

OWNERSHIP OF DOCUMENTS

DRAWINGS AND SPECIFICATIONS AS INSTRUMENTS OF SERVICE ARE AND SHALL REMAIN THE PROPERTY OF DON BLESSEN & ASSOCIATES WHETHER THE PROJECT FOR WHICH THEY ARE MADE IS EXECUTED OR NOT. THEY ARE NOT TO BE USED BY THE CLIENT ON OTHER PROJECTS OR AS AN EXTENSION TO THIS PROJECT EXCEPT BY AGREEMENT IN WRITING WITH APPROPRIATE COMPENSATION TO DON BLESSEN & ASSOCIATES.

A NEW RESIDENCE FOR THE SINGH FAMILY

project data:

I. DESCRIPTION: RAVIPAL AND AMRIK SINGH - OWNERS
791 HERITAGE PL.,
FOLSOM, CA. 95630
A.P.N. 072-2170-018-0000

TYPE CONSTRUCTION

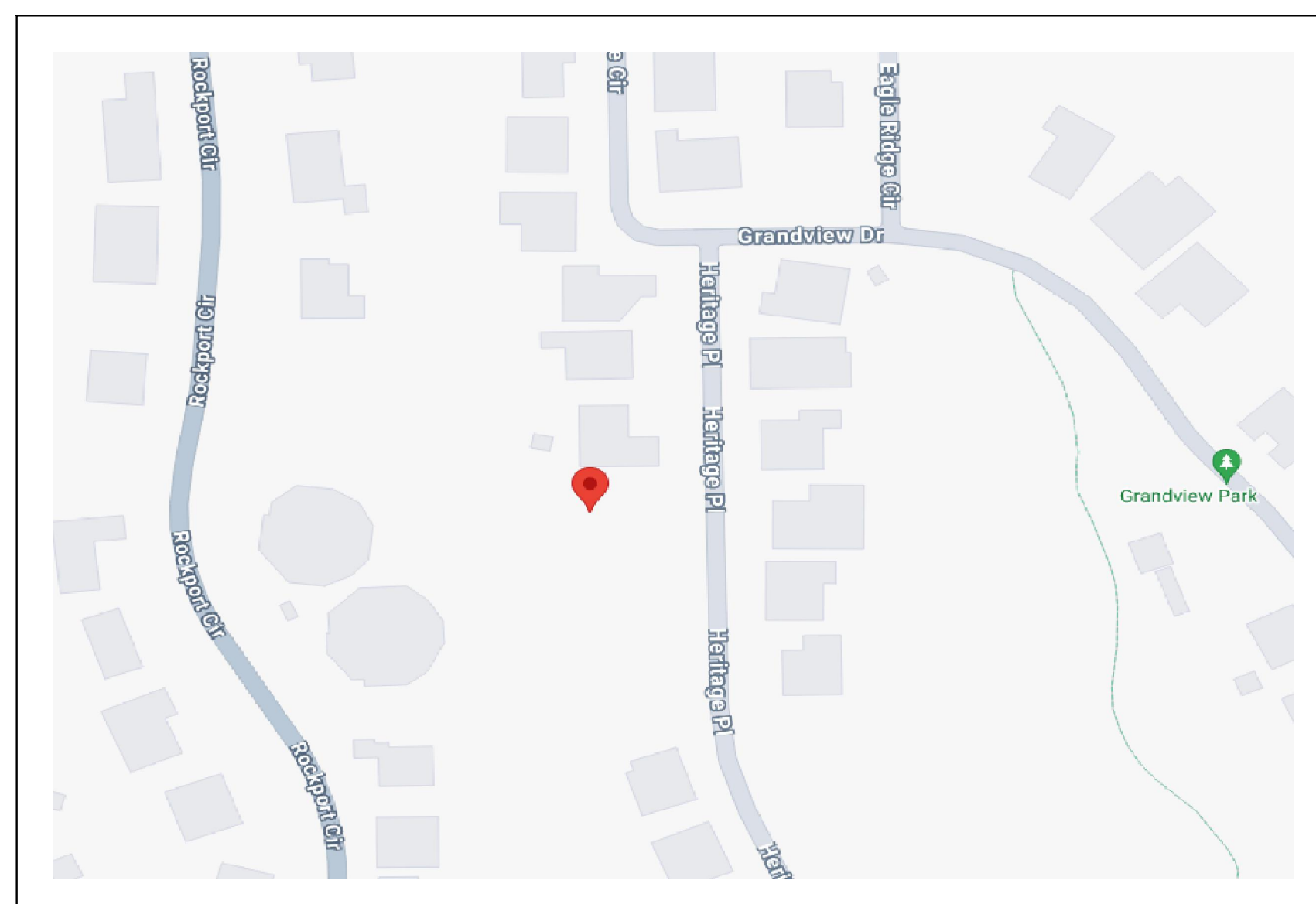
V-B (EQUIPPED WITH A SPRINKLER SYSTEM)

OCCUPANCY CLASSIFICATION

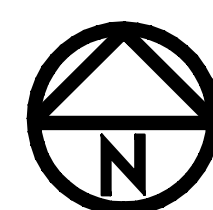
R-3/U BUILDING

NUMBER OF STORIES

THREE



VICINITY MAP



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LOADS	
ROOF	FLOOR
ROOFING (TILE) 10.0 psf	FLOORING 15 psf
SHEATHING 2.0	SHEATHING 2.5
FRAMING 4.5	FRAMING 3.5
CEILING 2.5	CEILING 2.5
SPRINKLERS 1.0	
SOLAR PANELS 5.0	
	D.L. 10.0 psf
SLOPE FACTOR x 25.0	LL. 40.0
D.L. 25.0 psf	50.0 psf
LL. 20.0	
NOTES: 45.0 psf	
DESIGN TO CONFORM TO THE 2022 CALIFORNIA RESIDENTIAL CODE.	
ALTERNATE SIMPLIFIED SEISMIC DESIGN PER 2022 CBC OF ASCE-17-16.	
HORIZONTAL FRAMING TO BE DOUG. FIR #2 UNLESS OTHERWISE NOTED.	
6x BEAMS TO BE DOUG. FIR #1 U.O.N.	
PRE-FAB TRUSS BY TRUSS MANUFACTURER.	
SLU-LAM BEAMS TO BE COMBINATION 24F-V4 DF/DF.	
CONCRETE STRENGTH AT 28 DAYS TO BE 2500 psi.	
REINF. STEEL TO CONFORM TO A.S.T.M. A615-40.	
STRUCTURAL STEEL TO CONFORM TO A.S.T.M. A-36.	
PROJECT DATA: WIND DESIGN: SPEED: V = 110 MPH	
SOILS DATA: EXPOSURE: C	
BEARING CAPACITY NOT TO EXCEED 2500 psf	
REPORT BY: YOUNSDAHL & ASSOC. SNOW LOAD DESIGN: WHEN OCCURS	
PROJ. NO. B08087174 DESIGN LOAD: N/A	
DATE: FEB. 2024 LOAD DURATION FACTOR ALLOWED: 1.25	
SEISMIC DESIGN: SITE CLASS: C REDUCTION FOR SLOPE: N/A	
SEISMIC DESIGN CATEGORY: D	
SDS = 0.40	
R = 6.5	
LONGITUDE = 98.67	
LATITUDE = 12.11	
EQUIVALENT LATERAL FORCE PROCEDURE	
SEISMIC FORCE-RESISTING SYSTEM	
LIGHT FRAMED WALLS SHEATHED WITH STRUCTURAL SHEAR PANELS	
RISK CATEGORY I/II/III	
SEISMIC IMPORTANCE = 1.0	

NOTES:

THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS IN THE FIELD PRIOR TO COMMENCEMENT OF WORK. ANY DISCREPANCIES OR ERRORS, APPARENT OR SUSPECTED, SHALL BE REPORTED TO DON BLESSEN & ASSOCIATES IMMEDIATELY.

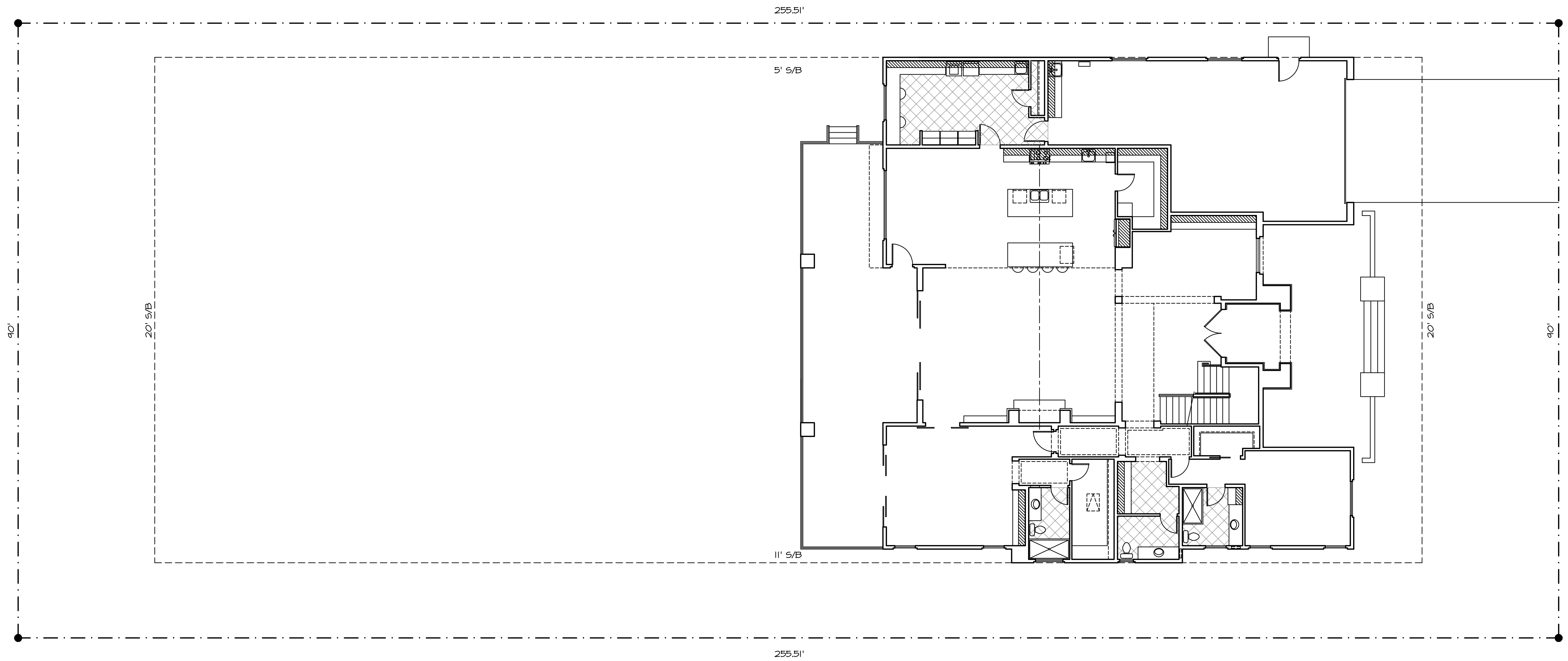
THESE PLANS ARE FOR GENERAL CONSTRUCTION PURPOSES ONLY. THEY ARE NOT FULLY SPECIFIED. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO SELECT, VERIFY, AND RESOLVE AND INSTALL ALL MATERIALS AND EQUIPMENT.

