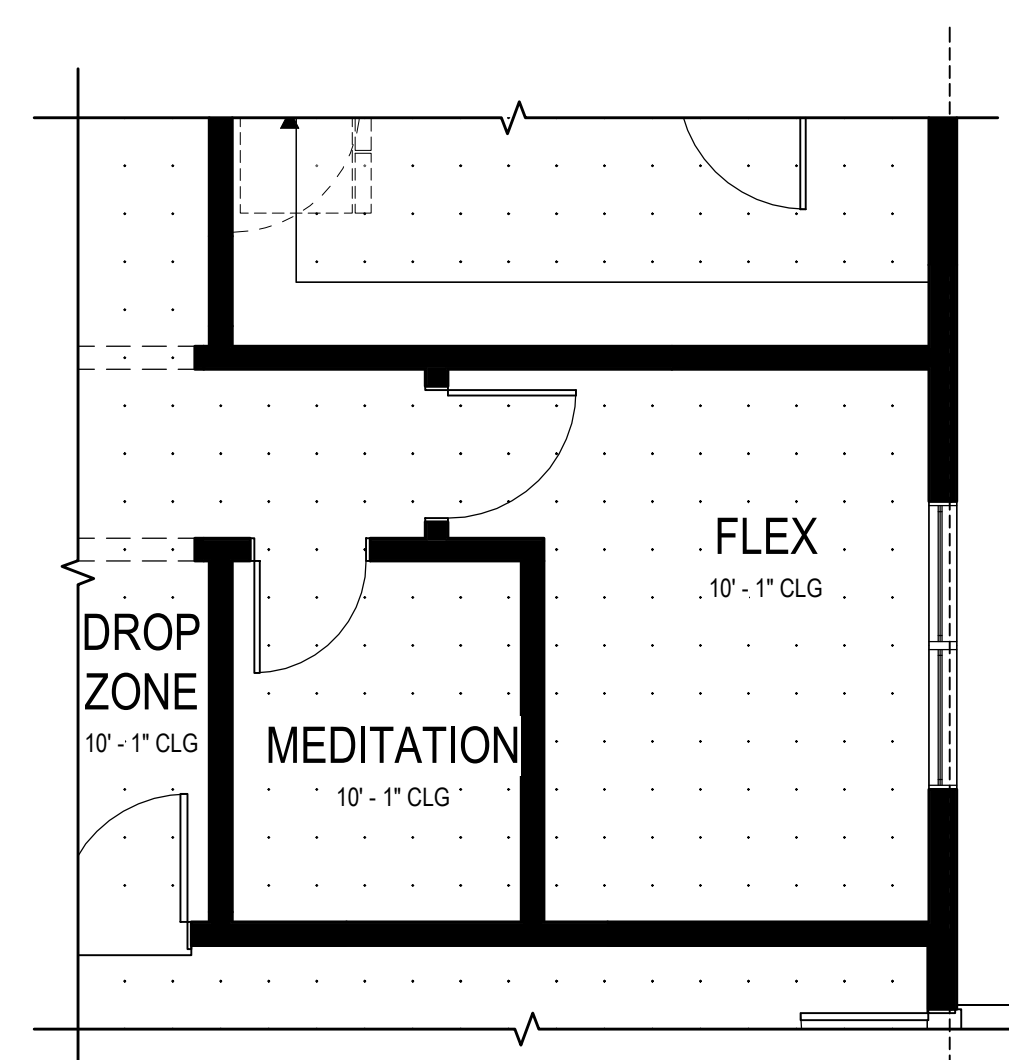
**Opt. Nichiha Ceiling - D at Porch
Partial Main Floor Plan**

SCALE: 1/4" = 1'-0"



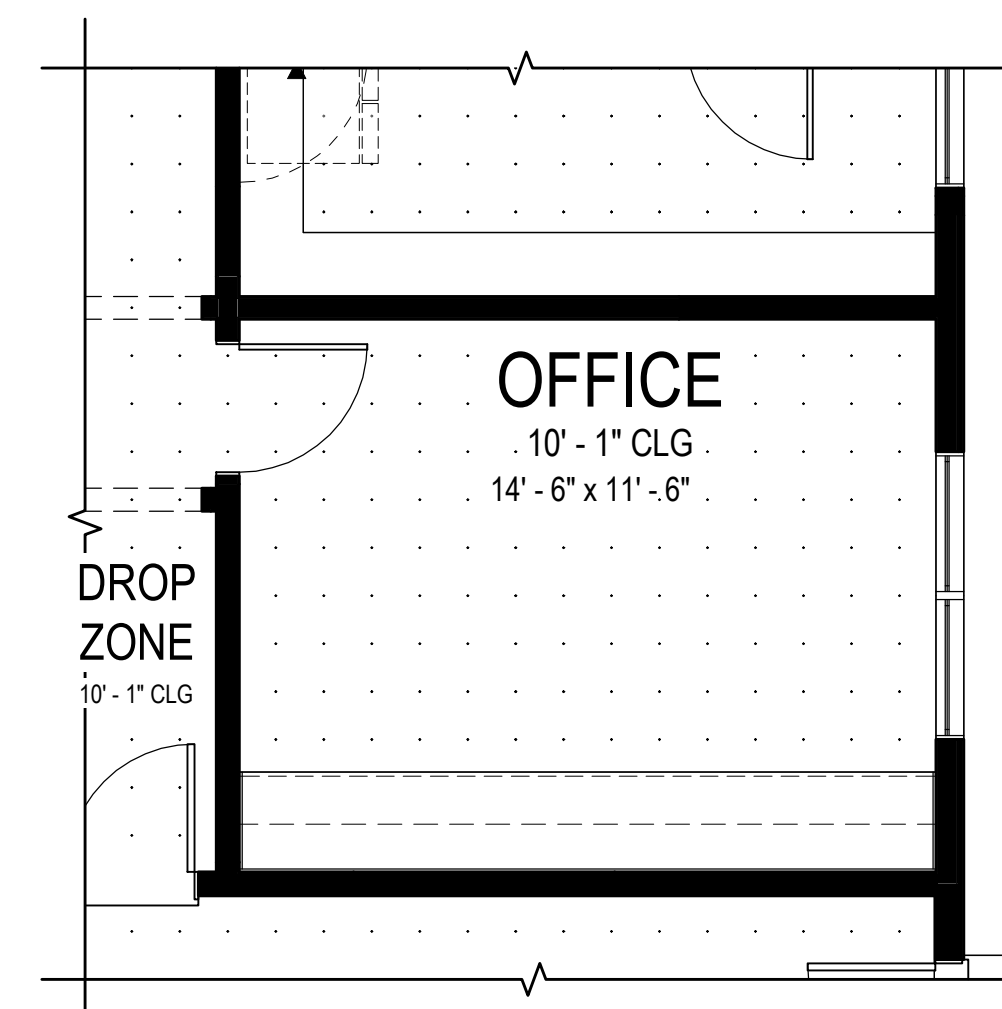
**Opt. Dual W.F.H. I.L.O. Flex
Partial Main Floor Plan**

SCALE: 1/4" = 1'-0"



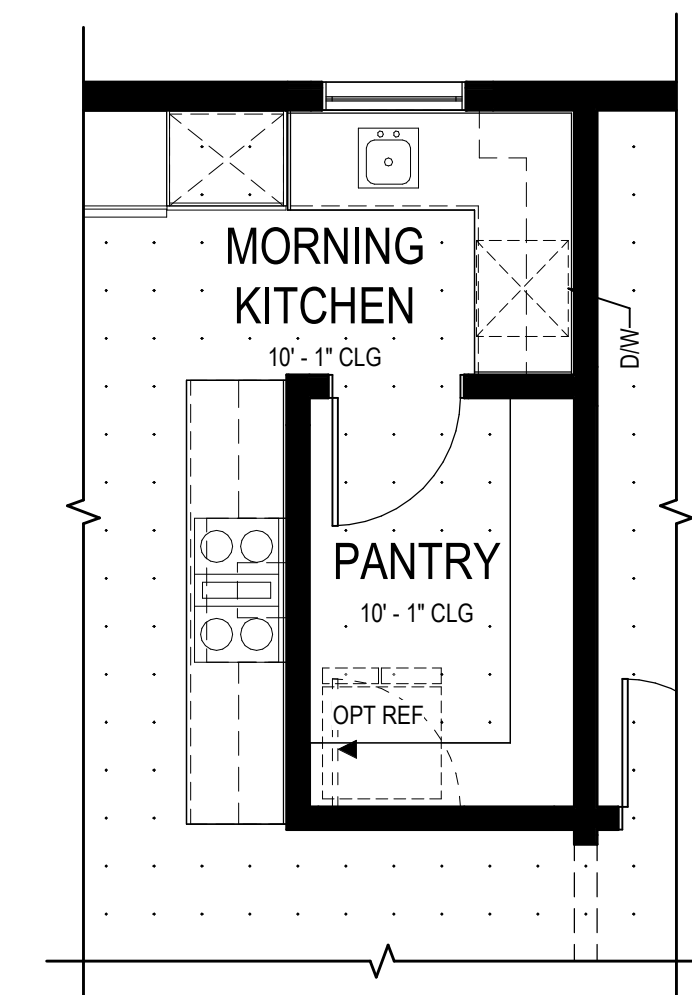
**Opt. Meditation & Office I.L.O. Flex
Partial Main Floor Plan**

SCALE: 1/4" = 1'-0"



**Opt. Office I.L.O. Flex
Partial Main Floor Plan**

SCALE: 1/4" = 1'-0"



**Opt. Morning Kitchen
I.L.O. Super Pantry
Partial Main Floor Plan**

SCALE: 1/4" = 1'-0"

SHAWOOD[®]

Folsom, California

Plan 8003

SHAWOOD AT BROADSTONE ESTATES

Folsom, California





0' 2' 4' 8'
SCALE : 3/16" = 1'-0"

RIGHT



0' 2' 4' 8'
SCALE : 3/16" = 1'-0"

REAR



0' 2' 4' 8'
SCALE : 3/16" = 1'-0"

LEFT



0' 2' 4' 8'
SCALE : 3/16" = 1'-0"

FRONT

SHAWOOD[®]
Folsom, California

- Enhancements Provided (Min. 3 Required)**
- Colored window frames.
 - Overgrouted stone or brick as entire massing element.
 - Combination of Stone, Bellburn and Nichiha massing.
 - Use of control joints as an aesthetic element.
 - One feature window recessed 12".

THE CALIFORNIA WINE COUNTRY
PLAN 8004 - ELEVATIONS

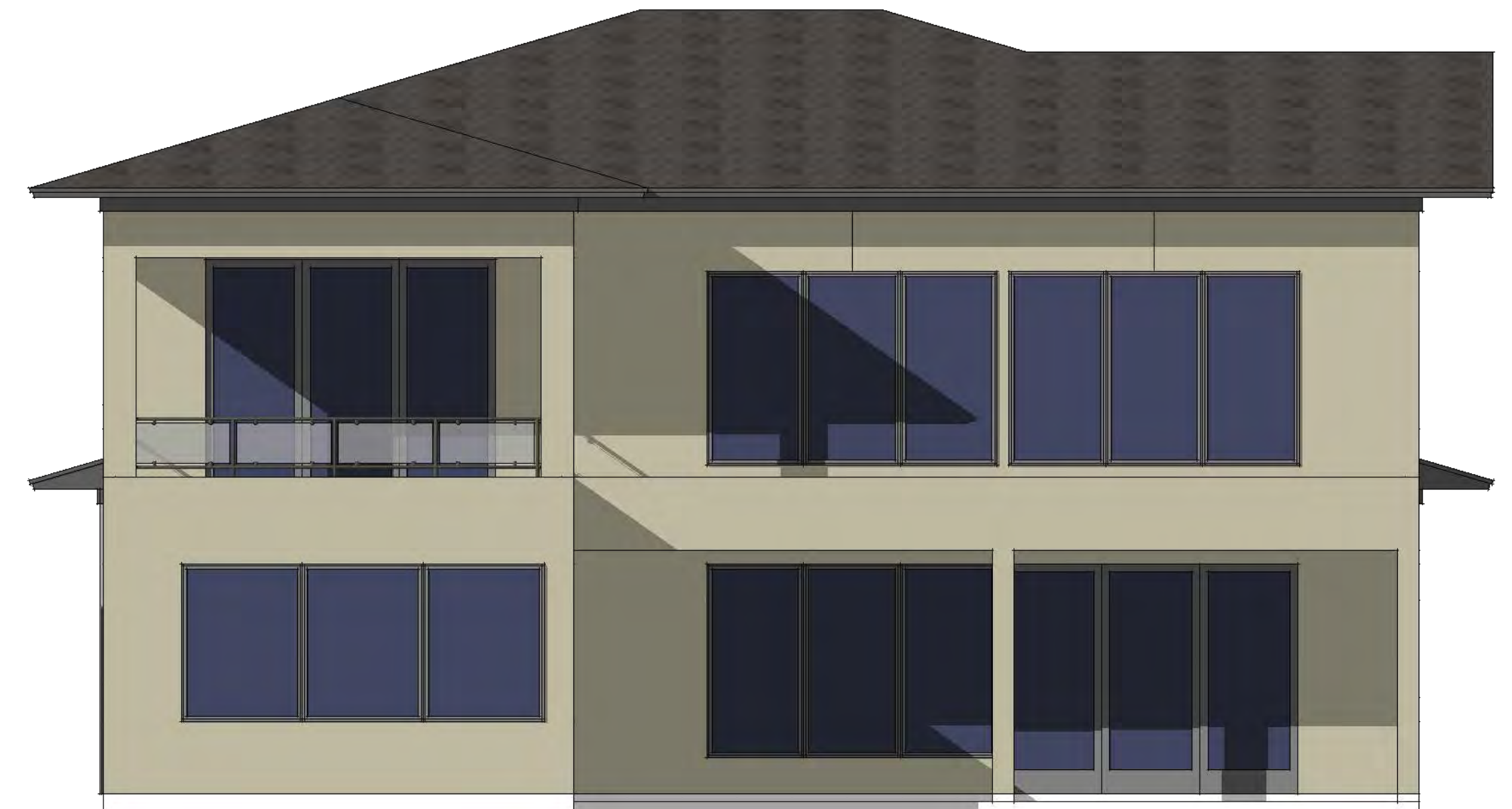
SHAWOOD AT BROADSTONE ESTATES
Folsom, California





RIGHT

0' 2' 4' 8'
SCALE : 3/16" = 1'-0"



REAR

0' 2' 4' 8'
SCALE : 3/16" = 1'-0"



LEFT

0' 2' 4' 8'
SCALE : 3/16" = 1'-0"



FRONT

0' 2' 4' 8'
SCALE : 3/16" = 1'-0"

SHAWOOD[®]
Folsom, California

Enhancements Provided (Min. 3 Required)

- Accent colored window frames.
- Style-specific unique lighting fixtures.
- 12"-18" overhangs.
- Cement plank lap siding (Bellburn i.l.o. horizontal emphasized lap siding).
- Massive stone piers.

THE CALIFORNIA PRAIRIE
PLAN 8004 - ELEVATIONS

SHAWOOD AT BROADSTONE ESTATES
Folsom, California





0' 2' 4' 8'
SCALE : 3/16" = 1'-0"

RIGHT



0' 2' 4' 8'
SCALE : 3/16" = 1'-0"

REAR



0' 2' 4' 8'
SCALE : 3/16" = 1'-0"

LEFT



0' 2' 4' 8'
SCALE : 3/16" = 1'-0"

FRONT

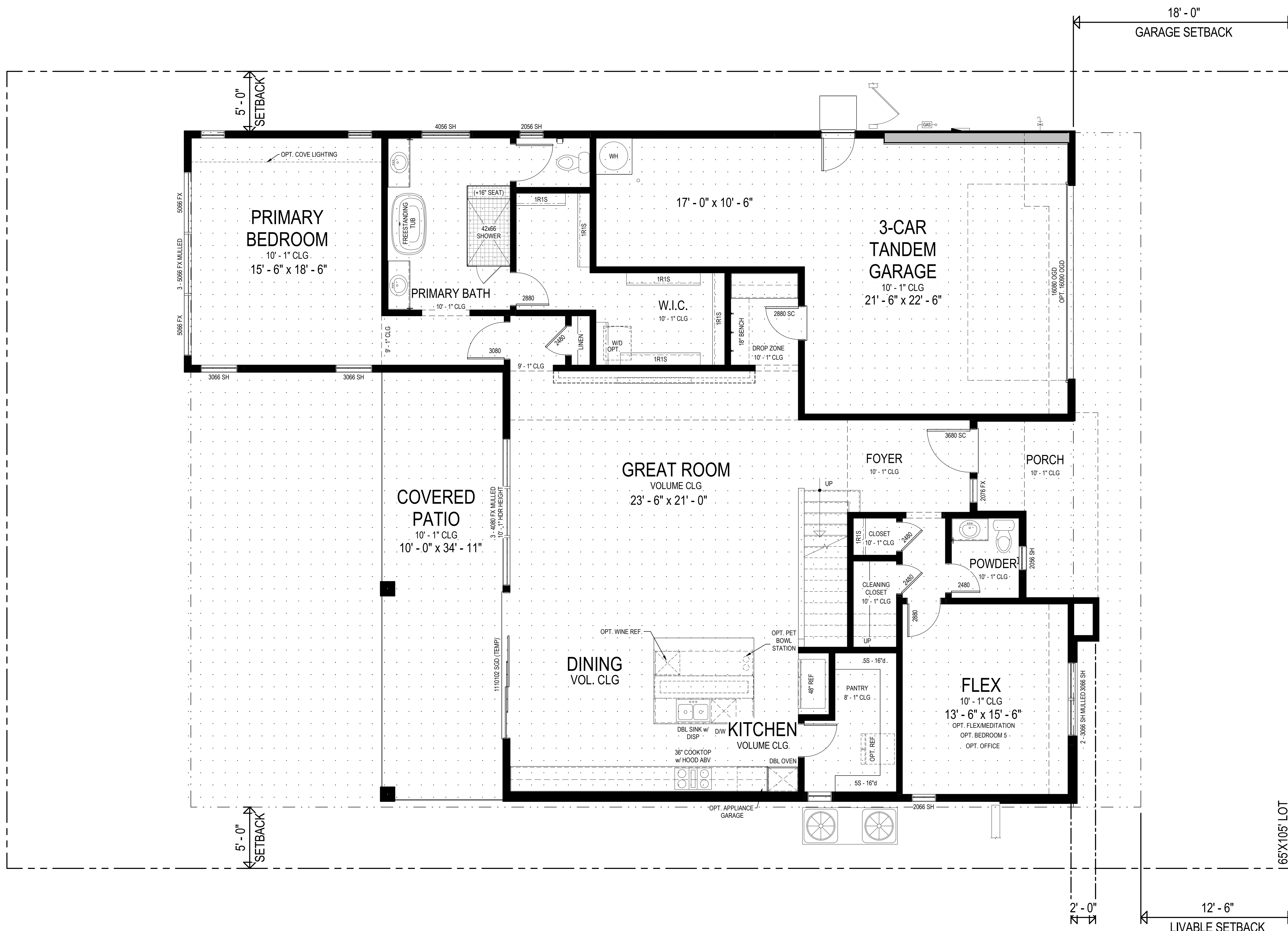
SHAWOOD[®]
Folsom, California

- Enhancements Provided (Min. 3 Required)
- Accent colored window frames.
 - Flat Extended window awnings.
 - Mix of shed roof forms and flat roof accents.
 - Combination of Bellburn and Nichiha accent massing.
 - Combination of 2 to 3 grouped windows.
 - Use of control joints as an aesthetic element.

THE CALIFORNIA MODERN
PLAN 8004 - ELEVATIONS

SHAWOOD AT BROADSTONE ESTATES
Folsom, California





LOT COVERAGE CALCULATIONS			
LOT SIZE: 8,192 SQUARE FEET	PROPOSED	ALLOWABLE	3-SIDED PATIO ALLOWABLE
LOT COVERAGE	3,373 SQUARE FEET (41.2%)	4,096 SQUARE FEET (50.0%)	4,915 SQUARE FEET (60.0%)
<small>LAND AREA COVERED BY ALL STRUCTURES THAT ARE OVER 6 FEET IN HEIGHT</small>			

ELEVATION A	
MAIN FLOOR LIVABLE	2249 SF
UPPER FLOOR LIVABLE	1445 SF
LIVABLE	3694 SF
3-CAR GARAGE	698 SF
COVERED PATIO	350 SF
PORCH	89 SF
COVERED DECK	195 SF
NON-LIVABLE	1332 SF
ELEVATION A	5026 SF

SHAWOOD®

Folsom, California

Elevation A - The California Wine Country Main Floor Plan

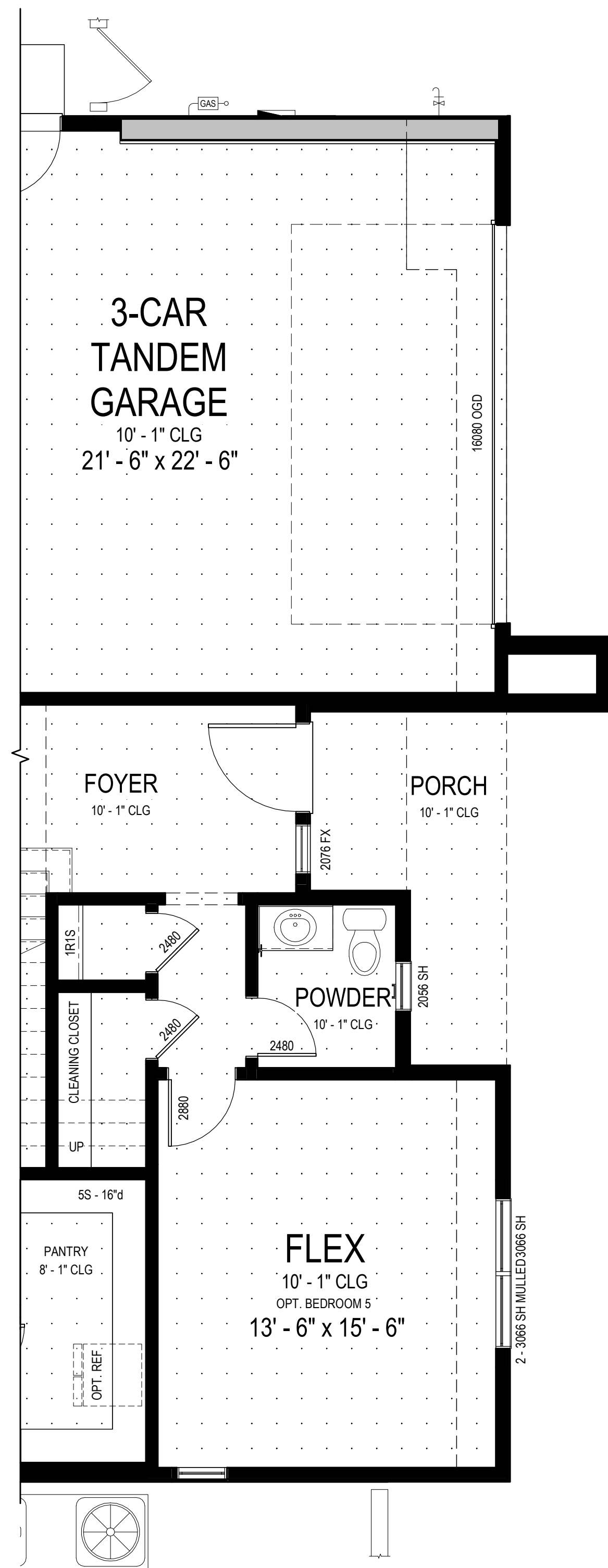
1/4" = 1'-0"

Plan 8004

SHAWOOD AT BROADSTONE ESTATES

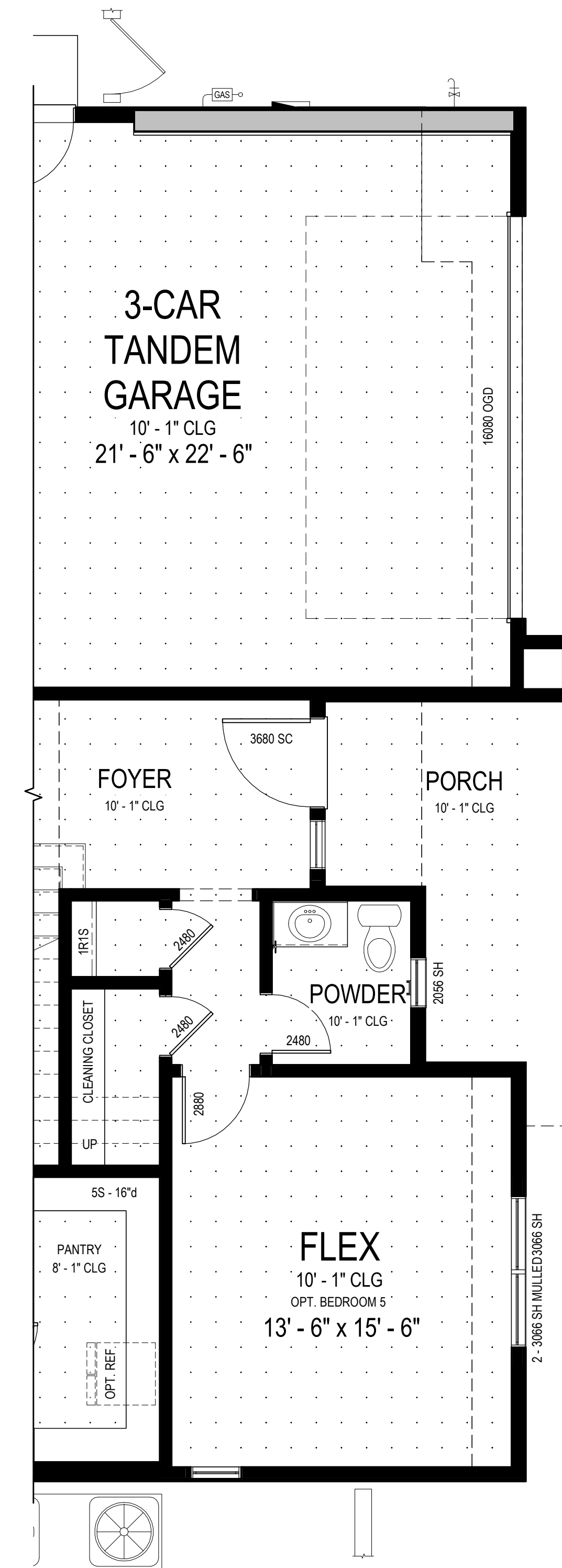
Folsom, California





**Elevation C - The California Prairie
Partial Main Floor Plan**

SCALE: 1/4" = 1'-0"



**Elevation D - Modern
Partial Main Floor Plan**

SCALE: 1/4" = 1'-0"

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Folsom, California

Plan 8004

SHAWOOD AT BROADSTONE ESTATES

Folsom, California



**Elevation A - The California Wine Country
Upper Floor Plan**

SCALE: 1/4" = 1'-0"

ELEVATION A	
MAIN FLOOR LIVABLE	2249 SF
UPPER FLOOR LIVABLE	1445 SF
LIVABLE	3694 SF
<hr/>	
3-CAR GARAGE	698 SF
COVERED PATIO	350 SF
PORCH	89 SF
COVERED DECK	195 SF
NON-LIVABLE	1332 SF
ELEVATION A	5026 SF

SHAWOOD[®]

Folsom, California

Plan 8004

SHAWOOD AT BROADSTONE ESTATES

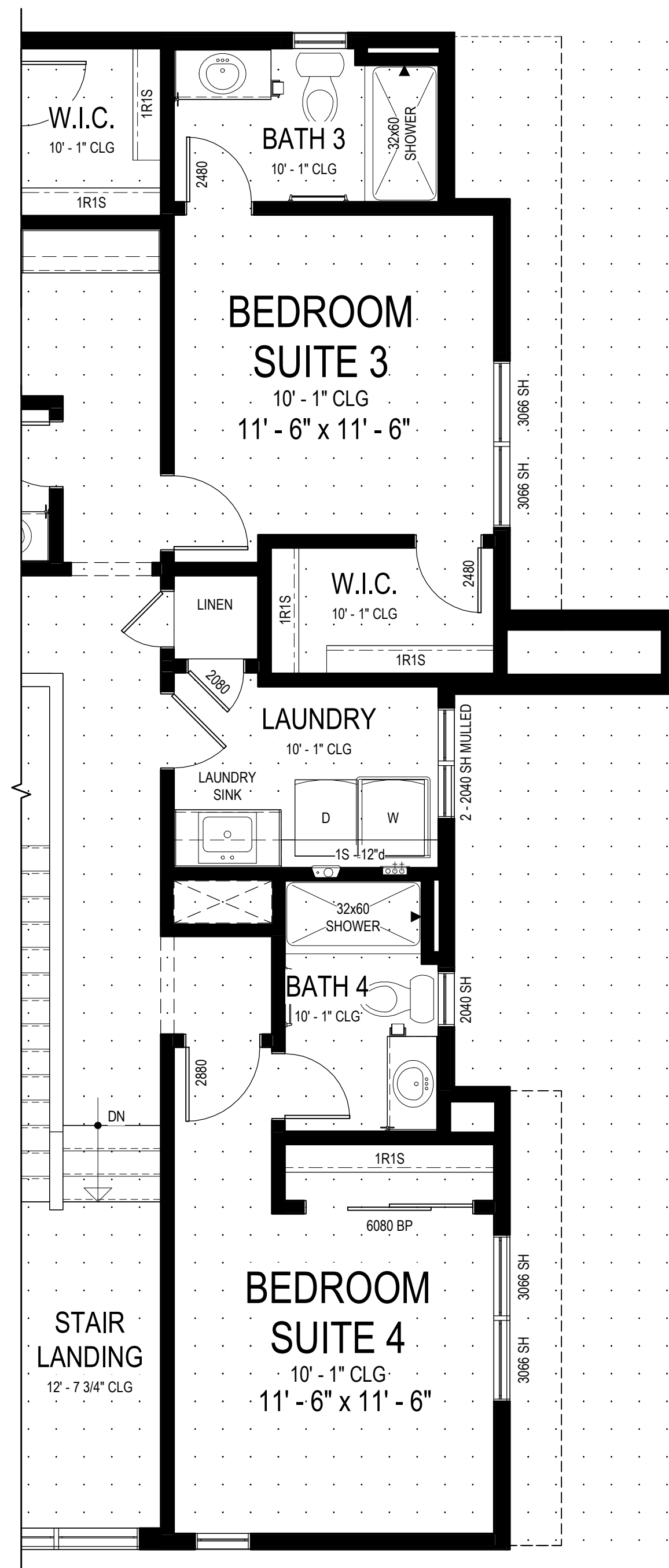
Folsom, California

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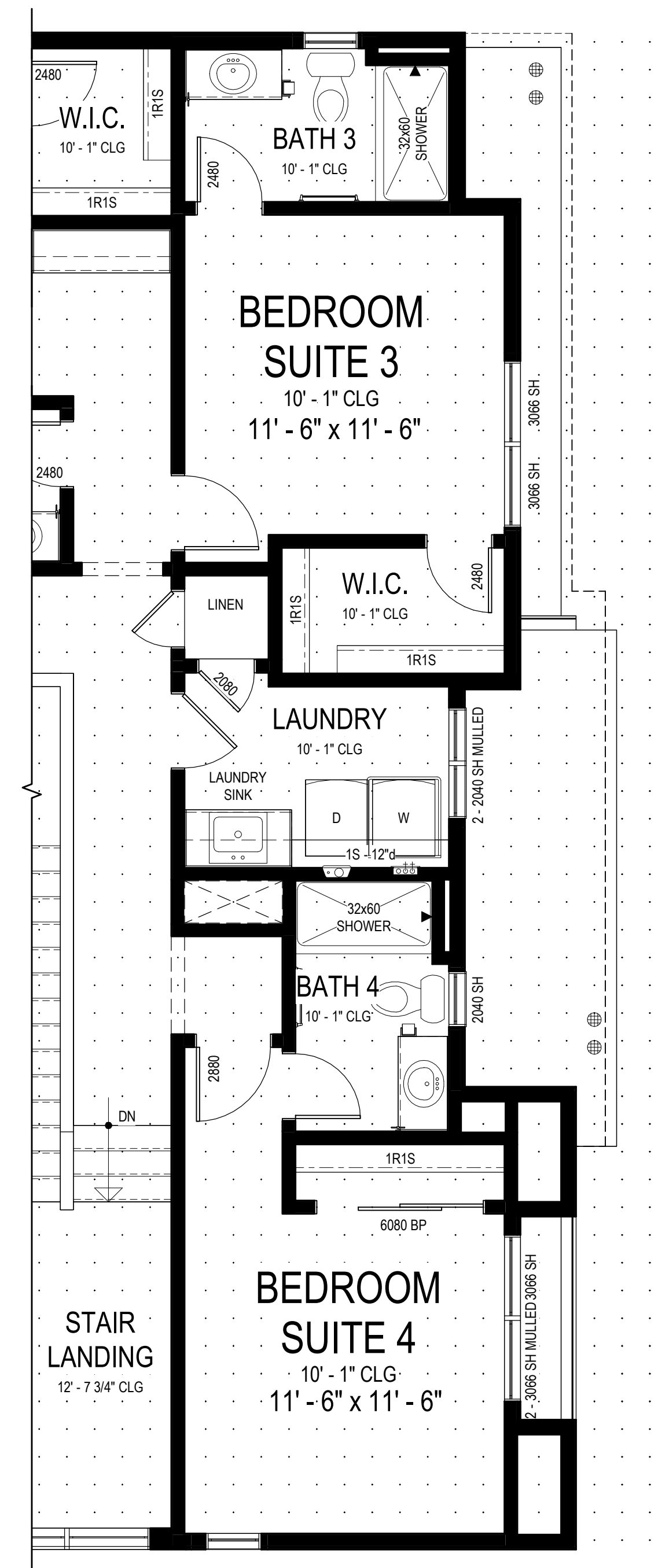
A2.6





**Elevation C - The California Prairie
Partial Upper Floor Plan**

SCALE: 1/4" = 1'-0"



**Elevation D - Modern
Partial Upper Floor Plan**

SCALE: 1/4" = 1'-0"

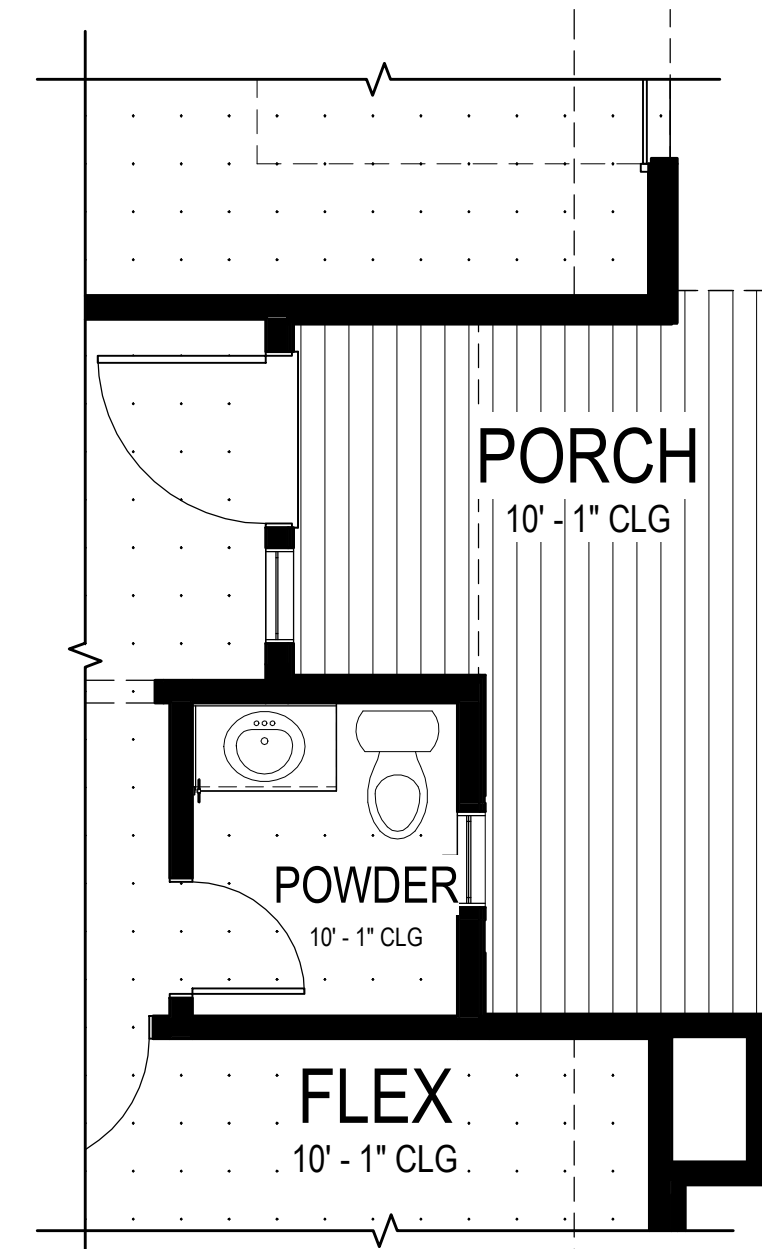
SHAWOOD[®]

Folsom, California

Plan 8004

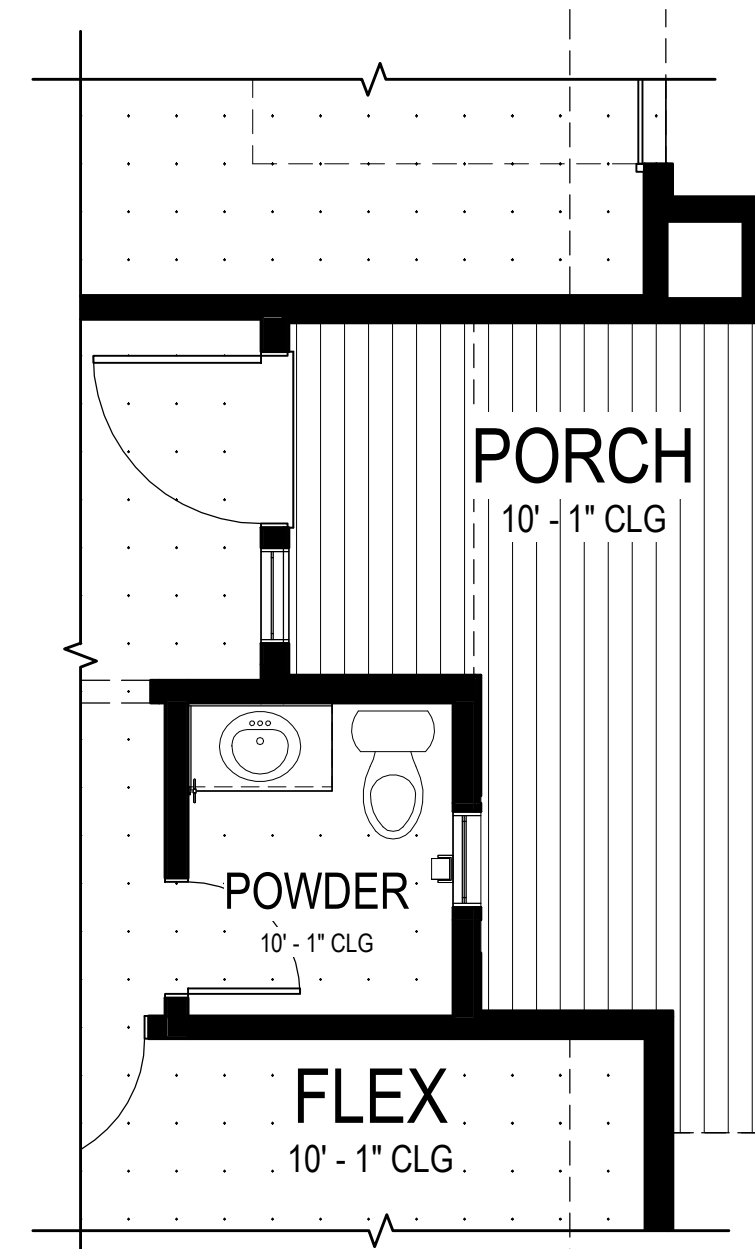
SHAWOOD AT BROADSTONE ESTATES

Folsom, California



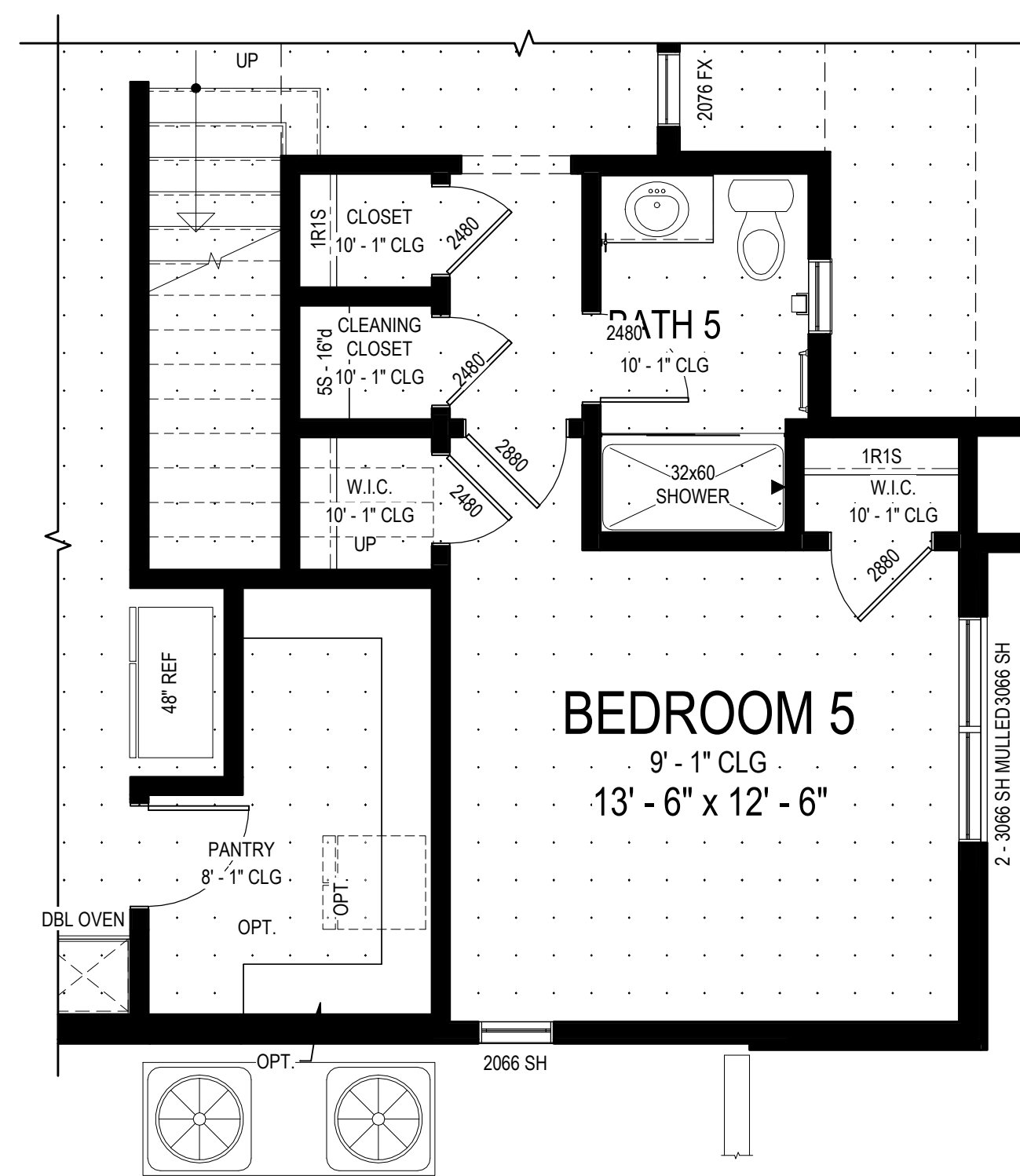
**Opt. Nichia Ceiling - A
Partial Main Floor Plan**

SCALE: 1/4" = 1'-0"



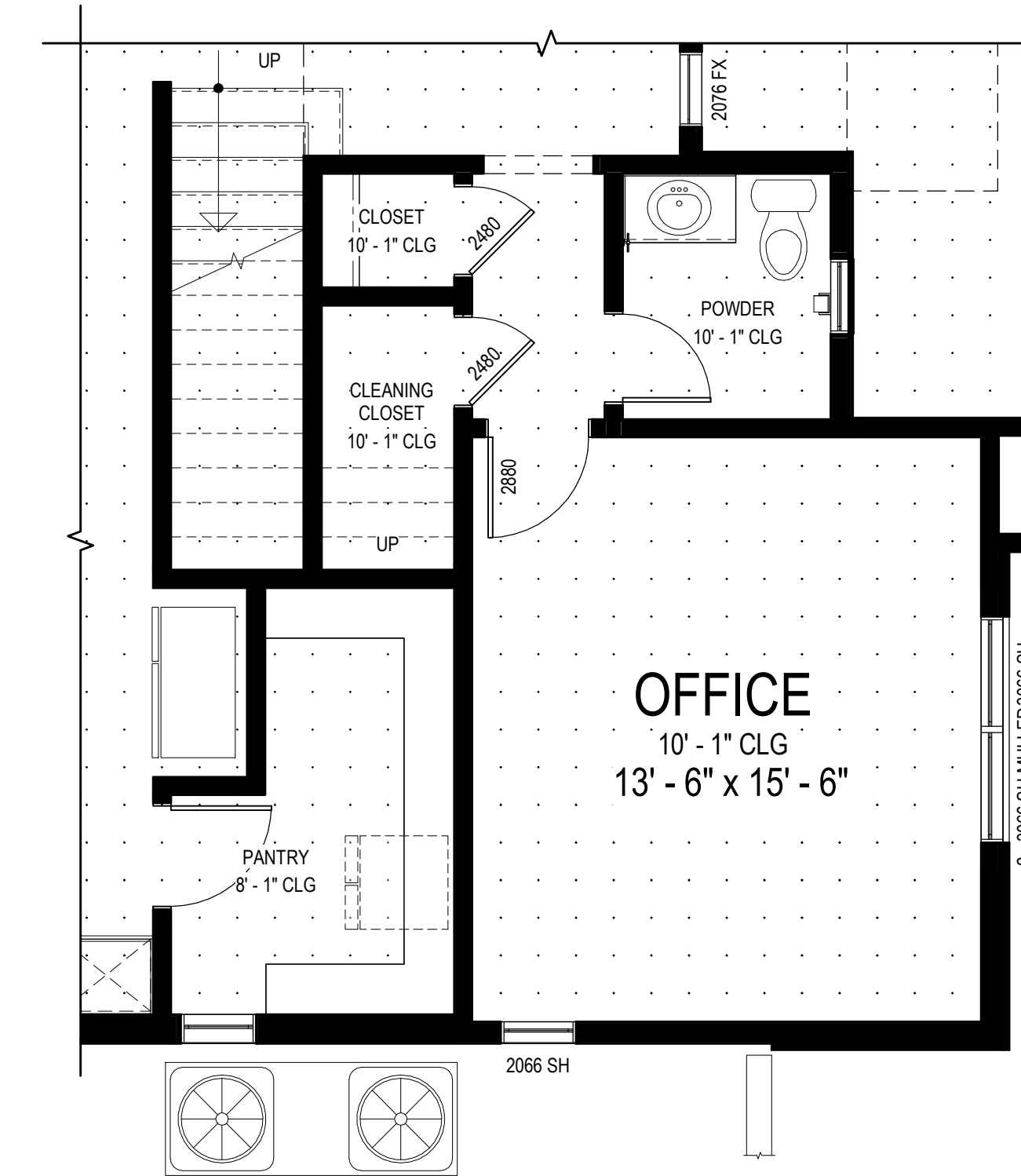
**Opt. Nichia Ceiling - D
Partial Main Floor Plan**

SCALE: 1/4" = 1'-0"



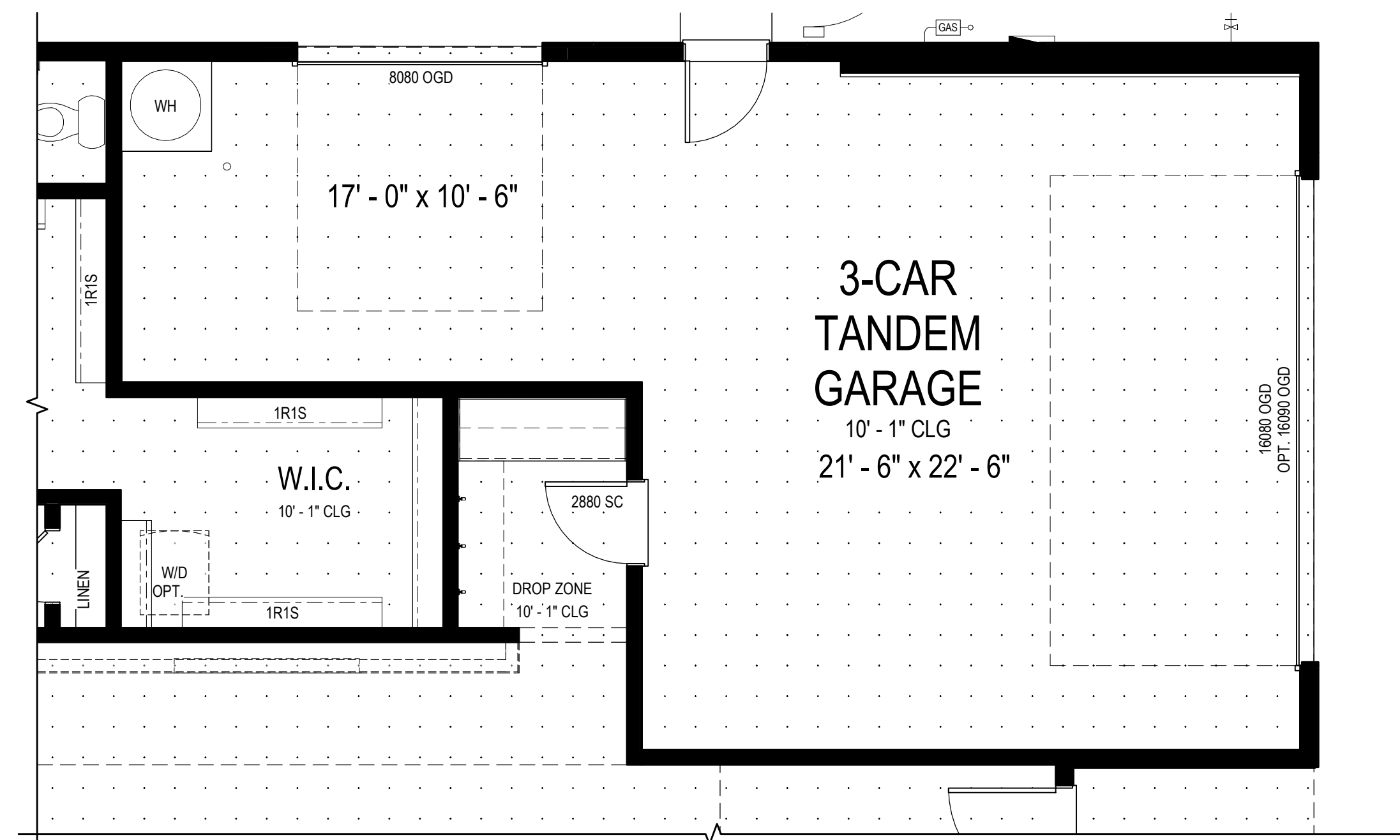
**Opt. Bedroom 5 I.L.O. Flex
Partial Main Floor Plan**

SCALE: 1/4" = 1'-0"



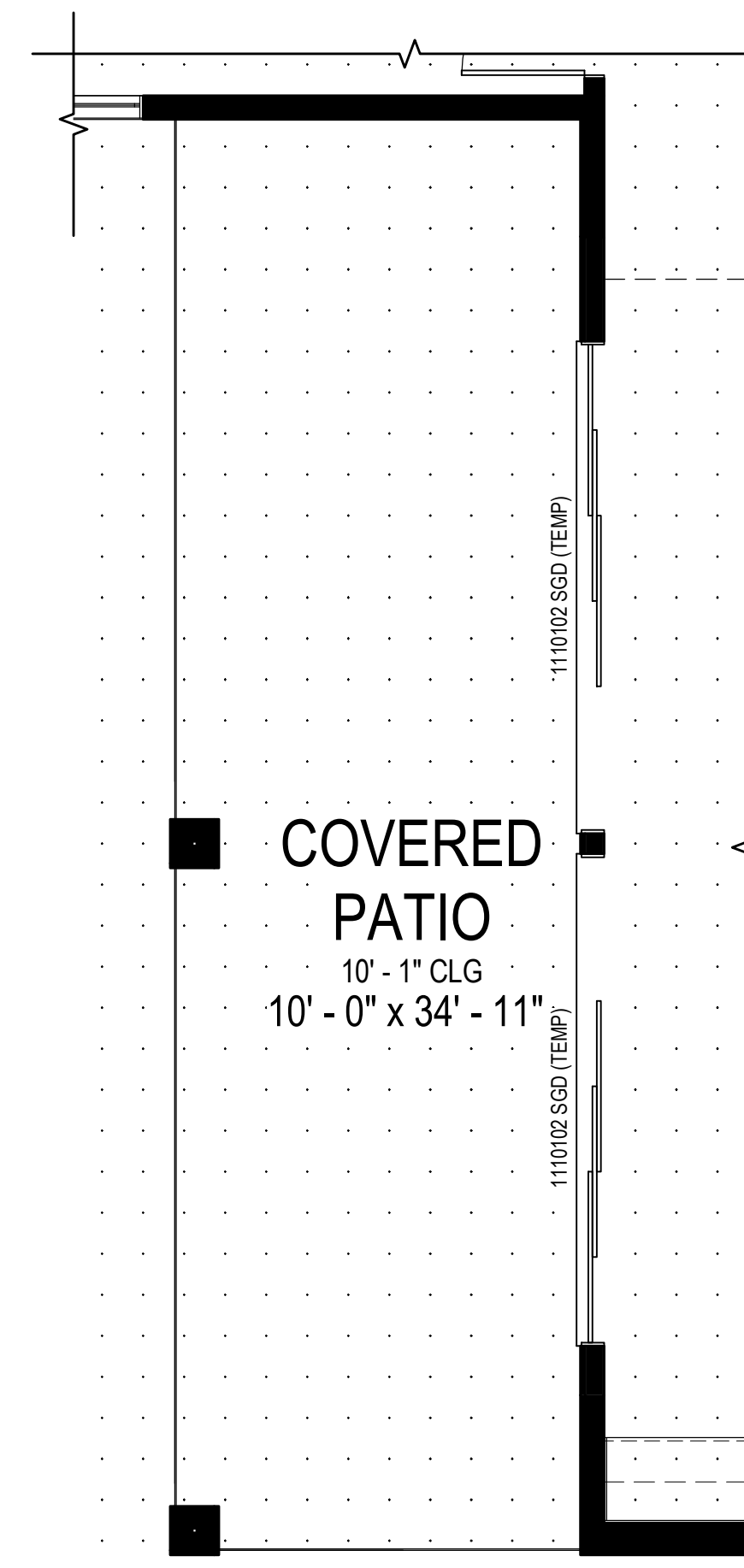
**Opt. Office I.L.O. Flex
Partial Main Floor Plan**

SCALE: 1/4" = 1'-0"



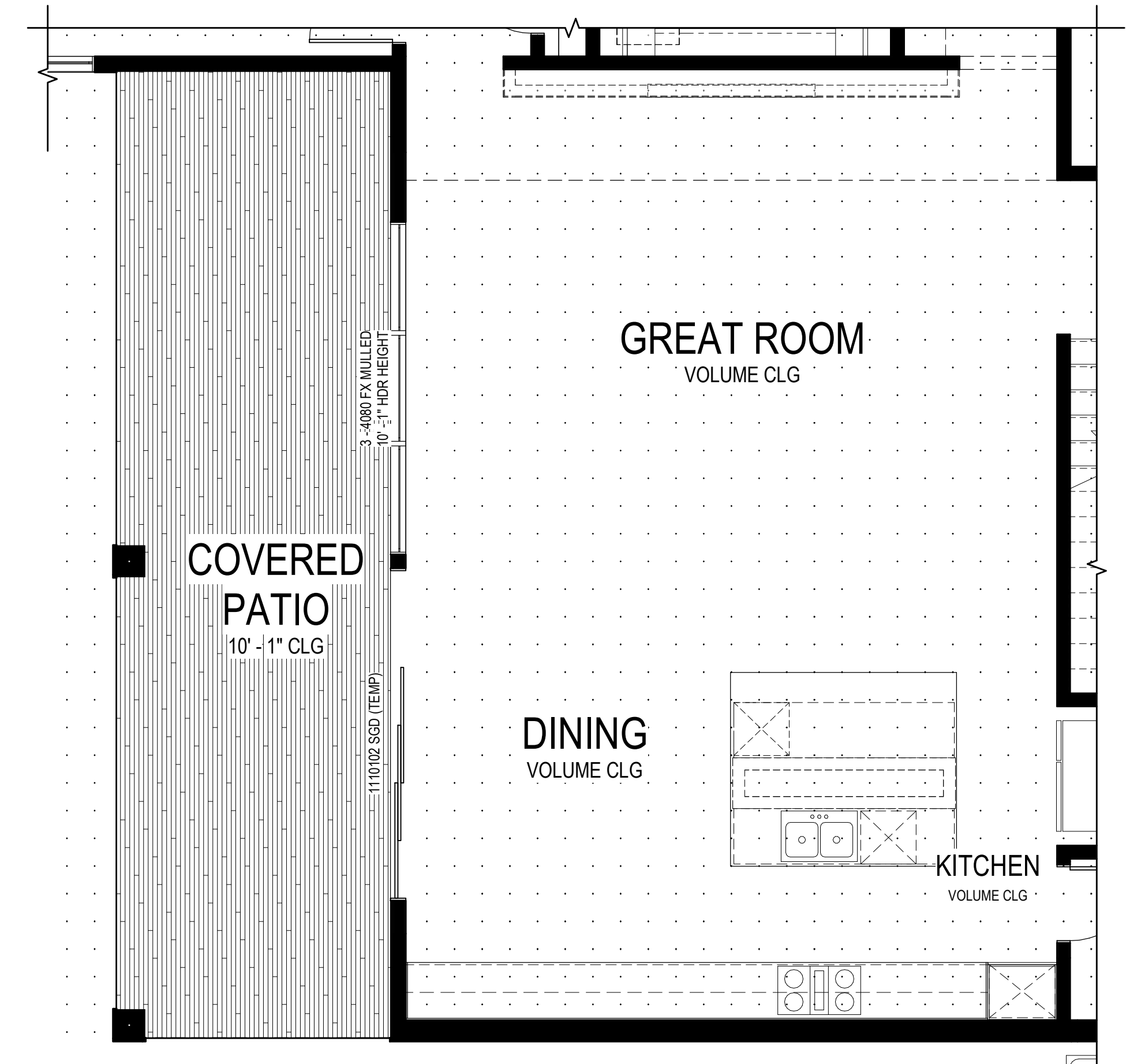
**Opt. 8' Side Garage Door
Partial Main Floor Plan**

SCALE: 1/4" = 1'-0"



**Opt. Multi-SGD
Partial Main Floor Plan**

SCALE: 1/4" = 1'-0"



**Opt. Clearview Ceiling
Partial Main Floor Plan**

SCALE: 1/4" = 1'-0"

SHAWOOD[®]

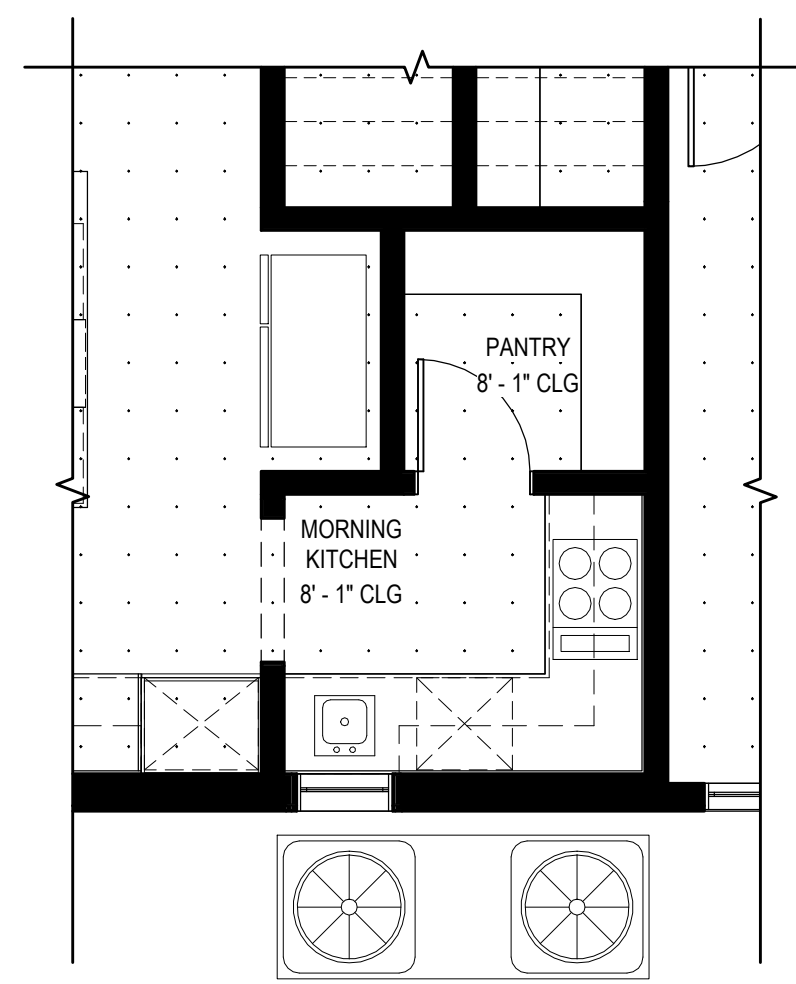
Folsom, California

Plan 8004

SHAWOOD AT BROADSTONE ESTATES

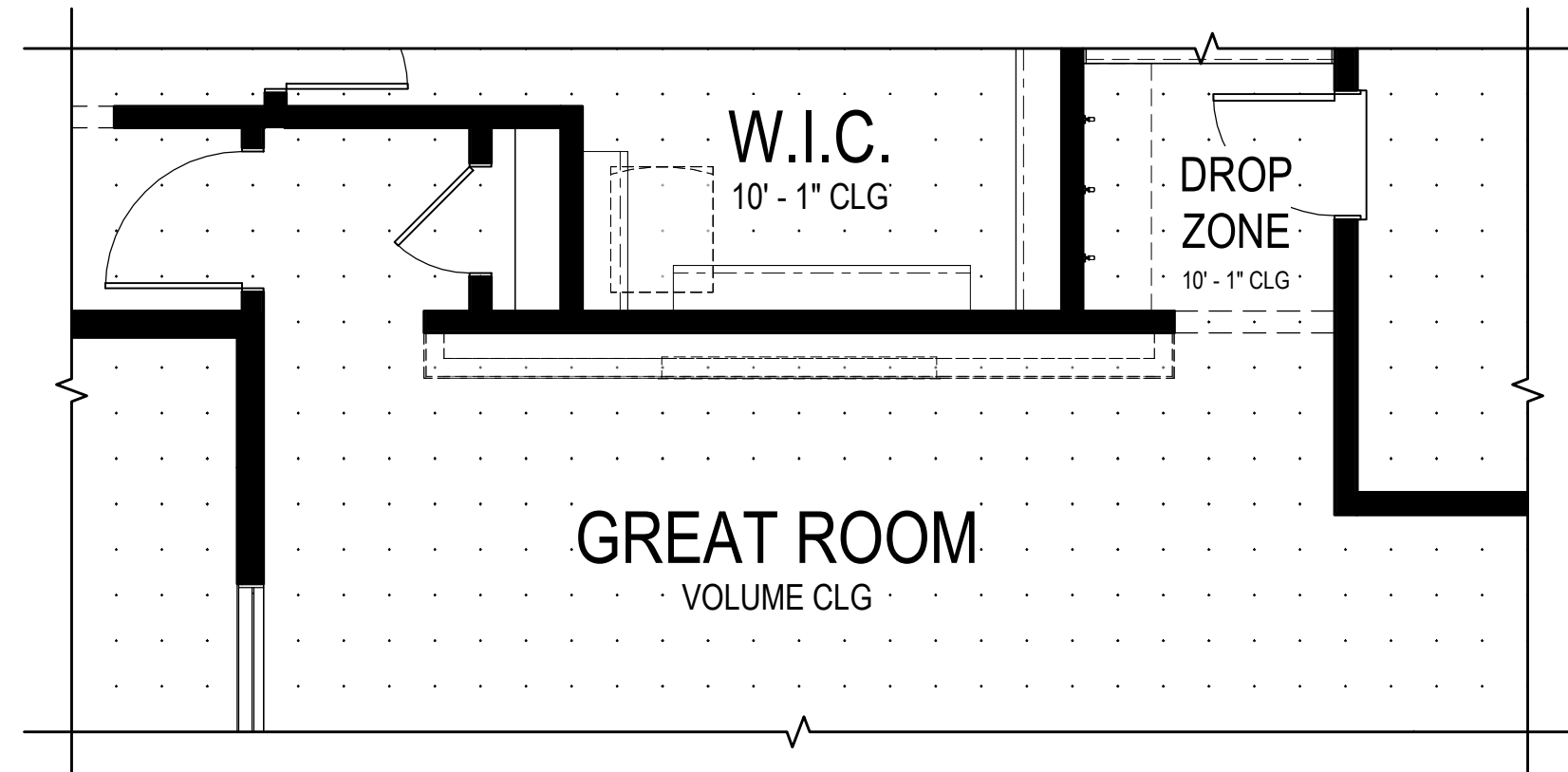
Folsom, California





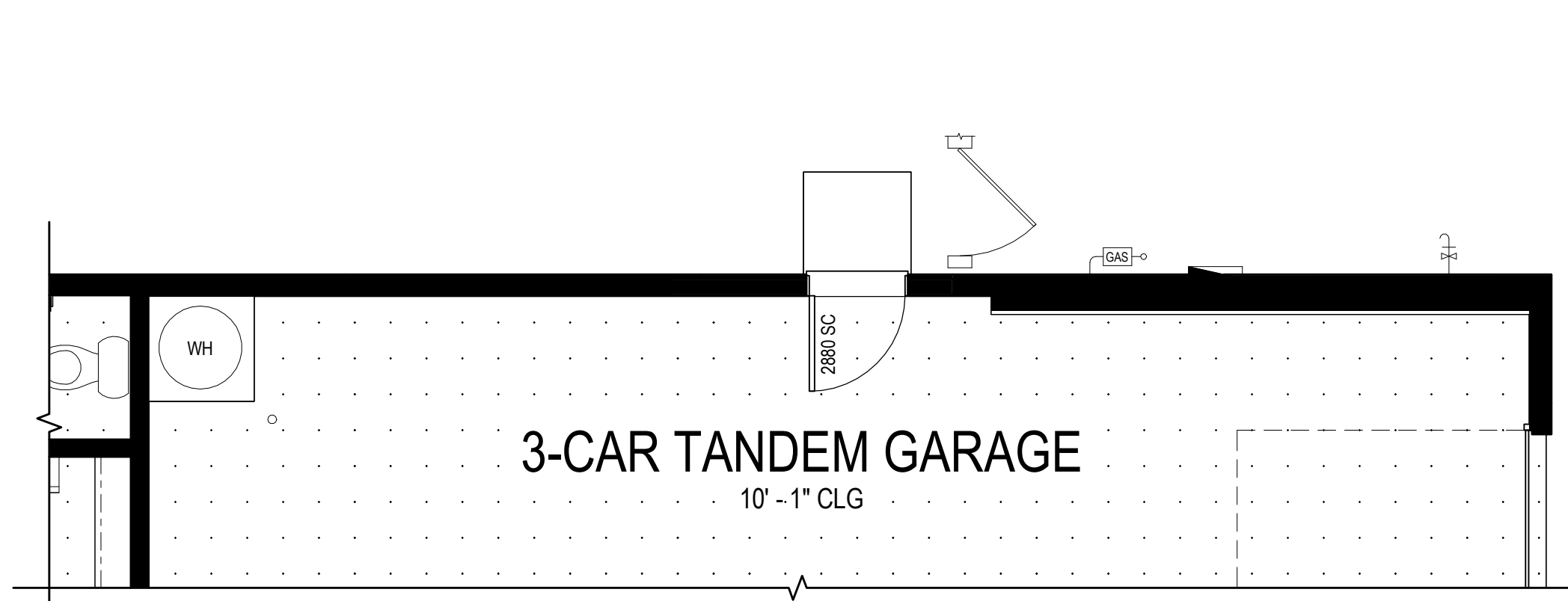
**Opt. Morning Kitchen
Partial Main Floor Plan**

SCALE: 1/4" = 1'-0"



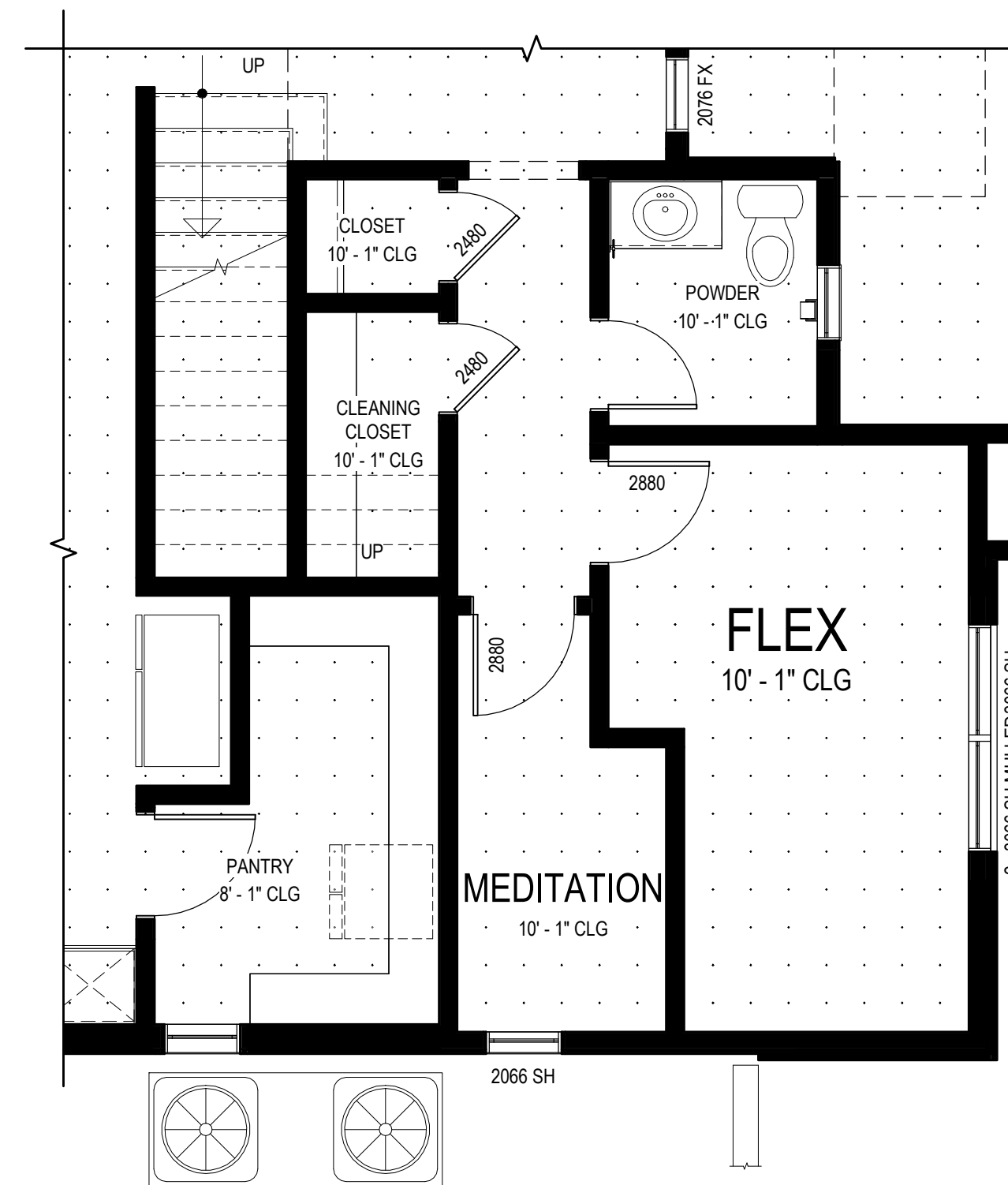
**Opt. Fireplace
Partial Main Floor Plan**

SCALE: 1/4" = 1'-0"



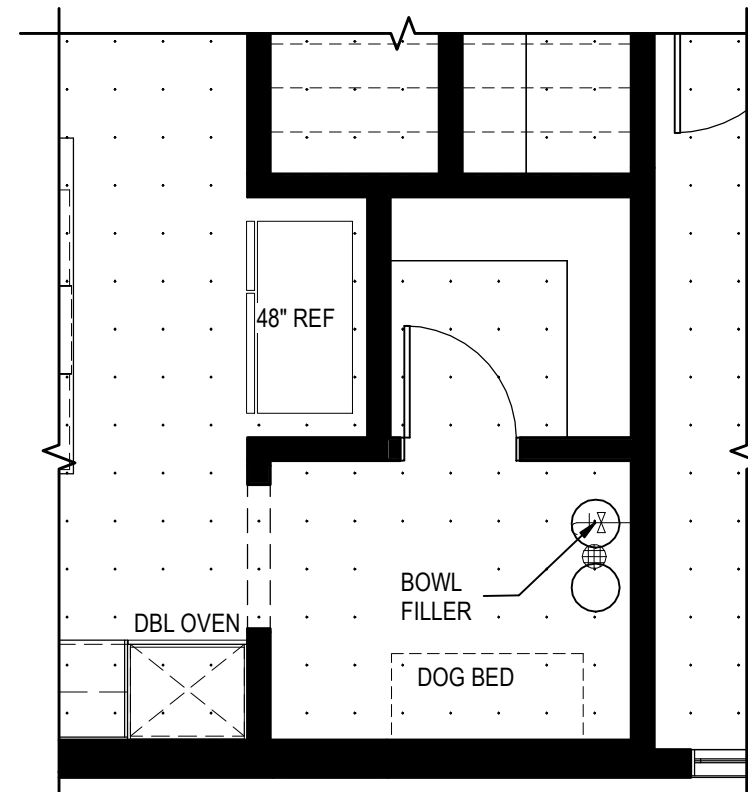
**Opt. Door at 3-Car Tandem Garage
Partial Main Floor Plan**

SCALE: 1/4" = 1'-0"



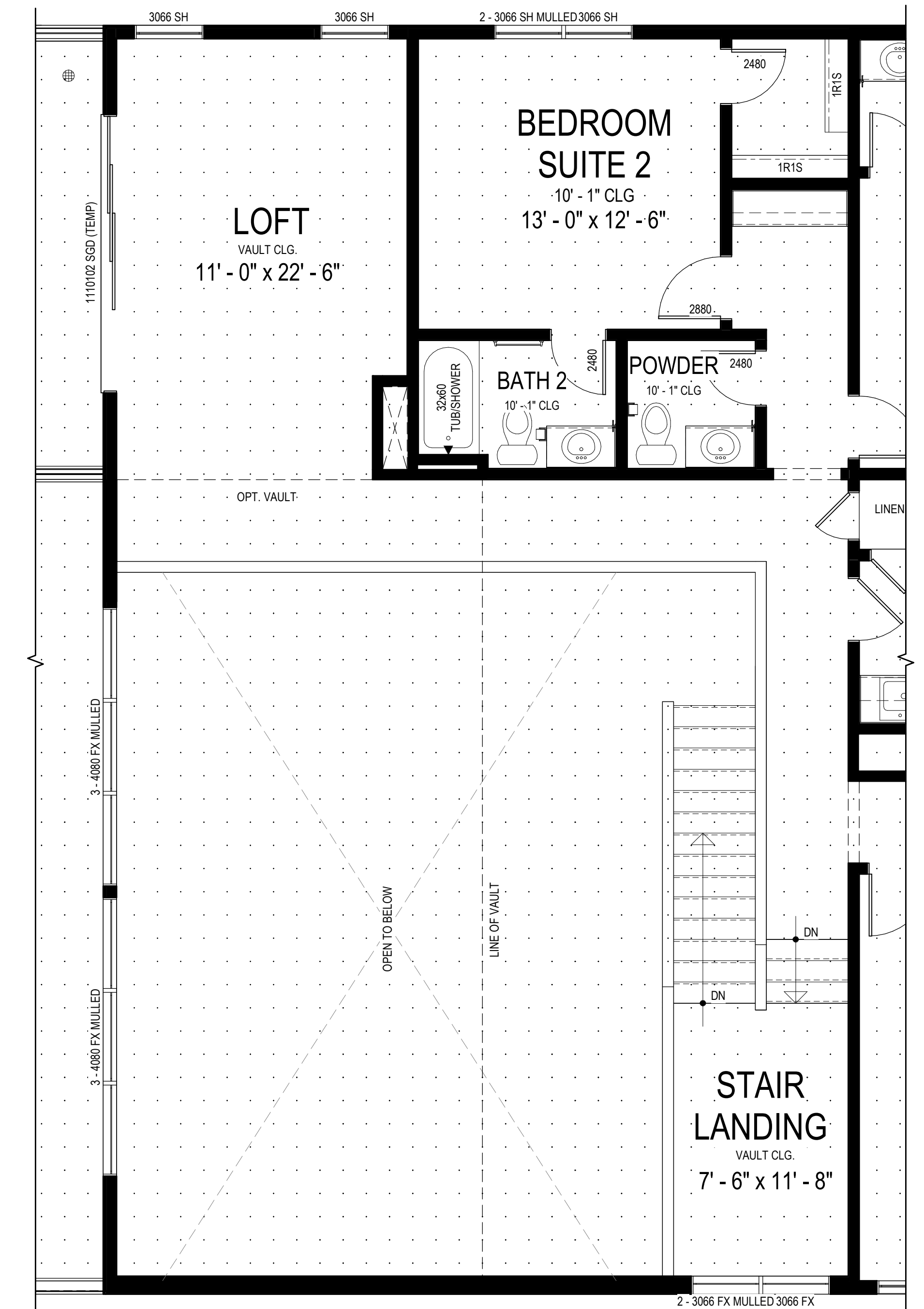
**Opt. Meditation & Flex
Partial Main Floor Plan**

SCALE: 1/4" = 1'-0"



**Opt. Pet Room
Partial Main Floor Plan**

SCALE: 1/4" = 1'-0"



**Opt. Vault Clg.
Partial Upper Floor Plan**

SCALE: 1/4" = 1'-0"

SHAWOOD[®]

Folsom, California

Plan 8004

SHAWOOD AT BROADSTONE ESTATES

Folsom, California



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0' 2' 4' 8'
SCALE : 3/16" = 1'-0"

RIGHT



0' 2' 4' 8'
SCALE : 3/16" = 1'-0"

REAR



0' 2' 4' 8'
SCALE : 3/16" = 1'-0"

LEFT



0' 2' 4' 8'
SCALE : 3/16" = 1'-0"

FRONT

SHAWOOD[®]
Folsom, California

- Enhancements Provided (Min. 3 Required)
- Colored window frames.
 - Overgrouted stone or brick as entire massing element.
 - Combination of Stone, Bellburn and Nichiha massing.
 - Use of control joints as an aesthetic element.

