

ABBREVIATIONS

- ABV. ABOVE
AFF. ABOVE FINISHED FLOOR
APPROX. A. APPROXIMATE
BLDG. BUILDING
B. BEAM
CLG. CEILING
CLR. CLEAR
COL. COLUMN
CONC. A.A. CONCRETE
CONT. A. CONTINUOUS
CTR. CENTER
DET. DETAIL
DH. DOUBLE HUNG WINDOW
DN. DOWN
DWG. DRAWING
(E) EXISTING
EA. EACH
EQ. EQUAL
EXT. EXTERIOR
F.A. FINISH FLOOR
FIN. FINISH
FOF. FACE OF FINISHED MATERIAL
FOS. FACE OF STUD
FX. FIXED WINDOW
GA. GAUGE
GC. GENERAL CONTRACTOR
GYP. BD. A. GYPSUM BOARD
HDR. HEADER
HDWR. HARDWARE
HT. HEIGHT
INT. INTERIOR
JST. JOIST
MAX. MAXIMUM
MFR. MANUFACTURER
MIN. MINIMUM
MTD. MOUNTED
(N) NEW
NIC. NOT IN CONTRACT
N.T.S. NOT TO SCALE
O.C. ON CENTER
O.H. OVERHANG
REQD. REQUIRED
SIM. SIMILAR
S. SLIDER WINDOW
STD. STANDARD
S.O.G. SLAB ON GRADE
T.O.C. TOP OF CURB
T.O.S. TOP OF SLAB
T.O.SF. TOP OF SUB-FLOOR
T.O.P. TOP OF PLATE
T.O.WD. TOP OF WINDOW
TYP. TYPICAL
U.N.O. UNLESS NOTED OTHERWISE
V.I.F. VERIFY IN FIELD
WDW. WINDOW

174 SF DINING ROOM EXTENSION

Beth & Jonathan Walburger
504 Wenham Way
Folsom, CA 95630
APN: 072-0780-002



1 COVER SHEET VIEW

DRAWING INDEX

Table with 2 columns: NO. and NAME. Lists drawing sheets including ARCHITECTURAL, ELECTRICAL, and STRUCTURAL details.

design collaborative SERVICES
DESIGN & DRAFTING SERVICES
John Neal
Suisun City CA 94585
707-717-5826
jneal.dc@gmail.com
www.designcollaborativeservice.com

PROJECT DIRECTORY

OWNER
Beth & Jonathan Walburger
504 Wenham Way
Folsom, CA 95630
phone: 916-337-1005
fax:
email: interlynk@gmail.com
contact: Johathan Walburger

DESIGNER
DESIGN COLLABORATIVE SERVICES
SUISUN CITY, CA 94585
phone: 707-718-5826
fax:
email: jneal.dc@gmail.com
contact: JOHN NEAL

CONTRACTOR
VISTA BUILDERS
9276 Mott Court
Orangevale CA 95662
phone: 916-247-6282
fax:
email: interlynk@gmail.com
contact: Robert Statham

Table with 3 columns: No., Description, Date. Intended for project directory entries.

174 SF DINING ROOM EXTENSION

Beth & Jonathan Walburger

504 Wenham Way
Folsom, CA 95630
APN: 072-0780-002

SCOPE OF WORK

174 SF DINING ROOM EXTENSION

TITLE 24

HERS VERIFICATION NOT REQUIRED BY T-24 ENERGY REPORT.

BUILDING SUMMARY

Table with 2 columns: OCCUPANCY, CONSTRUCTION TYPE, SPRINKLERED. Values include R-1-CSU-RV-HO, R-3, V-B, NO.

PROJECT DATA

Area Schedule (Inhabitable) table with columns: Name, Level, Area. Includes 1st and 2nd floor areas and total area.

Area Schedule (Uninhabitable)

Table with 3 columns: Name, Level, Area. Includes Garage Area and Garage Slab.

LOT DATA

Table with 2 columns: LOT AREA, (E) BLDG FOOTPRINT, (N) BLDG FOOTPRINT, (N) TOTAL FOOTPRINT, LOT COVERAGE. Values include 8300 SQ. FT., 2202 SQ. FT., 174 SQ. FT., 2376 SQ. FT., 2376/8300 = 28.6%.

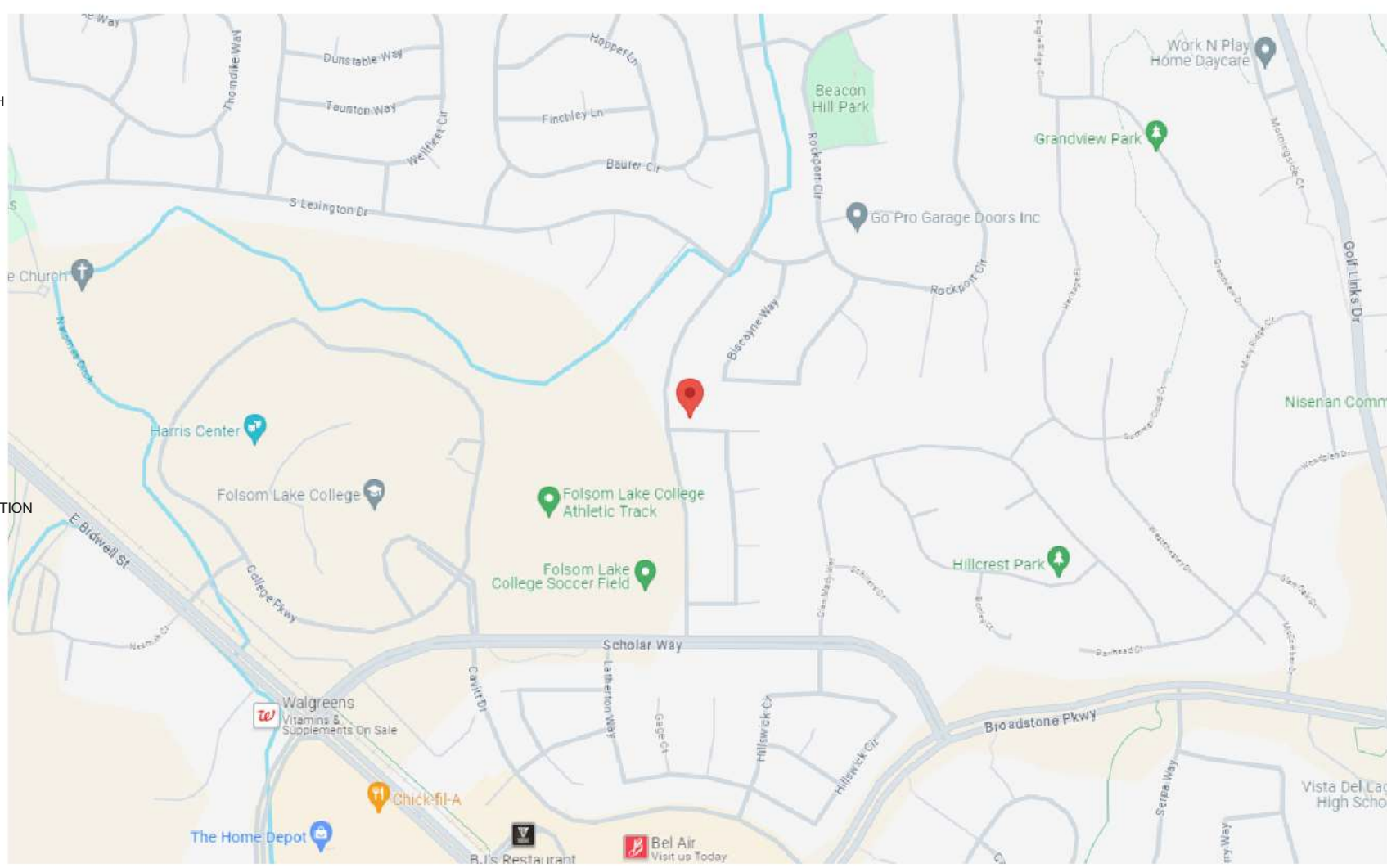
COVER SHEET

Checklist table for sheet verification including fields for CHECKED BY, DRAWN BY, SCALE, DATE, PROJECT NO., PHASE NO., SHEET NO., and A000 1 of 12.

LEGEND

Legend section containing symbols and definitions for Building Section (Plan, Elevation), Wall Section, Detail Callout, Detail Cut (Plan/Section), and Related Detail Cut Below or Above.

Legend section containing symbols and definitions for Room Name with Floor Finish, Window Tag, Door Tag, Revision Tag, Level Tags, Drawing Title, and North Arrows.



VICINITY MAP

CODE INFORMATION

BUILDING CODE: 2022 CALIFORNIA RESIDENTIAL CODE (C.R.C.)
MECHANICAL CODE: 2022 CALIFORNIA MECHANICAL CODE
ELECTRICAL CODE: 2022 NATIONAL ELECTRICAL CODE AND 2022 CALIFORNIA ELECTRICAL CODE
PLUMBING CODE: 2022 CALIFORNIA PLUMBING CODE
FIRE CODE: 2022 CALIFORNIA FIRE CODE
ENERGY CODE: 2022 CALIFORNIA ENERGY CODE
2022 CALIFORNIA GREEN BUILDING CODE
ALL CODE REFERENCES INCLUDE THE LATEST ADOPTED AMENDMENTS AND MUNICIPAL CODE AND ORDINANCES



CERTIFICATE OF COMPLIANCE

Project Name: Walburger Dining Room Addition
Enforcement Agency: City of Folsom
Dwelling Address: 504 Wenham Way
Permit Number:
City and Zip Code: Folsom, 95630
Permit Application Date: 2024-02-24

A. General Information

Table with 4 columns: Tag ID, Project Name, Date Prepared, and Registration Date. Includes details for Project Name, Location, City, Zip Code, Climate Zone, Building Type, and Project Scope.

B. Building Insulation Details - Framed Walls/ Framed Floors (Section 150.2(a))

Table with 11 columns: Tag/ID, Assembly Type, Frame Type, Frame Depth, Frame Spacing, Cavity R-value, Continuous Insulation R-value, U-Factor, Appendix IA4 Reference, U-Factor from Table 150.1-A, Comments. Lists West Wall and North Wall details.

Registration Number: 224-D010025067A-000-000-0000000-0000
Registration Date/Time: 2024-02-24 15:40:53
HERS Provider: CalCERTS
CA Building Energy Efficiency Standards - 2022 Residential Compliance
Report Version: 2022.0.000
Schema Version: rev 20220101
Report Generated: 2024-02-24 15:40:53

H. Fenestration/Glazing Allowed Areas and Efficiencies (Section 150.2(a)(1))

Table with 10 columns: Addition Type, Maximum Allowed Fenestration Area, Maximum Allowed West-Facing Fenestration Area, Maximum Allowed U-factor, Maximum Allowed SHGC, Maximum Allowed SHGC (Skylights), Comments. Shows Addition 300 ft² details.

I. Fenestration Proposed Areas and Efficiencies

Table with 14 columns: Tag/ID, Fenestration Type, Frame Type, Dynamic Glazing, Orientation, Number of Panels, Proposed Fenestration Area, Proposed West Facing Fenestration Area, Proposed U-factor, Proposed SHGC, Proposed SHGC Source, Exterior Shading Device, Combined SHGC from CF1R-ENV 03. Lists Total Proposed Fenestration Area and Compliance Statement.

Registration Number: 224-D010025067A-000-000-0000000-0000
Registration Date/Time: 2024-02-24 15:40:53
HERS Provider: CalCERTS
CA Building Energy Efficiency Standards - 2022 Residential Compliance
Report Version: 2022.0.000
Schema Version: rev 20220101
Report Generated: 2024-02-24 15:40:53

B. Building Insulation Details - Framed Walls/ Framed Floors (Section 150.2(a))

Table with 11 columns: Tag/ID, Assembly Type, Frame Type, Frame Depth, Frame Spacing, Cavity R-value, Continuous Insulation R-value, U-Factor, Appendix IA4 Reference, U-Factor from Table 150.1-A, Comments. Lists North Wall 1, North Wall 2, Northeast Wall, and East Wall details.

C. Building Insulation Details - Non-framed (Section 150.1(c)(1))

This section does not apply to this project.

D. Building Insulation Details - Mass Walls (Section 150.1(c)(1)(B))

This section does not apply to this project.

E. Slab On Grade/Concrete Raised Floor Insulation (Table 150.1-A)

This section does not apply to this project.

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CA Building Energy Efficiency Standards - 2022 Residential Compliance
Report Version: 2022.0.000
Schema Version: rev 20220101
Report Generated: 2024-02-24 15:40:53

Table with 2 columns: Tag/ID, Required Fenestration SHGC (Windows), Comments. Lists Required Fenestration SHGC (Windows) and Compliance Statement.

J. Opaque Swinging Doors to Exterior (Section 150.1(c)(5))

This section does not apply to this project.

K. Space Conditioning (SC) Systems - Heating/ Cooling (Section 150.2(b) or (Section 150.1(c)(7))

This section does not apply to this project.

L. Water Heating Systems (Section 150.2(a)(1)(D))

This section does not apply to this project.

M. Indoor Air Quality (IAQ) Fan Information

This section does not apply to this project.

Registration Number: 224-D010025067A-000-000-0000000-0000
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HERS Provider: CalCERTS
CA Building Energy Efficiency Standards - 2022 Residential Compliance
Report Version: 2022.0.000
Schema Version: rev 20220101
Report Generated: 2024-02-24 15:40:53

F. Radiant Barrier (Section 150.1(c)(2))

Table with 2 columns: Tag/ID, Radiant Barrier installed below the roof deck and on all gable end walls, Comments. Shows Yes for Tag/ID 01.

A radiant barrier is required (For Climate Zones 2-4):
Radiant barriers shall meet specific eligibility and installation criteria to receive energy credit for compliance with the Building Energy Efficiency Standards for low-rise residential buildings.
The radiant barrier shall be less than or equal to 0.05 as tested in accordance with American Society for Testing and Materials (ASTM) C1371 or ASTM E408.
For Prescriptive Compliance the attic shall be ventilated to provide a minimum free ventilation area of not less than 1 square foot (ft²) of vent area for each 300 square feet ft² of attic floor area with a minimum of 40 percent to no more than 50 percent upper vents. Ridge vents or gable end vents are recommended to achieve the best performance. The material should be cut to allow for full airflow to the venting.

G. Roofing Products (Cool Roof) (Section 150.1(c)(11))

Table with 13 columns: Tag/ID, Exception, Roof Pitch, Method of Compliance, Product Type, CRRC Product ID Number, Initial Solar Reflectance, Aged Solar Reflectance, Thermal Emittance, SRI (optional), Aged Solar Reflectance, Thermal Emittance, SRI (optional). Lists Exception 1 and Exception 2.

Notes:
Exception 1: Any roof area covered by building integrated photovoltaic (PV) panels and solar thermal panels are exempt from the above Cool Roof requirements.
Exception 2: Roof construction with a weight of 25 pounds per square foot (lb/ft²) are also exempt.
Liquid field applied coatings must comply with installation criteria from Section 110.8(j)(4).

Registration Number: 224-D010025067A-000-000-0000000-0000
Registration Date/Time: 2024-02-24 15:40:53
HERS Provider: CalCERTS
CA Building Energy Efficiency Standards - 2022 Residential Compliance
Report Version: 2022.0.000
Schema Version: rev 20220101
Report Generated: 2024-02-24 15:40:53

DOCUMENTATION AUTHOR'S DECLARATION STATEMENT

I certify that this Certificate of Compliance documentation is accurate and complete.
Documentation Author Name: John Neal
Signature: John Neal
Company: Design Collaborative Services
Address: 808 Yosemite Way, Suisun CA 94594585
City/State/Zip: Suisun CA 94594585

RESPONSIBLE PERSON'S DECLARATION STATEMENT

I certify the following under penalty of perjury, under the laws of the State of California:
1. The information provided on this Certificate of Compliance is true and correct.
2. I am eligible under Division 3 of the Business and Professions Code to accept responsibility for the building design or system design identified on this Certificate of Compliance (responsible designer).
3. The energy features and performance specifications, materials, components, and manufactured devices for the building design or system design identified on this Certificate of Compliance conform to the requirements of Title 24, Part 1 and Part 6 of the California Code of Regulations.
4. The building design features or system design features identified on this Certificate of Compliance are consistent with the information provided on other applicable compliance documents, worksheets, calculations, plans and specifications submitted to the enforcement agency for approval with this building permit application.
5. I understand that a registered copy of this Certificate of Compliance shall be made available with the building permit(s) issued for the building, and made available to the enforcement agency for all applicable inspections, and I will take the necessary steps to accomplish this requirement.
6. I understand that a registered copy of this Certificate of Compliance is required to be included with the documentation the builder provides to the building owner at occupancy, and I will take the necessary steps to accomplish these requirements.

Responsible Designer Name: John Neal
Signature: John Neal
Company: Design Collaborative Services
Date Signed: 2024-02-24 15:40:53
Address: 808 Yosemite Way
License: 12345
City/State/Zip: Suisun CA 94594585
Phone: 707-470-6130

Digitally signed by CalCERTS. This digital signature is provided in order to secure the content of this registered document, and in no way implies Registration Provider responsibility for the accuracy of the information.
Registration Number: 224-D010025067A-000-000-0000000-0000
Registration Date/Time: 2024-02-24 15:40:53
HERS Provider: CalCERTS
CA Building Energy Efficiency Standards - 2022 Residential Compliance
Report Version: 2022.0.000
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DESIGN & DRAFTING SERVICES
John Neal
Suisun City CA 94585
707-717-5826
jneal.dc@gmail.com
www.designcollaborativeservice.com

Table with 2 columns: No., Date, Description. Empty table for tracking.

174 SF DINING ROOM EXTENSION
504 Wenham Way
Folsom, CA 95630
APN: 072-0780-002

TITLE 24

CHECKED BY: Checker
DRAWN BY: Author
SCALE:
DATE: 02.24.2024
PROJECT NO: 24.003
PHASE NO:
SHEET NO: A020

C:\Users\John R\Dropbox\DCI\_PROJECTS\2024\24\_003\_504\_Wenham Way FOLSOM 95630\_REV1724.003\_504\_Wenham Way FOLSOM 95630.rvt





2022 Single-Family Residential Mandatory Requirements Summary

NOTE: Single-family residential buildings subject to the Energy Codes must comply with all applicable mandatory measures, regardless of the compliance approach used. Review the respective section for more information.