ALL CONSTRUCTION SHALL MEET OR EXCEED THE 2022 EDITION OF CODES ADOPTED BY THE LOCAL GOVERNING AGENCIES. THESE SHALL INCLUDE THE 2022 CALIFORNIA BUILDING CODE (CBC), 2022 CALIFORNIA RESIDENTIAL CODE (CRC), 2022 CALIFORNIA GREEN BUILDING STANDARDS (CGBSC), 2022 CALIFORNIA MECHANICAL CODE (CMC), 2022 CALIFORNIA PLUMBING CODE (CPC), 2022 CALIFORNIA ENERGY STANDARDS (CEC PART 6), 2022 CALIFORNIA FIRE CODE (CFC), 2022 CALIFORNIA ELECTRIC CODE (CEC), AND THE 2022 CALIFORNIA BUILDING CODE.

DON BLESSEN & ASSOCIATES WILL NOT BE OBSERVING CONSTRUCTION OF THIS PROJECT. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR THE QUALITY CONTROL AND CONSTRUCTION STANDARDS FOR THIS PROJECT.

AREA TABULATION sq. ft.

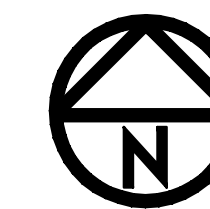
	TOTAL
MAIN LEVEL FLOOR (LIVABLE)	3557
SECOND LEVEL FLOOR	1834
BASEMENT LEVEL FLOOR	1258
GARAGE	862
PATIO(S), PORCH(S), BALCONY	1603
TOTAL (LIVABLE)	6654



SITE / GRADING NOTES:

1. FINISH GRADE SHALL SLOPE AT 2% MINIMUM AWAY FROM ALL STRUCTURES FOR A MINIMUM OF 10'.
2. THE FOUNDATION DESIGN IS ONE WHICH IS BASED UPON STABLE, DRY, NON-EXPANSIVE / NON-FILL TYPE MATERIAL. ANY CONDITION WHICH DEVIATES FROM THIS, BY OBSERVATION, THE CONTRACTOR SHALL REQUIRE THAT THE SOIL BE EVALUATED FOR SOIL STRENGTH, INCLUDING THE EFFECTS OF MOISTURE VARIATION, SOIL BEARING CAPACITY, COMPRESSIBILITY, LIQUEFACTION AND EXPANSIVENESS.
3. REMOVE ALL TREES AND PLANTS, INCLUDING ALL ROOTS, WITHIN 5' FROM FOUNDATION.
4. ON GRADED SITES, THE TOP OF ANY EXTERIOR FOUNDATION SHALL EXTEND ABOVE THE ELEVATION OF THE STREET GUTTER AT POINT OF DISCHARGE AT THE INLET OR AN APPROVED DRAINAGE DEVICE A MIN. OF 12" + 2%.
5. BUILDING FOUNDATIONS SHALL BE LOCATED CLEAR OF TOE OF ALL SLOPES BY A MIN. DISTANCE OF 1/2 THE HEIGHT OF THE SLOPE, BUT NEED NOT EXCEED 15' MAXIMUM.
6. BUILDING FOUNDATIONS SHALL BE LOCATED CLEAR OF TOP OF ALL SLOPES OR RETAINING STRUCTURES BY A DISTANCE OF 1/3 THE HEIGHT OF THE SLOPE, BUT NEED NOT EXCEED 40'.
7. PROJECTIONS BEYOND THE EXTERIOR WALL OF DWELLINGS AND ACCESSORY STRUCTURES SHALL NOT EXTEND CLOSER THAN 2" FROM THE PROPERTY LINE. PROJECTIONS LOCATED LESS THAN 5' FROM THE PROPERTY LINE SHALL HAVE A MIN. ONE-HOUR FIRE RESISTANCE RATING ON THE UNDERSIDE UNLESS FIREBLOCKING IS PROVIDED FROM THE WALL TOP PLATE TO THE UNDERSIDE OF THE ROOF SHEATHING OR GABLE VENTS ARE NOT INSTALLED.
8. ALL FILL AREAS SHALL BE COMPACTED TO 95% RELATIVE COMPACTION, TESTED, BY A QUALIFIED GEOTECH ENGINEER, AND A REPORT WRITTEN.

SITE PLAN



SITE PLAN

VERSION:
SEPT. 2022

SCALE:
1/8" = 1'-0"

FILE NAME:

2
OF
20

A.P.N. 072-2170-018-0000
SINGH RESIDENCE, 791 HERITAGE PLACE, FOLSOM, CA. 95630

Mercado
Construction & Design, Inc.

Design / Build
Residential
Commercial
916.984.8466
MercadoCD.com

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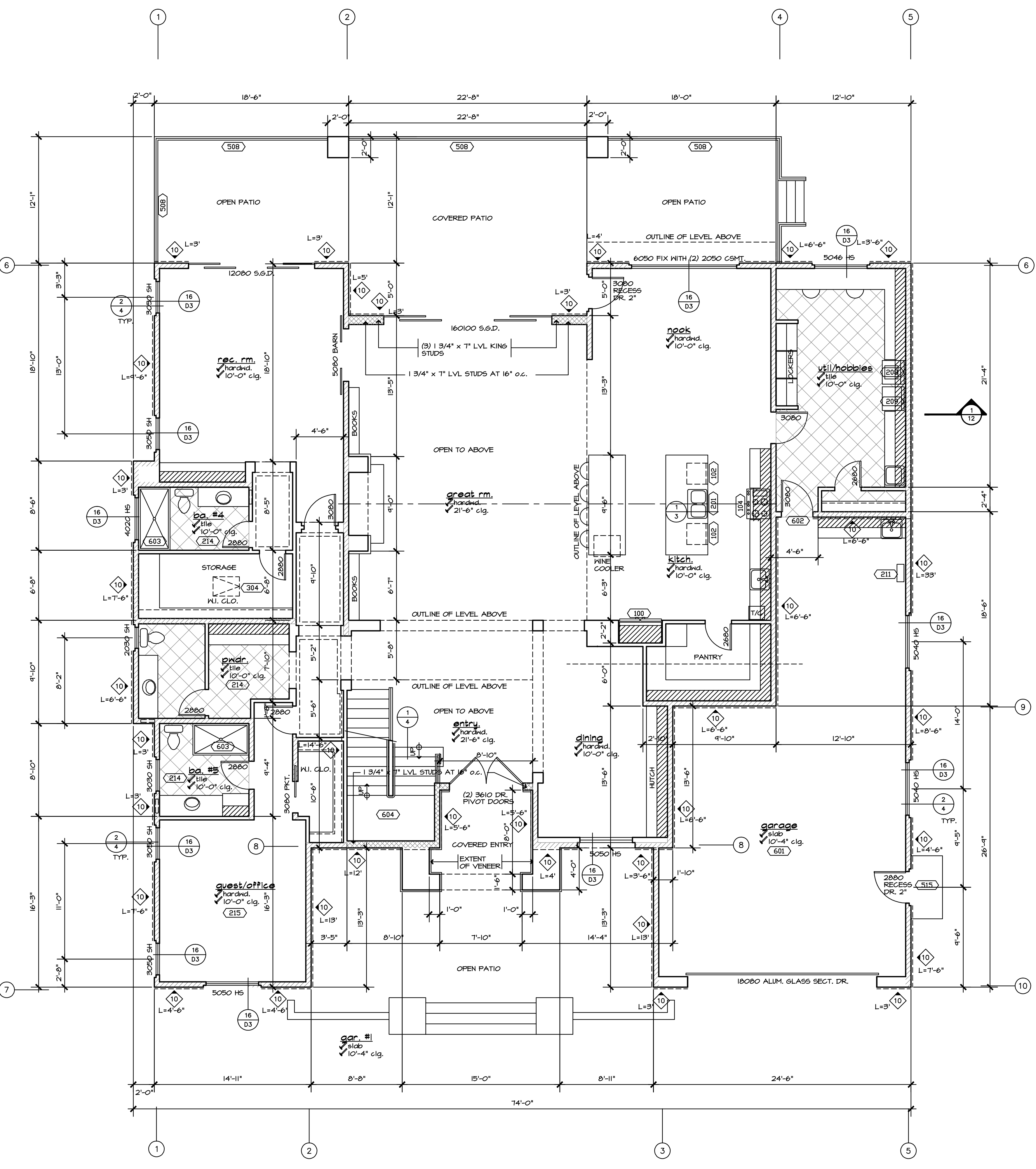
SEE SHEET D1 FOR SHEAR WALL, HOLDOWN, SILL PLATE AND ANCHOR BOLT SCHEDULES

KEYNOTES:

- 100/APP. REFRIGERATOR PROVIDE RECESS w/ HOSE BIBB FOR ICE MAKER
- 102/APP. DISHWASHER AN APPROVED DISHWASHER AIR GAP FITTING IS REQUIRED
- 104/APP. RANGE WITH DOUBLE OVENS, HOOD AND EXHAUST FAN VENTED TO OUTSIDE
- 105/APP. ZERO CLEARANCE FIREPLACE WITH RAISED HEARTH, DIRECT VENT SEALED COMBUSTION TYPE. PROVIDE INSULATED FLUE, RAIN CAP, AND FIRESTOPS AS REQUIRED FOR A COMPLETE INSTALLATION. ALL GAS OUTLETS LOCATED IN A FIREPLACE SHALL BE CONTROLLED BY AN APPROVED VALVE LOCATED IN THE SAME ROOM & OUTSIDE THE HEARTH BUT NOT MORE THAN 4" FROM SUCH OUTLETS AS PER 2022 C.P.C. IF THE FIREPLACE IS EQUIPPED WITH A GAS LOG THE DAMPER SHALL BE PERMANENTLY BLOCKED OPEN TO A SUFFICIENT AMOUNT TO PREVENT SPILLAGE OF COMBUSTION PRODUCTS INTO THE ROOM. WHEN EQUIPPED WITH A PILOT, GAS LOSS SHALL HAVE A LISTED SAFETY SHUTOFF VALVE
- 201/PLUMB DOUBLE SINK WITH DISPOSAL
- 208/PLUMB WASHER - PROVIDE RECESSED VALVE AND DRAIN BOX
- 209/PLUMB DRYER - VENT TO OUTSIDE. MOISTURE EXHAUST DUCT IS LIMITED TO 14" WITH ELBOWS FROM THE CLOTHES DRYER TO POINT OF TERMINATION. REDUCE THIS LENGTH BY 2" FOR EVERY ELBOW IN EXCESS OF 2. DRYER VENT MAY NOT BE VENTED TO UNDER FLOOR SPACE.
- 211/PLUMB TANKLESS DIRECT VENT WATERHEATER GAS PIPING SHALL BE CAPABLE OF 300,000 BTU PER THE 2022 CALIFORNIA ENERGY CODE
 A PERMITTED GROUNDING ELECTRODE TYPE SHALL BE INSTALLED AS LISTED IN CEC 250.52
 ALL 120-VOLT, SINGLE PHASE, 15 & 20-AMP BRANCH CIRCUITS SUPPLYING OUTLETS INSTALLED IN KITCHENS, DINING ROOMS, FAMILY ROOMS, LIVING ROOMS, PARLORS, LIBRARIES, DEN, BEDROOMS, SUNROOMS, REC ROOMS, CLOSETS, LAUNDRY AREAS, HALLWAYS, AND SIMILAR ROOMS SHALL BE PROTECTED BY A LISTED ARC-FAULT CIRCUIT INTERRUPTER OR COMBINATION TYPE, INSTALLED TO PROVIDE PROTECTION OF THE BRANCH CIRCUIT.
- 212/PLUMB PROVIDE A 100 SQ. IN. LOUVER VENT IS TO BE LOCATED ABOVE THE DOOR TO ALLOW FOR MAKEUP AIR PER CMC 504.3.1
- 214/BATHROOMS
 1. 30" MIN. CLEARANCE SIDE-TO-SIDE OF WATER CLOSETS.
 2. TEMPERED GLASS REQUIRED FOR ALL SHOWER DOORS.
 3. 1.20 GALLON PER FLUSH FOR WATER CLOSETS
 4. 8 gpm AT 60 PSI FOR SHOWER HEADS
 5. 1.2 gpm AT 60 PSI FOR LAVATORY FAUCETS
- 215/EGRESS
 1. 5.7 MIN. SQUARE FOOTAGE
 2. MINIMUM WINDOW DIMENSIONS ARE TO BE 20" WIDE X 24" HEIGHT
 3. MAXIMUM HEIGHT, OF BOTTOM OF WINDOW, IS NOT TO EXCEED 44"
 4. FOR BASEMENTS WINDOW DIMENSIONS ARE TO BE A MINIMUM OF 36" WIDE X 36" HEIGHT, WITH A FULLY FUNCTIONING WINDOW COORDINATING WITH THE WINDOW FRAME. INCLUDE WINDOW PELTS THAT PROVIDE ENOUGH CLEARANCE FOR ESCAPE, INCLUDING LADDERS.
- 304/CABS THIRTY INCH MINIMUM HEADROOM AT ATTIC ACCESS.
 ACCESS REQUIRED IS 22" X 30" WITH NO EQUIPMENT IN ATTIC. NOT TO BE LOCATED ABOVE CLOSET SHELF OR EQUIPMENT WITH EQUIPMENT PROVIDE 30" X 30". EXCEPTION THE ACCESS OPENING INTO THE SPACE MAY BE 22" X 30" PROVIDED THE LARGEST PIECE OF EQUIPMENT CAN BE REMOVED THROUGH THE OPENING.
 A. AN ACCESS OPENING LARGE ENOUGH TO REMOVE THE LARGEST PIECE OF EQUIPMENT, BUT NOT LESS THAN 22" BY 30"
 B. AN UNOBSTRUCTED PASSAGEWAY WHICH:
 1. IS LARGE ENOUGH TO REMOVE THE LARGEST PIECE OF EQUIPMENT BUT NOT LESS THAN 30" WIDE,
 2. IS NO MORE THAN 20" IN LENGTH WHEN MEASURED ALONG THE CENTER LINE OF THE PASSAGEWAY FROM THE ACCESS OPENING TO THE EQUIPMENT, AND
 3. HAS CONTINUOUS SOLID FLOORING NOT LESS THAN 24" WIDE THROUGHOUT ITS LENGTH, AND
 C. A LEVEL SERVICE SPACE (INSPECTION, REPAIR, AND REPLACEMENT) NOT LESS THAN 30" IN DEPTH, WIDTH, AND HEIGHT OF THE WORKING SPACE AND 30" WIDE LOCATED AT THE FRONT OR SERVICE SIDE OF THE EQUIPMENT.
 D. PROVIDE A PERMANENT ELECTRIC OUTLET WITHIN 25' OF THE MECHANICAL UNITS AND FLUORESCENT LIGHT FIXTURE. FLUORESCENT LIGHT CONTROLLED BY A SWITCH LOCATED AT THE REQUIRED PASSAGEWAY OPENING OR NEAR THE FURNACE. LIGHT FIXTURE MUST BE FLUORESCENT OR OCCUPANCY SENSOR. SENSOR OPTION IS RECOMMENDED ONLY IF THE SENSOR CAN "SEE" THE ENTIRE ATTIC AS PER TITLE 24 LIGHTING DESIGN. PROVIDE AN ADDITIONAL WATER-TIGHT CORROSION RESISTANT METAL PAN BENEATH CONDENSATE PRODUING EQUIPMENT WHERE OCCURS (COOLING UNIT / FURNACE) INSTALLED IN THE ATTIC
- 305/HOLE HOUSE FAN WHOLE HOUSE VENTILATION TO BE PROVIDED ONE CONTINUOUS OPERATING BATH OR LAUNDRY FAN IT CAN BE ON SWITCH IF LABELED "FAN" FAN SHOULD BE ON WHENEVER THE HOME IS OCCUPIED THE FAN MUST BE LISTED AT ONE SONNE OR LESS FOR NOISE. THE RATINGS MUST BE BASED ON A WATER COLUMN OF 25 OR GREATER. FAN SIZE, DUCT SIZE AND CUT SHEET ARE TO BE PROVIDED BY THE INSTALLING CONTRACTOR TO THE BUILDING INSPECTOR.
- 515/LANDINGS ALL LANDINGS SHALL BE A MINIMUM OF 36" DEEP (MEASURED IN THE DIRECTION OF TRAVEL). THE EXTERIOR LANDING AT THE EXTERIOR DOOR SHALL BE A MAXIMUM OF 1 3/4" BELOW THE TOP OF THE THRESHOLD, PROVIDED THE DOOR DOES NOT SWING OVER THE LANDING OR FLOOR. LANDINGS AT ALL EGRESS DOORS ARE NOT TO BE MORE THAN 1/2" LOWER THAN THE TOP OF THE THRESHOLD. EXIT DOOR LANDINGS ARE TO HAVE A 2% MAXIMUM SLOPE AWAY FROM THE FOUNDATIONS.
- 601/GENERAL ALL ELEMENTS (WALLS, POSTS, AND BEAMS) SUPPORTING FLOOR ABOVE GARAGE OR CEILING COMMON TO THE DWELLING, TO HAVE ONE-HOUR FIRE RESISTIVE PROTECTION ON THE GARAGE SIDE. MAXIMUM SPACING OF FRAMING SUPPORTING 5/8" TYPE "X" GYPSUM BOARD IS 16" O.C. MAX. THIS INCLUDES THE ENCLOSED SPACE UNDER INTERIOR STAIRS.
- 602/GENERAL 1 3/8" SOLID CORE, SELF-CLOSING, DOOR WITH WEATHER STRIPPING.
- 603/PLUMB SHOWER SHALL BE CAPABLE OF ENCOMPASSING A 30" CIRCLE. THE SHALL BE MAINTAINED UP TO 12" INCHES OF HEIGHT ABOVE SHOWER DRAIN. SHOWER DOORS SHALL BE TEMPERED, MIN. 22" CLEAR UNOBSTRUCTED OPENING AND SWING OUT.
- 604/GENERAL ENCLOSED ACCESSIBLE SPACE UNDER STAIRS SHALL HAVE WALLS, UNDER-STAIR SURFACES AND ANY SOFFITS PROTECTED ON THE ENCLOSED SIDE WITH 5/8" TYPE "X" GYPSUM BOARD
- 605/GENERAL THRESHOLDS AT DOORS SHALL NOT BE MORE THAN 1 3/4" ABOVE THE LANDING ON EACH SIDE. ENTRY DOOR THRESHOLD SHALL NOT BE MORE THAN 1 1/2" ABOVE THE LANDING ON THE SWING SIDE.

MINIMUM STUD SCHEDULE		
MAX. STUD HEIGHT	EXTERIOR WALLS	INTERIOR WALLS
10'-0"	2 x 6 DF #2 AT 16" o.c.	2 x 4 DF #2 AT 16" o.c.
12'-0"	2 x 6 DF #2 AT 16" o.c.	2 x 4 DF #1 AT 16" o.c.
14'-0"	2 x 6 DF #1 AT 16" o.c.	2 x 6 DF #1 AT 16" o.c.
16'-0"	2 x 6 DF #1 AT 12" o.c.	2 x 6 DF #1 AT 16" o.c.
18'-0"	1 3/4" x 5 1/2" LVL AT 12" o.c.	2 x 6 DF #1 AT 16" o.c.
20'-0"	1 3/4" x 5 1/2" LVL AT 12" o.c.	2 x 6 DF #1 AT 16" o.c.

NOTES:
 1. SEE FRAMING PLAN AND ARCHITECTURAL DRAWINGS FOR CONDITIONS NOT NOTED ABOVE.
 2. ALL EXTERIOR WALLS SHALL HAVE A TYPEX (OR EQUAL) INFILTRATION BARRIER.



- 1. WATER EFFICIENCY STANDARDS REQUIRE THE FOLLOWING MAXIMUM FLOW RATES:
 a. SHOWER HEADS - LESS THAN OR EQUAL TO 1.8 gpm AT 80psi
 b. LAVATORY FAUCETS - LESS THAN OR EQUAL TO 1.2 gpm AT 80psi
 c. KITCHEN UTILITY FAUCETS - LESS THAN OR EQUAL TO 1.8 gpm AT 80psi
 d. WATER CLOSET - LESS THAN OR EQUAL TO 1.20 GALLON PER FLUSH
- 2. THE WATER CLOSET SHALL HAVE A CLEARANCE OF 30" HIDE (8" O.C.) AND 24" IN FRONT.
- 3. THE SHOWER DOORS SHALL HAVE TEMPERED GLASS.
- 4. FINISHED MATERIAL - FLAME SPREAD INDEX:
 a. WALL & CEILING FINISHES - FLAME SPREAD INDEX OF NOT MORE THAN 200.
 b. WALL & CEILING FINISHES - SMOKE-DEVELOPED INDEX OF NOT MORE THAN 450.
 c. TESTING SHALL BE IN ACCORDANCE WITH ASTM E 84 OR UL 102.
- 5. ENERGY EFFICIENCY:
 a. R-15 MINIMUM FOR WALLS.
 b. R-15 MINIMUM FOR CEILING OR UNDERFLOOR, IF APPLICABLE.
 c. MAXIMUM U-FACTOR = 0.30 AND MAXIMUM SHGC = 0.25 FOR WINDOWS.