THE CALIFORNIA WINE COUNTRY
PLAN 8005 - ELEVATIONS

SHAWOOD AT BROADSTONE ESTATES
Folsom, California



0' 2' 4' 8'
SCALE : 3/16" = 1'-0"

RIGHT



0' 2' 4' 8'
SCALE : 3/16" = 1'-0"

REAR



0' 2' 4' 8'
SCALE : 3/16" = 1'-0"

LEFT



0' 2' 4' 8'
SCALE : 3/16" = 1'-0"

FRONT

SHAWOOD[®]
Folsom, California

Enhancements Provided (Min. 3 Required)

- Accent colored window frames.
- Style-specific unique lighting fixtures.
- 12"-18" overhangs.
- Cement plank lap siding (Bellburn i.l.o. horizontal emphasized lap siding).
- Massive stone piers.

THE CALIFORNIA PRAIRIE
PLAN 8005 - ELEVATIONS

SHAWOOD AT BROADSTONE ESTATES
Folsom, California





0' 2' 4' 8'
SCALE : 3/16" = 1'-0"

RIGHT



0' 2' 4' 8'
SCALE : 3/16" = 1'-0"

REAR



0' 2' 4' 8'
SCALE : 3/16" = 1'-0"

LEFT



0' 2' 4' 8'
SCALE : 3/16" = 1'-0"

FRONT

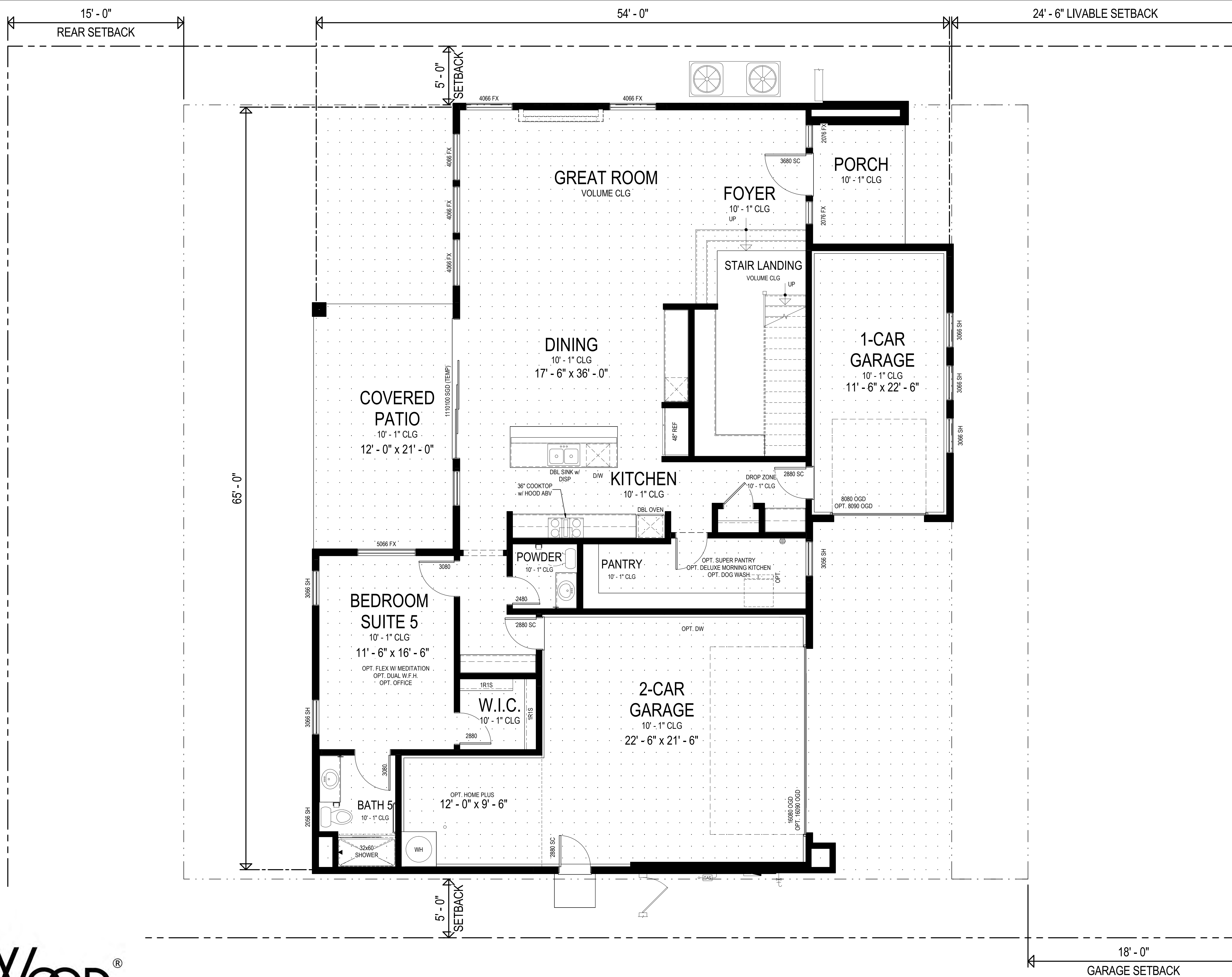
SHAWOOD[®]
Folsom, California

- Enhancements Provided (Min. 3 Required)**
- Accent colored window frames.
 - Flat Extended window awnings.
 - Mix of shed roof forms and flat roof accents.
 - Combination of Bellburn and Nichiha accent massing.
 - Combination of 2 to 3 grouped windows.
 - Use of control joints as an aesthetic element.

THE CALIFORNIA MODERN
PLAN 8005 - ELEVATIONS

SHAWOOD AT BROADSTONE ESTATES
Folsom, California





LOT COVERAGE CALCULATIONS			
LOT SIZE: 9,583 SQUARE FEET	PROPOSED	ALLOWABLE	3-SIDED PATIO ALLOWABLE
LOT COVERAGE	2,945 SQUARE FEET (30.7%)	4,792 SQUARE FEET (50.0%)	5,750 SQUARE FEET (60.0%)
<small>LAND AREA COVERED BY ALL STRUCTURES THAT ARE OVER 6 FEET IN HEIGHT</small>			

ELEVATION A	
MAIN FLOOR LIVABLE	1692 SF
UPPER FLOOR LIVABLE	2248 SF
LIVABLE	3940 SF
2-CAR GARAGE	631 SF
COVERED PATIO	252 SF
PORCH	96 SF
1-CAR GARAGE	281 SF
COVERED DECK	252 SF
NON-LIVABLE	1512 SF
ELEVATION A	5452 SF

SHAWOOD[®]

Folsom, California

Elevation A - The California Wine Country Main Floor Plan

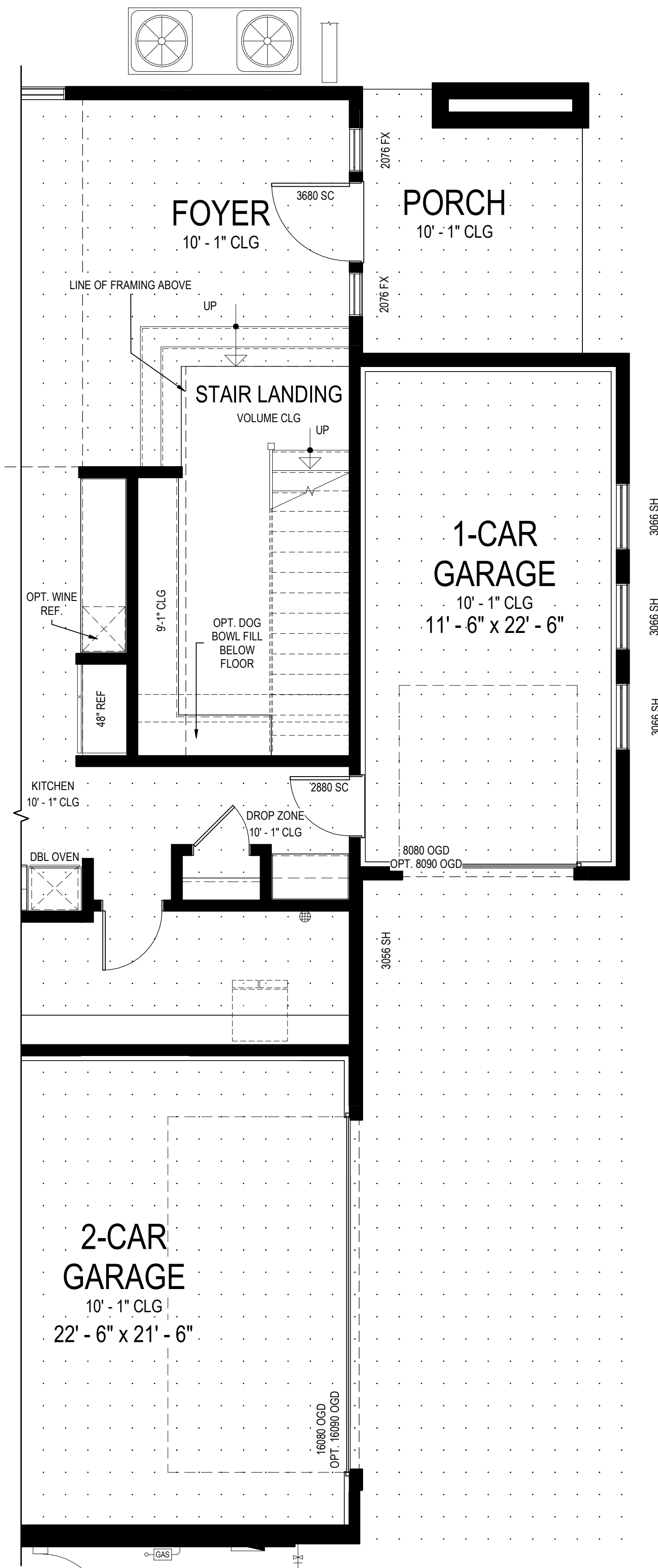
SCALE: 1/4" = 1'-0"

Plan 8005

SHAWOOD AT BROADSTONE ESTATES

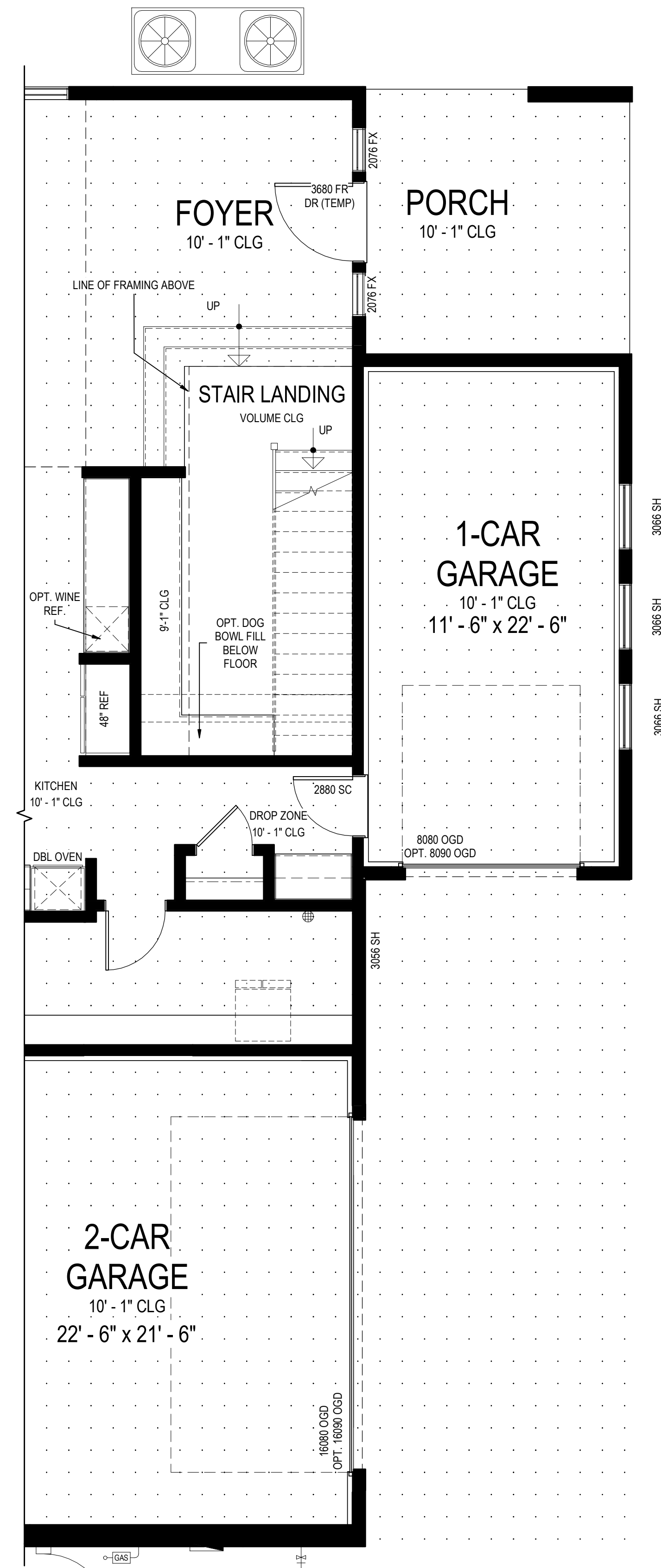
Folsom, California





**Elevation C - California Prairie
Partial Main Floor Plan**

SCALE: 1/4" = 1'-0"



**Elevation D - Modern
Partial Main Floor Plan**

SCALE: 1/4" = 1'-0"

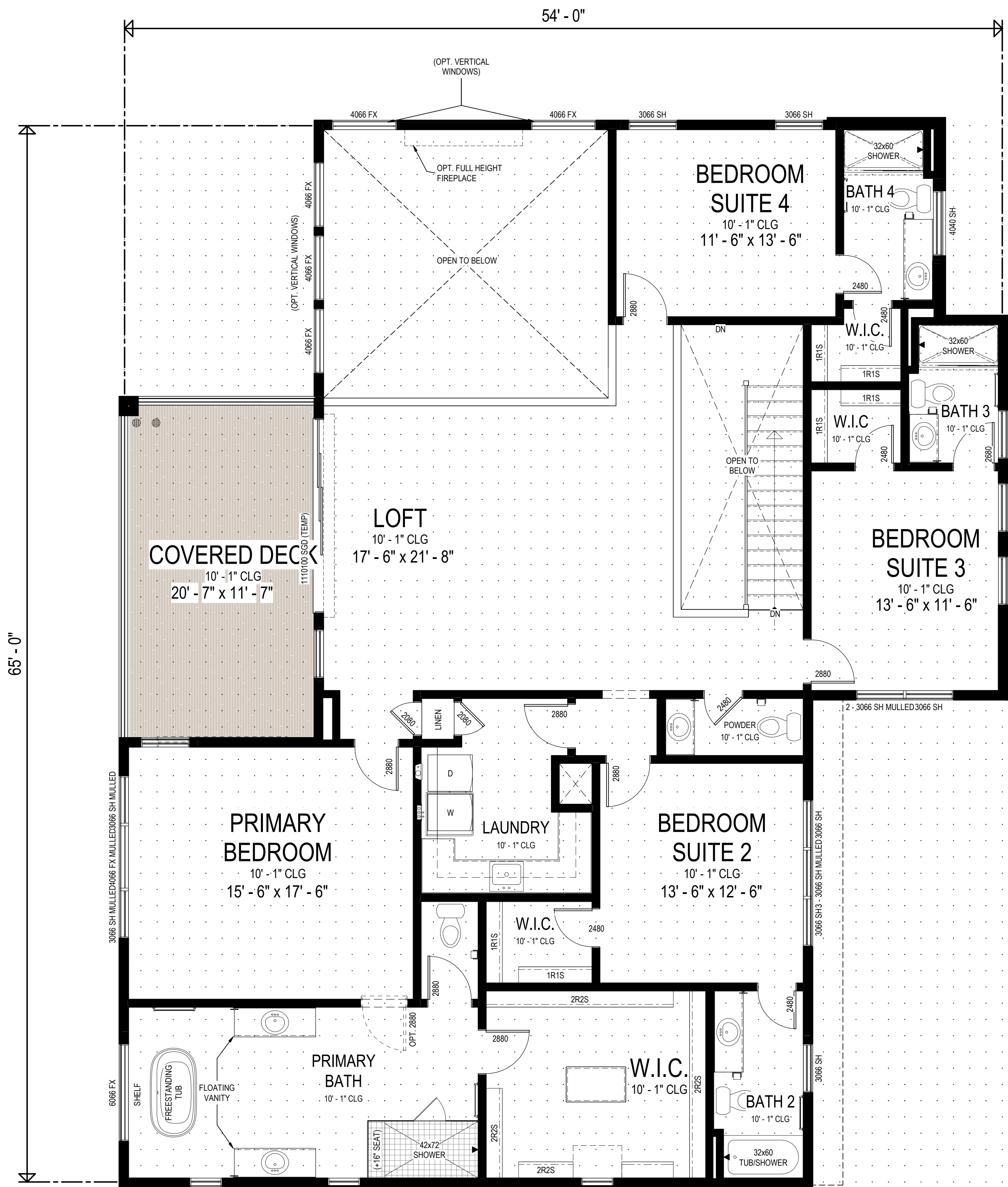
SHAWOOD[®]

Folsom, California

Plan 8005

SHAWOOD AT BROADSTONE ESTATES

Folsom, California



ELEVATION A	
MAIN FLOOR LIVABLE	1692 SF
UPPER FLOOR LIVABLE	2248 SF
LIVABLE	3940 SF
2-CAR GARAGE	631 SF
COVERED PATIO	252 SF
PORCH	96 SF
1-CAR GARAGE	281 SF
COVERED DECK	252 SF
NON-LIVABLE	1512 SF
ELEVATION A	5452 SF

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Folsom, California

**Elevation A - The California Wine Country
Upper Floor Plan**

SCALE: 1/4" = 1'-0"

Plan 8005

SHAWOOD AT BROADSTONE ESTATES

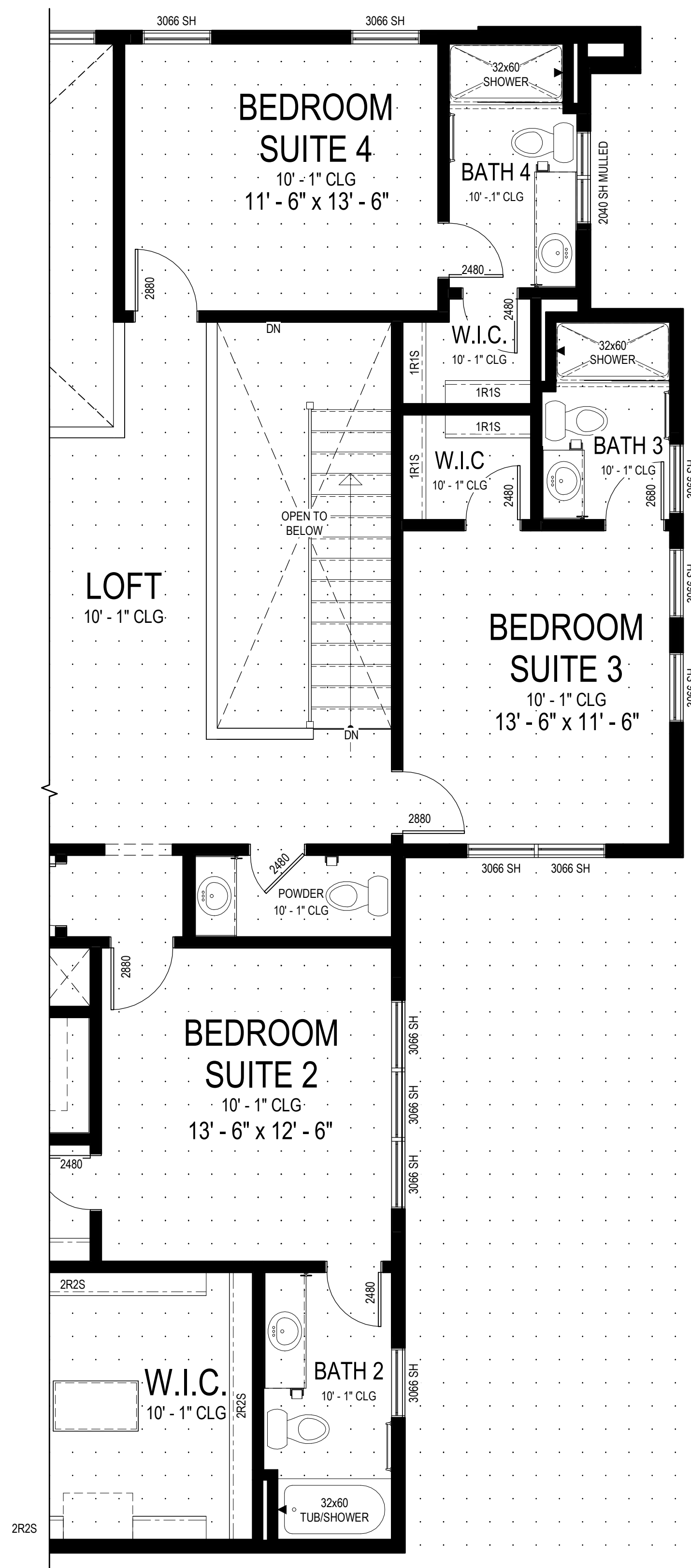
Folsom, California



A3.6

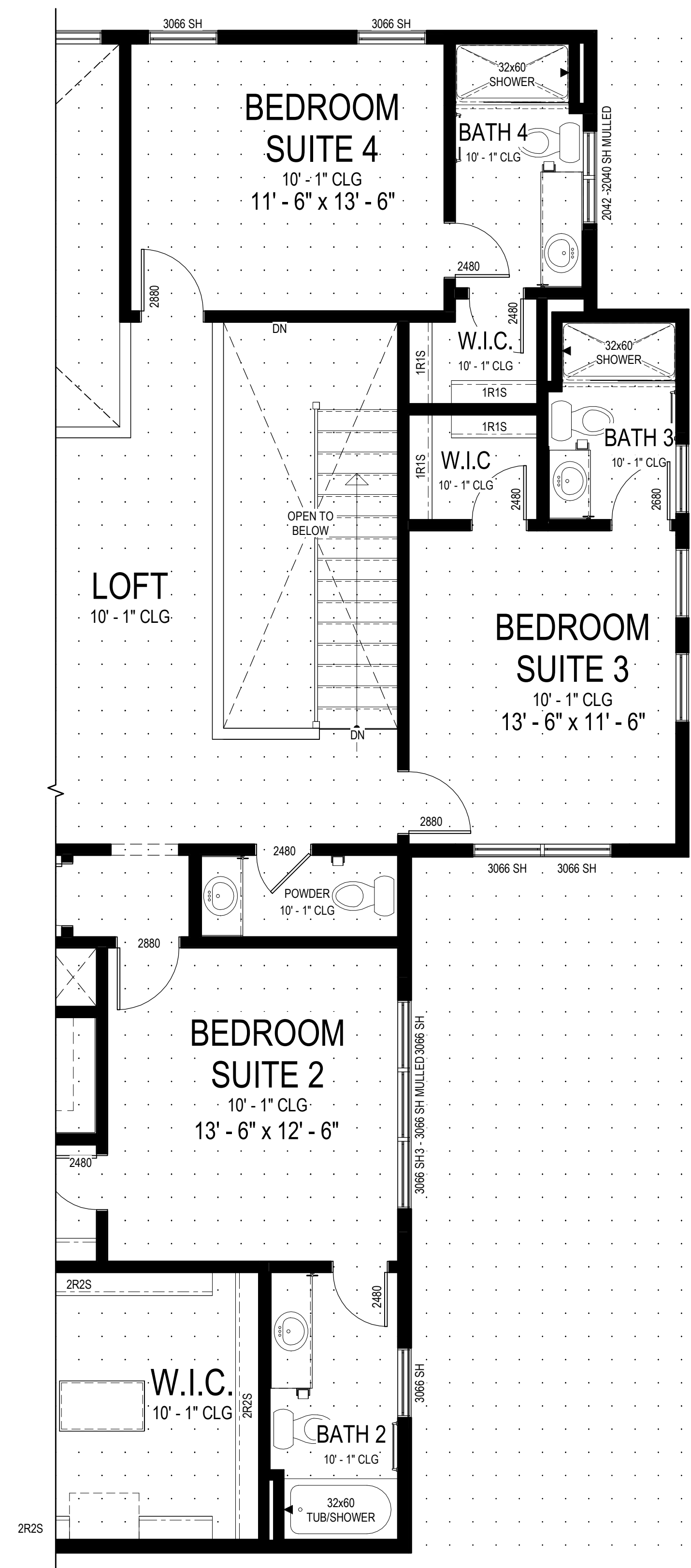
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February 2, 2024 | SF230312.00



**Elevation C - The California Prairie
Partial Upper Floor Plan**

SCALE: 1/4" = 1'-0"



**Elevation D - Modern
Partial Upper Floor Plan**

SCALE: 1/4" = 1'-0"

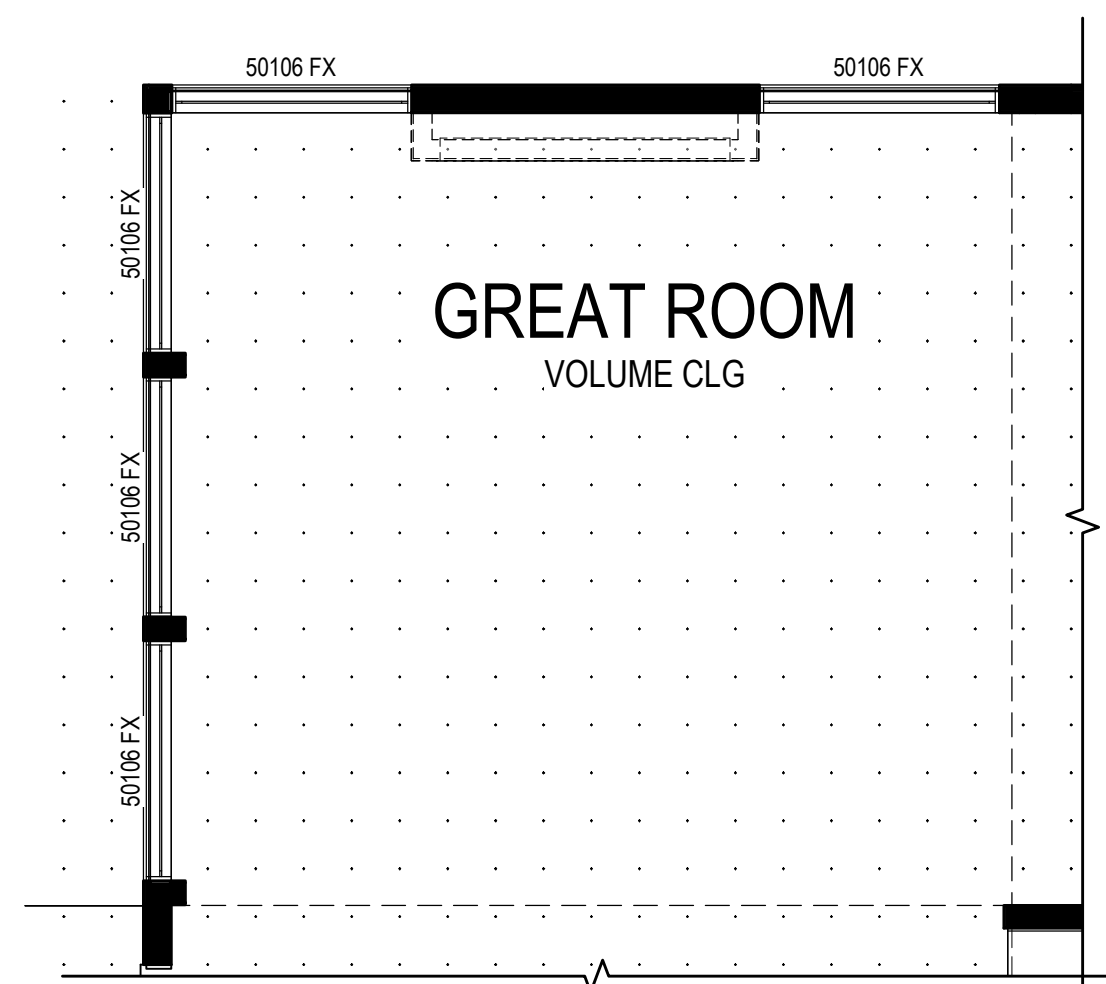
SHAWOOD[®]

Folsom, California

Plan 8005

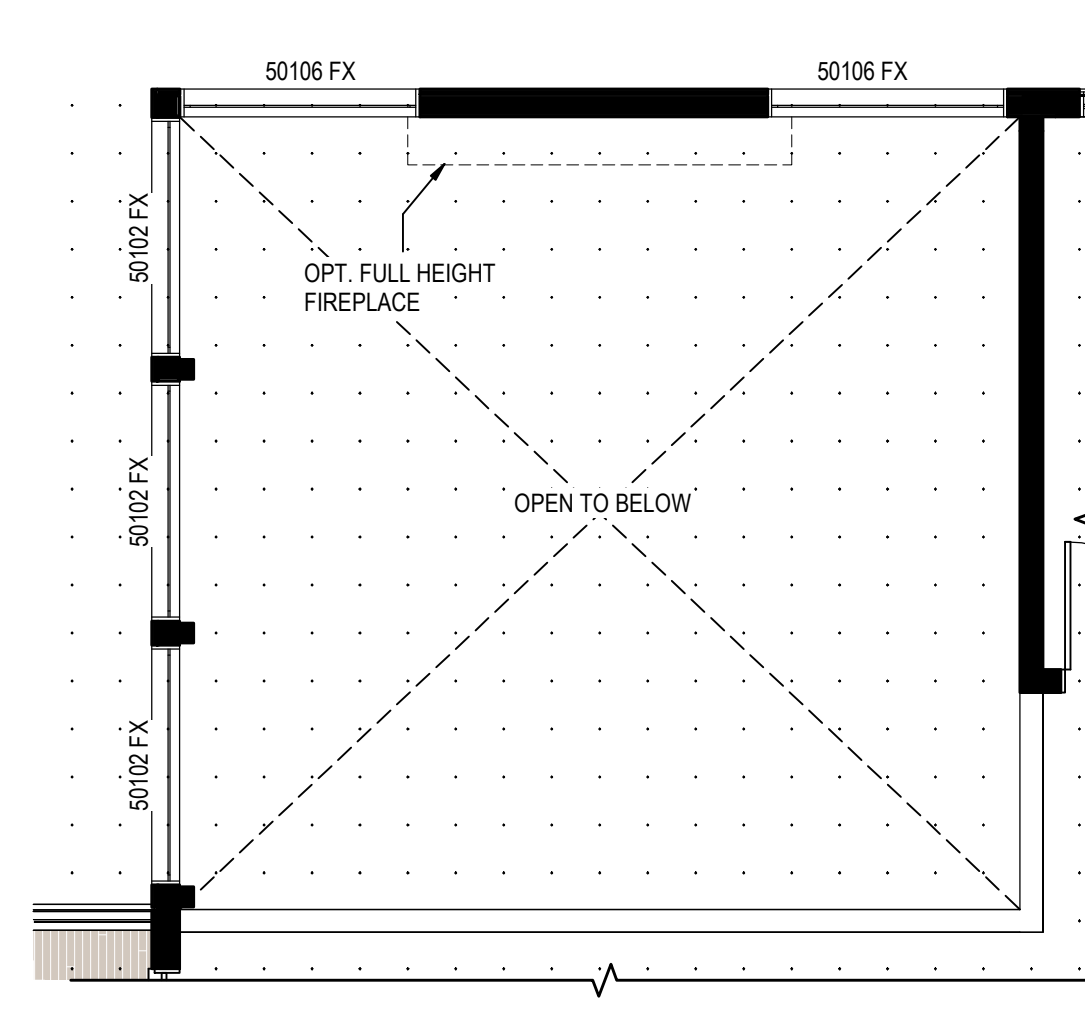
SHAWOOD AT BROADSTONE ESTATES

Folsom, California



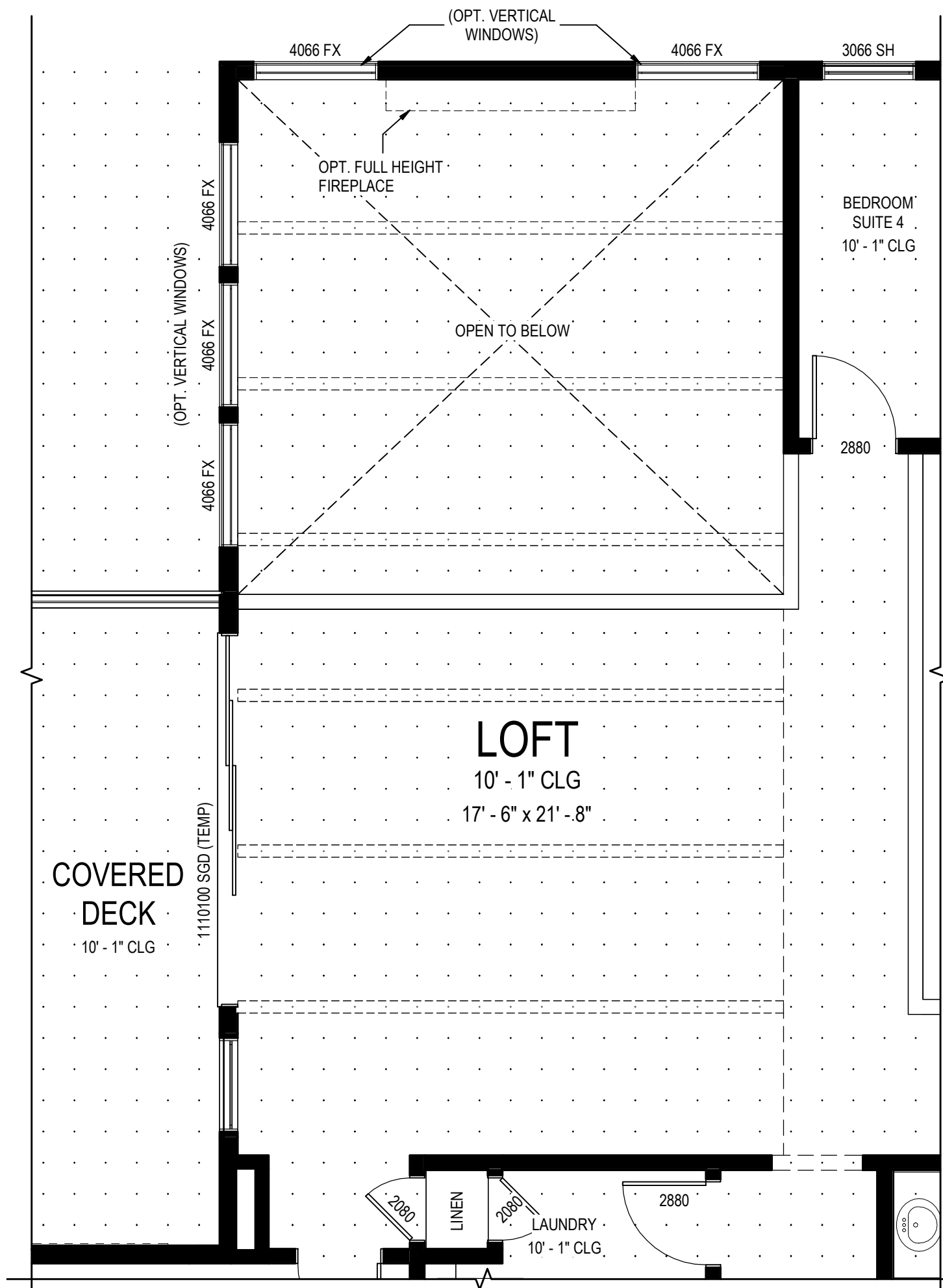
**Opt. Vertical Windows
Partial Main Floor Plan**

SCALE: 1/4" = 1'-0"



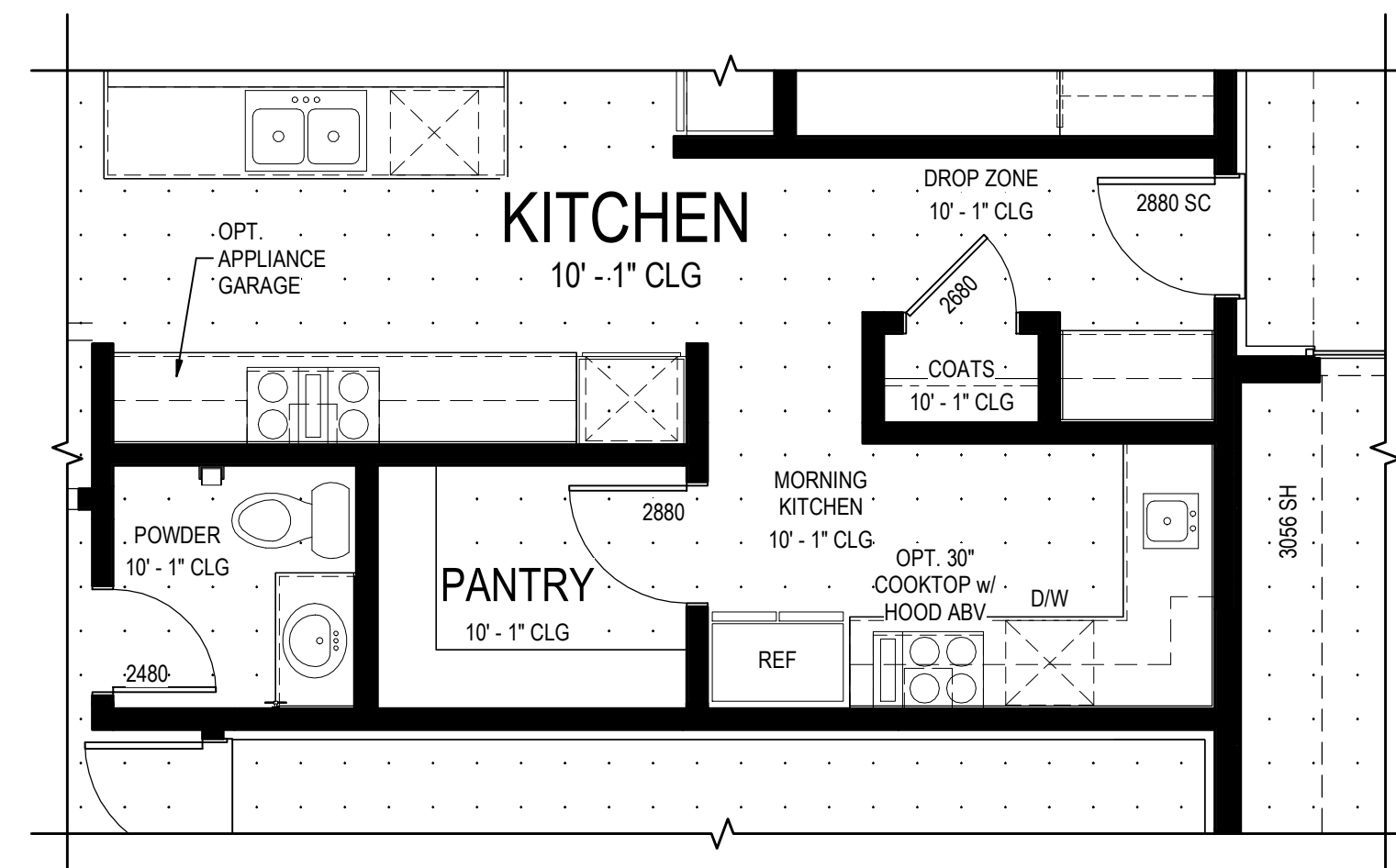
Partial Upper Floor Plan

SCALE: 1/4" = 1'-0"



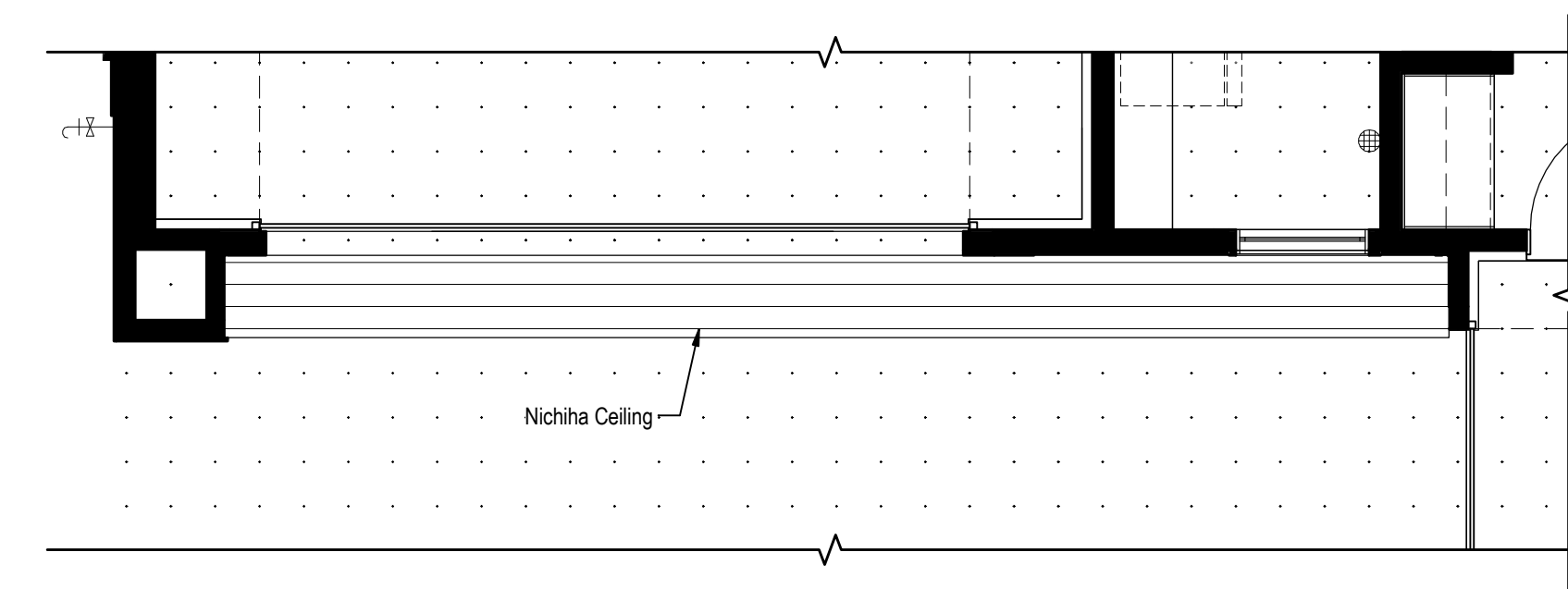
**Opt. Exposed Beams
Partial Upper Floor Plan**

SCALE: 1/4" = 1'-0"



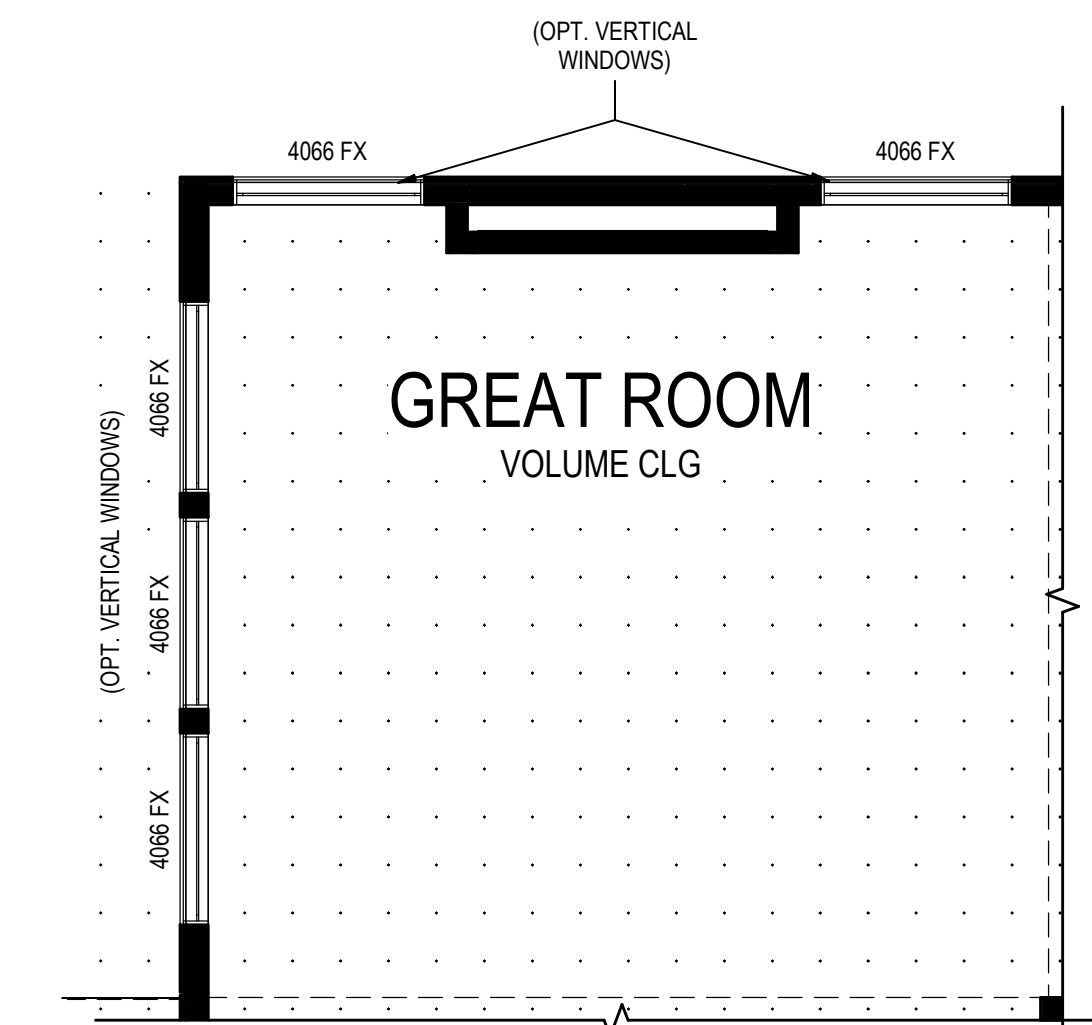
**Opt. Morning Kitchen
Partial Main Floor Plan**

SCALE: 1/4" = 1'-0"



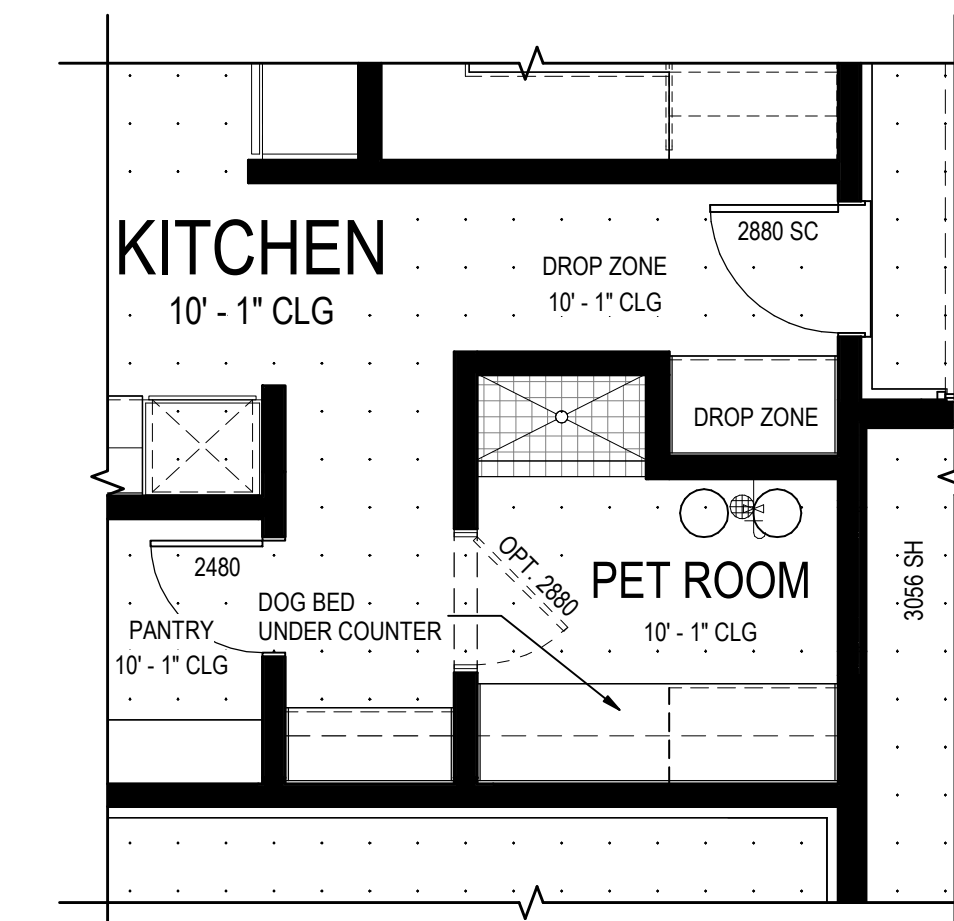
**Opt. Nichiha Ceiling
Partial Main Floor Plan**

SCALE: 1/4" = 1'-0"



**Opt. Fireplace
Partial Main Floor Plan**

SCALE: 1/4" = 1'-0"



**Opt. Pet Room
Partial Main Floor Plan**

SCALE: 1/4" = 1'-0"

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Folsom, California

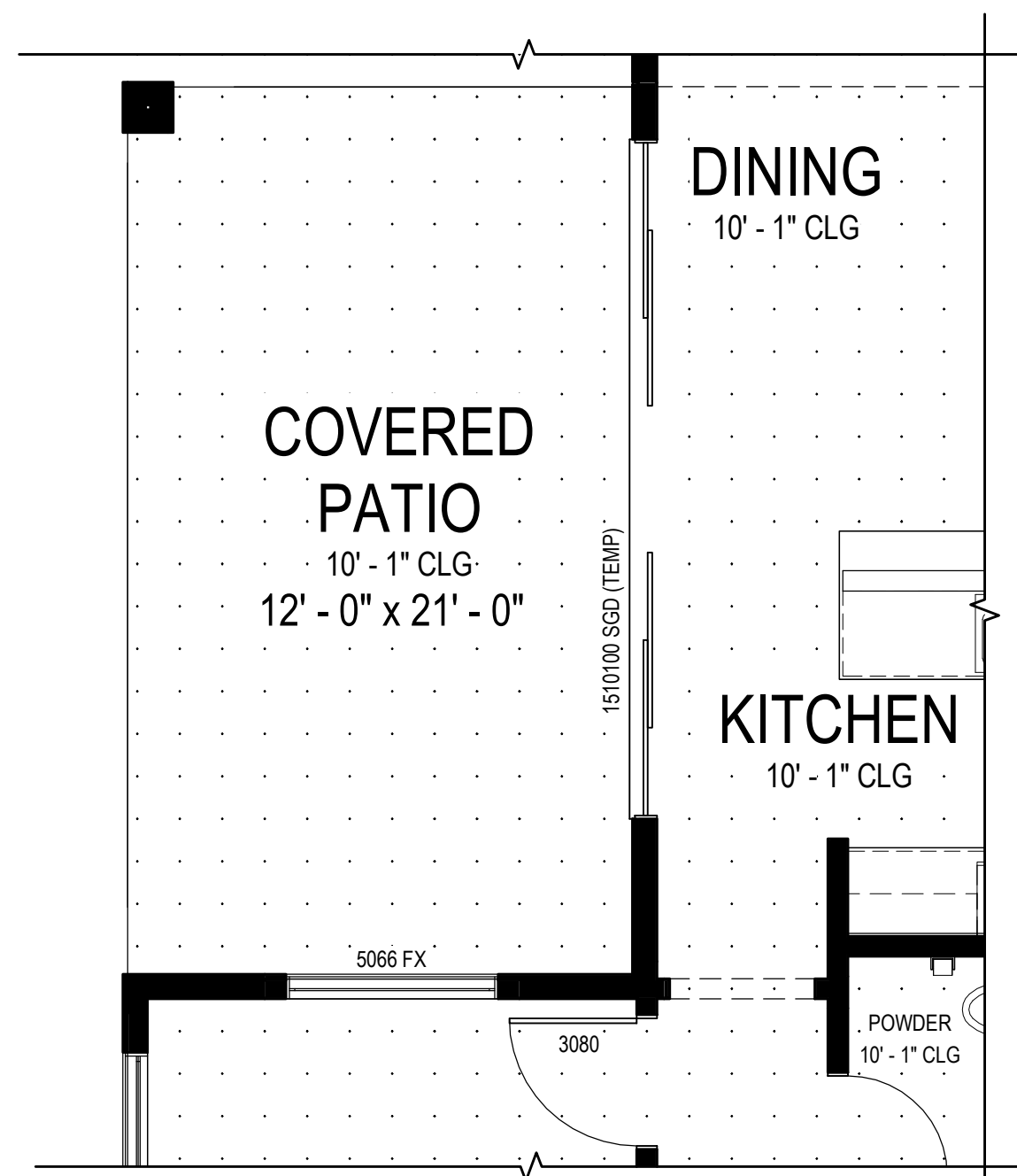
Plan 8005

SHAWOOD AT BROADSTONE ESTATES

Folsom, California

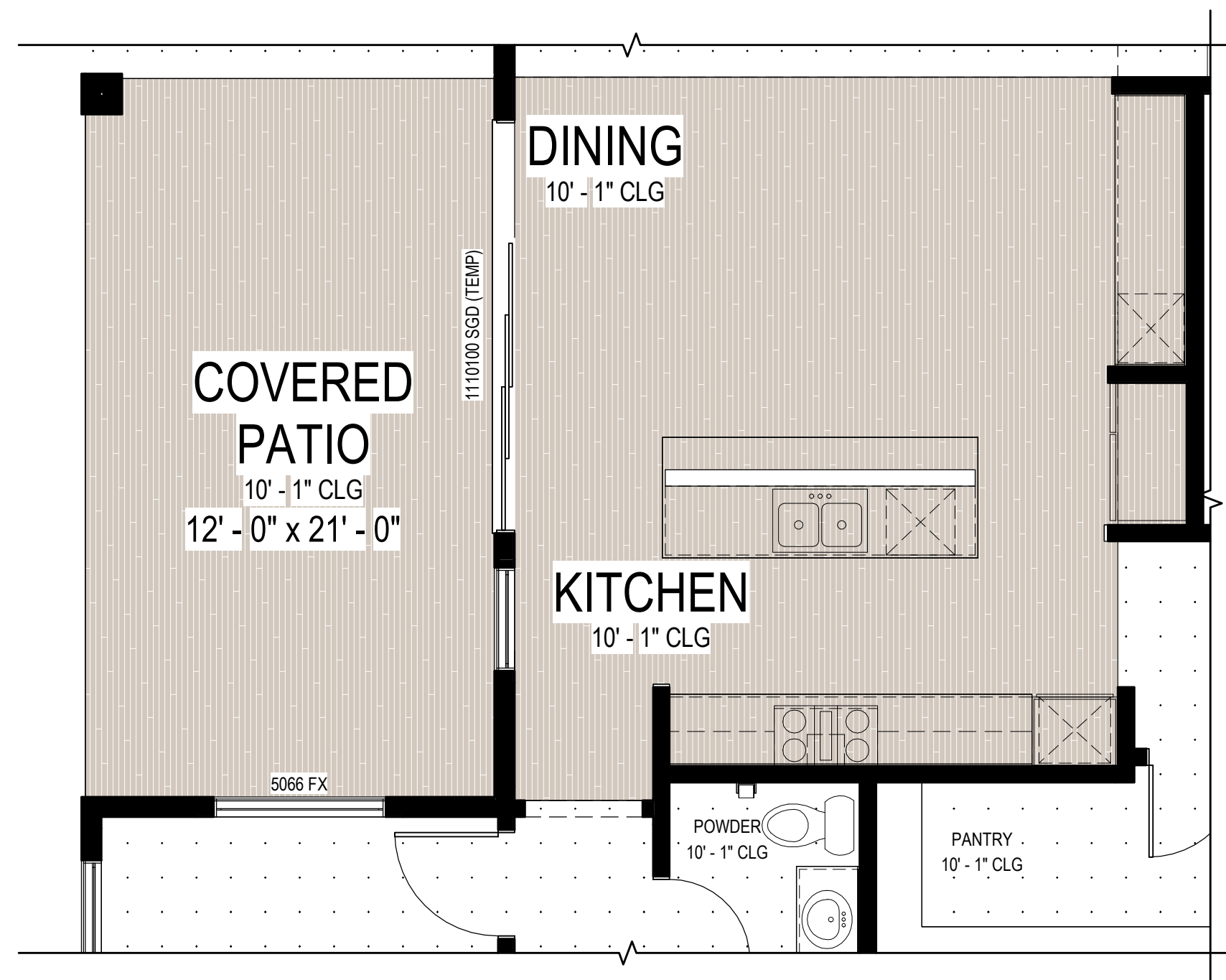


BSB
DESIGN
BSBDESIGN.COM



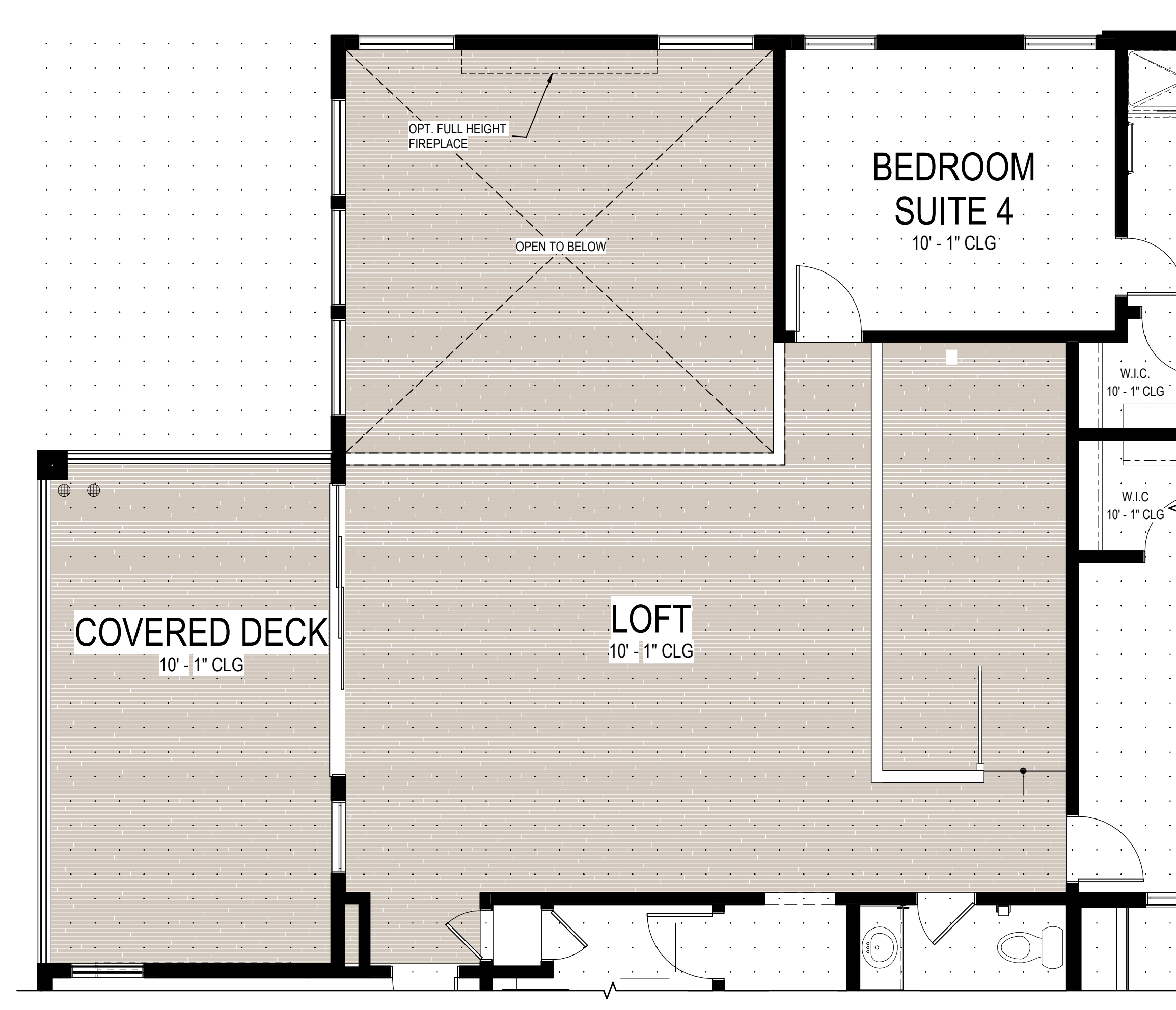
**Opt. Multi-SGD
Partial Main Floor**

SCALE: 1/4" = 1'-0"



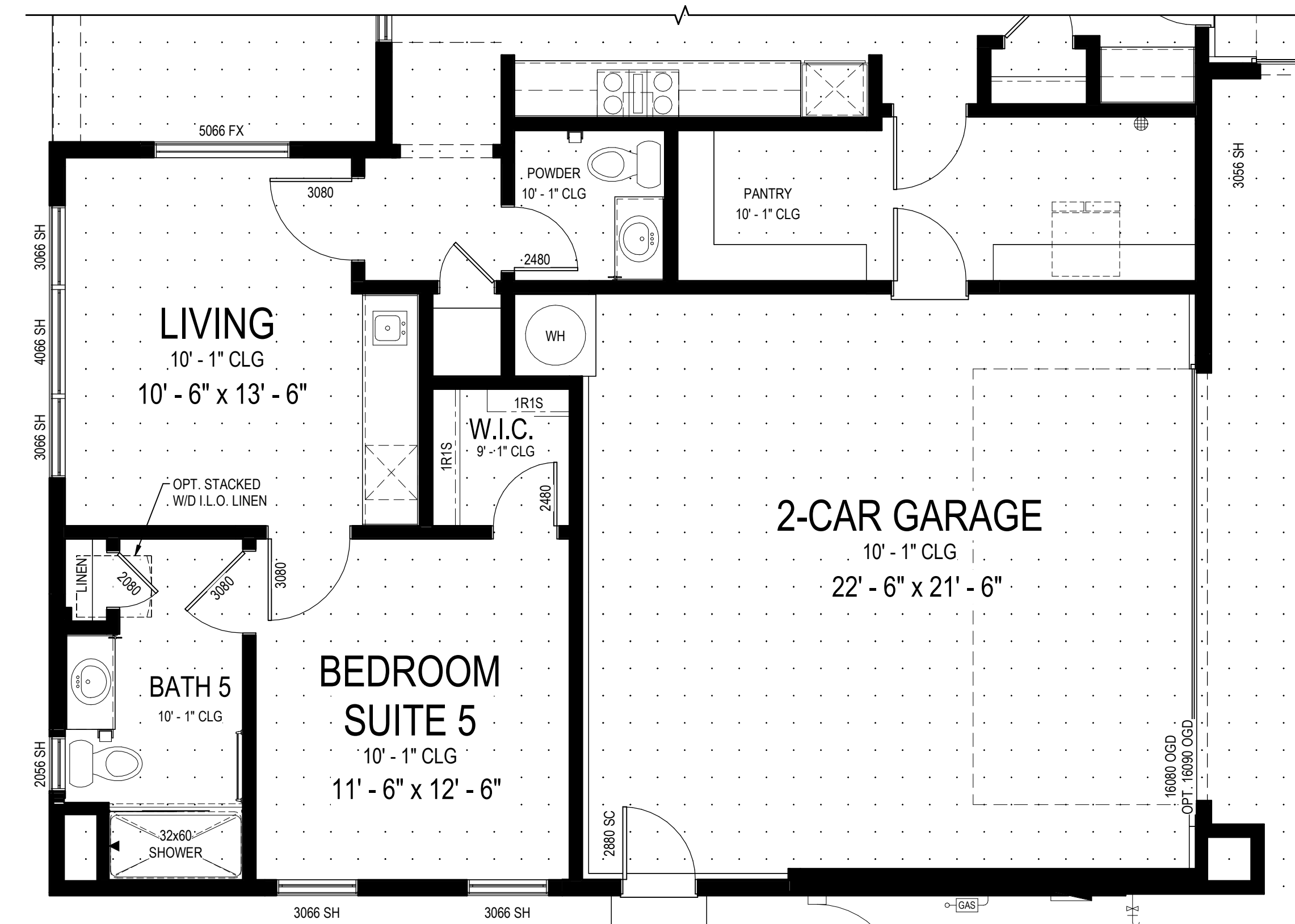
**Opt. Clearview Ceiling
Partial Main Floor Plan**

SCALE: 1/4" = 1'-0"



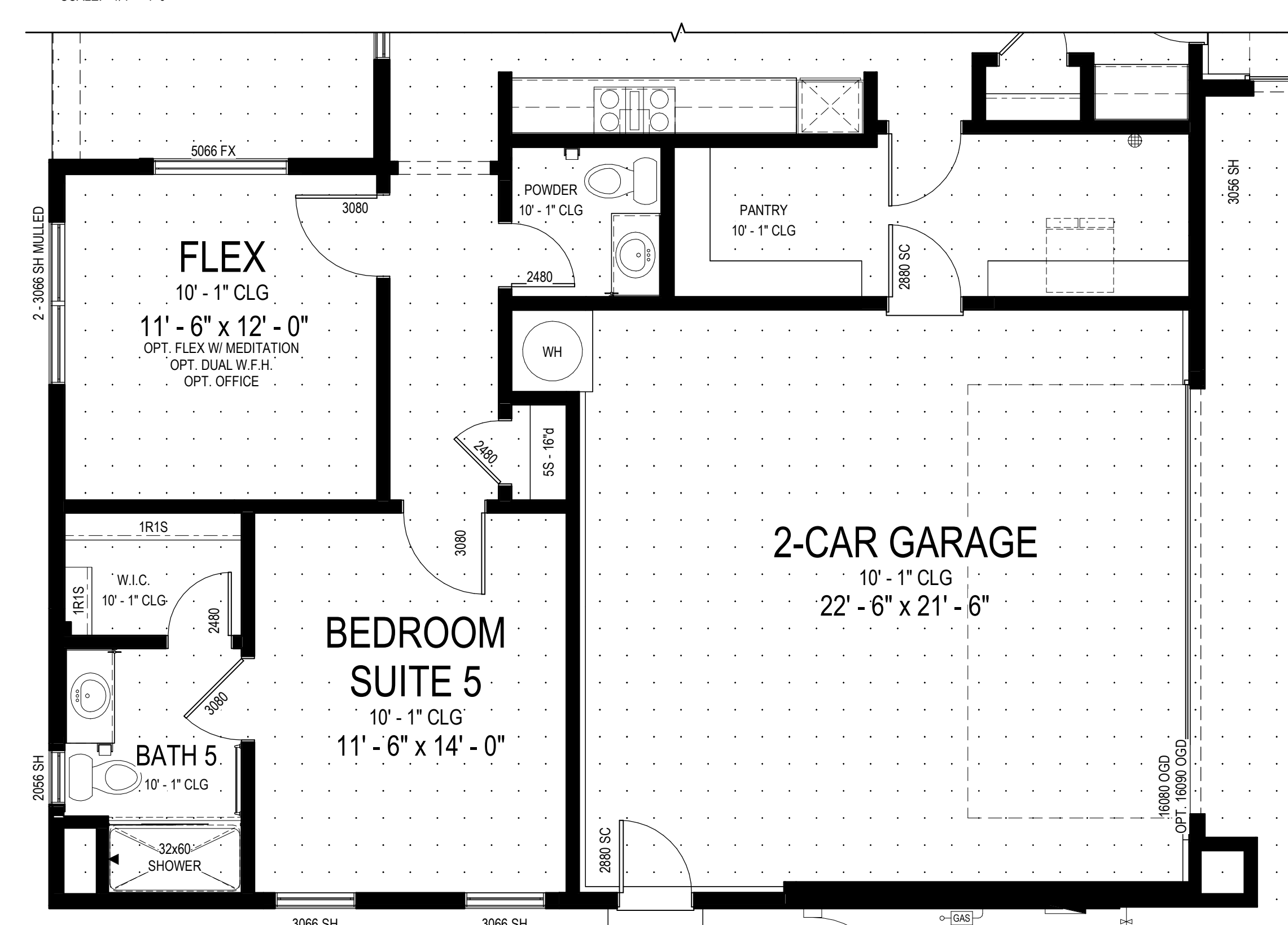
**Opt. Clearview Ceiling
Partial Upper Floor Plan**

SCALE: 1/4" = 1'-0"



**Opt. Home Plus I.L.O. Tandem + 115 S.F.
Partial Main Floor Plan**

SCALE: 1/4" = 1'-0"



**Opt. Flex I.L.O. Tandem + 115 S.F.
Partial Main Floor Plan**

SCALE: 1/4" = 1'-0"

SHAWOOD[®]

Folsom, California

Plan 8005

SHAWOOD AT BROADSTONE ESTATES

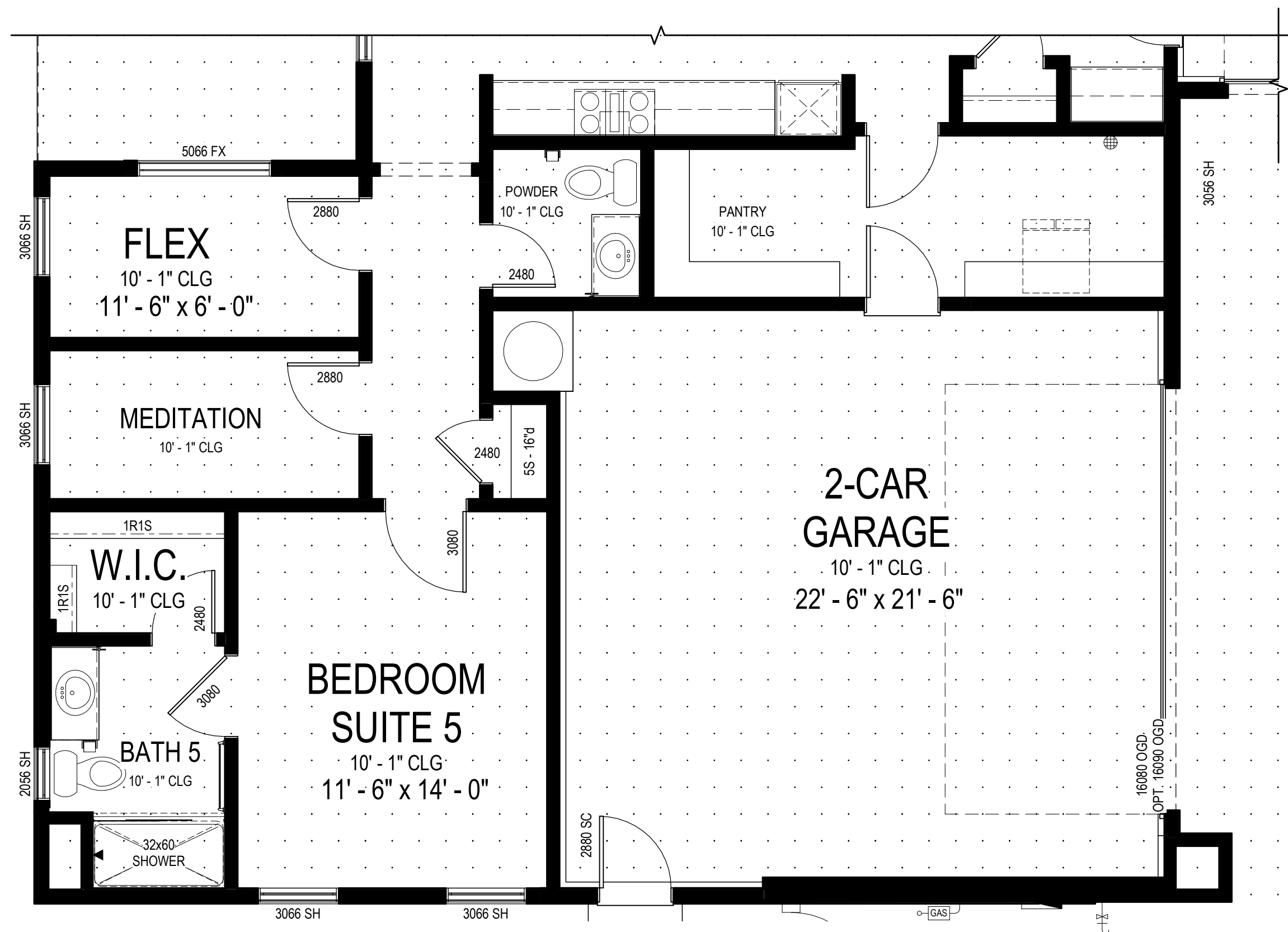
Folsom, California



A3.9

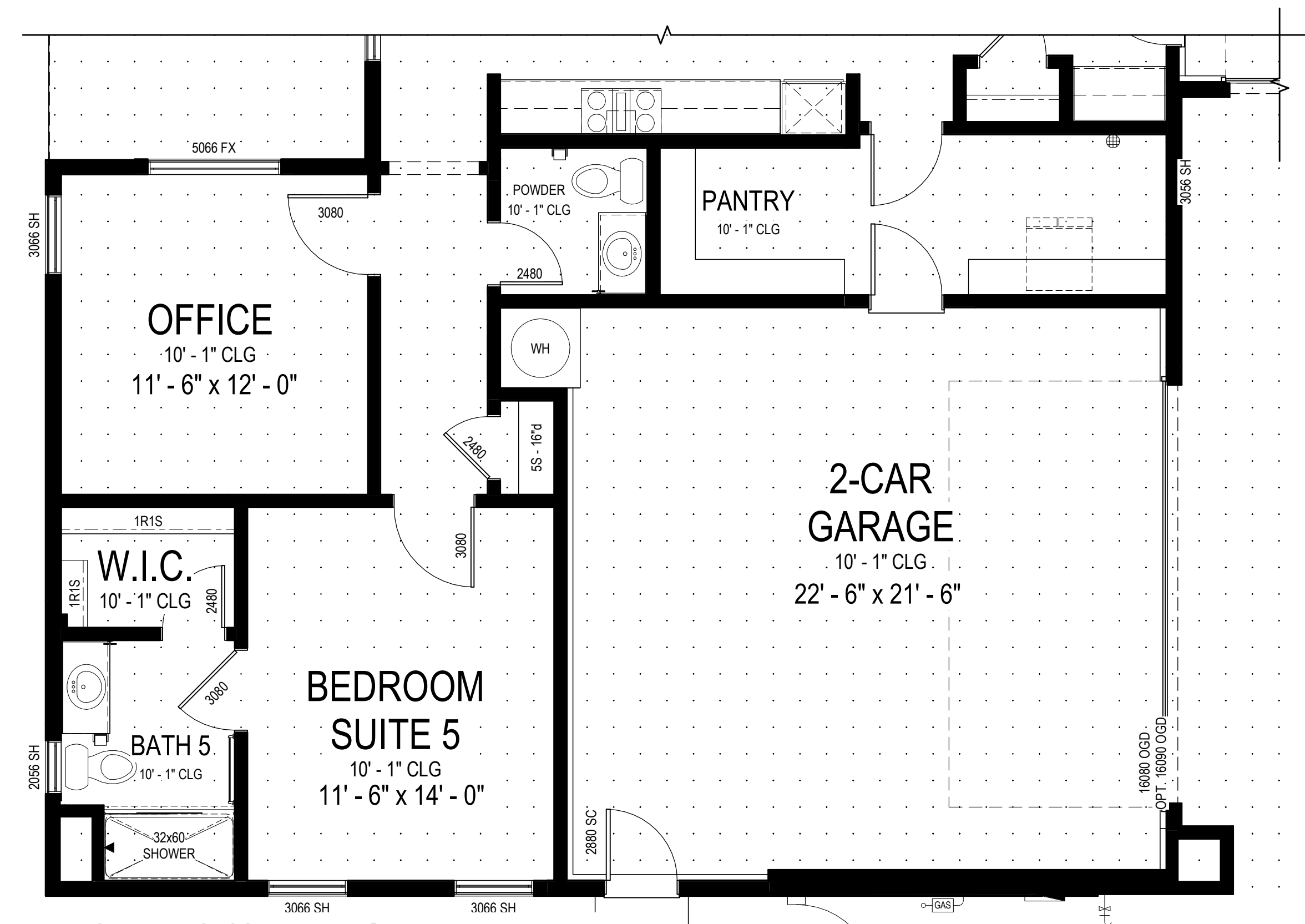
February 2, 2024 | SF230312.00

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Opt. Flex w/ Meditation w/ Bedroom 5
I.L.O. Tandem + 115 S.F.
Partial Main Floor Plan

SCALE: 1/4" = 1'-0"



Opt. Office w/ Bedroom 5
I.L.O. Tandem + 115 S.F.
Partial Main Floor Plan

SCALE: 1/4" = 1'-0"

SHAWOOD[®]

Folsom, California

Plan 8005

SHAWOOD AT BROADSTONE ESTATES

Folsom, California



0' 2' 4' 8'
SCALE : 3/16" = 1'-0"

RIGHT



0' 2' 4' 8'
SCALE : 3/16" = 1'-0"

REAR



0' 2' 4' 8'
SCALE : 3/16" = 1'-0"

LEFT



0' 2' 4' 8'
SCALE : 3/16" = 1'-0"

FRONT

SHAWOOD[®]
Folsom, California

- Enhancements Provided (Min. 3 Required)
- Cross-gabled massing.
 - 18" to 36" overhangs.
 - Three or more windows in a "ribbon".
 - Wide wood entry door with integrated glass.
 - Divided light windows.