Building Envelope:

Table with 2 columns: Code Section and Description. Includes sections for Air Leakage, Labeling, Insulation Certification, Insulation Requirements for Heated Slab Floors, Roofing Products Solar Reflectance and Thermal Emittance, Radiant Barrier, Roof Deck, Ceiling and Rafter Roof Insulation, Wall Insulation, Loose-Fill Insulation, Masonry Walls, Raised-Floor Insulation, Slab Edge Insulation, Vapor Retarder, Vapor Retarder, Vapor Retarder, Fenestration Products, and Fireplaces, Decorative Gas Appliances, and Gas Log.

Space Conditioning, Water Heating, and Plumbing Systems:

Table with 2 columns: Code Section and Description. Includes sections for Certification, HVAC Efficiency, Controls for Heat Pumps with Supplementary Electric Resistance Heaters, Thermostats, Insulation, Isolation Valves, and Solar Readiness.

5/6/22



2022 Single-Family Residential Mandatory Requirements Summary

Table with 2 columns: Code Section and Description. Includes sections for Screw based luminaires, Light Sources in Enclosed or Recessed Luminaires, Light Sources in Drawers, Cabinets, and Linen Closets, Interior Switches and Controls, Accessible Controls, Multiple Controls, Mandatory Requirements, Energy Management Control Systems, Automatic Shutoff Controls, Dimmers, Independent controls, Residential Outdoor Lighting, Internally illuminated address signs, and Residential Garages for Eight or More Vehicles.

Solar Readiness:

Table with 2 columns: Code Section and Description. Includes sections for Single-family Residences, Minimum Solar Zone Area, Azimuth, Shading, Structural Design Loads on Construction Documents, Interconnection Pathways, Documentation, Main Electrical Service Panel, and Main Electrical Service Panel.

5/6/22



2022 Single-Family Residential Mandatory Requirements Summary

Table with 2 columns: Code Section and Description. Includes sections for Pilot Lights, Building Cooling and Heating Loads, Clearances, Liquid Line Drier, Water Piping, Solar Water-heating System Piping, and Space Conditioning System Line Insulation, Insulation Protection, Gas or Propane Water Heating Systems, Solar Water-heating Systems, and Ducts and Fans.

Ducts and Fans:

Table with 2 columns: Code Section and Description. Includes sections for Ducts, CMC Compliance, Field-Fabricated Duct Systems, Field-Fabricated Duct Systems, Backdraft Damper, Gravity Ventilation Dampers, Protection of Insulation, Porous Inner Core Flex Duct, Duct System Sealing and Leakage Test, and Air Filtration.

5/6/22



2022 Single-Family Residential Mandatory Requirements Summary

Table with 2 columns: Code Section and Description. Includes sections for Energy Storage System (ESS) Ready, Heat Pump Space Heater Ready, Electric Cooktop Ready, and Electric Clothes Dryer Ready.

\*Exceptions may apply.

5/6/22



2022 Single-Family Residential Mandatory Requirements Summary

Table with 2 columns: Code Section and Description. Includes section for Space Conditioning System Airflow Rate and Fan Efficacy.

Ventilation and Indoor Air Quality:

Table with 2 columns: Code Section and Description. Includes sections for Requirements for Ventilation and Indoor Air Quality, Central Fan Integrated (CFI) Ventilation Systems, Whole-Dwelling Unit Mechanical Ventilation for Single-Family Detached and townhouses, Local Mechanical Exhaust, Airflow Measurement and Sound Ratings of Whole-Dwelling Unit Ventilation Systems, and Field Verification and Diagnostic Testing.

Pool and Spa Systems and Equipment:

Table with 2 columns: Code Section and Description. Includes sections for Certification by Manufacturers, Piping, Covers, Directional Inlets and Time Switches for Pools, and Pilot Light.

Lighting:

Table with 2 columns: Code Section and Description. Includes sections for Lighting Controls and Components, Luminaire Efficacy, Recessed Downlight Luminaires in Ceilings, Light Sources in Enclosed or Recessed Luminaires, Blank Electrical Boxes, and Lighting Integral to Exhaust Fans.

5/6/22



DESIGN & DRAFTING SERVICES

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www.designcollaborativeservice.com

John R. Neal

Table with 2 columns: Date and Description. Includes a header row and several empty rows.

174 SF DINING ROOM EXTENSION

504 Wenham Way Folsom, CA 95630 APN: 072-0780-002

TITLE 24 MANDATORY MEASURES

Table with 2 columns: Field Name and Value. Includes fields for CHECKED BY, DRAWN BY, SCALE, DATE, PROJECT NO., PHASE NO., and SHEET NO.

A022



*John R Neal*

**2022 CALIFORNIA GREEN BUILDING CODE  
RESIDENTIAL CHECKLIST**

New Residential Buildings must be designed to include the Green Building Mandatory Measures specified in this checklist. These Green Building Mandatory Measures also apply to additions or alterations of existing Residential Buildings which increase the building's conditioned area, volume, or size. These requirements only apply to the specific area of addition or alteration.

Permit Number: \_\_\_\_\_ Project Address: \_\_\_\_\_ 504 Wenham Way, Folsom CA 95630


**Specify which sheet includes the Measure, and add specific details listing where the measure is located on that page. Include exact code sections on plans.**

Green Building Measure	Plan Sheet, and Details
<b>ENERGY EFFICIENCY(2022 CEC §150.0)</b>	
<b>(2022 California Building Energy Efficiency Standards)</b>	
2022 Energy Code performance (CF1R) compliance documentation must be provided digitally in 8-1/2" X 11" format, and, must be replicated on the plans. 2022 CEC §150.1	A020
<b>SITE DEVELOPMENT (2022 CGC §4.106)</b>	
Plans shall indicate how Grading and Paving will prevent surface water flows from entering buildings. Exception: Projects that do not alter the drainage path. 2022 CGC §4.106.3	N/A
Electric Vehicle (EV) Charging, parking spaces: comply with all relevant sections. 2022 CGC §4.106.4	N/A
<b>INDOOR WATER USE (2022 CGC §4.303)</b>	
Standards for Plumbing fixtures and fittings. Plumbing fixtures and fittings shall be installed in accordance with the California Plumbing Code, and shall meet the applicable standards referenced in Table 1701.1 of the California Plumbing Code. 2022 CGC §4.303.3	N/A
<b>OUTDOOR WATER USE (2022 CGC §4.304)</b>	
Residential developments shall submit a California Department of Water Resources' Model Water Use Efficient Landscape (MWEL0) checklist. 2022 CGC §4.304.1	N/A
<b>ENHANCED DURABILITY AND REDUCED MAINTENANCE (2022 CGC §4.406)</b>	
Annular spaces around pipes, electric cables, conduits or other openings in sole/bottom plates at exterior walls, shall be protected against the passage of rodents by closing such openings with cement mortar, concrete masonry, or similar method acceptable to the enforcing agency. 2022 CGC §4.406.1	
<b>CONSTRUCTION WASTE MANAGEMENT (2022 CGC §4.408)</b>	
Recycle and/or salvage a minimum 65% of the non-hazardous construction and demolition waste. This is not applicable to soil and land clearing debris. 2022 CGC §4.408.1	

1

Green Building Measure	Plan Sheet, and Details
<b>BUILDING MAINTENANCE AND OPERATION (2022 CGC §4.410)</b>	
An operation and maintenance manual will be provided at final inspection. 2022 CGC §4.410.1	N/A
Where 5 or more multi-family dwelling units are constructed on a building site, provide readily accessible areas that serve all buildings on site and are identified for the depositing, storage, and collection of nonhazardous materials for recycling, including paper, corrugated cardboard, glass, plastics, organic waste and metals, or, meet local ordinance, if more restrictive. 2022 CGC §4.410.2	
<b>FIREPLACES (2022 CGC §4.503)</b>	
Any installed gas fireplaces will be direct-vent sealed-combustion type. Any installed woodstove or pellet stove shall comply with US EPA NSPS emission limits. 2022 CGC 4.503.1	N/A
GAS IS NOT ALLOWED FOR NEW CONSTRUCTION BASED ON BURLINGAME'S REACH CODE.	
<b>POLLUTANT CONTROL (2022 CGC §4.504)</b>	
At the time of rough installation, during storage on the construction site, and until final startup of the HVAC equipment, all duct and other related air distribution component openings will be covered with tape, plastic, sheet metal, or other methods acceptable to the enforcing agency to reduce the amount of water, dust and debris that may enter the system. 2022 CGC §4.504.1	
Adhesives, sealants, and caulks used on the project shall follow local and regional air pollution or air quality management district standards. 2022CGC §4.504.2.1	
Paints and coatings will comply with VOC limits. 2022CGC §4.504.2.2	
Aerosol paints and coatings will meet the Product-weighted MIR limits for ROC, and comply with percent VOC by weight of product limits, Regulation 8, Rule 49. 2022 CGC §4.504.2.3	
Documentation shall verify compliance for VOC finish materials. 2022 CGC §4.504.2.4	
Carpet systems will meet CALGREEN testing and product requirements. 2022 CGC §4.504.3	
Where resilient flooring is installed, at least 80% of the floor area receiving resilient flooring will comply with the California Green Building Code requirements. 2022 CGC §4.504.4	
Hardwood plywood, particleboard, and medium density fiberboard composite wood products shall comply with the low formaldehyde emission standards. 2022 CGC §4.504.5	
<b>INTERIOR MOISTURE CONTROL (2022 CGC §4.505)</b>	
A capillary break will be installed if a slab on grade foundation system is used. 2022 CGC §4.505.2.1	
Building materials with visible signs of water damage will not be installed. Wall and floor framing will not be enclosed when the framing members exceed 19% moisture content. Moisture content will be verified prior to finish material being applied. Replace wet insulation products, or allow to dry before enclosure. 2022 CGC §4.505.3	
<b>INDOOR AIR QUALITY AND EXHAUST (CGC §4.506)</b>	
Exhaust fans that are ENERGY STAR compliant, ducted and that terminate outside the building will be provided in every bathroom (bathtub, shower, or shower/tub combo). 2019 CGC §4.506.1	
Unless functioning as a component of a whole-house ventilation system, fans must be controlled by a humidity control. 2022 CGC §4.506.2	

2

Green Building Measure	Plan Sheet, and Details
<b>ENVIRONMENTAL COMFORT (2022 CGC §4.507)</b>	
The heating and air-conditioning system will be sized, designed and have their equipment selected using the following methods: Heat Loss/Heat Gain values in accordance with ANSI/ACCA 2 Manual J-2016 or equal; Duct systems are sized according to ANSI/ACCA 1, Manual D-2016 or equal; Select heating and cooling equipment in accordance with ANSI/ACCA 3, Manual S-2014 or equivalent. 2022 CGC §4.507.	N/A
<b>VERIFICATION (2022 CGC §703)</b>	
Upon request, verification of compliance with this code may include construction documents, plans, specifications, builder or installer certification, inspection reports, or other methods acceptable to the Building Division that will show substantial conformance with the 2022 Code requirements. 2022 CGC	
<b>Responsible Designer's Declaration Statement</b>	
I hereby certify that this project has been designed to meet the requirements of the 2022 Green Building Code.	
Name:	John R Neal
Address:	808 Yosemite Way
City/State/Zip Code:	Suisun City CA 94585
Signature:	 Date: 02.13.2024 John R Neal
<b>Contractor's Declaration Statement</b>	
I hereby certify, as the builder or installer, that this project will be constructed to meet the requirements of the 2022 Green Building Code.	
Name:	
Address:	
City/State/Zip Code:	
Signature:	Date:

3

No.	Description	Date

174 SF DINING  
 ROOM  
 EXTENSION  
  
 504 Wenham Way  
 Folsom, CA 95630  
 APN: 072-0780-002

**CAL GREEN  
 MANDATORY  
 MEASURES**

CHECKED BY \_\_\_\_\_  
 Checker  
 DRAWN BY \_\_\_\_\_  
 Author  
 SCALE \_\_\_\_\_  
 DATE 02.24.2024  
 PROJECT NO. 24.003  
 PHASE NO. \_\_\_\_\_  
 SHEET NO.

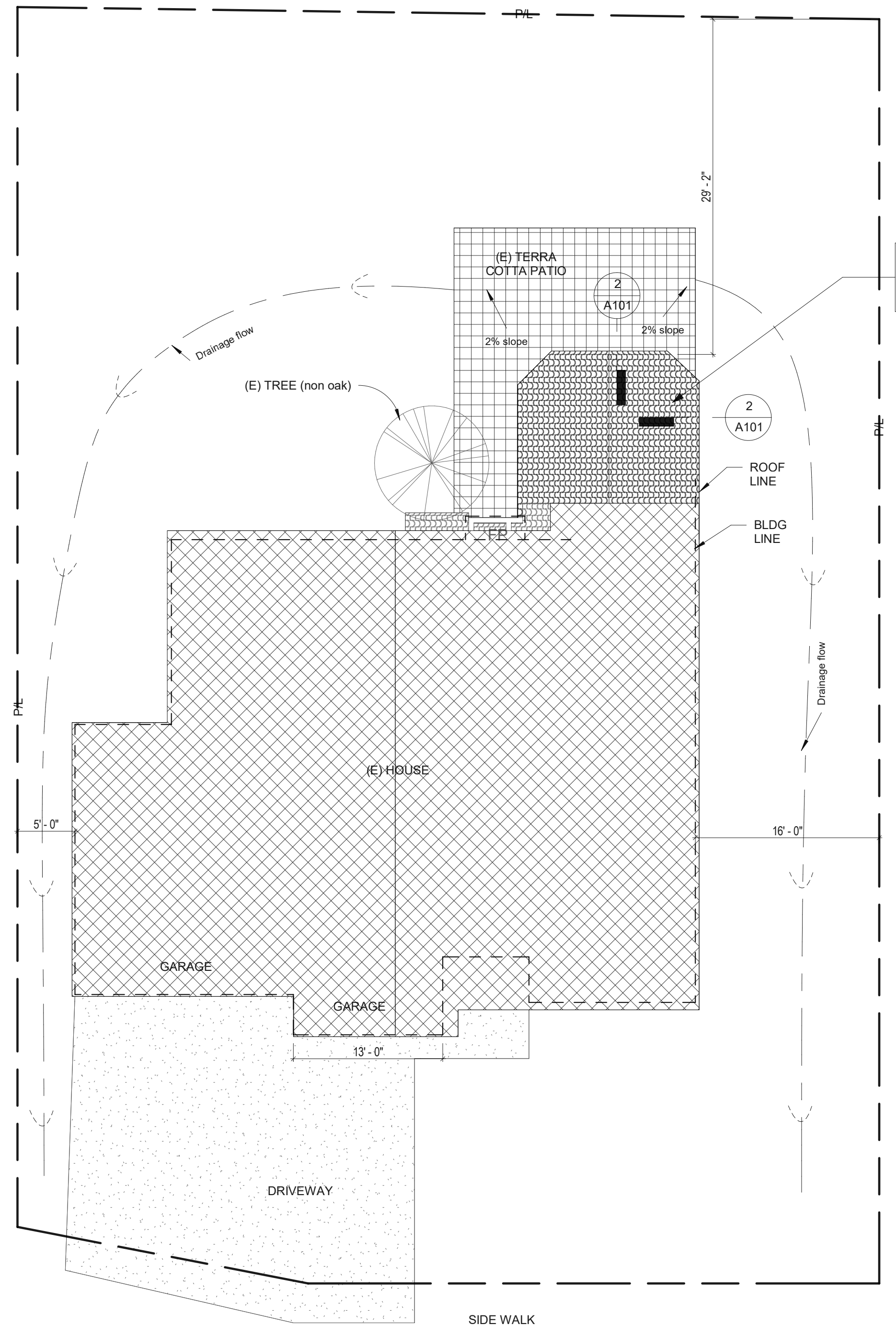
**A050**

**GENERAL NOTES**

1. BOUNDARY INFORMATION SHOWN IS BASED UPON ASSESSOR MAP INFORMATION AND DATA.
2. THE PROPOSED IMPROVEMENTS WERE BASED ON RECORD INFORMATION GIVEN TO THE DESIGNER AT THE TIME OF PREPARATION. IF THERE ARE ANY DISCREPANCIES BETWEEN THE PROPOSED IMPROVEMENTS CONTAINED IN THESE PLANS AND PREVIOUS APPROVED PLAN SUBMITTALS, CONTRACTOR IS TO CONSULT WITH THE DESIGNER AND OWNER PRIOR TO ANY CONSTRUCTION ACTIVITY.
3. EXISTING STRUCTURES AND UTILITIES ARE SHOWN IN THEIR APPROXIMATE LOCATIONS BASED UPON RECORD INFORMATION AVAILABLE TO THE DESIGNER AT THE TIME OF THE PREPARATION OF THESE PLANS. LOCATIONS MAY NOT HAVE BEEN VERIFIED IN THE FIELD AND NO GUARANTEE IS MADE AS TO THE ACCURACY OR COMPLETENESS OF THE INFORMATION SHOWN.
4. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALE DIMENSIONS.
5. GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND SITE CONDITIONS BEFORE STARTING WORK. THE DESIGNER SHALL BE NOTIFIED IN WRITING OF ANY DISCREPANCY PRIOR TO THE START OF WORK. THIS NOTE ALSO PERTAINS TO ALL SUB-CONTRACTORS. CONTRACTOR IS LIABLE FOR ALL ADJUSTMENTS MADE WITHOUT ENGINEER'S WRITTEN APPROVAL.
6. CONTRACTOR IS RESPONSIBLE TO MEET ALL BUILDING CODES REGARDLESS OF PLAN SPECIFICATIONS.
7. THE WORD "TYPICAL" OR "TYP" WHERE IT OCCURS MEANS THAT THE SAME WORK APPLIES WHERE SIMILAR CONDITIONS OCCUR. DETAILS ARE UNDERSTOOD TO BE TYPICAL WHERE SIMILAR CONDITIONS OCCUR UNLESS OTHERWISE NOTED.
8. UNAUTHORIZED CHANGES & USES: THE DESIGNER PREPARING THESE PLANS WILL NOT BE RESPONSIBLE FOR, OR LIABLE FOR, UNAUTHORIZED CHANGES TO OR USES OF THESE PLANS. ALL CHANGES TO THE PLANS MUST BE IN WRITING AND MUST BE APPROVED BY THE PREPARER OF THESE PLANS.
9. SLOPE AWAY FROM STRUCTURE A MINIMUM OF 5' @ 2%.