CONSTRUCTION DOCUMENT, AMENDED CONSTRUCTION DOCUMENTS, WORK SHALL BE INSTALLED IN ACCORDANCE WITH THE APPROVED CONSTRUCTION DOCUMENTS, AND ANY CHANGES MADE DURING CONSTRUCTION THAT ARE NOT IN COMPLIANCE WITH THE APPROVED CONSTRUCTION DOCUMENTS SHALL BE SUBMITTED FOR APPROVAL AS AN AMENDED SET OF CONSTRUCTION DOCUMENTS. THE RESIDENTIAL DOCUMENT (DRAWINGS AND ANY CALCULATIONS, ETC.) SHALL BE SUBMITTED TO PROJECTBOOK (OR EPERMIT CENTER AT EPC@FOLSOM.CA.GOV) FOR PLAN CHECK APPROVAL.

INSPECTIONS: IT SHALL BE THE DUTY OF THE HOLDER OF THE BUILDING PERMIT OR THEIR DULY AUTHORIZED AGENT TO NOTIFY THE BUILDING OFFICIAL WHEN WORK IS READY FOR INSPECTION. IT SHALL BE THE DUTY OF THE PERMIT HOLDER TO PROVIDE ACCESS TO AND MEANS FOR INSPECTIONS OF SUCH WORK THAT ARE REQUIRED BY THIS CODE.

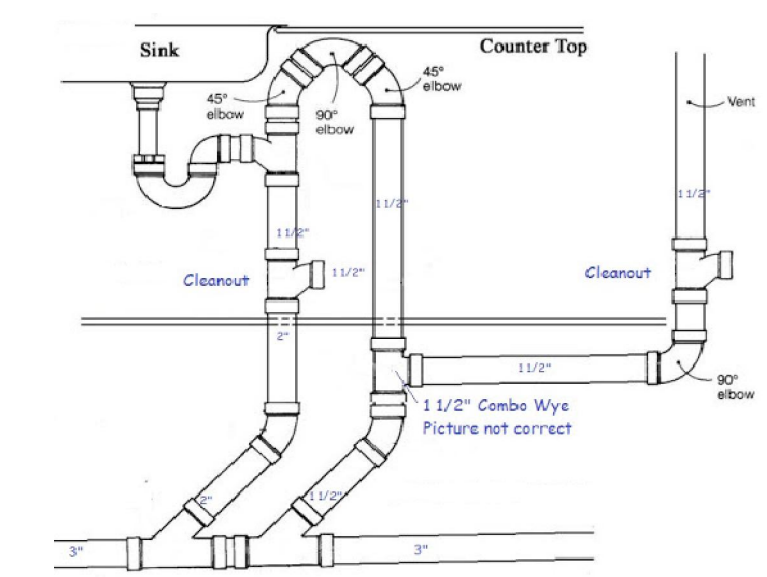
ALL CONSTRUCTION OR WORK SHALL BE SUBJECTED TO INSPECTION BY THE CITY OF FOLSOM BUILDING OFFICIAL (OR HIS/HER REPRESENTATIVE) AND SUCH CONSTRUCTION OR WORK SHALL REMAIN ACCESSIBLE AND EXPOSED FOR INSPECTION PURPOSES UNTIL APPROVED. APPROVAL AS A RESULT OF AN INSPECTION SHALL NOT BE VALIDATED TO BE AN APPROVAL OF A VIOLATION OF THE PROVISIONS OF THIS CODE OR OF OTHER ORDINANCES OF THE JURISDICTION. INSPECTION PRESUMING TO GIVE AUTHORITY TO VIOLATE OR CANCEL THE PROVISIONS OF THIS CODE OR OF OTHER ORDINANCES OF THE JURISDICTION SHALL NOT BE VALID. IT SHALL BE THE DUTY OF THE PERMIT APPLICANT TO CAUSE THE JURISDICTION SHALL BE LIABLE FOR EXPENSE ENTAILED IN THE REMOVAL OR REPLACEMENT OF ANY MATERIAL REQUIRED TO ALLOW INSPECTION.

ALL EQUIPMENT SHALL BE INSTALLED IN ACCORDANCE OF MANUFACTURER'S SPECIFICATIONS AND INSTALLATION INSTRUCTION MANUALS. A COPY OF EACH EQUIPMENT INSTALLATION INSTRUCTION MANUAL SHALL BE PRESENTED UPON INSPECTIONS.

NOTE:
 COVER ALL EXTERIOR WALLS WITH 5/8" STRUCT. I CDX PLYWOOD WITH DOTS AT 8" o.c. EDGE / 12" o.c. FIELD UNLESS OTHERWISE NOTED.
 PLYWOOD SHALL RUN CONTINUOUS FROM TOP PLATE TO SOLE PLATE WITH ALL PL-TACKED EDGES BLOCKED.
 PLYWOOD EDGES SHALL BE SPACED TO ALLOW FOR FLOOR EXPANSION.

MAIN LEVEL FLOOR PLAN

- EGRESS WINDOW OPERATION SHALL BE FROM INSIDE THE ROOM WITHOUT THE USE OF SPECIAL KEYS, TOOLS OR KNOWLEDGE.
- 506/ PROVIDE 42" HIGH PROTECTIVE RAILING FOR BALCONY AND OPEN SIDES OF STAIR LANDINGS. OPENINGS BETWEEN RAILINGS SHALL BE LESS THAN 4" HANDRAILS TO HAVE A 1 1/4" TO 2" INCH GRASP CROSS SECTION WITH NO SHARP CORNERS AND HEIGHT OF 34" TO 38" ABOVE HANDRAILS TO EXTEND CONTINUOUSLY FROM TO TO BOTTOM RISEK AND TERMINATE AT NEVEL POSTS OR RETURN TO WALLS