THE CALIFORNIA CRAFTSMAN
PLAN 8006 - ELEVATIONS

SHAWOOD AT BROADSTONE ESTATES
Folsom, California





0' 2' 4' 8'
SCALE : 3/16" = 1'-0"

RIGHT



0' 2' 4' 8'
SCALE : 3/16" = 1'-0"

REAR



0' 2' 4' 8'
SCALE : 3/16" = 1'-0"

LEFT



0' 2' 4' 8'
SCALE : 3/16" = 1'-0"

FRONT

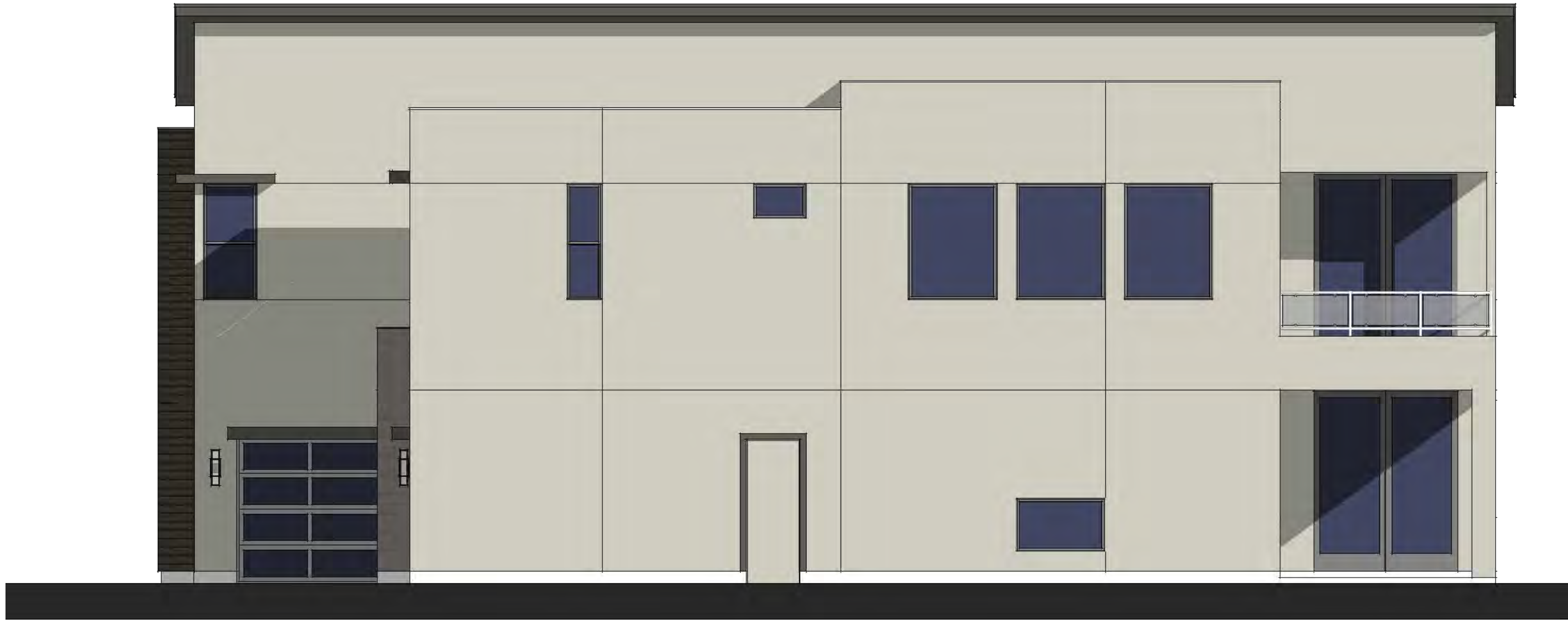
SHAWOOD[®]
Folsom, California

- Enhancements Provided (Min. 3 Required)
- Accent colored window frames.
 - Style-specific unique lighting fixtures.
 - 12"-18" overhangs.
 - Cement plank lap siding (Bellburn i.l.o. horizontal emphasized lap siding).
 - Massive stone piers.

THE CALIFORNIA PRAIRIE
PLAN 8006 - ELEVATIONS

SHAWOOD AT BROADSTONE ESTATES
Folsom, California





0' 2' 4' 8'
SCALE : 3/16" = 1'-0"

RIGHT



0' 2' 4' 8'
SCALE : 3/16" = 1'-0"

REAR



0' 2' 4' 8'
SCALE : 3/16" = 1'-0"

LEFT



0' 2' 4' 8'
SCALE : 3/16" = 1'-0"

FRONT

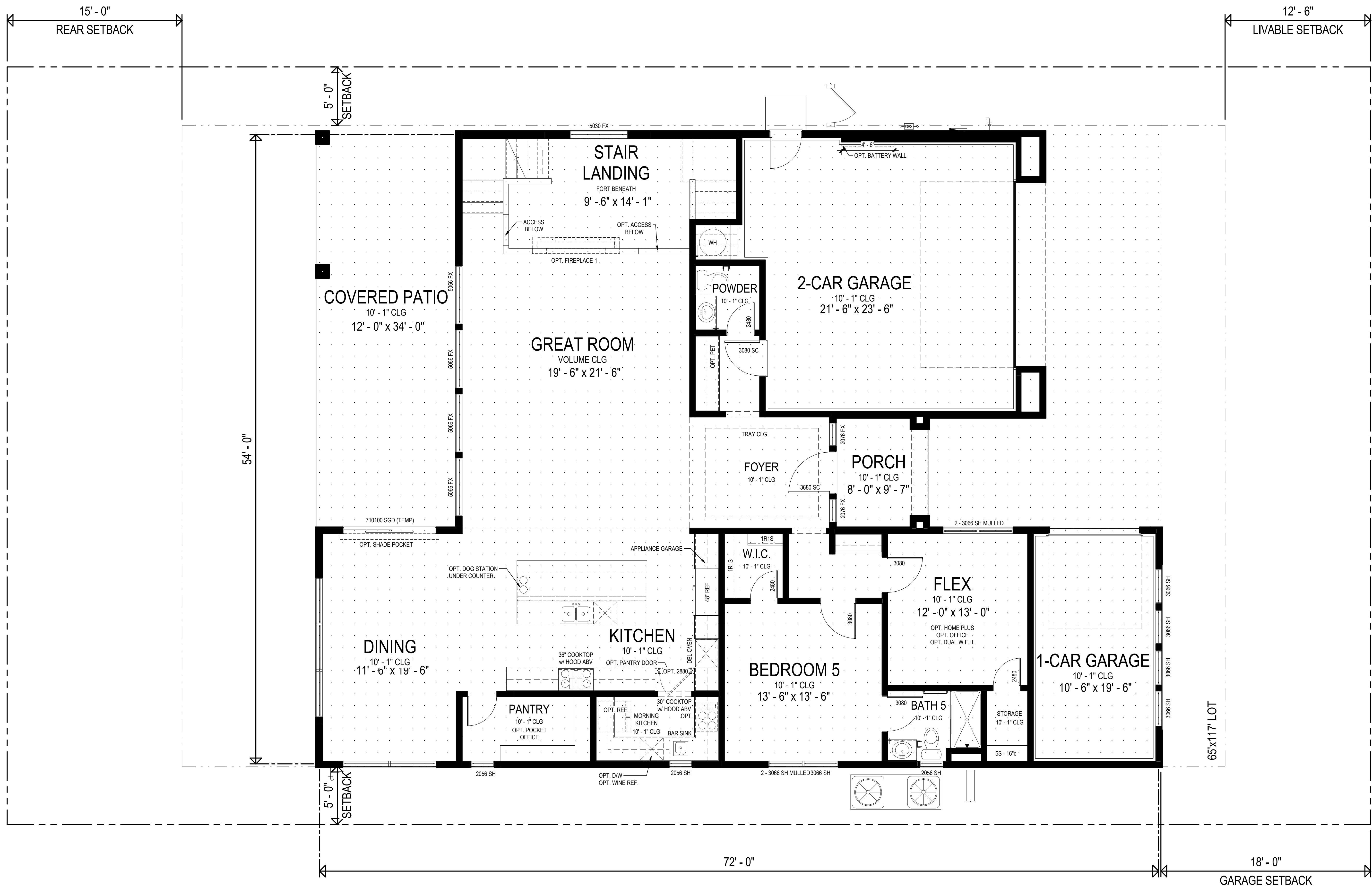
SHAWOOD[®]
Folsom, California

- Enhancements Provided (Min. 3 Required)**
- Accent colored window frames.
 - Flat Extended window awnings.
 - Mix of shed roof forms and flat roof accents.
 - Combination of Bellburn and Nichiha accent massing.
 - Combination of 2 to 3 grouped windows.
 - Use of control joints as an aesthetic element.

THE CALIFORNIA MODERN
PLAN 8006 - ELEVATIONS

SHAWOOD AT BROADSTONE ESTATES
Folsom, California





ELEVATION A	
MAIN FLOOR LIVABLE	2175 SF
UPPER FLOOR LIVABLE	2184 SF
LIVABLE	4359 SF
2-CAR GARAGE	569 SF
1-CAR GARAGE	225 SF
COVERED PATIO	408 SF
PORCH	77 SF
DECK	492 SF
NON-LIVABLE	1771 SF
ELEVATION A	6130 SF

Elevation B - The California Craftsman
Main Floor Plan

SCALE: 1/4" = 1'-0"

LOT COVERAGE CALCULATIONS			
LOT SIZE: 8,494 SQUARE FEET	PROPOSED	ALLOWABLE	3-SIDED PATIO ALLOWABLE
LOT COVERAGE	3,453 SQUARE FEET (40.7%)	4,247 SQUARE FEET (50.0%)	5,096 SQUARE FEET (60.0%)
LAND AREA COVERED BY ALL STRUCTURES THAT ARE OVER 6 FEET IN HEIGHT			



Plan 8006

SHAWOOD AT BROADSTONE ESTATES

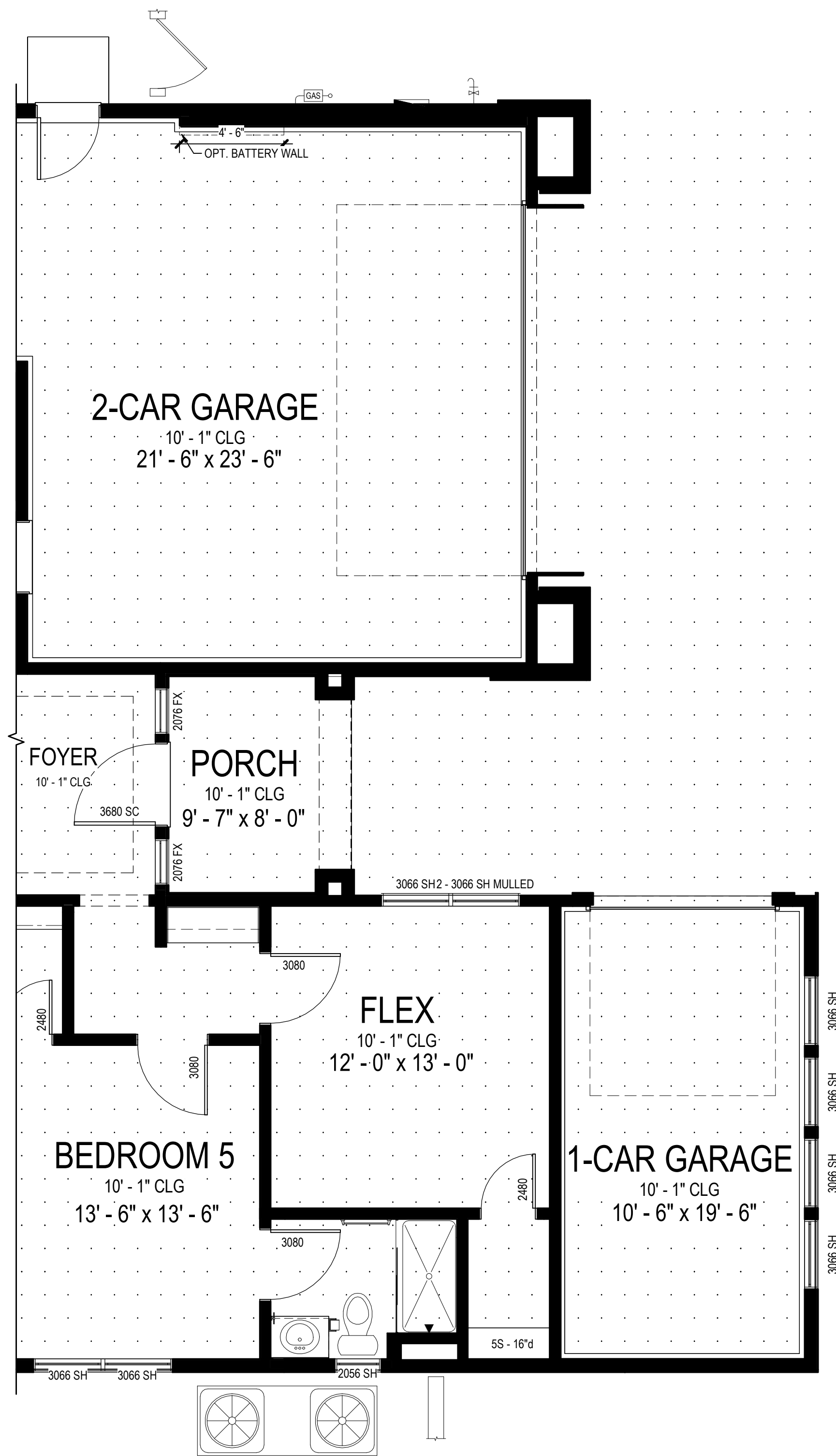
Folsom, California

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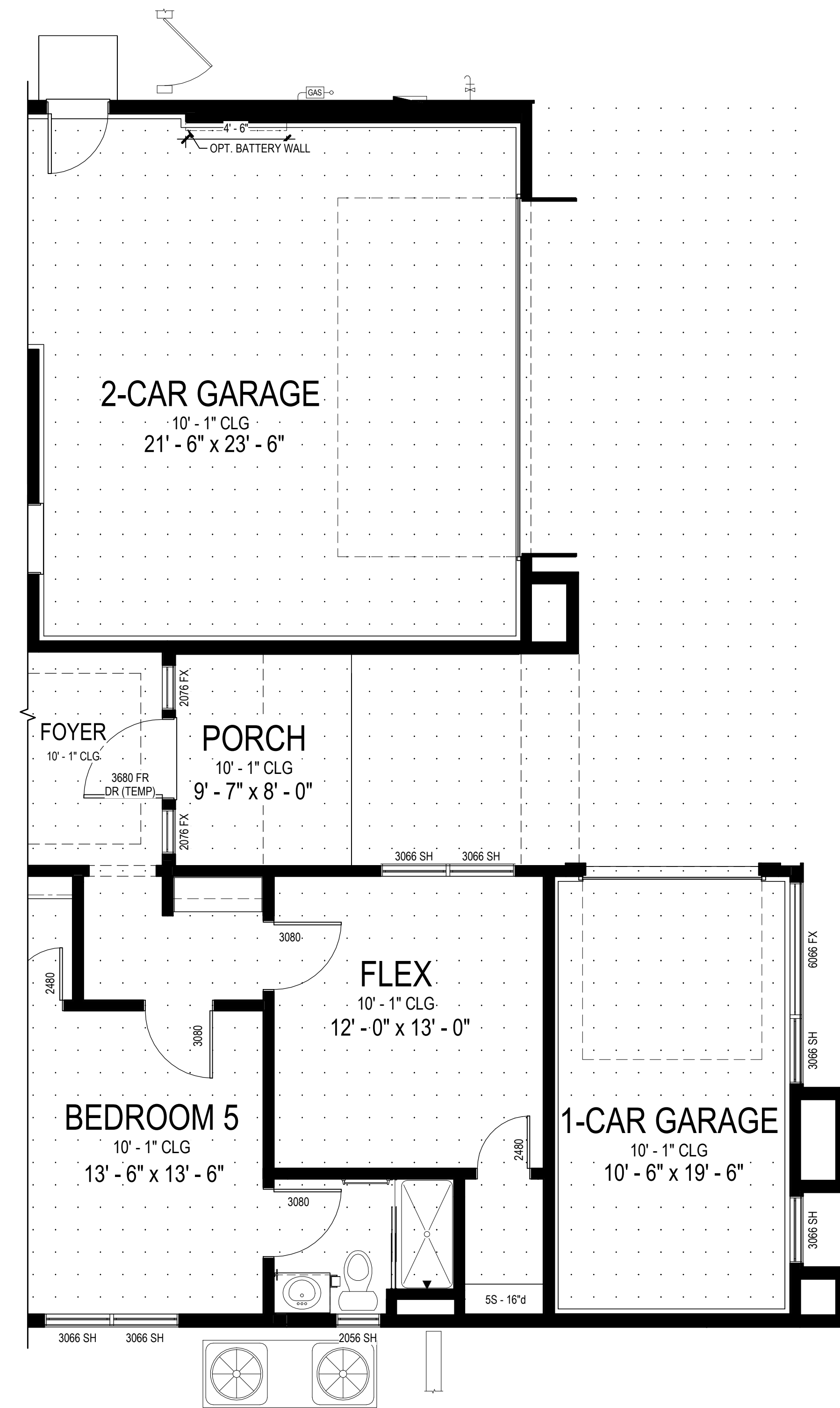
A4.4





**Elevation C - The California Prairie
Partial Main Floor Plan**

SCALE: 1/4" = 1'-0"



**Elevation D - Modern
Partial Main Floor Plan**

SCALE: 1/4" = 1'-0"

SHAWOOD[®]

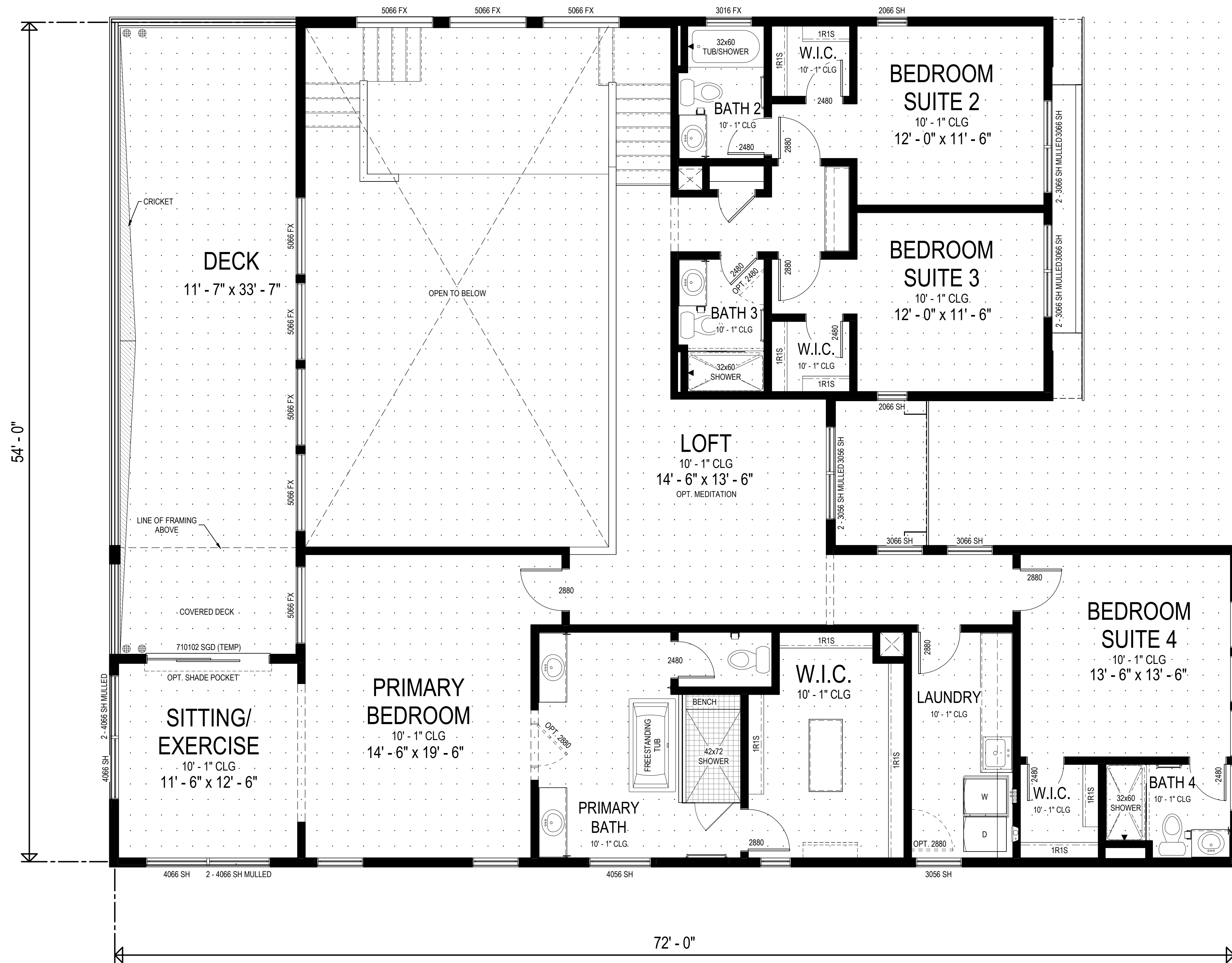
Folsom, California

Plan 8006

SHAWOOD AT BROADSTONE ESTATES

Folsom, California





ELEVATION A	
MAIN FLOOR LIVABLE	2175 SF
UPPER FLOOR LIVABLE	2184 SF
LIVABLE	4359 SF
2-CAR GARAGE	569 SF
1-CAR GARAGE	225 SF
COVERED PATIO	408 SF
PORCH	77 SF
DECK	492 SF
NON-LIVABLE	1771 SF
ELEVATION A	6130 SF

**Elevation B - The California Craftsman
Upper Floor Plan**

SCALE: 1/4" = 1'-0"

Plan 8006

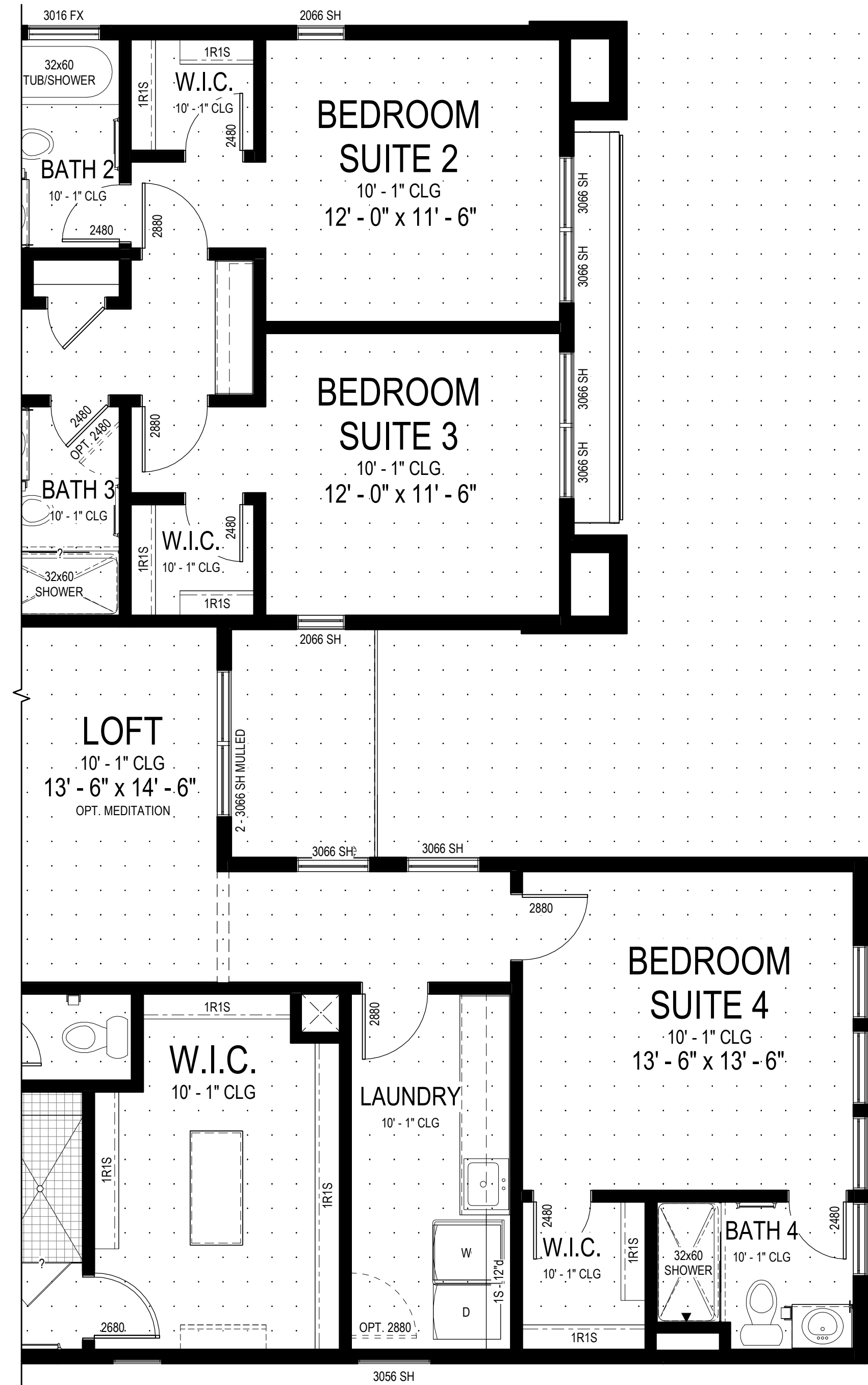
SHAWOOD AT BROADSTONE ESTATES

Folsom, California



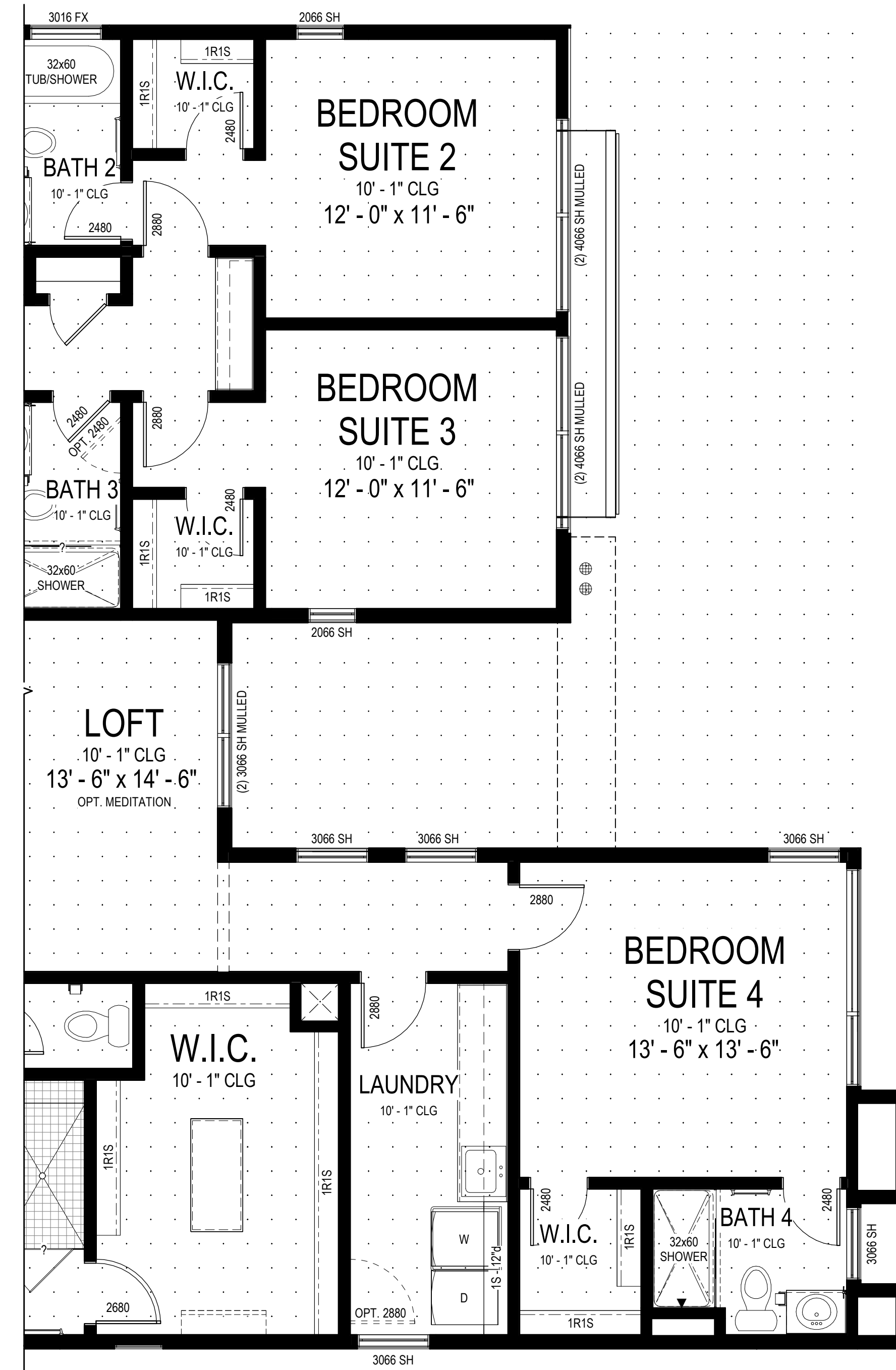
Folsom, California





**Elevation C - The California Prairie
Partial Upper Floor Plan**

SCALE: 1/4" = 1'-0"



**Elevation D - Modern
Partial Upper Floor Plan**

SCALE: 1/4" = 1'-0"

SHAWOOD[®]

Folsom, California

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Plan 8006

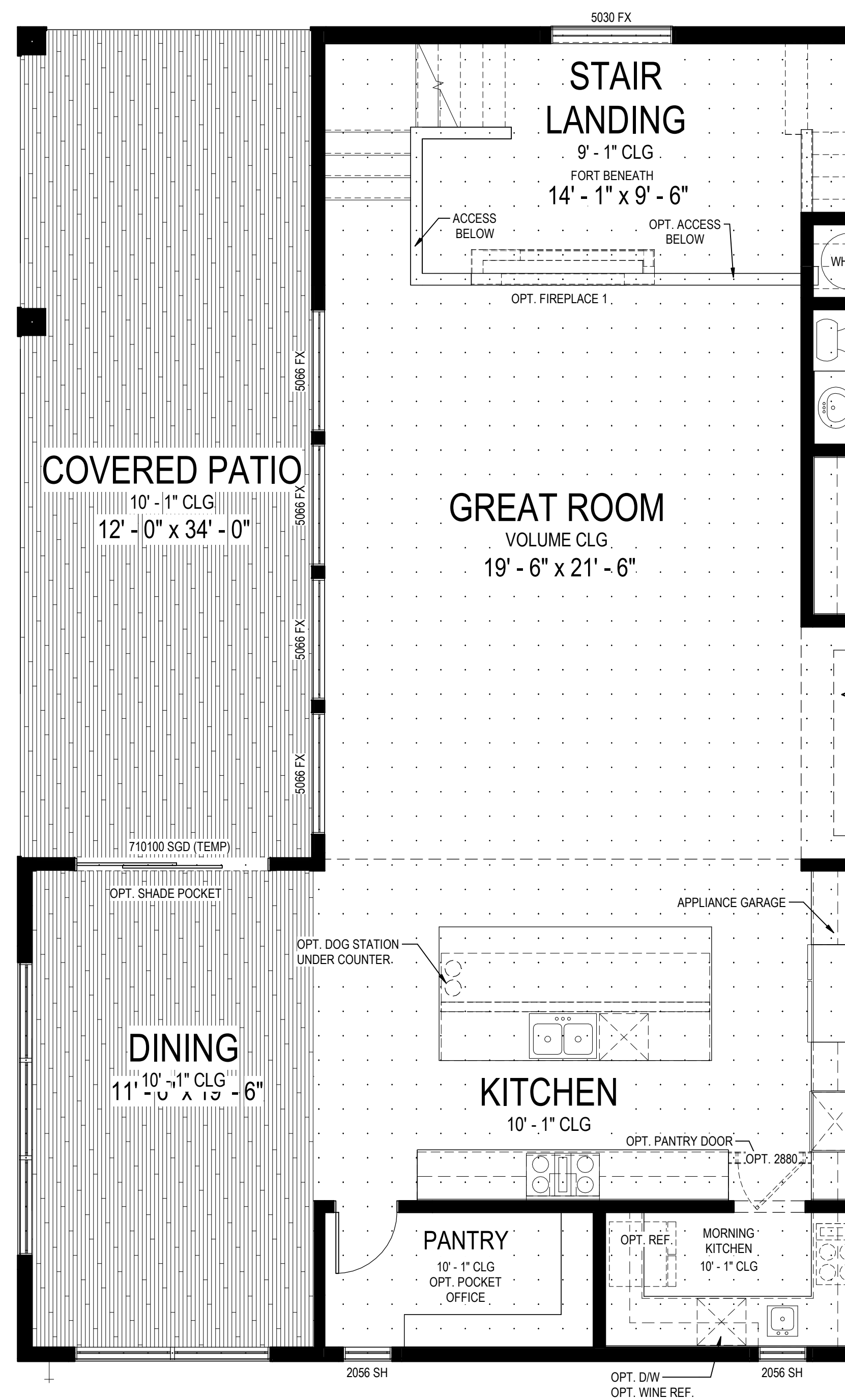
SHAWOOD AT BROADSTONE ESTATES

Folsom, California

February 2, 2024 | SF230312.00

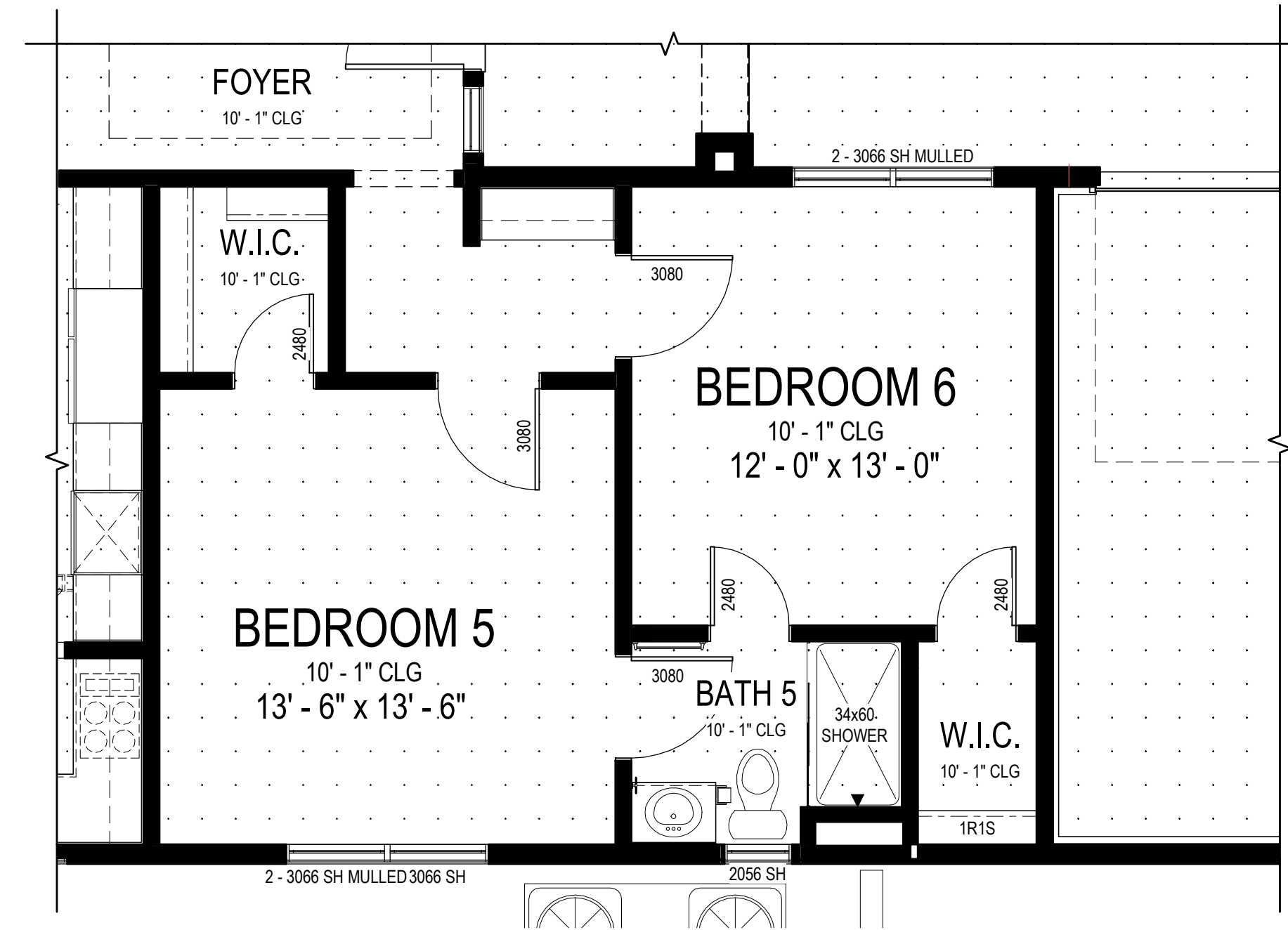
A4.7





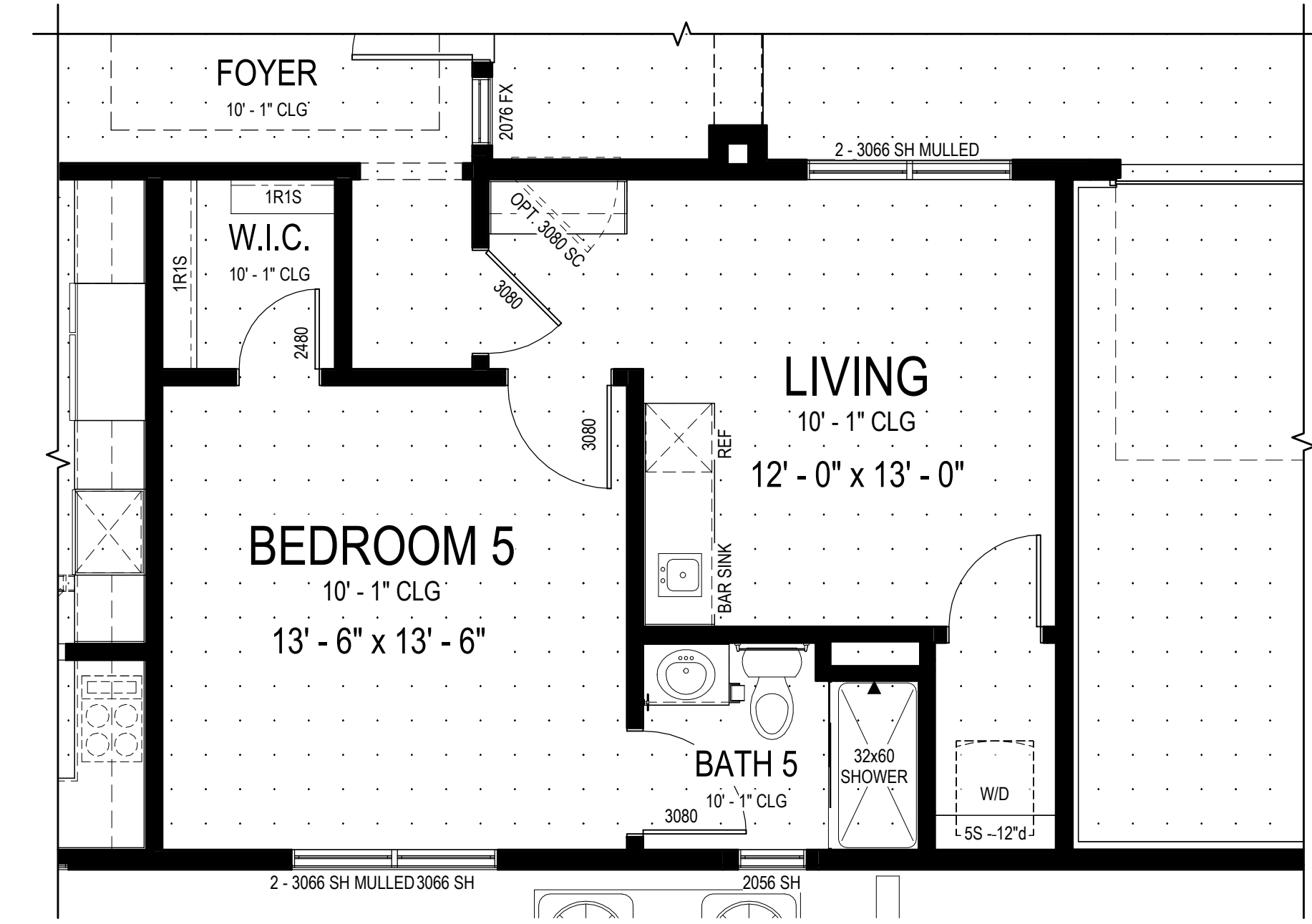
**Opt. Clearview at Dining
Partial Main Floor Plan**

SCALE: 1/4" = 1'-0"



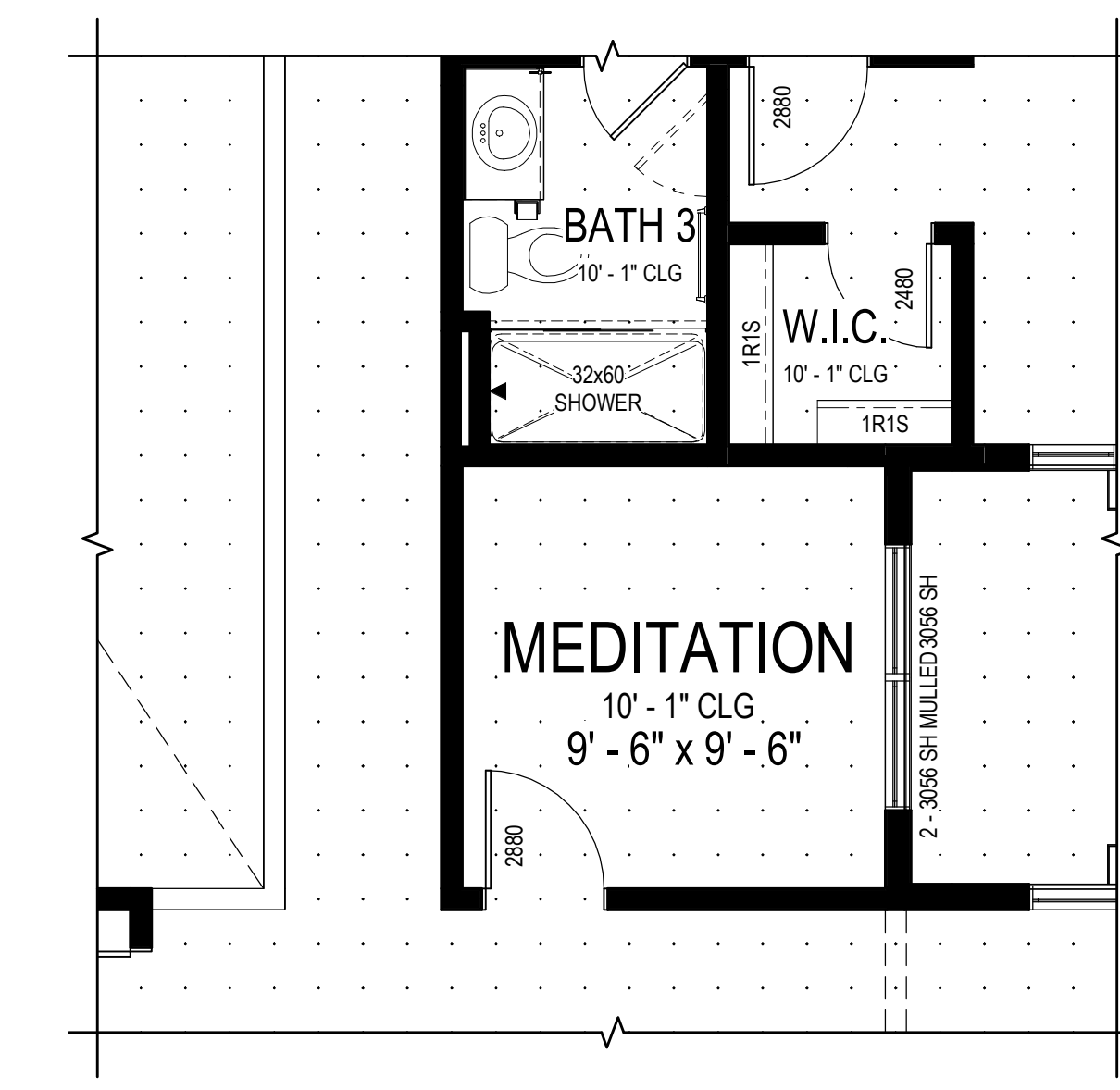
**Opt. Bedroom 6 I.L.O. Flex
Partial Main Floor Plan**

SCALE: 1/4" = 1'-0"



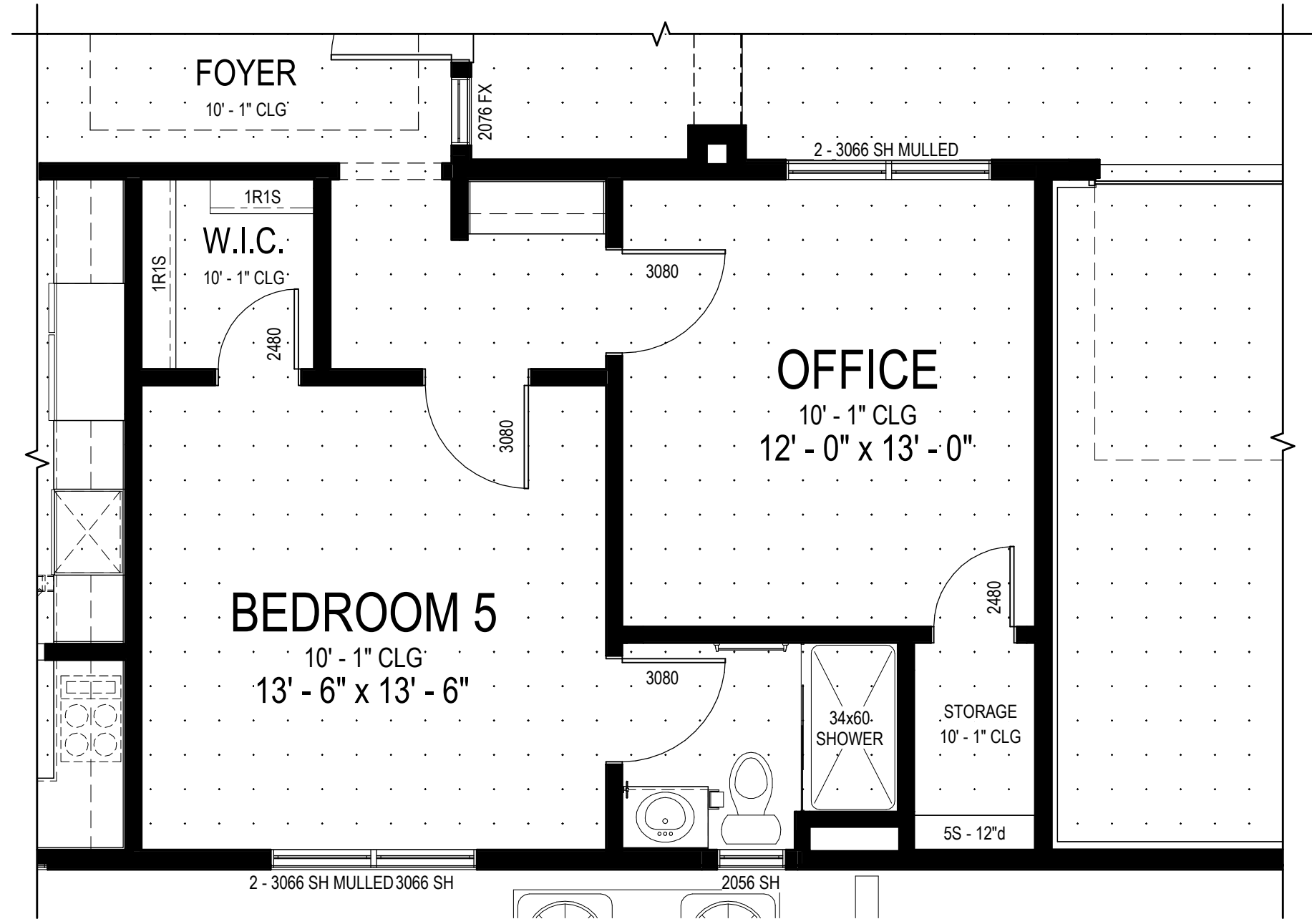
**Opt. Home Plus I.L.O. Flex
Partial Main Floor Plan**

SCALE: 1/4" = 1'-0"



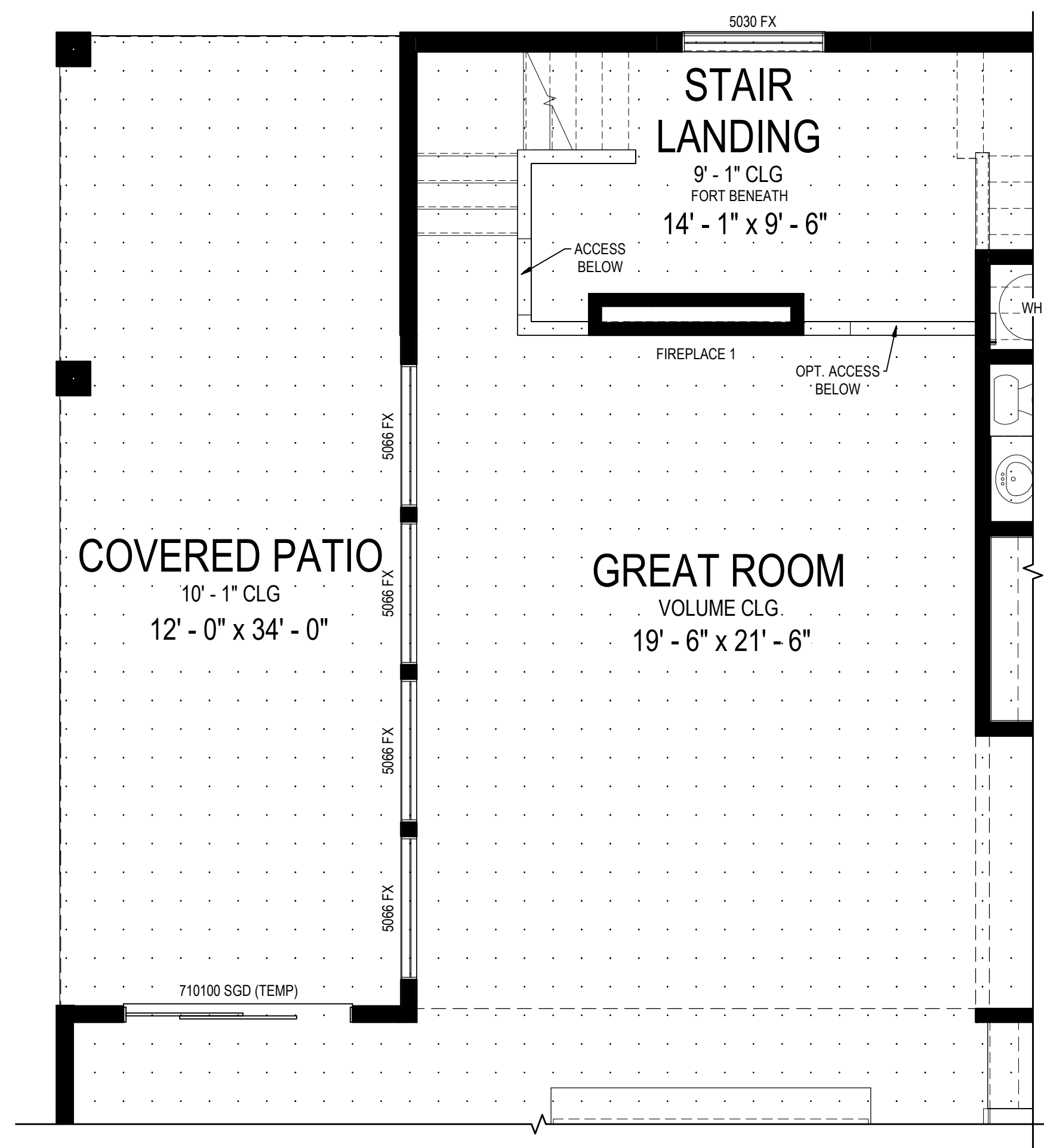
**Opt. Meditation
Partial Upper Floor Plan**

SCALE: 1/4" = 1'-0"



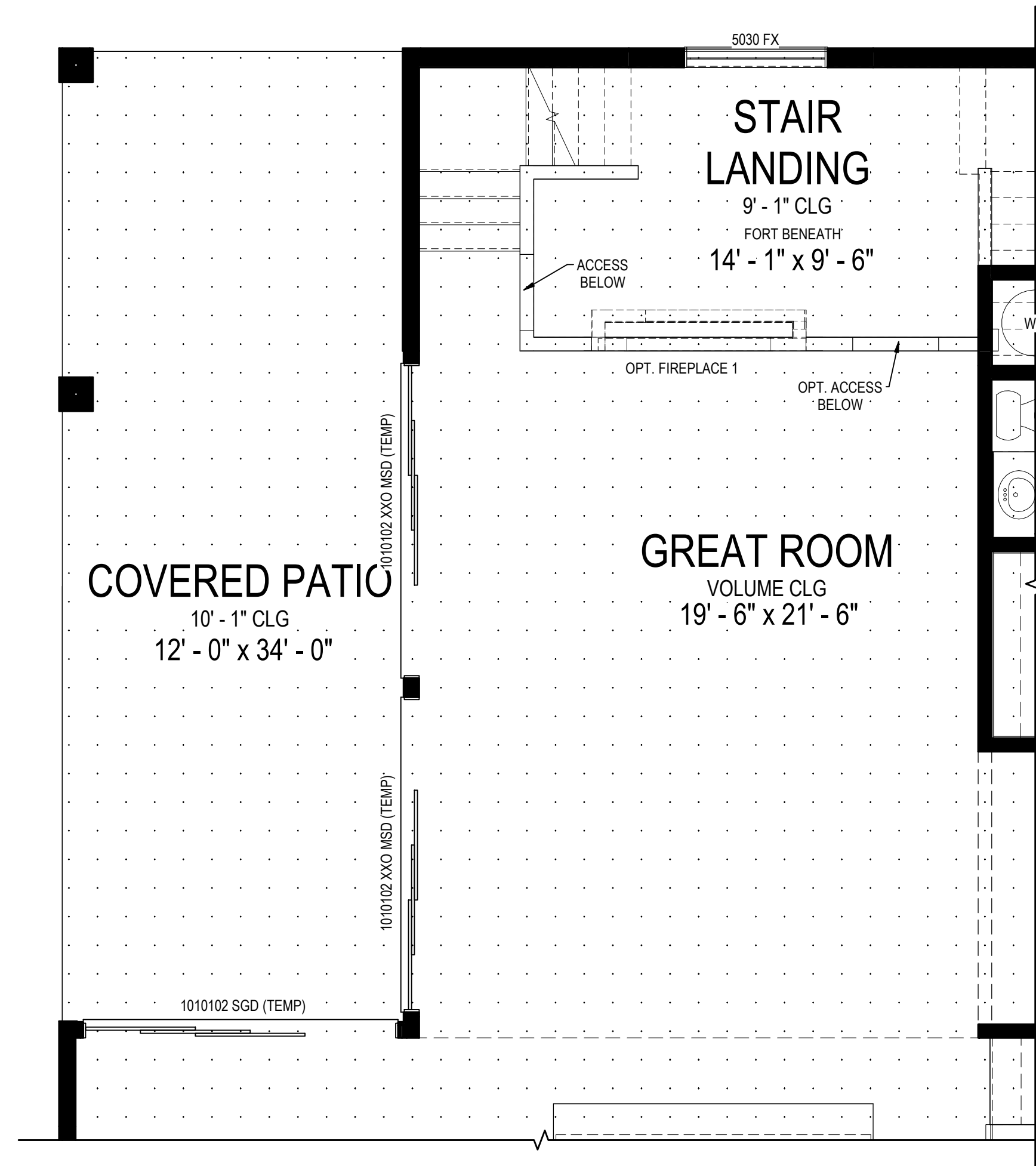
**Opt. Office I.L.O. Flex
Partial Main Floor Plan**

SCALE: 1/4" = 1'-0"



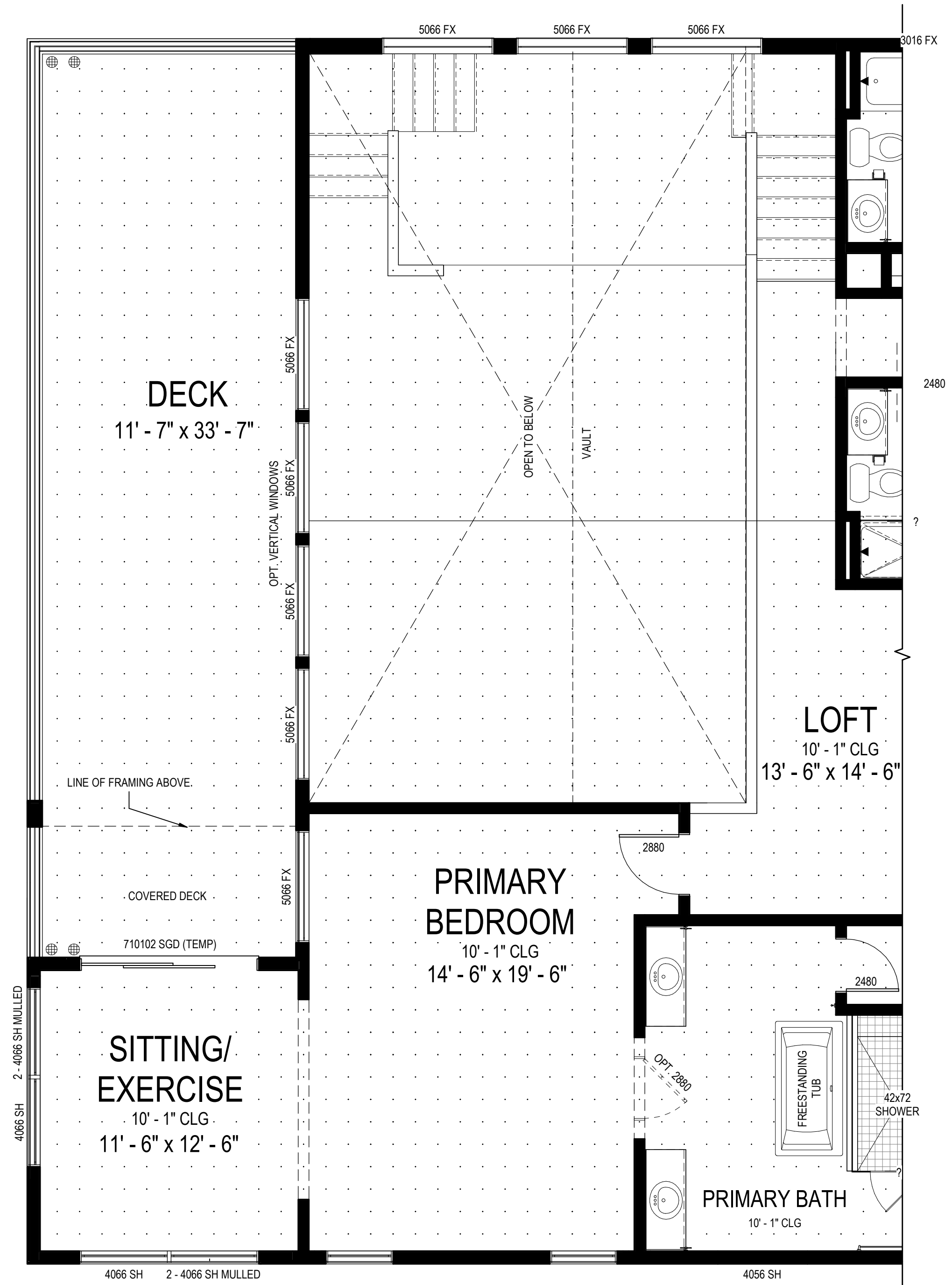
**Opt. Fireplace 1
Partial Main Floor Plan**

SCALE: 1/4" = 1'-0"



**Opt. Multi-SGD
Partial Main Floor Plan**

SCALE: 1/4" = 1'-0"



**Opt. Vault Over Kokage
Partial Upper Floor Plan**

SCALE: 1/4" = 1'-0"

SHAWOOD[®]

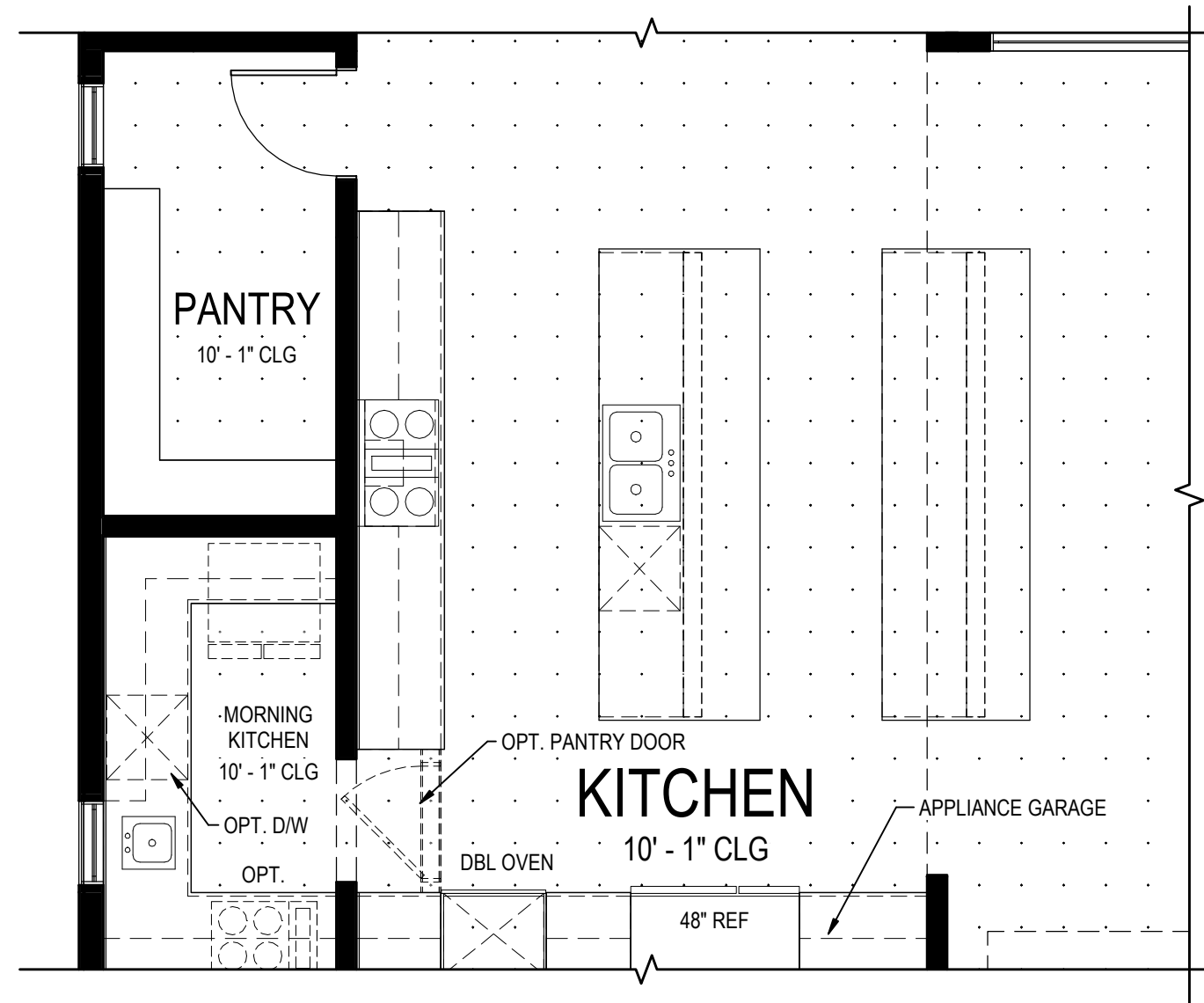
Folsom, California

Plan 8006

SHAWOOD AT BROADSTONE ESTATES

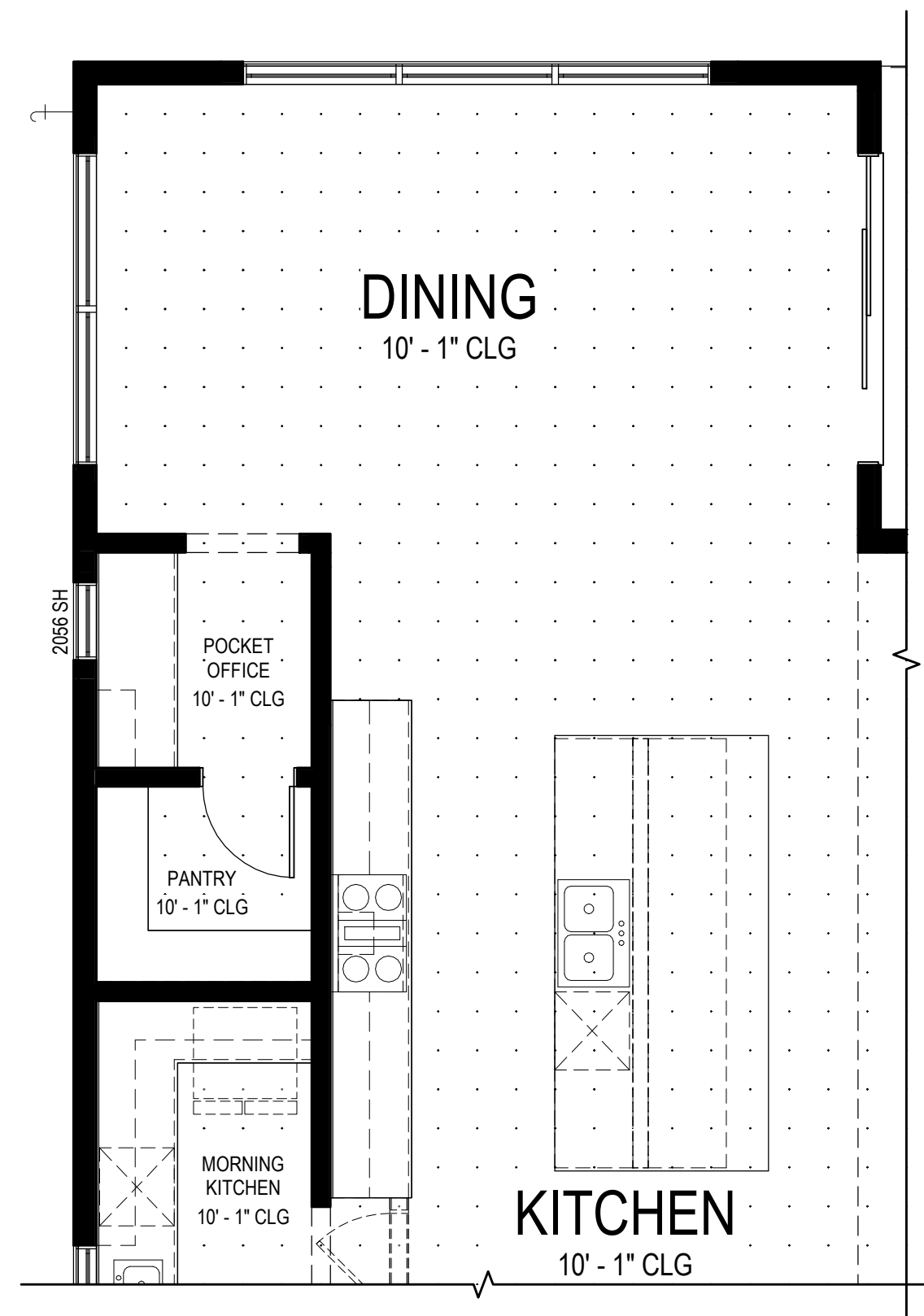
Folsom, California





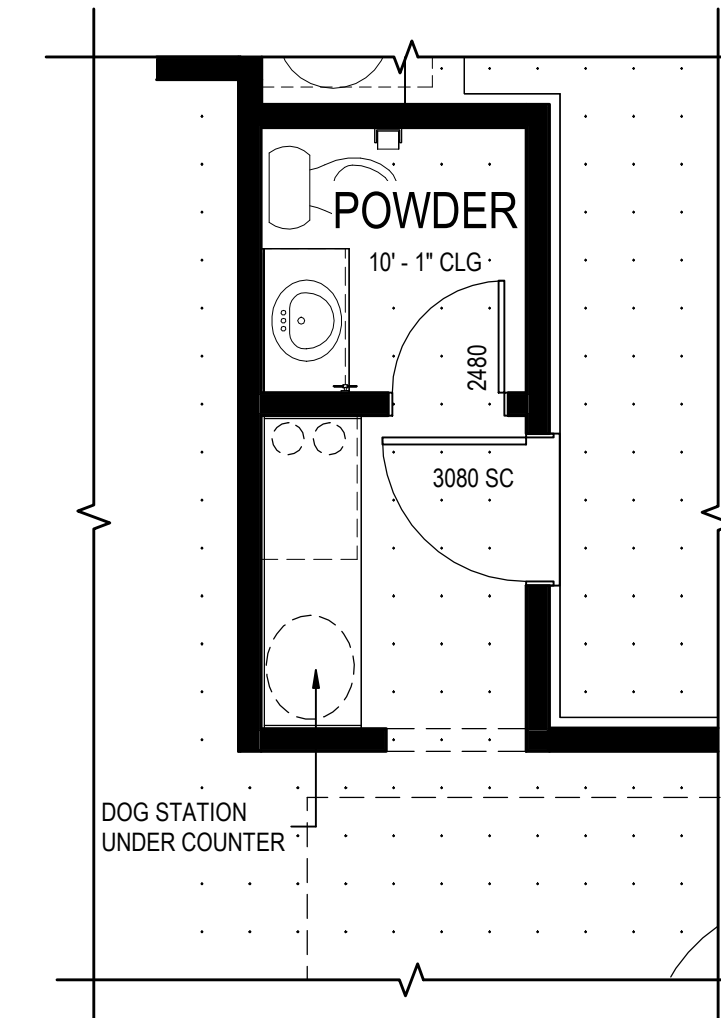
**Opt. Double Island
Partial Main Floor Plan**