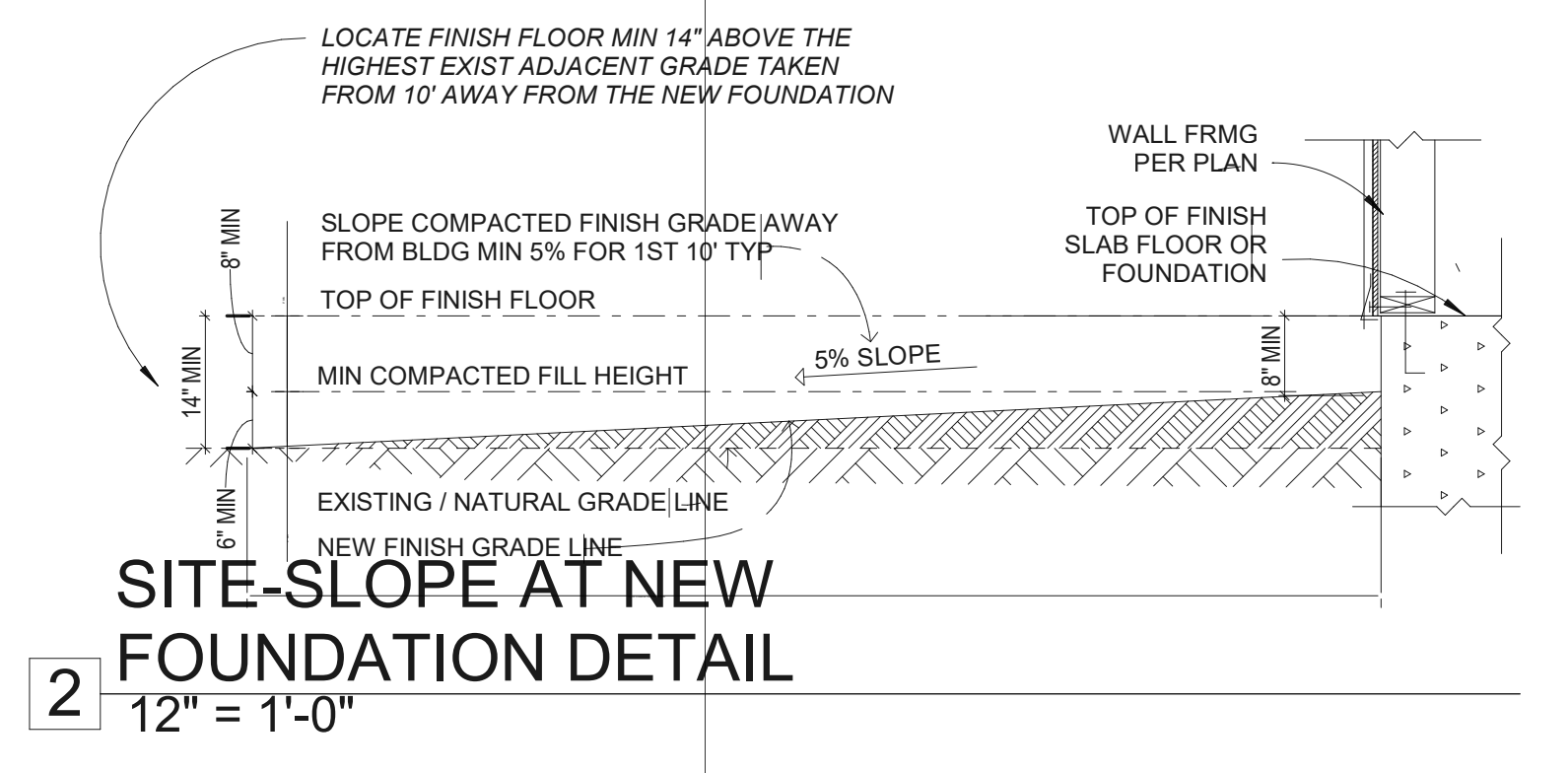
**EROSION CONTROL NOTES**

1. ALL EROSION CONTROL STANDARD MEASURES SHALL BE IN-PLACE PRIOR TO OCTOBER 15 THRU APRIL 15 OF EACH CALENDAR YEAR AND OR 24 HOURS BEFORE THE WEATHER REPORT CALLS FOR MORE THAN A 20% CHANCE OF RAIN USING WEATHER.GOV.
2. UTILITY TRENCHES SHALL BE COMPACTED WITH THE SURFACE FINISH SLIGHTLY MOUNDED TO PREVENT THE CHANNELING OF WATERING IN THE TRENCH AREA.
3. THE TOP OF THE FILL OR CUT SLOPES SHOULD BE GRADED IN SUCH A WAY AS TO PREVENT WATER FROM FLOWING FREELY DOWN THE SLOPE.
4. ALL PERMANENT SLOPES FILL OR CUT, SHOULD BE PROTECTED AGAINST EROSION BY MEANS OF EROSION CONTROL PLANTING, MULCHING, AND IN SOME CASES BY INSTALLATION ON JUTTE MATTING OR EQUIVALENT.
5. GRADED SLOPES MAY EXPERIENCE SEVERE EROSION WHEN GRADING IS HALTED BY HEAVY RAIN. THEREFORE BEFORE WORK IS STOPPED A POSITIVE GRADIENT AWAY FROM THE SLOPES SHOULD BE PROVIDED TO CARRY THE SURFACE RUNOFF WATER AWAY FROM THE SLOPES AND TO AREAS WHERE EROSION CAN BE CONTROLLED. IT IS VITAL THAT NO COMPLETED SLOPE BE LEFT STANDING THROUGH A WINTER SEASON WITHOUT EROSION CONTROL MEASURES HAVING BEEN PROVIDED.
6. STORM WATER DRAINAGE: WHERE STORM WATER IS CONVEYED TO A PUBLIC DRAINAGE SYSTEM, COLLECTION POINT, AND GUTTER, OR SIMILAR DISPOSAL METHOD, WATER SHALL BE FILTERED BY USE OF A BARRIER SYSTEM, WATTLE, OR OTHER METHOD APPROVED BY THE ENFORCING AGENCY.
7. DUST CONTROL: SHALL BE MAINTAINED AT ALL TIMES DURING CONSTRUCTION UNTIL THE PROJECT IS COMPLETE. THE BUILDER SHALL PREVENT ANY AIRBORNE NUISANCE DUST BY WATERING AND OR TREATING THE SITE TO PREVENT DUST. ADDITIONAL WATERING SHALL BE PROVIDED DURING DRY WEATHER AND WIND CONDITIONS. THE BUILDER SHALL BE RESPONSIBLE FOR ANY DAMAGES, FINES, AND OR CHARGES FROM DUST RELATED DAMAGES. DUST CONTROL SHALL BE MAINTAINED ON A DAILY BASIS.
8. VEGETATE NEW SLOPES WITH TACTIFIER, FERTILIZER, AND SEED SHALL APPLIED INITIALLY. A FIBER MULCH OR STRAW OR APPROVED EQUAL SHALL BE APPLIED AFTER THE SEED. SEEDED SLOPES SHALL BE IRRIGATED TO ENCOURAGE GROWTH BETWEEN THE DATE OF APPLICATION AND THE FIRST RAINY PERIOD. HYDROSEED ALL CUT AND FILL SLOPES. CUT SLOPES SHALL BE COMPACTED AND CAT WALKED PRIOR TO SEEDING.



AREA OF WORK:  
174 SF DINING ROOM  
EXTENSION

1 SITE PLAN  
1/8" = 1'-0"



2 SITE-SLOPE AT NEW  
FOUNDATION DETAIL  
1/2" = 1'-0"

No.	Description	Date

174 SF DINING ROOM  
EXTENSION  
504 Wenham Way  
Folsom, CA 95630  
APN: 072-0780-002

**SITE PLAN, NOTES AND  
DETAILS**

CHECKED BY	John Neal
DRAWN BY	Laona Hall
SCALE	As indicated
DATE	02.24.2024
PROJECT NO.	24.003
PHASE NO.	
SHEET NO.	A101

John R. Neal

Date	Description	No.

174 SF DINING ROOM EXTENSION

504 Wenham Way  
Folsom, CA 95630  
APN: 072-0780-002

FLOOR PLANS, FOUNDATION AND FRAMING PLANS AND ROOF PLAN

CHECKED BY  
K GEYER  
DRAWN BY  
J NEAL  
SCALE  
As indicated  
DATE  
02.24.2024  
PROJECT NO.  
24.003  
PHASE NO.

SHEET NO.  
A201.1

LUMBER SPECIFICATIONS

- LUMBER GRADES TO BE AS FOLLOWS:  
2x4 ..... DF #2  
2x6 ..... DF #2  
2x8 ..... DF #1  
2x10 ..... DF #1  
2x12 ..... DF #1
- STRUCTURAL PLYWOOD... CD-EXT WITH THICKNESS SHOWN ON PLANS. GC MAY REPLACE PLYWOOD WITH OSB OF SAME THICKNESS AND STRENGTH GRADE.
- ALL STRUCTURAL WOOD FRAMING SHALL BE DOUGLAS FIR LARCH (NO. 1) (UNLESS OTHERWISE NOTED ABOVE OR ON PLANS).
- ALL POSTS SHALL BE DOUGLAS FIR LARCH (NO. 1).
- GLUE LAMINATED BEAMS: SHALL BE 24F-V4, DRY CONDITION, WITH SIZE AND CAMBER AS SHOWN ON PLANS. (24F-V8 AT CANTILEVERED BEAMS)
- PLYWOOD SHEETS ON WALLS SHALL BE LAID WITH THE LONG DIMENSIONS HORIZONTAL OR VERTICAL. BLOCK ALL EDGES AT SHEARWALLS.
- ALL NEW FRAMING LUMBER SHALL HAVE A 19% MAXIMUM MOISTURE CONTENT AT TIME OF INSTALLATION AND FABRICATION.

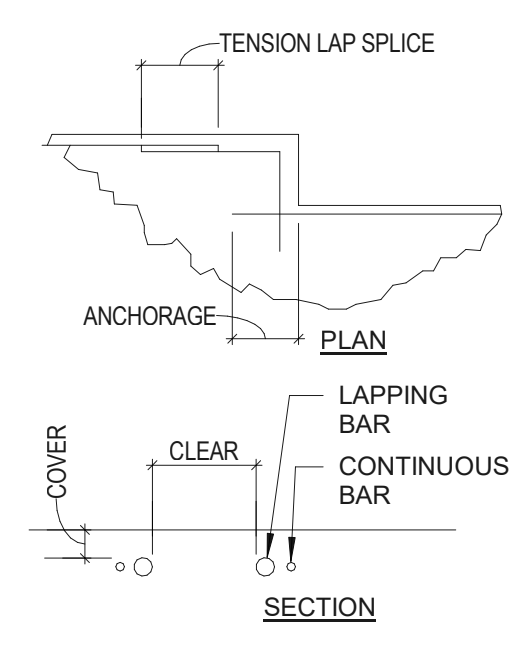
STRUCTURAL LOADS

WIND LOADS	
IMPORTANCE FACTOR	1.00
BASIC WIND SPEED	110.00
WIND EXPOSURE	C
WIND HORIZ. (PSF)	16.00

SEISMIC LOADS	
S.DESIGN CAT.	D
SS ACC. %G	1.96
S1 ACC. %G	0.74

VERTICAL LOADS		
	DL (PSF)	LL (PSF)
FLOOR	20	40
DECK / BALCONY	25	60
ROOF	20	20
WALLS	15	-

BAR SIZE	MIN. CLEAR	MIN. COVER
#3	3/4"	3/8"
#4	1"	1/2"
#5	1 1/4"	5/8"
#6	1 1/2"	3/4"
#7	1 3/4"	7/8"
#8	2"	1"
#9	2 1/4"	1 1/8"
#10	2 1/2"	1 1/4"
#11	2 3/4"	1 3/8"



GENERAL NOTES

- GENERAL DETAILS AND NOTES ON THESE SHEETS SHALL APPLY UNLESS SPECIFICALLY SHOWN OR NOTED OTHERWISE. ALL WORK OR CONSTRUCTION SHALL COMPLY WITH ALL APPLICABLE BUILDING CODES, REGULATIONS AND SAFETY REQUIREMENTS.
- DISCREPANCIES: THE CONTRACTOR SHALL INFORM THE ENGINEER, IN WRITING, OF ANY DISCREPANCIES OR OMISSIONS NOTED ON THE DRAWINGS OR IN THE SPECIFICATIONS OR OF ANY VARIATIONS NEEDED IN ORDER TO CONFORM TO CODES, RULES AND REGULATIONS. UPON RECEIPT OF SUCH INFORMATION, THE ENGINEER WILL SEND WRITTEN INSTRUCTIONS TO ALL CONCERNED. ANY SUCH DISCREPANCY, OMISSION OR VARIATION NOT REPORTED SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR, AND WORK SHALL BE PERFORMED IN A MANNER AS DIRECTED BY THE ENGINEER.
- SHORING: IT SHALL BE THE CONTRACTOR'S SOLE RESPONSIBILITY TO DESIGN AND PROVIDE ADEQUATE SHORING, BRACING, AND FORMWORK, ETC. AS REQUIRED, FOR THE PROTECTION OF LIFE AND PROPERTY DURING THE CONSTRUCTION OF THIS BUILDING.
- EXCAVATION: THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL EXCAVATION PROCEDURES INCLUDING LAGGING, SHORING AND PROTECTION OF ADJACENT PROPERTY, STRUCTURES, STREETS AND UTILITIES IN ACCORDANCE WITH THE LOCAL BUILDING DEPARTMENT AND OSHA REGULATIONS.
- OTHER TRADES: SEE ARCHITECTURAL, ELECTRICAL, AND MECHANICAL DRAWINGS FOR SIZE AND LOCATION OF PIPE, VENT, DUCT AND OTHER OPENINGS AND DETAILS NOT SHOWN ON THESE STRUCTURAL DRAWINGS. ALL DIMENSIONS ARE TO BE CHECKED AND VERIFIED WITH THE ARCHITECTURAL DRAWINGS. THE CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS PRIOR TO ANY WORK AND SHALL BE RESPONSIBLE FOR ALL WORK AND MATERIALS, INCLUDING THOSE FURNISHED BY SUBCONTRACTORS.
- BACKFILL: BACKFILL AROUND RETAINING WALLS SHALL NOT BE PLACED UNTIL AFTER THE WALLS ARE SUPPORTED BY THE COMPLETION OF INTERIOR FLOOR SYSTEMS AND WALLS ARE ADEQUATELY BRACED. BACKFILL SHALL NOT BE PLACED UNTIL AFTER COMPLETION AND INSPECTION OF DRAINAGE SYSTEM AND WATERPROOFING WHERE WATERPROOFING OCCURS.
- BRACING: TEMPORARY BRACING DESIGNED BY THE GENERAL CONTRACTOR SHALL BE PROVIDED AS REQUIRED TO HOLD ALL COMPONENTS OF THE STRUCTURE IN PLACE UNTIL FINAL SUPPORT IS SECURELY ANCHORED.
- WELDING: ALL WELDING SHALL BE PERFORMED BY WELDERS CERTIFIED FOR THE WELDS TO BE MADE. SEE SPECIFICATIONS FOR WELDING PROCESS TO BE USED. WELDING OF REINFORCING STEEL FOR USE IN THE STRUCTURAL CONCRETE OR STRUCTURAL MASONRY SHALL BE PERMITTED ONLY WHERE SPECIFICALLY DESIGNATED ON THESE PLANS OR WHERE SPECIFICALLY APPROVED BY THE ENGINEER.
- SIDEWALK PROTECTION: PEDESTRIAN TRAFFIC SHALL BE PROTECTED AS SPECIFIED IN THE CBC, OR BY LOCAL OSHA OR MUNICIPAL REQUIREMENTS. THE 2016 CALIFORNIA BUILDING CODE (CBC) AND 2018 CALIFORNIA RESIDENTIAL CODE (CRC) ARE THE GOVERNING CRITERIA FOR THIS PROJECT.
- MATERIALS AND WORKMANSHIP: THE CONTRACTOR SHALL SUPPLY ALL LABOR, MATERIALS, EQUIPMENT AND SERVICES OF EVERY KIND, INCLUDING WATER AND POWER, NECESSARY FOR THE PROPER EXECUTION OF THE WORK SHOWN OR INDICATED IN THESE DRAWINGS. ALL MATERIAL SHALL BE NEW AND MATERIALS AND WORKMANSHIP SHALL BE IN GOOD QUALITY. ALL WORKMEN AND SUBCONTRACTORS SHALL BE SKILLED IN THEIR TRADE.
- MATERIALS AND WORKMANSHIP WARRANTY: THE CONTRACTOR SHALL REPLACE ANY DEFECTIVE MATERIALS AND CORRECT POOR WORKMANSHIP WITH NO ADDITIONAL COSTS TO THE OWNER, AND SHALL REMEDY ANY DEFECTS IN MATERIAL OR WORKMANSHIP WHICH APPEAR IN ONE YEAR FROM THE DATE OF COMPLETION OF THE JOB. THIS WARRANTY APPLIES TO THE WORK DONE BY THE SUBCONTRACTORS AS WELL AS THE WORK DONE BY THE EMPLOYEES OF THE CONTRACTOR.
- SAFETY: THE CONTRACTOR SHALL ADEQUATELY PROTECT HIS WORK, ADJACENT PROPERTY, AND THE PUBLIC, AND BE RESPONSIBLE FOR DAMAGE OR INJURY DUE TO HIS ACT OR NEGLIGENCE.
- INSPECTIONS: ANY INSPECTIONS, SPECIAL OR OTHERWISE, THAT ARE REQUIRED BY THE BUILDING CODES, LOCAL BUILDING DEPARTMENTS, OR THESE PLANS SHALL BE DONE BY THE LOCAL BUILDING DEPARTMENT AND/OR BY AN INDEPENDENT INSPECTION COMPANY. JOB SITE VISITS BY THE ENGINEER DO NOT CONSTITUTE AN OFFICIAL INSPECTION.
- SHOP DRAWINGS: SHOP DRAWINGS ARE AN AID FOR FIELD PLACEMENT, AND ARE SUPERSEDED BY THE STRUCTURAL DRAWINGS. IT SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO MAKE CERTAIN THAT ALL CONSTRUCTION IS IN FULL AGREEMENT WITH THE LATEST STRUCTURAL DRAWINGS.
- SHOP DRAWING CHECK: THE CONTRACTOR SHALL SUPPLY THE ENGINEER WITH ONE SEPIA COPY AND ONE BLUELINE COPY OF CHECKED SHOP DRAWINGS BEARING THE CONTRACTOR'S STAMP OF APPROVAL AND SIGNATURE, A MINIMUM OF ONE MONTH PRIOR TO PLACEMENT. THE REVIEW OF SHOP DRAWINGS BY THE ENGINEER IS ONLY FOR GENERAL COMPLIANCE WITH THE STRUCTURAL DRAWINGS AND SPECIFICATIONS. THIS REVIEW DOES NOT GUARANTEE IN ANY WAY THAT THE SHOP DRAWINGS ARE CORRECT, COMPLETE, NOR DOES IT IMPLY THAT THEY SUPERSEDE THE STRUCTURAL DRAWINGS.
- SCALE: CONTRACTORS SHALL FOLLOW SIZES IN SPECIFICATIONS OR FIGURES ON DRAWINGS IN PREFERENCE TO SCALE DRAWINGS, AND FOLLOW ACTUAL FIELD CONDITIONS.
- HARDWARE ALLOWANCE: THE GENERAL CONTRACTOR SHALL PROVIDE A HARDWARE FRAMING ALLOWANCE OF \$1,500. ADDITIONAL HARDWARE SHALL BE ADDED AT THE DISCRETION OF THE PROJECT ENGINEER.
- REINFORCING STEEL ALLOWANCE: THE CONTRACTOR SHALL PROVIDE 500 POUNDS OF REINFORCING STEEL FOR THE ENGINEER TO USE AT HIS DISCRETION DURING CONSTRUCTION. THE CONTRACTOR SHALL REIMBURSE THE OWNER FOR THE UNUSED PORTION.