loop vent 1

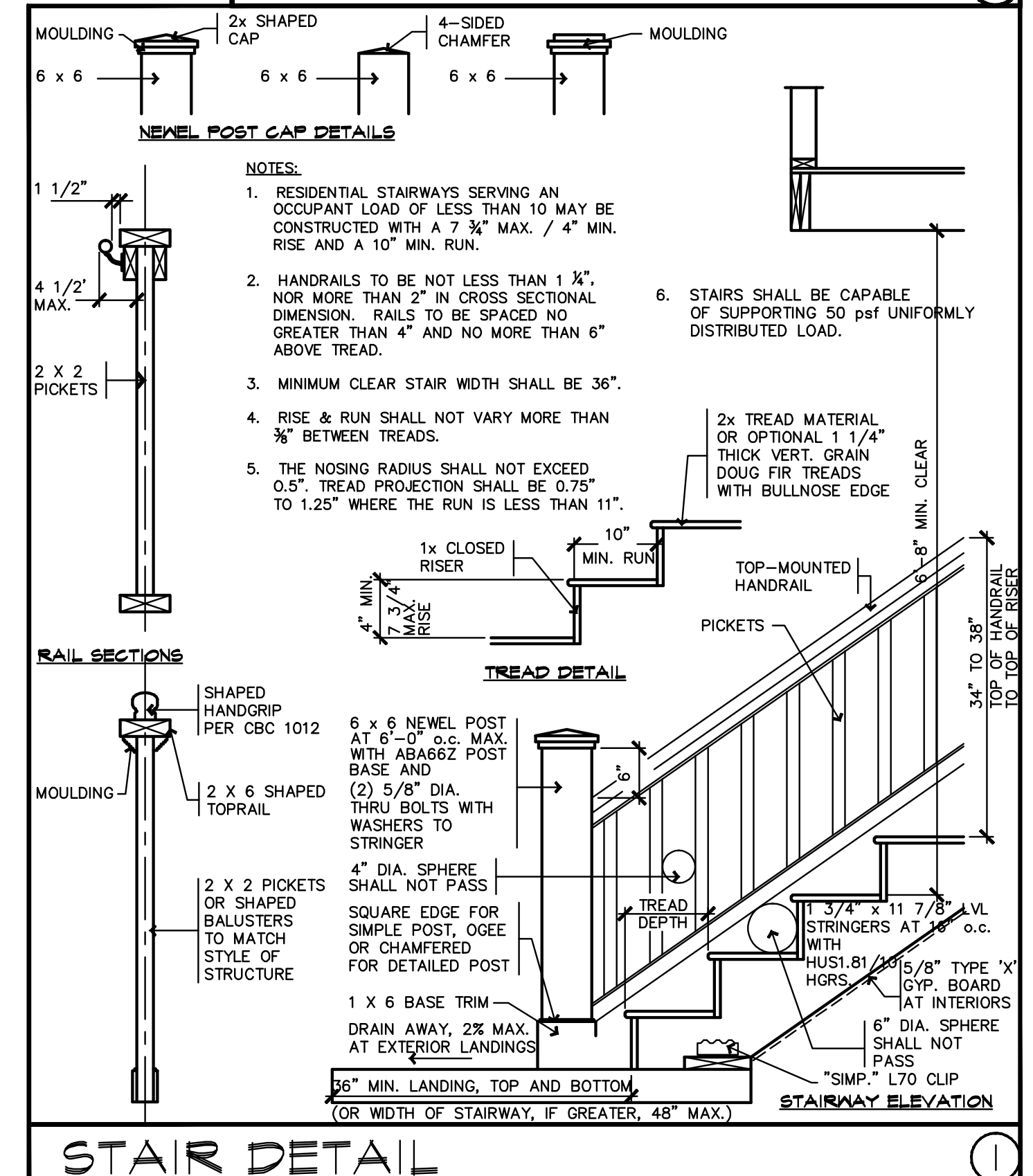
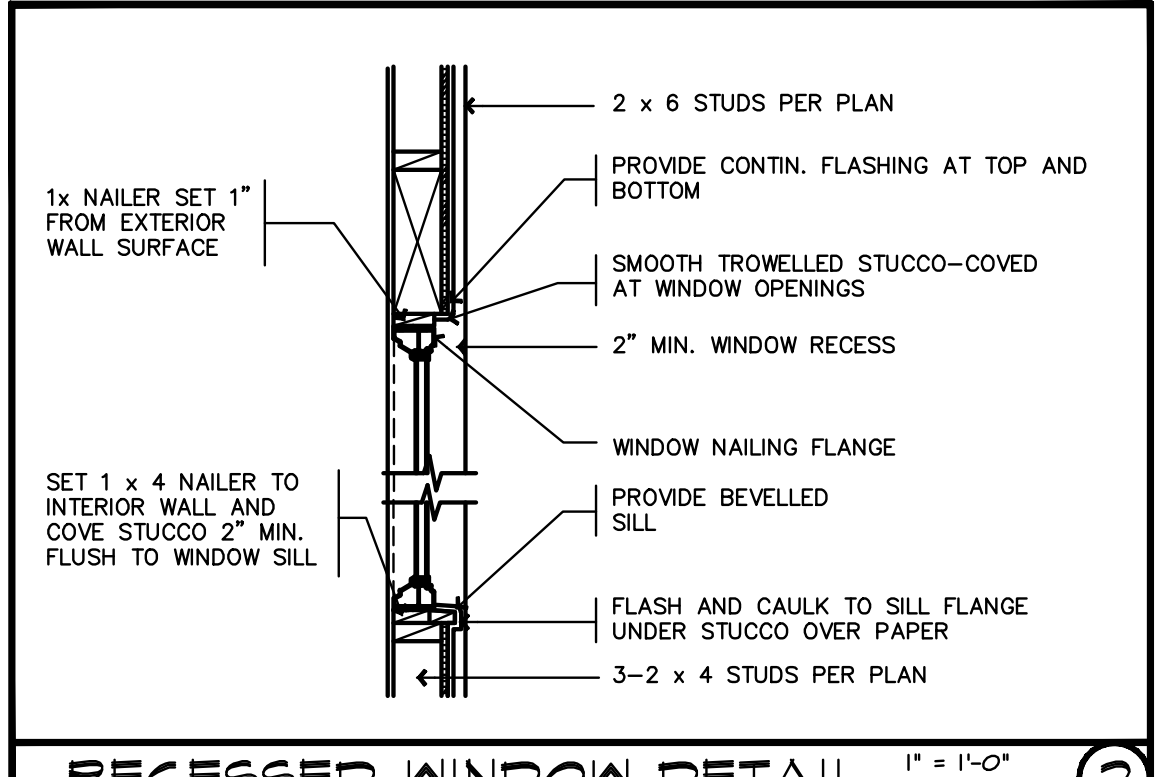
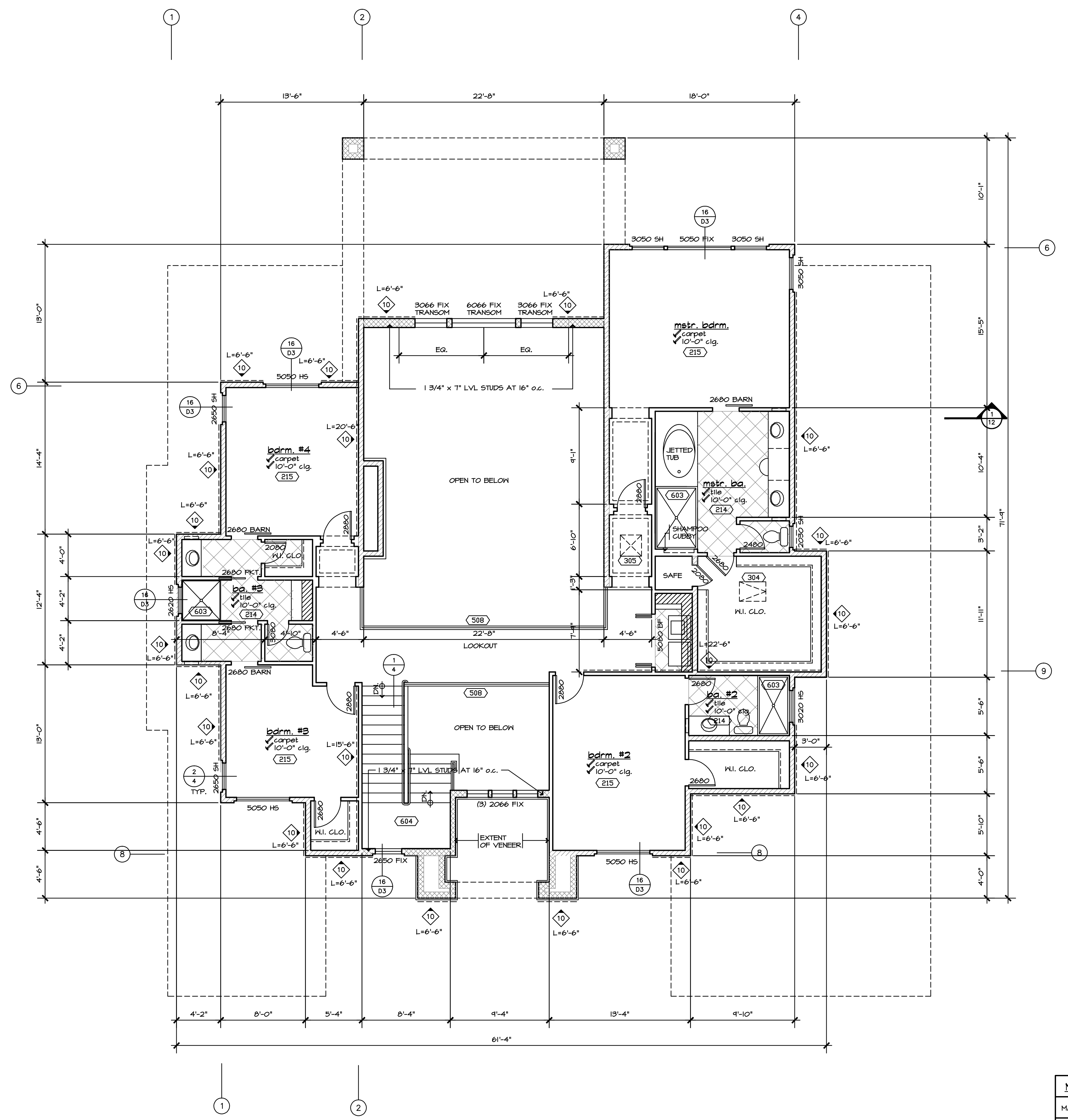
WHERE WATER PRESSURES SUPPLYING THE FIRE SPRINKLER SYSTEM EXCEEDS 80 PSI, THE PASSIVE PURGE SYSTEM (S) CONNECTING TO A REMOTE WATER CLOSET SHALL BE EQUIPPED WITH AN APPROVED REGULATOR TO REDUCE THE WATER PRESSURE TO BELOW 80 PSI BEFORE REINTRODUCING THE WATER TO THE DOMESTIC SUPPLY SYSTEM.
 SHOWERS AND TUB/SHOWER COMBINATIONS SHALL BE PROVIDED WITH INDIVIDUAL CONTROL VALVES OF THE PRESSURE-BALANCE THERMOSTATIC MIXING VALVE TYPE THAT PROVIDES SCALD AND THERMAL SHOCK PROTECTION FOR THE RATED FLOW RATE OF THE INSTALLED SHOWER HEAD, VALVES SHALL BE INSTALLED AT THE POINT OF USE
 MECHANICAL VENTILATION FOR ALL BATHROOMS SHALL BE PROVIDED WITH A MINIMUM OF 50 CU-FIT PER MINUTE FOR INTERMITTENT VENTILATION, OR 25 CU-FIT PER MINUTE FOR CONTINUOUS VENTILATION. THE VENTILATION AIR FROM THIS SPACE SHALL BE EXHAUSTED DIRECTLY TO OUTSIDE

Design / Build Residential Commercial 916.984.8466 MercadoCD.com
Mercado Construction & Design, Inc.
 MAIN LEVEL FLOOR PLAN
 A.P.N. 072-2170-018-0000
 SINGH RESIDENCE, 791 HERITAGE PLACE, FOLSOM, CA. 95630
 VERSION: APR. 2022
 SCALE: 3/16" = 1'-0"
 FILE NAME:
 3 OF 20

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SEE SHEET D1 FOR SHEAR WALL, HOLDOWN, SILL PLATE AND ANCHOR BOLT SCHEDULES

Design / Build
 Residential
 Commercial
 916.984.8466
 MercadoCD.com



WALL LEGEND

- DENOTES 2 x 4 DF STUDS AT 16" o.c.
- DENOTES 2 x 6 DF STUDS AT 16" o.c.
- DENOTES 1 3/4" x 1" LVL STUDS AT 16" o.c.

MINIMUM STUD SCHEDULE

MAX. STUD HEIGHT	EXTERIOR WALLS	INTERIOR WALLS
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NOTES:
 1. SEE FRAMING PLAN AND ARCHITECTURAL DRAWINGS FOR CONDITIONS NOT NOTED ABOVE.
 2. ALL EXTERIOR WALLS SHALL HAVE A TYVEK (OR EQUAL) INFILTRATION BARRIER.

WHERE WATER PRESSURES SUPPLYING THE FIRE SPRINKLER SYSTEM EXCEEDS 80 PSI, THE PASSIVE PURGE SYSTEM (S) CONNECTING TO A REMOTE WATER CLOSET SHALL BE EQUIPPED WITH AN APPROVED RESILATOR TO REDUCE THE WATER PRESSURE TO BELOW 80 PSI BEFORE REINTRODUCING THE WATER TO THE DOMESTIC SUPPLY SYSTEM.
 SHOWERS AND TUB/SHOWER COMBINATIONS SHALL BE PROVIDED WITH INDIVIDUAL CONTROL VALVES OR THE PRESSURE-BALANCE THERMOSTATIC MIXING VALVE TYPE THAT PROVIDES SCALD AND THERMAL SHOCK PROTECTION FOR THE RATED FLOW RATE OF THE INSTALLED SHOWER HEAD, VALVES SHALL BE INSTALLED AT THE POINT OF USE.
 MECHANICAL VENTILATION FOR ALL BATHROOMS SHALL BE PROVIDED WITH A MINIMUM OF 50 CFM PER MINUTE (FOR INTERMITTENT VENTILATION, OR 25 CFM PER MINUTE FOR CONTINUOUS VENTILATION). THE VENTILATION AIR FROM THIS SPACE SHALL BE EXHAUSTED DIRECTLY TO OUTSIDE.

NOTE:
 COVER ALL EXTERIOR WALLS WITH 3/8" STRUCT. I, CDX, PLYND. WITH 6ds AT 6" o.c. EDGE / 12" o.c. FIELD UNLESS OTHERWISE NOTED.
 PLYND. SHALL RUN CONTINUOUS FROM TOP PLATE TO SOLE PLATE WITH ALL PLYND. EDGES BLOCKED. PLYND. EDGES SHALL BE SPACED TO ALLOW FOR PLYND. EXPANSION.