SCALE: 1/4" = 1'-0"



**Opt. Pocket Office
Partial Main Floor Plan**

SCALE: 1/4" = 1'-0"



**Opt. Pet Station at Drop Zone
Partial Main Floor**

SCALE: 1/4" = 1'-0"

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Folsom, California

Plan 8006

SHAWOOD AT BROADSTONE ESTATES

Folsom, California

Attachment 9

Building Renderings
Dated November 16, 2023



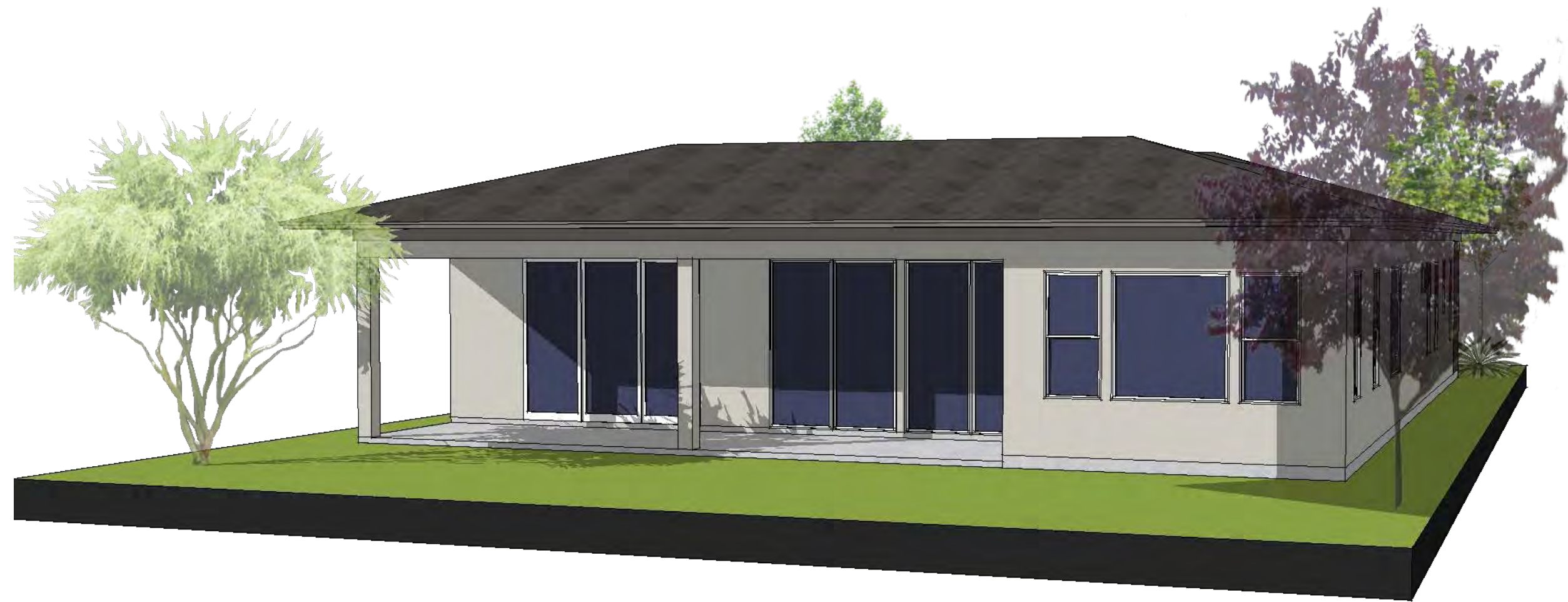
REAR PERSPECTIVE



FRONT ELEVATION
Scale: 3/16" = 1'-0"



FRONT PERSPECTIVES
THE CALIFORNIA WINE COUNTRY
PLAN 8003



REAR PERSPECTIVE



FRONT ELEVATION
Scale: 3/16" = 1'-0"



FRONT PERSPECTIVES
THE CALIFORNIA PRAIRIE
PLAN 8003



REAR PERSPECTIVE



FRONT ELEVATION
Scale: 3/16" = 1'-0"



FRONT PERSPECTIVES
THE CALIFORNIA MODERN
PLAN 8003



REAR PERSPECTIVE



FRONT ELEVATION
Scale: 3/16" = 1'-0"



FRONT PERSPECTIVES
THE CALIFORNIA WINE COUNTRY
PLAN 8004



REAR PERSPECTIVE



FRONT ELEVATION
Scale: 3/16" = 1'-0"



FRONT PERSPECTIVES
THE CALIFORNIA PRAIRIE
PLAN 8004



REAR PERSPECTIVE



FRONT ELEVATION
Scale: 3/16" = 1'-0"



FRONT PERSPECTIVES
THE CALIFORNIA MODERN
PLAN 8004



REAR PERSPECTIVE



FRONT ELEVATION
Scale: 3/16" = 1'-0"



FRONT PERSPECTIVES
THE CALIFORNIA WINE COUNTRY
PLAN 8005



REAR PERSPECTIVE



FRONT ELEVATION
Scale: 3/16" = 1'-0"



FRONT PERSPECTIVES
THE CALIFORNIA PRAIRIE
PLAN 8005



REAR PERSPECTIVE



FRONT ELEVATION
Scale: 3/16" = 1'-0"



FRONT PERSPECTIVES
THE CALIFORNIA MODERN
PLAN 8005



REAR PERSPECTIVE



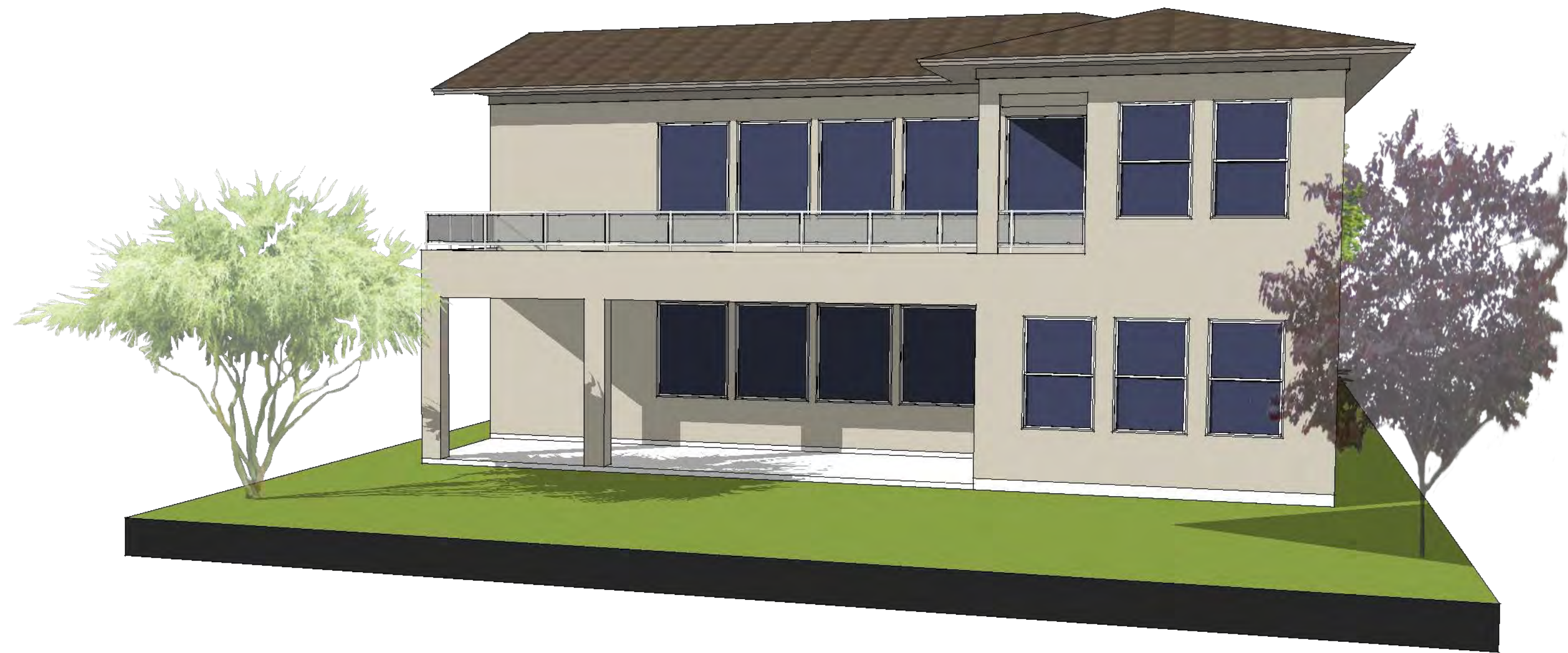
FRONT ELEVATION

Scale: 3/16" = 1'-0"



FRONT PERSPECTIVES
THE CALIFORNIA CRAFTSMAN

PLAN 8006



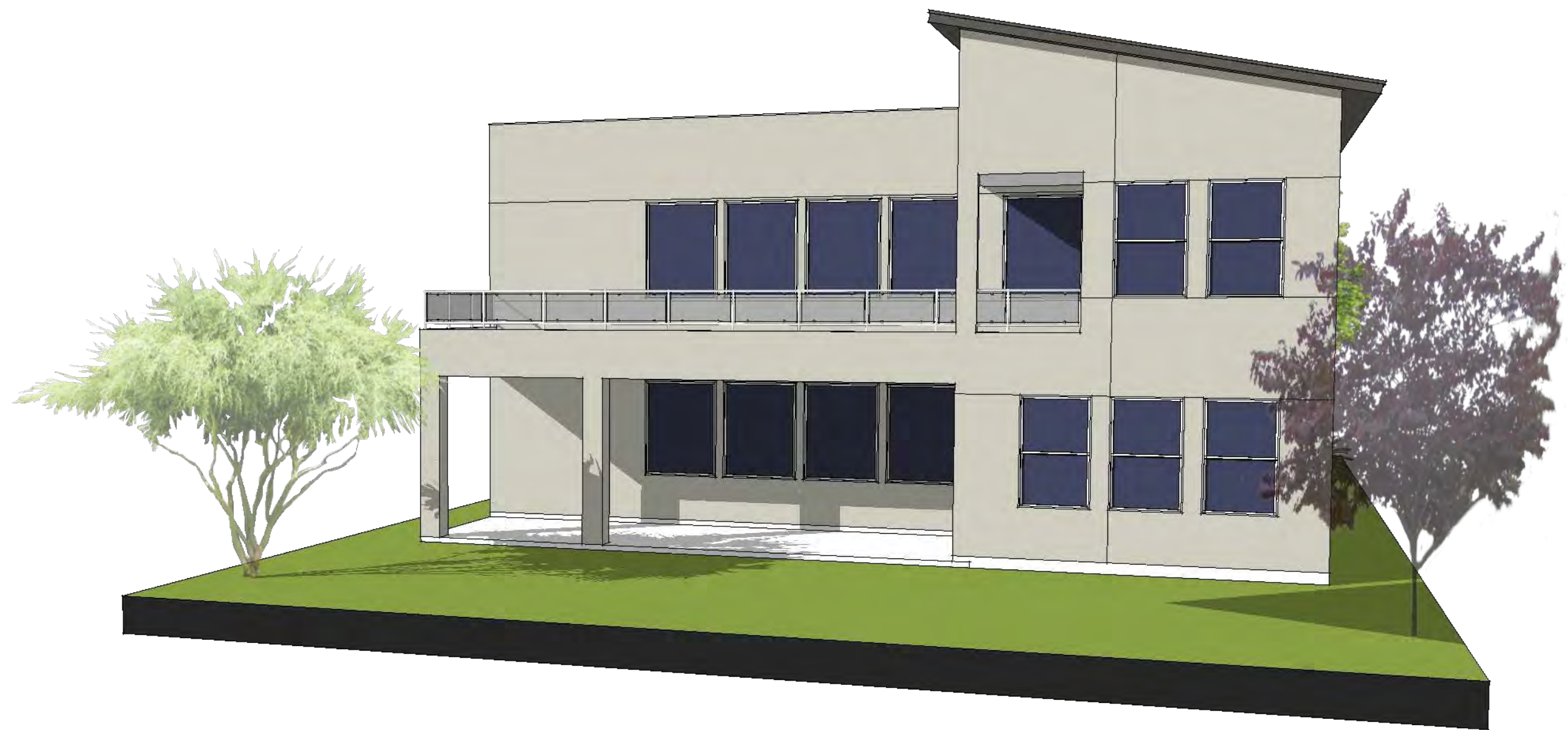
REAR PERSPECTIVE



FRONT ELEVATION
Scale: 3/16" = 1'-0"



FRONT PERSPECTIVES
THE CALIFORNIA PRAIRIE
PLAN 8006



REAR PERSPECTIVE



FRONT ELEVATION
Scale: 3/16" = 1'-0"



FRONT PERSPECTIVES
THE CALIFORNIA MODERN
PLAN 8006

Attachment 10

Street Scene Exhibit
Dated February 2, 2024

SHAWOOD AT BROADSTONE ESTATES

PROJECT INFORMATION

PROJECT NAME: BROADSTONE ESTATES
LOCATION: FOLSOM, CA

PROJECT TYPE: SINGLE FAMILY

OCCUPANCY GROUPS: R-3

TYPE OF CONSTRUCTION:



PROJECT TEAM

LOCAL JURISDICTION:
CITY OF FOLSOM
50 NATOMA ST.
FOLSOM, CA
916.461.6200

APPLICANT:
WOODSIDE HOMES
1130 IRON POINT #200
FOLSOM, CA 95630
CONTACT: MICHAEL LAFORTUNE -
michael.lafortune@woodsidehomes.com
916.790.7121

ARCHITECT:
BSB DESIGN, INC.
11211 GOLD COUNTRY BLVD., STE 101
GOLD RIVER, CA 95670
CONTACT: TIM WITUCKY- twitucky@bsbdesign.com
480.663.2100

CIVIL:
MACKAY & SOMPS
1025 CREEKSIDE DR, STE. 150
ROSEVILLE, CA 95678
CONTACT:
PHONE: 916.773.1189

LANDSCAPE:
ROACH + CAMPBELL
111 SCRIPPS DR.
SACRAMENTO, CA 95825
CONTACT: DAVID CAMPBELL
PHONE: 916.945.8003

SHEET INDEX

COVER SHEET:
A0.1 COVER SHEET, SHEET INDEX, PROJECT INFO

RENDERINGS:
A1.0 CONCEPTUAL 3D RENDERING

PLAN 8003:
A1.1 ELEVATIONS - THE CALIFORNIA WINE COUNTRY
A1.2 ELEVATIONS - THE CALIFORNIA PRAIRIE
A1.3 ELEVATIONS - THE CALIFORNIA MODERN
A1.4 FLOOR PLANS - 'A' ELEVATION
A1.5 FLOOR PLANS - 'C' & 'D' ELEVATIONS
A1.6 FLOOR PLANS - OPTIONS
A1.7 FLOOR PLANS - OPTIONS
A1.8 FLOOR PLANS - OPTIONS

PLAN 8004:
A2.1 ELEVATIONS - THE CALIFORNIA WINE COUNTRY
A2.2 ELEVATIONS - THE CALIFORNIA PRAIRIE
A2.3 ELEVATIONS - THE CALIFORNIA MODERN
A2.4 FLOOR PLANS - MAIN FLOOR - 'A' ELEVATION
A2.5 FLOOR PLANS - MAIN FLOOR - 'C' & 'D' ELEVATIONS
A2.6 FLOOR PLANS - UPPER FLOOR - 'A' ELEVATION
A2.7 FLOOR PLANS - UPPER FLOOR - 'C' & 'D' ELEVATIONS
A2.8 FLOOR PLANS - OPTIONS
A2.9 FLOOR PLANS - OPTIONS

PLAN 8005 :
A3.1 ELEVATIONS - THE CALIFORNIA WINE COUNTRY
A3.2 ELEVATIONS - THE CALIFORNIA PRAIRIE
A3.3 ELEVATIONS - THE CALIFORNIA MODERN
A3.4 FLOOR PLANS - MAIN FLOOR - 'A' ELEVATION
A3.5 FLOOR PLANS - MAIN FLOOR - 'C' & 'D' ELEVATIONS
A3.6 FLOOR PLANS - UPPER FLOOR - 'A' ELEVATION
A3.7 FLOOR PLANS - UPPER FLOOR - 'C' & 'D' ELEVATIONS
A3.8 FLOOR PLANS - OPTIONS
A3.9 FLOOR PLANS - OPTIONS
A3.10 FLOOR PLANS - OPTIONS

PLAN 8006 :
A4.1 ELEVATIONS - THE CALIFORNIA CRAFTSMAN
A4.2 ELEVATIONS - THE CALIFORNIA PRAIRIE
A4.3 ELEVATIONS - THE CALIFORNIA MODERN
A4.4 FLOOR PLANS - MAIN FLOOR - 'B' ELEVATION
A4.5 FLOOR PLANS - MAIN FLOOR - 'C' & 'D' ELEVATIONS
A4.6 FLOOR PLANS - UPPER FLOOR - 'B' ELEVATION
A4.7 FLOOR PLANS - UPPER FLOOR - 'C' & 'D' ELEVATIONS
A4.8 FLOOR PLANS - OPTIONS
A4.9 FLOOR PLANS - OPTIONS
A4.10 FLOOR PLANS - OPTIONS



TYPICAL STREETSCAPE



TYPICAL STREETSCAPE

SHAWOOD[®]

Folsom, California

COVER SHEET

SHAWOOD AT BROADSTONE ESTATES

Folsom, California

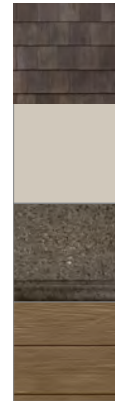
Attachment 11

Color and Materials Exhibit Dated November 9, 2023



Front Elevation
Scale: Not to Scale

MODERN



ROOF TILE - WESTLAKE
SAXONY 900 SLATE - CONCRETE TILE
SEPIA FINISH

PAINT - PPG PAINT WITH STUCCO
SUBSTRATE
PPG1008-2 STORM'S COMING
4-22 PERMA-CRETE EXTERIOR FLAT
FINISH

CERAMIC WALL PANEL - BELLBURN
ARCHITECTURAL BLOCK
CHARCOAL

ARCHITECTURAL WALL PANEL - NICHHA
VINTAGEWOOD
CEDAR

| M1 - PLAN 1



TRIM & FASCIA - PPG PAINT WITH
STUCCO SUBSTRATE
PPG1025-6 SLEEPING GIANT
6-900 SPEED HIDE SEMI-GLOSS FINISH

FRONT DOOR - THERMA-TRU SMOOTH
STAR
PPG1030-6 POSITIVELY PALM
6-900 SPEED HIDE SEMI-GLOSS FINISH

GARAGE DOOR - CLOPAY
PPG1025-6 SLEEPING GIANT
6-900 SPEED HIDE SEMI-GLOSS
FINISH



Left Elevation
Scale: Not to Scale



Rear Elevation
Scale: Not to Scale



Right Elevation
Scale: Not to Scale



Front Elevation
Scale: Not to Scale

MODERN



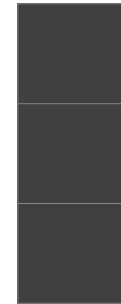
ROOF TILE - WESTLAKE
SAXONY 900 SLATE - CONCRETE TILE
CHARCOAL BLEND FINISH

PAINT - PPG PAINT WITH STUCCO
SUBSTRATE
PPG1025-1 COMMERCIAL WHITE
4-22 PERMA-CRETE EXTERIOR FLAT
FINISH

CERAMIC WALL PANEL - BELLBURN
ARCHITECTURAL BLOCK
IVORY

ARCHITECTURAL WALL PANEL - NICHHA
VINTAGEWOOD
ASH

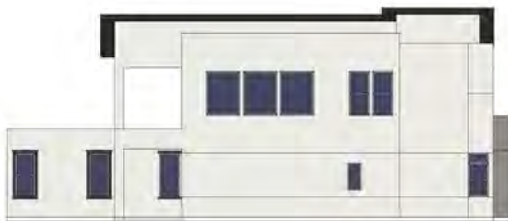
| M2 - PLAN 2



TRIM & FASCIA - PPG PAINT WITH
STUCCO SUBSTRATE
PPG1001-7 BLACK MAGIC
6-900 SPEED HIDE SEMI-GLOSS FINISH

FRONT DOOR - THERMA-TRU SMOOTH
STAR
PPG1001-7 BLACK MAGIC
6-900 SPEED HIDE SEMI-GLOSS FINISH

GARAGE DOOR - CLOPAY
PPG1001-7 BLACK MAGIC
6-900 SPEED HIDE SEMI-GLOSS
FINISH



Left Elevation
Scale: Not to Scale



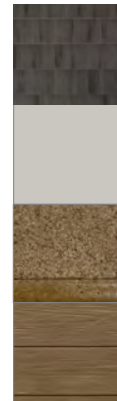
Rear Elevation
Scale: Not to Scale



Right Elevation
Scale: Not to Scale

MODERN

M3 - PLAN 3



ROOF TILE - WESTLAKE
SAXONY 900 SLATE - CONCRETE TILE
CHARCOAL BLEND FINISH

PAINT - PPG PAINT WITH STUCCO
SUBSTRATE
PPG1006-3 EARLY EVENING
4-22 PERMA-CRETE EXTERIOR FLAT
FINISH

CERAMIC WALL PANEL - BELLBURN
ARCHITECTURAL BLOCK
BROWN

ARCHITECTURAL WALL PANEL - NICHHA
VINTAGEWOOD
CEDAR



TRIM & FASCIA - PPG PAINT WITH
STUCCO SUBSTRATE
PPG1036-7 MOSTLY METAL
6-900 SPEED HIDE SEMI-GLOSS FINISH

FRONT DOOR - THERMA-TRU SMOOTH
STAR
PPG1039-6 IN THE SHADOWS
6-900 SPEED HIDE SEMI-GLOSS FINISH

GARAGE DOOR - CLOPAY
PPG1039-6 IN THE SHADOWS
6-900 SPEED HIDE SEMI-GLOSS
FINISH

Front Elevation
Scale: Not to Scale



Left Elevation
Scale: Not to Scale



Rear Elevation
Scale: Not to Scale



Right Elevation
Scale: Not to Scale



Front Elevation
Scale: Not to Scale

MODERN



ROOF TILE - WESTLAKE
SAXONY 900 SLATE - CONCRETE TILE
CHARCOAL BLEND FINISH

PAINT - PPG PAINT WITH STUCCO
SUBSTRATE
PPG1032-1 METALLIC MIST
4-22 PERMA-CRETE EXTERIOR FLAT
FINISH

CERAMIC WALL PANEL - BELLBURN
ARCHITECTURAL BLOCK
CHARCOAL

ARCHITECTURAL WALL PANEL - NICHHA
VINTAGEWOOD
ASH

M4 - PLAN 4



TRIM & FASCIA - PPG PAINT WITH
STUCCO SUBSTRATE
PPG1008-7 STONE'S THROW
6-900 SPEED HIDE SEMI-GLOSS FINISH

FRONT DOOR - THERMA-TRU SMOOTH
STAR
PPG1001-4 FLAGSTONE
6-900 SPEED HIDE SEMI-GLOSS FINISH

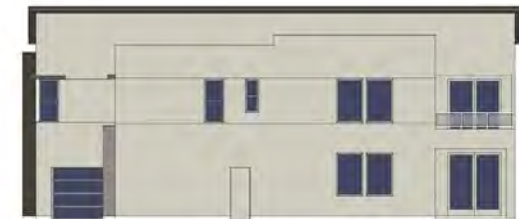
GARAGE DOOR - CLOPAY
PPG1001-4 FLAGSTONE
6-900 SPEED HIDE SEMI-GLOSS
FINISH



Left Elevation
Scale: Not to Scale



Rear Elevation
Scale: Not to Scale



Right Elevation
Scale: Not to Scale

CALIFORNIA PRAIRIE

| P1 - PLAN 1



ROOF TILE - WESTLAKE
SAXONY 900 SLATE - CONCRETE TILE
CHARCOAL BLEND FINISH

PAINT - PPG PAINT WITH STUCCO
SUBSTRATE
PPG1007-2 SWIRLING SMOKE
4-22 PERMA-CRETE EXTERIOR FLAT
FINISH

CERAMIC WALL PANEL - BELLBURN
ARCHITECTURAL BLOCK
CHARCOAL

CORONADO STONE
ELEMENT LEDGESTONE
SILVER ASH



TRIM & FASCIA - PPG PAINT WITH
STUCCO SUBSTRATE
PPG1007-6 COOL CHARCOAL
6-900 SPEED HIDE SEMI-GLOSS FINISH

FRONT DOOR - THERMA-TRU SMOOTH
STAR
PPG1037-6 MYSTERIOUS
6-900 SPEED HIDE SEMI-GLOSS FINISH

GARAGE DOOR - CLOPAY
PPG1037-6 MYSTERIOUS
6-900 SPEED HIDE SEMI-GLOSS
FINISH



Front Elevation
Scale: Not to Scale



Left Elevation
Scale: Not to Scale



Rear Elevation
Scale: Not to Scale



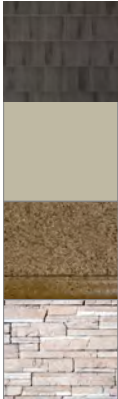
Right Elevation
Scale: Not to Scale

CALIFORNIA PRAIRIE

| P2 - PLAN 2



Front Elevation
Scale: Not to Scale



ROOF TILE - WESTLAKE
SAXONY 900 SLATE - CONCRETE TILE
CHARCOAL BLEND FINISH

PAINT - PPG PAINT WITH STUCCO
SUBSTRATE
PPG1027-3 HEAVY HAMMOCK
4-22 PERMA-CRETE EXTERIOR FLAT
FINISH

CERAMIC WALL PANEL - BELLBURN
ARCHITECTURAL BLOCK
BROWN

CORONADO STONE
CORONADO HONEY LEDGE
PALOMINO



TRIM & FASCIA - PPG PAINT WITH
STUCCO SUBSTRATE
PPG1001-6 KNIGHT'S ARMOR
6-900 SPEED HIDE SEMI-GLOSS FINISH

FRONT DOOR - THERMA-TRU SMOOTH
STAR
PPG1004-7 BLACK ELEGANCE
6-900 SPEED HIDE SEMI-GLOSS FINISH

GARAGE DOOR - CLOPAY
PPG1004-7 BLACK ELEGANCE
6-900 SPEED HIDE SEMI-GLOSS
FINISH



Left Elevation
Scale: Not to Scale



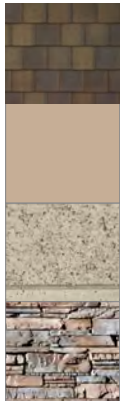
Rear Elevation
Scale: Not to Scale



Right Elevation
Scale: Not to Scale

CALIFORNIA PRAIRIE

| P3 - PLAN 3



ROOF TILE - WESTLAKE
 SAXONY 900 SLATE - CONCRETE TILE
 CHARCOAL BROWN BLEND FINISH

PAINT - PPG PAINT WITH STUCCO
 SUBSTRATE
 PPG1077-3 PERSUASION
 4-22 PERMA-CRETE EXTERIOR FLAT
 FINISH

CERAMIC WALL PANEL - BELLBURN
 ARCHITECTURAL BLOCK
 IVORY

CORONADO STONE
 CORONADO HONEY LEDGE
 SHASTA



TRIM & FASCIA - PPG PAINT WITH
 STUCCO SUBSTRATE
 PPG1077-6 SALTED PRETZEL
 6-900 SPEED HIDE SEMI-GLOSS FINISH

FRONT DOOR - THERMA-TRU SMOOTH
 STAR
 PPG1036-7 MOSTLY METAL
 6-900 SPEED HIDE SEMI-GLOSS FINISH

GARAGE DOOR - CLOPAY
 PPG1021-4 DIVERSION
 6-900 SPEED HIDE SEMI-GLOSS
 FINISH



Front Elevation
 Scale: Not to Scale



Left Elevation
 Scale: Not to Scale



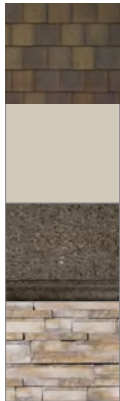
Rear Elevation
 Scale: Not to Scale



Right Elevation
 Scale: Not to Scale

CALIFORNIA PRAIRIE

| P4 - PLAN 4



ROOF TILE - WESTLAKE
 SAXONY 900 SLATE - CONCRETE TILE
 CHARCOAL BROWN BLEND FINISH

PAINT - PPG PAINT WITH STUCCO
 SUBSTRATE
 PPG1024-4 MOTH GRAY
 4-22 PERMA-CRETE EXTERIOR FLAT
 FINISH

CERAMIC WALL PANEL - BELLBURN
 ARCHITECTURAL BLOCK
 CHARCOAL

CORONADO STONE
 ELEMENT LEDGESTONE
 NORTHLAND



TRIM & FASCIA - PPG PAINT WITH
 STUCCO SUBSTRATE
 PPG1008-4 GRAY BY ME
 6-900 SPEED HIDE SEMI-GLOSS FINISH

FRONT DOOR - THERMA-TRU SMOOTH
 STAR
 PPG1069-7 CINNAMON SPICE
 6-900 SPEED HIDE SEMI-GLOSS FINISH

GARAGE DOOR - CLOPAY
 PPG1008-4 GRAY BY ME
 6-900 SPEED HIDE SEMI-GLOSS
 FINISH



Front Elevation
 Scale: Not to Scale



Left Elevation
 Scale: Not to Scale



Rear Elevation
 Scale: Not to Scale



Right Elevation
 Scale: Not to Scale

CALIFORNIA WINE COUNTRY

| W1 - PLAN 1

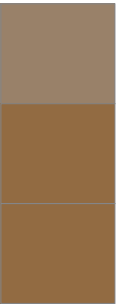


ROOF TILE - WESTLAKE
SAXONY 900 SLATE - CONCRETE TILE
CHARCOAL BROWN BLEND FINISH

PAINT - PPG PAINT WITH STUCCO
SUBSTRATE
PPG1023-1 OATMEAL
4-22 PERMA-CRETE EXTERIOR FLAT
FINISH

CERAMIC WALL PANEL - BELLBURN
ARCHITECTURAL BLOCK
CHARCOAL

CORONADO STONE
CORONADO HONEY LEDGE
SHASTA



TRIM & FASCIA - PPG PAINT WITH
STUCCO SUBSTRATE
PPG1077-5 CHOCOLATE MOMENT
6-900 SPEED HIDE SEMI-GLOSS FINISH

FRONT DOOR - THERMA-TRU SMOOTH
STAR
PPG1083-7 BOURBON
6-900 SPEED HIDE SEMI-GLOSS FINISH

GARAGE DOOR - CLOPAY
PPG1083-7 BOURBON
6-900 SPEED HIDE SEMI-GLOSS
FINISH

Front Elevation
Scale: Not to Scale



Left Elevation
Scale: Not to Scale



Rear Elevation
Scale: Not to Scale



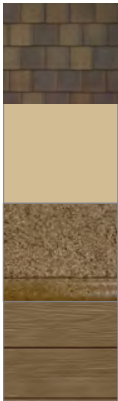
Right Elevation
Scale: Not to Scale

CALIFORNIA WINE COUNTRY

| W2 - PLAN 2



Front Elevation
Scale: Not to Scale

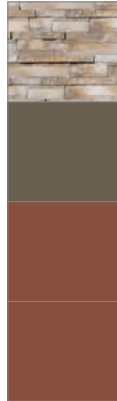


ROOF TILE - WESTLAKE
SAXONY 900 SLATE - CONCRETE TILE
CHARCOAL BROWN BLEND FINISH

PAINT - PPG PAINT WITH STUCCO
SUBSTRATE
PPG1099-4 SUBTLE SUEDE
4-22 PERMA-CRETE EXTERIOR FLAT
FINISH

CERAMIC WALL PANEL - BELLBURN
ARCHITECTURAL BLOCK
BROWN

ARCHITECTURAL WALL PANEL - NICHHA
VINTAGEWOOD
CEDAR



CORONADO STONE
ELEMENT LEDGESTONE
NORTHLAND

TRIM & FASCIA - PPG PAINT WITH
STUCCO SUBSTRATE
PPG1101-7 LEMUR
6-900 SPEED HIDE SEMI-GLOSS FINISH

FRONT DOOR - THERMA-TRU SMOOTH
STAR
PPG1062-7 WARM WASSAIL
6-900 SPEED HIDE SEMI-GLOSS FINISH

GARAGE DOOR - CLOPAY
PPG1062-7 WARM WASSAIL
6-900 SPEED HIDE SEMI-GLOSS
FINISH



Left Elevation
Scale: Not to Scale



Rear Elevation
Scale: Not to Scale

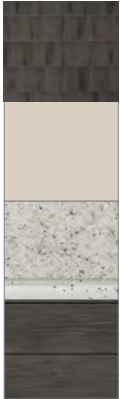


Right Elevation
Scale: Not to Scale

CALIFORNIA WINE COUNTRY | W3 - PLAN 3



Front Elevation
Scale: Not to Scale



ROOF TILE - WESTLAKE
SAXONY 900 SLATE - CONCRETE TILE
CHARCOAL BLEND FINISH

PAINT - PPG PAINT WITH STUCCO
SUBSTRATE
PPG1023-2 COOL CONCRETE
4-22 PERMA-CRETE EXTERIOR FLAT
FINISH

CERAMIC WALL PANEL - BELLBURN
ARCHITECTURAL BLOCK
WHITE

ARCHITECTURAL WALL PANEL - NICHHA
VINTAGEWOOD
BARK



CORONADO STONE
ELEMENT LEDGESTONE
MOUNT VERNON

TRIM & FASCIA - PPG PAINT WITH
STUCCO SUBSTRATE
PPG1008-7 STONE'S THROW
6-900 SPEED HIDE SEMI-GLOSS FINISH

FRONT DOOR - THERMA-TRU SMOOTH
STAR
PPG1102-7 PINE CONE
6-900 SPEED HIDE SEMI-GLOSS FINISH

GARAGE DOOR - CLOPAY
PPG1102-7 PINE CONE
6-900 SPEED HIDE SEMI-GLOSS
FINISH



Left Elevation
Scale: Not to Scale



Rear Elevation
Scale: Not to Scale



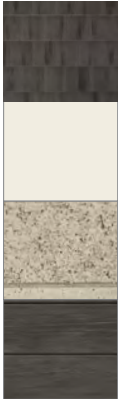
Right Elevation
Scale: Not to Scale

CALIFORNIA CRAFTSMAN

| C1 - PLAN 4



Front Elevation
Scale: Not to Scale

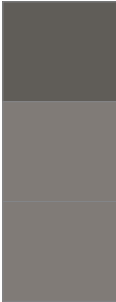


ROOF TILE - WESTLAKE
SAXONY 900 SLATE - CONCRETE TILE
CHARCOAL BROWN BLEND FINISH

PAINT - PPG PAINT WITH STUCCO
SUBSTRATE
PPG1207-1 CANDLELIT BEIGE
4-22 PERMA-CRETE EXTERIOR FLAT
FINISH

CERAMIC WALL PANEL - BELLBURN
ARCHITECTURAL BLOCK
IVORY

ARCHITECTURAL WALL PANEL - NICHHA
VINTAGEWOOD
BARK



TRIM & FASCIA - PPG PAINT WITH
STUCCO SUBSTRATE
PPG1008-7 STONE'S THROW
6-900 SPEED HIDE SEMI-GLOSS FINISH

FRONT DOOR - THERMA-TRU SMOOTH
STAR
PPG1007-6 COOL CHARCOAL
6-900 SPEED HIDE SEMI-GLOSS FINISH

GARAGE DOOR - CLOPAY
PPG1007-6 COOL CHARCOAL
6-900 SPEED HIDE SEMI-GLOSS
FINISH



Left Elevation
Scale: Not to Scale



Rear Elevation
Scale: Not to Scale



Right Elevation
Scale: Not to Scale

Attachment 12

Russell Ranch/Broadstone Estates Design Guidelines

4.4 ARCHITECTURAL GUIDELINES

The concept, inspiration, and vision for Russell Ranch is one of a distinctively California village with a unique and compelling design character derived from successful landmark neighborhoods throughout California.

Russell Ranch presents a cohesive collection of nine architectural styles, which will create a diverse and eclectic streetscape through massing and form, material and color, and detailing. The variety of styles will animate and activate the streetscape, creating a dynamic and vibrant community palette. Additional architectural styles that are consistent with the neighborhood vision will be reviewed and approved by the RRDRRC on a case by case basis.

ARCHITECTURAL PALETTE

- The California Wine Country
- The Monterey
- The Spanish Eclectic
- The California Cottage
- The Transitional Bungalow
- The California Prairie
- The Spanish Colonial Revival
- The California Craftsman
- The California Villa



Streetscape Example

HOW TO USE THESE GUIDELINES

The guidelines found in this section are formatted into individual style spreads, with each architectural style being defined and articulated over the course of three pages. The first page of the style spread defines the history and intent of the style; the second page provides a matrix that identifies the minimum elements for each style along with applicable enhanced elements and the third page identifies key style elements.

The core requirements for home design within the Russell Ranch neighborhood are concentrated in each style matrix (the second page of each spread), with the remaining pages intended as supporting and inspirational material. The sketches, key style elements, and details are intended to be an overview of the defining characteristics of the style and are not intended to be exhaustive, nor to represent all of the appropriate details inherent to each style.

With the intent of creating authentic representations of these architectural styles, all of the minimum elements outlined on the style specific matrix are required along with three enhanced elements.

To further define and emphasize the architecture of Russell Ranch, the following statements apply to all styles:

- Masonry must be applied authentically, wrapping outside corners and terminating at inside corners.
- Stone or brick scattered over stucco to mimic building age is not appropriate.
- Heavy knock down or “Spanish Lace” stucco is not permitted. Stucco finish options may include light lace, sand, smooth, imperfect smooth, cat face, or similar.
- All material changes must occur at an inside corner or other defined terminus (i.e., a fence line).
- No fascia gutter (gutter that serves as fascia) is permitted.
- No concrete rake tiles are permitted.
- Where wood is specified, cementitious material is acceptable to promote longevity and ease of maintenance.
- Grooved plywood siding and vinyl siding are not permitted.
- Garage doors shall complement the architectural style.
- House lights shall complement the architectural style.
- When shutters are used, each shutter shall be sized to one-half of the entire adjacent window width, such that if the shutters were closed, they would completely cover the window.

THE CALIFORNIA WINE COUNTRY

Reflective of the rolling terrain of the California Wine Country, this casual and rustic architectural style borrows European accents and reinterprets them to be authentically California. Asymmetrical forms are layered to create casual massing and the use of rustic accent materials, such as overgrouted stone or brick, wrought iron, and heavy beams add to the charm of this style.

The California Wine Country style will add a rustic element to the streetscape, offering a casual and lower profile complement to the more formal vertical styles.



Style Elements	Minimum Elements (All Required on All Homes)	Enhanced Elements ^{1, 2} (Minimum of 3 Required on All Homes)
Form	<ul style="list-style-type: none"> Simple rectangular massing in one, one-and-a-half, full two-story, or a combination thereof. 	
Roof	<ul style="list-style-type: none"> Low-pitched gabled primary roofs (3:12 to 5:12). Shed porches. Tight rake at gables (0" to 6"). 12" to 16" eaves. Barrel or S-tile roof. 	<ul style="list-style-type: none"> Exposed rafter tails. Boosted roof tiles.
Walls	<ul style="list-style-type: none"> Stucco is the primary wall material. 	<ul style="list-style-type: none"> Overgrouted stone or brick as entire massing element. Smooth or imperfect smooth stucco finish.
Windows & Doors	<ul style="list-style-type: none"> Head and sill window trim or full window surrounds. Simple wood panel doors with vertical panels. Divided light windows. 	<ul style="list-style-type: none"> Front elevation with all windows inset 2" or one feature window recessed 12". Shutters (plank or diagonal brace). Colored window frames (e.g. cranberry, sage green, dark brown, etc.)
Details	<ul style="list-style-type: none"> Rustic wood railing and column posts. 	<ul style="list-style-type: none"> Massive chimney (may be battered or tapered) clad in stucco, stone, or brick. Wood trellises, applied sheds over windows, or Bermuda shutters. Carriage style garage doors with hardware. Typical downspouts replaced with "rain chains" or round metal downspouts.

1. An additional 2 enhancements required on visible lots shown on Figure 4.1 for a total of 5 Enhanced Elements.

2. An additional 3 enhancements required on corner visible lots shown on Figure 4.1 for a total of 6 Enhanced Elements.

THE MONTEREY

The historic Monterey style blends the Spanish cultures of original California residents with the influences brought to the west by the first European settlers. These homes are a juxtaposition of local indigenous materials with colonial detailing applied. The dominant feature of the Monterey style is the always-present upper-story balcony element, which is contained within the principal roof form and cantilevered. The balcony is of heavy timbered construction, defining the structure.

The Monterey style is a direct link to the colonial heritage of California. Only appropriate for two-story homes, this style will enhance the animation of the streetscape, both vertically and horizontally, through height, recess, and significant shadow play.



Style Elements	Minimum Elements (All Required on All Homes)	Enhanced Elements ^{1, 2} (Minimum of 3 Required on All Homes)
Form	<ul style="list-style-type: none"> Two-story, rectangular form. Principal side gabled roof. Cantilevered second story balcony covered by principal roof. 	<ul style="list-style-type: none"> L-shaped form with front facing cross gable. Hipped roof elements.
Roof	<ul style="list-style-type: none"> Low-pitched gabled roofs (4:12 to 5:12). Flat tile roof with barrel ridge and hip tiles. 12" to 16" overhangs. Thin eaves with either a half-round or ogee gutter. 	<ul style="list-style-type: none"> Full S-tile roof. Applied shed roof elements over windows Exposed rafter tails..
Walls	<ul style="list-style-type: none"> Stucco is the dominant exterior finish. 	<ul style="list-style-type: none"> Brick at first floor, which may be painted. Horizontal wood siding at upper floor. Thickened walls.
Windows & Doors	<ul style="list-style-type: none"> Paired windows in groups of twos or threes. Tall vertical windows. Rustic plank entry door. 	<ul style="list-style-type: none"> First floor arched picture window at cross gable. Bermuda shutters. At least one pair of French doors accessing the balcony.
Details	<ul style="list-style-type: none"> Fixed panel or louvered wood shutters. Wood railing at balcony to match posts and beams. 	<ul style="list-style-type: none"> Exposed decorative wood elements at balconies. Ornate wrought iron railing at balcony.

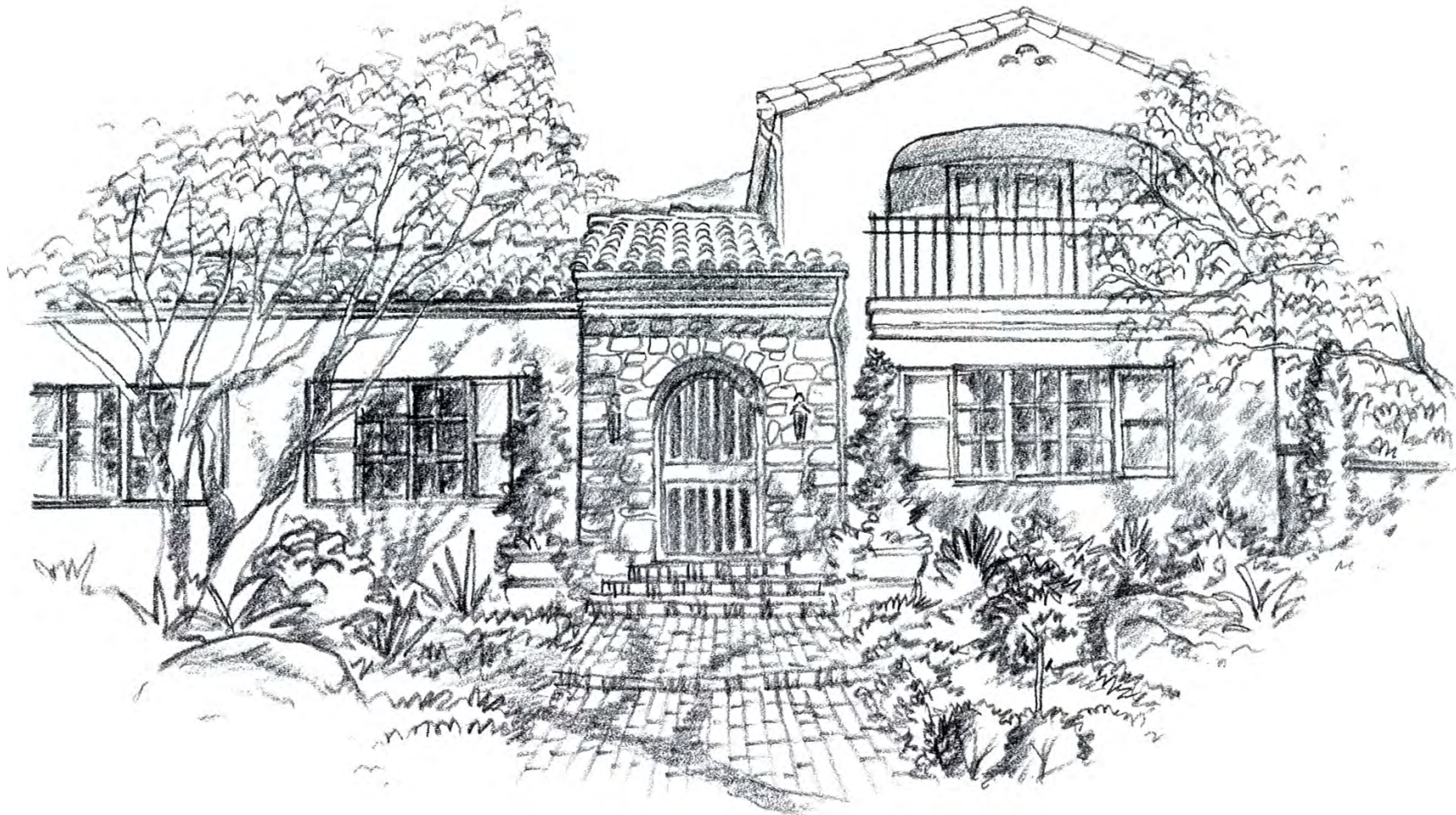
1. An additional 2 enhancements required on visible lots shown on Figure 4.1 for a total of 5 Enhanced Elements.

2. An additional 3 enhancements required on corner visible lots shown on Figure 4.1 for a total of 6 Enhanced Elements.

THE SPANISH ECLECTIC

The Spanish Eclectic architectural style in California gained in popularity and sophistication in surface design after the 1915 Panama-California Exposition in San Diego. The Spanish Eclectic house is popular in many historic neighborhoods due to its adaptability of formal and casual, playful character. Historic precedence can be drawn from a wide and diverse range of influences; region, chronology, and function all contribute to the evolution of the Spanish Eclectic style. Truly one of the most diverse architectural styles, the Spanish Eclectic can vary from playful to exotic, bungalow to hacienda.

The Spanish Eclectic style will add to the intrinsic character and rich diversity of the streetscape. Offering an opportunity for bold color statement and whimsical forms, the style will add a playful element to the neighborhood.



Style Elements	Minimum Elements (All Required on All Homes)	Enhanced Elements ^{1, 2} (Minimum of 3 Required on All Homes)
Form	<ul style="list-style-type: none"> One, one-and-a-half (with strong one-story element and stepped back second story), or full two-story massing. (The form is not rigidly defined; this style can be applied to a wide variety of asymmetrical building mass configurations.) Roof form is predominately pitched, hipped or gabled, but may also be parapeted. 	<ul style="list-style-type: none"> Massive chimney with buttressed form and elaborate cap with arched opening and small tiled roof. Massive battered (tapered) chimney with finial chimney cap. Recessed arcade along front elevation. Arcaded wing wall. Balconies.
Roof	<ul style="list-style-type: none"> Low pitched roof (3:12 to 5:12). Simple flat, hip, or gable roof with one intersecting gable roof. Overhangs are typically tight, but can be up to 18". Fascia is either tight to the building (6" max) or nonexistent with rake tile providing the transition from wall to roof. S-shaped concrete tiles. Thin eaves with either a half-round or ogee gutter. 	<ul style="list-style-type: none"> "Boosted" or raised tiles (may be all or a percentage of the roof field). Applied shed roof elements over windows. Exposed rafter tails.
Walls	<ul style="list-style-type: none"> Stucco is the dominant exterior finish. 	<ul style="list-style-type: none"> Overgrouted stone, brick, or adobe expressed as a single massing element.
Windows & Doors	<ul style="list-style-type: none"> Feature recessed arched picture window or three grouped arched windows. Vertical multi-paned windows or inserts at front elevations. Window head and jamb trim is absent. Modest (4" max) window sill trim. 	<ul style="list-style-type: none"> Accent beveled glass recessed window. Single or grouped arched windows. Decorative precast concrete door and window surrounds. Heavy wood head trim at windows. Thickened walls. Juliet balconies. Bermuda shutters.
Details	<ul style="list-style-type: none"> Masonry vents. Canales. 	<ul style="list-style-type: none"> Shaped rafter tails at feature areas. Wrought iron balconies and accent details. Arched stucco column porches. Vibrant and colorful glazed Spanish tile accents.

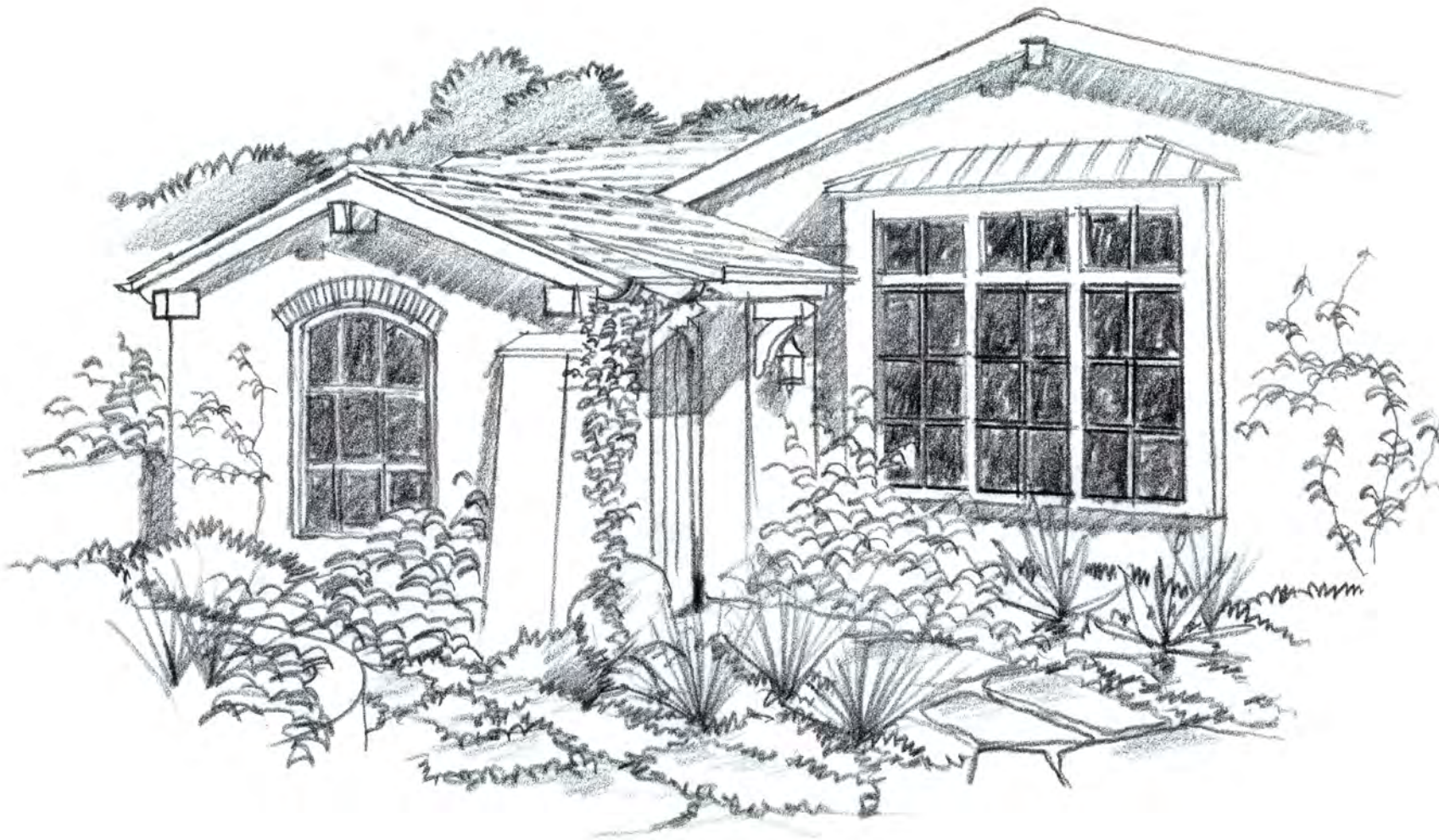
1. An additional 2 enhancements required on visible lots shown on Figure 4.1 for a total of 5 Enhanced Elements.

2. An additional 3 enhancements required on corner visible lots shown on Figure 4.1 for a total of 6 Enhanced Elements.

THE CALIFORNIA COTTAGE

The California Cottage introduces a quaint and picturesque element to the eclectic Russell Ranch streetscape. The Cottage typically has a steeply pitched roof, with the principal roof being side gabled, and multiple asymmetric cross gables. The Cottage is a popular style throughout historic California neighborhoods, with French and English European influences.

Homes may have applied half-timbering, and may feature face brick, which can be painted. Gabled dormers are common, with only modest eave extension. Details such as eyebrow dormers, bell-cast eaves, and arched windows add charm and whimsy to the storybook architectural style. Windows tend to be vertically oriented, often with casements, and often with square gridded or diamond-pane leaded muntins. Cottage houses generally have prominent chimneys.



Style Elements	Minimum Elements (All Required on All Homes)	Enhanced Elements ^{1, 2} (Minimum of 3 Required on All Homes)
Form	<ul style="list-style-type: none"> One, one-and-a-half, or full two-story massing. Asymmetrical massing and proportions. Gable roof form (either front-to-back, side-to-side, or cross-gable). 	<ul style="list-style-type: none"> Single eyebrow dormer. Multiple (two or three) gable dormers. Massive chimney, usually integrated with the dominant gable.
Roof	<ul style="list-style-type: none"> Low pitched main roof (3:12 to 6:12). Asphalt composition shingles preferred, concrete tile allowed with raised bargeboard. Rake at gables up to 12". 	<ul style="list-style-type: none"> Steeply pitched accent gable (6:12 to 9:12). Standing seam metal accent roof at dormers or bay windows. Up to 16" eaves.
Walls	<ul style="list-style-type: none"> Stucco, lap siding, masonry/brick, stone, or any combination thereof. 	<ul style="list-style-type: none"> Smooth or imperfect smooth stucco. Stone or brick wainscot. Horizontal siding accents at gables and single massing elements. Masonry as an entire massing element (e.g., chimney, gable end, etc.) Painted brick.
Windows & Doors	<ul style="list-style-type: none"> Divided lights common on all windows. Vertical windows in groupings of two and three. Head and sill window trim or full window surrounds. Entry doors accented by trim surrounds. 	<ul style="list-style-type: none"> Front elevation with all windows inset 2" or one feature window recessed 12". Round accent window or arched accent window flanked with arched shutters. Soft arch or radius top windows. Casement windows. Mulled window groupings. Arched entry door. Brick or stone window and/or door surrounds at key locations. Bay window. Deep recessed entry door.
Details	<ul style="list-style-type: none"> Shutters 	<ul style="list-style-type: none"> Exposed accent wood timbers and beams. Cast concrete door surrounds, window trim accents, and/or lentils. Balcony or windows with decorative metal railings and French doors. Recessed gable vents. Leader heads at downspouts. Brick window and/or door headers at key locations.

1. An additional 2 enhancements required on visible lots shown on Figure 4.1 for a total of 5 Enhanced Elements.

2. An additional 3 enhancements required on corner visible lots shown on Figure 4.1 for a total of 6 Enhanced Elements.

THE TRANSITIONAL BUNGALOW

The Craftsman bungalow was the first truly American vernacular style and became a very popular and beloved addition to historic California streetscapes. The Craftsman plan form broke with earlier formal Victorian spatial arrangements and changed the way that families lived in and related to their houses.

Russell Ranch's Transitional Bungalow reinterprets the traditional Craftsman style through a reduction in ornamentation and delicacy, bold material placement emphasizing major architectural elements, and prominent strong architectural forms. Focused on the blending of structure with nature, window walls and clerestory forms effectively bring the outdoors in to the home.



Style Elements	Minimum Elements (All Required on All Homes)	Enhanced Elements ^{1, 2} (Minimum of 3 Required on All Homes)
Form	<ul style="list-style-type: none"> Simple massing, front or side gabled, typically one- to one-and-a-half-story massing. Symmetrical or asymmetrical form. Deep front entry porch. Stylized column and beam detailing at porches 	<ul style="list-style-type: none"> Cross-gabled massing. Two stories with a combination of one and two-story elements. 6' minimum full width, deep porch at entry.
Roof	<ul style="list-style-type: none"> Low-pitched roofs with large over-hanging eaves, emphasizing horizontal planes. 4:12 to 6:12 roof pitch. 12" to 18" overhangs. Asphalt composition shingles 	<ul style="list-style-type: none"> Concrete roof tile with raised bargeboard. Varied porch roofs; shed or gabled. Metal roof at porch (standing seam or corrugated). Cascading (multiple) gables. Single large shed dormer. 18" to 36" overhangs. Extended and shaped barge rafters. Exposed rafter tails at eaves.
Walls	<ul style="list-style-type: none"> Exterior wall materials with combinations of materials, such as wood shingles, horizontal siding, board and batten, and stucco. 	<ul style="list-style-type: none"> Brick chimneys. Battered (tapered) stone foundation or wainscot. Foundation or wainscot using brick.
Windows & Doors	<ul style="list-style-type: none"> Single hung windows at front elevations. Use windows individually or in groups (typically two or three). Doors with full surrounds. Windows with full surrounds and a projected sill/apron. 	<ul style="list-style-type: none"> Casement windows. Three or more windows in a "ribbon." Grouped windows with a high transom. Large feature picture window flanked by two narrow vertical windows. Wide wood entry door with integrated glass. Wood door and window surrounds.
Details	<ul style="list-style-type: none"> Entry porches with columns resting on larger piers or bases. Porch rails of repeated vertical elements. 	<ul style="list-style-type: none"> Entry porch columns consisting of single or multiple wood posts with rectangular or battered brick or stone piers or bases. Wood brackets or knee braces. Porch rails comprised of decoratively cut boards that create a horizontal pattern. Typical downspouts replaced with "rain chains" or round metal downspouts. Open eave overhangs with plumb or square cut rafter tails. Exposed square cut ridge beams, outlookers, and purlins. Porte-cochère, pergola, or trellis that continues, or is integrated with, the front porch.

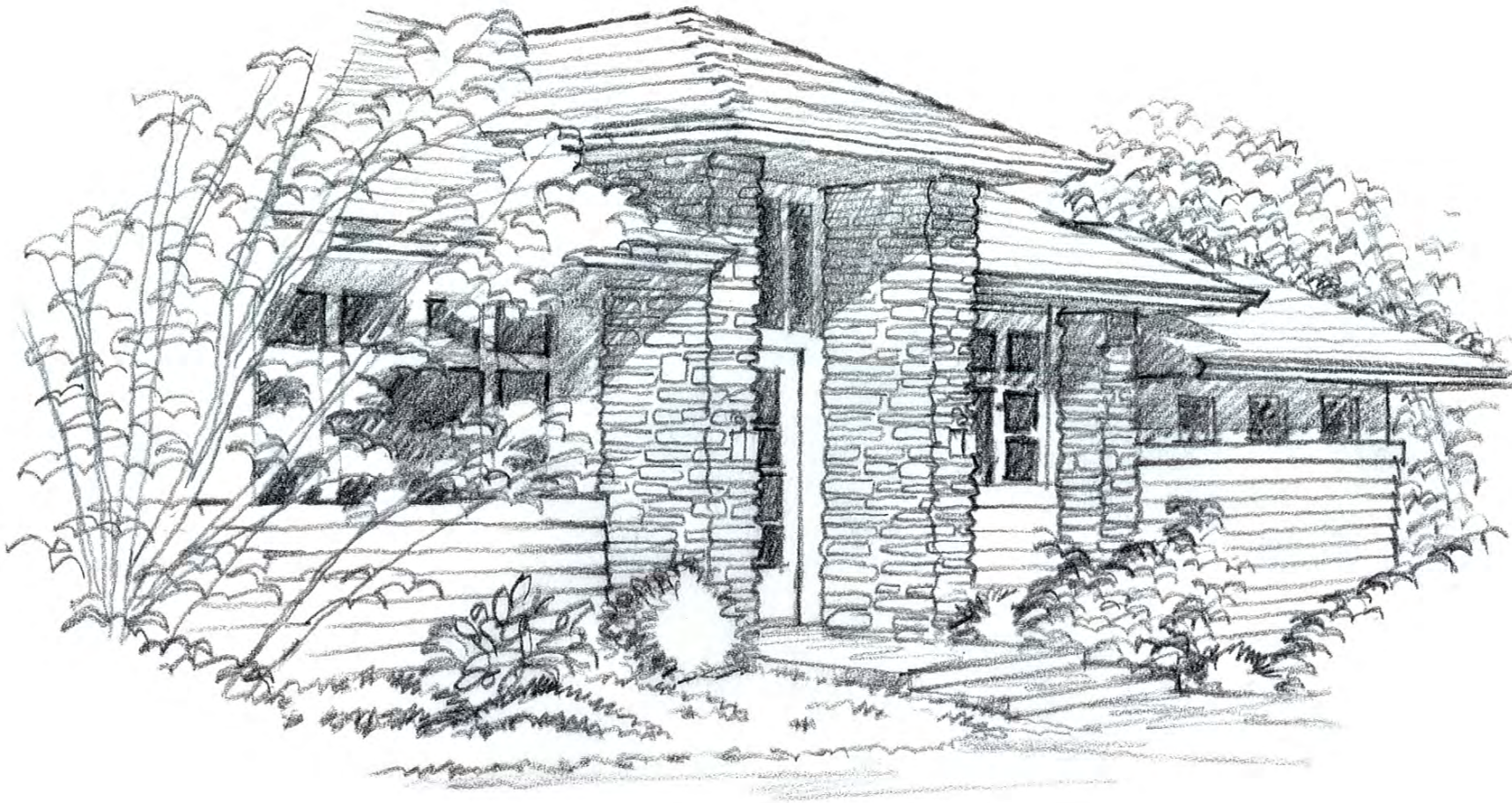
1. An additional 2 enhancements required on visible lots shown on Figure 4.1 for a total of 5 Enhanced Elements.

2. An additional 3 enhancements required on corner visible lots shown on Figure 4.1 for a total of 6 Enhanced Elements.

THE CALIFORNIA PRAIRIE

The Prairie style was borne of the Chicago Prairie School movement. The style is organic in nature, integrated with the land, using natural materials and abstracted nature forms. The Prairie emphasizes the integration of indoor and outdoor spaces with its trademark wide overhangs, appropriate for the regional climate, identifying the style. Although not as prevalent in the area as the Craftsman style, Prairie homes are very distinctive and add a strong horizontal presence to the community.

The California Prairie at Russell Ranch is a slightly abstracted version of the traditional Prairie style with simplicity in form and detail. A commitment to strong orthogonal forms and linear arrangements tie the California Prairie to its Midwestern roots.



Style Elements	Minimum Elements (All Required on All Homes)	Enhanced Elements ^{1, 2} (Minimum of 3 Required on All Homes)
Form	<ul style="list-style-type: none"> • One or two-story with strongly horizontal massing. • Secondary masses perpendicular to the primary forms. 	<ul style="list-style-type: none"> • Porte-cocheres (where applicable) and raised porches extending out from the entry of the home. • Accentuated horizontal base extending out as a site or planter wall.
Roof	<ul style="list-style-type: none"> • Long, horizontal low-pitched hip roofs with large over-hanging eaves, emphasizing horizontal planes (3.5:12 to 4:12 roof pitch). • 36" minimum overhangs. • Gable roof forms are also appropriate. • Flat concrete tile with a shingle appearance or asphalt composition shingles.. 	<ul style="list-style-type: none"> • Terraces covered by primary roof form with massive rectilinear stone piers for roof support. • 12" - 18" overhangs
Walls	<ul style="list-style-type: none"> • Stucco in combination with ledge stone or masonry wainscot base. • Ledge stone used as post bases and fireplaces only. 	<ul style="list-style-type: none"> • Extensive use of brick or ledge stone, used to emphasize the horizontal planes, with struck horizontal grout joints. • Cement plank lap siding is found in some examples.
Windows & Doors	<ul style="list-style-type: none"> • Square or rectangular windows • Grouping and arrangement of windows should emphasize the geometry of the elevation. • Ribbons of windows under deep roof overhangs. • Wood window and door trim. 	<ul style="list-style-type: none"> • Clerestory windows. • Leaded glass inserts at entry. • Accent colored window frames. • Style-specific divided lights
Details	<ul style="list-style-type: none"> • Ornamental railings and gates. • Wood beams and brackets. 	<ul style="list-style-type: none"> • Metal or wood fascia. • Carpenter detailing³. • Style-specific unique lighting fixtures. • Low garden walls to enclose and frame outdoor living spaces. • Massive chimney forms, wrapped in stone or brick.

1. An additional 2 enhancements required on visible lots shown on Figure 4.1 for a total of 5 Enhanced Elements.

2. An additional 3 enhancements required on corner visible lots shown on Figure 4.1 for a total of 6 Enhanced Elements.

3. Wood trim details (e.g., at doors, windows, eaves, terraces and pergola style porte-cocheres).

THE SPANISH COLONIAL REVIVAL

The 1915 Panama-California Exposition, designed by Spanish Colonial architecture expert Bertram Grosvenor Goodhue, ended the precedent of free adaptations of the Mission style and brought the emergence of precise imitations of more elaborate Spanish prototypes. Goodhue wanted to go beyond the then prevalent Mission interpretations and emphasize the richness of Spanish precedents found throughout Latin America. Fashionable architects of the time began to look directly to Spain for source material, finding a long and rich sequence of architectural traditions, which became melded into a style that became the Spanish Colonial Revival.

The Spanish Colonial Revival introduces a more formal and symmetrical counterpart to the playful Spanish Eclectic style, adding diversity to the Russell Ranch streetscape.



Style Elements	Minimum Elements (All Required on All Homes)	Enhanced Elements ^{1, 2} (Minimum of 3 Required on All Homes)
Form	<ul style="list-style-type: none"> One, one-and-a-half (with strong one-story elements), or full two-story massing. Roof form is predominantly pitched, hipped or gabled, but may also have a parapeted accent, which may be shaped in a traditional mission form. Primarily symmetrical form. 	<ul style="list-style-type: none"> Massive chimney with buttressed form and elaborate cap with arched opening and small tiled roof. Massive battered (tapered) chimney with finial chimney cap. Recessed arcade along front elevation. Arcaded wing wall. Balconies. Cantilevered second story elements with brackets.
Roof	<ul style="list-style-type: none"> Low pitched roof (3:12 to 5:12). Overhangs are typically tight, but can be up to 18". Fascia is either tight to the building (6" max) or nonexistent with rake tile providing the transition from wall to roof. S-shaped concrete tiles. Thin eaves with either a half-round or ogee gutter. 	<ul style="list-style-type: none"> "Boosted" or raised tiles (may be all or a percentage of the roof field). Exposed rafter tails.
Walls	<ul style="list-style-type: none"> Stucco is the dominant exterior finish. 	
Windows & Doors	<ul style="list-style-type: none"> Feature recessed arched picture windows or three grouped arched windows. Vertical multi-paned windows or inserts at front elevations. Window head and jamb trim is absent. Modest (4" max) window sill trim. Oversized wood entry door. 	<ul style="list-style-type: none"> Multiple feature recessed arched windows. Accent beveled glass recessed window. Single or grouped arched windows. Decorative precast concrete door and window surrounds. Heavy wood head trim at windows. Thickened walls. Juliet balconies. Bermuda shutters.
Details	<ul style="list-style-type: none"> Masonry vents. Canales. 	<ul style="list-style-type: none"> Scalloped eaves. Shaped rafter tails at feature areas. Wrought iron balconies and accent details. Arched stucco column porches. Vibrant and colorful glazed Spanish tile accents.

1. An additional 2 enhancements required on visible lots shown on Figure 4.1 for a total of 5 Enhanced Elements.

2. An additional 3 enhancements required on corner visible lots shown on Figure 4.1 for a total of 6 Enhanced Elements.

THE CALIFORNIA CRAFTSMAN

The Craftsman bungalow was an enormously influential form and style of architecture in America between 1906 and 1918, the first truly American vernacular style. The Craftsman plan form broke with earlier formal Victorian spatial arrangements and changed the way that families lived in and related to their houses.

Architecturally, the Craftsman bungalow was designed to achieve harmony between the house and its landscape, to get as close as possible to nature. A Craftsman bungalow has many of the hallmarks of the Arts and Crafts aesthetic: clinker brick, carved rafter tails, a mixture of cladding (brick, clapboard, tile, and shingle), and oversized eave brackets painted in colors of nature.

The California Craftsman recalls the comfortable and welcoming nature of the much-loved historic Craftsman bungalows with a uniquely California flair with large windows and an emphasis on the blending of indoor and outdoor spaces. These homes reflect a sense of permanence that only artisanship and careful design can convey.



Style Elements	Minimum Elements (All Required on All Homes)	Enhanced Elements ^{1, 2} (Minimum of 3 Required on All Homes)
Form	<ul style="list-style-type: none"> • Simple massing, front or side gabled, typically one- to one-and-a-half-story massing. • Symmetrical or asymmetrical form. • 6' minimum deep front entry porch. • Stylized column and beam detailing at porches 	<ul style="list-style-type: none"> • Cross-gabled massing. • Two stories with a combination of one and two-story elements. • Full width, deep porch at entry.
Roof	<ul style="list-style-type: none"> • Low-pitched roofs with large over-hanging eaves, emphasizing horizontal planes. • 4:12 to 6:12 roof pitch. • 12" to 18" overhangs. • Asphalt composition shingles preferred. 	<ul style="list-style-type: none"> • Concrete roof tile with raised bargeboard. • Varied porch roofs; shed or gabled. • Cascading (multiple) gables. • Roof dormers (shed or gable form). • 18" to 36" overhangs. • Extended and shaped barge rafters. • Exposed rafter tails at eaves.
Walls	<ul style="list-style-type: none"> • Exterior wall materials with combinations of materials, such as wood shingles, horizontal siding, board and batten, and stucco. 	<ul style="list-style-type: none"> • Stone, brick or combination chimneys. • Eliminate stucco as a wall treatment. • Foundation or wainscot using brick, stone, or a combination. • Battered (tapered) stone foundation or wainscot.
Windows & Doors	<ul style="list-style-type: none"> • Single hung windows at front elevations. • Use windows individually or in groups (typically two or three). • Doors with full surrounds. • Windows with full surrounds and a projected sill/apron. 	<ul style="list-style-type: none"> • Casement windows. • Divided light windows. • Three or more windows in a "ribbon." • Grouped windows with a high transom. • Wide wood entry door with integrated glass. • Wood door and window surrounds.
Details	<ul style="list-style-type: none"> • Entry porches with columns resting on larger piers or bases. • Porch rails of repeated vertical elements. 	<ul style="list-style-type: none"> • Wood brackets or knee braces. • Entry porch columns consisting of single or multiple wood posts with rectangular or battered brick or stone piers or bases. • Porch rails comprised of decoratively cut boards that create a pattern. • Additional "stick-work" in gable ends. • Typical downspouts replaced with "rain chains." • Open eave overhangs with shaped rafter tails. • Decorative ridge beams, outlookers, and purlins. • Porte-cochère, pergola, or trellis that continues, or is integrated with, the front porch.