CONCRETE NOTES

DESCRIPTION	MINIMUM COVER	TOLERANCES (±)
SLABS ON GRADE	1 1/2"	1/4"
CAST AGAINST EARTH OR WEATHER	3" CLEAR	3/8"
EXPOSED TO EARTH OR WEATHER	#5 AND SMALLER BARS	3/4"
	#5 AND SMALLER BARS	1 1/2"
	#5 AND LARGER BARS	2"
NOT EXPOSED TO WEATHER OR IN CONTACT WITH THE GROUND	1"	1/8"
ROOF SLABS	3/4"	1/8"
STRUCTURAL SLABS AND WALLS	1 1/2"	3/8"
BEAMS AND COLUMNS (PRIMARY REINFORCEMENT TIES, STIRRUPS AND SPIRALS)	1 1/2"	3/8"

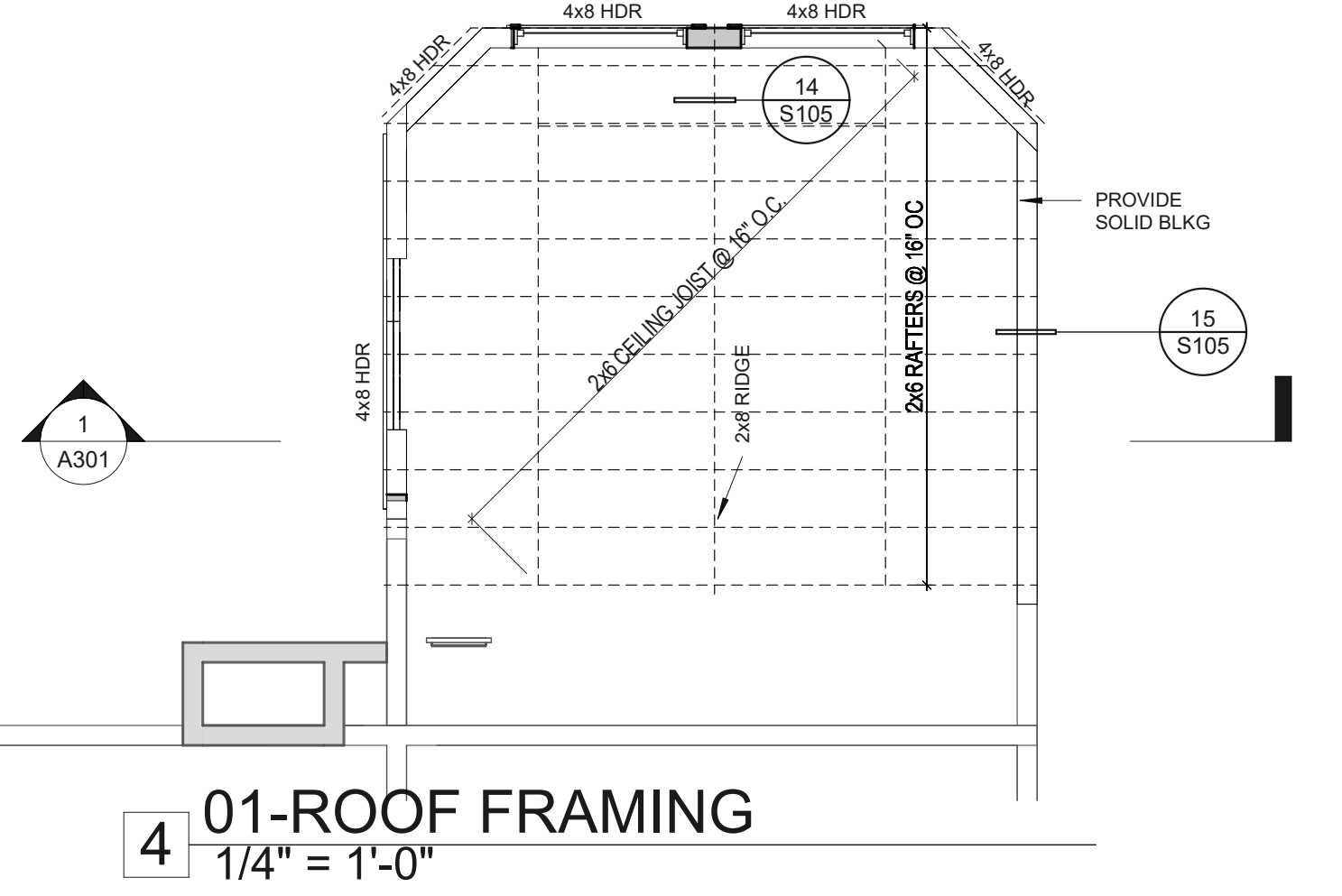
CONCRETE USE	STRENGTH AT 28 DAYS	MAX SLUMP	AIR	MAX AGGREGATE SIZE	AGGREGATE TYPE
EXTERIOR WALKS AND CURBS	3,000 [1]	4"	-	1"	HARDROCK
UTILITY VAULT WALLS AND SLABS	3,000 [1]	4"	-	1"	HARDROCK
FOOTINGS, PIERS	3,000 [1]	4"	-	1"	HARDROCK
SLAB ON GRADE	3,000 [1]	4"	-	1"	HARDROCK

NOTE: WATER/CEMENT RATIO SHALL BE 0.45 OR LESS  
[1] DESIGNED FOR 2500 PSI (SPECIAL INSPECTION NOT REQUIRED)

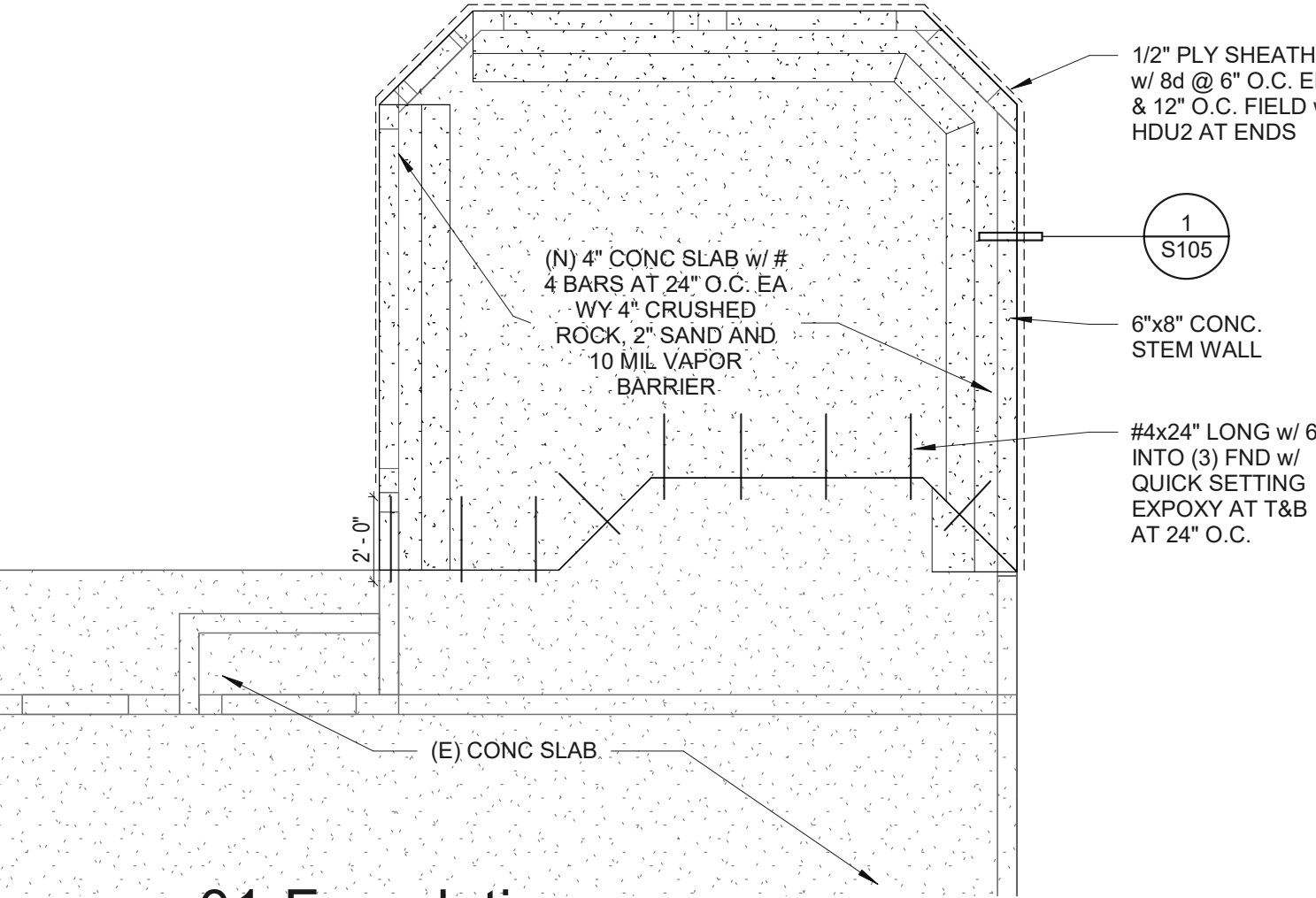
AGGREGATE SIZE	SIZE NUMBER
3/4"	67
1"	57
1 1/2"	467

ATTIC VENT CALCULATIONS

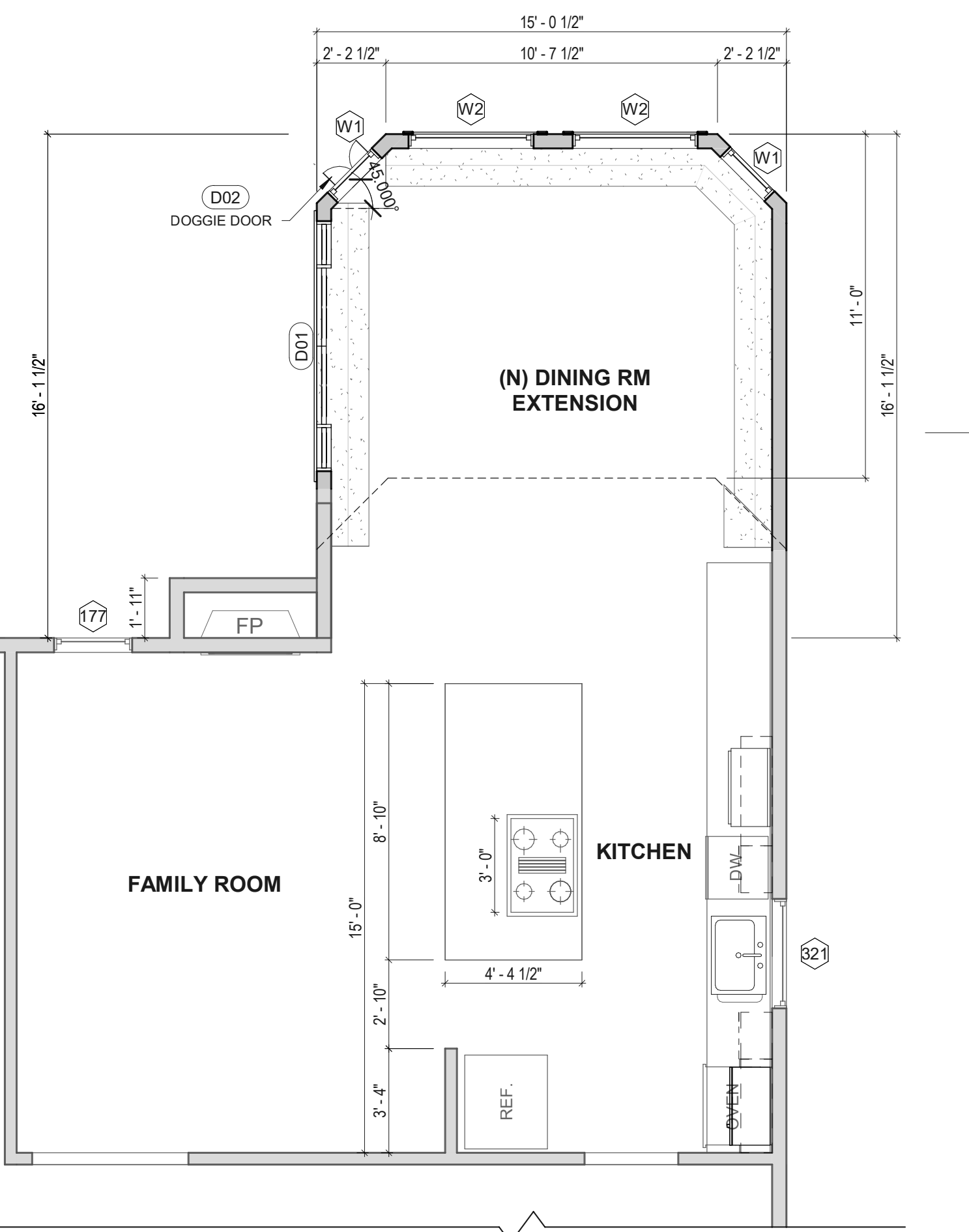
AREA 'A'  
 ROOF AREA: 174 SQ.FT.  
 CALCULATION: (174 SQ.FT. + 150 x 144)  
 REQUIRED AREA: 166 SQ.IN.  
 TO BE PROVIDED BY: (4) 3.5"x14.5" SCREENED EAVE VENTS = 203 SQ. IN.  
 (50.75 SQ. IN PER VENT)  
**TOTAL = 203 SQ. IN.**



01-ROOF FRAMING  
1/4" = 1'-0"



01-FOUNDATION  
1/4" = 1'-0"



01-Floor-New-1  
1/4" = 1'-0"

DOOR SCHEDULE - NEW					
Type Mark	TYPE	WIDTH	HEIGHT	COMMENTS*	Phase Created
1st Flr lvl					
D01	5-0 x 7-6 x 1-6 SH	5' - 0"	7' - 6"		New Construction
D02	Doghhouse_Door_15041-small	1' - 6"	2' - 0"		New Construction
Grand total: 2					

WINDOW SCHEDULE - NEW									
Type Mark	Count	Egress	Family and Type	Width	Height	Type	Level	Comments	Phase Created
W2	2		All-In-One Window; Fixed 48" x 60"	4' - 0"	5' - 0"	Fixed 48" x 60"	1st Flr lvl		New Construction
W1	2		All-In-One Window; Single Hung 24" x 54"	2' - 0"	4' - 6"	Single Hung 24" x 54"	1st Flr lvl		New Construction
Grand total: 4									