SECOND LEVEL FLOOR PLAN

- EGRESS WINDOW OPERATION SHALL BE FROM INSIDE THE ROOM WITHOUT THE USE OF SPECIAL KEYS, TOOLS OR KNOWLEDGE.
- (E14) 214/BATHROOMS
 - 30" MIN. CLEARANCE SIDE-TO-SIDE OF WATER CLOSETS.
 - TERRIRED GLASS REQUIRED FOR ALL SHOWER DOORS.
 - 120 GALLON PER FLUSH FOR WATER CLOSETS
 - 1.0 gpm AT 80 psi FOR SHOWER HEADS
 - 1.2 gpm AT 60 psi FOR LAVATORY FAUCETS
 - (E64) 604/GENERAL

ENCLOSED ACCESSIBLE SPACE UNDER STAIRS SHALL HAVE WALLS, UNDER-STAIR SURFACES AND ANY SORFITS PROTECTED ON THE ENCLOSED SIDE WITH 5/8" TYPE 'X' GYPSUM BOARD
 - (E65) 605/GENERAL

THRESHOLDS AT DOORS SHALL NOT BE MORE THAN 7/32" ABOVE THE LANDING ON EACH SIDE. ENTRY DOOR THRESHOLD SHALL NOT BE MORE THAN 1/2" ABOVE THE LANDING ON THE SINKS SIDE.

SECOND LEVEL FLOOR PLAN
 A.P.N. 072-2170-018-0000
 SINGH RESIDENCE, 791 HERITAGE PLACE, FOLSOM, CA. 95630

VERSION:
 APR. 2022

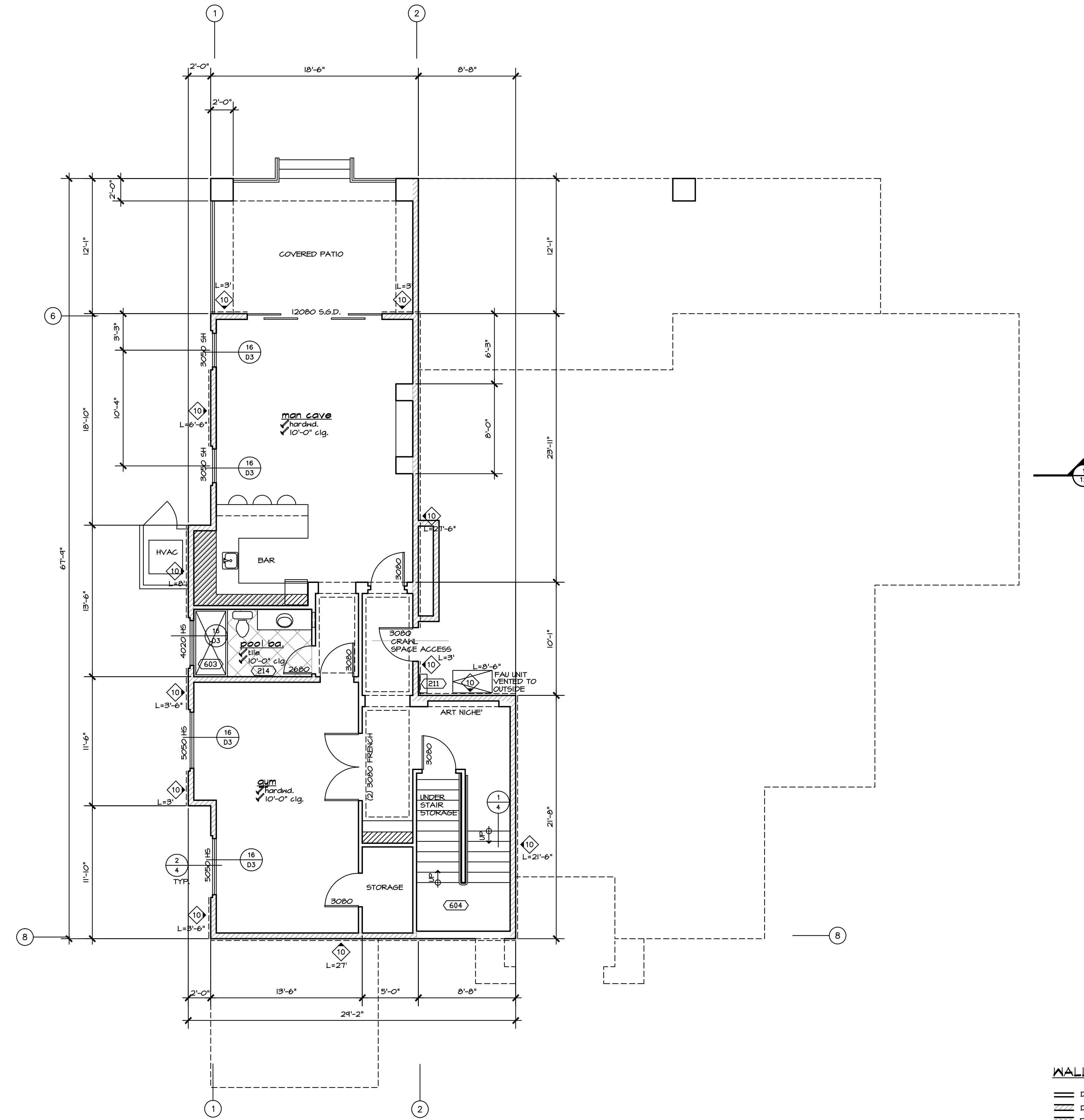
SCALE:
 3/16" = 1'-0"

FILE NAME:

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OWNERSHIP OF DOCUMENTS
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SEE SHEET D1 FOR SHEAR WALL, HOLDOWN, SILL PLATE AND ANCHOR BOLT SCHEDULES



NOTE:
 COVER ALL EXTERIOR WALLS WITH 3/8" STRUCT. I, CDX, PLYND. WITH 8d's AT 6" o.c. EDGE / 12" o.c. FIELD UNLESS OTHERWISE NOTED.
 PLYWOOD SHALL RUN CONTINUOUS FROM TOP PLATE TO SOLE PLATE WITH ALL PLYWOOD EDGES BLOCKED. PLYWOOD EDGES SHALL BE SPACED TO ALLOW FOR PLYWOOD EXPANSION.

BASEMENT LEVEL FLOOR PLAN

EGRESS WINDOW OPERATION SHALL BE FROM INSIDE THE ROOM WITHOUT THE USE OF SPECIAL KEYS, TOOLS OR KNOWLEDGE.

(211) 211/PLUMB
 TANKLESS DIRECT VENT WATERHEATER
 GAS PIPING SHALL BE CAPABLE OF 200,000 BTU PER THE 2022 CALIFORNIA ENERGY CODE
 A PERMITTED GROUNDING ELECTRODE TYPE SHALL BE INSTALLED AS LISTED IN CEC 250.52

ALL 120-VOLT, SINGLE PHASE 15 & 20-AMP BRANCH CIRCUITS SUPPLYING OUTLETS INSTALLED IN KITCHENS, DINING ROOMS, FAMILY ROOMS, LIVING ROOMS, PARLORS, LIBRARIES, DENs, BEDROOMS, BUNKROOMS, REC ROOMS, CLOSETS, LAUNDRY AREAS, HALLWAYS, AND SIMILAR ROOMS SHALL BE PROTECTED BY A LISTED ARC-FAULT CIRCUIT INTERRUPTER, OR COMBINATION TYPE, INSTALLED TO PROVIDE PROTECTION OF THE BRANCH CIRCUIT.

(214) 214/BATHROOMS
 1. 30" MIN. CLEARANCE SIDE-TO-SIDE OF WATER CLOSETS
 2. TEMPERED GLASS REQUIRED FOR ALL SHOWER DOORS
 3. 1/2" BALLON PER FLUSH FOR WATER CLOSETS
 4. 1.5 GPM AT 80 PSI FOR SHOWER HEADS
 5. 1.2 GPM AT 60 PSI FOR LAVATORY FAUCETS

(604) 604/GENERAL
 ENCLOSED ACCESSIBLE SPACE UNDER STAIRS SHALL HAVE WALLS, UNDER-STAIR SURFACES AND ANY SOFFITS PROTECTED ON THE ENCLOSED SIDE WITH 3/8" TYPE 'X' GYPSUM BOARD

(605) 605/GENERAL
 THRESHOLDS AT DOORS SHALL NOT BE MORE THAN 1 3/4" ABOVE THE LANDINGS ON EACH SIDE. ENTRY DOOR

WALL LEGEND
 (10) DENOTES 2 x 4 DF STUDS AT 16" o.c.
 (11) DENOTES 2 x 6 DF STUDS AT 16" o.c.
 (12) DENOTES 1 3/4" x 1" LVL STUDS AT 16" o.c.