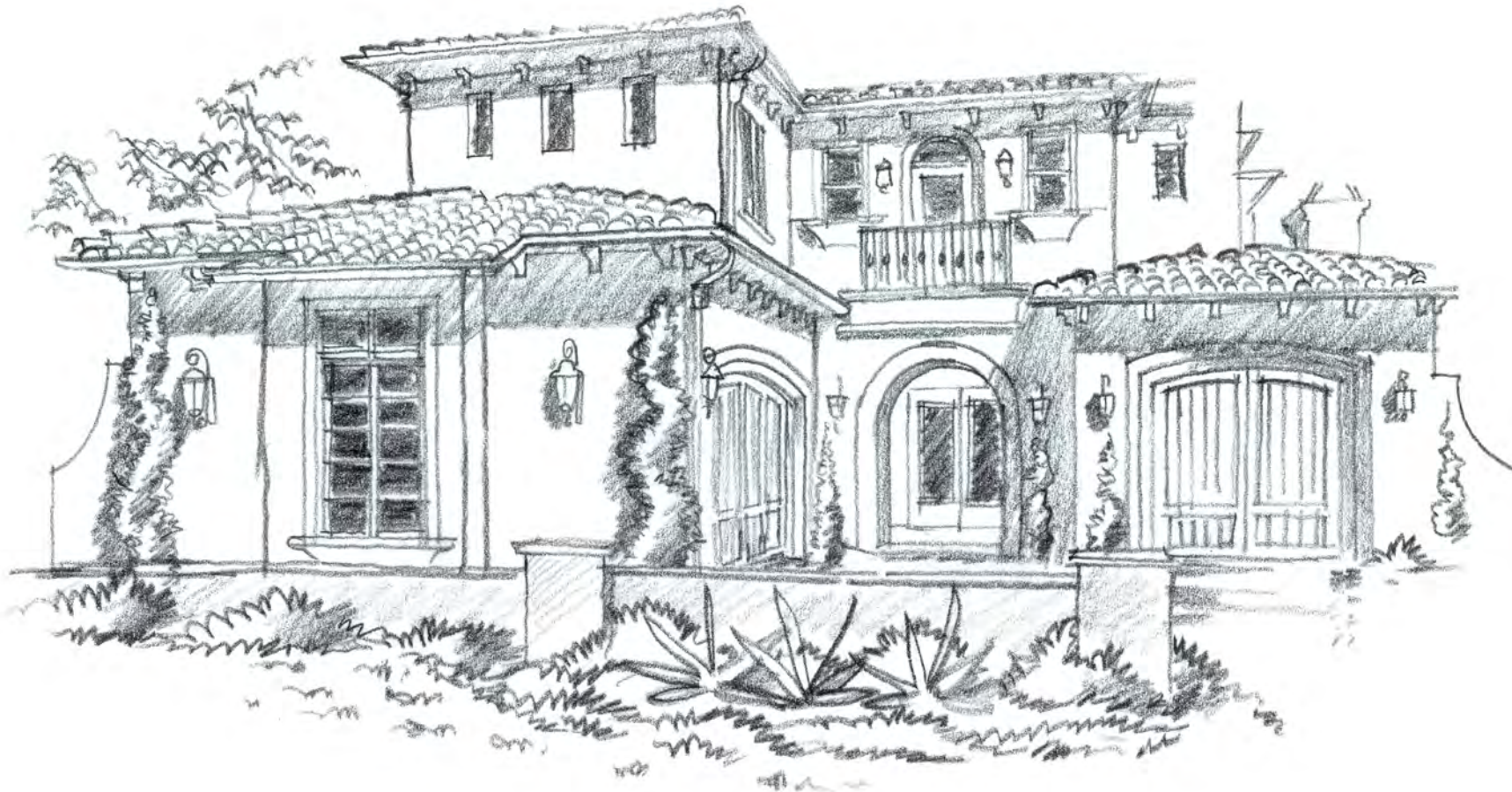
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THE CALIFORNIA VILLA

The Villa pays homage to Italian Renaissance architecture while introducing elements of California style. Simple, symmetrical, unornamented facades with decorative elements focused to high-visibility areas, such as doors and windows. Small details concentrated in high impact locations work to create a highly ordered style with classical elegance and restrained formality.

Being more formal and vertical in nature, the Villa adds an attractive contrast to some of the casual and eclectic styles within the neighborhood.



Style Elements	Minimum Elements (All Required on All Homes)	Enhanced Elements ^{1, 2} (Minimum of 3 Required on All Homes)
Form	<ul style="list-style-type: none"> Two-story form. Simple hipped roof with a flat, symmetrical facade. 	<ul style="list-style-type: none"> Full-width loggia with a formal and elegantly detailed colonnade.
Roof	<ul style="list-style-type: none"> Low pitched roof (4:12 to 5:12). Simple hipped roof. Broadly overhanging (24" min) boxed eaves. Barrel or S-shaped concrete tiles. 	<ul style="list-style-type: none"> Decorative brackets at eaves. Hipped roof with single-story projecting wings (i.e., porte-cochere or sunroom). Decorative frieze.
Walls	<ul style="list-style-type: none"> Stucco is the dominant exterior finish. 	<ul style="list-style-type: none"> Yellow brick walls. Horizontal rusticated base of stone or masonry.
Windows & Doors	<ul style="list-style-type: none"> Formal window arrangement across full facade. Symmetrical placement of windows. Smaller windows on upper floors. Classical door surrounds. 	<ul style="list-style-type: none"> Full-length first-story windows with arches above. Palladian window arrangements. Precast concrete door and window surrounds. Pedimented door surround with columns. Arched entry door. Pedimented windows.
Details	<ul style="list-style-type: none"> Belt-course to accent second floor plate or window sills. 	<ul style="list-style-type: none"> Roof-line balustrades. Molded cornices. Bracketed window cornices. Molded precast concrete belt-course to accent second floor plate or window sills. Shutters (louvered).

1. An additional 2 enhancements required on visible lots shown on Figure 4.1 for a total of 5 Enhanced Elements.

2. An additional 3 enhancements required on corner visible lots shown on Figure 4.1 for a total of 6 Enhanced Elements.



CITY OF
FOLSOM
DISTINCTIVE BY NATURE

AGENDA ITEM NO. 5
Type: Public Hearing
Date: February 21, 2024

Planning Commission Staff Report

50 Natoma Street, Council Chambers
Folsom, CA 95630

Project: Folsom Corporate Center Building 6 Sign Program Modification
File #: PDEV23-00179
Request: Planned Development Permit Modification for Internally Illuminated Signage
Location: 2365 Iron Point Rd.
Parcel(s): APN: 072-1190-150-0000
Staff Contact: Josh Kinkade, Associate Planner, 916-461-6209
jkinkade@folsom.ca.us

Property Owner

Name: Basin Street Properties
c/o Mike Williams
Address: 300 E. 2nd St.
Reno, NV 89501

Applicant

Name: Weidner CA
c/o Patrick DuHain
Address: 5001 24th St. Sacramento,
CA 95822

Recommendation: Conduct a public hearing, and upon conclusion recommend approval of an application for a Planned Development Permit Modification for the Folsom Corporate Center Building 6 Sign Program, as illustrated on Attachment 5 (PDEV23-00179), based on findings included in this report (Findings A-J) and subject to the attached conditions of approval (Conditions 1-6).

Project Summary: The proposed project includes a Planned Development Permit Modification to allow for internally illuminated wall signs for Building 6 of the Folsom Corporate Center, located at 2365 Iron Point Road. The building is currently allowed halo illuminated signage.

Table of Contents:

1. Description/Analysis
2. Background
3. Proposed Conditions of Approval
4. Vicinity Map
5. Proposed Uniform Sign Program, dated November 16, 2023
6. Applicant's Narrative
7. Photographs of Building 6



CITY OF
FOLSOM
DISTINCTIVE BY NATURE

AGENDA ITEM NO. 5
Type: Public Hearing
Date: February 21, 2024

Submitted,

PAM JOHNS
Community Development Director

**ATTACHMENT 1
DESCRIPTION/ANALYSIS**

APPLICANT'S PROPOSAL

The applicant, Weidner CA, is requesting approval of a Planned Development Permit Modification for internally illuminated wall signage for Building 6 of the Folsom Corporate Center. No increase in sign area beyond what is allowed in the existing sign program is proposed.

POLICY/RULE

Section 17.59.050 (F) of the Folsom Municipal Code (FMC) states that the Planning Commission shall, in granting a Planned Development Permit, specify and establish the size, location, number and conditions of signs to be erected and maintained in conjunction with the proposed project. Any signage proposed beyond what is allowed by Section 17.59.040 of the FMC requires approval by the Planning Commission.

ANALYSIS

Existing Signage

The existing signage associated with Folsom Corporate Center Building 6 includes one 43-square-foot freestanding monument sign fronting Iron Point Road, two wall signs facing Iron Point Road (Fidelity National Title and Guild Mortgage) totaling approximately 120.33 square feet in size and four freeway-facing wall signs (HDR, Trimark, RE/MAX and Morgan Stanley) totaling 250 square feet in size.

Existing Sign Program

The existing sign program allows for the following wall signage (non-illuminated or halo-lit):

- North (Iron Point Road-Facing) Elevation: up to two signs with a maximum size of 250 square feet total;
- East Elevation: one sign with a maximum size of 100 square feet;
- South (Freeway-Facing) Elevation: up to four signs with a maximum size of 400 square feet (maximum 100 square feet each); and
- West Elevation: up to two signs with a maximum size of 100 square feet total

The specifics of where each sign can appear on each elevation and the maximum square footage of each sign is detailed in the following diagram:

Elevation	Max Tenant Names	Max Square Footage (per elevation section)	Frontage
North (Proud) Elevation	One of two locations may be active at the same time	250	Facing Iron Point Road
North (Mid-Section) Elevation	Available only under the following conditions: - Full Floor or building tenant only - 100 sf max - Only one of locations N-1, N-2, N-4 or N-5 is allowed at the same time as N-3		Facing Iron Point Road entry driveway
North (Recessed) Elevation	One of two locations may be active at the same time		Facing Iron Point Road Entry Driveway
East (Proud) Elevation	One of two locations may be active at the same time	100	Facing westbound Hwy 50 and shopping center parking lot
South Elevations	Two locations- both may be active at the same time	400	Facing Hwy 50
West Elevation	Two of three locations may be active at this elevation as one time. If two locations are active, the max area allowed per sign is 50 SF. If only one location is active, sign area max is 100 sf.	100	Facing eastbound Hwy 50 and eastbound Iron Point Road
Total Maximum Sign Square Footage		850	

Proposed Illumination

As stated above, the existing sign program only allows for halo-illuminated or non-illuminated wall signage. The applicant is seeking to allow for internally illuminated signage.

The property owner has stated that they currently have 40,000 square feet of office space up for renewal in 2024-25. The applicant has indicated that one of the primary ways to communicate a corporate identity is through effective building signage. To that effect, the applicant believes that allowing for internally illuminated signage for Building 6 will entice future tenants to locate in Folsom, especially those with corporate branding requirements for internally illuminated signage.

In considering the applicant's request, staff concluded that there is merit to the proposal for internally illuminated signage for this particular building. Several buildings in the vicinity and along Iron Point Road have internally illuminated signs facing both Highway 50 and the internal streets. Building 6 faces commercially zoned land to the east, light manufacturing land to the south and west, and residential land to the north. Internally illuminated signage is allowed by right in commercial zones. The closest limited manufacturing-zoned building is located over 650 feet to the east and it also includes internally illuminated signage. As such, staff concludes that internally illuminated signage is in character with the land to the east, south and west.

The nearest residential use is approximately 450 feet to the north, across Iron Point Road. Other large internally illuminated signs in the area facing residential uses along Iron Point Road include Kioxia, Micron, Safe Credit Union and Quick Quack Carwash. These buildings are located 650 feet, 400 feet, 675 feet and 250 feet from existing residential uses respectively. These signs are comparable in size to the signs proposed to face Iron Point Road. Staff has not received any Code Enforcement complaints regarding the illumination of any of these signs. Because the signage on Building 6 will be located 450 feet from residential uses, staff concludes that the internally illuminated signs are in character with other businesses facing Iron Point Road across from residential uses.

The Folsom Municipal Code does not provide any specific standards regulating intensity of sign illumination. However, staff has provided Condition No. 2 which requires that all internally illuminated signage facing Iron Point Road be equipped with a dimmer. Dimmers are used to ensure that only the necessary intensity of illumination is provided to view the sign from the street. Furthermore, all illuminated signs are subject to the California Green Building Code's standards regarding light pollution reduction. With that, staff concluded that the proposed internal illuminated signs will not cause any greater visual impact to residential uses in the vicinity beyond that of the existing internally illuminated signage in the vicinity.

Based on the aforementioned factors, staff has determined that the proposed wall sign allowance meets the intent of the Folsom Municipal Code. Specifically, the Planned Development Permit Modification is acceptable because of the physical, functional, and visual compatibility between the building under the proposed sign program modification and existing and future adjacent uses and area characteristics. Furthermore, the proposed increase in building attached signage maintains a scale that is visually proportional based on the size and illumination of the proposed signs and that the proposed project will not be detrimental to the health, safety and general welfare of the persons or property within the vicinity of the project site, and the city as a whole.

Consistency with the Folsom Municipal Code

FMC Section 17.59.010.A addresses the purpose of the City's Sign Code. FMC Section 17.59.010.A.4 states that signs are intended to, "Balance the needs of the business and development community to advertise their goods and services with the community and

planning goals related to streetscape aesthetics and traffic safety.” Staff believes that this provision supports the notion that the proposed wall sign illumination should be permitted and that these needs have been balanced with the applicable community and planning goals.

Conclusion

Based on the aforementioned factors and analysis, staff has determined that the proposed sign program meets the intent of the Folsom Municipal Code with regard to the Planned Development Permit Modification.

ENVIRONMENTAL REVIEW

The project is categorically exempt from environmental review under Section 15301 (Existing Facilities) of the California Environmental Quality Act (CEQA) Guidelines.

RECOMMENDED PLANNING COMMISSION ACTION

Move to approve the Folsom Corporate Center Building 6 Sign Program Planned Development Permit Modification, as illustrated on Attachment 5 (PDEV23-00179), based on the findings included in this report (Findings A-J) and subject to the attached conditions of approval (Conditions 1-6).

GENERAL FINDINGS

- A. NOTICE OF HEARING HAS BEEN GIVEN AT THE TIME AND IN THE MANNER REQUIRED BY STATE LAW AND CITY CODE.
- B. THE PROJECT IS CONSISTENT WITH THE GENERAL PLAN AND THE ZONING CODE OF THE CITY.

CEQA FINDINGS

- C. THE PROJECT IS CATEGORICALLY EXEMPT FROM ENVIRONMENTAL REVIEW UNDER SECTION 15301 (EXISTING FACILITIES) OF THE CALIFORNIA ENVIRONMENTAL QUALITY ACT (CEQA) GUIDELINES.
- D. THE CUMULATIVE IMPACT OF SUCCESSIVE PROJECTS OF THE SAME TYPE IN THE SAME PLACE, OVER TIME IS NOT SIGNIFICANT IN THIS CASE.
- E. NO UNUSUAL CIRCUMSTANCES EXIST TO DISTINGUISH THE PROPOSED PROJECT FROM OTHERS IN THE EXEMPT CLASS.

PLANNED DEVELOPMENT PERMIT FINDINGS

- F. THE PROPOSED PLANNED DEVELOPMENT PERMIT MODIFICATION COMPLIES WITH THE INTENT AND PURPOSES OF CHAPTER 17.38 (PLANNED DEVELOPMENT DISTRICT) OF THE FOLSOM MUNICIPAL CODE, THE APPLICABLE ORDINANCES OF THE CITY, AND THE GENERAL PLAN.
- G. THE PROPOSED PLANNED DEVELOPMENT PERMIT MODIFICATION IS CONSISTENT WITH THE OBJECTIVES, POLICIES AND REQUIREMENTS OF THE DEVELOPMENT STANDARDS OF THE CITY.
- H. THE PHYSICAL, FUNCTIONAL AND VISUAL COMPATIBILITY BETWEEN THE PROPOSED PLANNED DEVELOPMENT PERMIT MODIFICATION AND EXISTING AND FUTURE NEIGHBORING USES AND AREA CHARACTERISTICS ARE ACCEPTABLE.
- I. THE PROPOSED ILLUMINATION OF ATTACHED BUILDING SIGNAGE IS VISUALLY APPROPRIATE FOR SURROUNDING USES.
- J. THE PROPOSED PLANNED DEVELOPMENT PERMIT MODIFICATION WILL NOT BE DETRIMENTAL TO THE HEALTH, SAFETY AND GENERAL WELFARE OF THE PERSONS OR PROPERTY WITHIN THE VICINITY OF THE PROJECT SITE, AND THE CITY AS A WHOLE.

ATTACHMENT 2 BACKGROUND

On August 15, 2000, the City Council approved a Planned Development Permit and Tentative Subdivision Map for the development of up to 1.425 million square feet of professional office space for the Folsom Corporate Center. A sign program was established as part of the Folsom Corporate Center Planned Development Permit approval.

On September 15, 2004, the Planning Commission approved a Planned Development Permit Modification and Conditional Use Permit to increase the sign area of proposed and future freeway-oriented wall signs at Building 6 within the Folsom Corporate Center site. On August 17, 2022, the Planning Commission approved another Planned Development Permit Modification and Conditional Use Permit to allow for additional wall signage on Building 6.

GENERAL PLAN DESIGNATION	IND (Industrial/Office Park)
ZONING	M-L (PD) (Limited Manufacturing- Planned Development)
ADJACENT LAND USES/ZONING	North: Iron Point Road and Multifamily Residential beyond (R-M PD) South: Undeveloped Industrial with U.S. Highway 50 beyond East: Folsom Corporate Center (C-3 PD) West: Undeveloped Industrial (M-L PD)
SITE CHARACTERISTICS	The site consists of a three-story, 398,000-square-foot, multi-tenant office building with associated parking and landscaping improvements. The area is surrounded by rolling hills with oak woodlands and native grasses.
APPLICABLE CODES	<u>FMC</u> Chapter 17.59, Signs <u>FMC</u> Chapter 17.38, Planned Development District

ATTACHMENT 3

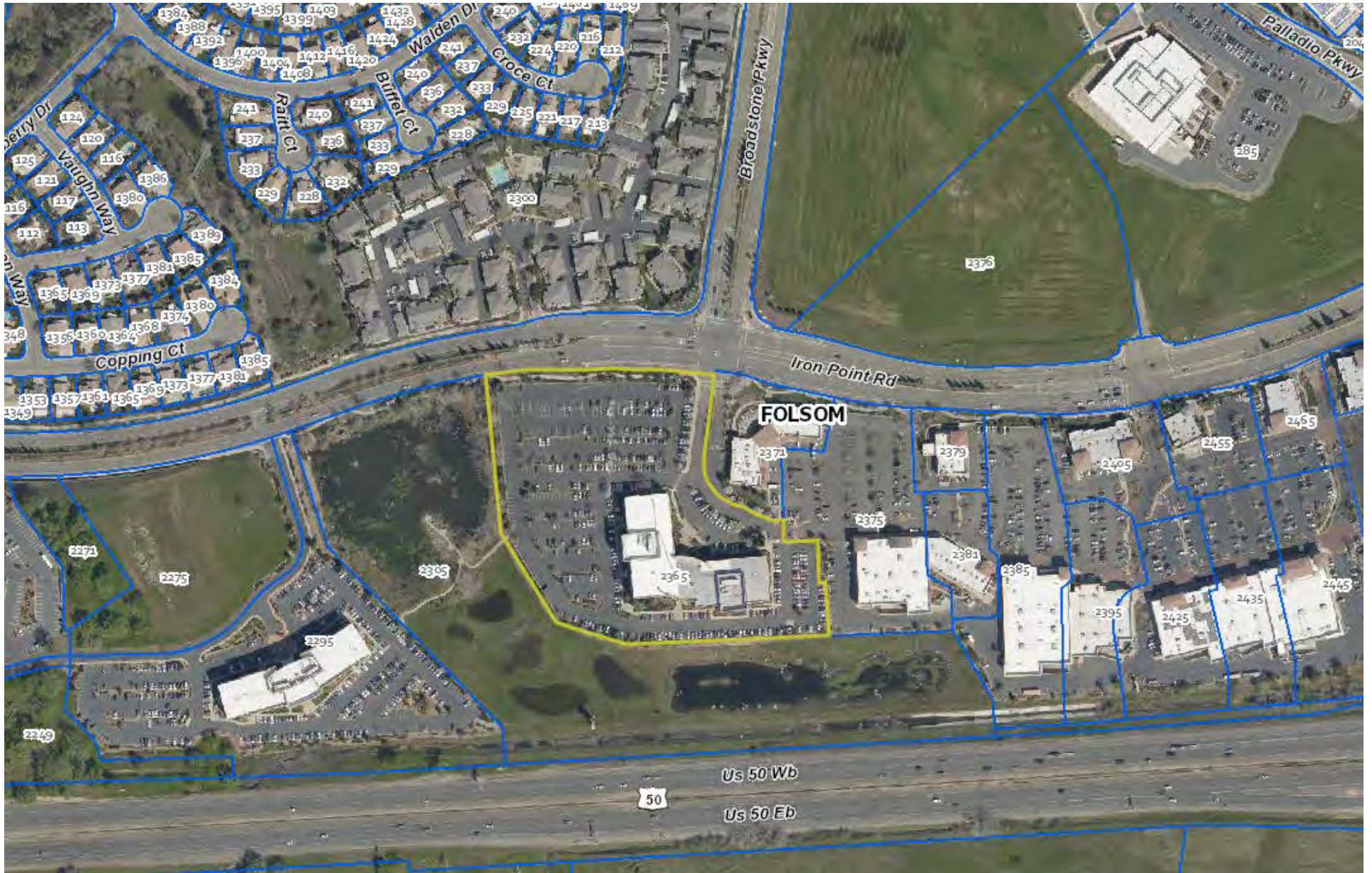
Proposed Conditions of Approval

CONDITIONS OF APPROVAL FOR FOLSOM CORPORATE CENTER BUILDING 6 SIGN PROGRAM MODIFICATION (PDEV23-00179)				
Cond. No.	Mitigation Measure	GENERAL REQUIREMENTS	When Required	Responsible Department
1.		Approval of this project is based on the Uniform Sign Program illustrated in Attachment 5. All signs for Folsom Corporate Center Building 6 shall be fabricated and installed in accordance with this sign criteria, as modified by this approval.	OG	CD (P)
2.		The final sign program shall state that all internally illuminated signs facing Iron Point Road be equipped with a dimmer.	B, OG	CD (P)(B)
3.		The applicant/owner shall obtain the necessary sign and building permits before installing signs.	B	CD (B)
4.		<p>The owner/applicant shall defend, indemnify, and hold harmless the City and its agents, officers and employees from any claim, action or proceeding against the City or its agents, officers or employees to attack, set aside, void, or annul any approval by the City or any of its agencies, departments, commissions, agents, officers, employees, or legislative body concerning the project. The City will promptly notify the owner/applicant of any such claim, action or proceeding, and will cooperate fully in the defense. The City may, within its unlimited discretion, participate in the defense of any such claim, action or proceeding if both of the following occur:</p> <ul style="list-style-type: none"> • The City bears its own attorney’s fees and costs; and • The City defends the claim, action or proceeding in good faith <p>The owner/applicant shall not be required to pay or perform any settlement of such claim, action or proceeding unless the settlement is approved by the owner/applicant.</p>	OG	CD (P)(E)(B) PW, PR, FD, PD
5.		The owner/applicant shall pay all applicable taxes, fees and charges at the rate and amount in effect at the time such taxes, fees and charges become due and payable.	B	CD (P)(E)

6.		The City, at its sole discretion, may utilize the services of outside legal counsel to assist in the implementation of this project, including, but not limited to, drafting, reviewing and/or revising agreements and/or other documentation for the project. If the City utilizes the services of such outside legal counsel, the applicant shall reimburse the City for all outside legal fees and costs incurred by the City for such services. The applicant may be required, at the sole discretion of the City Attorney, to submit a deposit to the City for these services prior to initiation of the services. The applicant shall be responsible for reimbursement to the City for the services regardless of whether a deposit is required.	B	CD (P)(E)
7.		If the City utilizes the services of consultants to prepare special studies or provide specialized design review or inspection services for the project, the applicant shall reimburse the City for actual costs it incurs in utilizing these services, including administrative costs for City personnel. A deposit for these services shall be provided prior to initiating review of the Final Map, improvement plans, or beginning inspection, whichever is applicable.	B	CD (P)(E)

RESPONSIBLE DEPARTMENT		WHEN REQUIRED	
CD (P) (E) (B) (F)	Community Development Department Planning Division Engineering Division Building Division Fire Division	I	Prior to approval of Improvement Plans
		M	Prior to approval of Final Map
		B	Prior to issuance of first Building Permit
		O	Prior to approval of Occupancy Permit
		G	Prior to issuance of Grading Permit
PW	Public Works Department	DC	During construction
PR	Park and Recreation Department	OG	On-going requirement
PD	Police Department		

Attachment 4 Project Vicinity



Attachment 5
Proposed Uniform Sign Program, dated
November 16, 2023



2365 Iron Point Road - MSP Amendment

Formally Building 6 of Folsom Corporate Center, Folsom, CA

WO: 48905
EST: G100066

Submittal #	Issue Date
S1	Nov 16, 2023

WeidnerCA

Signage and Graphics
to Brand the Built Environment®

Index

Sheet#		Sheet#	
01.00	General Information Introduction Tenant Signage	03.08	T-BID: South Section Elevation (Hwy 50 facing) Locations, Size Criteria and Examples
01.01	General Information Design Requirements Installation	03.09	T-BID: West Elevation (East Bound Hwy 50 & Iron Point Road facing) Locations, Size Criteria and Examples
01.02	General Information Calculating Signage Square Footage	04.00	T-BID: Tenant Building Mounted Identification Signage Signage Method and Criteria
02.00	Site Plan - Monument Sign Locations Tenant Monument Sign (T-MON))	05.00	T-MP: Tenant Monument Panel Signage Criteria
02.01	Building Plan - Allowable Building Mounted Tenant Identification Locations North Proud Elevation (Iron Point Road facing) North and East Recessed Elevations (Entry Drive facing) East Proud Elevation (Shopping Center facing/ Highway 50 visible) South Elevation (Highway 50 facing) West Elevation (Highway 50 and Iron Point Road visible)	05.01	T-MON: Tenant Monument Signage Criteria
03.00-03.01	T-BID: Elevations		
03.02	T-BID: Detail Matrix		
03.03	T-BID: North Proud Section Elevation (Iron Point Road facing) Locations, Size Criteria and Examples		
03.04	T-BID: North Recessed Mid Section Elevation (Iron Point Road facing) Locations, Size Criteria and Examples		
03.05	T-BID: North Recessed Section Elevation (Iron Point Road facing) Locations, Size Criteria and Examples		
03.06	T-BID: East Proud Elevation (West Bound Hwy 50 facing) Locations, Size Criteria and Examples		
03.07	T-BID: South Section Elevation (Hwy 50 facing) Locations, Size Criteria and Examples		

Project:
2365 Iron Point Road
MSP Amendment
2365 Iron Point Road
Folsom, CA

Client:
CBRE - 500 Capitol Mall

Designer:
WeidnerCA

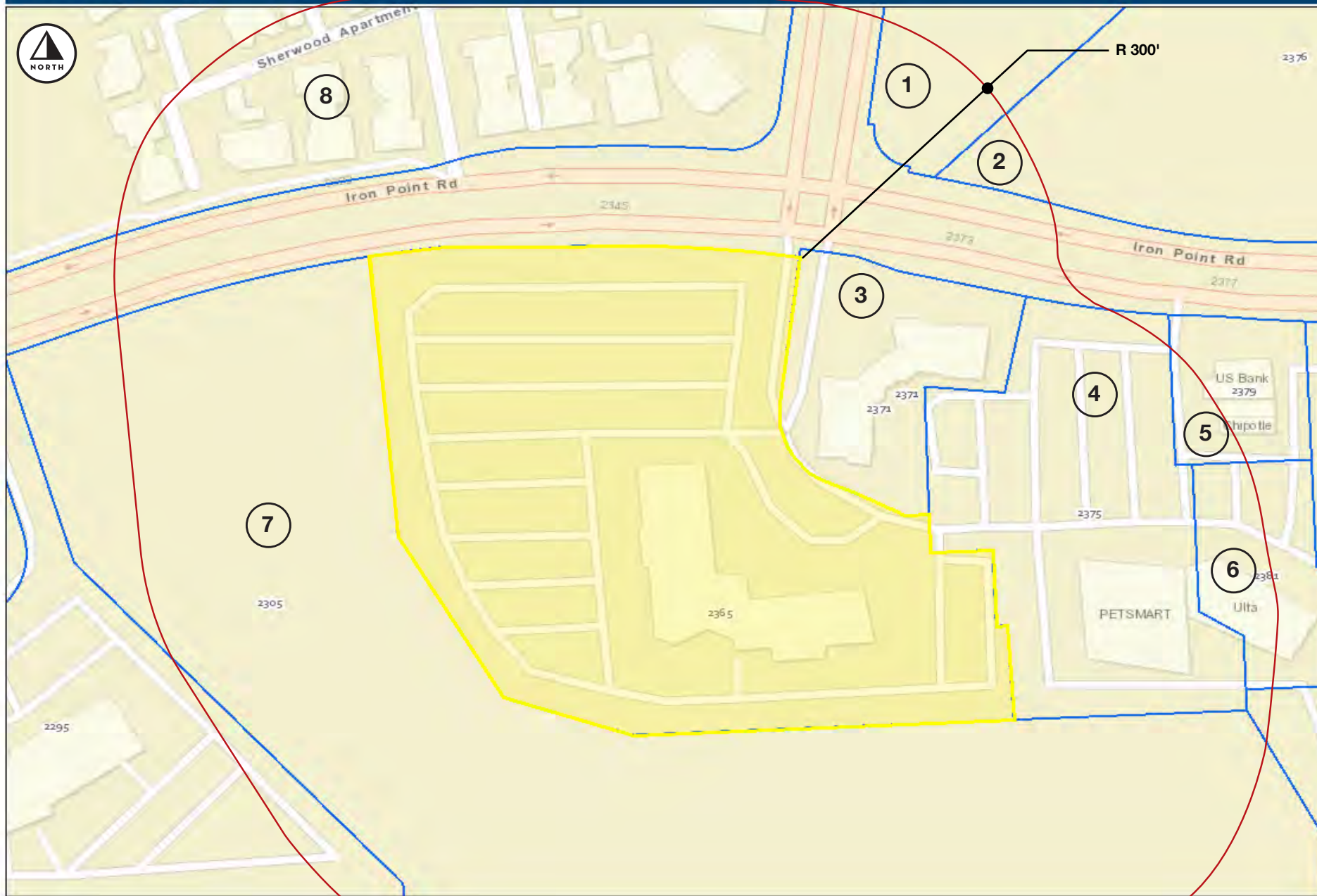
Work Order: 48905
Est. No: G100066
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Drawn By: BS

Revisions:

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NO.	ADDRESS TENANT	APN OWNER
1	Broadstone Pkwy Empty Lot	072-1190-128-0000
2	2376 Iron Point Rd Empty Lot	072-1190-129-0000
3	2371 Iron Point Rd Folsom Thai Cuisine Cascade Chiropractic Lucas Orthodontics Mattress Firm Folsom	072-1190-156-0000 Property Owner Info.
4	2375 Iron Point Rd Petsmart	072-1190-154-0000 Property Owner Info.
5	2379 Iron Point Rd US Bank Chipotle	072-1190-155-0000 Property Owner Info.
6	2381 Iron Point Rd Ulta	072-1190-153-0000 Property Owner Info.
7	2305 Iron Point Rd Pond & Picnic Area	072-3120-011-0000 Property Owner Info.
8	2300 Iron Point Rd Sherwood at Iron Point Apart.	072-1190-044-0000 Property Owner Info.

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Radius Map

Scale 1" = 150'

Introduction

2365 Iron Point Road is a three story 150,709 SF multi tenant office building. It is located adjacent to a major metropolitan travel artery two major shopping centers Kaiser Permanente's future major Medical Center

Iron Point Road fronts the North perimeter of property. Adjacent to the property on the West and South perimeters is wetland open space. Beyond the wetland space to the South lies Highway 50. The Folsom Gateway Shopping Mall is adjacent to the property to the East.

The property is accessed via a signaled drive that, once past the building, curves into the shopping center. This drive is one of two major entry/exit arteries to and from the shopping center.

The building is L shaped. The North and East elevations are staggered with the recessed portions of the elevations flanking the main entry and visitor parking directly off the entry drive.

The location, proximity to the wetland open space, position on the property and shape of the structure make all elevations of this building highly visible to the multitudes of traveling public every day. As such, this building is a highly desirable location for companies to display their signage with optimal exposure.

For the purposes of this document Elevations are approached based on their visibility: the recessed portions of the North and East elevations, which are visible only from the drive, or from 'on site', is treated as its own 'elevation'.

The visibility breakdown is as follows:

- That part of the North elevation that is proud of the rest of the elevation is the only part of the North elevation that is visible from Iron Point Road.
- The recessed portions of the North and East elevations are visible only from the drive and visitor parking area.
- The proud part of the East elevation is visible from both the shopping center and highway 50.
- The South elevation is visible from Highway 50.
- The West elevation is visible from both Highway 50 and Iron Point Road.

Tenant Signage

The signage for this property consists of two sign type categories:

1. (T-MON) and (T-MP)
Tenant Monument and Tenant Monument Panels
2. (T-BID)
Tenant Building Mounted Identification

Tenant Identification signage is intended to provide notification of tenant's existence in the building to vehicular traffic and to pedestrians on sidewalks. Signage locations are limited to the Tenant Monument sign and Building Mounted signage. Tenants whose names will be allowed on the Tenant Monument are based on separate criteria established by the Landlord and documented in the Tenant's lease agreement. All Tenant signage must comply with the criteria herein and is subject to Landlord approval prior to permit application.

T.1 General Criteria

All Tenants must comply with the following criteria. The following guidelines apply to all tenant signage. Use of logo-marks and corporate identity elements (such as symbols, special shapes, etc.) will be considered signage and are subject to all regulations contained in these guidelines.

T.2 Design Review Process, Permits

All construction documents for signage, permanent or temporary, must be reviewed and approved by an authorized agent of the Building Owner, here after noted as 'Landlord', prior to submittal to local governing agencies for review and permitting. Fees and expenses related to the design, permitting, fabrication and installation, including special installation considerations, shall the responsibility of the tenant. Fabrication and installation must be by a Landlord approved company.

Top of building signage will only be available to tenants occupying a minimum 5,000 square feet of space. Qualified tenants must also have well-established identity and branding standards.

T.3 Sign Removal

Upon termination of the lease and/or vacating of the premises, tenant shall be responsible for the removal of their name unless the requirement is waived by the Landlord in writing. Removal must be performed by a Landlord approved company within 30 days of the termination of the lease. The surface area(s) upon which signage was located must be left free and clear of any evidence of the tenant's signage, in like-new condition. Holes must be properly sealed and finished. In the event the signage is not removed within the allotted time, the Landlord may remove the signage at the expense of the vacated tenant.

Tenant Signage continued

T.4 Exhibits

The exhibits shown along with text are included to aid in interpreting the intent of these guidelines. Together the text and exhibits describe the number, size, location, colors, and types of materials approved for signs at this address.

T.5 Allowable Messages

The content of tenant's signage shall be limited to the tenant's trade name and/or logo. Added descriptive words used to define the type of business are not allowed.

T.6 Number of Signs

Major Tenants, as defined by the Landlord's criteria, may have up to two (2) Tenant Building Mounted Identification (T-BID) signs. Signs shall be on separate building elevations and be separated by a minimum of three (3) tenant signage locations as defined herein on the sign location pages.

Other Tenants, who in their lease agreement are allowed signage, may have no more than one (1) Tenant Building Mounted Identification (T-BID) sign.

Tenant Identification may also be permitted on the Tenant Monument sign as allowed by tenant's lease agreement with the Landlord.

T.7 Sign Sizes

Tenant lettering, logos, logo-marks, and other identification elements must fit within the defined signage spaces both upon the building and upon the tenant monument sign panel.

T.8 Calculating Sign Square Footage

How to calculate signage square footage is described and illustrated on sheet 01.02.

T.9 Colors

Tenants may use colors for building mounted signage. Color choices must be approved by the Landlord. Identification on the monument is limited to one (1) color.

T.10 Illumination

Building mounted signage may be illuminated. See Design requirements, next page and on 04.00 sheet(s).

T.11 Prohibited Signage

The following are expressly prohibited:

- Electronic Reader Boards
- Moving Elements
- Flashing Elements
- Other signage or elements as noted in the City of Folsom Municipal Code Signage Section.

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2365 Iron Point Road
Folsom, CA

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Designer:

WeidnerCA

Work Order: 48905

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Drawn By: BS

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General Information

01.00

Design Requirements

D.1 The location of signs shall be only as shown on the Sign Location Pages of this document.

D.2 All electrical signs shall bear the UL Label and the installation must comply with all local building and electrical codes.

D.3 All conductors, transformers, dimmers and other related equipment shall be concealed behind the wall upon which the sign is attached with exceptions as noted by D.4.

D.4.1 Exposed raceways are prohibited. Raceways shall be defined as enclosed 'pans' that house wire connections, and, conductors, transformer(s) and/or other related equipment. See exhibit D.4.1.

D.4.2 Wireways shall be permitted, but are subject to Landlord approval. Wireways shall be no more than 2" deep, mounted flush to the wall and painted to match the wall color. Wireways are defined as shallow 'pans' that house only wires connecting parts of the same element. Wireways serve the purpose of allowing all logo elements to be illuminated, concealing and funneling wires to a single penetration.

D.4.3 Exposed conduit shall only be allowed in short sections connecting parts of the same element/letter. Conduit shall be defined as a wire encasement that connects sign elements to power

Design Requirements continued

source(s) or to other sign elements. Exposed conduit shall be painted to match the wall color. Example of allowed conduit: the dot of the letter 'i' to the body of the letter. Exposed conduit connecting letters or logo parts to the transformer shall not be allowed. See exhibit D.4.3.

See Tenant Building Mounted Sign Criteria starting on page 04.00 for more details and exhibits.

D.5 Signage can be either halo or face lit illuminated.

D.6 All sign fastenings, bolts, and clips shall be galvanized iron, stainless steel, aluminum, brass, or, bronze or black iron of any type.

D.7 Location of all openings for conduit and sleeves in sign panels on the building shall be indicated in the review and permit package.

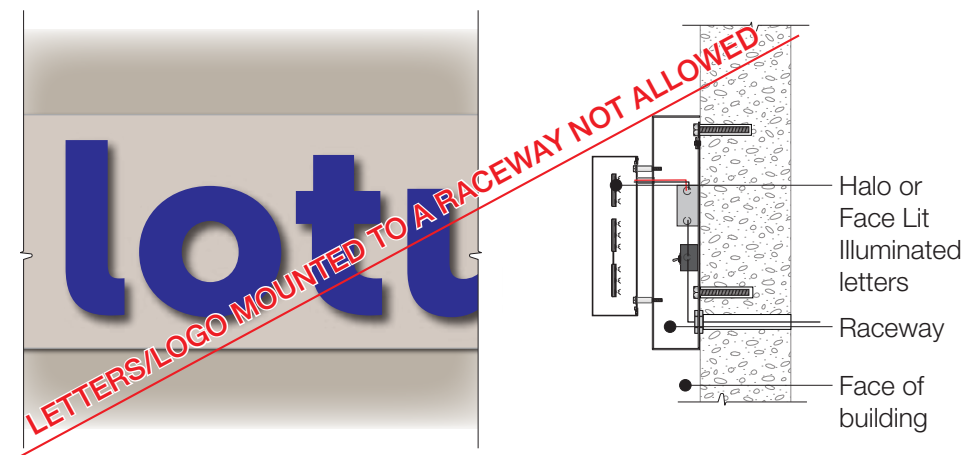
D.8 No sign-makers labels or other identification will be permitted on the exposed surface of signs, except those required by ordinance. Required labels shall be located in an inconspicuous location.

D.9 Items or issues not addressed by this building specific Master Sign Program shall be deferred to the City of Folsom Municipal Code Signage Section.

Installation

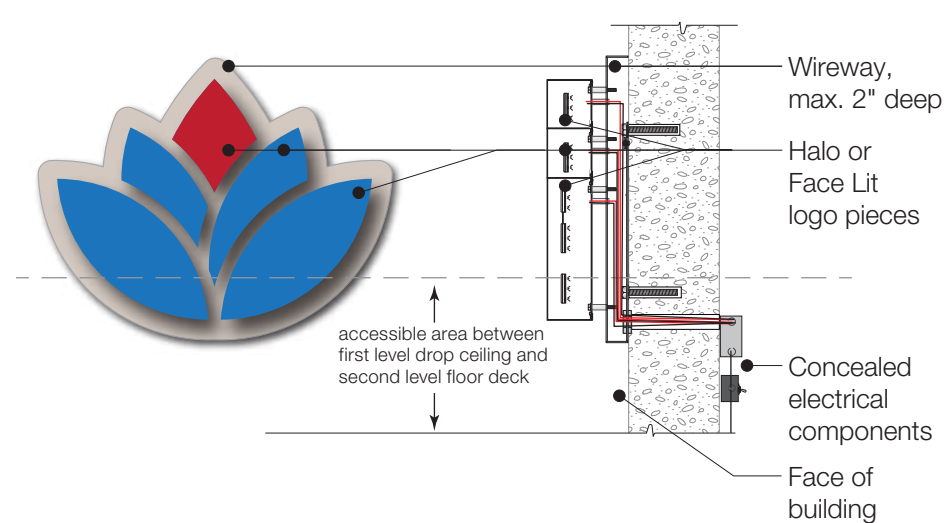
I.1 Installation or Removal Hours

Installation or removal that has the potential to be particularly disruptive to building tenants may be required to be done outside of normal business hours. Normal business hours shall be defined as 8AM to 5PM Monday through Friday. Disruptive installations may include, but is not limited to, the installation of one tenant's sign on the wall of another tenant's space. Expenses related to installation outside of normal business hours shall be the responsibility of the tenant who is installing or removing the sign. The Landlord has the directive to decide if an installation or removal should be done outside of normal business hours.



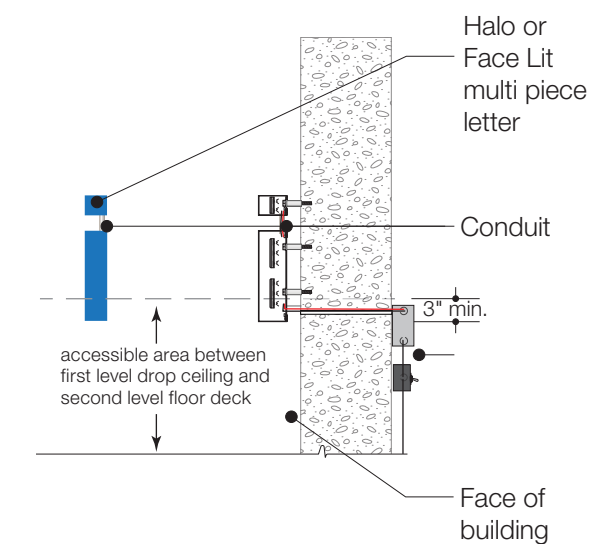
EXAMPLE: HALO OR FACE LIT ILLUMINATION LETTERS ON RACEWAY ILLUSTRATIVE ELEVATION AND X-SECTION

D.4.1 Scale: NTS



EXAMPLE: HALO OR FACE LIT ILLUMINATED, MULTIPLE PIECE LOGO ON WIREWAY ILLUSTRATIVE ELEVATION AND X-SECTION

D.4.2 Scale: NTS



EXAMPLE: HALO OR FACE LIT ILLUMINATED, MULTIPLE PIECE LETTER WITH CONDUIT CONNECTION ILLUSTRATIVE ELEVATION AND X-SECTION

D.4.3 Scale: NTS

WeidnerCA

Signage and Graphics
to Brand the Built Environment®

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Sacramento, CA 95822
916-452-8000

WeidnerCA.com

CA License No. 559090

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MSP Amendment
2365 Iron Point Road
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Designer:

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General Information

01.01

Calculating Signage Square Footage

SF.1 Freestanding Tenant Monument

For the freestanding tenant monument, the perimeter of the measurable "sign area" shall not include sign support, framing, and/or design embellishments beyond the designated tenant identification area.

The sign area of a double-faced sign with identical size and message placed back to back on the same structure (not more than 24 inches apart) so that only 1 face is visible at a time, shall be computed as the measurement of one of the faces. The sign area for multi-faced signs shall be computed by adding together the area of all sign faces visible from any 1 point.

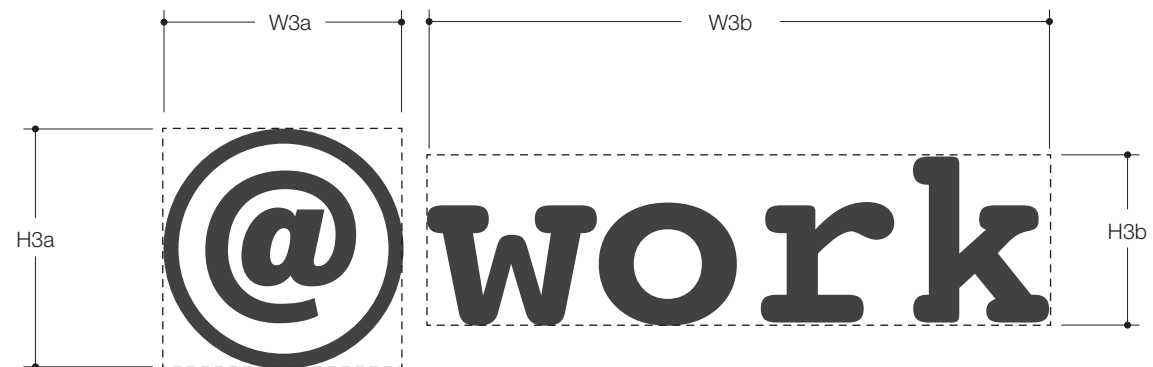
SF.2 Sign Faces, Sign Panels.

When signs are considered to have a sign face, or to be applied to a panel, then the square footage of the sign shall be the area of the sign face or panel. The area of the panel shall be computed by means of a single continuous perimeter composed of any rectilinear geometric figure which encloses the extreme limits of the sign face or panel.

Panel is defined as a dedicated area for signage content, or consist of a panel like element that contains the content of the signage and is of a different material than the surface upon which the panel is mounted.

SF.3 Wall Mounted Individual Letters

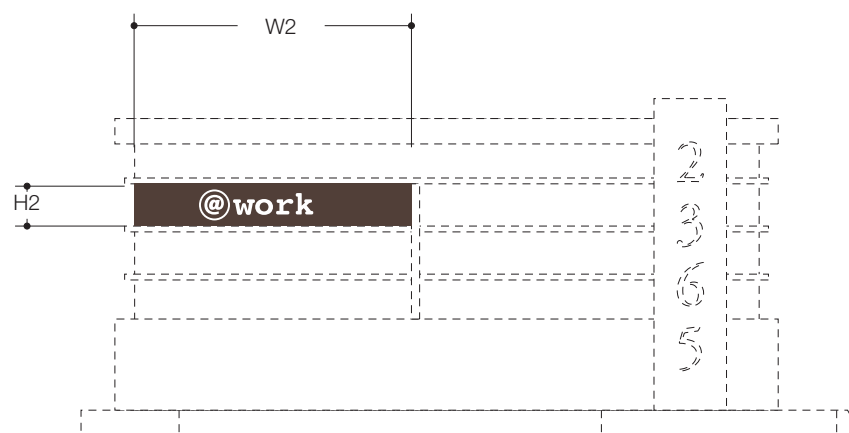
When building or wall attached signage is composed of individual letters, logo or symbols using the wall as the background with no added decoration, the total sign area shall be calculated by measuring the area of a rectilinear geometric figure which encloses each word or logo. The combined areas for the individual words and/or logos shall be considered the total sign area.



$$\text{AREA (SQUARE FOOTAGE)} = (H3a \times W3a) + (H3b \times W3b)$$

3 SF.3 ILLUSTRATED

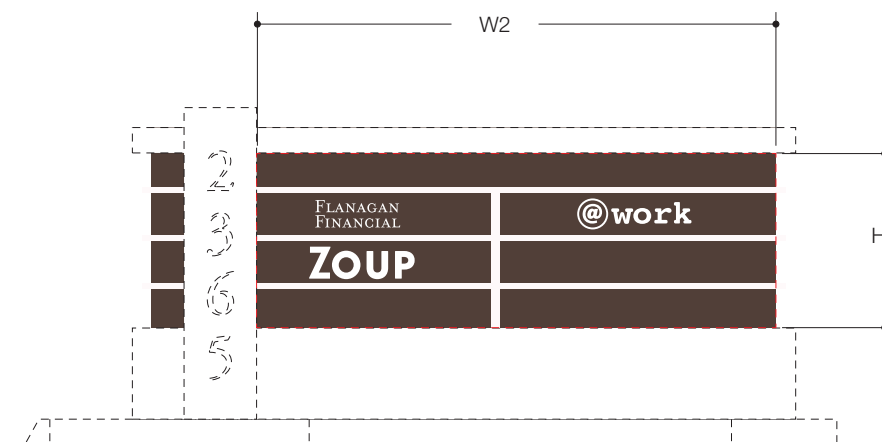
Scale: 1/2" = 1'-0"



$$\text{AREA (SQUARE FOOTAGE)} = (H2 \times W2)$$

2 SF.2 ILLUSTRATED

Scale: 1/2" = 1'-0"



$$\text{AREA (SQUARE FOOTAGE)} = (H1 \times W1)$$

1 SF.1 ILLUSTRATED

Scale: 1/2" = 1'-0"

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General Information

01.02



Keynotes

- A See Sheet 02.01 for building plan view of allowable building mounted tenant identification(T-BID) locations.
- B Existing Tenant Monument Identification (T-MON) sign
Quantity of one allowed

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SITE PLAN

Monument Sign
Location

02.00

1 SITE PLAN: SITE DIMENSIONS AND MONUMENT SIGN LOCATIONS
Scale: 1" = 80'-0"

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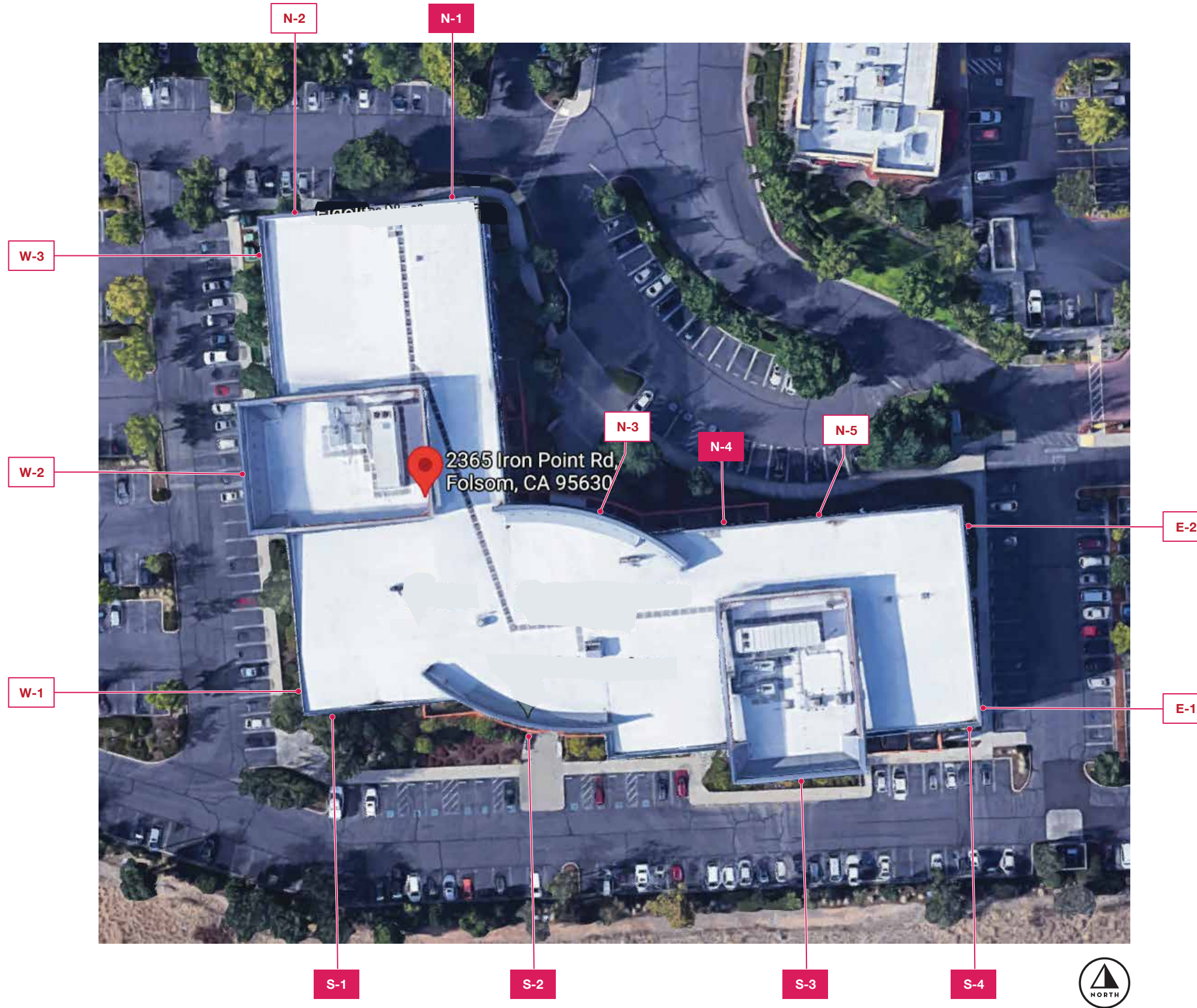
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BLDG PLAN
Allowable Bldg. Mounted
Tenant Identification
Locations
02.01



Sign Locations

Locations shown are approximate.

*Elevations may allow multiple locations, but not all locations can be occupied at one time. *See building elevations on sheets 03.00 - 03.09 for more information.*

Tenant Identifications:

Numbers designate specific locations.

'(alpha)' designates the building elevation upon which the sign is located.

- S-1 Existing Location
- S-2 New location

1 BUILDING PLAN VIEW: ALLOWABLE BUILDING MOUNTED TENANT IDENTIFICATION SIGNAGE LOCATIONS
≈Scale: 3/16" = 1'-0"

Project:
2365 Iron Point Road
MSP Amendment
2365 Iron Point Road
Folsom, CA

Client:
CBRE - 500 Capitol Mall

Designer:
WeidnerCA

Work Order: 48905
Est. No.: G100066
Issued: 11-16-2023
Drawn By: BS

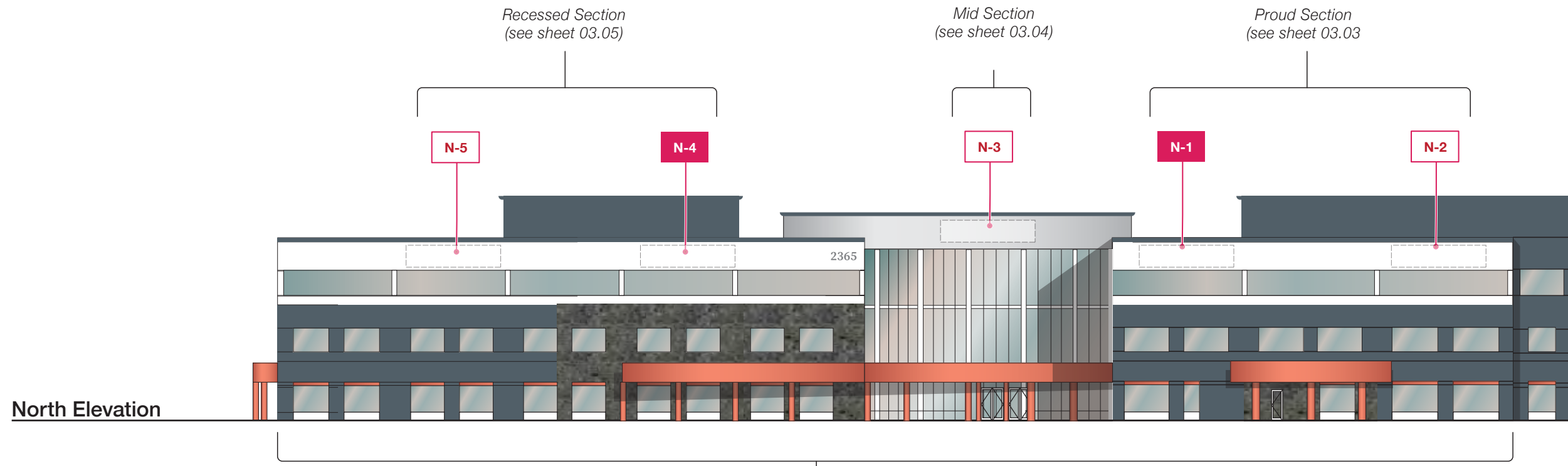
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T-BID
Tenant Building Mounted ID
Elevations

03.00

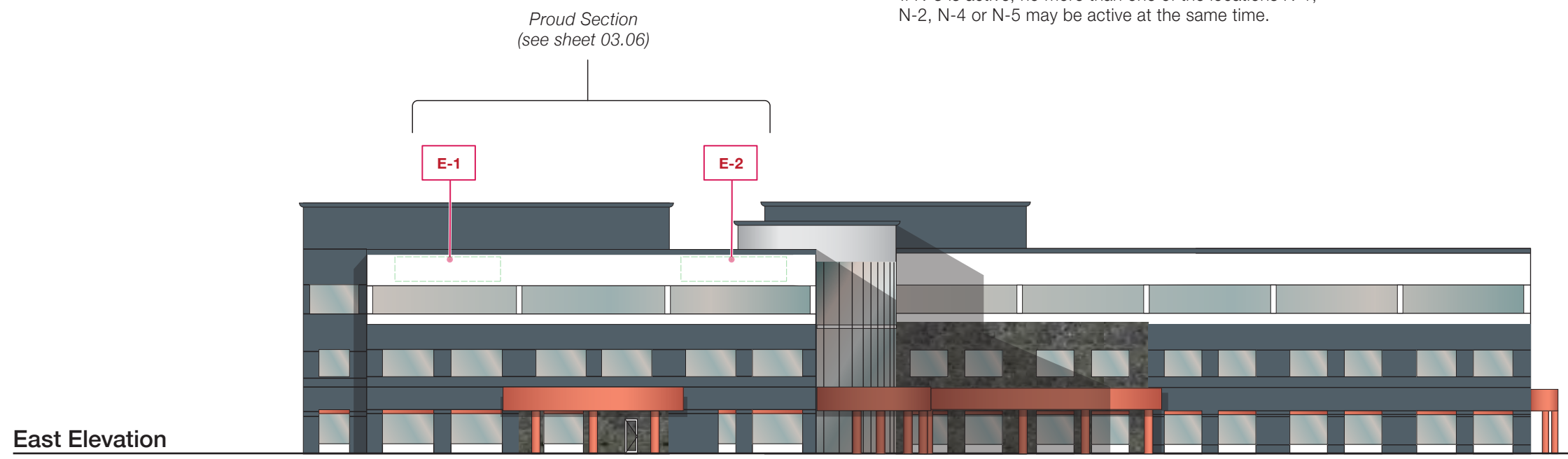


North Elevation

Overall Elevation Max. Sign Area = 250SF

Specifications: **N-1 or N-2:** one (1) of two (2) locations may be active at one time. 100SF MAX
N-4 or N-5: one (1) of two (2) locations may be active at one time. 100SF MAX

N-3 available only under the following conditions:
- Full floor or full building tenant only
- 150SF MAX
- If N-3 is active, no more than one of the locations N-1, N-2, N-4 or N-5 may be active at the same time.



East Elevation

Overall Elevation Max. Sign Area = 100SF

Specifications: Both locations may be active at one time.
If both locations are active, each sign has a 50SF MAX.
If only one (1) location is active, the sign area has 100SF MAX

(see sheet 03.07)

(see sheet 03.08)

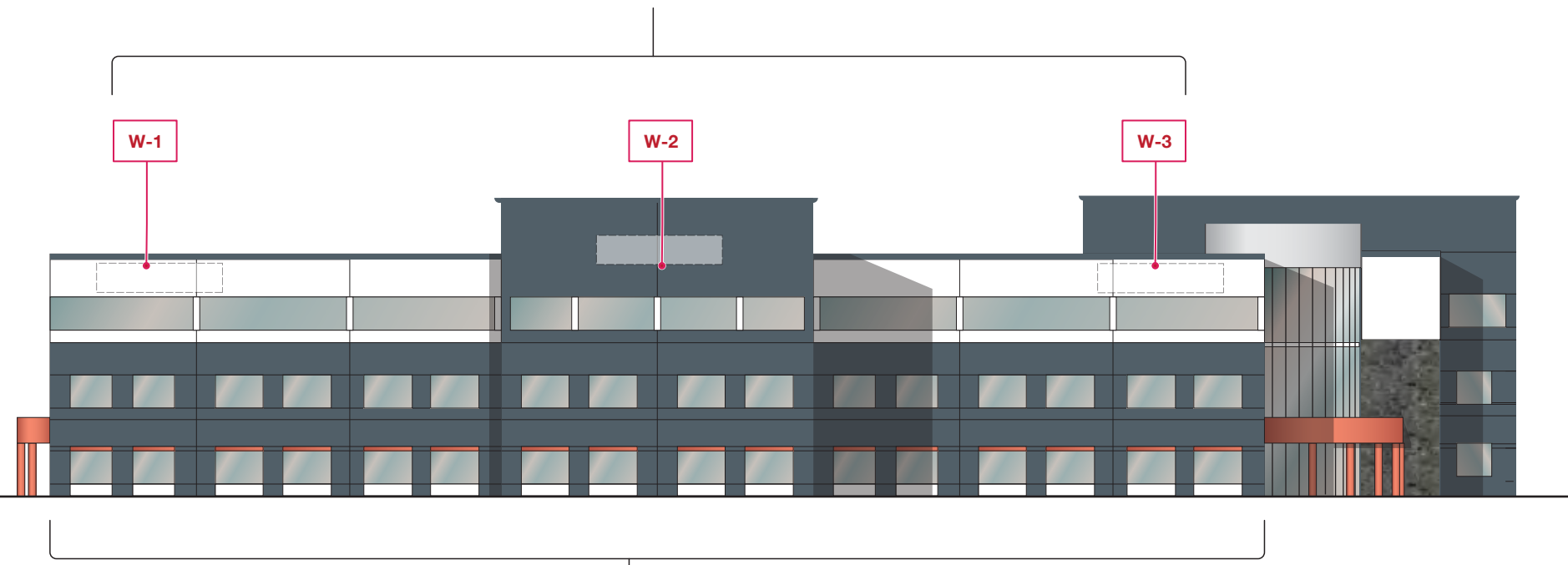
South Elevation



Overall Elevation Max. Sign Area = 400SF
Specifications: Placement allowed at four locations.
 Each sign has 100SF max.

(see sheet 03.09)

West Elevation



Overall Elevation Max. Sign Area = 100SF
Specifications: Only two (2) of three (3) locations may be active at one time.
 If two (2) locations are active, each sign has a 50SF MAX.
 If only one (1) location is active, the sign area has 100SF MAX

Building Mounted Tenant Identification Detail Matrix

Sign Type & Location	Elevation	Max Tenant Names	Max Square Footage (per elevation section)	Frontage
T-BID N-1 & N-2	North (Proud) Elevation	One (1) of two (2) locations may be active at the same time.	250	This wall has frontage facing Iron Point Road
T-BID N-3	North (Mid Section) Elevation	Available only under the following conditions: - Full floor or building tenant only - 100 SF max. - Only one (1) of locations N-1, N-2, N-4 or N-5 is allowed the same time as N-3		This wall has frontage facing Iron Point Road entry drive way
T-BID N-4 & N-5	North (Recessed) Elevation	One (1) of two (2) locations may be active at the same time.		This wall has frontage facing Iron Point Road entry drive way
T-BID E-1 & E-2	East (Proud) Elevation	One (1) of two (2) locations may be active at the same time.	100	This wall has frontage facing West Bound Hwy 50 & Shopping Center parking lot
T-BID S-1 & S-2	South Elevation	Two (2) locations - both may be active at the same time	200	This wall has frontage facing Hwy 50
T-BID S-3 & S-4	South Elevation	Two (2) locations - both may be active at the same time	200	This wall has frontage facing Hwy 50
T-BID W-1, W-2 & W-3	West Elevation	Two (2) of three (3) locations may be active at this elevation at one time. If two (2) locations are active, the max area allowed per sign is 50SF. If only one (1) location is active, Sign area max is 100SF.	100	This wall has frontage facing East Bound Hwy 50 & East Bound Iron Point Road
TOTAL MAXIMUM SIGN SQUARE FOOTAGE			850	

5001 24th Street
 Sacramento, CA 95822
916-452-8000

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 CA License No. 559090

Project:
 2365 Iron Point Road
 MSP Amendment
 2365 Iron Point Road
 Folsom, CA

Client:
 CBRE - 500 Capitol Mall

Designer:
 WeidnerCA

Work Order: 48905
Est. No: G100066
Issued: 11-16-2023
Drawn By: BS

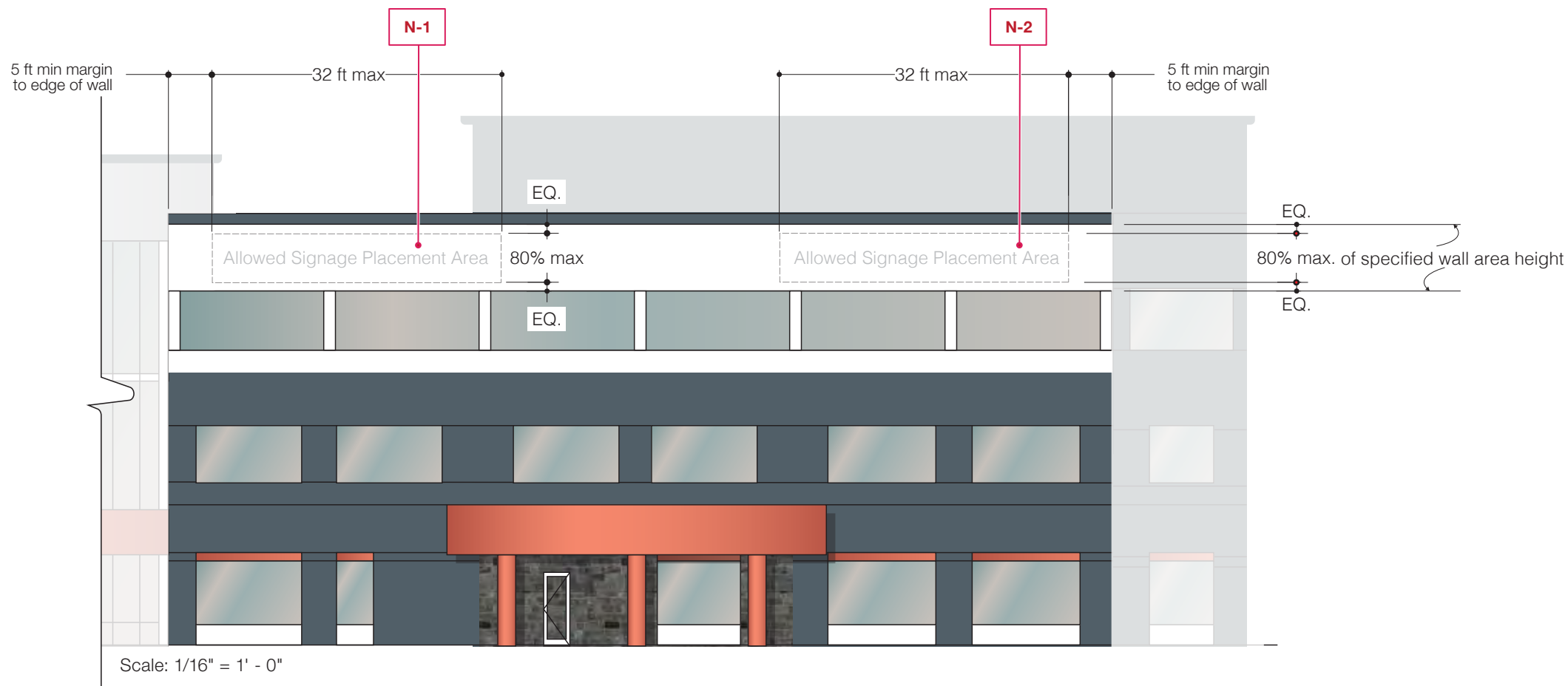
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T-BID
 Building 6 Wall Sign Table

03.02

Building Mounted Tenant Identification Possible Locations - PROUD NORTH ELEVATION



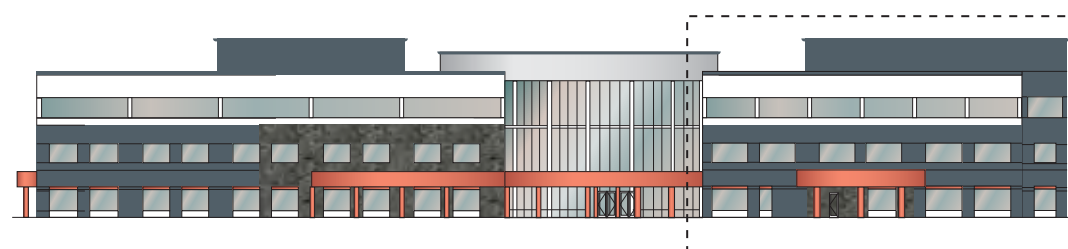
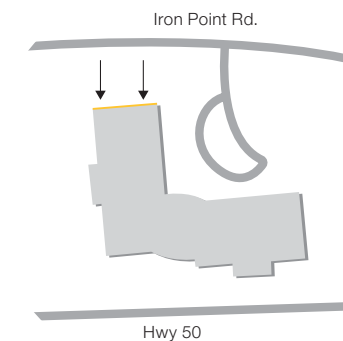
ELEVATION CRITERIA

One (1) of two (2) locations may be active in this section at one time.

SIGN CRITERIA

100 SF MAX
 The height of all signage elements must fit in a 80% of specified wall area height.
 The width of all signage elements must fit in a maximum 32'-0" wide area

VISIBILITY FROM IRON POINT ROAD



Project:
 2365 Iron Point Road
 MSP Amendment
 2365 Iron Point Road
 Folsom, CA

Client:
 CBRE - 500 Capitol Mall

Designer:
 WeidnerCA

Work Order: 48905
Est. No: G100066
Issued: 11-16-2023
Drawn By: BS

Revisions:

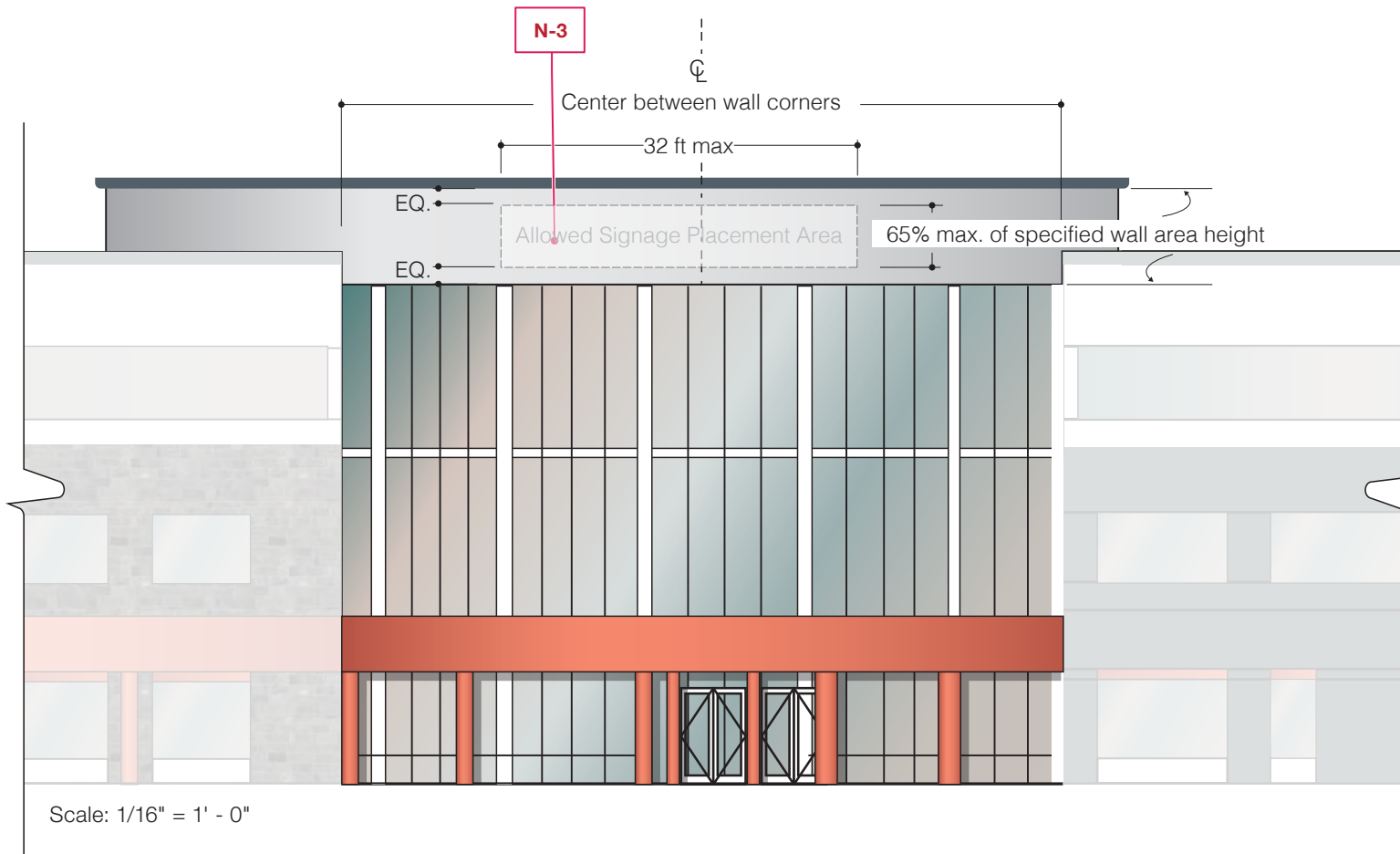
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T-BID
 Building Mounted Tenant ID
 NORTH - PROUD
 Location and Size Criteria

03.03

Building Mounted Tenant Identification Possible Locations - RECESSED MID SECTION NORTH ELEVATION



Scale: 1/16" = 1' - 0"

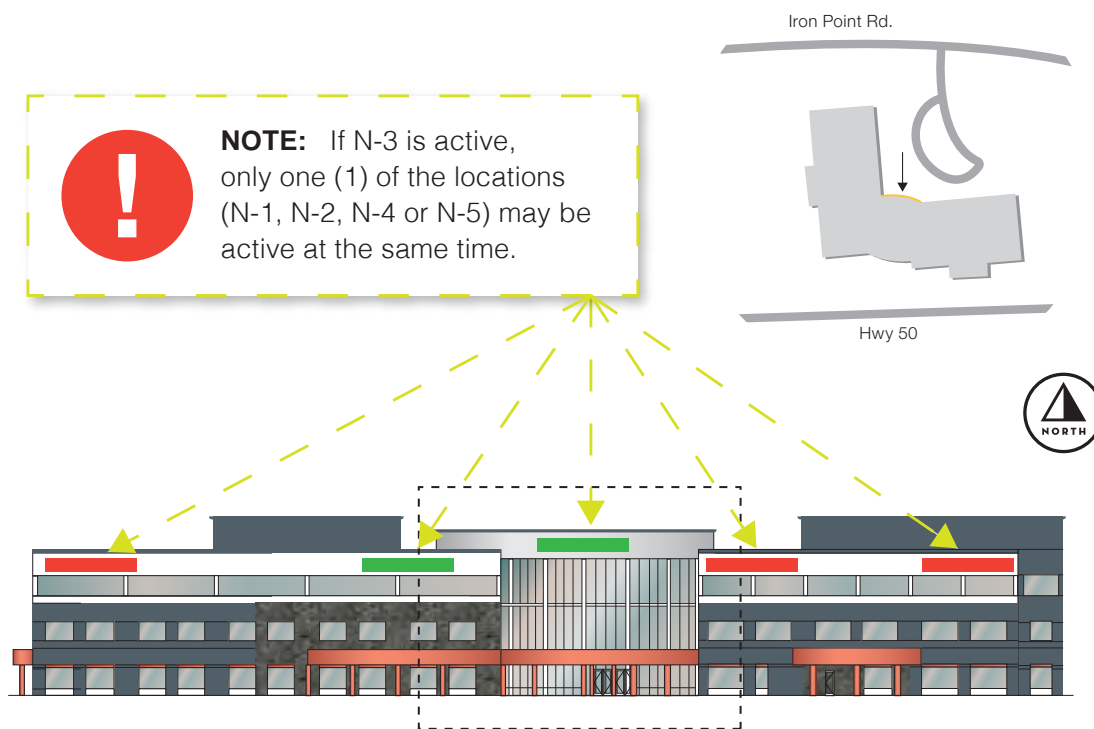
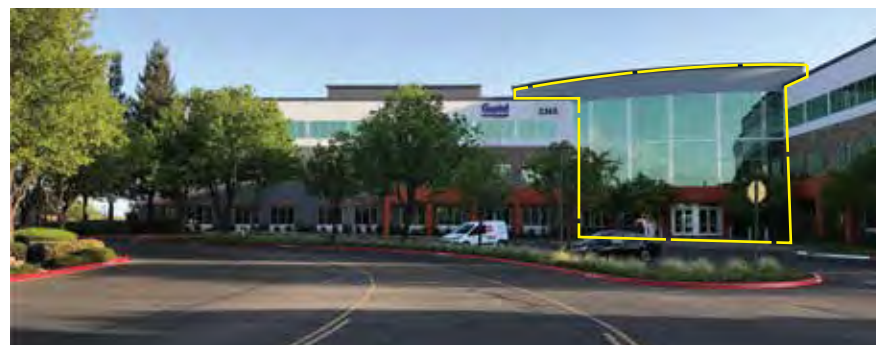
ELEVATION CRITERIA

Section is reserved for full floor or building tenant **ONLY**.
If location is active, no more than one (1) of signs N-1, N-2, N-4 or M-5 may be active at the same time.