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*John Neal*

KEYNOTES

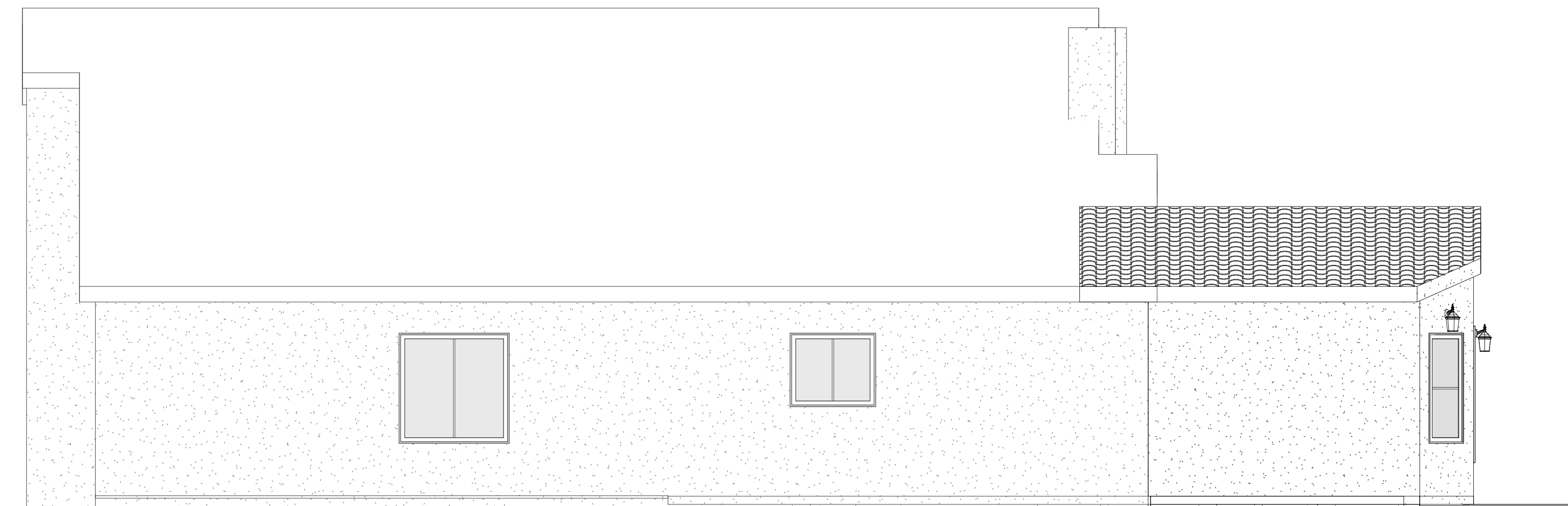
No.	Description	Date

174 SF DINING ROOM  
ROOM  
EXTENSION

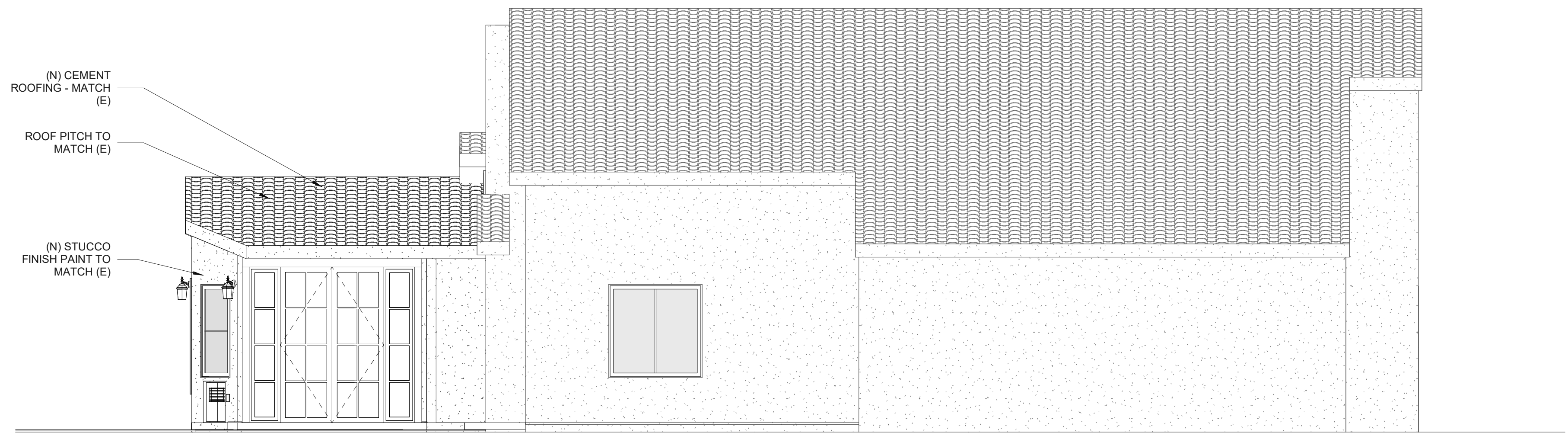
504 Wenham Way  
Folsom, CA 95630  
APN: 072-0780-002

ELEVATIONS

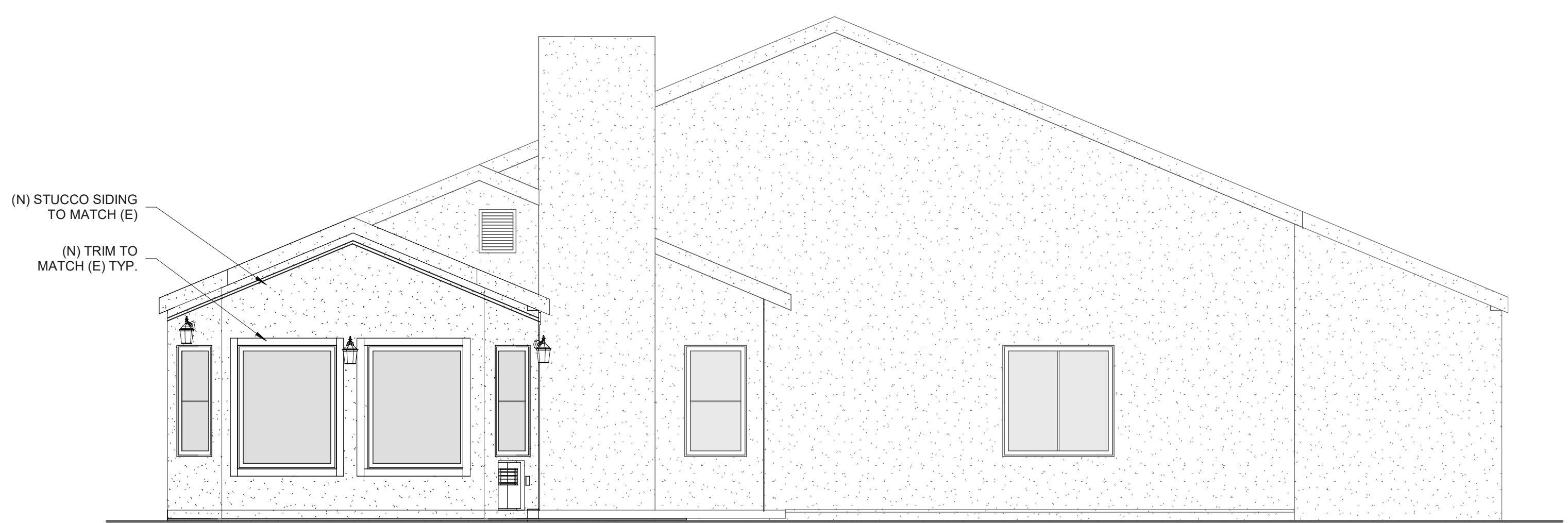
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DRAWN BY	Author
SCALE	As indicated
DATE	02.24.2024
PROJECT NO.	24.003
PHASE NO.	
SHEET NO.	A301



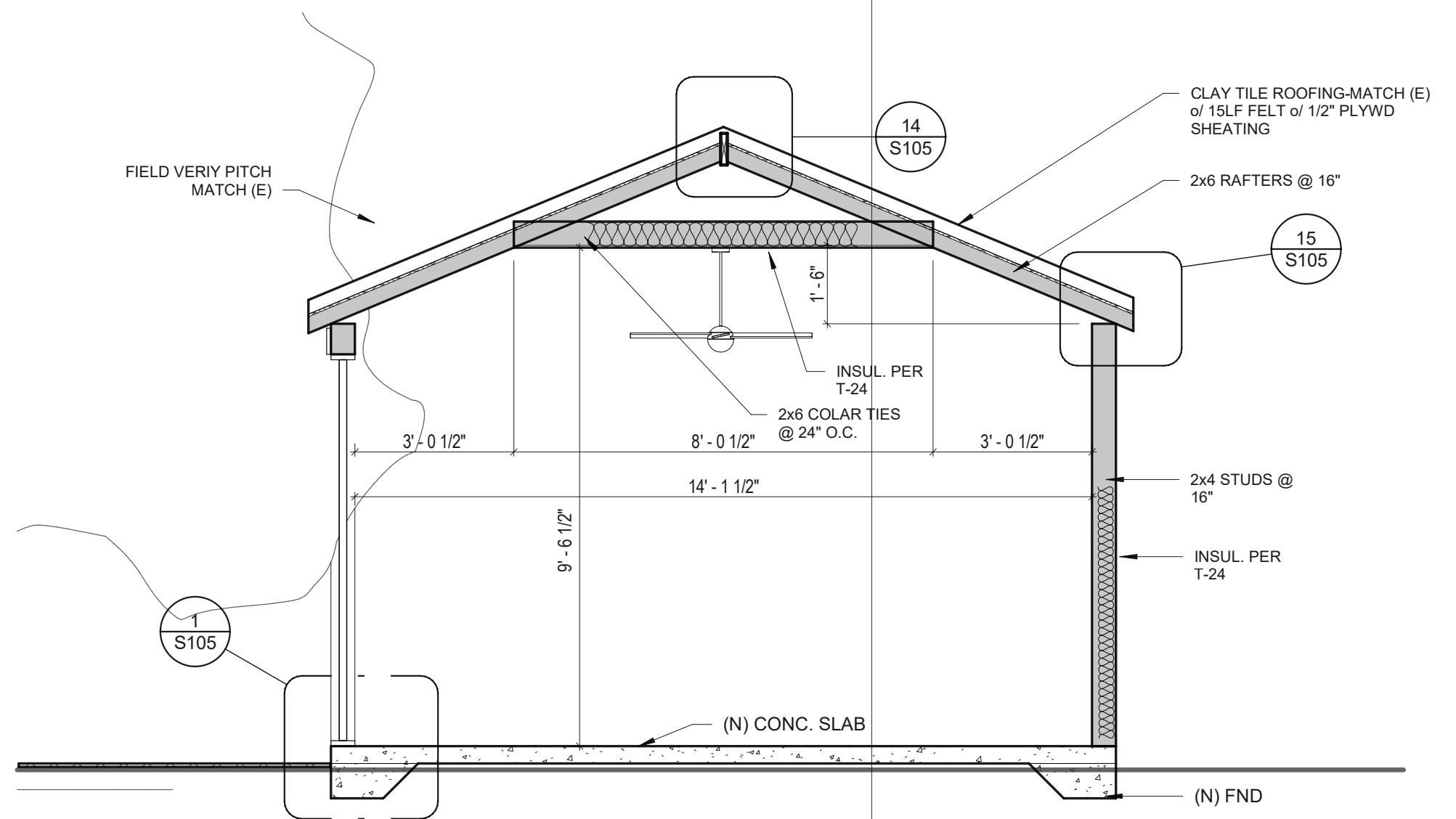
3 (N) RIGHT ELEVATION  
1/4" = 1'-0"



2 (N) LEFT ELEVATION  
1/4" = 1'-0"



4 (N) REAR ELEVATION  
1/4" = 1'-0"



1 Section 2  
3/8" = 1'-0"

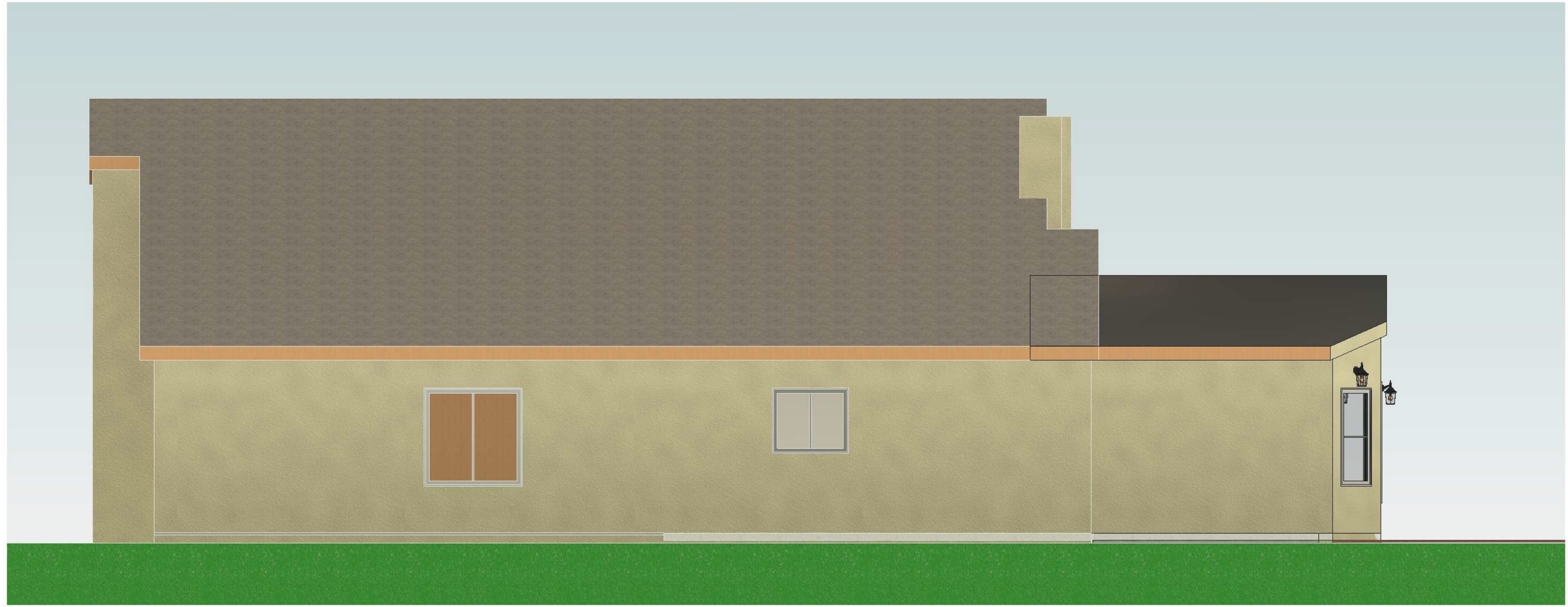
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*John Neal*

KEYNOTES

No.	Description	Date



1 (N) RIGHT ELEVATION-COLOR  
1/4" = 1'-0"



2 (N) LEFT ELEVATION-COLOR  
1/4" = 1'-0"



3 (N) REAR ELEVATION-COLOR  
1/4" = 1'-0"



(E) PHOTOGRAPH -1

174 SF DINING ROOM  
ROOM  
EXTENSION

504 Wenham Way  
Folsom, CA 95630  
APN: 072-0780-002

COLOR BOARD &  
EXISTING PHOTOS

CHECKED BY	Checker
DRAWN BY	Author
SCALE	1/4" = 1'-0"
DATE	02.24.2024
PROJECT NO.	24.003
PHASE NO.	