Design / Build
 Residential
 Commercial
 916.984.8466
 MercadoCD.com

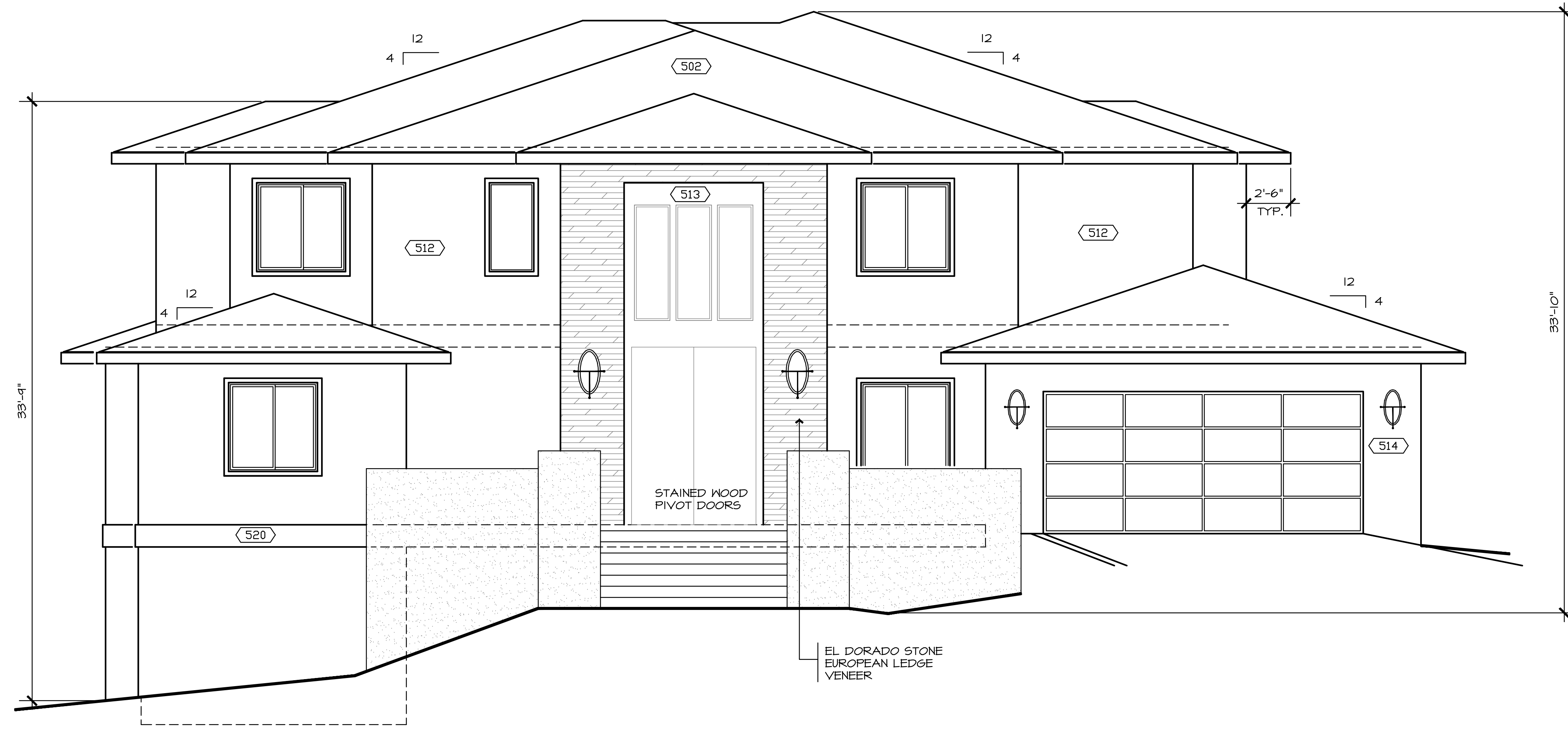


BASEMENT LEVEL FLOOR PLAN
 A.P.N. 072-2170-018-0000
 SINGH RESIDENCE, 791 HERITAGE PLACE, FOLSOM, CA. 95630

VERSION:
 DEC. 2023

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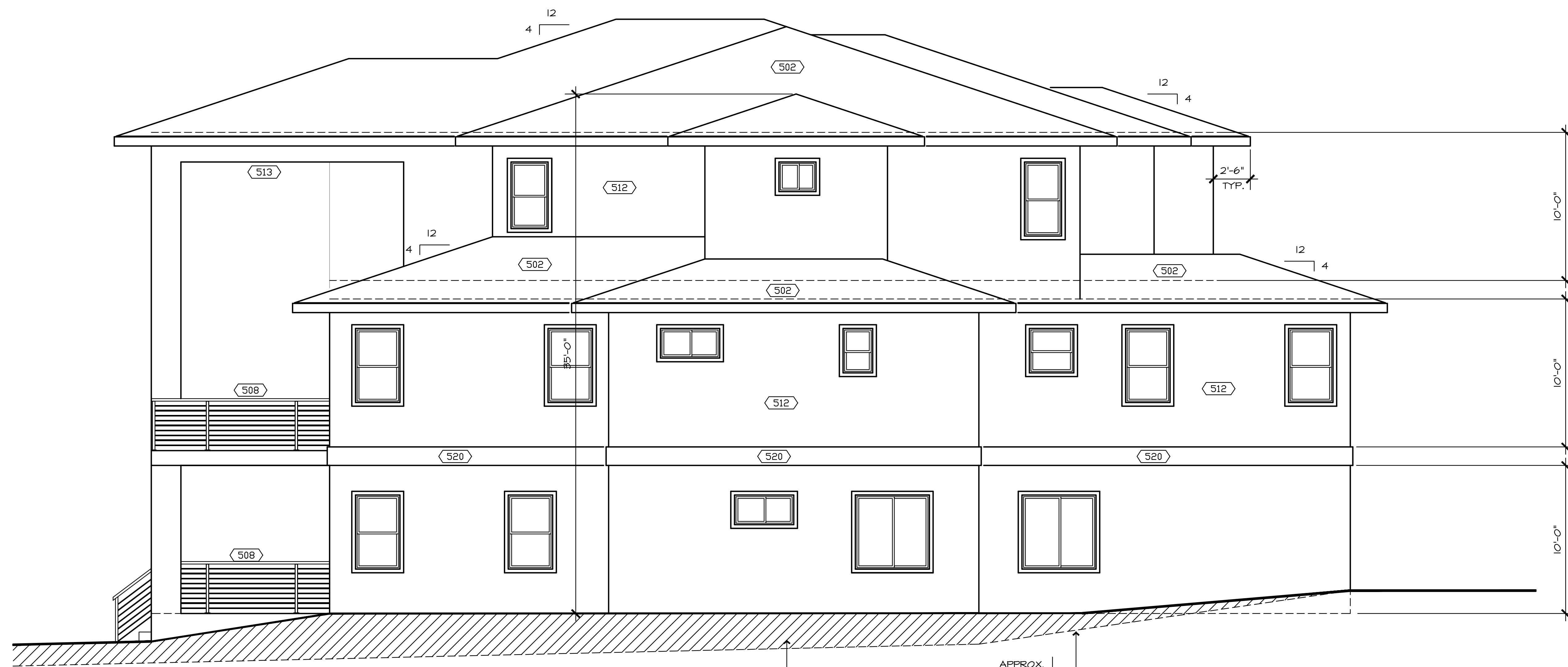
FRONT ELEVATION

NOTE:
COVER ALL EXTERIOR WALLS WITH 3/8" STRUCT. I, CDX, PLYMD. WITH 8x19 AT 8" o.c. EDGE / 12" o.c. FIELD UNLESS OTHERWISE NOTED. PLYWOOD SHALL RUN CONTINUOUS FROM TOP PLATE TO SOLE PLATE WITH ALL PLYWOOD EDGES BLOCKED. PLYWOOD EDGES SHALL BE SPACED TO ALLOW FOR PLYWOOD EXPANSION.

- NOTES:**
1. STUCCO SCREED LINE TO RUN PARALLEL TO GRADE (NOT STEPPED) AND WITHIN 6" OF GRADE.
 2. ALL GUTTERS ARE TO BE FASCIA STYLE T" THROUGHOUT

KEYNOTES:

- 502/ CONCRETE TILE CLASS 'A' ROOFING OVER 30 lb. FELT MIN. CLASS 'A' FIRE RETARDANT ROOFING OVER 5/8" CDX PLYMD. MAX. INSTALLED HEIGHT SHALL NOT EXCEED 10 psf.
- 504/ 2x SPRUCE FASCIA BOARD WITH 1x SHINGLE TRIM
- 508/ GUARDRAIL PROVIDE 42" HIGH PROTECTIVE RAILING FOR BALCONY AND OPEN SIDES OF STAIR LANDINGS. OPENINGS BETWEEN RAILINGS SHALL BE LESS THAN 4" HANDRAILS TO HAVE A 1 1/4" TO 2" INCH GRASP ABLE CROSS SECTION WITH NO SHARP CORNERS AND HEIGHT OF 34" TO 38" ABOVE NOSING EXTEND CONTINUOUSLY FROM TO BOTTOM RISER AND TERMINATE AT NEWEL POSTS OR RETURN TO WALLS
- 512/ EXTERIOR EXTERIOR PLASTER SHALL BE 3-COAT, 7/8" MIN. THICK, WITH TWO LAYERS OF GRADE D PAPER UNDER PLASTER WHERE OCCURS OVER SHEATHING AND HAS 26 GA. G.S.M. KEEP SCREED AT FOUNDATION PLATE LINE AT LEAST 8" ABOVE GRADE OR 4" ABOVE CONCRETE CONCRETE OR PAVING. WATER RESISTIVE BARRIERS SHALL BE INSTALLED AS REQUIRED AND WHERE APPLIED OVER WOOD-BASED SHEATHING SHALL INCLUDE A WATER RESISTIVE VAPOR PERMEABLE BARRIER WITH A PERFORMANCE AT LEAST EQUIVALENT TO TWO LAYER OF GRADE D PAPER. INDIVIDUAL LAYERS SHALL BE INSTALLED INDEPENDENTLY SUCH THAT EACH LAYER PROVIDES A SEPARATE CONTINUOUS PLANE
- 513/ SOFFITS DENGLASS SOFFIT SHEATHING TO THE UNDERSIDE OF THE CEILING AT SOFFITS AND CEILINGS WITH REINFORCING MESH EMBEDDED INTO AN OMEGA BASE COAT MATERIAL. AT THE DENGLASS JOINTS FOLLOWED WITH AN OMEGA ACRYLIC FINISH STUCCO COAT. PROVIDE CONTROLS AT 15" o.c. MAX. IN EITHER DIRECTION OR WHERE THE MAXIMUM LENGTH TO WIDTH RATIO IS 2 1/2 TO 1
- 515/ LANDINGS ALL LANDINGS SHALL BE A MINIMUM OF 36" DEEP (MEASURED IN THE DIRECTION OF TRAVEL). THE EXTERIOR LANDINGS AT THE EXTERIOR DOOR SHALL BE A MAXIMUM OF 1 3/4" BELOW THE TOP OF THE THRESHOLD, PROVIDED THE DOOR DOES NOT SWING OVER THE LANDING OR FLOOR. ALL EGRESS DOORS ARE NOT TO BE MORE THAN 1.5' LOWER THAN THE TOP OF THE THRESHOLD. EXIT DOOR LANDINGS ARE TO HAVE A 2% MAXIMUM SLOPE AWAY FROM THE FOUNDATIONS
- 514/ STREET NUMBERS PROVIDE ADDRESS NUMBERS WHICH ARE PLAINLY LEGIBLE AND VISIBLE FROM THE STREET FRONTING THE PROPERTY. CHARACTERS SHALL CONTRAST WITH THE BACKGROUND AND SHALL BE ARABIC NUMERALS OR ALPHABETICAL LETTERS. NUMBERS SHALL NOT BE SPILLED OUT. EACH CHARACTER SHALL BE NOT LESS THAN 4" IN HEIGHT WITH A STROKE WIDTH OF NOT LESS THAN 0.5" WHERE REQUIRED BY FIRE CODE OFFICIAL. ADDRESS SHALL BE PROVIDED IN ADDITIONAL LOCATIONS TO FACILITATE EMERGENCY RESPONSE. WHERE ACCESS IS A PRIVATE ROAD, A MONUMENT, POLE OR OTHER SIGN SHALL BE USED.
- 520/ 2 x 12 STUCCO FOAM BELLY BAND