SIGN CRITERIA

150 SF MAX
The height of all signage elements must fit in a 65% of specified wall area height.
The width of all signage elements must fit in a maximum 32'-0" wide area.

VISIBILITY FROM IRON POINT ROAD ENTRY



Project:
2365 Iron Point Road
MSP Amendment
2365 Iron Point Road
Folsom, CA

Client:
CBRE - 500 Capitol Mall

Designer:
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Work Order: 48905
Est. No: G100066
Issued: 11-16-2023
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T-BID

Building Mounted Tenant ID
NORTH - RECESSED MID
SECTION
Location and Size Criteria

03.04

Building Mounted Tenant Identification Possible Locations - RECESSED NORTH ELEVATION

Project:
2365 Iron Point Road
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2365 Iron Point Road
Folsom, CA

Client:
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Designer:
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Work Order: 48905
Est. No.: G100066
Issued: 11-16-2023
Drawn By: BS

Revisions:

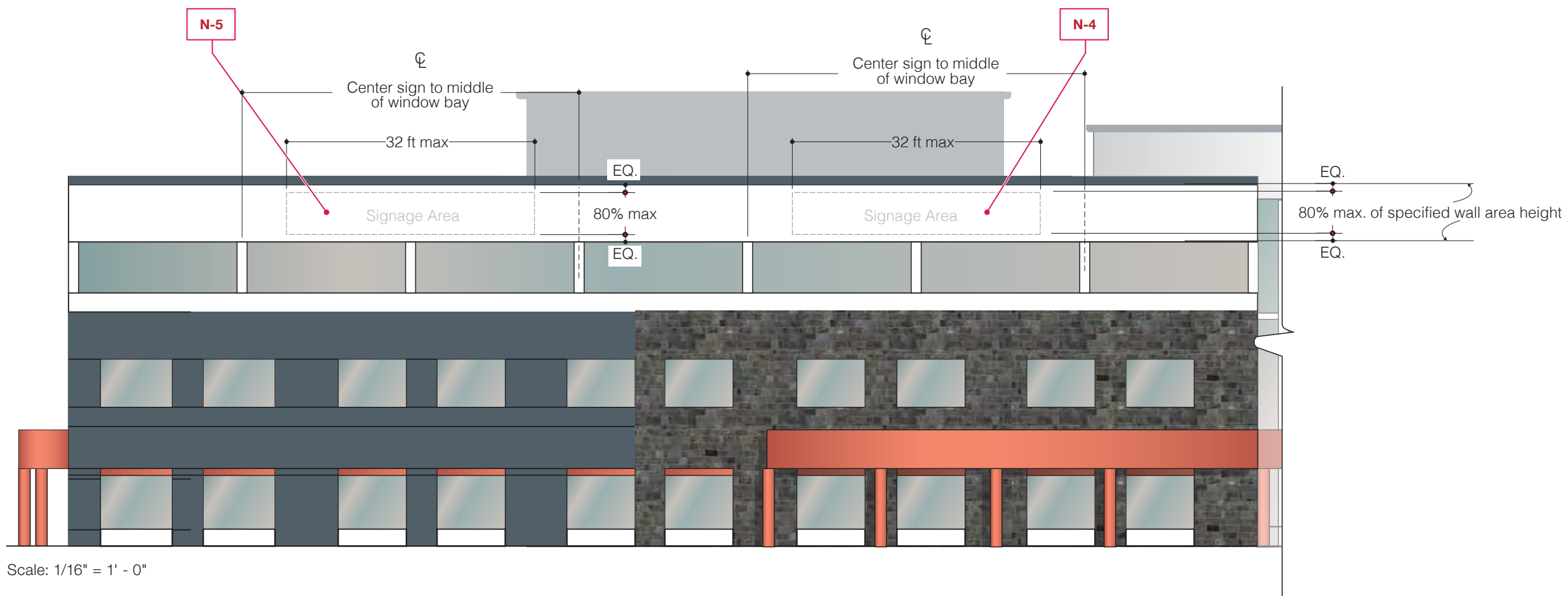
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T-BID

Building Mounted Tenant ID
NORTH - RECESSED
Location and Size Criteria

03.05



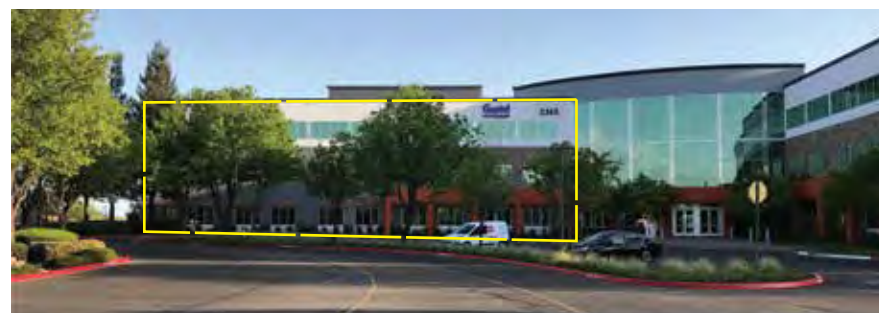
ELEVATION CRITERIA

Only one (1) of two (2) locations may be active at this section at one time.

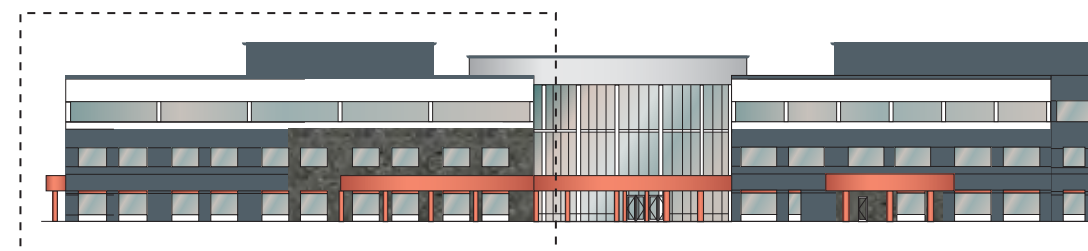
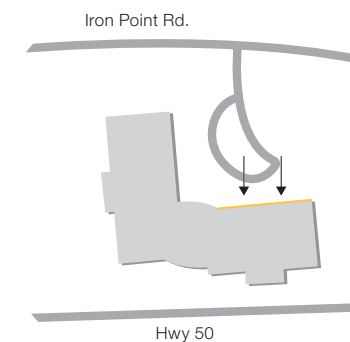
SIGN CRITERIA

- 100 SF MAX
- The height of all signage elements must fit in a 80% of specified wall area height.
- The width of all signage elements must fit in a maximum 32'-0" wide area

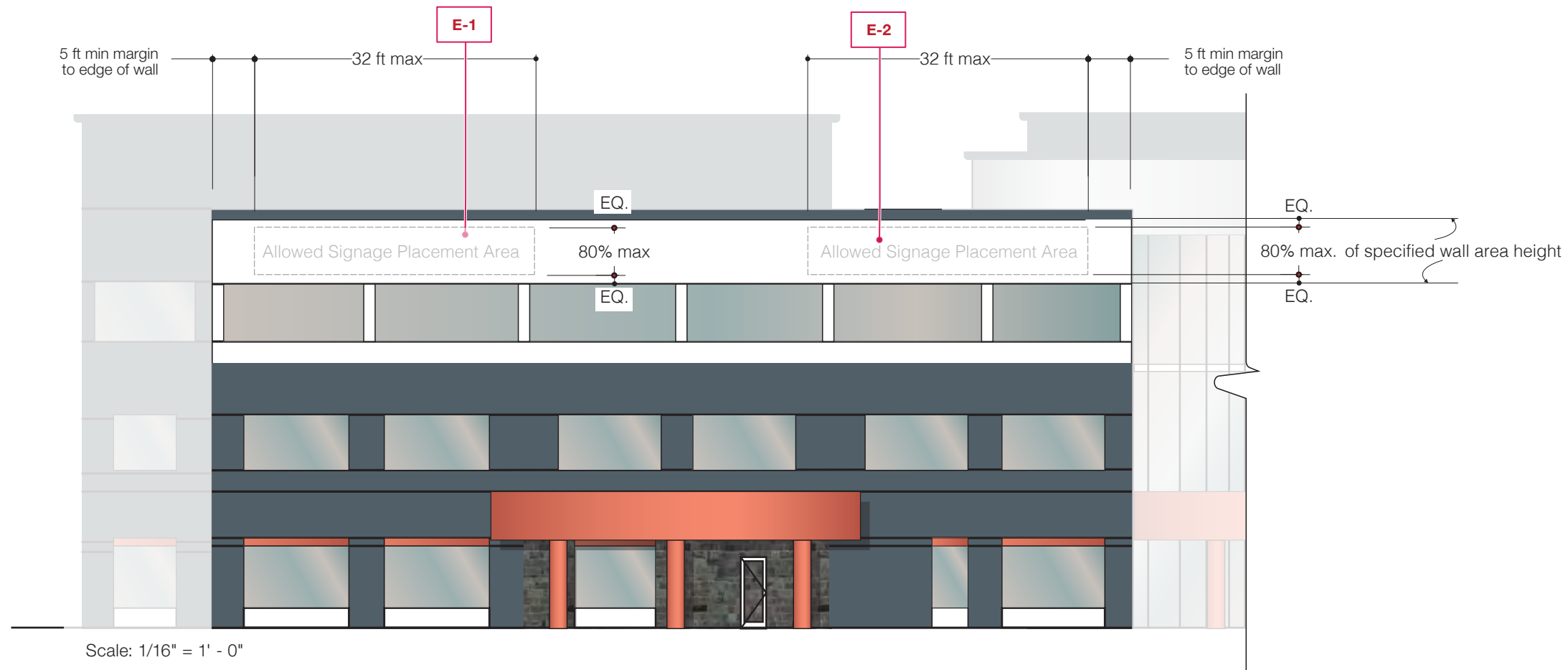
VISIBILITY FROM IRON POINT ROAD ENTRY



***This elevation is not directly visible from Iron Point Road



Building Mounted Tenant Identification Possible Locations - PROUD EAST ELEVATION



ELEVATION CRITERIA

Both locations may be active at one time.

SIGN CRITERIA

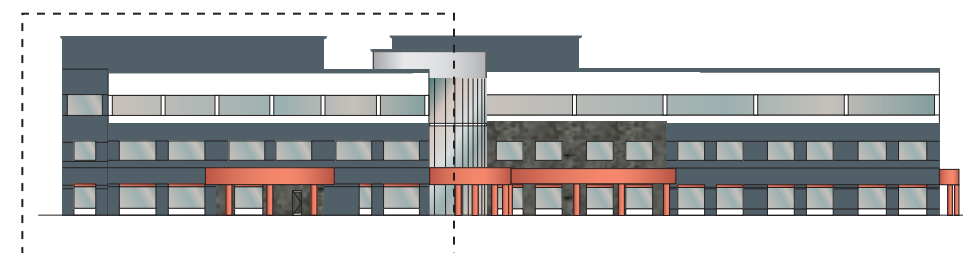
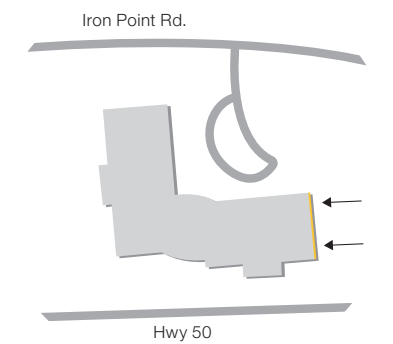
100 SF MAX (if only 1 of 2 locations are active)

50 SF MAX (if 2 of 2 locations are active)

The height of all signage elements must fit in a 80% of specified wall area height.

The width of all signage elements must fit in a maximum 32'-0" wide area

VISIBILITY FROM WEST BOUND HWY 50



Project:
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Folsom, CA

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Designer:
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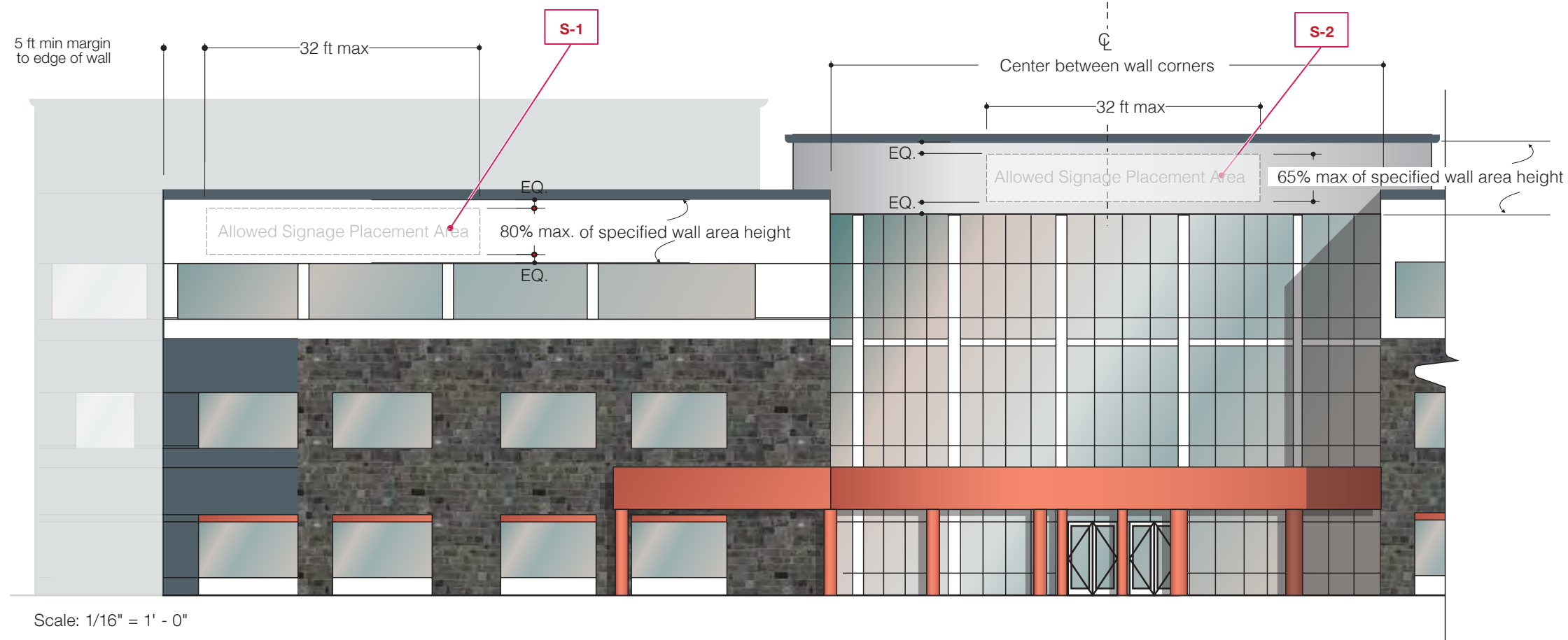
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T-BID

Building Mounted Tenant ID
EAST - PROUD
Location and Size Criteria

03.06

Building Mounted Tenant Identification Possible Locations - SOUTH/WEST ELEVATION



ELEVATION CRITERIA

Both locations may be active at one time.

S-1 SIGN CRITERIA

100SF MAX

The height of all signage elements must fit in a 80% of specified wall area height.

The width of all signage elements must fit in a maximum 32'-0" wide area

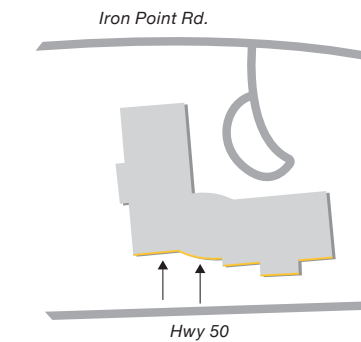
S-2 SIGN CRITERIA

100SF MAX

The height of all signage elements must fit in a 65% of specified wall area height.

The width of all signage elements must fit in a maximum 32'-0" wide area.

VISIBILITY FROM HWY 50



WeidnerCA

Signage and Graphics
to Brand the Built Environment®

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916-452-8000

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Client:
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Designer:
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Work Order: 48905
Est. No: G100066
Issued: 11-16-2023
Drawn By: BS

Revisions:

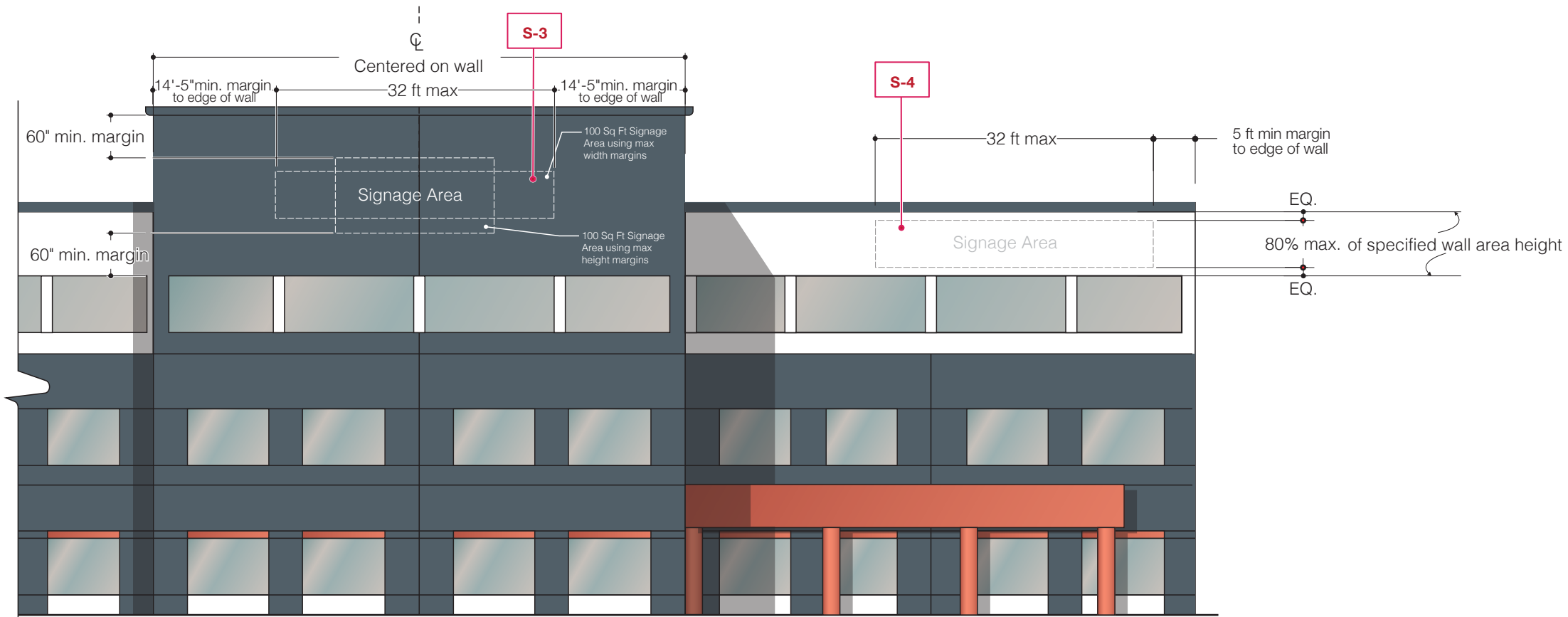
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T-BID
Building Mounted Tenant ID
SOUTH
Location and Size Criteria

03.07

Building Mounted Tenant Identification Possible Locations - SOUTH/EAST ELEVATION



Scale: 1/16" = 1' - 0"

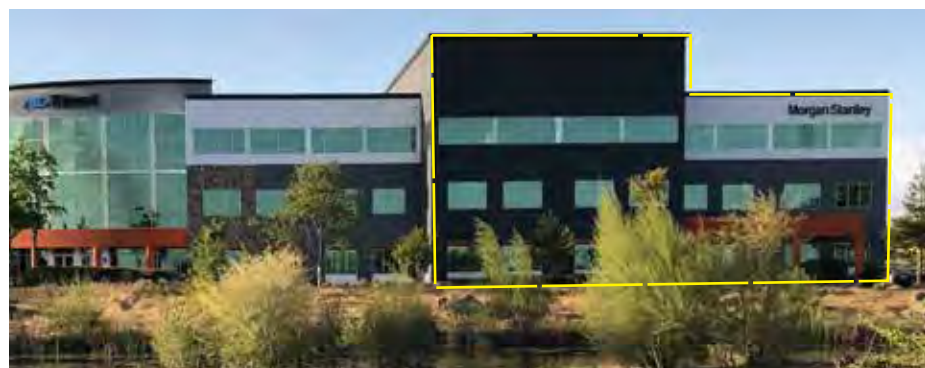
ELEVATION CRITERIA

Both locations may be active at one time.

S-3 SIGN CRITERIA

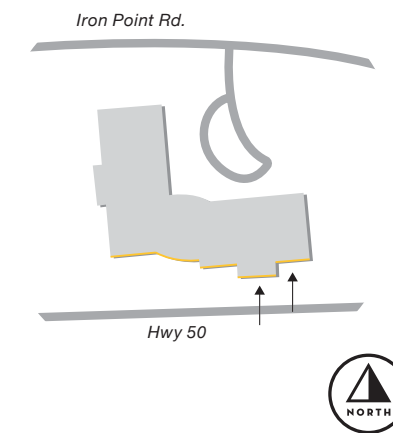
100SF MAX
All elements of the signage must fit within margin minimum(s) of specified wall area

VISIBILITY FROM HWY 50



S-4 SIGN CRITERIA

100SF MAX
The height of all signage elements must fit in a 80% of specified wall area height.
The width of all signage elements must fit in a maximum 32'-0" wide area



Project:
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2365 Iron Point Road
Folsom, CA

Client:
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Designer:
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Work Order: 48905
Est. No.: G100066
Issued: 11-16-2023
Drawn By: BS

Revisions:

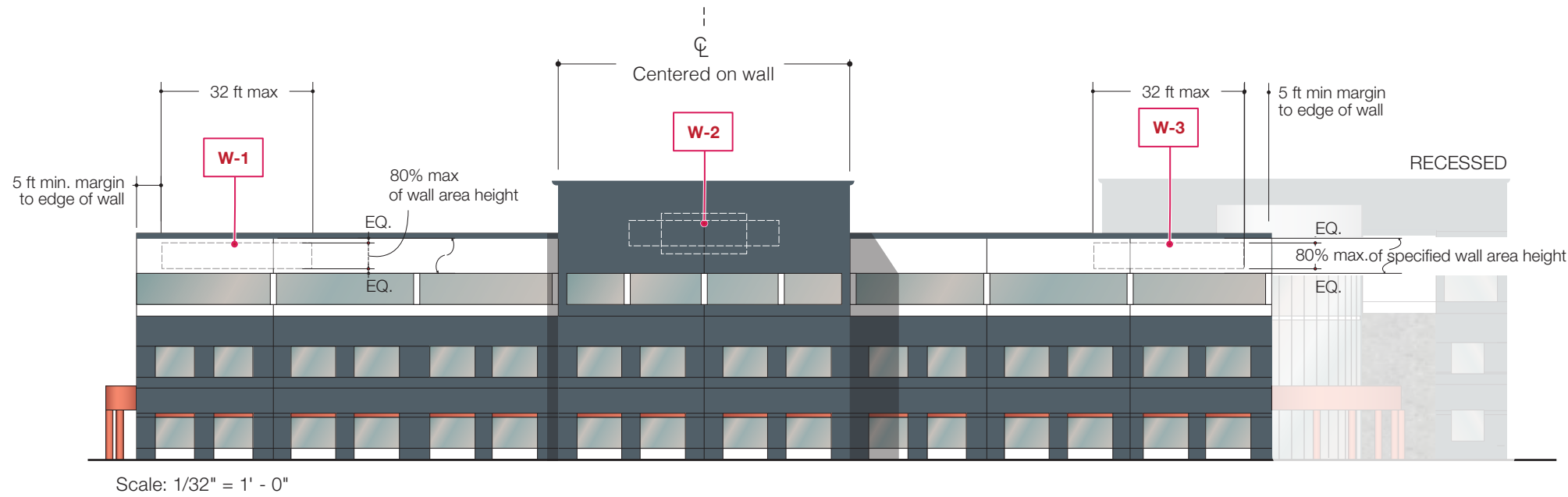
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T-BID
Building Mounted Tenant ID
SOUTH
Location and Size Criteria

03.08

Building Mounted Tenant Identification Possible Locations - WEST ELEVATION



Scale: 1/32" = 1' - 0"

ELEVATION CRITERIA

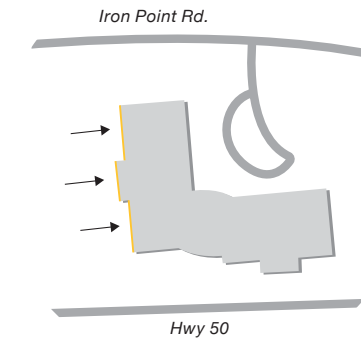
Only two (2) of three (3) locations may be active at this section at one time.

W1 & W-3 SIGN CRITERIA

- 100SF MAX (if only 1 of 3 locations are active)
- 50 SF MAX (if 2 of 3 location are active)
- The height of all signage elements must fit in a 80% of specified wall area height.
- The width of all signage elements must fit in a maximum 32'-0" wide area

W-2 SIGN CRITERIA

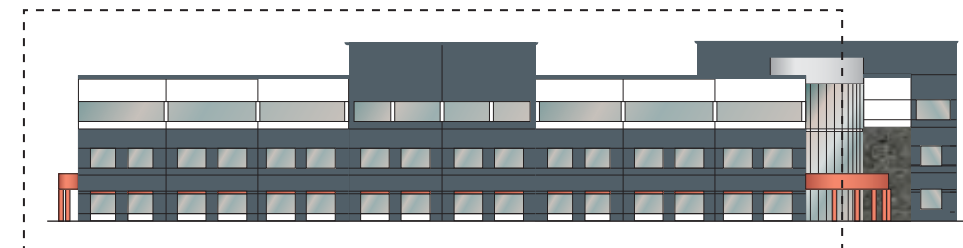
- 100SF MAX (if only 1 of 3 locations are active)
- 50 SF MAX (if 2 of 3 location are active)
- All elements of the signage must fit within margin minimum(s) of specified wall area
- See sheet 03.09 Location (S3) for details**



VISIBILITY FROM HWY 50



VISIBILITY FROM IRON POINT ROAD



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2365 Iron Point Road
MSP Amendment
2365 Iron Point Road
Folsom, CA

Client:
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Designer:
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Work Order: 48905
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T-BID
Building Mounted Tenant ID
WEST
Location and Size Criteria

03.09

TENANT MONUMENT SIGNAGE CRITERIA FOR EXISTING AND FUTURE RE-DESIGN OR REPLACEMENT -

Content:

Tenant's Building Mounted signage shall be limited to the tenant's trade name and/or logo. Added descriptive words used to define the type of business are not allowed.

Quantity: Tenant shall be allowed a Building Mounted sign as established by the Landlord and documented in the tenant's lease agreement. Where a tenant is allowed two signs, signs shall be located on separate building elevations.

Size / Location:

See 03.00 series sheets for permitted sizes and locations.

Design / Illumination / Colors:

Signage shall be fabricated letter and logo forms, no minimum or maximum thickness.

Signs may be mounted flat against wall or with a stand off.

Signage may be non-illuminated, face lit, or halo illuminated. Illuminated letters must use a diffuser to eliminate 'hot spots'.

Tenants are allowed to use their corporate colors for all elements of the signage.



1A NON-ILLUMINATED ILLUSTRATED - DAY
Scale: 3/8" = 1'-0"



1B NON-ILLUMINATED ILLUSTRATED - NIGHT
Scale: 3/8" = 1'-0"



2A HALO ILLUMINATION ILLUSTRATED - DAY
Scale: 3/8" = 1'-0"



2B HALO ILLUMINATION ILLUSTRATED - NIGHT
Scale: 3/8" = 1'-0"

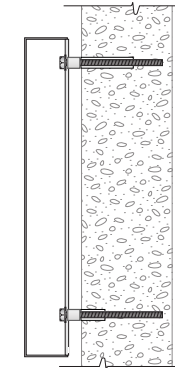


3A FACE LIT ILLUMINATION ILLUSTRATED - DAY
Scale: 3/8" = 1'-0"

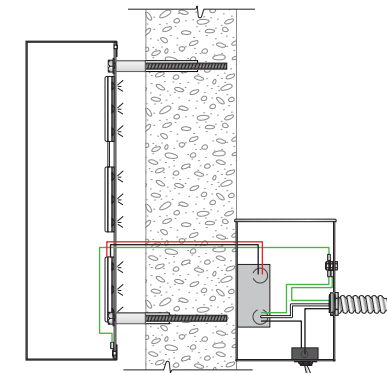


3B HALO ILLUMINATION ILLUSTRATED - NIGHT
Scale: 3/8" = 1'-0"

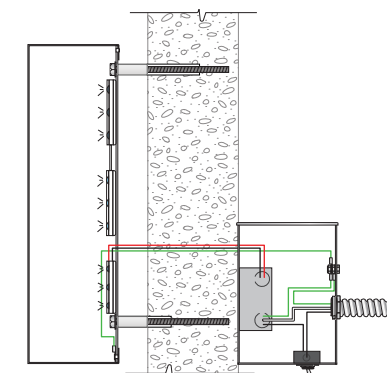
1C NON-ILLUMINATED ILLUSTRATIVE X-SECTION
Scale: NTS



2C HALO ILLUMINATION ILLUSTRATIVE X-SECTION
Scale: NTS



3C FACE LIT ILLUMINATION ILLUSTRATIVE X-SECTION
Scale: NTS



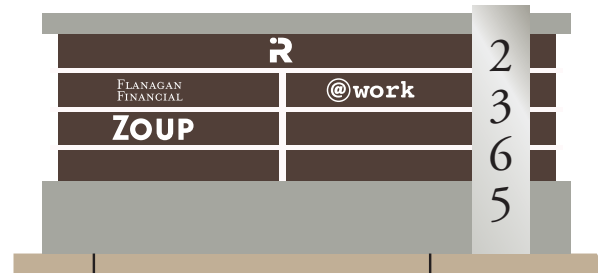
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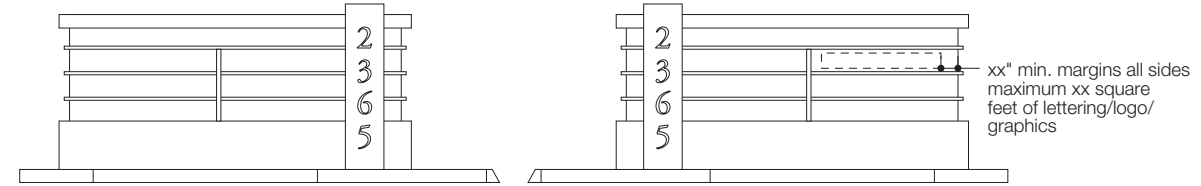
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Keynotes

- A Tenant panels are (enter material here).
- B Tenant graphics shall consist of (Acrylic or Vinyl - TBD by survey) or equal quality vinyl applied to the surface of acrylic panel. Background color shall be a solid dark color with a low light reflective value (LRV) and shall be opaque. Lettering, logos, and graphic elements shall be lighter in color and have a higher light reflective value (LRV). Alternate panel configurations are shown to accommodate a major or full building tenant. Margins as shown for each panel configuration shall be maintained. Square footage of tenant name/graphics is calculated separately and is smaller than the area within the minimum margins to ensure adequate negative space around the tenant name. Tenant name/graphics square footage for each size panel is noted on the appropriate drawing and shall not exceed 68% of the size of the panel.
- C Criteria for
 - a) the existing tenant monument structure, and
 - b) a future re-design or replacement is documented on sheet 05.01.
- D Tenant panel specifications noted here on are subject to future re-design or replacement of the Tenant Monument (T-MON) sign. Reference Sheet 05.01.



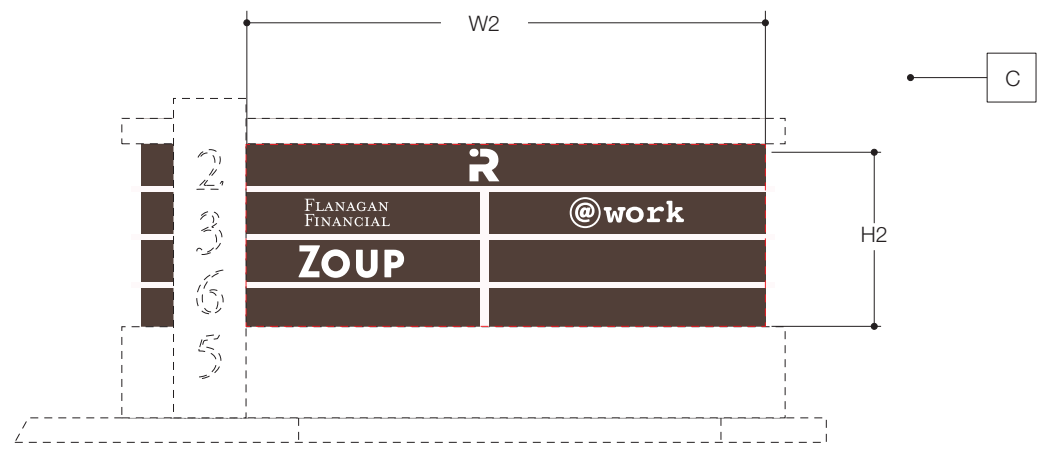
4 EXAMPLE SHOWING PANEL COLORS
 Scale: 1/4" = 1'-0"
 Tenant names shown, except for existing, are for illustrative purposes only and do not necessarily reflect those tenants whose name are allowed on the monument sign.



3 ALTERNATE PANEL CONFIGURATIONS FOR EXISTING SIGN DESIGN
 Scale: 1/4" = 1'-0"



2 SPECIFICATIONS (placeholder logos used for example)
 Scale: 1/2" = 1'-0"



1 EXISTING TENANT IDENTIFICATION MONUMENT SIGN ELEVATION
 Scale: 1/4" = 1'-0"



E EXISTING TENANT IDENTIFICATION MONUMENT
 Scale: NTS

TENANT MONUMENT SIGNAGE CRITERIA FOR EXISTING AND FUTURE RE-DESIGN OR REPLACEMENT

Content:
 The Project Name and up to three tenant names shall be allowed on the sign. The same tenants shall be listed on both sides of the sign.

Quantity: A maximum of one of (1) tenant monument sign is allowed. The sign may be single faced or double faced.

Location:
 Freestanding monument signs may be placed in the landscape area facing common drives to identify tenants of individual buildings.

Signs shall be adjacent to access driveways. No more than one sign per driveway shall be allowed.

Signs shall be located a minimum of 15 feet from the back of the curb along Iron Point Road and any internal drive's right of way when space permits. Signs shall be paced outside of vehicular sight lines.

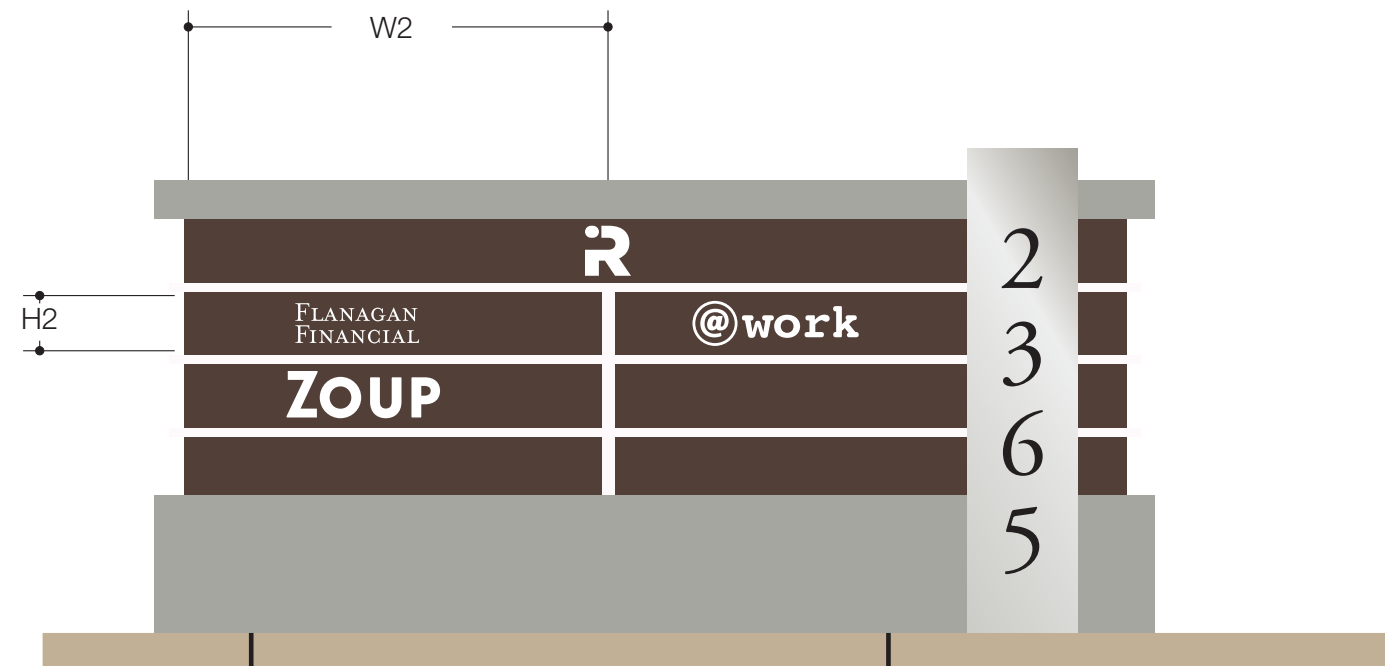
Allowable signs are subject to all applicable ordinance of the City of Folsom Sign Ordinance.

Monument Signs shall be concrete, CMUU and/or metal

Signs shall be illuminated by exterior or ground uplighting. No internal illumination shall be permitted



E PHOTO OF EXISTING TENANT IDENTIFICATION MONUMENT
 Scale: NTS



1 EXISTING TENANT IDENTIFICATION MONUMENT SIGN ELEVATION
 Scale: 1/2" = 1'-0"

Attachment 6

Applicant's Narrative

Justification Statement for Master Signage Program Adjustment

2365 Iron Point Road, Folsom, CA

November 29, 2023

Justification Statement for Master Signage Program Adjustment

Thank you for your assistance with this request for an adjustment to the Master Signage Program (MSP) for 2365 Iron Point Road.

In accordance with the City of Folsom’s Application and Review Process, the applicant seeks an adjustment to the approved 2021 master sign program for 2365 Iron Point Road.

Unintended Consequences of the Approved 2021 Signage Variance

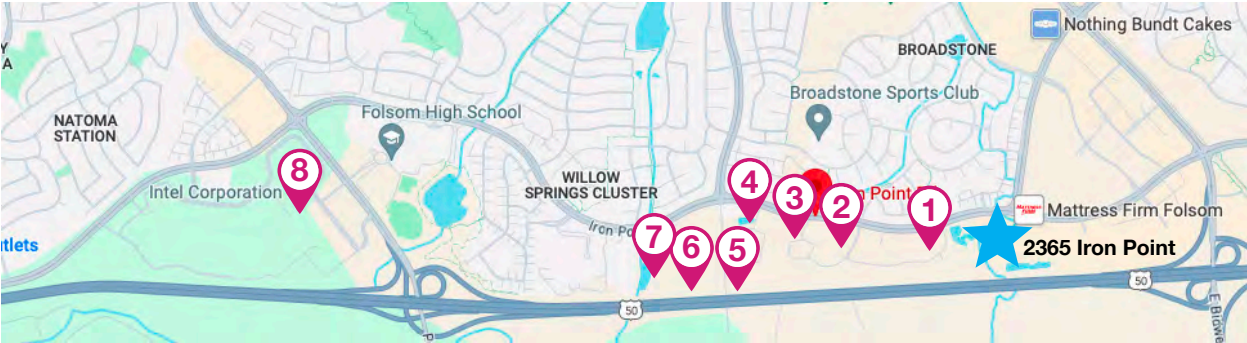
The 2021 master sign program amendment aimed to exclusively implement halo-illuminated designs for new on-building signs while allowing existing face-lit signs to remain in place. However, it has become apparent that new and potential tenants demand consistency with the many face-lit signs on the same building, directly surrounding buildings, and nearly all other commercial buildings along Iron Point Road and East Bidwell (precedence photos below). This demand, particularly from international, Fortune 500 tenants with stringent brand guidelines requiring face-lit illumination, has led to unexpected owner-tenant challenges.

Property ownership seeks relief to address these difficulties and align with tenant preferences. The proposed adjustment would permit new tenants to choose between face-lit or halo-illuminated signage. The master sign program and tenant guidelines would be modified to allow halo or face-lit illumination.

This modification aims to provide flexibility and meet the diverse signage preferences of tenants.

Precedence: Several commercial buildings along Iron Point feature face-illuminated signage. All are in similar or closer proximity to residences. Photos are shown on following pages.

- | | | | |
|----------------------|-----------|-----------------------------|----------|
| 1. Safe Credit Union | 3. Kaiser | 5. Office Evolution | 7. Kioxa |
| 2. Micron | 4. Davita | 6. Finance of America Corp. | 8. Intel |



Precedence – Existing Face-Illuminated Signs on Corporate Properties

1. Safe Credit Union



2. Micron



Precedence – Existing Face-Illuminated Signs on Corporate Properties

3. Office Evolution



4. Davita



Precedence – Existing Face-Illuminated Signs on Corporate Properties

5. Office Evolution



6. Finance America Corp



7. Kioxia



8. Intel



Attachment 7

Photographs of Building 6

View From Freeway



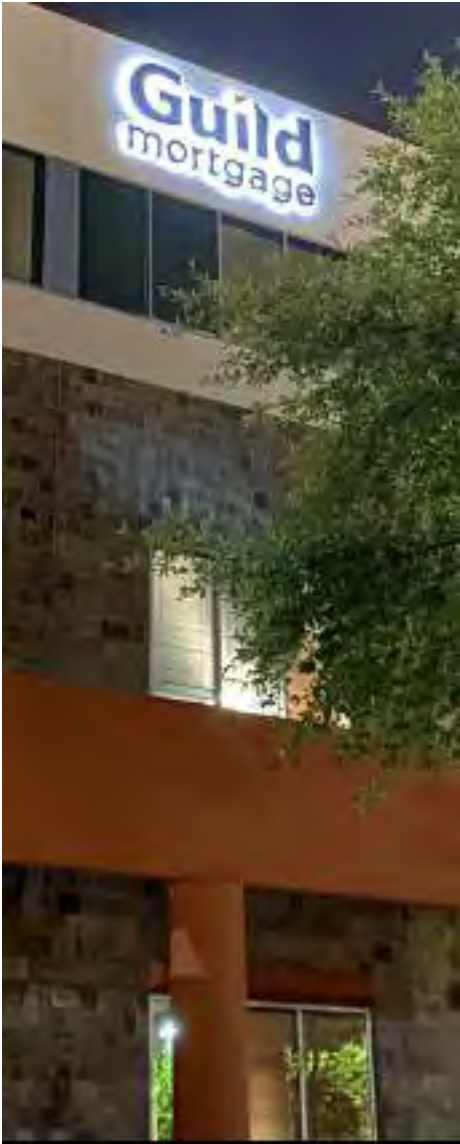
View From Across Iron Point Road

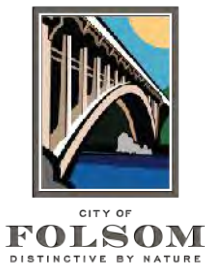


View From Parking Lot



Photos of Existing Halo-Illuminated Iron Point Road-Facing Signs at Night





Planning Commission Staff Report

50 Natoma Street, Council Chambers
Folsom, CA 95630

Project: Social Vocational Services, Conditional Use Permit (CUP)
File #: USPT23-00171
Request: Conditional Use Permit (CUP)
Location: 771 Oak Avenue Parkway
Parcel(s): 072-1310-001
Staff Contact: Nathan Stroud, Assistant Planner, 916-461-6220
nstroud@folsom.ca.us

Property Owner

Name: Robert Bunbury
Address: P.O. Box 4981
El Dorado Hills CA 95762

Applicant

Name: Mike Novak
Address: 1631 Alhambra Blvd, Suite 100
Sacramento CA 95816

Recommendation: Conduct a public hearing and upon conclusion approve a Conditional Use Permit (CUP) application for the operation of a day care center for adults with intellectual and developmental disabilities (Social Vocational Services) at 771 Oak Avenue Parkway (USPT23-00171) based on the findings included in this report (Findings A-F) and subject to the attached conditions of approval (Conditions 1-13).

Project Summary: The proposed use includes the operation of a 3,677-square-foot day care center within an existing 8,807-square-foot office building for up to 45 adults with developmental/intellectual disabilities and 18 employees at 771 Oak Avenue Parkway. 771 Oak Avenue Parkway is zoned Business Professional (BP), which requires a Conditional Use Permit for care center uses.

Table of Contents:

- 1 – Description/Analysis
- 2 – Background
- 3 – Conditions of Approval
- 4 – Vicinity Map
- 5 – Project Narrative
- 6 – Plan set, dated 11-28-2023
- 7 – Photographs of the Project Site



CITY OF
FOLSOM
DISTINCTIVE BY NATURE

AGENDA ITEM NO. 6
Type: Public Hearing
Date: February 21, 2024

Submitted,

A handwritten signature in blue ink, appearing to read "Pam Johns", with a long horizontal flourish extending to the right.

PAM JOHNS
Community Development Director

ATTACHMENT 1 DESCRIPTION/ANALYSIS

APPLICANT'S PROPOSAL

The applicant, Mike Novak, is requesting approval of a Conditional Use Permit (USPT23-00171) for the operation of an adult day care center at 771 Oak Avenue Parkway (APN 072-1310-001). The project site includes an existing 8,806-square-foot office building, of which the applicant would use 3,677-square-feet, and associated site improvements including on-site shared tenant parking, sidewalks, a trash/recycling enclosure, fencing, a monument sign, lighting, and landscaping. According to the attached Plan Set, dated 11-28-2023 (Attachment 6), the applicant would utilize 3,677-square-feet of the existing building and renovate the space, including the partition of new office spaces, activity spaces, and a new multi-stall restroom. The Applicant is not proposing any changes to the exterior of the existing office building.

Social Vocational Services has been in operation since 1977 and has over 80 different locations throughout the State of California. They provide a wide range of services for adults with developmental/intellectual disabilities, including but not limited to programs in Community Inclusion, Career Exploration, Employment, and Independent/Supported Living Services. The programs seek to promote independence, self-advocacy, community integration, socialization, skill development, and career exploration. In addition to providing on-site activities and services such as art studio work, multimedia exploration, horticulture, and physical fitness, Social Vocational Services may have off-site activities such as field trips to libraries, businesses of interest to their clients, employment contracts for their clients, and recreational activities.

The adult day care use is proposed to operate from 7:00 AM to 4:00 PM, Mondays through Fridays and would close during the evenings, weekends, and holidays. The organization is expected to provide care and services for up to 45 clients, employ up to 15 Direct Service Professionals and 3 Administrators at the 771 Oak Avenue Parkway location, and would provide transportation services for its clientele. No more than 18 employees are expected to be on-site at any time during regular hours of operation.

POLICY/RULE

Section 17.60.010 of the Folsom Municipal Code (FMC) states that the Planning Commission shall have final authority relating to the issuance of Conditional Use Permits (CUPs) for any of the uses or purposes for which such permits are required or permitted by the terms of this title. FMC Section 17.22.030 states that a CUP is required for any Childcare Center with more than six clients in the Business Professional (BP) Zoning District. The proposed adult day care use is not specifically listed in the Commercial Use Table of the Municipal Code, but would be considered similar in impact to the childcare center use specified in FMC 17.22.030; as such, the proposed project would require a CUP from the Planning Commission.

FMC Section 17.60.020 states that application for a Use Permit shall be made to the

Community Development Department in writing, on a form prescribed by the department, and shall be accompanied by plans and elevations necessary to show details of the proposed land use activities on the subject property. FMC Section 17.60.040 states that the Commission’s findings shall be that the establishment, maintenance, or operation of the use or building applied for will or will not, under the circumstances of the particular case, be detrimental to the health, safety, peace, morals, comfort, and general welfare of persons residing or working in the neighborhood of such proposed use, or be detrimental or injurious to property and improvements in the neighborhood, or to the general welfare of the city.

GENERAL PLAN AND ZONING CONSISTENCY

The General Plan land use designation for the project site is Professional Office (PO) with an East Bidwell Corridor (EBC) Mixed-Use Overlay, and the zoning designation for the project site is BP PD (Business Professional Zone, Planned Development District). The zoning district corresponds with the General Plan land use designation. The project meets all of the FMC Section 17.22.050 development requirements including setbacks, building coverage, lot area, lot width, and parking. FMC Section 17.22.030 states that childcare centers with more than six children are permitted within a Business Professional Zone (BP) upon the issuance of a Conditional Use Permit. The proposed adult day care use would be considered similar in impact to the childcare center use specified in FMC 17.22.030; as such, the proposed project would require a CUP from the Planning Commission.

ANALYSIS

In order to approve a request for a Conditional Use Permit, the Commission must find that the “establishment, maintenance, or operation of the use or building applied for will not, under the circumstances of the particular case, be detrimental to the health, safety, peace, morals, comfort, and general welfare of persons residing or working in the neighborhood of such proposed use, or be detrimental or injurious to property and improvements in the neighborhood, or to the general welfare of the City” (FMC Section 17.60.040). In reviewing this request for a Conditional Use Permit, staff took into consideration the type of existing land uses in the project vicinity, the potential noise, traffic, and circulation impacts associated with the project.

Land Use Compatibility / Site Considerations

The project site is adjacent to an acting studio on the same property, and is distant from other developments due to Oak Avenue Parkway to the west, and transmission tower lines to the east. A private preschool and various office uses in a C-2 PD zone are located across Oak Avenue Parkway 180 feet to the west. A church is located approximately 450 feet to the east in a BP PD zone. A vacant undeveloped parcel zoned BP PD is located directly to the south of the subject property. The closest residential use to the project site is over 500 feet to the northwest.

The proposed hours of operation (Monday through Friday, 7:00 AM to 4:00 PM) are compatible with those of existing businesses on the subject property, and compatible with businesses in the neighboring office uses and preschool across Oak Avenue Parkway

which generally operate from Monday through Friday between the hours of 6:00 AM and 6:30 PM. No outdoor activities are proposed for the operation of the adult day care center at 771 Oak Avenue Parkway.

Based on the vocational nature of the proposed use, the office/professional nature of adjacent uses, and the distance from neighboring developments, staff has determined that the proposed use is compatible with the surrounding land uses and businesses and would not produce any additional impacts to nearby uses beyond other business allowed by right in the BP zone.

Noise

In evaluating the request for a Conditional Use Permit, staff took into consideration the potential noise impacts the proposed project may have, and the location of the project site. All activities and operations at 771 Oak Avenue Parkway will take place within the suite, and no regular outside activities are proposed for the property. The greatest source of noise for the proposed use will be generated by talking and non-amplified noise.

The existing office building at 771 Oak Avenue Parkway is fairly isolated from other properties, with the nearest building being 180 feet away across Oak Avenue Parkway to the west. The project site is adjacent to one tenant within the same office building at 771 Oak Avenue Parkway, a studio for actors and performers.

With regards to noise impacts on neighboring uses, staff anticipates that the noise generated by the adult day care center will not exceed that of the adjacent tenant, and that the noise generated will not exceed that of Oak Avenue Parkway. The location of the office buildings away from other developments also minimizes the impact of any noise generated by the adult day care center. Furthermore, Social Vocational Services is also subject to the requirements of the City of Folsom's noise ordinance (FMC Chapter 8.42). With these considerations in mind, staff had determined that the use would not have a detrimental noise impact for properties in the vicinity.

Parking

FMC Section 17.57.040 states that for uses not specified elsewhere in the chapter, parking spaces shall be provided at a ratio determined by the planning director. Originally, the property was developed as an 8,876-square-foot office building (Anderson Bunbury office building) using a parking ratio of one parking space for every 200-square-foot of office gross floor area, per FMC 17.57.040 for office uses. As such, the property provided 45 parking spaces, one parking space more than was required for the office development. Applying this parking ratio to the 3,677-square-foot tenant suite that the applicant proposes to use, the tenant suite would be required to provide 18 parking spaces. Social Vocational Services will have 15 dedicated parking spaces; however, the organization will be able to utilize the other 30 shared tenant parking spaces as needed.

The proposed day care center will employ approximately 18 onsite employees and serve approximately 45 clients. Clients of Social Vocation Services do not drive themselves, either being picked-up and dropped-off by the clients' caregivers, or transported through

the five company vans. Not all 18 employees are expected to be on site at the same time, often taking clients off-site for community activities for much of the programming day with the company vans. Company vans will be continually used throughout the day, for both client transportation to the project site and for community activities off-site, and will be parked on-site after operational hours. During operational hours, employees are expected to share parking spaces with deployed company vans.

The applicant does not anticipate that parking needs will exceed the 15 dedicated parking spaces throughout the course of the day during operational hours between 7:00 AM and 4:00 PM; however, if parking does exceed the 15 dedicated parking spaces, the other 30 shared tenant parking spaces can be utilized as needed. The applicant has observed that over 75% (~33 parking spaces) of the current parking lot on the property is available throughout the day during their proposed hours of operation (7:00 AM – 4:00 PM). With the allocation of the 15 dedicated parking spaces for operations, that leaves an anticipated ~18 shared tenant parking spaces available to be utilized by Social Vocational Services outside their parking allocation.

With these considerations in mind, staff has made the determination that the 15 dedicated parking spaces in addition to the remaining shared tenant parking spaces are adequate in satisfying the parking needs of the proposed project and of other existing tenants.

Traffic, Access, and Circulation

Access to the project site is currently provided by one driveway located to the south of the property that connects to Oak Avenue Parkway, with circulation being provided with a single drive aisle. No traffic, access, or circulation impacts were identified that would exceed that of existing uses at the subject property.

ENVIRONMENTAL REVIEW

The project is categorically exempt under Section 15301, Existing Facilities, of the California Environmental Quality Act (CEQA) Guidelines. Based on staff's analysis of this project, none of the exceptions in Section 15300.2 of the CEQA Guidelines apply to the use of the categorical exemption in this case.

RECOMMENDATION

Staff recommends approval of the proposed project, based on the following findings and subject to the conditions of approval attached to this report.

PLANNING COMMISSION ACTION

Move to approve the Social Vocational Services Conditional Use Permit (USPT23-00171), based on the findings included in this report (Findings A-F) and subject to the attached conditions of approval (Conditions 1-13).

GENERAL FINDINGS

- A. NOTICE OF HEARING HAS BEEN GIVEN AT THE TIME AND IN THE MANNER REQUIRED BY STATE LAW AND CITY CODE.
- B. THE PROJECT IS CONSISTENT WITH THE GENERAL PLAN AND THE ZONING CODE OF THE CITY.

CEQA FINDINGS

- C. THE PROJECT IS CATEGORICALLY EXEMPT FROM ENVIRONMENTAL REVIEW UNDER SECTION 15301 (EXISTING FACILITIES) OF THE CALIFORNIA ENVIRONMENTAL QUALITY ACT (CEQA) GUIDELINES.
- D. THE CUMULATIVE IMPACT OF SUCCESSIVE PROJECTS OF THE SAME TYPE IN THE SAME PLACE, OVER TIME IS NOT SIGNIFICANT IN THIS CASE.
- E. NO UNUSUAL CIRCUMSTANCES EXIST TO DISTINGUISH THE PROPOSED PROJECT FROM OTHERS IN THE EXEMPT CLASS.

CONDITIONAL USE PERMIT FINDING

- F. AS CONDITIONED, THE ESTABLISHMENT, MAINTENANCE OR OPERATION OF THE PROPOSED USE WILL NOT, UNDER THE CIRCUMSTANCES OF THIS PARTICULAR CASE, BE DETRIMENTAL TO THE HEALTH, SAFETY, PEACE, MORALS, COMFORT, AND GENERAL WELFARE OF PERSONS RESIDING OR WORKING IN THE NEIGHBORHOOD, OR BE DETRIMENTAL OR INJURIOUS TO PROPERTY AND IMPROVEMENTS IN THE NEIGHBORHOOD OR TO THE GENERAL WELFARE OF THE CITY.

**ATTACHMENT 2
BACKGROUND**

BACKGROUND

On September 21, 1994, the Planning Commission approved a Tentative Parcel Map (TPM) creating twelve parcels for the Lexington Hills Business Park on the southeast corner of Oak Avenue Parkway and South Lexington Drive, and approved a Planned Development Permit for the Anderson Bunbury office building, a single-story 8,876-square-foot brick building on a 1.14 acre parcel located at 771 Oak Avenue Parkway. The most recent business to occupy the suite where this project is proposed was ProctorU, a business providing exam proctoring services.

GENERAL PLAN DESIGNATION

PO (Professional Office) and EBC (East Bidwell Corridor Mixed Use)

ZONING

BP PD (Business Professional Zone, Planned Development)

ADJACENT LAND USES/ZONING

North: Vacant Field with Oak Avenue Parkway beyond (BP PD)

South: Vacant Parcel (BP PD)

East: Vacant Field with Church beyond (BP PD)

West: Oak Avenue Parkway with Office Uses and Private Preschool beyond (C-2 PD)

SITE CHARACTERISTICS

The parcel consists of a single office structure, a shared-tenant parking lot, a trash enclosure, and landscaping and other site improvements.

APPLICABLE CODES

FMC Chapter 17.22; Commercial Land Use Zones

FMC Chapter 17.38; Planned Development District

FMC Chapter 17.57; Parking Requirements

FMC Chapter 17.60; Use Permits

ATTACHMENT 3

Conditions of Approval

CONDITIONS OF APPROVAL FOR SOCIAL VOCATIONAL SERVICES CONDITIONAL USE PERMIT (USPT23-00171)				
Cond. No.	Mitigation Measure	GENERAL REQUIREMENTS	When Required	Responsible Department
1.		<p>This Conditional Use Permit is approved for the operation of Social Vocational Services day care center for adults with intellectual and developmental disabilities at 771 Oak Avenue Parkway, which includes the utilization of a portion of an existing 8,807-square-foot building and associated site improvements including a driveway, parking, lighting, and landscaping. Social Vocational Services shall substantially conform to the exhibit referenced below:</p> <ul style="list-style-type: none"> • Plan set, dated 11-28-23 (provided in Attachment 6) <p>Modifications made to the above-referenced plan shall be subject to review and approval by the Community Development Department. Any change that could result in an increase in impacts beyond what was approved as part of the CUP will be forwarded to the Planning Commission for consideration.</p>	OG	CD (P)
2.		<p>This project approval shall remain in effect for one year until February 21, 2025. If a Conditional Use Permit is not vested within the identified time frame prior to the expiration date and the applicant has not demonstrated substantial progress towards the development of the project, this approval shall be considered null and void. The owner/applicant may file an application with the Community Development Department for an extension not less than 30 days prior to the expiration date of the permit, along with appropriate fees and necessary submittal materials pursuant to Chapter 17.60 of the <u>Folsom Municipal Code</u>.</p>	B	CD (P)(B)

3.		<p>If the Community Development Director finds evidence that conditions of approval for Social Vocational Services at 771 Oak Avenue Parkway have not been complied with or that the use has resulted in a substantial adverse effect on the health, and/or general welfare of users of adjacent or proximate property, or has a substantial adverse impact on public facilities or services, the Director will refer the use permit to the Planning Commission for review. If, upon such review, the Planning Commission finds that any of the above-stated results have occurred, the Commission may modify or revoke the Conditional Use Permit.</p>	OG	CD (P)
4.		<p>The owner/applicant shall defend, indemnify, and hold harmless the City and its agents, officers and employees from any claim, action or proceeding against the City or its agents, officers or employees to attack, set aside, void, or annul any approval by the City or any of its agencies, departments, commissions, agents, officers, employees, or legislative body concerning the project. The City will promptly notify the owner/applicant of any such claim, action or proceeding, and will cooperate fully in the defense. The City may, within its unlimited discretion, participate in the defense of any such claim, action or proceeding if both of the following occur:</p> <ul style="list-style-type: none"> • The City bears its own attorney’s fees and costs; and • The City defends the claim, action or proceeding in good faith. <p>The owner/applicant shall not be required to pay or perform any settlement of such claim, action or proceeding unless the settlement is approved by the owner/applicant.</p>	OG	CD (P)(E)(B) PW, PR, FD, PD
5.		<p>If a lawsuit is filed against the City which seeks to invalidate the approval, or the permit required in connection with the approval, or to challenge the issuance by any governmental agency of any environmental document or exemption determination, the project approval shall be tolled during the time that any litigation is pending, including any appeals.</p>	OG	CD (P)
6.		<p>This Conditional Use Permit shall be deemed revoked without further action by the Planning Commission if the operation of the facility in the manner described in the Conditional Use Permit ceases for any consecutive period of six (6) months.</p>	OG	CD
DEVELOPMENT COSTS AND FEE REQUIREMENTS				

7.		The owner/applicant shall pay all applicable taxes, fees and charges at the rate and amount in effect at the time such taxes, fees and charges become due and payable.	B	CD (P)(E)
8.		The City, at its sole discretion, may utilize the services of outside legal counsel to assist in the implementation of this project, including, but not limited to, drafting, reviewing and/or revising agreements and/or other documentation for the project. If the City utilizes the services of such outside legal counsel, the applicant shall reimburse the City for all outside legal fees and costs incurred by the City for such services. The applicant may be required, at the sole discretion of the City Attorney, to submit a deposit to the City for these services prior to initiation of the services. The applicant shall be responsible for reimbursement to the City for the services regardless of whether a deposit is required.	B	CD (P)(E)
9.		If the City utilizes the services of consultants to prepare special studies or provide specialized design review or inspection services for the project, the applicant shall reimburse the City for actual costs it incurs in utilizing these services, including administrative costs for City personnel. A deposit for these services shall be provided prior to initiating review of the Final Map, improvement plans, or beginning inspection, whichever is applicable.	B	CD (P)(E)
10.		If a lawsuit is filed against the City which seeks to invalidate the approval or the permit required in connection with the approval, or to challenge the issuance by any governmental agency of any environmental document or exemption determination, the project approval shall be tolled during the time that any litigation is pending, including any appeals.	OG	CD (P)
CONDITIONAL USE PERMIT REQUIREMENTS				
11.		Any intensification or expansion of the adult day care center use as approved and conditioned herein will require a Use Permit modification approval by the Planning Commission. In any case where the conditions to the granting of a Conditional Use Permit have not been, or are not, complied with, the Planning Commission shall give notice to the permittee of intention to revoke such permit at least ten days prior to a hearing thereon. Following such a hearing the Planning Commission may revoke such a permit.	OG	CD (P)

12.		A Sign Permit shall be required for proposed signage. Signage for the site shall comply with the <u>Folsom Municipal Code</u> Chapter 17.59.	OG	CD (P)(B)
13.		Compliance with the City of Folsom’s Noise Control Ordinance (<u>Folsom Municipal Code</u> Chapter 8.42) and General Plan Noise Element shall be required.	OG	CD (P)

RESPONSIBLE DEPARTMENT		WHEN REQUIRED	
CD (P) (E) (B) (F)	Community Development Department	I	Prior to approval of Improvement Plans
	Planning Division	M	Prior to approval of Final Map
	Engineering Division	B	Prior to issuance of first Building Permit
	Building Division	O	Prior to approval of Occupancy Permit
	Fire Division	G	Prior to issuance of Grading Permit
PW	Public Works Department	DC	During construction
PR	Park and Recreation Department	OG	On-going requirement
PD	Police Department		

Attachment 4 Vicinity Map



Attachment 5 Project Narrative



December 1, 2023

Nathan Stroud
Assistant Planner
City of Folsom
50 Natoma Street
Folsom, CA 95630

Re: 771 OAK AVENUE PKWY

Dear Mr. Stroud,

We are Social Vocational Services (SVS), a private non-profit California corporation, which provides skills and vocational training to adults with Developmental Disabilities. Our program offices are licensed by California Department of Developmental Services, Community Care Licensing, in the category of adult day care. We call this program Community Career Exploration Day Program or CCED Program.

Our CCED Program activities are both community and facility based. Our consumers are assisted in exploring such areas as communication, computer skills, interviewing skills, personal appearance and use of adaptive devices. Additional on-site activities may include art studio work, multi-media exploration, horticulture and physical fitness. Community integration activities might include visiting the library, field trips to businesses of interest to our consumers, employment contracts, bowling and BBQ's in nearby parks. California State Licensing requires a staff to consumer ratio of 1 staff to every 3 or 6 consumers. We provide constant supervision to our consumers, of which some may be non-ambulatory.

We would like to license this office to serve a maximum of 45 consumers. At peak occupancy we could employ 15 Direct Service Professionals and 3 Administrators.

Our offices operate from 7:00 am to 4:00pm, Monday through Friday--closed evenings, weekends and major holidays. In regards to traffic flow and parking impact, important to note is that we provide transportation for all of our consumers. At peak occupancy we will have 18 staff members and 5 vans which will require overnight/weekend parking. Our employees take some of our vans out in the community during the work day so when our employees are at work some of the vans are not parked at the facility and vice versa. Thus, employees and vans can often share parking spaces.

Thank you very much for your time. For additional information about our organization please visit our website, <http://www.socialvocationalservices.org/> or feel free to contact me.

A handwritten signature in black ink that reads "Susan Copley - Leonhardt".

Susan Copley Leonhardt
Director of Administrative Services

Attachment 6
Plan set, dated 11-28-2023

GENERAL NOTES

- 1. CONTRACTOR SHALL VERIFY THE SITE, FINISHES, DIMENSIONS, ELEVATIONS, AND UTILITIES UNDER THE EXISTING CONDITIONS AND RETURN UNDER THE EXISTING CONDITIONS AND RETURN UNDER THE EXISTING CONDITIONS...

ABBREVIATIONS

Table with 4 columns: Abbreviation, Full Name, Abbreviation, Full Name. Includes entries like AFF ABOVE FINISH FLOOR, ACOS ACROUSTIC CEILING, ADU ADJUSTABLE, etc.

PROJECT INFORMATION

Table with columns: PROJECT SCOPE, APPLICABLE CODES, OCCUPANCY GROUP, TYPE OF CONSTRUCTION, FIRE SPRINKLERS, AREA OF WORK. Includes details like TENANT IMPROVEMENT OF EXISTING OFFICE SPACE TO ADULT CARE FACILITY.

DRAWING INDEX

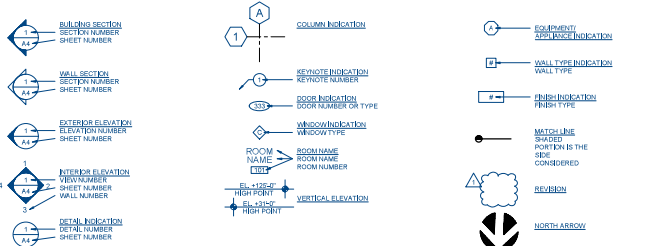
Table with columns: Drawing Title, Sheet Number. Includes items like A500 SHEET INDEX, GENERAL NOTES AND SYMBOLS, A510 OCCUPANCY AND EXITS PLAN, etc.

ARCHITECTURAL

Table with columns: Drawing Title, Sheet Number. Includes items like A600 SITE PLAN, A610 GRADE/FLOOR FLOOR PLAN, A620 FLOOR PLAN, etc.

Project information including Date (9/29/2023), Issued For (PROGRESS SET), Project Name (SVS Inc., 771 Oak Ave Pkwy, Folsom CA, 95630), Consultant (NORR Associates Inc.), and a seal for Susan Leonard-Roth, Architect.

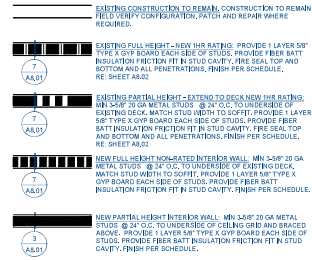
SYMBOLS



VICINITY MAP

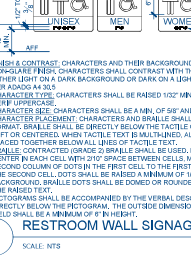


WALL LEGEND



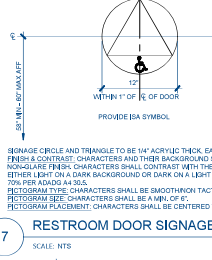
- WALL NOTES:
1. WALLS SHALL HAVE A MINIMUM LEVEL 4 FINISH.
2. ALLEN FINISH WHEN EXISTING WHEN WALLS TO EXISTING WALLS.
3. PREPARE ALL EXISTING WALLS WITHIN AREA OF WORK AS REQUIRED FOR NEW FINISHES.
4. PROVIDE BLOCKING FOR ARTWORK, WALL MOUNTED EQUIPMENT AND ACCESSORIES AS REQUIRED.
5. DVP BOARD SEAMS SHALL BE STAGGERED BETWEEN DOUBLE LAYERS OF DRYWALL.
6. INSTALL JUNCTION BOXES THAT SERVE OPPOSITE SIDES OF A WALL IN SEPARATE STUD CAVITIES.

RESTROOM WALL SIGNAGE



- 1. FINISH CONTRAST: CHARACTERS AND THEIR BACKGROUND SHALL HAVE A NON-GLARE FINISH. CHARACTERS SHALL CONTRAST WITH THEIR BACKGROUND, EITHER LIGHT ON A DARK BACKGROUND OR DARK ON A LIGHT BACKGROUND, MIN 70% FOR ADA 308.
2. CHARACTER TYPE: CHARACTERS SHALL BE RAISED 1/32" MIN. AND SHALL BE SANS SERIF UPPERCASE.
3. CHARACTER SIZE: CHARACTERS SHALL BE A MIN. OF 3/8" AND A MAX. OF 2" HIGH. CHARACTER SPACING: CHARACTERS AND BRILLE SHALL BE IN A HORIZONTAL FORMAT. BRILLE SHALL BE DIRECTLY BELOW THE TACTILE CHARACTERS. FLUSH LEFT OR CENTERED, WHEN TACTILE TEXT IS MULTILINE. ALL BRILLE SHALL BE PLACED TOGETHER BELOW ALL LINES OF TACTILE TEXT.
4. BRILLE CONTRAST: CONTRAST 3 BRILLE SHALL BE USED. DOTS SHALL BE 1/10" ON CENTER IN EACH CELL WITH 2/10" SPACE BETWEEN CELLS. MEASURED FROM THE SECOND COLUMN OF DOTS TO THE FIRST CELL OF THE FIRST COLUMN OF DOTS IN THE SECOND CELL. DOTS SHALL BE RAISED A MINIMUM OF 1/40" ABOVE THE BACKGROUND. BRILLE DOTS SHALL BE COMED OR ROUNDED. BRILLE SHALL MATCH THE RAISED TEXT.
5. PICTOGRAM SHALL BE ACCOMPANIED BY THE VERBAL DESCRIPTION PLACED DIRECTLY BELOW THE PICTOGRAM. THE OUTSIDE DIMENSION OF THE PICTOGRAM FIELD SHALL BE A MINIMUM OF 7" HIGH.