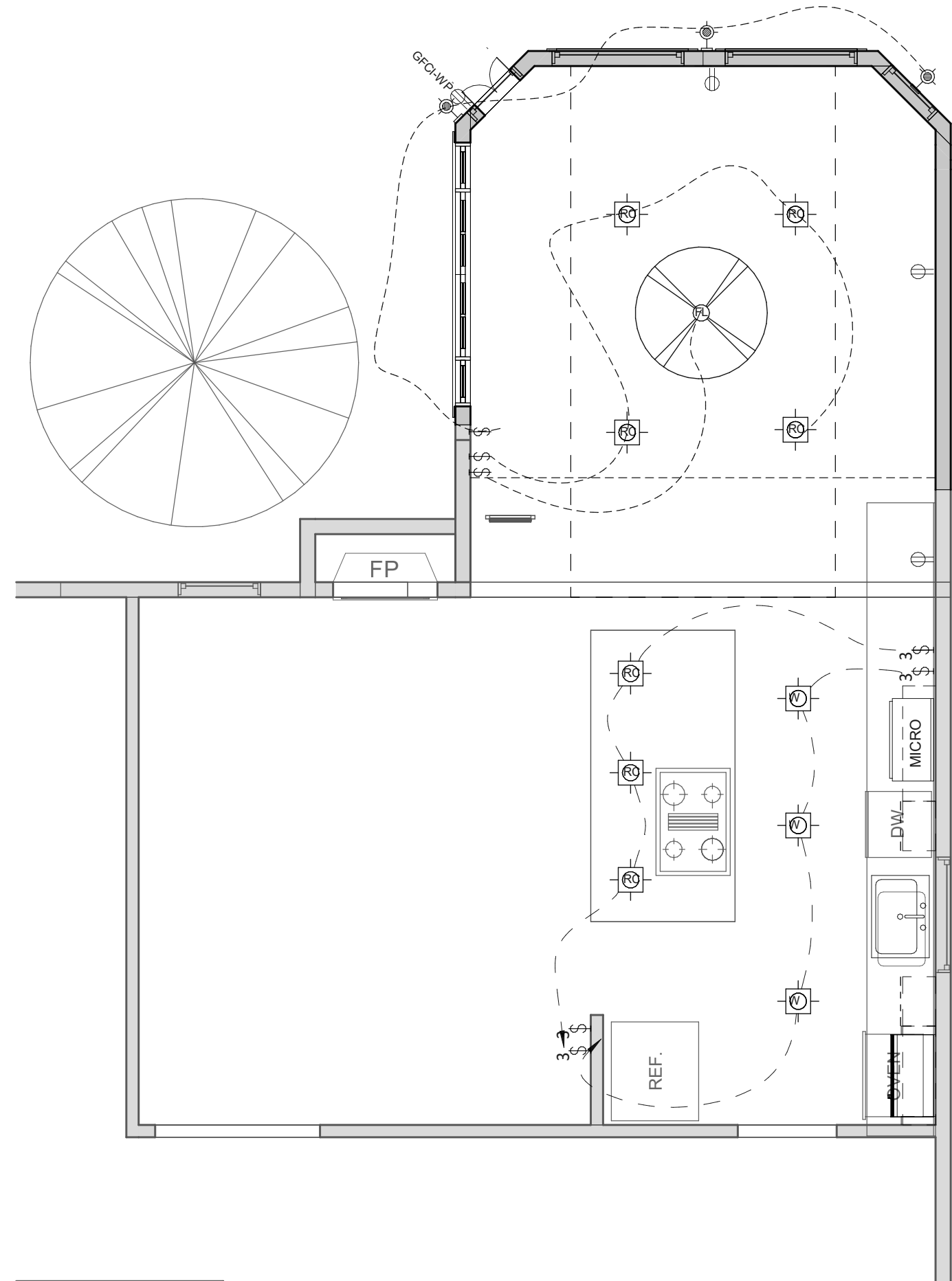


*John Neal*

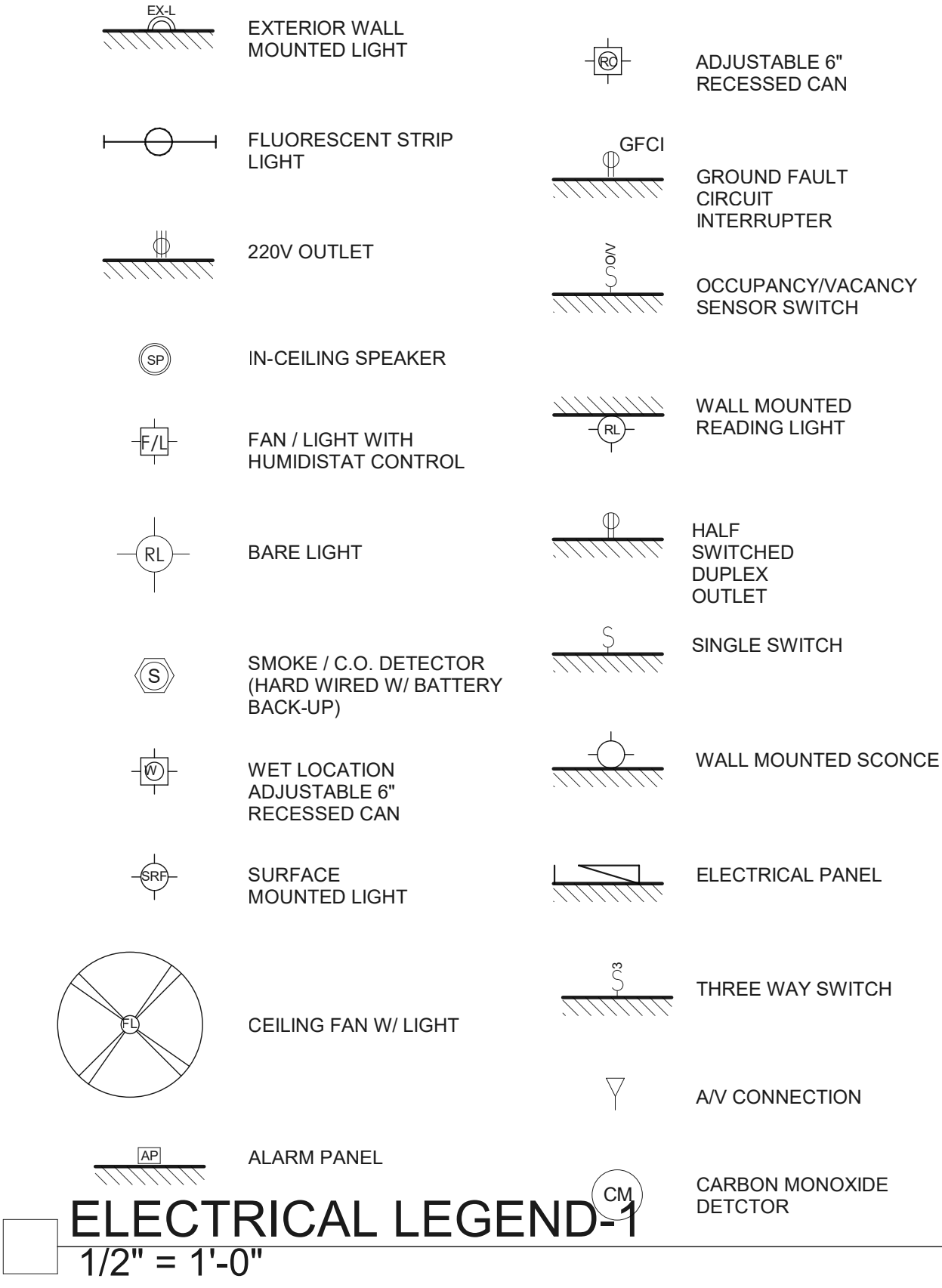
No.	Description	Date

ELECTRICAL FIXTURE SCHEDULE		
FAMILY	TYPE	COUNT
Ceiling Fan - Modern	White 42"	1
El_switch_Switch-3 way	EL_Switch - 3 Way	4
Outlet-Duplex	<varies>	5
Switch_Switch	EL_Switch - 3 Way	2
Switch_Switch - Wall Hosted	EL_Switch - Single Pole	3

LIGHTING FIXTURE SCHEDULE		
ITEM	TYPE	COUNT
Downlight - Recessed Can 2010	6" 100 watt Incandescent	7
Downlight - Wet Location	6" 60 watt Incandescent	3
Electrical_Ext Wall Light	EL_Exterior Wall Light - Fancy	3



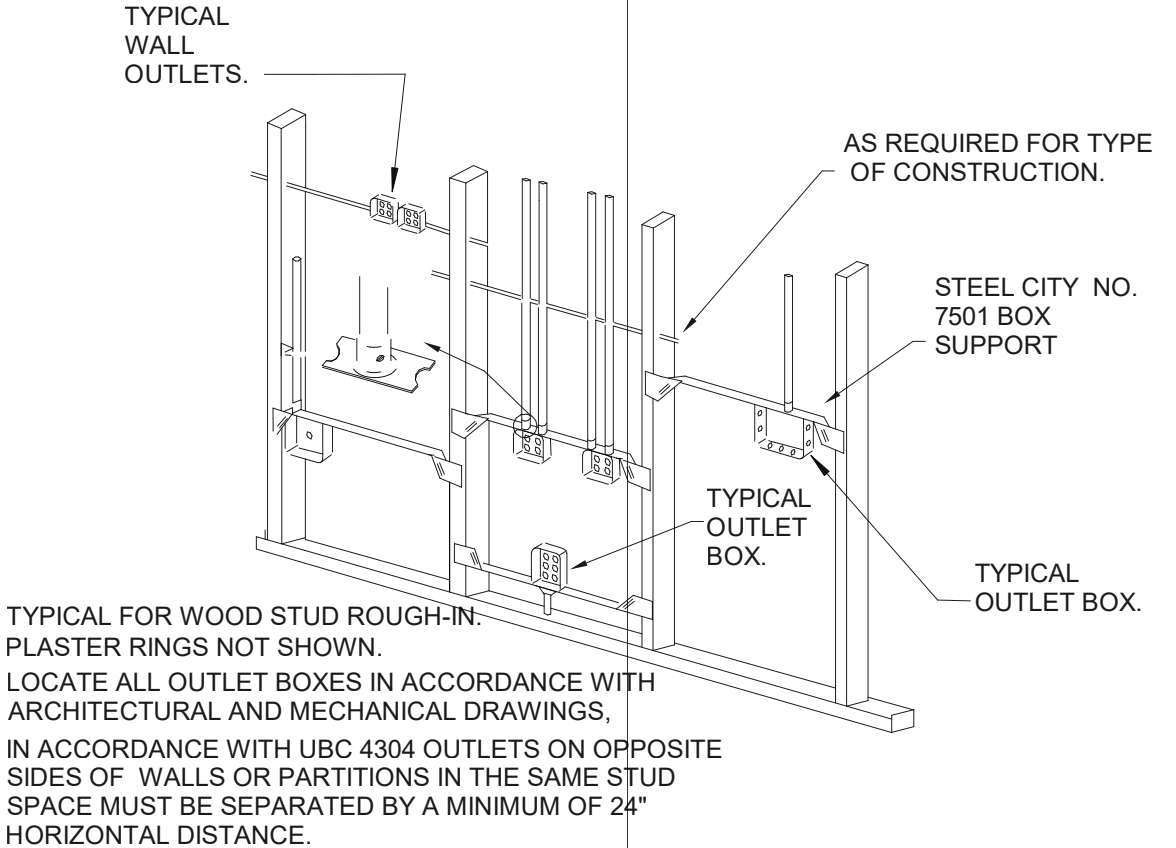
**1** 01-RCP-New  
1/4" = 1'-0"



**KEYNOTES**

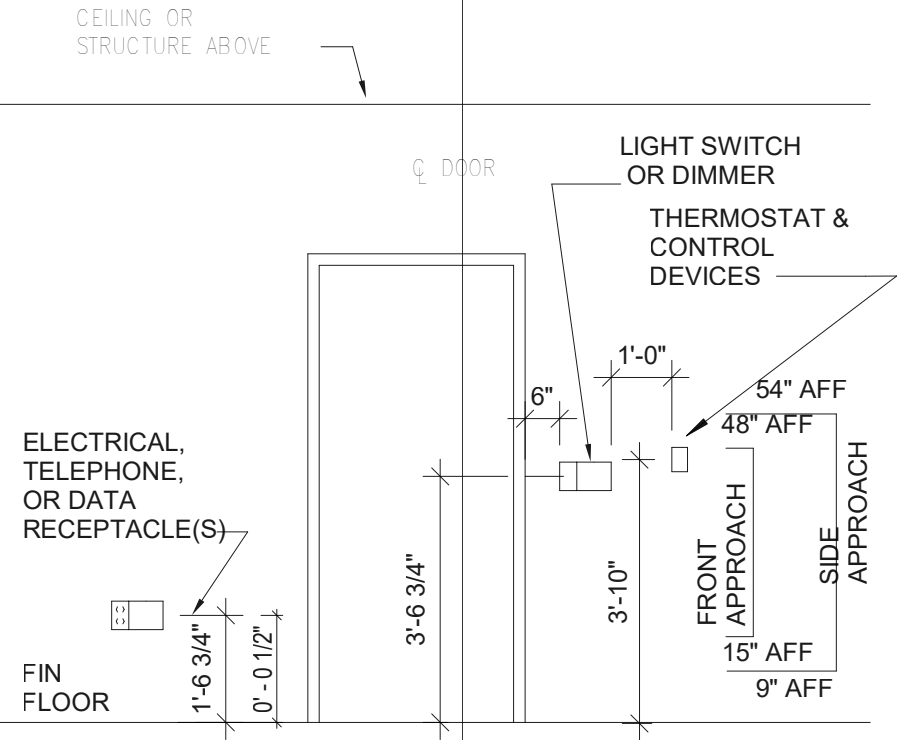
**NOTES**

- ALL FANS BOXES ARE LISTED FOR FAN USE
- EXTERIOR RECEPTACLES ARE GFCI, WEATHER PROOF AND REQUIRE 'IN USE' TYPE COVERS



**ROUGH-IN REQUIREMENTS DETAIL**

SCALE: 3/8" = 1'-0"



**FIXTURE HEIGHT LOCATION**

SCALE: 3/8" = 1'-0"

174 SF DINING ROOM EXTENSION

504 Wenham Way  
Folsom, CA 95630  
APN: 072-0780-002

1ST FLOOR ELECTRICAL PLANS

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SCALE	As indicated
DATE	02.24.2024
PROJECT NO.	24.003
PHASE NO.	