RESTROOM DOOR SIGNAGE



- 1. SIGNAGE: CIRCLE AND TRIANGLE TO BE 1/4" OFF SET. EACH FINISH CONTRAST: CHARACTERS AND THEIR BACKGROUND SHALL HAVE A NON-GLARE FINISH. CHARACTERS SHALL CONTRAST WITH THEIR BACKGROUND, EITHER LIGHT ON A DARK BACKGROUND OR DARK ON A LIGHT BACKGROUND, MIN. 70% FOR ADA 308.
2. CHARACTER TYPE: CHARACTERS SHALL BE SANS SERIF UPPERCASE.
3. CHARACTER SIZE: CHARACTERS SHALL BE 1/2" MIN. TO 2" MAX. IF BELOW 5'7.7" AND 3" MIN. IF OVER 5'7.7".
4. LETTERING: TO BE UPPERCASE SERIF OR SANS SERIF FONT CHARACTERS.

SPECIFIC EXIT PLAN NOTES

- 1. AREAS SHOWN SHADDED ARE NOT IN SCOPE OF WORK AND ARE TO REMAIN AS IS.
2. EXISTING EXIT DOORS WITHIN AREA OF WORK ARE TO REMAIN. ADJUST DOORS AS REQUIRED TO MEET OPERATIONAL EFFORT OF 2' ROOMS MAXIMUM ADJUST CLOSERS SO THAT FROM AN OPEN POSITION OF 90 DEGREES, THE TIME REQUIRED TO MOVE THE DOOR TO A POSITION OF 15 DEGREES FROM THE LATCH IS 5 SECONDS MINIMUM (CBC 118-404.2.1).
3. FIRE EXTINGUISHERS TO COMPLY WITH 118.15. FIRE EXTINGUISHERS SHALL HAVE A SERVICE TAG AFFIXED TO THEM WHICH PROVIDES PROOF THEY HAVE BEEN INSPECTED AND SERVICED BY A LICENSED FIRE EXTINGUISHER INSPECTOR. ALL LOCATIONS ARE SUBJECT TO CHANGE AT THE INSPECTOR'S DISCRETION.
4. MAXIMUM TRAVEL DISTANCE REQUIRED VERIFY INSTALL LOCATIONS IN FIELD W/ TENANT & ARCHITECT.

EGRESS NOTES

- 1. THE MINIMUM REQUIRED EGRESS WIDTH SHALL NOT BE LESS THAN REQUIRED BY 2022 CBC SECTION 1005. THE TOTAL WIDTH OF MEANS OF EGRESS IN INCHES SHALL NOT BE LESS THAN THE TOTAL OCCUPANT LOAD DIVIDED BY THE MEANS OF EGRESS MULTIPLIED BY 0.3 FEET PER OCCUPANT LOAD FOR STAIRWAYS AND BY 0.2 FEET PER OCCUPANT LOAD FOR OTHER EGRESS. THE MINIMUM EGRESS WIDTH SHALL NOT BE LESS THAN SPECIFIED ELSEWHERE IN THE CODE.
2. ACCESSIBLE MEANS OF EGRESS ARE NOT REQUIRED TO BE PROVIDED IN EXISTING BUILDINGS PER 2022 CBC SECTION 118-207 EXCEPT 3).
3. GO TO REMOVE AND REPLACE ANY EXISTING KNOB STYLE DOOR HANDLE WITH NEW LEVER ACTUATED LOCKSET WITH LOCKING FUNCTION TO MATCH EXISTING UNLESS OTHERWISE NOTED. THE LOCKING FUNCTION TO MATCH EXISTING UNLESS OTHERWISE NOTED. THE LOCKING FUNCTION TO MATCH EXISTING UNLESS OTHERWISE NOTED. THE LOCKING FUNCTION TO MATCH EXISTING UNLESS OTHERWISE NOTED. THE LOCKING FUNCTION TO MATCH EXISTING UNLESS OTHERWISE NOTED.
4. THE MAIN EXTERIOR DOOR OR DOORS ARE PERMITTED TO BE EQUIPPED WITH KEY-OPERATED LOCKING DEVICES FROM THE EGRESS SIDE PROVIDED THE FOLLOWING CONDITIONS ARE MET:
a. A READY, VISIBLE, DURABLE SIGN IS POSTED ON THE EGRESS SIDE OF THE EXTERIOR DOOR OR DOORS. THE SIGN SHALL BE REAR MOUNTED ON OR ON A CONTIGUOUS WALL. THE SIGN SHALL BE IN LETTERS 1" HIGH.
c. THE USE OF THE KEY-OPERATED LOCKING DEVICES REVERSIBLE BY THE FIRE CODE OFFICIAL FOR FIRE CAUSE.
5. THE 24 HOURS HARDWARE, MAXIMUM EFFORT TO OPERATE DOOR SHALL NOT EXCEED 5 POUNDS FOR EXTERIOR AND INTERIOR DOORS. MAXIMUM EFFORT TO OPERATE INTERIOR DOORS MAY BE INCREASED TO EXCEED 13 POUNDS.

EGRESS LEGEND



SIGNAGE LEGEND



NOTE: PROVIDE BLANK TO MATCH TACTILE SIGNAGE AT LOCATIONS WHERE SIGNAGE IS MOUNTED TO CONFORM TO THESE CODE REQUIREMENTS NOT IN THESE DRAWINGS AND BANK OF AMERICA STANDARDS. SIGNAGE IS TO BE PROVIDED BY AN APPROVED BANK VENDOR.

EGRESS NOTES

- TOTAL OCCUPANTS: 45 OCCUPANTS
NUMBER OF EXITS: 2 REQUIRED, 2 PROVIDED
EXIT WIDTH: 45 x 2 = 9' REQUIRED, 9' PROVIDED

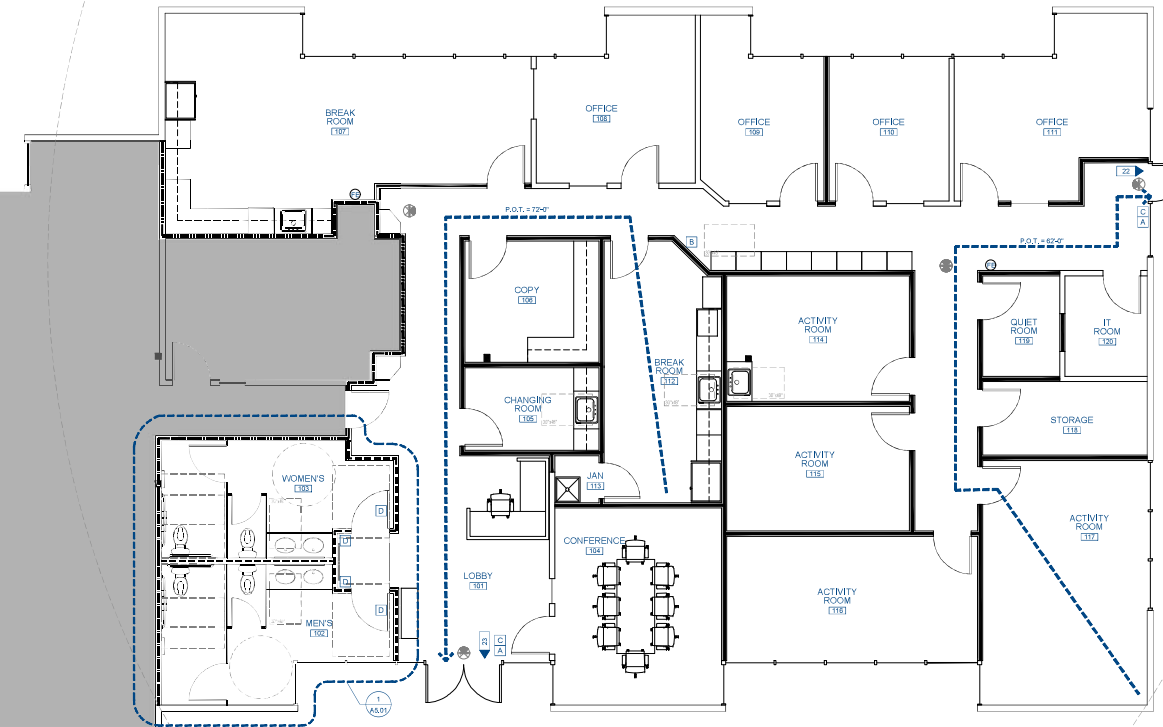
OCCUPANT LOAD TABLE

Table with columns: ROOM, LOAD, AREA, OCCUPANTS. Lists rooms like LOBBY 101, MEN'S 102, CONFERENCE 104, etc., with their respective load and area values.

PLUMBING FIXTURE CALCULATIONS

Table showing plumbing fixture calculations for occupancy group B4. Includes columns for number of men, women, and fixtures provided for various categories like water closets and urinals.

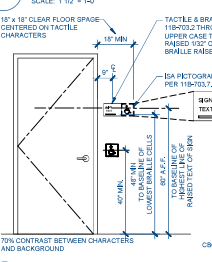
AREA OF WORK



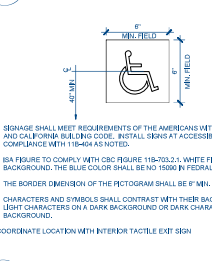
EGRESS PLAN



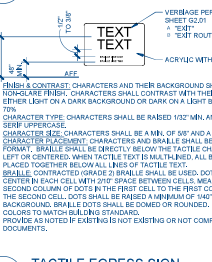
MAXIMUM OCCUPANCY SIGN



EGRESS SIGNAGE



ISA SIGNAGE



TACTILE EGRESS SIGN



Project information block containing: DATE (9/29/2023), ISSUED FOR (PROCESS SET), REV, NORR ASSOCIATES, INC. AND THE UNDERSIGNED ARCHITECTS PROFESSIONALS DO NOT REPRESENT THAT THESE PLANS AND SPECIFICATIONS ARE SUITABLE FOR ANY OTHER CLIENT AND/OR SET OTHER THAN THE ONE DEDICATED. WORK ASSOCIATES, INC. AND THE UNDERSIGNED ARCHITECTS PROFESSIONAL DECLINES RESPONSIBILITY FOR THESE PLANS AND SPECIFICATIONS IF THEY ARE USED IN WHOLE OR IN PART BY ANOTHER CLIENT OR AT ANY OTHER SET. THE DRAWING IS NOT FINAL OR TO BE USED FOR CONSTRUCTION UNLESS SOLEMNLY ADVISED BY THE LICENSED PROFESSIONAL. ALL DRAWINGS AND WRITTEN MATERIAL ASSOCIATED WITH THIS PROJECT CONSTITUTE THE ORIGINAL AND THE SAME MAY NOT BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS WITHOUT THE WRITTEN CONSENT OF NORR ASSOCIATES, INC. Project: SVS Inc. 771 Oak Ave Pkwy Folsom CA. 95630. Consultants: J. POLSHRELL, T. BARBERA, V. HOFFMAN, M. NOVAK. Seal: Professional Engineer License No. 10100. NORR Associates Inc. 1631 Alhambra Blvd. Suite 100 Sacramento, CA 95816 USA (530) 936-0210 www.norr.com. Project Manager: J. POLSHRELL, T. BARBERA. Project Lead: V. HOFFMAN, M. NOVAK. Client: Occupancy and Exiting Plan. Drawing No: A0.10.

GENERAL NOTES:
 1. ALL EXISTING SITE ELEMENTS TO REMAIN AS ORIGINALLY APPROVED BY LANDLORD PERMIT DRAWINGS.

DATE	ISSUED FOR	REV.
9/29/2023	PROCESS SET	

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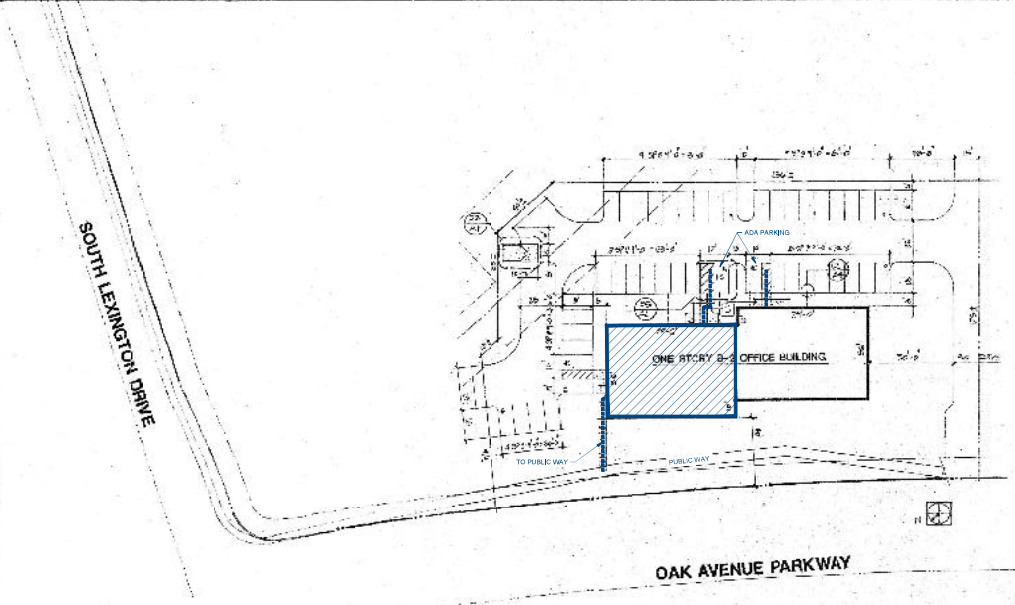
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6 PROJECT DATA

LEGAL DESCRIPTION:
 ASSessor'S PARCEL 072-070-007 & 001
 JOB SITE ADDRESS: OAK AVENUE PARKWAY, FOLSOM, CALIFORNIA
 CONTRACTOR: GURCO CONSTRUCTION COMPANY
 USE: STRIPMALL, PROPOSED UNKNOWN
 USE ZONE: M-F-D
 CODE AUTHORITY: 1991 UNIFORM BUILDING CODE
 OCCUPANCY: OFFICE & MULTIPLE USE, B-2 (OFFICE)
 TYPE OF CONSTRUCTION: V (MULTIFAMILY BUILDING) 4761396
 BUILDING AREA: 2,240
PERMITTED SQUARE FOOTAGE:
 2-2 (OFFICE) 5,444 S.F.
 2-2 (OFFICE) 6,312 S.F. TOTAL
ALLOWABLE AREA:
 4,100 S.F. (MAXIMUM ALLOWABLE (H.R.C. TABLE B-C))
 4,100 S.F. (U.S.C. 504(2) 2) ALL BUILDING (20' x 20') X 28 = 4,096
 16,000 S.F. (U.S.C. 506 (2)) ADJACENT BUILDING SYSTEM
 48,400 S.F. ALLOWABLE AREA FOR 3 STORY
FLOORING HEIGHT:
 10'-0" PERMITTED MAX (MAX. ALLOWABLE 5'-0")
 8'-0" PERMITTED MIN
 10'-0" PERMITTED (1 STORY)

4 SITE PLAN



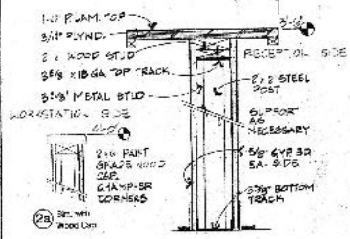
5 PARKING DATA

MARKING:
 BUILDING AREA: 2,240 S.F. COVER
 1200 SQUARE FEET = 1,250 SQUARE FEET REQUIREMENTS
 STANDARD SPACE: 43
 HANDICAP SPACE: 3
 TOTAL REQUIRED: 46
MIN. COVERAGE:
 5,444 S.F. MIN. TOTAL AREA
 6,312 S.F. MIN. COVER
 6,312 S.F. MIN. AREA

3 REQUIRED PER THE FIRE DEPARTMENT

- The following issues need to be addressed for the city of Folsom Fire Department plan check review.
1. Establish Fire Lanes with paint and signs.
 2. Install Knox Box system.
 3. Fire Alarm system to be monitored by a 'UL' approved central station.
 4. Place street address on front of building in numbers 8' high.
- If you have any questions concerning the above F.D. comments, contact Asst. Fire Chief William Aurigola @ 360-7200

2 LCW WALL PARTITION SECTION



1 SHEET INDEX

- A.0 COVER SHEET
- A.1 CONSTRUCTION PLAN
- A.2 REFLECTED CEILING PLAN
- A.3 FINISH PLAN
- A.4 CONSTRUCTION DETAILS
- A.5 CABINET ELEVATIONS

STAFFORD
PLANNING
 771 Oak Ave Pkwy, Folsom, California 95630
 PH: 632-0100 FAX: 632-9733

DATE	REVISIONS	NO.
9-29-23	ADJUSTS SHEET 4	1
9-29-23	ADJUSTS SHEET 2	2

ANDERSON BUNBURY
 LEXINGTON HILLS
 Oak Avenue Parkway
 Folsom, California

APPROVED & ACCEPTED BY

DATE: _____
 I, _____, LICENSED PROFESSIONAL ARCHITECT IN THE STATE OF CALIFORNIA, DO HEREBY CERTIFY THAT THESE PLANS AND SPECIFICATIONS ARE SUITABLE FOR THE ABOVE DESCRIBED PROJECT AND THAT I AM A MEMBER IN GOOD STANDING OF THE ARCHITECTS ASSOCIATION OF CALIFORNIA.

DRAWN: LMP
 DATE: 9/29/23
 SCALE: 1/8" = 1'-0"
 SHEET NO.: A.0

SVS Inc.
 771 Oak Ave Pkwy
 Folsom CA, 95630



NORR
 NORR Associates, Inc.
 1631 Alhambra Blvd, Suite 100
 Sacramento, CA 95816 USA
 916.938.0210
 www.norr.com

Project Manager	J. POIRRELL	Drawn	LMP
Project Lead		Checked	
Client			

Drawn Title: **SITE PLAN**
 Check Scale (may be photo reduced) 0 inch 10mm
 Project No.: **JCR23-0121-00**
 Drawing No.: **A0.11**



PROPERTY LIST:

PARCEL 07-2084-0-002
750 OAK AVENUE PKWY # 180 FOLSOM 95630
750 OAK AVENUE PKWY # 180 FOLSOM 95630
750 OAK AVENUE PKWY # 175 FOLSOM 95630
750 OAK AVENUE PKWY # 175 FOLSOM 95630
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750 OAK AVENUE PKWY # 180 FOLSOM 95630
PARCEL 07-2413-0-012
750 OAK AVENUE PKWY
PARCEL 07-2413-0-017
750 OAK AVENUE PKWY
PARCEL 07-2003-H-018
200 S LEXINGTON DR. FOLSOM 95630

DATE	ISSUED FOR	REV
9/29/2023	PROGRESS SET	

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Project

SVS Inc.
771 Oak Ave Pkwy
Folsom CA, 95630

Consultants



NORR
NORR Associates Inc.
1631 Alhambra Blvd, Suite 100
Sacramento, CA 95816 USA
(916) 936-9210
www.norr.com

Project Manager	J. POLSHELL
Project Lead	Checked
Client	

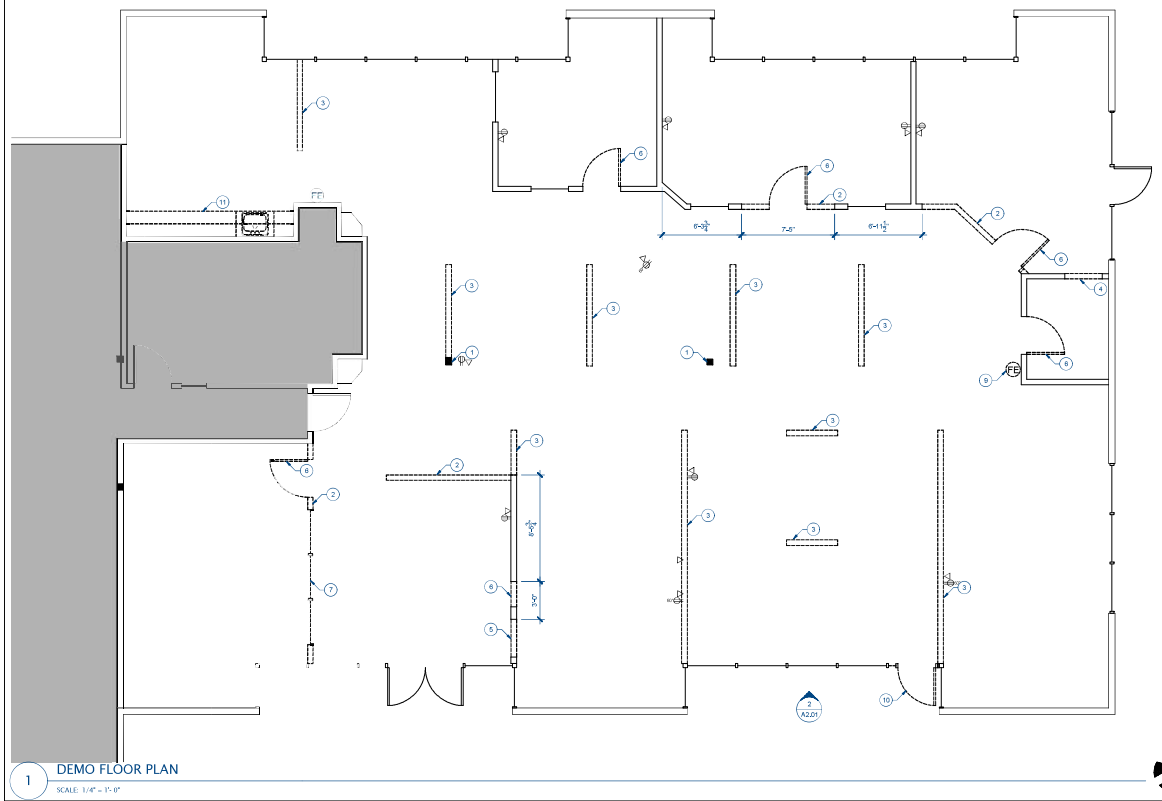
Drawing Title:
RADIUS SITE PLAN

Check Scale (may be photo reduced)
0 10 20 feet

Project No.: JCSR23-0121-00

Drawing No.: **A0.12**

ARCH 11 - 1/4" = 1' - 0" (Minimum) (Per the Standard)



1 DEMO FLOOR PLAN
SCALE: 1/4" = 1' - 0"

KEYNOTES

- 1. EXISTING COLUMN TO REMAIN.
2. REMOVE EXISTING INTERIOR WALL PARTITION SHOWN AS DASHED. PATCH AND REPAIR ADJACENT SURFACES AS NEEDED.
3. REMOVE EXISTING PARTIAL HEIGHT WALL PARTITION SHOWN AS DASHED. PATCH AND REPAIR ADJACENT SURFACES AS NEEDED.
4. NEW WALL OPENING FOR NEW DOOR AND FRAME. MATCH HEIGHT TO EXISTING DOOR HEIGHT.
5. NEW WALL OPENING FOR NEW GLASS SLEIGHT. MATCH HEIGHT TO EXISTING SLEIGHT HEIGHT.
6. REMOVE EXISTING INTERIOR DOOR AND FRAME SHOWN AS DASHED.
7. REMOVE EXISTING INTERIOR GLASS STOREFRONT.
8. NOT USED.
9. RELOCATE EXISTING FIRE EXTINGUISHER. SEE SHEET AD.10
10. REMOVE EXISTING EXTERIOR STOREFRONT DOOR AND FRAME.
11. REMOVE EXISTING MULLWORK AND EXISTING SINK SHOWN AS DASHED. PATCH AND REPAIR ADJACENT SURFACES AS NECESSARY.

WALL LEGEND

- EXISTING CONSTRUCTION TO REMAIN. CONSTRUCTION TO REMAIN. FIELD VERIFY CONFIGURATION, PATCH AND REPAIR WHERE REQUIRED.
EXISTING FULL HEIGHT INTERIOR PARTITION. PROVIDE 1 LAYER 5/8" TYPE X GYP BOARD EACH SIDE OF STUDS. PROVIDE FIBER BATT INSULATION FRICTION FIT IN STUD CAVITY. PER SEAL, TOP AND BOTTOM AND ALL PENETRATIONS. FINISH PER SCHEDULE.
EXISTING PARTIAL HEIGHT. EXTEND TO DECK NEW IRR EXISTING. MIN 3/4" 30 GA METAL STUDS @ 24" O.C. TO UNDEREGE OF EXISTING DECK. MATCH STUD WIDTH TO SOFFIT. PROVIDE 1 LAYER 5/8" TYPE X GYP BOARD EACH SIDE OF STUDS. PROVIDE FIBER BATT INSULATION FRICTION FIT IN STUD CAVITY. PER SEAL, TOP AND BOTTOM AND ALL PENETRATIONS. FINISH PER SCHEDULE.
NEW FULL HEIGHT NONRATED INTERIOR WALL. MIN 5/8" 30 GA METAL STUDS @ 24" O.C. TO UNDEREGE OF EXISTING DECK. MATCH STUD WIDTH TO SOFFIT. PROVIDE 1 LAYER 5/8" TYPE X GYP BOARD EACH SIDE OF STUDS. PROVIDE FIBER BATT INSULATION FRICTION FIT IN STUD CAVITY. FINISH PER SCHEDULE.
NEW PARTIAL HEIGHT INTERIOR WALL. MIN 5/8" 30 GA METAL STUDS @ 24" O.C. TO UNDEREGE OF CEILING GRID AND BRACES ABOVE. PROVIDE 1 LAYER 5/8" TYPE X GYP BOARD EACH SIDE OF STUDS. PROVIDE FIBER BATT INSULATION FRICTION FIT IN STUD CAVITY. FINISH PER SCHEDULE.

WALL NOTES

- 1. WALLS SHALL HAVE A MINIMUM LEVEL 4 FINISH.
2. ALSO FINISH WHEN ADDING NEW WALLS TO EXISTING WALLS.
3. PREPARE ALL EXISTING WALLS WITHIN AREA OF WORK AS REQUIRED FOR NEW FINISHES.
4. PROVIDE BLOCKING FOR ARTWORK, WALL MOUNTED EQUIPMENT AND ACCESSORIES AS REQUIRED.
5. GYP BOARD SEAMS SHALL BE STAGGERED BETWEEN DOUBLE LAYERS OF DRYWALL.
6. INSTALL JUNCTION BOXES THAT SERVE OPPOSITE SIDES OF A WALL SEPARATE STUD CAVITIES.

GENERAL DEMOLITION NOTES

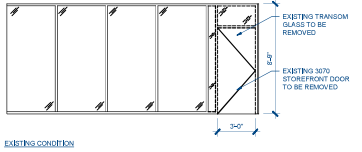
- 1. THE CONTRACTOR SHALL CONFORM TO LOCAL, STATE AND FEDERAL CODES, RULES AND REGULATIONS AND ORDINANCES FOR PROTECTION OF WORKERS, THE PUBLIC, PROPERTY AND PROVIDE, INSTALL AND MAINTAIN BARRICADES, WARNING DEVICES AND OTHER PROTECTION WHERE REQUIRED THROUGHOUT.
2. THE CONTRACTOR SHALL PROVIDE ALL PERMITS, TRAILER CHARTERS AND DUMPSTERS AS REQUIRED. PERFORM DEMOLITION AND CLEANUP TO ENHANCE NEIGHBORHOOD INTERESTS WITH ROADS, STREETS, WALKS, AND OTHER ADJACENT OCCUPIED OR USED FACILITIES.
3. OBTAIN AND FOLLOW ALL LOCAL JURISDICTION AIR QUALITY PROCEDURES DURING DEMOLITION.
4. NOTIFY AFFECTED AND DAMPER DEMOLITION UNCOVERED UNFORESEEN CONDITIONS SUCH AS BUT NOT LIMITED TO STRUCTURAL INSTABILITY, DRYROT, MOLD, WATER DAMAGE AND LEAKS, AND CODE VIOLATIONS.
5. THE CONTRACTOR SHALL INSPECT THE EXISTING AREAS TO BE DEMOLISHED AND NOTIFY THE ARCHITECT OF ANY PROBLEMS IN THE WORK.
6. COMPLETELY PROTECT EXISTING BUILDINGS, ADJACENT BUILDINGS AND OFF-SITE BUILDINGS AND PROPERTY AT ALL TIMES FROM DUST, DEBRIS, VIBRATION AND DEMOLITION OPERATIONS RESULTING FROM THIS WORK. PROMPTLY REPAIR DAMAGES CAUSED BY THE WORK TO THE SATISFACTION OF ARCHITECT AT NO ADDITIONAL COST TO OWNER.
7. ENSURE SAFE PASSAGE OF PEDESTRIANS AROUND AREA OF DEMOLITION. CONDUCT OPERATIONS TO PREVENT HARM TO ADJACENT BUILDINGS, STRUCTURES, OTHER FACILITIES AND PERSONS. ERECT TEMPORARY COVERED PASSAGEWAYS AS REQUIRED.
8. THE CONTRACTOR SHALL ASSUME COMPLETE RESPONSIBILITY FOR MAINTAINING ALL NECESSARY SERVICES TO REMAINING ADJACENT BUILDINGS OR PORTIONS OF BUILDINGS NOT BEING DEMOLISHED.
9. THE FOLLOWING WORK SHALL BE PERFORMED BY THE CONTRACTOR. REMOVE PORTIONS OF BUILDINGS AND MATERIALS, BUT NOT LIMITED TO:
A. REMOVE WALLS PARTITIONS AS INDICATED ON DRAWINGS AND STUDS.
B. REMOVE ALL EXTERIOR WINDOW, STOREFRONT GLAZING AND FRAMES, AS INDICATED. PATCH AND REPAIR AS REQUIRED.
C. REMOVE ALL EXTERIOR INTERIOR DOORS, FRAMES, CONTROLS AND HARDWARE, AS INDICATED. PATCH AND REPAIR AS REQUIRED.
D. REMOVE ALL FLOOR COVERINGS AND MASTE, AS INDICATED. PATCH AND REPAIR FLOOR SURFACES AS REQUIRED. LEAVE AT LEVEL CONDITION, READY TO RECEIVE NEW FINISHES.
E. REMOVE ALL CEILING, STORE OR RETURN TO OWNER IF REQUESTED.
F. REMOVE PLUMBING FIXTURES AS NEEDED. ABAJOUR AND GYP WASTE AND JURY LINES IF REQUIRED. PATCH FLOOR, WALLS TO MATCH NEW FINISHED APPEARANCE.
G. REMOVE ALL METAL CONDUIT IN WALLS, ELECTRICAL SYSTEM PENS ETC AS REQUIRED.
H. OTHER ITEMS INDICATED ON DRAWINGS, SPECIFIED HERE, OR AS NECESSARY TO EXECUTE THE WORK.
10. EXISTING UTILITIES: PROTECT ACTIVE UTILITY LINES THAT ARE TO REMAIN. REPAIR OR REPLACE ANY SUCH UTILITIES DAMAGED BY THE WORK AT NO ADDITIONAL COST TO OWNER.
11. FIELD VERIFY EXTENT OF DEMOLITION NEAR BUILDING SHOWN TO REMAIN. PROVIDE ALL DEMOLITION AS REQUIRED TO ACCOMMODATE NEW CONSTRUCTION.
12. ALL TRADES SHALL PERFORM THEIR DEMOLITION IN A VIGILANT LIKE MANNER AS NOT TO DAMAGE ANY OR EXISTING CONSTRUCTION TO REMAIN.
13. LOCATE AND DISCONNECT ALL MAIN UTILITIES WITHIN DEMOLITION AREA.
14. CLEARLY LABEL CONNECTION POINT OUTSIDE OF CONSTRUCTION AREA.
15. REMOVE EXISTING WORK AS INDICATED AND AS REQUIRED FOR INSTALLATION OF NEW WORK. NOTIFY AND OBTAIN APPROVAL OF BUILDING DEPARTMENT OF ANY TEMPORARY STOPPAGE OF BUILDING UTILITIES, SERVICES AND OR ALARM MONITORING SYSTEMS.
16. REMOVE EXISTING BELOW GRADE IMPROVEMENTS AS INDICATED ON DRAWINGS AND AS OTHERWISE REQUIRED TO ACCOMMODATE THE NEW WORK, INCLUDING BUT NOT LIMITED TO FOUNDATIONS, FOOTINGS, WALLS, CURBS OR POET INCIDENTS, CATCH BASINS, MANHOLES, GUTTERS, SERVICE TANKS, UNDERGROUND PIPE, OR OTHER MISCELLANEOUS CONSTRUCTION.
17. MATERIAL IDENTIFIED FOR REMOVAL FOR REUSE SHALL BE CAREFULLY REMOVED TO PREVENT DAMAGE, AND STORED IN A PROTECTED AND SECURE LOCATION ON SITE OR AT FACILITIES PROVIDED BY THE CONTRACTOR. IF NEEDED, CONTRACTOR SHALL REMOVE, STORE AND IDENTIFY AS REQUIRED FOR REINSTALLATION. ALL FASTENERS, SUPPORTS, CONNECTORS, BRACKETS, ACCESSORIES, ETC. ASSOCIATED WITH MATERIAL IDENTIFIED FOR REUSE.
18. MATERIAL IDENTIFIED FOR REMOVAL FOR RETURN TO THE OWNER SHALL BE CAREFULLY REMOVED TO PREVENT DAMAGE AND STORED IN A PROTECTED AND SECURE LOCATION UNTIL TURNED OVER TO THE OWNER. CONTRACTOR SHALL REMOVE, STORE AND IDENTIFY ALL FASTENERS, CONNECTORS, SUPPORTS, BRACKETS, ACCESSORIES, ETC. ASSOCIATED WITH THE MATERIAL IDENTIFIED FOR REMOVAL FOR DELIVERY TO THE OWNER. THE CONTRACTOR SHALL NOTIFY THE OWNER WHEN MATERIALS ARE AVAILABLE. THE OWNER WILL PROMPTLY REMOVE THE MATERIALS AT HIS OWN EXPENSE, WITH NO CHANGE TO THE CONTRACT TIME/CONTRACT AMOUNT.
19. DO NOT BEGIN ANY DEMOLITION WORK UNTIL EXISTING AREAS TO REMAIN HAVE BEEN PROPERLY PREPARED AND SUPPORTED. PROVIDE SHORING, BRACING, OR SUPPORT TO PREVENT MOVEMENT, SETTLEMENT, OR COLLAPSE OF EXISTING STRUCTURES TO REMAIN.
20. PROCEED WITH DEMOLITION IN A SYSTEMATIC MANNER, FROM TOP OF STRUCTURE TO FLOOR.
21. SEPARATE, BREAK-APART AND REMOVE CONCRETE SLABS AND PAVING AS REQUIRED TO ACCOMMODATE NEW WORK.
22. SEPARATION BETWEEN WORK TO BE REMOVED AND WORK TO REMAIN SHALL PRESENT AN EVEN, STRAIGHT LINE AND SMOOTH SURFACE WHEN PORTION TO BE DEMOLISHED IS REMOVED.
23. LEAD PAINT AND ASBESTOS CONTAINING PRODUCTS MAY BE PRESENT IN THE EXISTING CONSTRUCTION. IF SUSPECT MATERIALS ARE ENCOUNTERED, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER'S REPRESENTATIVE AND IMMEDIATELY STOP WORK. IF THE CONTRACTOR IS UNABLE TO IDENTIFY THE CONTRACTOR SHALL IMMEDIATELY POST NOTICES AND TAKE PRECAUTIONS NECESSARY TO ENSURE HEALTH AND SAFETY OF ALL WORKERS, THE STAFF AND THE PUBLIC. CONTRACTOR SHALL FOLLOW ALL STATE, FEDERAL AND LOCAL ORDINANCES FOR REMOVAL, DEMOLITION AND CLEANUP AS REQUIRED.
24. REMOVE FROM SITE OILS, HAZARDOUS MATERIALS, SOLIDS, RUBBER AND OTHER MATERIALS RESULTING FROM THE DEMOLITION OPERATION AND LEGALLY DISPOSE OFF OF SITE.
25. SALE OF REMOVED ITEMS OR STORAGE OF REMOVED ITEMS NOT SCHEDULED FOR REUSE OR FOR RETURN TO THE OWNER WILL NOT BE PERMITTED ON SITE.
26. CLEANUP AND LEAVE THE EXISTING WORK IN A CONDITION READY TO PROCEED WITH THE REMAINING WORK.
27. COORDINATE WITH PROJECT MANAGERS FOR THE REMOVAL, REUSE, AND DISPOSAL OF BANK PROPERTY PRIOR TO BEGINNING WORK.
28. CONTRACTOR TO SUBMIT WRITTEN SCHEDULE TO PROJECT MANAGER SHOWING SCHEDULE AND CONSTRUCTION SEQUENCES AND HOW BUSINESS OPERATIONS WILL BE IMPACTED PRIOR TO STARTING WORK.
29. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER'S REPRESENTATIVE OF ANY EVIDENCE OF POTENTIAL HAZARDOUS PROPERTIES FOR INVESTIGATION PRIOR TO PROCEEDING WITH ADDITIONAL WORK. CONTRACTOR SHALL FOLLOW ALL STATE, FEDERAL, AND LOCAL REGULATIONS FOR REMOVAL, DEMOLITION, AND CLEANUP AS REQUIRED.

Table with columns: DATE, ISSUED FOR, REV. Includes a revision table and a title block for 'DEMOLITION FLOOR PLAN' with project details, scale, and drawing information.

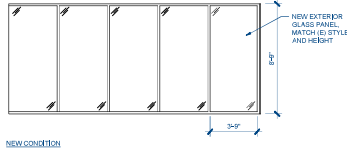


REFERENCE EXTERIOR ELEVATION

SCALE: 1/8" = 1'-0"



EXISTING CONDITION



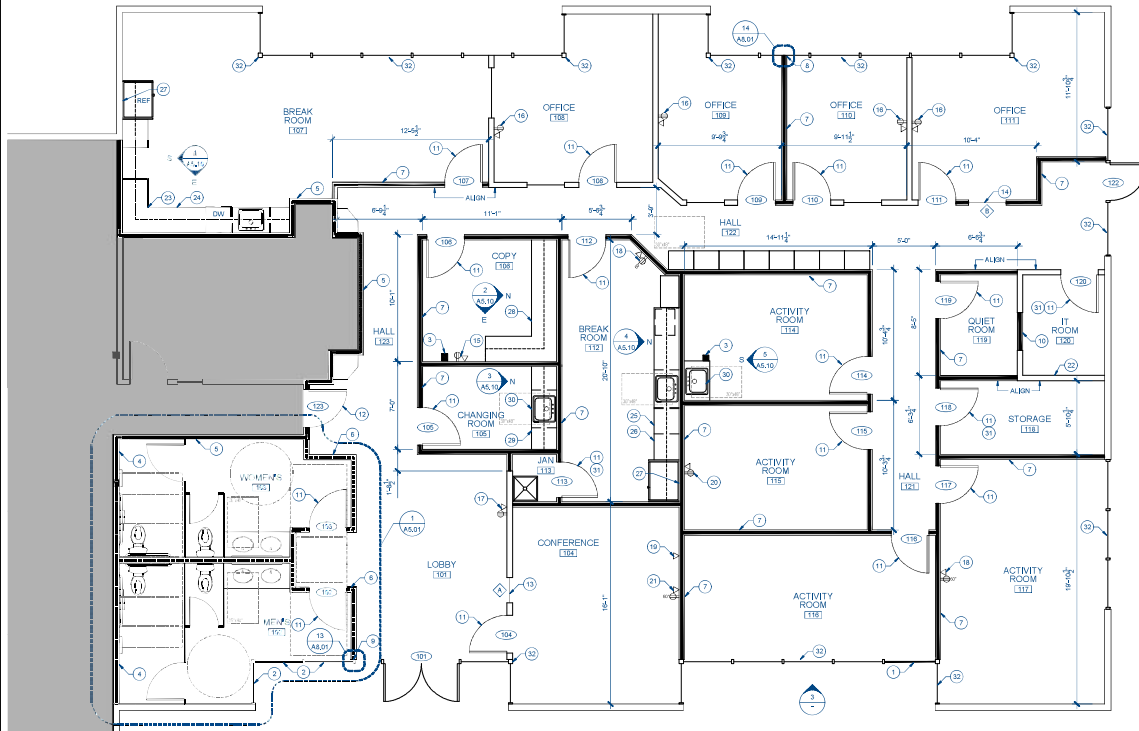
NEW CONDITION

DEMO EXTERIOR ELEVATION

SCALE: 1/4" = 1'-0"

NEW EXTERIOR ELEVATION

SCALE: 1/4" = 1'-0"



FLOOR PLAN

SCALE: 1/4" = 1'-0"

KEYNOTES

- 1. PROVIDE NEW EXTERIOR STOREFRONT GLASS TO MATCH EXISTING PANEL SIZE AND STYLE.
2. PROVIDE FIRM ON GLASS. FIRM MUST BE SOLID SO NOTHING IS VISIBLE FROM THE OUTSIDE...
3. EXISTING INTERIOR COLUMNS TO REMAIN. WRAP EXPOSED COLUMN IN OPEN AREA.
4. EXISTING FULL HEIGHT WALL TO BECOME 10' HOUR RATED WALL. SEE WALL LEGEND.
5. EXISTING PARTIAL HEIGHT WALL TO EXTEND TO UNDERSIDE OF DECK. PROVIDE INSULATION.
6. PROVIDE NEW INTERIOR WALL PARTITION @ ABOVE CEILING GRID. SEE WALL LEGEND.
7. PROVIDE NEW INTERIOR WALL PARTITION @ ABOVE CEILING GRID. SEE WALL LEGEND.
8. OBTAIN OWNER AND/OR ARCHITECTS APPROVAL OF WALL CHALK LINES PRIOR TO INSTALLATION OF BASE TRACKS.
9. FRESH WALL END TO FACE OF MULLION. PROVIDE 3/8" SEALANT JOINT WITH BACKER ROD BOTH SIDES.
10. INFILL DOOR OPENING. MATCH ADJACENT CONSTRUCTION. PATCH AND REPAIR ADJACENT SURFACES.
11. PROVIDE NEW INTERIOR DOOR AND FRAME. SEE DOOR SCHEDULE AS02 AND SHEET D01 FOR FINISHES. DOOR FRAME TO BE BLACK FINISH.
12. PROVIDE NEW 1/8" RATED INTERIOR DOOR AND FRAME. SEE DOOR SCHEDULE AS02 AND SHEET D01 FOR FINISHES. DOOR FRAME TO BE BLACK FINISH.
13. PROVIDE NEW 24" SPECIFIC. MATCH DOOR HEIGHT AND FRAME FINISH. SEE DOOR SCHEDULE AS02.
14. PROVIDE NEW 30" SPECIFIC. MATCH DOOR HEIGHT AND FRAME FINISH. SEE DOOR SCHEDULE AS02.
15. PROVIDE DEDICATED POWER AND (2) DATA PORTS AT CORNER. SEE ELECTRICAL.
16. PROVIDE POWER AND (2) DATA PORTS AT NEW OFFICES. SEE ELECTRICAL.
17. PROVIDE POWER AND (2) DATA PORTS AT NEW RECEPTION DESK. SEE ELECTRICAL.
18. PROVIDE POWER AND (1) DATA PORT AT 60" A.F.F. WHERE INDICATED. SEE ELECTRICAL.
19. PROVIDE (1) DATA PORT. SEE ELECTRICAL.
20. PROVIDE POWER AND (4) DATA PORTS WHERE INDICATED. SEE ELECTRICAL.
21. PROVIDE POWER AND (1) DATA AT 48" A.F.F. FOR FLAT SCREEN TV. FINAL LOCATION TO BE DETERMINED. PROVIDE IN WALL SUPPORT BRACING. SEE ELECTRICAL.
22. PROVIDE DEDICATED 110V POWER IN IT ROOM. SEE ELECTRICAL.
23. PROVIDE NEW UPPER AND LOWER ALUM CABINETS IN BREAK ROOM 107. APPROX. 200' LINEAR FEET OF UPPER CABINETS AND APPROX. 210' LINEAR FEET OF LOWER CABINETS. PLASTIC LAMINATE COUNTERTOP. SEE 106.10 FOR ELEVATIONS AND D01 SHEET FOR FINISHES.
24. PROVIDE ALL NEW ACCESSIBLE BENCHMARCHER. 30K. FACILET. GARBAGE DISPOSAL. CONNET TO PROVIDE REFRIGERATION AND MICROWAVE. PROVIDE APPROPRIATE POWER FOR ALL BREAK ROOM APPLIANCES. SEE SHEETS AND ELECTRICAL.
25. PROVIDE NEW UPPER AND LOWER ALUM CABINETS IN BREAK ROOM 112. APPROX. 120' LINEAR FEET OF UPPER CABINETS AND APPROX. 120' LINEAR FEET OF LOWER CABINETS. PLASTIC LAMINATE COUNTERTOP. SEE 106.10 FOR ELEVATIONS AND D01 SHEET FOR FINISHES.
26. PROVIDE ALL NEW ACCESSIBLE BENCHMARCHER. 30K. FACILET. GARBAGE DISPOSAL. CONNET TO PROVIDE REFRIGERATION AND MICROWAVE. PROVIDE APPROPRIATE POWER FOR ALL BREAK ROOM APPLIANCES. SEE SHEETS AND ELECTRICAL.
27. PROVIDE POWER AND WATER LINE FOR OFFICE PROVIDED REFRIGERATOR. SEE SHEETS. ELECTRICAL AND PLUMBING.
28. PROVIDE NEW UPPER AND LOWER ALUM CABINETS IN COPY 105. APPROX. 150' LINEAR FEET OF UPPER AND LOWER CABINETS. PLASTIC LAMINATE COUNTERTOP. SEE 106.10 FOR ELEVATIONS AND D01 SHEET FOR FINISHES.
29. PROVIDE NEW UPPER AND LOWER ALUM CABINETS IN CHANGING ROOM 105. APPROX. 64' LINEAR FEET OF UPPER AND LOWER CABINETS. PLASTIC LAMINATE COUNTERTOP. SEE 106.10 FOR ELEVATIONS AND D01 SHEET FOR FINISHES.
30. PROVIDE NEW ACCESSIBLE SINKS AND FACILET SEE D01 SHEETS.
31. PROVIDE NEW KEVED ALIKE LOCKS IN JAN/FOR 113. STORAGE 118 AND IT ROOM 120.
32. PROVIDE NEW WINDOW COVERINGS. SEE SHEET D01.

WALL LEGEND

- EXISTING CONSTRUCTION TO REMAIN. CONSTRUCTION TO REMAIN. FIELD VERIFY CONSTRUCTION. PATCH AND REPAIR WHERE REQUIRED.
EXISTING FULL HEIGHT - NEW 10' RATED. PROVIDE 1 LAYER 5/8" TYPE X GYP BOARD EACH SIDE OF STUDO. PROVIDE FIRE BATT INSULATION FRICTION FIT IN STUDO CAVITY. FIRE SEAL TOP AND BOTTOM AND ALL PENETRATIONS. FINISH PER SCHEDULE. RE: SHEET A0.02.
EXISTING PARTIAL HEIGHT. EXTEND TO DECK NEW 1/8" RATED. PROVIDE 1 LAYER 5/8" TYPE X GYP BOARD EACH SIDE OF STUDO. PROVIDE FIRE BATT INSULATION FRICTION FIT IN STUDO CAVITY. FIRE SEAL TOP AND BOTTOM AND ALL PENETRATIONS. FINISH PER SCHEDULE. RE: SHEET A0.02.
NEW FULL HEIGHT NON-RATED INTERIOR WALL. MIN 5/8" 20 GA METAL STUDO @ 24" O.C. TO UNDERSIDE OF EXISTING DECK. MATCH STUDO WIDTH TO SCHEDULE. PROVIDE 1 LAYER 5/8" TYPE X GYP BOARD EACH SIDE OF STUDO. PROVIDE FIRE BATT INSULATION FRICTION FIT IN STUDO CAVITY. FIRE SEAL TOP AND BOTTOM AND ALL PENETRATIONS. FINISH PER SCHEDULE. RE: SHEET A0.02.
NEW PARTIAL HEIGHT INTERIOR WALL. MIN 5/8" 20 GA METAL STUDO @ 24" O.C. TO UNDERSIDE OF CEILING GRID AND BRACED ABOVE. PROVIDE 1 LAYER 5/8" TYPE X GYP BOARD EACH SIDE OF STUDO. PROVIDE FIRE BATT INSULATION FRICTION FIT IN STUDO CAVITY. FINISH PER SCHEDULE.

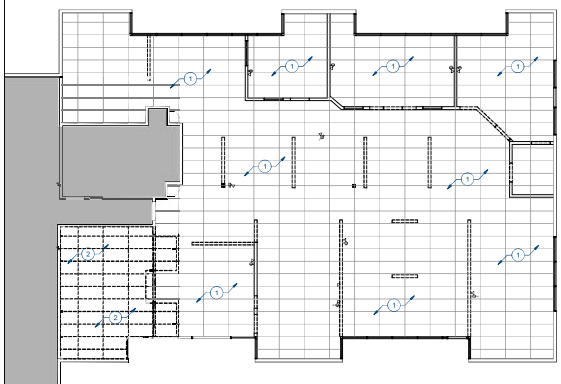
WALL NOTES

- 1. WALLS SHALL HAVE A MINIMUM LEVEL 4 FINISH
2. ALSO FINISH WHEN ADJACENT WALLS TO EXISTING WALLS.
3. PREPARE ALL EXISTING WALLS WITHIN AREA OF WORK AS REQUIRED FOR NEW FINISHES.
4. PROVIDE BLOCKING FOR ARTWORK, WALL MOUNTED EQUIPMENT AND ACCESSORIES AS REQUIRED.
5. GYP BOARD SHEETS SHALL BE STAGGERED BETWEEN DOUBLE LAYERS OF DRYPWALL.
6. INSTALL JOINT BOARDS THAT SEPARATE OPPOSITE SIDES OF A WALL IN SEPARATE STUDO CAVITIES.

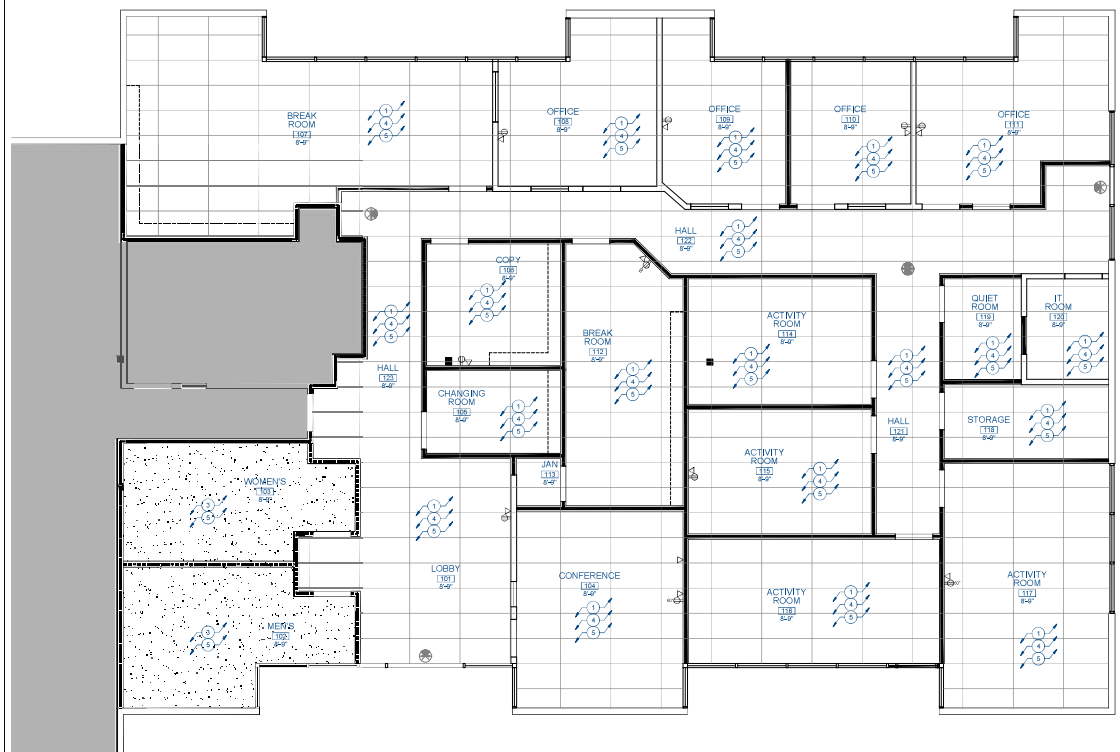
FLOOR PLAN NOTES:

- 1. CONTRACTOR TO FIELD VERIFY AND NOTIFY THE ARCHITECT OF ANY AND ALL DISCREPANCIES 5 DAYS PRIOR TO BID DATE.
2. ALL CONTRACTORS MUST SURVEY THE PROJECT SITE PRIOR TO START OF DEMO WORK. THE BUILDING MAY NOT HAVE BEEN FULLY FIELD VERIFIED. CONTRACTORS TO ADVISE THE ARCHITECT 5 DAYS PRIOR TO BID. OF ANY DISCREPANCY WITH ARCHITECTS DRAWINGS.
3. ALL WORK SHALL CONFORM TO THE AMERICAN WITH DISABILITIES ACT (A.D.A.) WHERE APPLICABLE ALONG WITH ALL STATE, COUNTY AND LOCAL APPLICABLE CODES, ORDINANCES AND REGULATIONS. PRIOR TO START OF WORK, NOTIFY ARCHITECT OF ANY DISCREPANCIES BETWEEN THE DRAWINGS AND CODE. ALL WORK SHALL CONFORM TO THE MOST RESTRICTIVE REQUIREMENTS. ALL CONTRACTORS TO COMPLY WITH ALL CODES AND REGULATIONS.
4. NOTIFY A CERTAIN APPROVAL OF BUILDING MANAGEMENT OF ANY TEMPORARY STORAGE OF BLDG. UTILITIES, SERVICES AND/OR ALARM MONITORING SYSTEM.
5. NOTE EXISTING CONDITIONS MAY NOT HAVE BEEN FULLY FIELD VERIFIED. CONSIDER SCOPE OF WORK WITH OWNER AND ARCHITECT BEFORE EXISTING CONDITIONS NOT SHOWN ON THESE DOCUMENTS WHEN ENCOUNTERED.
6. OBTAIN OWNER AND/OR ARCHITECTS APPROVAL OF WALL CHALK LINES PRIOR TO INSTALLATION OF BASE TRACKS.
7. OBTAIN OWNER AND/OR ARCHITECTS APPROVAL OF ELECTRICAL AND DATA OUTLET LOCATION CHALK LINES PRIOR TO INSTALLATION. SEE ELECTRICAL DRAWINGS.
8. REPAIR PATCH & FINISH ALL GYPBOARD BOARD NEW AND EXISTING AS REQUIRED TO BE READY FOR FINISH.
9. PATCH, REPAIR AND/OR REPLACE EXISTING CONSTRUCTION IN AREA OF WORK. AS REQUIRED FOR A FINISHED APPEARANCE AND/OR TO MAINTAIN SECURITY.
10. PATCH WITH GYP. ALL ABANDONED WALL RECEPTACLES TO PROVIDE FOR A SMOOTH AND FINISHED WALL SURFACE. SEE ELECTRICAL.
11. PROVIDE ALL DEMOTION AS REQUIRED TO ACCOMMODATE NEW CONSTRUCTION.
12. MAINTAIN EXISTING RATED CONSTRUCTION DURING DEMOLITION AND CONSTRUCTION.
13. DEMONSTRATE TO THE FACE OF FINISH ON EXISTING TO NEW WORK, UNLESS NOTED OTHERWISE. DIMENSIONS SHALL HAVE PRECEDENCE OVER SCALE. LARGER SCALE DRAWINGS SHALL HAVE PRECEDENCE OVER SMALLER SCALE DRAWINGS. *WHERE APPLICABLE WHERE YOU ARE DIMENSIONED TO.
14. ALL WALLS TO BE FINISHED WITH 5/8" TYPE X GYP BOARD UNLESS OTHERWISE SPECIFIED.
15. PROVIDE FOR CLEANING OF FLOOR IN AREAS OF WORK ONLY.
16. ALL FLOORS SHALL BE LEVEL AND CLEAR PRIOR TO START OF WALL ERECTION OR FLOORING INSTALLATION. PATCH, REPAIR AND/OR REPLACE AS REQUIRED. WALLS SHALL BE FINISHED AND PAINTED FROM SLAB TO HEAD ON BOTH SIDES OF THE WALL WHERE WALLS WILL BE EXPOSED FULL HEIGHT. AT WALLS WHERE CEILING OCCUR WALLS SHALL BE FINISHED AND PAINTED FROM SLAB TO A POINT 8" ABOVE T-848.
17. PROVIDE ALL REQUIRED FIRE SPRAY PREVENTION METHODS INCLUDING BUT NOT LIMITED TO FIRE DAMPERS, FIRE SHUTTERS, FIRE TRAPING FIRE DAMPERS, ETC. AT ALL PENETRATIONS OF RATED CONDITIONS SO AS TO MAINTAIN RATED CONSTRUCTION.
18. ENTRY AND EXIT DOORS ON THE EXTERIOR OF THE BUILDING, AND INCLUDED WITH THE SCOPE OF WORK SHALL CONFORM TO TITLE 24 REQUIREMENTS.
A. HORIZONTAL MAXIMUM EFFORT TO OPERATE DOOR SHALL NOT EXCEED 5 POUNDS FOR EXTERIOR DOORS AND 5 POUNDS FOR INTERIOR DOORS.
B. MAXIMUM EFFORT TO OPERATE THE DOORS MAY BE INCREASED NOT TO EXCEED 5 POUNDS.
C. EXIT DOORS SHALL BE OPERABLE FROM INSIDE WITHOUT THE USE OF A KEYS, KEYS OR REMOTE KNOWLEDGE OR EFFORT.
D. CONSTRUCTION: THE BOTTOM 18 INCHES OF ALL DOORS EXCEPT AUTOMATIC SLIDING DOORS TO BE OPENED BY A WHEEL OR BAR FOOTREST WITHOUT CREATING A TRIP OR HAZARDOUS OBSTRUCTION.
E. SEE DOOR NOTES FOR ADDITIONAL INFORMATION.
19. ALL SELF CLOSING DOORS WITH A LATCH SHALL HAVE REQUIRED DOOR CLEARANCES. PROVIDE MIN 12" STRIKE SIDE CLEARANCE ON PUSH SIDE OF DOOR. PROVIDE MIN 18" STRIKE SIDE CLEARANCE ON THE PULL SIDE OF EXTERIOR DOORS. PROVIDE MIN 4" CLEAR SPACE IN FRONT OF THE DOOR ON THE PUSH SIDE AND 80" DEEP CLEAR SPACE IN FRONT OF THE DOOR ON THE PULL SIDE.
20. PROVIDE FIRE EXTINGUISHERS AS SHOWN ON PLAN. FIRE EXTINGUISHERS INSPECTION AND TESTING SHALL BE FITTED WITH CURRENT INSPECTION TAGS. INSPECTION OF FIRE EXTINGUISHERS SHALL BE BY A COMPANY LICENSED BY THE FIRE MARSHAL HAVING JURISDICTION. PROVIDE IDENTIFICATION TAGS ABOVE EXTINGUISHERS AND A EMERGENCY EXCITATION SIGN ON THE WALL ADJACENT TO EXTINGUISHER INCLUDING PLAN OF SPACE AND PATH OF TRAVEL TO BUILDING EXITS. PORTABLE FIRE EXTINGUISHERS ARE REQUIRED DURING CONSTRUCTION, ALTERATIONS, OR DEMOLITIONS. SEE TYPE AND LOCATION TO BE CONFIRMED BY THE LOCAL FIRE DEPARTMENT HAVING JURISDICTION.
21. CONFORM ROOM NUMBERING CONVENTIONS WITH TENANT PRIOR TO ORDERING, MANUFACTURING AND/OR INSTALLING IDENTIFICATION TAGS. ROOM NUMBERS LISTED ON THIS ARE FOR CONSTRUCTION COORDINATION ONLY.
22. SEE FINISH SCHEDULE FOR FINISHES IN AREA OF WORK.
23. COORDINATION SEE LOCATION AND CAPACITY OF WALL MOUNT EQUIPMENT SUCH AS TV STAKING WITH TENANT. COORDINATE LOCATION OF ELECTRICAL AND CABLE OUTLETS WITH TENANT AND EQUIPMENT LOCATION. PROVIDE AND INSTALL BUILDING ALLOWINGS WITH INDICATED EQUIPMENT PROTECTING 4" OR MORE TO HAVE MIN 48" CLEAR HEIGHT ON UNDERSIDE BOTTOM EDGE.
24. CLEAN BUILDING COMMON AREAS USED DURING CONSTRUCTION PRIOR TO TURNING OVER TENANT SUITE TO TENANT.
25. GENERAL CONTRACTOR TO MAINTAIN A COMPLETE SET OF AS BUILT DRAWINGS AND ORDER THE AS BUILT DRAWINGS TO THE BANK AND ARCHITECT UPON PROJECT COMPLETION.
26. PROVIDE METAL STUDO TO MATCH SPECIFIED WALL GAGE AT ALL NEW DOOR JAMBES AND HEAD CONDITIONS.
27. STUDO GAGE AND SIZE INDICATED ARE MINIMUM STANDARDS. CONTRACTOR SHALL SELECT STUDO SIZE AND GAGE PER STRUCTURE OR OTHER TRADE REQUIREMENTS. IN NO EVENT SHALL STUDO SIZE, GAGE, AND SPACING FALL BELOW MINIMUM REQUIREMENTS UNLESS OTHERWISE INDICATED.
28. CONTRACTOR SHALL PREP ALL WALLS AND FLOORING SUBSTRATES AS REQUIRED BY FINISH MANUFACTURER PRIOR TO INSTALLATION.
29. CONTRACTOR SHALL COORDINATE STUDO SIZE AT PLUMBING WALLS TO ACCOMMODATE LATERAL PLUMBING NOT BY ARCHITECT IF STUDO SIZE IS CHANGED AND FIELD VERIFY MAINTAIN ALL CLEARANCES.
30. ROOM CAPACITY TAGS SHALL BE PROVIDED AND POSTED IN ROOMS OR SPACES THAT SERVE AS ASSEMBLY AREAS. LOCATION OF TAGS TO BE LOCATED NEAR OR ABOVE THE EXIT. FINAL LOCATIONS TO BE APPROVED BY LOCAL FIRE DEPARTMENT HAVING JURISDICTION.

Table with columns: DATE, ISSUED FOR, REV. Includes revision history, project information, and a professional seal for SVS Inc. (771 Oak Ave Pkwy, Folsom CA, 95630).



1 FLOOR PLAN SCALE: 1/4" = 1'-0"

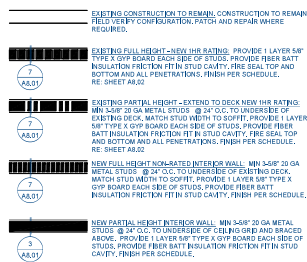


1 FLOOR PLAN SCALE: 1/4" = 1'-0"

KEYNOTES

- 1. EXISTING CEILING GRID TO REMAIN UNLESS OTHERWISE INDICATED. PRIOR ALTERNATE FOR NEW CEILING GRID, COORDINATE WITH ELECTRICAL AND MECHANICAL FOR LIGHT FIXTURES, HVAC VENTS AND/OR SPRINKLER PLACEMENTS.
2. REMOVE EXISTING CEILING GRID SHOW AS DASHED. PREP FOR NEW GYP BOARD CEILING.
3. NEW GYP BOARD CEILING AS NEW RESTROOMS, MATCH (E) CEILING HEIGHT.
4. ALL ACOUSTIC CEILING TILES TO BE REPLACED BY ARMSTRONG DUNE.
5. PROVIDE ALL NEW LED LIGHTS. SEE ELECTRICAL AND CEILING PLAN NOTE 24.

WALL LEGEND



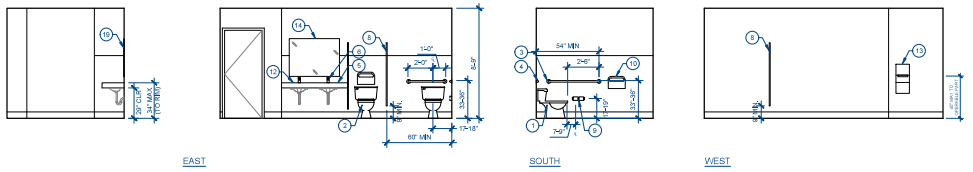
- WALL NOTES:
1. WALLS SHALL HAVE A MINIMUM LEVEL FINISH.
2. ALCOY FINISH WHEN ADJOINING NEW WALLS TO EXISTING WALLS.
3. PREPARE ALL EXISTING WALLS WITHIN AREA OF WORK AS REQUIRED FOR NEW FINISHES.
4. PROVIDE BLOCKING FOR ARTWORK, WALL MOUNTED EQUIPMENT AND ACCESSORIES AS REQUIRED.
5. GYP BOARD SEAMS SHALL BE STAGGERED BETWEEN DOUBLE LAYERS OF DRYWALL.
6. INSTALL JUNCTION BOXES THAT SERVE OPPOSITE SIDES OF A WALL IN SEPARATE STUD CAVITIES.

CEILING PLAN NOTES

- 1. ALL CALL CONTRACTORS MUST SURVEY THE PROJECT SITE PRIOR TO START OF WORK. ADVISE THE ARCHITECT 5 DAYS PRIOR TO BID OF ANY DISCREPANCY WITH THE ARCHITECT'S DRAWINGS AND/OR EXISTING CONDITIONS WHICH MAY IMPACT THE EXECUTION OF THE WORK.
2. CONTRACTOR TO COORDINATE AND VERIFY LIGHTING LOCATIONS WITH THE CONTRACTOR DOCUMENTS. ELECTRICAL CONTRACTOR TO VERIFY AND COORDINATE AND/OR MODIFY WITH ARCHITECT AND TENANT APPROVAL TO AVOID ALL DISCREPANCY AND TO COMPLY WITH ALL REQUIREMENTS.
3. LIGHTING LEVELS ARE TO BE VERIFIED AGAINST THE ELECTRICAL DRAWINGS BY THE CONTRACTOR FOR TENANT REQUESTED LIGHTING LEVELS. PROVIDE ADDITIONAL LIGHT FIXTURES INCLUSIVE OF BID IF REQUIRED WITH APPROVAL AND OWNERS APPROVAL.
4. ALL CONTRACTORS TO COMPLY WITH ALL CODES & REGULATIONS.
5. ALL CONTRACTORS TO COORDINATE ALL HVAC SUPPLY RETURN REGISTERS AS REQUIRED TO ACCOMMODATE FOR LIGHTING LAYOUT.
6. GENERAL CONTRACTOR TO PERFORM OVER HEAD COORDINATION TO AVOID COLLISION BETWEEN TRACES PRIOR TO THE INSTALLATION OF LIGHTS, DUCTWORK, TABAR CEILING ETC AND PROVIDE ALL NECESSARY BLOCKING AND SUPPORT.
7. NOTIFY & OBTAIN APPROVAL OF BUILDING MANAGEMENT OF ANY TEMPORARY STORAGE OF ANY BLDG UTILITY, SERVICES AND/OR ALARM MONITORING SYSTEMS. IF TEMPORARY STORAGE OF SERVICES OR UTILITIES IMPACTS ADJACENT BUILDINGS PROVIDE NOTIFICATION AS EARLY AS POSSIBLE.
8. CONTRACTOR TO FIELD VERIFY EXISTING ROOF DECK AND STRUCTURE SPACING PRIOR TO BID AND INSTALLATION OF TABAR GRID. STRUCTURE AND BRACING MAY NOT BE 4'-0" O.C. OR OTHERWISE PROVIDE PROTECTIVE BRACE WIRES, MANHOLETS OR STRUTS IN COMPLIANCE WITH CODE, AS SUCH AN EVENT PROVIDE ALL BLOCKING AS REQUIRED PRIOR TO INSTALLATION OF TABAR CEILING.
9. EXISTING CONDITIONS MAY NOT HAVE BEEN FULLY FIELD VERIFIED. CONFIRM W/ THE CONTRACTOR FOR TENANT REQUESTED LIGHTING LEVELS. PROVIDE ADDITIONAL LIGHTING CONDITIONS NOT SHOWN ON THESE DOCUMENTS WHEN ENCOUNTERED.
10. FIRE SPRINKLER CONTRACTOR TO SUBMIT PLANS, SPECIFICATIONS AND CALCULATIONS TO LOCAL FIRE DEPARTMENT FOR APPROVAL AT THE TIME OF BUILDING PLAN CHECK SUBMISSION WITH COPIES TO THE ARCHITECT FOR APPROVAL. SPRINKLER CONTRACTOR TO PLAN ALL PERMITTED BRACES AS REQUIRED. FIRE SPRINKLES TO BE SEMI-RECESSED HEADS WITH ESCUTCHION BRASS. CHECK THESE NOTES, REF TO THE FIRE DEPARTMENT DRAWINGS FOR MORE INFORMATION.
11. NOTIFY REPAIR AND/OR REPLACE EXISTING CONSTRUCTION AREA OF WORK AS REQUIRED FOR A FINISHED APPEARANCE AND/OR TO MAINTAIN SECURITY THROUGHOUT THE DURATION OF CONSTRUCTION.
12. PROVIDE WALL BRIBES FROM AS REQUIRED TO ACCOMMODATE NEW CONSTRUCTION & SCOPE OF WORK.
13. COORDINATE LOCATION AND DIRECTION OF AIR FLOW OF HVAC REGISTERS AND DUCTWORK WITH TENANT.
14. SUSPENDED ACOUSTICAL CEILING SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH THE PROVISIONS OF ASTM C636 AND ASTM C638 PER CBC SECTION 0511. CENTER CEILING WITHIN ROOMS.
15. INSTALLATION:
VERTICAL HANGERS: SUSPENSION WIRES SHALL NOT BE SMALLER THAN 1/8" GA SPACED AT 4 FEET ON CENTER ALONG EACH MAIN RUNNER MEMBER. CALCULATIONS AND THE INCREASED SPACING ARE PROVIDED. EACH VERTICAL WIRE SHALL BE ATTACHED TO THE CEILING SUSPENSION MEMBER AND TO THE SUPPORT ABOVE WITH A MINIMUM OF 3 TURNS. ANY CONNECTION ABOVE THE SUPPORTING CONSTRUCTION SHALL BE CAPABLE OF CARRYING NOT LESS THAN 100 POUNDS. SUSPENSION WIRES SHALL NOT HANG MORE THAN 1" IN OUT OF PLUMB UNLESS CONTRA LAPPING ARE PROVIDED. WIRES SHALL NOT ATTACH TO OR BE AROUND INTERFERING MATERIALS OR EQUIPMENT. A WIRE OR EQUAL DUTY FIBER SHALL BE USED WHERE OBSTRUCTIONS PRECLUDE DIRECT SUSPENSION. TRAPPED SUSPENSION SHALL BE A MINIMUM OF BACK TO BACK WITH 'C' CHANNEL CHANNELS FOR BRACES EXCEEDING 48".
LATERAL EDGE BRACING: WHERE SUBSTANTIATING CALCULATIONS ARE NOT PROVIDED, HORIZONTAL BRISTERS SHALL BE AFFECTED BY 4 AND 1/2 GAGE WIRE SECURED TO THE MAIN RUNNER WITH ZIGZAGS OF THE CROSS RUNNER. INTERSECTION ANGLES SHALL BE 90 DEGREES FROM EACH OTHER AT AN ANGLE NOT EXCEEDING 45 DEGREES FROM THE PLANE OF THE CEILING. THESE HORIZONTAL RESTRAINT POINTS SHALL BE PLACED 12 FEET OR OTHER IN BOTH DIRECTIONS WITH THE FIRST POINT WITHIN 4 FEET FROM EACH WALL. RESTRAINT WIRES TO THE STRUCTURE ABOVE SHALL BE ADEQUATE ATTACHMENT OF THE FOR THE LOAD IMPOSED.
PERIMETER MEMBERS: UNLESS PERIMETER MEMBERS ARE A STRUCTURAL PART OF THE APPROVED SYSTEM, WALL ANGLES OR CHANNELS SHALL BE CONSIDERED AS MEMBERS, CLOSURES AND LINERS AND STRUCTURAL VALUE ASSESSED TO THEMSELVES OR THEIR METHOD OF ATTACHMENT TO THE WALLS. FOR CEILING TILES DRIPS OF THE MAIN RUNNERS AND CROSS MEMBERS SHALL BE TIED TOGETHER TO PREVENT THEIR SPREADING.
PERIMETER HANGERS: THE TERMINAL ENDS OF EACH CROSS RUNNER AND MAIN RUNNER CEILING SHALL BE SUPPORTED INDEPENDENTLY A MINIMUM OF 8 INCHES FROM EACH WALL OR DISCONTINUITY WITHIN 12 GAGE WIRE OR APPROVED WALL SUPPORT.
ATTACHMENT OF MEMBERS TO THE PERIMETER: TO FACILITATE INSTALLATION MAIN RUNNERS AND CROSS RUNNERS MAY BE ATTACHED TO THE PERIMETER MEMBERS AT 45 DEGREE WALLS WITH CLEARANCE BETWEEN THE WALL AND THE RUNNERS MAINTAINED AT THE OTHER 3 WALLS OR AS OTHERWISE SHOWN OR DESCRIBED FOR THE APPROVED SYSTEM.
16. PROVIDE CEILING EXPANSION JOINT WHERE TABAR CEILING EXCEED AN AREA OF 2500 SF, PROVIDE MANUFACTURERS DETAIL FOR APPROVAL BY ARCHITECT.
17. FOR NEW LIGHT FIXTURES WITHIN TABAR CEILING-USE 2 X 4 FIXTURES UNLESS OTHERWISE NOTED. SEE ELECTRICAL.
18. PROVIDE MEANS OF EGRESS ILLUMINATION AS REQUIRED PER CBC CHAPTER 10, AN EMERGENCY POWER SYSTEM FOR MEANS OF EGRESS ILLUMINATION SHALL BE PER CBC CHAPTER 10.
19. CONTRACTOR SHALL LABEL CEILING TILES BELOW ANY VAV BOX, DAMPER, CONTROL VALVES OR SIMILAR COMPONENT INDICATING THEIR LOCATION. PROVIDE SAMPLE OF LABELS TO ARCHITECT FOR APPROVAL.
20. EXIT SIGNS SHALL BE PROVIDED WHERE REQUIRED BY CBC CHAPTER 10, FIELD VERIFY THE DIRECTIONAL ARROW LUMINAIR AT EACH SIGN.
21. PROVIDE SIGNING AS PER ILLUMINATION ENERGY REQUIREMENTS, LOCATIONS SUBJECT TO ARCHITECT AND TENANT APPROVALS SIGNING SHALL VARY.
22. SPRINKLER HEAD LAYOUT SHALL BE IN A STRAIGHT LINE / GRID CONFORMANCE. NOTIFY ARCHITECT AND TENANT APPROVALS SIGNING SHALL VARY.
23. PROVIDE SMOKE / FIRE DAMPERS AS REQUIRED INCLUDING ALL ELECTRICAL WIRING AND SENSORS TO MAINTAIN RATE OF CONSTRUCTION WITH THE DESIGN.
24. ELECTRICAL CONTRACTOR TO VERIFY COORDINATE AND / OR PROVIDE WITH ARCHITECTS APPROVAL LIGHTING TO ADEQUATELY LIGHT ALL ROOMS AND TO AVOID ALL DISCREPANCY TO COMPLY WITH THE LIGHTING REQUIREMENTS. PROVIDE LIGHT FIXTURES TO SUIT NEW LAYOUT, MODIFICATIONS OR ADJUSTION OF LIGHTS SHALL BE INCLUSIVE OF BID.
25. ELECTRICAL, MECHANICAL PLUMBING AND FIRE SPRINKLER ENGINEERS TO PROVIDE COMPLETE WORKING DRAWINGS, CALCULATIONS AND DESCRIPTIVE DATA AS NECESSARY TO OBTAIN PERMITS. ENGINEERS SHALL COORDINATE WITH EACH OTHER TO INSURE ALL SYSTEMS ARE FULLY SUPPORTED WITH ELECTRICAL PLUMBING AND MECHANICAL.

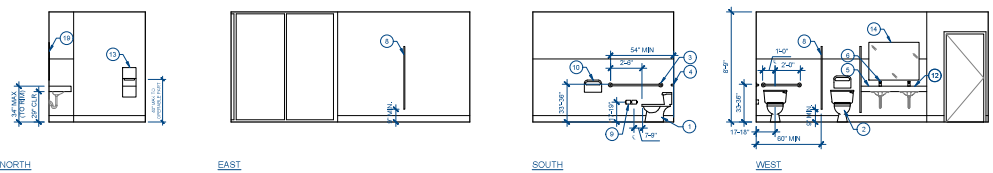
Table with columns: DATE, ISSUED FOR, REV. Rows include project info for SVS Inc., 771 Oak Ave Pkwy, Folsom CA, 95630, and drawing title DEMO AND NEW REFLECTED CEILING PLANS.

Professional seal and signature of J. Polshelli, Project Manager, and V. Hoffman, Project Lead. Includes drawing title and scale information.



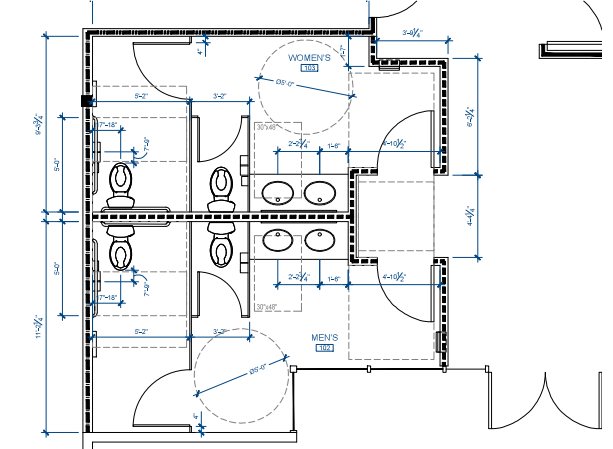
5 WOMEN'S RESTROOM ELEVATIONS
SCALE: 1/4" = 1'-0"

FEATURE CLEARANCES AND MOUNTING LOCATIONS ARE TO BE MEASURED FROM FINISH FACE OF WALL OR FLOOR.



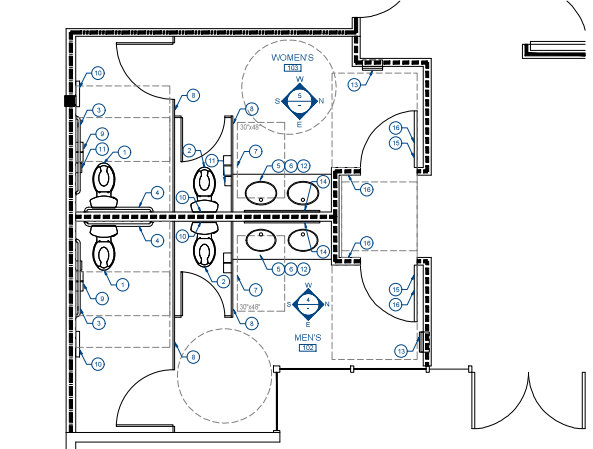
4 MEN'S RESTROOM ELEVATIONS
SCALE: 1/4" = 1'-0"

FEATURE CLEARANCES AND MOUNTING LOCATIONS ARE TO BE MEASURED FROM FINISH FACE OF WALL OR FLOOR.



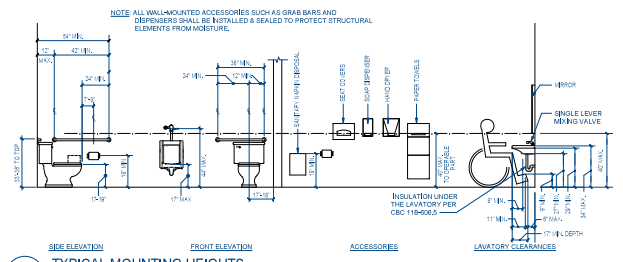
1 DIMENSION ENLARGED FLOOR PLAN
SCALE: 1/4" = 1'-0"

FEATURE CLEARANCES AND MOUNTING LOCATIONS ARE TO BE MEASURED FROM FINISH FACE OF WALL OR FLOOR.



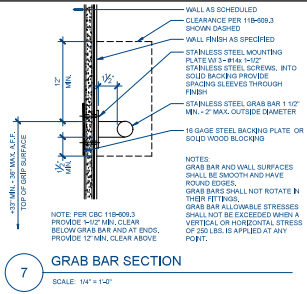
2 KEYNOTE ENLARGED FLOOR PLAN
SCALE: 1/4" = 1'-0"

FEATURE CLEARANCES AND MOUNTING LOCATIONS ARE TO BE MEASURED FROM FINISH FACE OF WALL OR FLOOR.

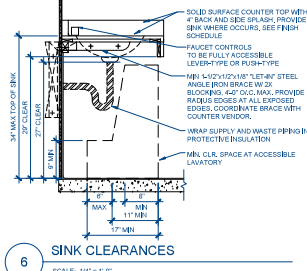


3 TYPICAL MOUNTING HEIGHTS
SCALE: 1/4" = 1'-0"

FEATURE CLEARANCES AND MOUNTING LOCATIONS ARE TO BE MEASURED FROM FINISH FACE OF WALL OR FLOOR.



7 GRAB BAR SECTION
SCALE: 1/4" = 1'-0"



6 SINK CLEARANCES
SCALE: 1/4" = 1'-0"

- KEYNOTES**
- PROVIDE ACCESSIBLE WATER CLOSET, AUTOMATIC FLUSH ACTRATOR TO BE ON OPEN SIDE OF TOILET. SEE PLUMBING DETAIL 3, THIS SHEET, SEE ID SHEETS FOR SPECS.
 - PROVIDE NEW AUTOMATIC FLOW WATER CLOSETS. SEE PLUMBING & DETAIL 3, THIS SHEET. SEE ID SHEETS FOR SPECS.
 - PROVIDE 42" GRAB BAR. SEE DETAIL 3 & 7, THIS SHEET.
 - PROVIDE 36" GRAB BAR. SEE DETAIL 3 & 7, THIS SHEET.
 - PROVIDE NEW ACCESSIBLE PLAIN COUNTER TOP TO MEET ACCESS REQUIREMENTS. SEE ID SHEET FOR FINISHES.
 - PROVIDE NEW ACCESSIBLE FARMINGTON BROWN BATHROOM 2M-K100H-1 SEE DETAIL 3, THIS SHEET, SEE ID SHEETS FOR SPECS.
 - 30"X48" CLEAR FLOOR SPACE AT ACCESSIBLE LAVATORY.
 - PROVIDE TOILET PARTITIONS AND DOORS AS SHOWN, STALLS TO MEET ALL CODE REQUIREMENTS. IF CLEAR FROM FLOOR, BOTTOM OF SCREEN SHALL BE 8" CLEAR FOR FLOOR AND NOT LESS THAN 60". PROVIDE ADEQUATE BACKING FOR RESTROOM PARTITIONS. SEE ID SHEETS FOR SPECS.
 - PROVIDE TOILET PAPER DISPENSER. SEE DETAIL 3, THIS SHEET, SEE ID SHEETS FOR SPECS.
 - PROVIDE SEAT COVER DISPENSER. SEE DETAIL 3, THIS SHEET FOR MOUNTING HEIGHTS. SEE ID SHEETS FOR SPECS.
 - PROVIDE FEMALE WASTE RECEPTACLE. SEE DETAIL 3, THIS SHEET FOR MOUNTING HEIGHTS. SEE ID SHEETS FOR SPECS.
 - PROVIDE SOAP DISPENSER. SHOULD BE INSTALLED TO BE COMPLIANT. SEE ID SHEETS FOR SPECS.
 - PROVIDE PAPER TOWEL DISPENSER. PAPER TOWEL DISPENSER SHOULD BE INSTALLED TO BE COMPLIANT AND LOWER SO THAT OPERABLE PART IS NOT HIGHER THAN 48" AFF. SEE DETAIL 3, THIS SHEET, SEE ID SHEETS FOR SPECS.
 - PROVIDE NEW 48"X36" MIRROR FROM COUNTER, BOTTOM OF REFLECTIVE SURFACE AT 42" AFF. MAX. SEE DETAIL 3, THIS SHEET, SEE ID SHEETS FOR SPECS.
 - PROVIDE ACCESSIBLE DOOR AND WALL SPANSE. SEE ID SHEETS FOR SPECS, SEE DETAIL 5.7, BADA10.
 - NEW RESTROOM DOORS WITH NEW PUSH HARDWARE.

DATE	ISSUED FOR	REV
9/29/2023	PROGRESS SET	

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Project

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771 Oak Ave Pkwy
Folsom CA, 95630

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916.939.9210
www.norr.com

Project Manager	Drawn
J. POISBELL	Checked
Project Designer	
Client	

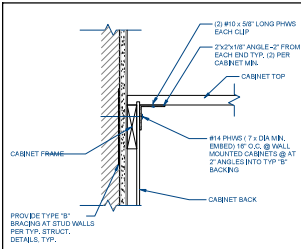
Drawing Title: **ENLARGED RESTROOM & SHOWER PLANS, ELEVATIONS AND DETAILS**

Check Scale (may be photo reduced)

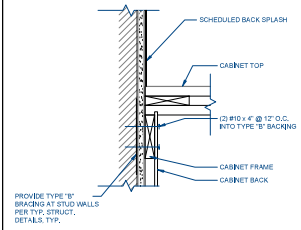
Project No.: JCSR23-0121-00

Drawing No.: **A5.01**

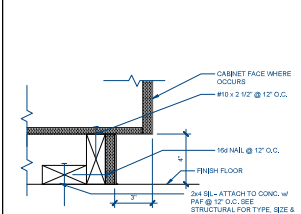
11/21/24 - 10:40 AM - 2' x 14" millwork elevations



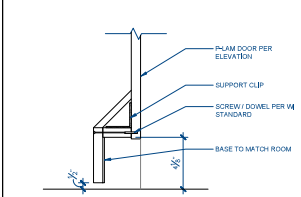
14 ANCHORAGE AT TOP OF UPPERS
SCALE: 3/4" = 1'-0"



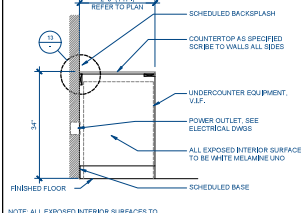
13 ANCHORAGE AT TOP OF COUNTER
SCALE: 3/4" = 1'-0"



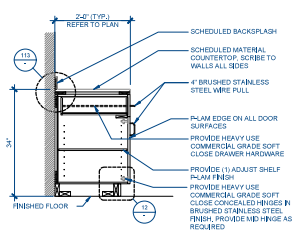
12 ANCHORAGE AT TOE KICK
SCALE: 3/4" = 1'-0"



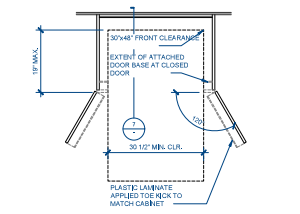
11 INTEGRAL TOE KICK
SCALE: 3/4" = 1'-0"



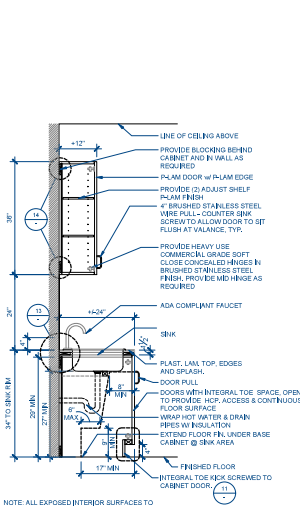
10 BASE CABINET W/ APPLIANCE
SCALE: 3/4" = 1'-0"



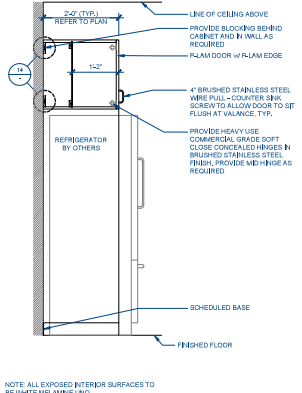
9 BUILT-IN MICROWAVE TOWER
SCALE: 3/4" = 1'-0"



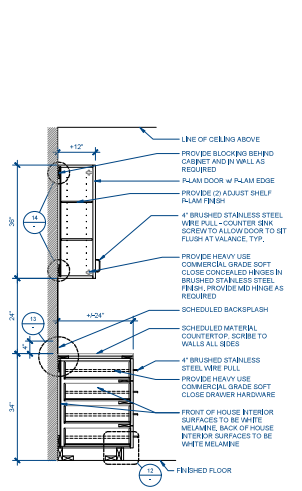
8 SINK CLEARANCE AT COUNTER
SCALE: 3/4" = 1'-0"



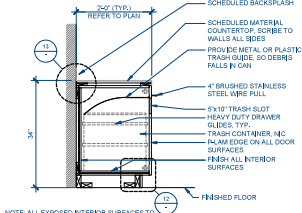
7 ACCESSIBLE SINK W/ UPPERS
SCALE: 3/4" = 1'-0"



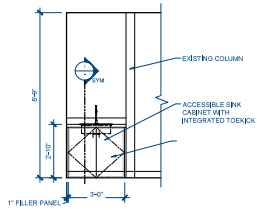
6 REFRIGERATOR W/ UPPERS
SCALE: 3/4" = 1'-0"



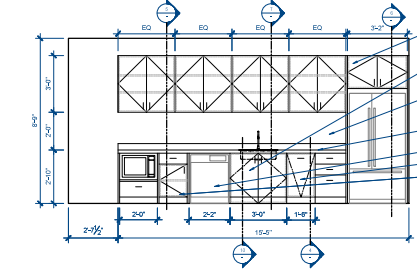
5 COUNTER DRAWERS W/ UPPERS
SCALE: 3/4" = 1'-0"



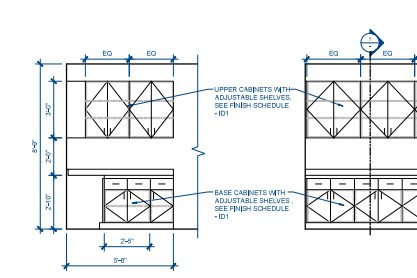
4 BASE CABINET W/ PULL OUT TRASH
SCALE: 3/4" = 1'-0"



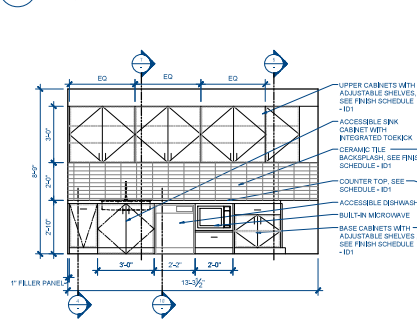
4 ACTIVITY ROOM 114
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4 BREAK ROOM 112
SCALE: 1/2" = 1'-0"



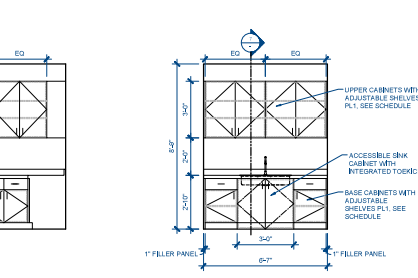
2 COPY 106
SCALE: 3/8" = 1'-0"



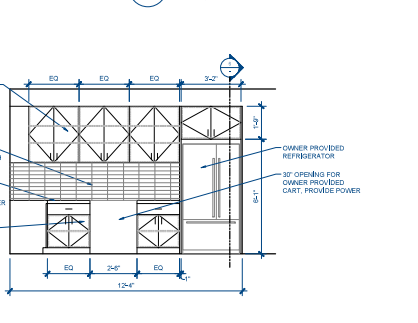
1 BREAK ROOM 107
SCALE: 3/8" = 1'-0"



3 CHANGING ROOM 105
SCALE: 3/8" = 1'-0"



3 CHANGING ROOM 105
SCALE: 3/8" = 1'-0"



1 BREAK ROOM 107
SCALE: 3/8" = 1'-0"

CASEWORK NOTES

1. ALL WORK MATERIALS, ETC. SHALL CONFORM TO W.C. STANDARDS FOR CUSTOM GRADE.
2. CABINETS SHALL BE FLUSH OVERLAY CONSTRUCTION.
3. ALL HINGES AND DRAWER GLIDES SHALL BE HEAVY DUTY SOFT CLOSE. HINGES SHALL BE CONCEALED HINGES IN BRUSHED STAINLESS STEEL FINISH. PROVIDE MID-HINGE AS REQUIRED. HINGES TO OPEN TO 100 DEGREES.
4. CABINETS AND COUNTERTOPS SHALL BE ANCHORED AND SCRIBED TO ADJACENT SURFACES.
5. ON-SITE MEASUREMENTS ARE THE RESPONSIBILITY OF THE SUBCONTRACTOR. PRIOR TO FABRICATION AND INSTALLATION.
6. DRAWINGS ARE FOR DESIGN PURPOSES ONLY. SHOP DRAWINGS SHALL BE SUBMITTED TO NORR ASSOCIATES INC. FOR APPROVAL PRIOR TO CONSTRUCTION. ALLOW A MINIMUM OF ONE WEEK FOR REVIEW.
7. BY APPROVING AND SUBMITTING SHOP DRAWINGS AND SAMPLES, CONTRACTOR REPRESENTS THAT HE HAS DETERMINED AND VERIFIED FIELD MEASUREMENTS. FIELD CONSTRUCTION DETAILS, MATERIALS, CATALOG NUMBERS, AND SIMILAR DATA AND THAT EACH SUBMITTAL HAS BEEN CHECKED AND COORDINATED WITH CONTRACT REQUIREMENTS. CONTRACTOR IS RESPONSIBLE FOR ACCURACY OF SHOP DRAWINGS, PROPER FITTERS, COORDINATION OF WORK, CONSTRUCTION TECHNIQUES, MATERIALS, AND WORK REQUIRED BY CONTRACT DOCUMENTS.
8. ALL MILLWORK SHALL BE MANUFACTURED IN ACCORDANCE WITH THE STANDARDS IN THE LATEST EDITION OF THE MANUAL OF MILLWORK OF THE WOODWORK INSTITUTE OF CALIFORNIA IN THE GRADE OR GRADES HEREBY REFERRED TO OR SHOWN ON THE DRAWINGS, BEFORE DELIVERY TO THE JOB SITE. THE MILLWORK SUPPLIER SHALL ISSUE A W.C. CERTIFIED COMPLIANCE CERTIFICATE IDENTIFYING THE MILLWORK PRODUCTS HE WILL FURNISH FOR THE JOB AND CERTIFYING THAT THEY WILL FULLY MEET ALL THE REQUIREMENTS OF THE GRADE OR GRADES SPECIFIED. THE FIRST PAGE OF THE SHOP DRAWINGS FOR THE CASEWORK SHALL BEAR THE W.C. CERTIFIED COMPLIANCE LABEL. SHOP ELEVATION OF CASEWORK SHALL BEAR THE W.C. CERTIFIED COMPLIANCE LABEL.
9. PROVIDE 1/4" FILLER STRIPS AT CASEWORK ADJACENT TO WALLS
10. REFER TO BID SHEETS FOR ALL CABINET FINISHES.

DATE	ISSUED FOR	REV
9/29/2023	PROCESS SET	

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 (916) 959-0210
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Project Manager	Drawn
J. POLSHELLI	T. BARBERA
Project Lead	Checked
V. HOFFMAN	
Client	
Drawing Title:	MILLWORK ELEVATIONS AND DETAILS
Check Scale (may be photo reduced)	1/8" = 1'-0"
Project No.	JCS23-0121-06
Drawing No.	A5.10



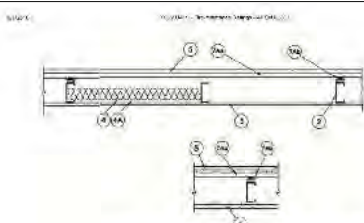
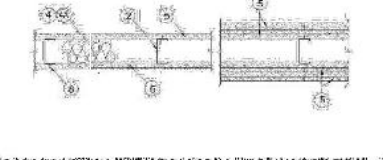
Design No. U416
BXUV-U419
Fire-Resistance Ratings - ANSI/UL 263

Design/System/Construction/Assembly Usage Disclaimer

1. This drawing is intended for use in the design of fire-resistance-rated assemblies for use in buildings of all heights. It is not intended for use in the design of fire-resistance-rated assemblies for use in buildings of less than one story height.

**BXUV - Fire Resistance Ratings - ANSI/UL 263 Certified for United States
BXUV7 - Fire Resistance Ratings - CAN/ULC S101 Certified for Canada**

Design No. U416
BXUV-U419



1. **Reinforcing Bars:** Reinforcing bars shall be placed in accordance with the requirements of the applicable building code and shall be furnished in accordance with the requirements of the applicable building code.

2. **Reinforcing Bars:** Reinforcing bars shall be placed in accordance with the requirements of the applicable building code and shall be furnished in accordance with the requirements of the applicable building code.

3. **Reinforcing Bars:** Reinforcing bars shall be placed in accordance with the requirements of the applicable building code and shall be furnished in accordance with the requirements of the applicable building code.

COMINGLED PARTS/FUNCTIONS/ASSEMBLY PRECEDENCE: (See the order of precedence list in Section 05000 - PARTS/FUNCTIONS/ASSEMBLY PRECEDENCE)

QUALITY ASSURANCE/TESTING/INSPECTION: (See Section 05000 - PARTS/FUNCTIONS/ASSEMBLY PRECEDENCE)

SEALED JOINTS/CRACK RESISTANCE: (See Section 05000 - PARTS/FUNCTIONS/ASSEMBLY PRECEDENCE)

FIRE-RESISTANCE RATING/TESTING: (See Section 05000 - PARTS/FUNCTIONS/ASSEMBLY PRECEDENCE)

1. **Reinforcing Bars:** Reinforcing bars shall be placed in accordance with the requirements of the applicable building code and shall be furnished in accordance with the requirements of the applicable building code.

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TABLE 1: SUMMARY OF TEST RESULTS

Test No.	Specimen	Fire Exposure Time (hr:min)	Failure Mode	Rating
1	1-1	0:00	Spalling of concrete	1.0
2	1-2	0:00	Spalling of concrete	1.0
3	1-3	0:00	Spalling of concrete	1.0
4	1-4	0:00	Spalling of concrete	1.0
5	1-5	0:00	Spalling of concrete	1.0
6	1-6	0:00	Spalling of concrete	1.0
7	1-7	0:00	Spalling of concrete	1.0
8	1-8	0:00	Spalling of concrete	1.0
9	1-9	0:00	Spalling of concrete	1.0
10	1-10	0:00	Spalling of concrete	1.0
11	1-11	0:00	Spalling of concrete	1.0
12	1-12	0:00	Spalling of concrete	1.0
13	1-13	0:00	Spalling of concrete	1.0
14	1-14	0:00	Spalling of concrete	1.0
15	1-15	0:00	Spalling of concrete	1.0

TABLE 2: SUMMARY OF TEST RESULTS

Test No.	Specimen	Fire Exposure Time (hr:min)	Failure Mode	Rating
1	1-1	0:00	Spalling of concrete	1.0
2	1-2	0:00	Spalling of concrete	1.0
3	1-3	0:00	Spalling of concrete	1.0
4	1-4	0:00	Spalling of concrete	1.0
5	1-5	0:00	Spalling of concrete	1.0
6	1-6	0:00	Spalling of concrete	1.0
7	1-7	0:00	Spalling of concrete	1.0
8	1-8	0:00	Spalling of concrete	1.0
9	1-9	0:00	Spalling of concrete	1.0
10	1-10	0:00	Spalling of concrete	1.0
11	1-11	0:00	Spalling of concrete	1.0
12	1-12	0:00	Spalling of concrete	1.0
13	1-13	0:00	Spalling of concrete	1.0
14	1-14	0:00	Spalling of concrete	1.0
15	1-15	0:00	Spalling of concrete	1.0

1. **Reinforcing Bars:** Reinforcing bars shall be placed in accordance with the requirements of the applicable building code and shall be furnished in accordance with the requirements of the applicable building code.

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3. **Reinforcing Bars:** Reinforcing bars shall be placed in accordance with the requirements of the applicable building code and shall be furnished in accordance with the requirements of the applicable building code.

DATE	ISSUED FOR	REV
9/29/2021	PROGRESS SET	

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Folsom CA, 95630



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(916) 336-5210
www.norr.com

Project Manager	Drawn
T. BARBERA	T. BARBERA
Project Leader	Checked
M. NOVAK	M. NOVAK

Drawing Title
UL DETAIL U419

Check Scale may be photo reduced:
1" = 1/4" @ 2x Magnification

Project No.
JCSR2-012-00

Drawing No.
A8.02

Attachment 7

Photographs of the Project Site





STUDIO 24

proctor

1

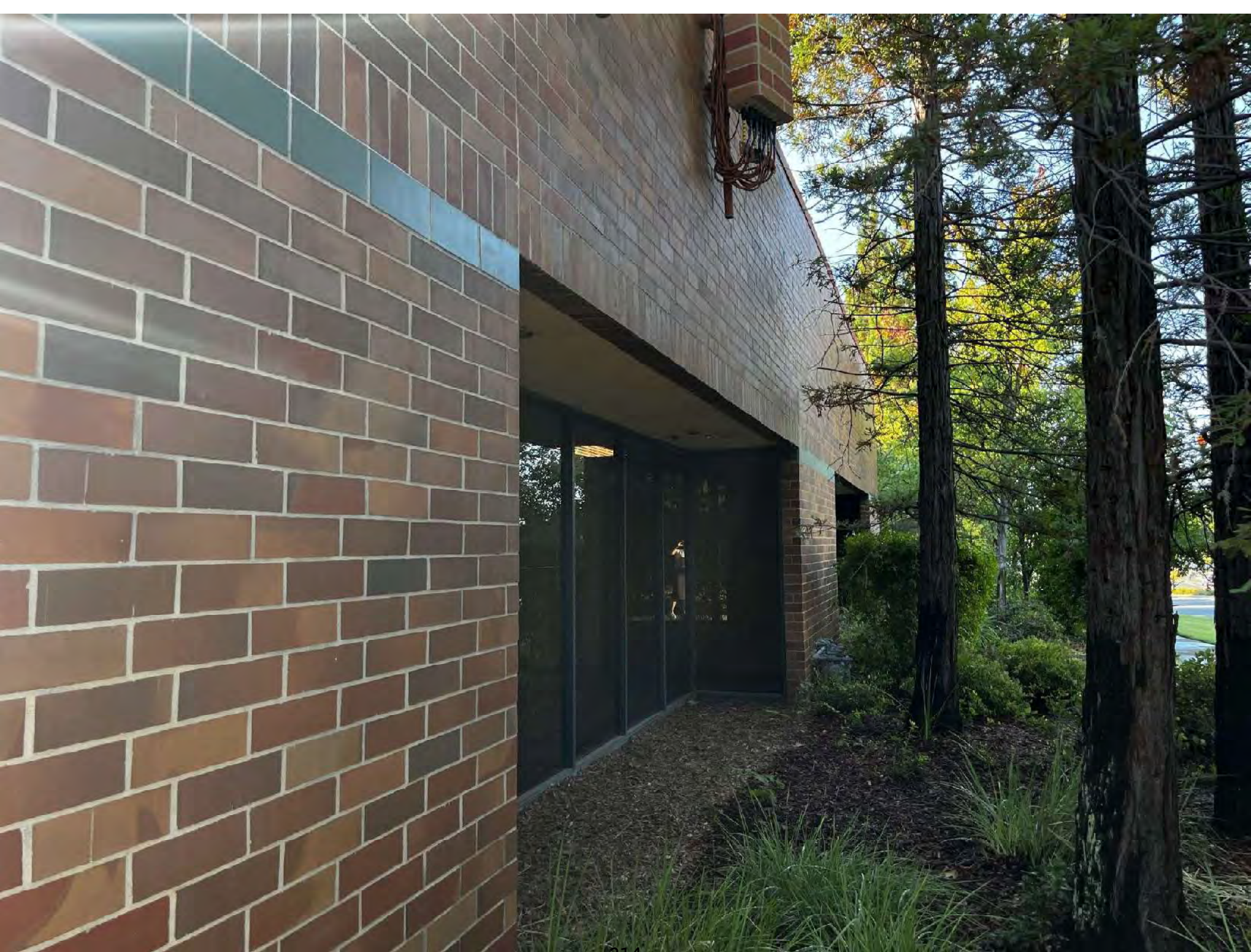
Handicap Only

Handicap Only





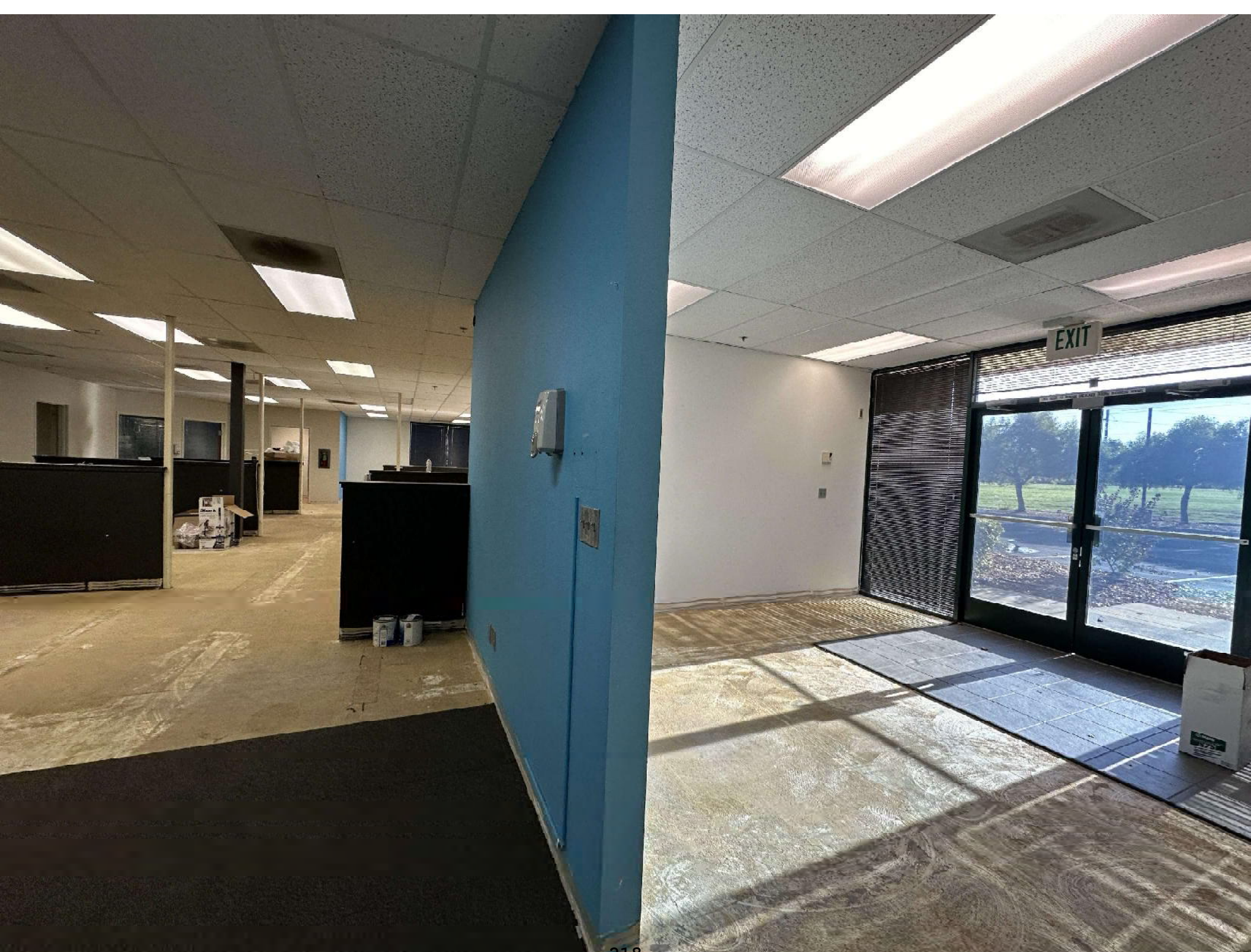




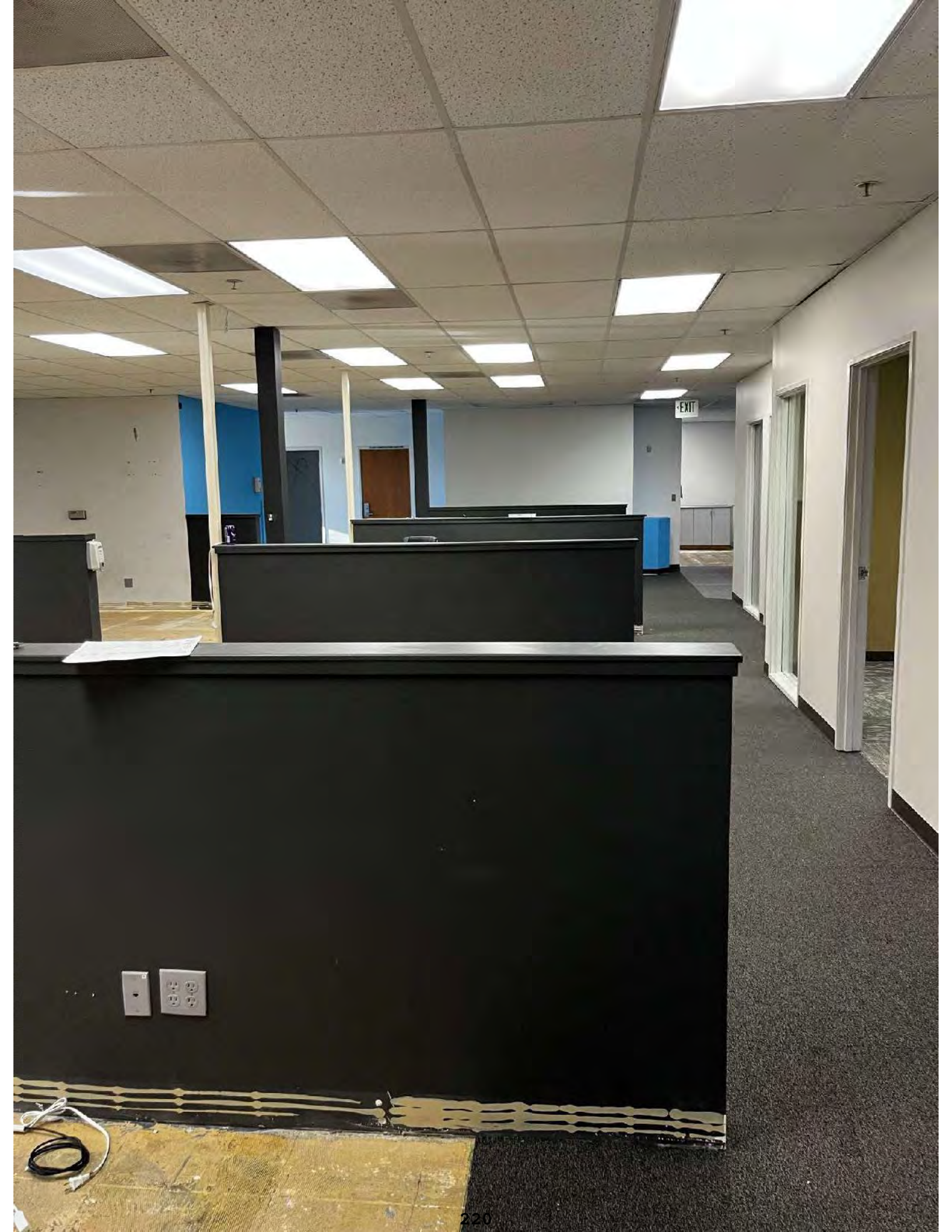






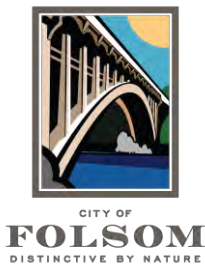












Planning Commission Staff Report

50 Natoma Street, Council Chambers
Folsom, CA 95630

Project: Arthur Murray Dance Centers, Conditional Use Permit (CUP)
File #: USPT23-00194
Request: Conditional Use Permit (CUP)
Location: 2170 E. Bidwell Street
Parcel(s): APN 072-2700-005
Staff Contact: Nathan Stroud, Assistant Planner, 916-461-6220
nstroud@folsom.ca.us

Property Owner

Name: Development Satt/Shikha
Garg Living Trust
Address: 729 Heritage Place
Folsom, CA 95630

Applicant

Name: Kate Gonzalez
Address: 220 Blue Ravine Road, Suite 100
Folsom, CA 95630

Recommendation: Conduct a public hearing and upon conclusion approve a Conditional Use Permit (CUP) application for the operation of a dance studio (Arthur Murray Dance Center) at 2170 E. Bidwell Street (USPT23-00194) based on the findings included in this report (Findings A-F) and subject to the attached conditions of approval (Conditions 1-14).

Project Summary: The proposed use includes the operation of a 3,450-square-foot dance studio (Arthur Murray Dance Centers) in a standalone building in the Vintage at Folsom office park at 2170 E. Bidwell Street. The dance studio is proposed to provide a range of instructional classes for both private one-on-one lessons and group classes. 2170 E. Bidwell Street is zoned Business Professional (BP), which requires a Conditional Use Permit for dance studio uses.

Table of Contents:

- 1 – Description/Analysis
- 2 – Background
- 3 – Conditions of Approval
- 4 – Vicinity Map
- 5 – Project Narrative
- 6 – Floor Plan
- 7 – Photographs of the Project Site



CITY OF
FOLSOM
DISTINCTIVE BY NATURE

AGENDA ITEM NO. 7
Type: Public Hearing
Date: February 21, 2024

Submitted,

PAM JOHNS
Community Development Director

ATTACHMENT 1 DESCRIPTION/ANALYSIS

APPLICANT'S PROPOSAL

The applicant, Kate Gonzalez, is requesting approval of a Conditional Use Permit (USPT23-00194) for the operation of a dance studio at 2170 E. Bidwell Street (APN 072-2700-005). Arthur Murray currently operates one location in Folsom at 220 Blue Ravine Road, and is proposing to relocate the business to 2170 E. Bidwell Street. The project site includes a standalone 3,450-square-foot building within the Vintage at Folsom office park, including associated site improvements such as shared tenant parking, sidewalks, trash/recycling enclosures, fencing, a monument sign, lighting, and landscaping. According to the attached Floor Plan (Attachment 6), the applicant would demolish a portion of the space to construct an open ballroom area within the subject building. The Applicant is not proposing any changes to the exterior of the existing building.

Arthur Murray Dance Centers have been in operation since 1912, with hundreds of dance studios worldwide. Arthur Murray provides a range of instructional programs for dancing, including one-on-one ballroom dance lessons providing tailored private instruction, group classes between 10-25 participants, and practice dance parties to provide a supervised dance social experience to reinforce skills learned. The dance studio intends to provide both an instructional and a social experience for students of all ages and skill levels. The dance studio will employ approximately six full-time and three part-time employees.

As described in the applicant's Project Narrative provided in Attachment 5, the dance studio is proposed to operate regularly Monday through Friday between 12:00 PM and 9:00 PM. Private one-on-one lessons are proposed to operate throughout the day (12:00 PM to 9:00 PM), with group classes of approximately 25 people being offered in the evenings between 6:30 PM and 9:00 PM. Additionally, the dance studio may operate outside of their regular hours on Saturdays between 10:00 AM and 3:00 PM by appointment for private instruction. Occasional events such as Guest Open House, In-House Showcases, and Practice Parties may extend outside of the proposed regular hours of operation, typically between 7:00 PM and 9:00 PM. Guest Open House occurs once a month, and Practice Parties occur approximately 6-10 times a year. These events would host approximately 30 people at 2170 E. Bidwell Street, and larger events would be held off-site at local hotels and theaters.

POLICY/RULE

Section 17.60.010 of the Folsom Municipal Code (FMC) states that the Planning Commission shall have final authority relating to the issuance of Conditional Use Permits (CUPs) for any of the uses or purposes for which such permits are required or permitted by the terms of this title. FMC Section 17.22.030 states that a CUP is required for any dance, voice, or music studio in the Business Professional (BP) Zoning District.

FMC Section 17.60.020 states that application for a Conditional Use Permit shall be made to the Community Development Department in writing, on a form prescribed by the

department, and shall be accompanied by plans and elevations necessary to show details of the proposed land use activities on the subject property. FMC Section 17.60.040 states that the Commission’s findings shall be that the establishment, maintenance, or operation of the use or building applied for will or will not, under the circumstances of the particular case, be detrimental to the health, safety, peace, morals, comfort, and general welfare of persons residing or working in the neighborhood of such proposed use, or be detrimental or injurious to property and improvements in the neighborhood, or to the general welfare of the city.

GENERAL PLAN AND ZONING CONSISTENCY

The General Plan land use designation for the project site is Professional Office (PO) with an East Bidwell Corridor (EBC) Mixed-Use Overlay, and the zoning designation for the project site is BP PD (Business Professional Zone, Planned Development District). The zoning district is consistent with the General Plan land use designation. FMC Section 17.22.030 states that dance, voice, or music studios are permitted within a Business Professional Zone (BP) upon the issuance of a Conditional Use Permit.

ANALYSIS

In order to approve a request for a Conditional Use Permit, the Commission must find that the “establishment, maintenance, or operation of the use or building applied for will not, under the circumstances of the particular case, be detrimental to the health, safety, peace, morals, comfort, and general welfare of persons residing or working in the neighborhood of such proposed use, or be detrimental or injurious to property and improvements in the neighborhood, or to the general welfare of the City” (FMC Section 17.60.040). In reviewing this request for a Conditional Use Permit, staff took into consideration the type of existing land uses in the project vicinity, the potential noise impacts associated with the proposed project, and the potential traffic and circulation impacts associated with the project.

Land Use Compatibility / Site Considerations

The project site resides in a standalone building at 2170 E. Bidwell Street within The Vintage at Folsom office park, the nearest use being an adjacent dental office at 2180 E. Bidwell Street within the same office park. Other nearby uses include several medical offices, law offices, and financial services offices. The project site, and the adjacent uses, are zoned Business Professional, Planned Development (BP PD). The nearest non-office use is a single-family subdivision (Fieldstone Meadows) zoned R-1-M PD, that is located approximately 270 feet to the southwest across E. Bidwell Street.

The proposed regular hours of operation (Monday through Friday, 12:00 PM to 9:00 PM) are different than the hours of operation of adjacent office uses (typically Monday through Friday, 8:00 AM to 5:00 PM). Lower-impact activities, such as one-on-one private dance lessons, will take place throughout the day with an estimated 10 people (both instructors and students) on-site. Higher impact activities, such as group classes of up to 25 people (both instructors and students) or occasional open house/showcase events and practice parties of approximately 30 people, would be reserved for later hours between 6:30 PM and 9:00 PM when most other businesses in the office park are closed. The private

lessons by appointment proposed for Saturdays between 10:00 AM and 3:00 PM occur on a day when most other businesses in the center are closed. No outdoor activities are proposed for the operation of the dance studio, and staff has also provided Condition No. 13 which prohibits outdoor activities on the property at 2170 E. Bidwell Street. With these considerations in mind, staff considers the hours of operation compatible with adjacent office uses in the office park as higher impact activities would take place after the normal hours of operation for office uses.

Further analysis of the noise and traffic/parking impacts will be discussed in the following sections.

Noise

In evaluating the request for a Conditional Use Permit, staff took into consideration the potential noise impacts the proposed project may have, and the location of the project site. All proposed dance studio activities and operations at 2170 E. Bidwell Street will take place within the standalone building, and no outdoor activities are proposed for the property. The greatest source of noise for the proposed use will be generated by amplified sound inside the building for instructional dance classes.

Noise impacts are expected to be minimal during typical office working hours (8:00 AM – 5:00 PM) at the office park for private one-on-one dance lessons, and greater in the evenings after 6:30 PM for group classes when nearly all other businesses at the office park are closed. No outdoor amplified noise is proposed, and staff has also provided Condition No. 13 stating that no outdoor activities shall take place on the property at 2170 E. Bidwell Street. The applicant has proposed to use basic sound attenuation measures, including the use of sound foam around the speakers, and angling the speakers away from the windows. Staff has provided Condition No. 14, which requires conformance with these noise attenuation measures.

Additionally, the proposed building layout, as shown on the proposed floor plan provided in Attachment 6, indicates that the open ball room area will be located on the western side of the building, furthest away from the nearest neighboring business at 2180 E. Bidwell Street. Rooms along the eastern side of the building would provide a sound buffer between the ballroom and the eastern side of the building. The applicant has also proposed placing speakers on the western side of the ballroom area, again furthest away from the nearest neighboring business. The dance studio will be the sole tenant of a standalone building, which will further reduce noise impacts to adjacent office uses.

As a point of comparison, Arthur Murray currently operates a dance studio at 220 Blue Ravine Road within a commercial center, and at a location that is 215 feet from the nearest residential uses (50 feet closer to residential uses than the proposed project site). Staff is not aware of any code enforcement violations or noise complaints regarding the operation of a dance studio at 220 Blue Ravine Road. As such, staff does not anticipate an additional noise impact to the closest residential use beyond that of what would be expected for a use allowed by right in the BP zone.

Furthermore, Arthur Murray is also subject to the requirements of the City of Folsom's noise ordinance (FMC Chapter 8.42). With these considerations in mind, staff has determined that the proposed use would not have a detrimental noise impact for properties in the vicinity.

Parking

FMC Section 17.57.040 states that for uses not specified elsewhere in the chapter, parking spaces shall be provided at a ratio determined by the planning director. Originally, the property was developed as part of a 6.88 acre office park (The Vintage at Folsom) using a parking ratio of one parking space for every 275-square-foot of office gross floor area, per FMC 17.57.040 for office park uses. As such, the office park provided 244 shared tenant parking spaces, 43 more parking spaces than was required for the office development. Applying this parking ratio to the 3,450-square-foot standalone building that the dance studio is proposed to occupy, the building is required to provide 13 parking spaces.

The proposed dance studio consists of approximately 1,925-square-feet of dance floor area, 450-square-feet of office space, and 1,075-square-feet of remaining space (e.g., restrooms, hallways, storage, reception area). As stated previously, the dance studio is proposed to offer one-on-one private dance lessons throughout the day during typical office working hours (8:00 AM through 5:00 PM), and is proposed to offer group classes of up to 25 people in the evenings between 6:30 PM and 9:00 PM. The applicant states that during regular operations of its current dance studio at 220 Blue Ravine Road, the business serves approximately 3 clients every 45 minutes before 5:00 PM, and serves approximately 6 clients every 45 minutes after 5:00 PM. During group classes after 6:30 PM, the average is approximately 20 clients; 25 people total including instructors. Group classes in the evenings are expected to not detrimentally impact parking in The Vintage at Folsom office park, as nearly all offices/businesses in the office park close after 5:00 PM. Staff anticipate that a significant majority of the 244 share tenant parking spaces would be available for use by the dance studio in the evenings for group classes and occasional events.

With these considerations in mind, staff has made the determination that the proposed dance studio use is similar in impact to surrounding office uses during typical office working hours (8:00 AM through 5:00 PM) and would be subject to a parking ratio used to calculate parking for the office park development (one parking space for every 275-square feet of gross office area), parking of which has already been provided upon the development of The Vintage at Folsom office park.

Staff anticipates that the parking impacts from the proposed dance studio will be compatible with neighboring office uses, and has made the determination that existing on-site shared tenant parking would satisfy the parking needs of the proposed dance studio.

Traffic, Access, and Circulation

Access to the project site is currently provided by two driveways located along the

northern side of E. Bidwell Street, with circulation being provided with a single drive aisle parallel to E. Bidwell Street, and a single bridge spanning Willow Creek to access additional office buildings to the north of the project site. No traffic, access, or circulation impacts were identified that would exceed that of existing uses at the subject property.

ENVIRONMENTAL REVIEW

The project is categorically exempt under Section 15301, Existing Facilities, of the California Environmental Quality Act (CEQA) Guidelines. Based on staff's analysis of this project, none of the exceptions in Section 15300.2 of the CEQA Guidelines apply to the use of the categorical exemption in this case.

RECOMMENDATION

Staff recommends approval of the proposed project, based on the following findings and subject to the conditions of approval attached to this report.

PLANNING COMMISSION ACTION

Move to approve the Arthur Murray Dance Studio Conditional Use Permit (USPT23-00194), based on the findings included in this report (Findings A-F) and subject to the attached conditions of approval (Conditions 1-14).

GENERAL FINDINGS

- A. NOTICE OF HEARING HAS BEEN GIVEN AT THE TIME AND IN THE MANNER REQUIRED BY STATE LAW AND CITY CODE.
- B. THE PROJECT IS CONSISTENT WITH THE GENERAL PLAN AND THE ZONING CODE OF THE CITY.

CEQA FINDINGS

- C. THE PROJECT IS CATEGORICALLY EXEMPT FROM ENVIRONMENTAL REVIEW UNDER SECTION 15301 (EXISTING FACILITIES) OF THE CALIFORNIA ENVIRONMENTAL QUALITY ACT (CEQA) GUIDELINES.
- D. THE CUMULATIVE IMPACT OF SUCCESSIVE PROJECTS OF THE SAME TYPE IN THE SAME PLACE, OVER TIME IS NOT SIGNIFICANT IN THIS CASE.
- E. NO UNUSUAL CIRCUMSTANCES EXIST TO DISTINGUISH THE PROPOSED PROJECT FROM OTHERS IN THE EXEMPT CLASS.

CONDITIONAL USE PERMIT FINDING

- F. AS CONDITIONED, THE ESTABLISHMENT, MAINTENANCE OR OPERATION OF THE PROPOSED USE WILL NOT, UNDER THE CIRCUMSTANCES OF

THIS PARTICULAR CASE, BE DETRIMENTAL TO THE HEALTH, SAFETY, PEACE, MORALS, COMFORT, AND GENERAL WELFARE OF PERSONS RESIDING OR WORKING IN THE NEIGHBORHOOD, OR BE DETRIMENTAL OR INJURIOUS TO PROPERTY AND IMPROVEMENTS IN THE NEIGHBORHOOD OR TO THE GENERAL WELFARE OF THE CITY.

**ATTACHMENT 2
BACKGROUND**

BACKGROUND

On January 7, 2004, the Planning Commission approved a Tentative Parcel Map (TPM), a Rezone, a Planned Development Permit, and a Mitigated Negative Declaration for the construction of sixteen, 3,450-square-foot single-story office buildings for The Vintage at Folsom office park on a 9.29-acre site on the north side of E. Bidwell Street between Woodsmoke Way and Oak Avenue Parkway. The project was approved with a single common parcel totaling 6.88 acres and 16 individual building parcels totaling 2.41 acres, with a single building on each parcel. The maintenance and improvements of the common parcel are managed by a property owners association that includes all individual property owners.

The building at 2170 E. Bidwell Street where the dance studio is proposed to operate previously was occupied by Mission Care Pediatrics, a medical office use.

GENERAL PLAN DESIGNATION PO (Professional Office) and EBC (East Bidwell Corridor Mixed Use)

ZONING BP PD (Business Professional Zone, Planned Development)

ADJACENT LAND USES/ZONING North: Office Uses and Open Space (BP PD)
South: E. Bidwell Street with Single-Family Residential Beyond (R-1-M PD)
East: Medical Office Use (BP PD)
West: Office Uses (BP PD)

SITE CHARACTERISTICS The parcel consists of a single office structure, a shared-tenant parking lot, a trash enclosure, and landscaping and other site improvements.

APPLICABLE CODES FMC Chapter 17.22; Commercial Land Use Zones
FMC Chapter 17.38; Planned Development District
FMC Chapter 17.57; Parking Requirements
FMC Chapter 17.60; Use Permits

ATTACHMENT 3

Conditions of Approval

CONDITIONS OF APPROVAL FOR ARTHUR MURRAY DANCE CENTERS CONDITIONAL USE PERMIT (USPT23-00194)				
Cond. No.	Mitigation Measure	GENERAL REQUIREMENTS	When Required	Responsible Department
1.		<p>This Conditional Use Permit is approved for the operation of Arthur Murray Dance Centers’ dance studio use at 2170 E. Bidwell Street, which includes the utilization of an existing 3,450-square-foot building and associated site improvements including a driveway, parking, lighting, and landscaping. Arthur Murray Dance Centers shall substantially conform to the exhibits referenced below (as modified by these conditions of approval):</p> <ul style="list-style-type: none"> • Project Narrative (provided in Attachment 5) • Floor Plan (provided in Attachment 6) <p>Modifications made to the above-referenced exhibits shall be subject to review and approval by the Community Development Department. Any change that could result in an increase in impacts beyond what was approved as part of the CUP will be forwarded to the Planning Commission for consideration.</p>	OG	CD (P)
2.		<p>This project approval shall remain in effect for one year until February 21, 2025. If a Conditional Use Permit is not vested within the identified time frame prior to the expiration date and the applicant has not demonstrated substantial progress towards the development of the project, this approval shall be considered null and void. The owner/applicant may file an application with the Community Development Department for an extension not less than 30 days prior to the expiration date of the permit, along with appropriate fees and necessary submittal materials pursuant to Chapter 17.60 of the <u>Folsom Municipal Code</u>.</p>	B	CD (P)(B)

3.		<p>If the Community Development Director finds evidence that conditions of approval for Arthur Murray Dance Centers at 2170 E. Bidwell Street have not been complied with or that the use has resulted in a substantial adverse effect on the health, and/or general welfare of users of adjacent or proximate property, or has a substantial adverse impact on public facilities or services, the Director will refer the use permit to the Planning Commission for review. If, upon such review, the Planning Commission finds that any of the above-stated results have occurred, the Commission may modify or revoke the Conditional Use Permit.</p>	OG	CD (P)
4.		<p>The owner/applicant shall defend, indemnify, and hold harmless the City and its agents, officers and employees from any claim, action or proceeding against the City or its agents, officers, or employees to attack, set aside, void, or annul any approval by the City or any of its agencies, departments, commissions, agents, officers, employees, or legislative body concerning the project. The City will promptly notify the owner/applicant of any such claim, action or proceeding, and will cooperate fully in the defense. The City may, within its unlimited discretion, participate in the defense of any such claim, action or proceeding if both of the following occur:</p> <ul style="list-style-type: none"> • The City bears its own attorney’s fees and costs; and • The City defends the claim, action or proceeding in good faith. <p>The owner/applicant shall not be required to pay or perform any settlement of such claim, action or proceeding unless the settlement is approved by the owner/applicant.</p>	OG	CD (P)(E)(B) PW, PR, FD, PD
5.		<p>This Conditional Use Permit shall be deemed revoked without further action by the Planning Commission if the operation of the facility in the manner described in the Conditional Use Permit ceases for any consecutive period of six (6) months.</p>	OG	CD
DEVELOPMENT COSTS AND FEE REQUIREMENTS				
6.		<p>The owner/applicant shall pay all applicable taxes, fees and charges at the rate and amount in effect at the time such taxes, fees and charges become due and payable.</p>	B	CD (P)(E)

7.		The City, at its sole discretion, may utilize the services of outside legal counsel to assist in the implementation of this project, including, but not limited to, drafting, reviewing and/or revising agreements and/or other documentation for the project. If the City utilizes the services of such outside legal counsel, the applicant shall reimburse the City for all outside legal fees and costs incurred by the City for such services. The applicant may be required, at the sole discretion of the City Attorney, to submit a deposit to the City for these services prior to initiation of the services. The applicant shall be responsible for reimbursement to the City for the services regardless of whether a deposit is required.	B	CD (P)(E)
8.		If the City utilizes the services of consultants to prepare special studies or provide specialized design review or inspection services for the project, the applicant shall reimburse the City for actual costs it incurs in utilizing these services, including administrative costs for City personnel. A deposit for these services shall be provided prior to initiating review of the Final Map, improvement plans, or beginning inspection, whichever is applicable.	B	CD (P)(E)
9.		If a lawsuit is filed against the City which seeks to invalidate the approval or the permit required in connection with the approval, or to challenge the issuance by any governmental agency of any environmental document or exemption determination, the project approval shall be tolled during the time that any litigation is pending, including any appeals.	OG	CD (P)
CONDITIONAL USE PERMIT REQUIREMENTS				
10.		Any intensification or expansion of the dance studio use as approved and conditioned herein will require a Use Permit modification approval by the Planning Commission. In any case where the conditions to the granting of a Conditional Use Permit have not been, or are not, complied with, the Planning Commission shall give notice to the permittee of intention to revoke such permit at least ten days prior to a hearing thereon. Following such a hearing the Planning Commission may revoke such a permit.	OG	CD (P)
11.		A Sign Permit shall be required for proposed signage. Signage for the site shall comply with the <u>Folsom Municipal Code</u> Chapter 17.59 and The Vintage at Folsom Uniform Signage Program.	OG	CD (P)(B)

12.		Compliance with the City of Folsom’s Noise Control Ordinance (Folsom Municipal Code Chapter 8.42) and General Plan Noise Element shall be required.	OG	CD (P)
13.		Arthur Murray Dance Centers shall not have outdoor activities at 2170 E. Bidwell Street.	OG	CD (P)
14.		Arthur Murray Dance Centers shall implement basic noise attenuation features, including the use of sound foam around the speakers, and angling speakers away from exterior walls and windows.	OG	CD (P)

RESPONSIBLE DEPARTMENT		WHEN REQUIRED	
CD	Community Development Department Planning Division Engineering Division Building Division Fire Division	I	Prior to approval of Improvement Plans
(P)		M	Prior to approval of Final Map
(E)		B	Prior to issuance of first Building Permit
(B)		O	Prior to approval of Occupancy Permit
(F)		G	Prior to issuance of Grading Permit
PW	Public Works Department	DC	During construction
PR	Park and Recreation Department	OG	On-going requirement
PD	Police Department		

Attachment 4 Vicinity Map



Attachment 5 Project Narrative



Kate Gonzalez
Franchisee/Owner
Dance Lifestyle Inc. DBA Arthur Murray Dance Studio, Folsom
220 Blue Ravine Rd. Ste 100
Folsom, CA 95630
Kate@arthurmurrayfolsom.com
Cell: 916-420-0198

January 5, 2024

Nathan R. Stroud
Assistant Planner
City of Folsom
50 Natoma Street
Folsom, CA 95639

Dear Nathan,

Subject: Description of Activities and Operational Impact of Arthur Murray Dance Studio, Folsom.

I am writing to provide detailed information regarding the activities and operations of Arthur Murray Folsom in response to the specified project description inquiries.

Activities on the Property:

At Arthur Murray Folsom, our primary focus revolves around providing a range of tailored instructional programs aimed at fostering dance proficiency and enjoyment

among our diverse clientele. We offer the following key activities throughout our operational hours:

- **Monday-Friday Private One-on-One Ballroom Dance Lessons (12:00 PM – 9:00 PM):** Our studio specializes in personalized private dance lessons conducted throughout the day unless there are Group Classes or Practice parties happening. These sessions cater to individual students seeking tailored instruction in various ballroom dance styles. On average, we have approximately 10 individuals, including instructors and students, present in the facility during private lessons. These sessions are designed to offer personalized attention, addressing specific skill development and individual dance goals.
- **Monday - Friday Group Classes (6:30 PM – 9:00 PM):** Starting from 6:30 PM until our closing time on various weekdays, we host group classes of different dance styles and levels designed to facilitate an interactive learning environment. These classes typically accommodate 10 to 25 participants, including both instructors and students. They offer an opportunity for students to practice lead and follow techniques within a group setting, enhancing their dance proficiency and social interaction.
- **Wednesday & Friday Practice Dance Parties (8:00 PM – 8:45 PM):** To further reinforce dance skills and foster a sense of community, we organize supervised Practice Dance Parties towards the end of our operational hours. These parties provide a vibrant, supervised dance social experience for all students and instructors present at the studio. The aim is to create an enjoyable atmosphere while reinforcing the skills learned in both private and group settings.

All these activities are geared towards creating an instructional, enjoyable, and communal experience for our students. Private lessons offer personalized guidance, while group classes and practice parties encourage skill practice, social interaction, and a sense of community among our students.

Noise Mitigation Measures:

Given the nature of our business as a ballroom dance studio, we anticipate minimal noise disturbances typically associated with amplified music or loud sound levels found in dance clubs/bars or similar venues. Our studio primarily focuses on instructional dance classes and occasional in house dance events, which do not necessitate extensive soundproofing measures. However, as a

standard practice to ensure a serene learning environment and out of respect for neighboring establishments, we will incorporate basic sound attenuation features within our premises. These measures aim to maintain a comfortable atmosphere for our students and mitigate any unintentional sound transmission beyond our facility.

Customer Base:

Our services cater to a diverse clientele, including adults and children, beginners, amateurs, and those pursuing dance professionally but 90% of our clients are in the ages of 30-70 years old. Our programs are tailored to meet the needs and aspirations of individuals from various backgrounds and skill levels.

Hours of Operation:

Monday to Friday: 12:00 PM – 9:00 PM
Saturday: 10AM - 3PM and or By Appointment
Sunday: CLOSED

Operational Impact:

The Folsom Dance Studio operates during the aforementioned hours, with specific days allocated for instructional classes and practice dance parties. On Saturdays, our services are available by appointment only. It's important to note that our studio remains closed on Sundays to allow for necessary maintenance and rest periods for our staff and instructors.

Occasional events such as Guest Open House, In House Showcases, and Private Parties might extend beyond our regular operational hours. Guest Open Houses happen once a month. In House Showcase happens once a year. Private Parties happen 6-10 times a year. Events like these normally start at 7pm and can finish after 9pm on weekdays and weekends. These events don't go over capacity of what the building is allowed as our larger events are normally held at local hotels and theaters. While we strive to minimize disruption to the surrounding area, there might be a marginal impact on parking during the times in the evening and weekend events. We are committed to coordinating with the association and neighboring businesses to manage these impacts effectively and ensure minimal inconvenience to the community.

We value maintaining a harmonious relationship with the neighboring businesses, community and are open to discussing further measures to address if any concerns

related to parking, traffic, or noise disturbances may come up. We will coordinate with the association and neighboring businesses to manage these impacts effectively and ensure minimal inconvenience to the community.

I've attached a copy of our current class schedule for your reference.

Please feel free to contact us should you require any additional information or wish to discuss this matter further.

Thank you for your time and consideration.

Sincerely,

Kate Gonzalez
Franchisee/Owner
Arthur Murray Dance Studio, Folsom & Rocklin

Happy New Year

January 2024



<https://www.arthurmurrayfolsom.com>

916.895.5600

dance@arthurmurrayfolsom.com

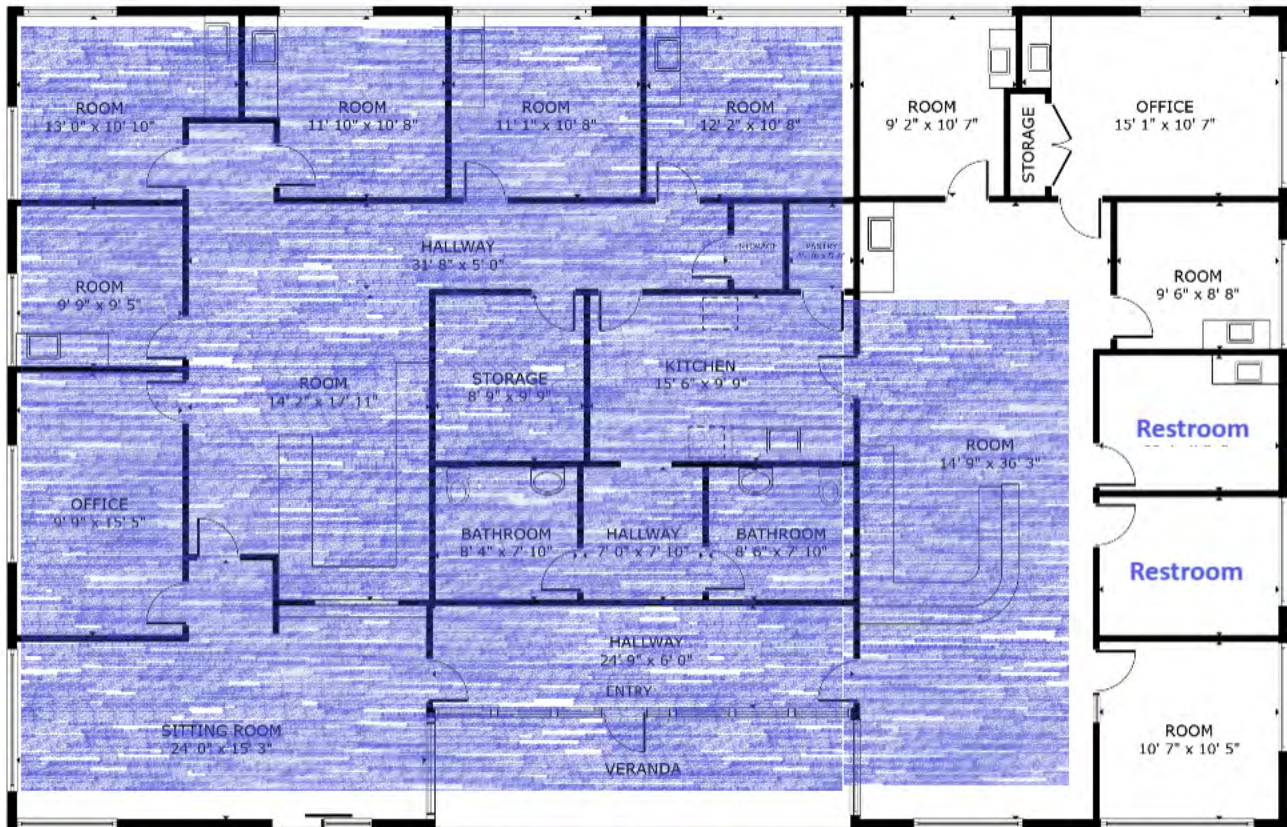
NEW YEAR'S GUEST OPEN HOUSE
2024
05 JAN 7:15PM
SNACKS, DRINKS, PERFORMANCES, AND DANCING!

14TH
VALENTINE'S DAY DANCE
1900 DINKS, PERFORMANCES, SNACKS
\$25 PER TICKET
DOORS OPEN AT 7 PM

THE GREAT CITY OF
ATLANTIS MEDALS BAR
FEBRUARY 21 & 22
W. GREAT DANCEHALLS, THE LEEK
2024

Mon	Tue	Wed	Thu	Fri	Sat
STUDIO 1 CLOSED Happy New Year's! Club Series- Country Swing 6:30pm 8 Smooth Technique: Navigating a crowded floor 7:15pm West Coast Swing Series 8pm	2 Associate Bronze East Coast Swing 7:15pm Silver Mambo 8pm Club Series: Argentine Tango 6:30pm 15 Rhythm Technique: Arm Styling 7:15pm West Coast Swing Series 8pm	3 All Levels Rumba 7:15pm Practice Party 8pm All Levels Waltz 7:15pm 17 Practice Party 8pm	4 Newcomer Salsa 7:15pm Full Bronze Bolero 8pm Newcomer Tango 7:15pm 11 Full Bronze East Coast Swing 8pm Newcomer Bachata 7:15pm 18 Full Bronze Foxtrot 8pm	5 New Year's Guest Open House Group Class 7:15pm Practice Party 8pm Justin McClendon Coachings + Swing Workshop* All Levels West Coast Swing 7:15pm Practice Party 8pm	6 All Levels Country Swing 1pm  13 All Levels Bachata 1pm 20 All Levels Zouk 1pm 27 All Levels Foxtrot 1pm
Club Series: Country Swing 6:30pm 8 Smooth Technique: Navigating a crowded floor 7:15pm West Coast Swing Series 8pm	9 Associate Bronze Foxtrot 7:15pm Silver Waltz 8pm 16 Associate Bronze Salsa 7:15pm Silver Bolero 8pm	10 All Levels Cha Cha 7:15pm Practice Party 8pm	11 Newcomer Tango 7:15pm Full Bronze East Coast Swing 8pm 18 Newcomer Bachata 7:15pm Full Bronze Foxtrot 8pm	12 Justin McClendon Coachings + Swing Workshop* All Levels West Coast Swing 7:15pm Practice Party 8pm	13 All Levels Bachata 1pm 20 All Levels Zouk 1pm 27 All Levels Foxtrot 1pm
Club Series: Bachata 6:30pm 22 Specialty Technique: Synchopated Hustle (Bronze2+) 7:15pm West Coast Swing Series 8pm	23 Associate Bronze Waltz 7:15pm Silver Foxtrot 8pm	24 All Levels Tango 7:15pm Practice Party 8pm	25 Newcomer Swing 7:15pm Full Bronze V. Waltz 8pm	26 All Levels Salsa Practice Party 8pm	27 All Levels Foxtrot 1pm
29 Club Series: Merengue 6:30pm Smooth Technique: Frame and Connection 7:15pm West Coast Swing Series 8pm	30 Associate Bronze Bachata 7:15pm Silver Rumba 8pm	31 All Levels Swing 7:15pm Practice Party 8pm	IN-STUDIO CLASSES Hours of Operation Monday-Friday Noon - 9pm Saturday - by appointment		

Attachment 6 Floor Plan

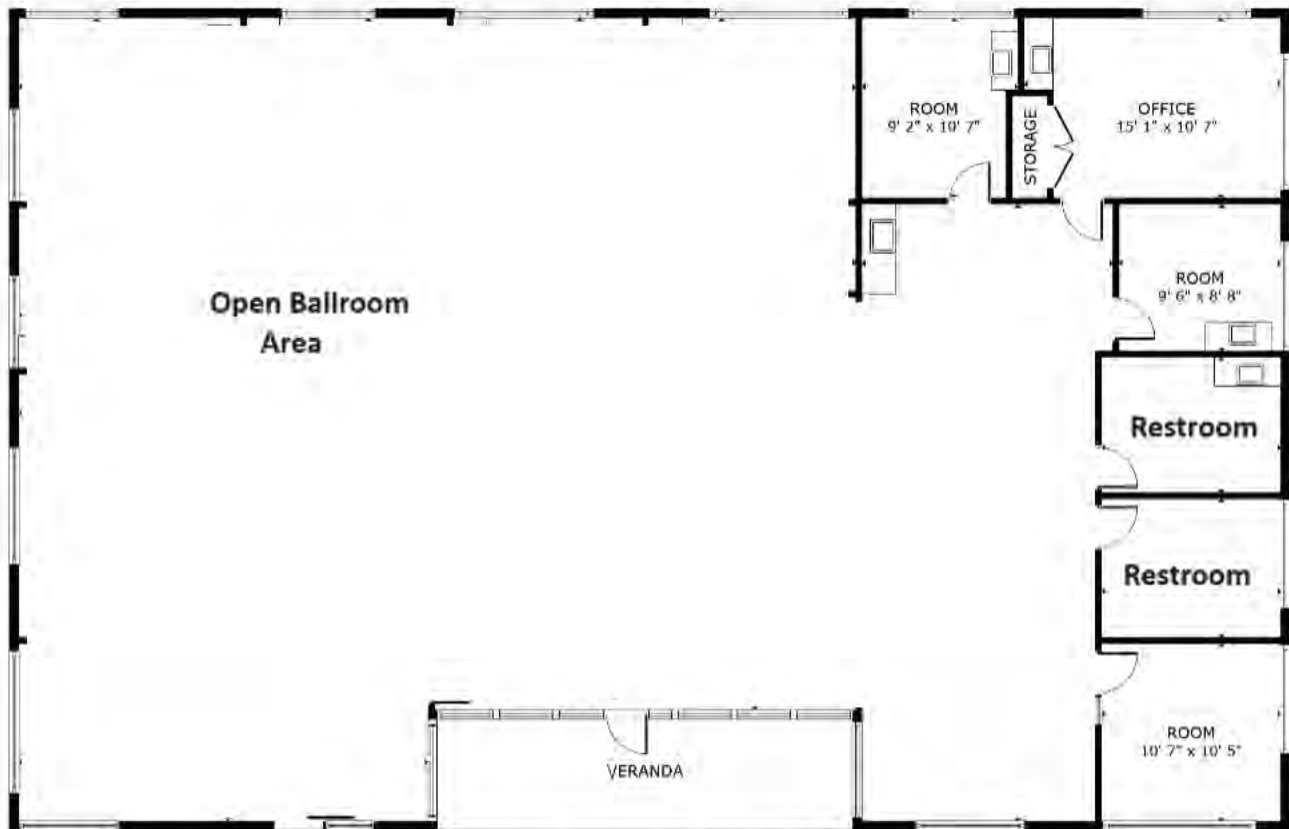


Blue = DEMO

**Proposed Floor Plan
Arthur Murray Dance Studio**

GROSS INTERNAL AREA
FLOOR PLAN 3,332 sq.ft.
EXCLUDED AREAS : VERANDA 147 sq.ft.
TOTAL : 3,332 sq.ft.

SIZES AND DIMENSIONS ARE APPROXIMATE. MATERIALS MAY VARY.



Proposed Floor Plan

GROSS INTERNAL AREA
 FLOOR PLAN 3,332 sq.ft.
 EXCLUDED AREAS : VERANDA 147 sq.ft.
 TOTAL : 3,332 sq.ft.

Attachment 7

Photographs of the Project Site