SHEET NO. **E101**

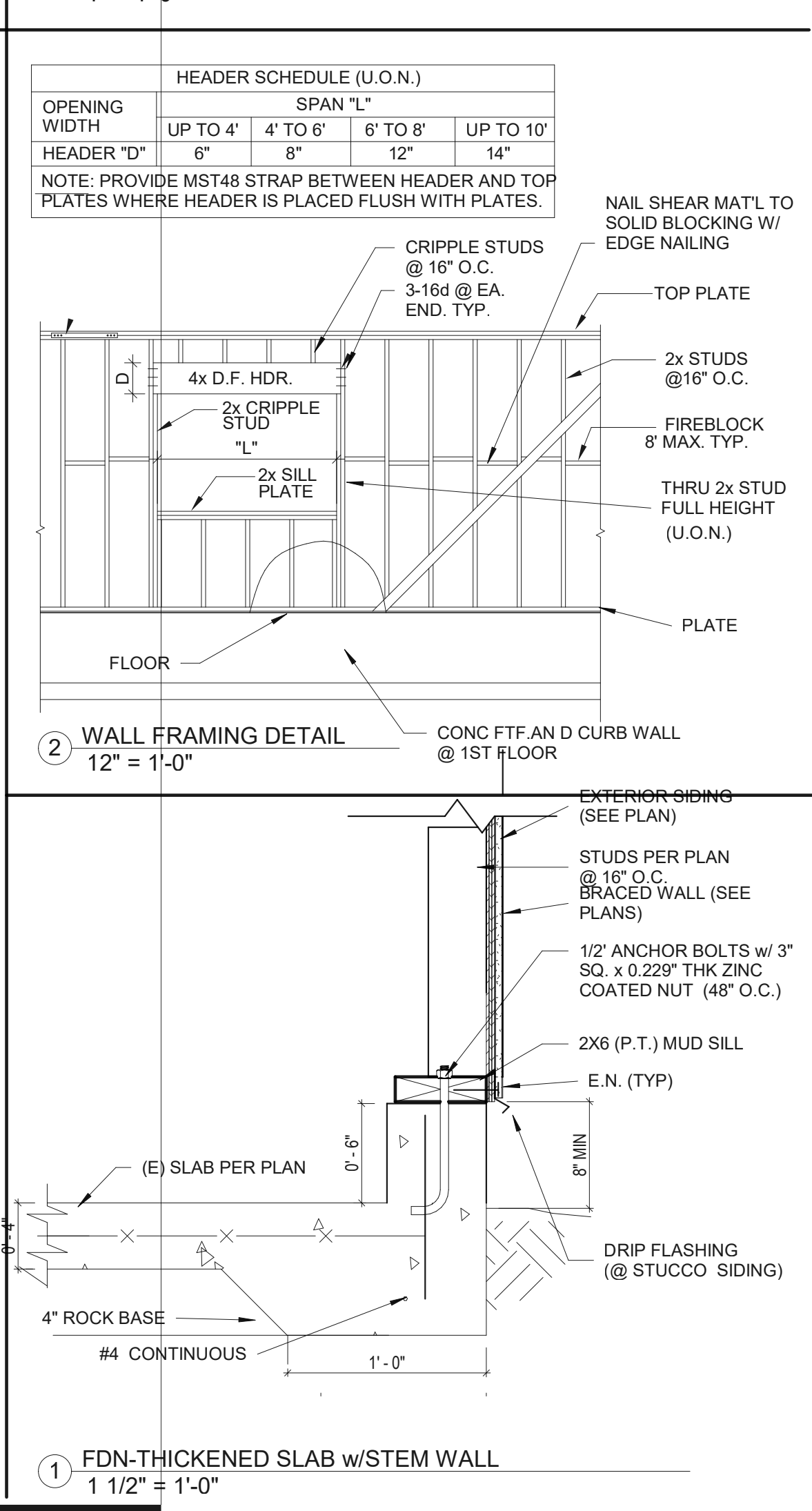
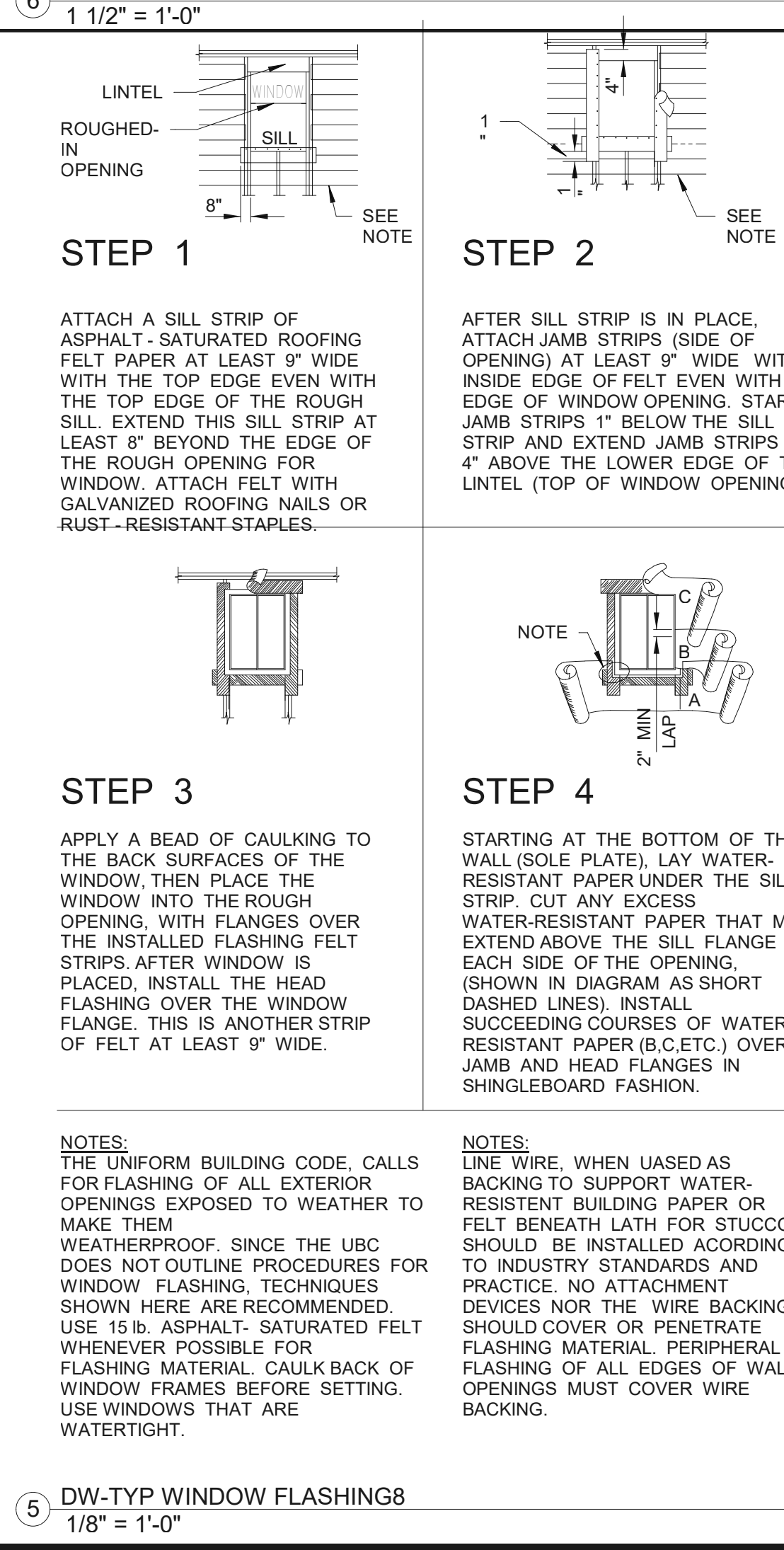
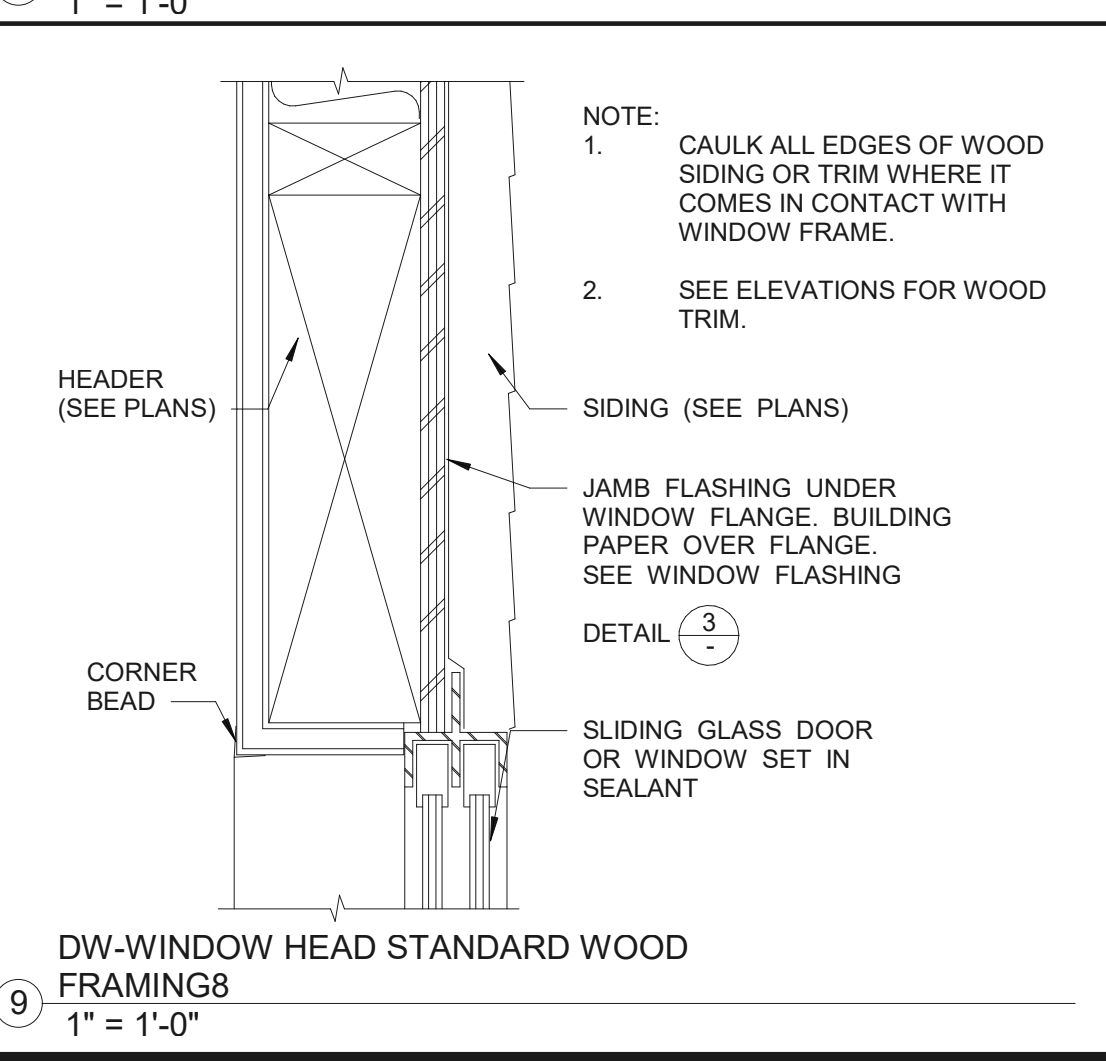
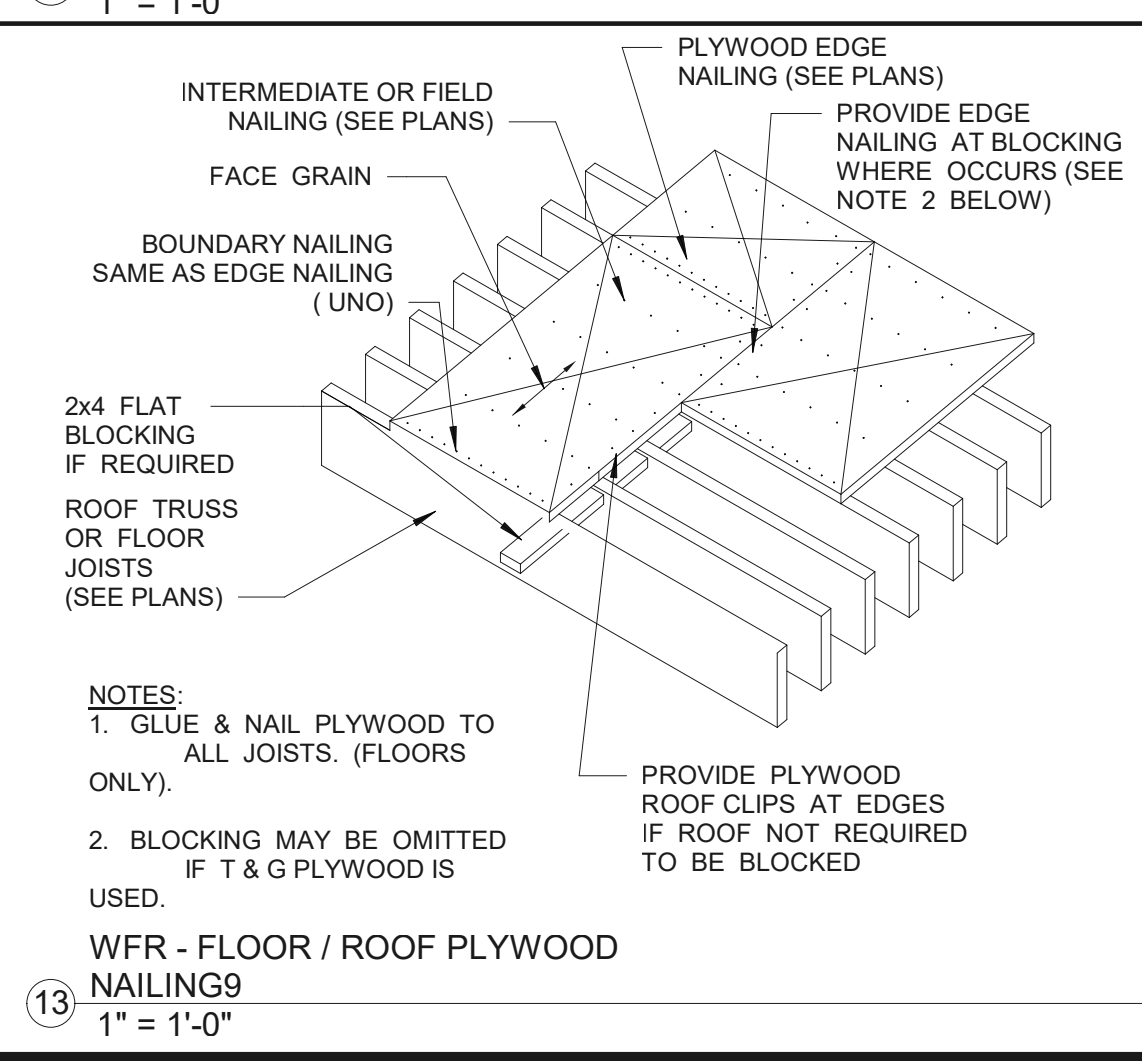
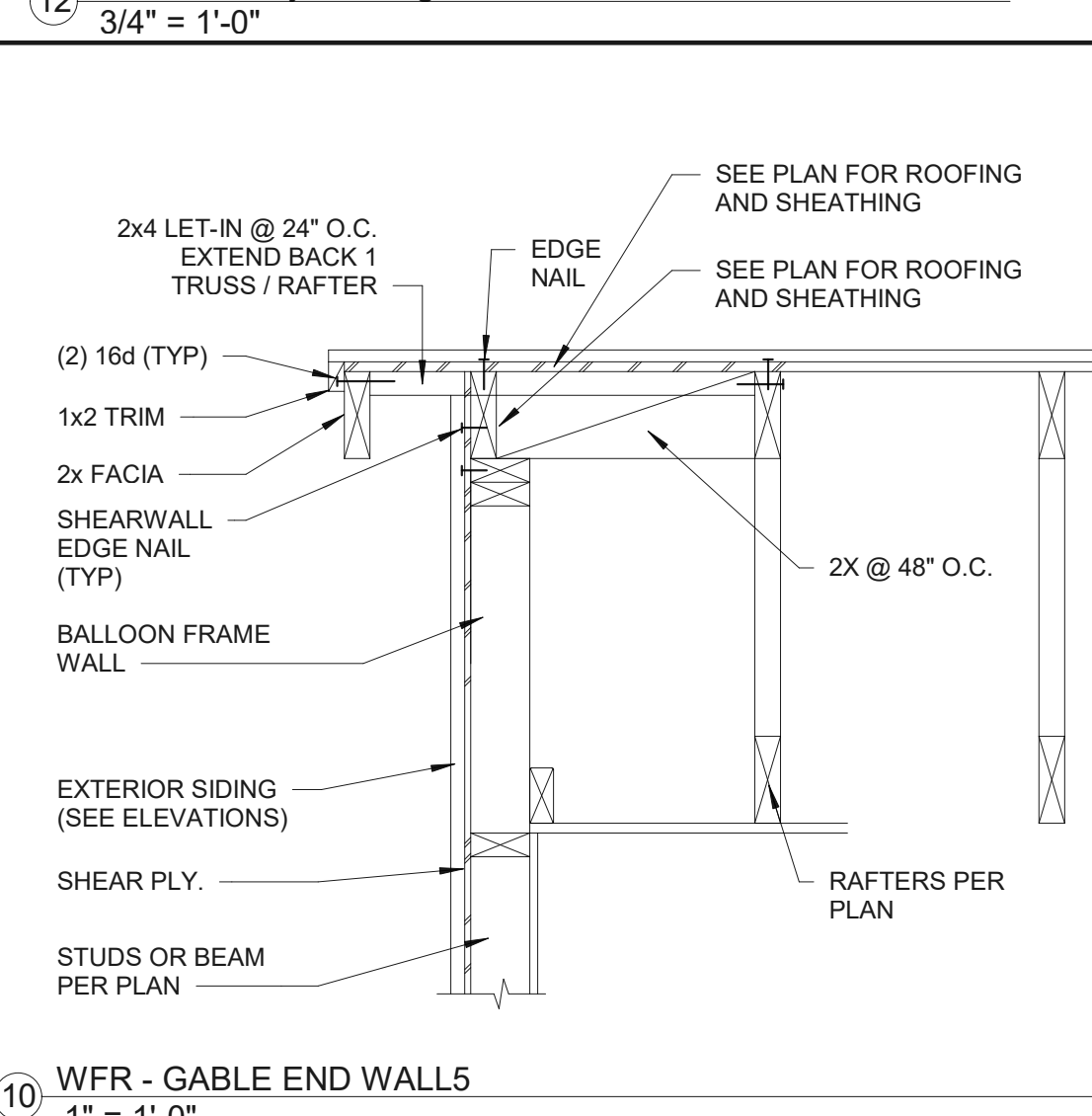
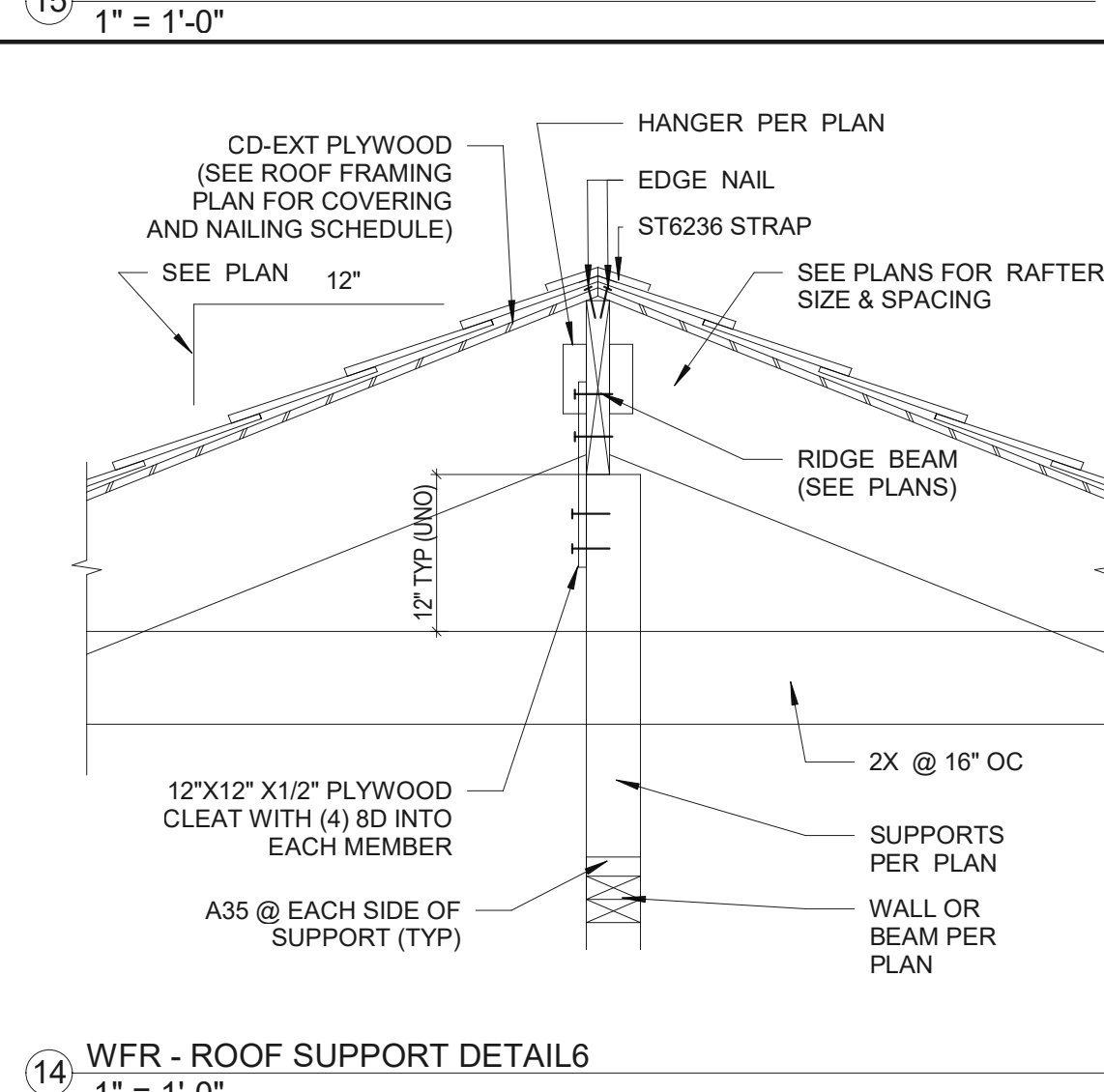
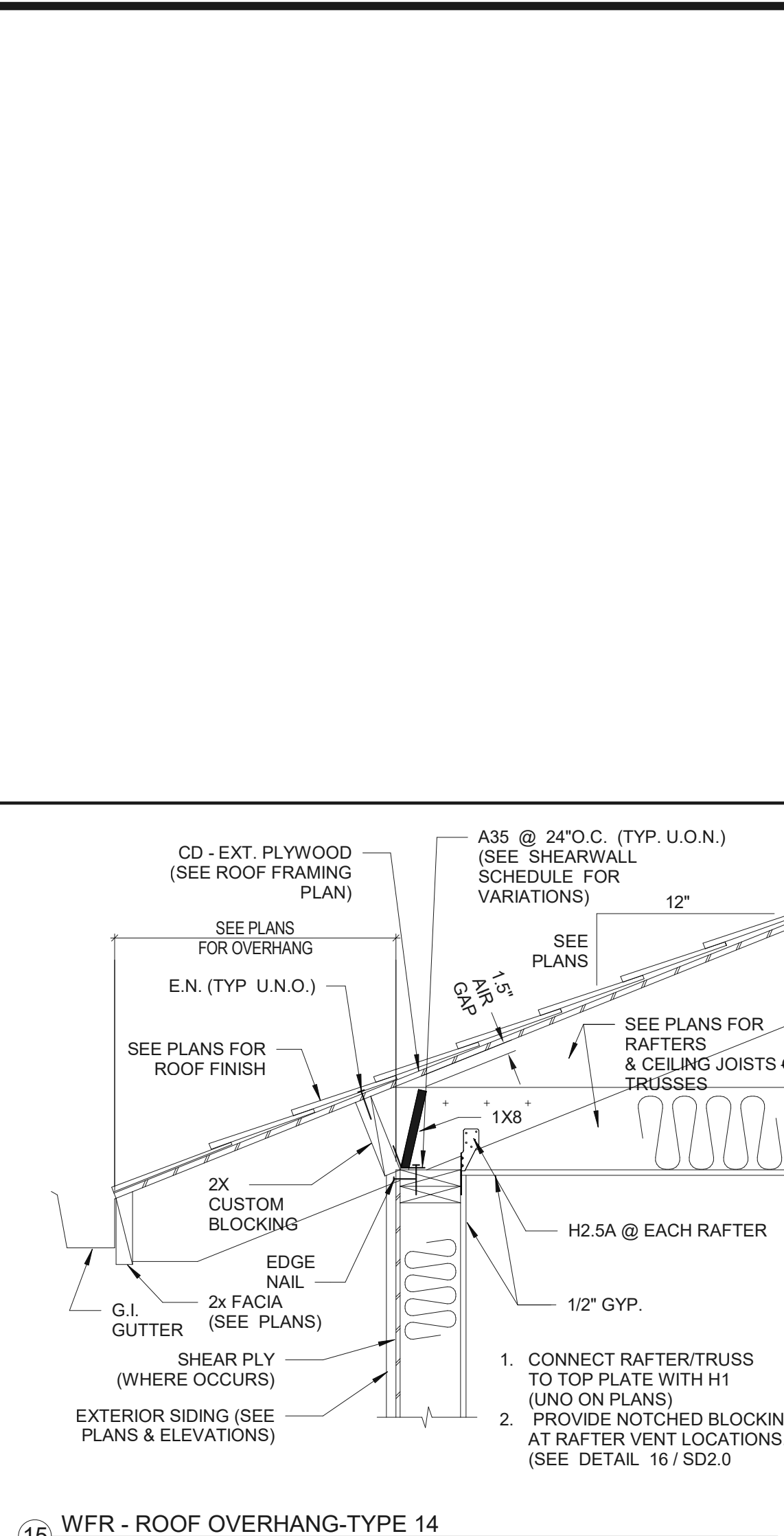
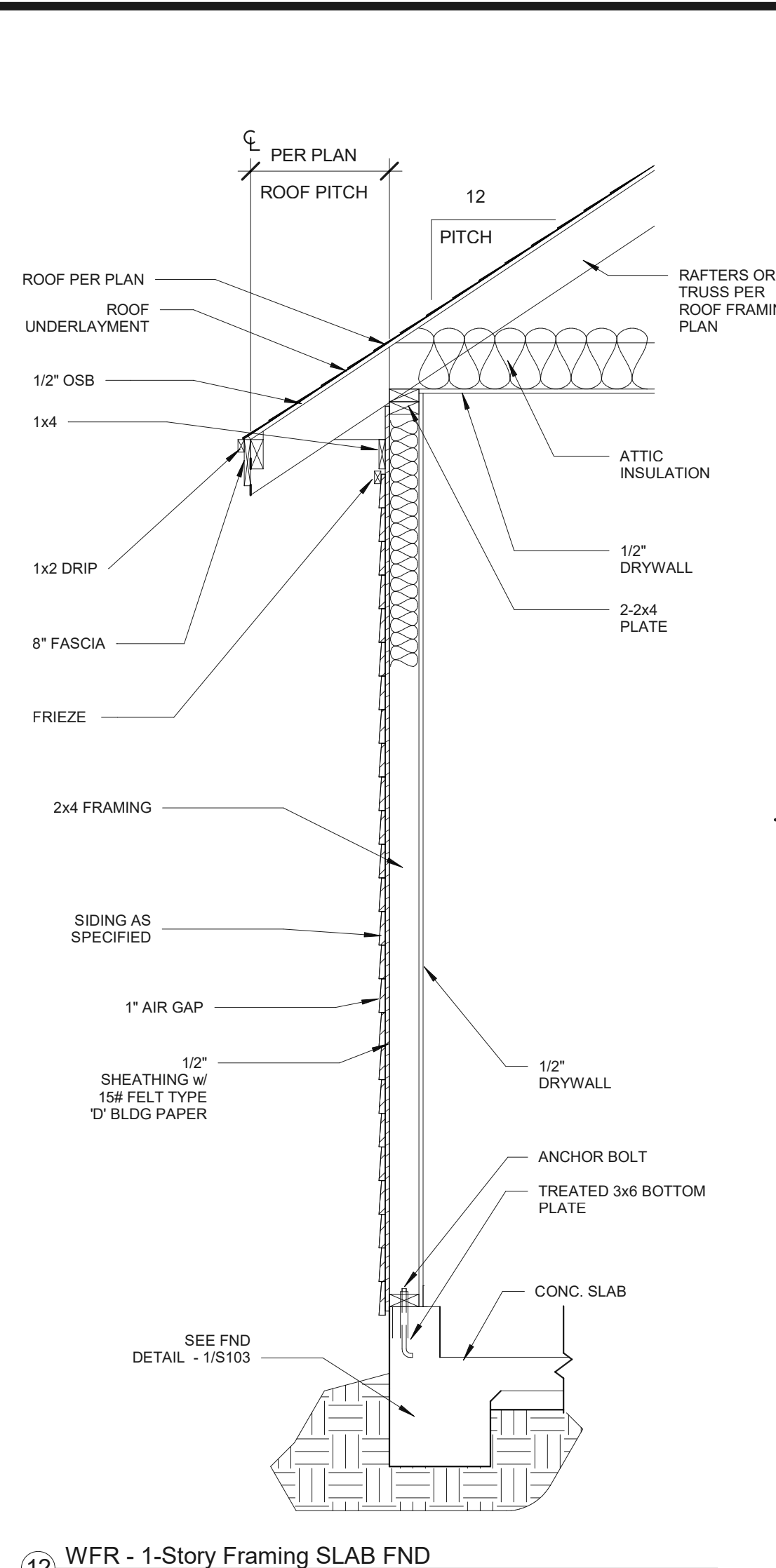
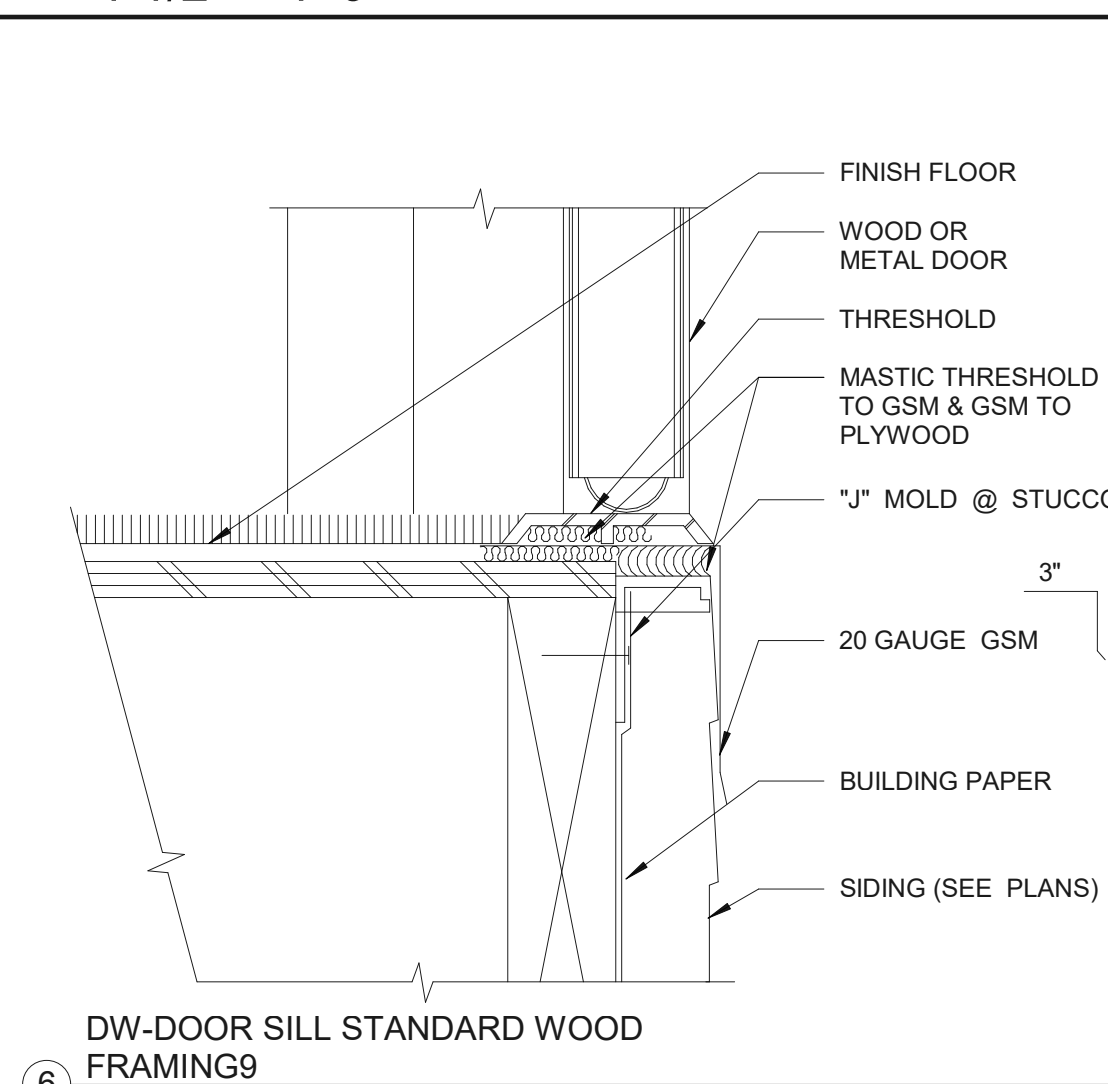
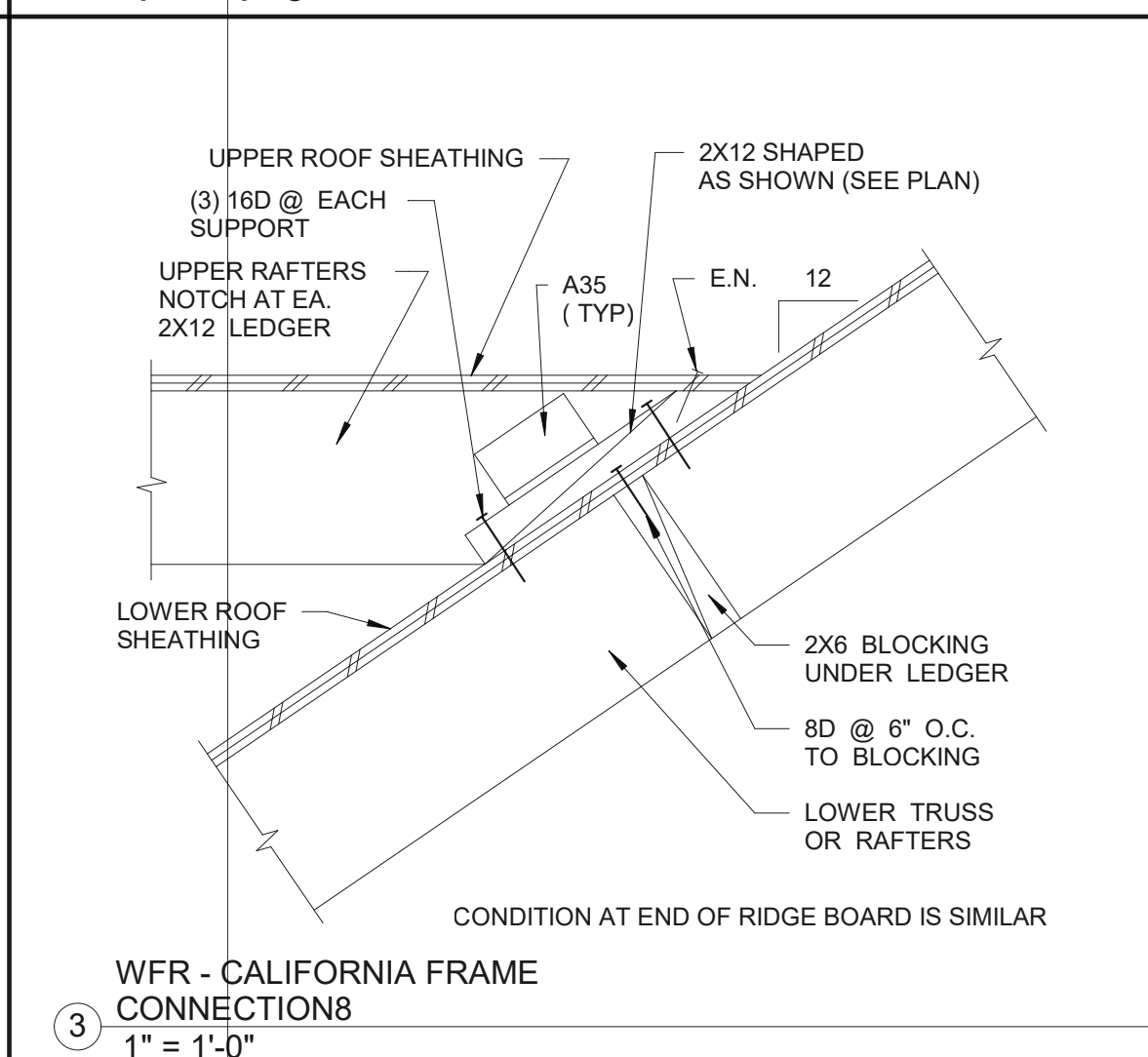
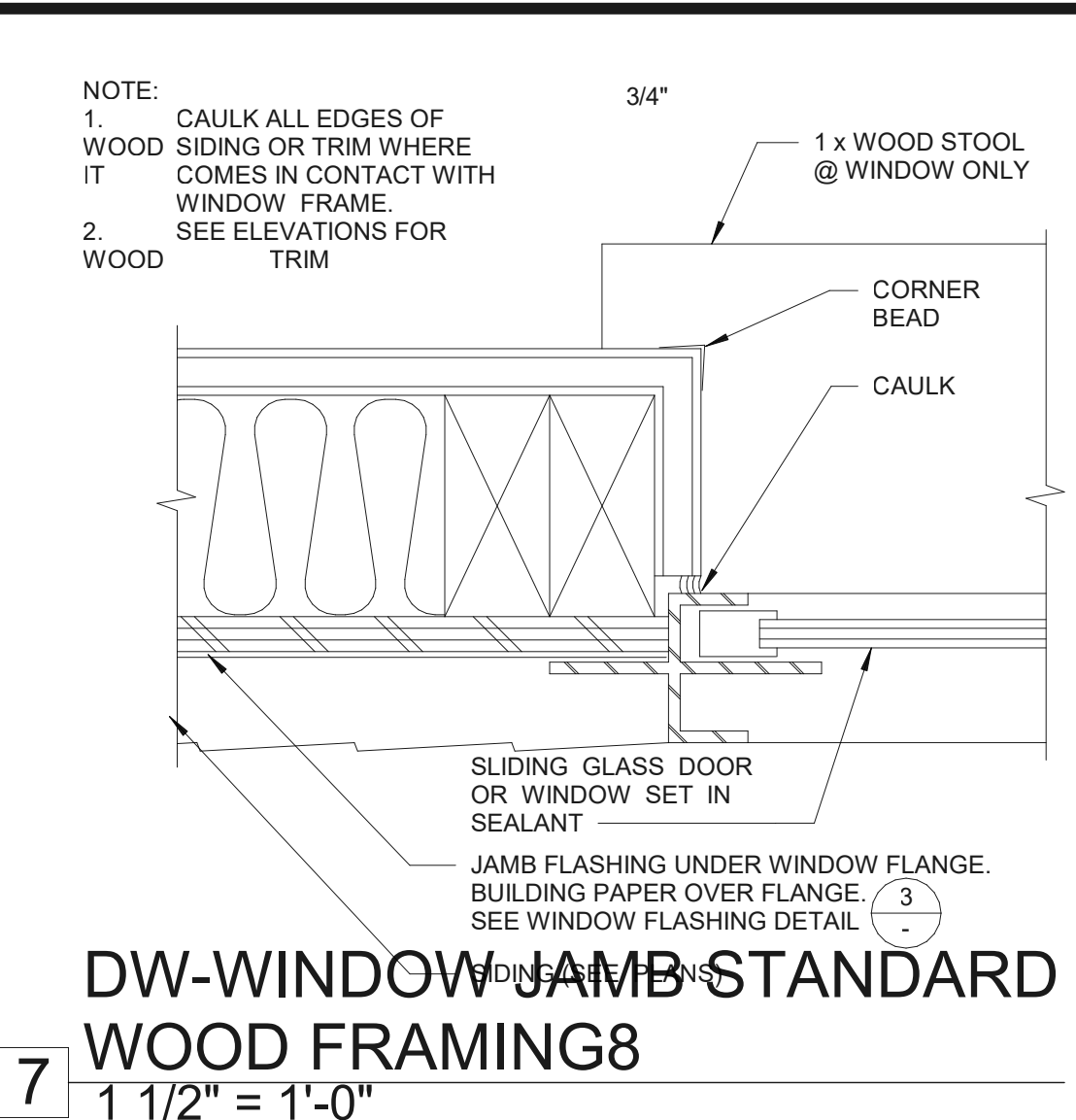
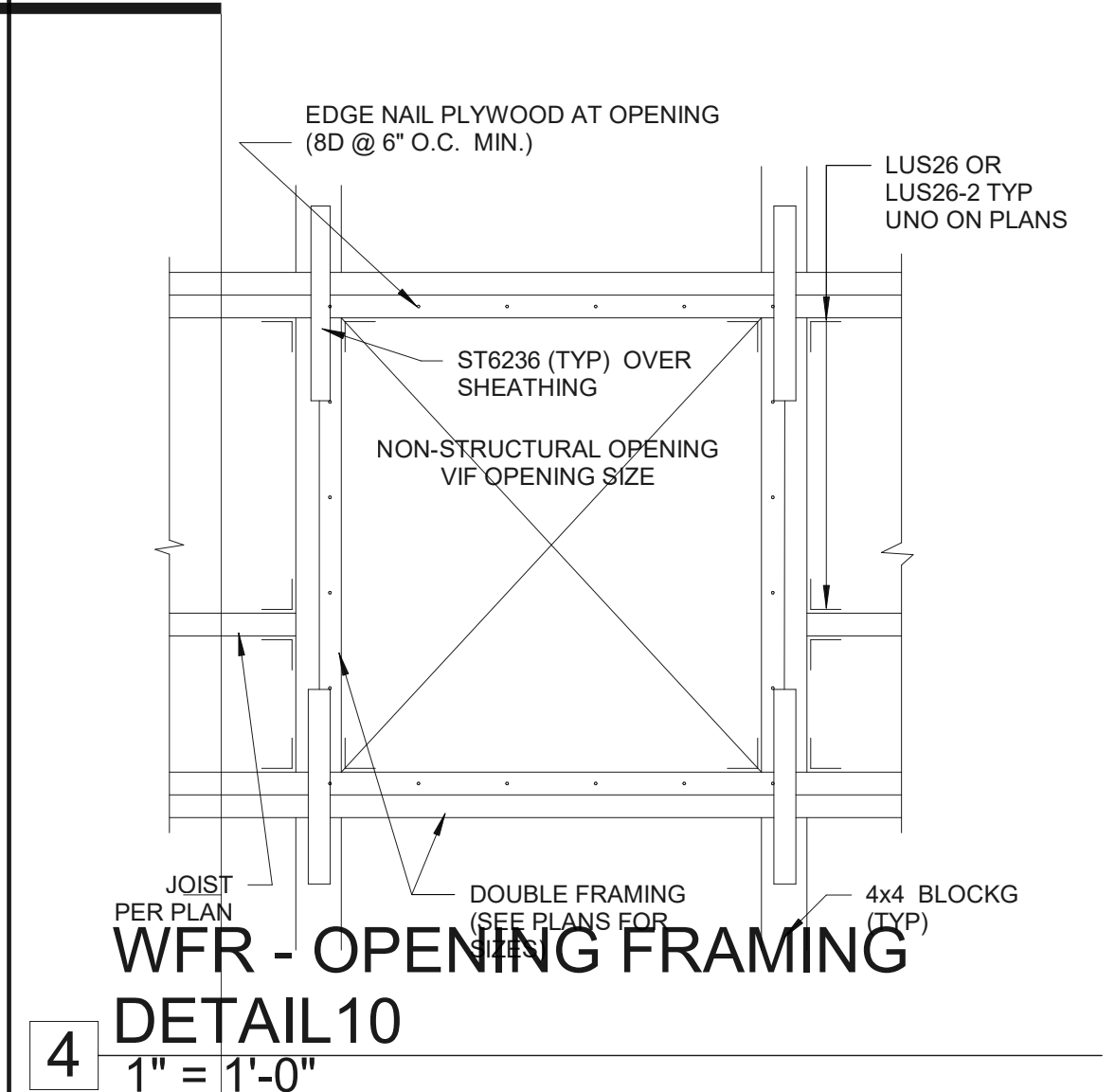


No.	Description	Date

174 SF DINING ROOM EXTENSION  
504 Wenham Way Folsom, CA 95630  
APN: 072-0780-002

STANDARD DETAILS

CHECKED BY: Checker  
DRAWN BY: Author  
SCALE: As indicated  
DATE: 02.24.2024  
PROJECT NO: 24.003  
PHASE NO: 24.003  
SHEET NO: S105



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