LEFT ELEVATION



REAR ELEVATION

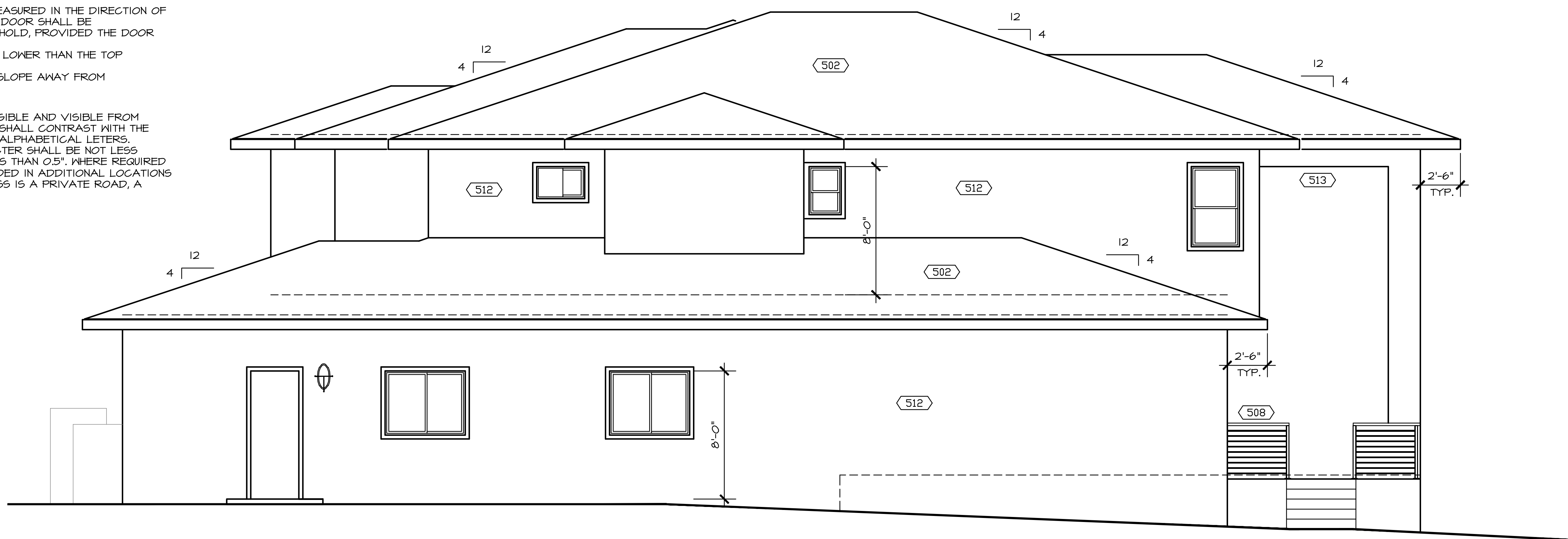
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- 520/ 2 x 12 STUCCO FOAM BELLY BAND

NOTE:
COVER ALL EXTERIOR WALLS WITH 3/8" STRUCT. 1. CDX PLYND. WITH 2x4s AT 6" o.c. EDGE / 12" o.c. FIELD UNLESS OTHERWISE NOTED. PLYWOOD SHALL RUN CONTINUOUS FROM TOP PLATE TO SOLE PLATE WITH ALL PLYWOOD EDGES BLOCKED. PLYWOOD EDGES SHALL BE SPACED TO ALLOW FOR PLYWOOD EXPANSION.

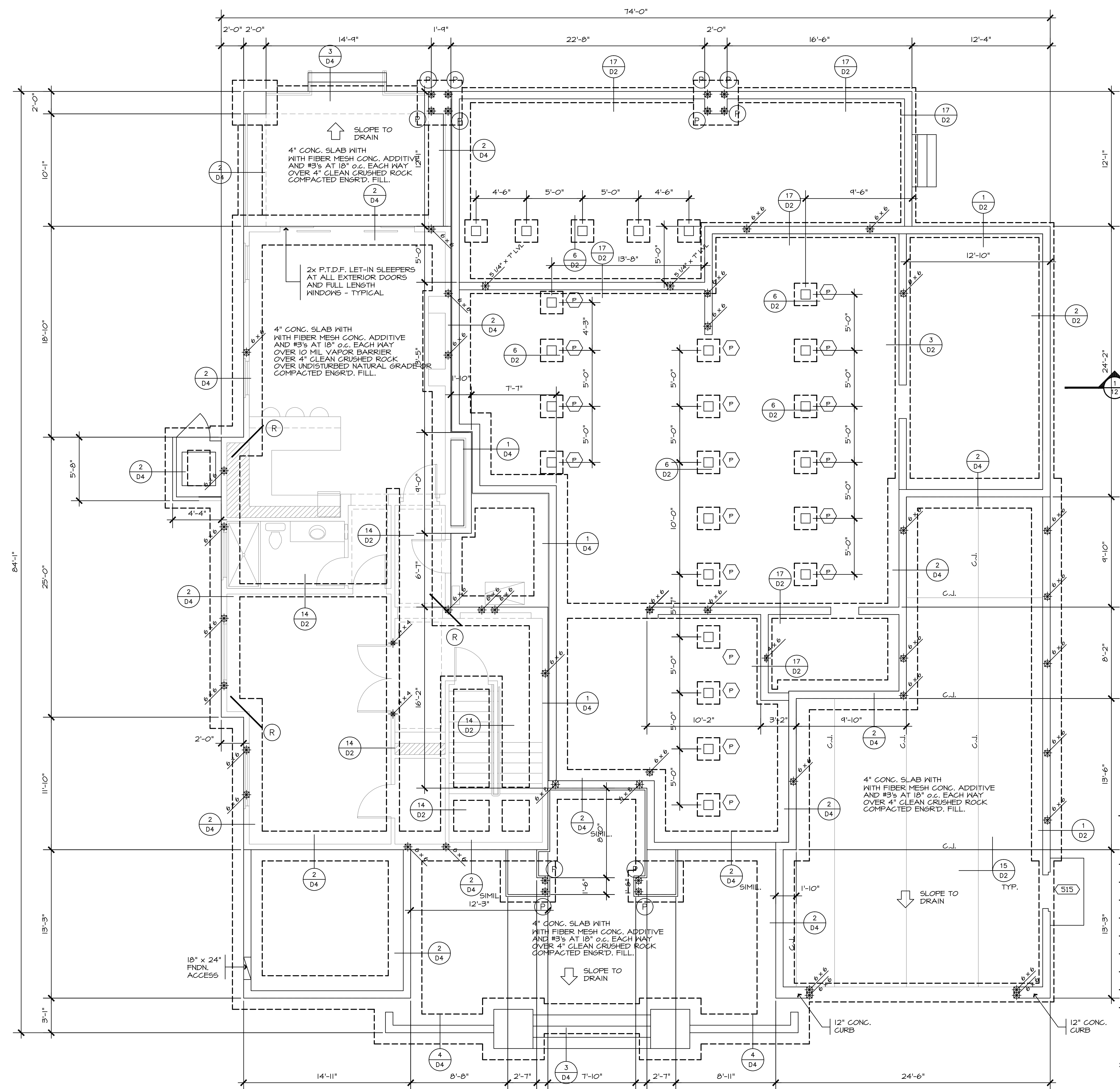
NOTES:

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RIGHT ELEVATION

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FOOTING SCHEDULE:
 DESIGN SOIL PRESSURE = 1000, psf

SYMBOL	SQUARE FOOTING		REINFORCE. EACH WAY
	WIDTH	DEPTH	
B	24" x 24"	ONE STRY.	2 - #4's
		TWO STRY.	3 - #4's
C	30" x 30"	18"	3 - #4's
D	36" x 36"	18"	3 - #4's
E	42" x 42"	18"	4 - #4's
F	48" x 48"	18"	4 - #4's
G	54" x 54"	18"	5 - #4's
H	60" x 60"	24"	7 - #4's

NOTES:
 1. DEPTH / THICKNESS OF FOOTING INDICATES MINIMUM DEPTH OF BOTTOM OF FOOTING BELOW NATURAL GRADE OR ADJACENT GRADE WHICH EVER IS DEEPER.
 2. THE FOUNDATION DESIGN IS ONE WHICH IS BASED UPON STABLE, DRY, NON-EXPANSIVE / NON-FILL TYPE MATERIAL. ANY CONDITION WHICH DEVIATES FROM THIS, BY OBSERVATION, THE CONTRACTOR SHALL REQUIRE THAT THE SOIL BE EVALUATED FOR SOIL STRENGTH, INCLUDING THE EFFECTS OF MOISTURE VARIATION, SOIL BEARING CAPACITY, COMPRESSIBILITY, LIQUEFACTION AND EXPANSIVENESS.

CONCRETE PROTECTION
 MINIMUM CONCRETE COVER SHALL BE PROVIDED FOR REINFORCEMENT

	MINIMUM COVER, inches
A. CONCRETE CAST AGAINST AND PERMANENTLY EXPOSED TO EARTH	3
B. CONCRETE EXPOSED TO EARTH OR WEATHER. NO. 6 THROUGH NO. 18 BAR. NO. 5 BAR AND SMALLER	2 1/2
C. CONCRETE NOT EXPOSED TO WEATHER OR IN CONTACT WITH GROUND. SLABS, WALLS, JOISTS. NO. 6 THROUGH NO. 18 BAR. NO. 11 BAR AND SMALLER. BEAMS, COLUMNS. PRIMARY REINFORCEMENT, TIES, STIRRUPS, SPIRALS. SHELLS, FOLDED PLATE MEMBERS. NO. 6 AND LARGER. NO. 5 BAR AND SMALLER	1 1/2 3/4 1 1/2 3/4 1/2

FOUNDATION PLAN

(R) DENOTES #4 x 48" REBAR AT CENTERLINE OF SLAB

////// DENOTES 15" WIDE X 24" DEEP CONT. FTG. WITH (3) #4'S CONT. AT TOP AND (3) #4'S CONT. AT BOTTOM

(P) DENOTES 7" x 7" 2.0E PSL PARALLAM POST

1'-0" DENOTES 24" SQ. x 18" THICK CONC. FTGS. WITH (2) #4'S EACH WAY AT 5'-0" O.C. MAX. WITH 10" SQ/ PRE-CAST CONC. PIERS WET-SET IN CONC. - TYP.

SEE SHEET D1 FOR SHEAR WALL, HOLDOWN, SILL PLATE AND ANCHOR BOLT SCHEDULES

ALL FOOTINGS TO BE A MIN. OF 18" BELOW GRADE U.O.N.

Design / Build
 Residential
 Commercial
 916.984.8466
 MercadoCD.com

Mercado
 Construction & Design, Inc.

FOUNDATION PLAN

VERSION:
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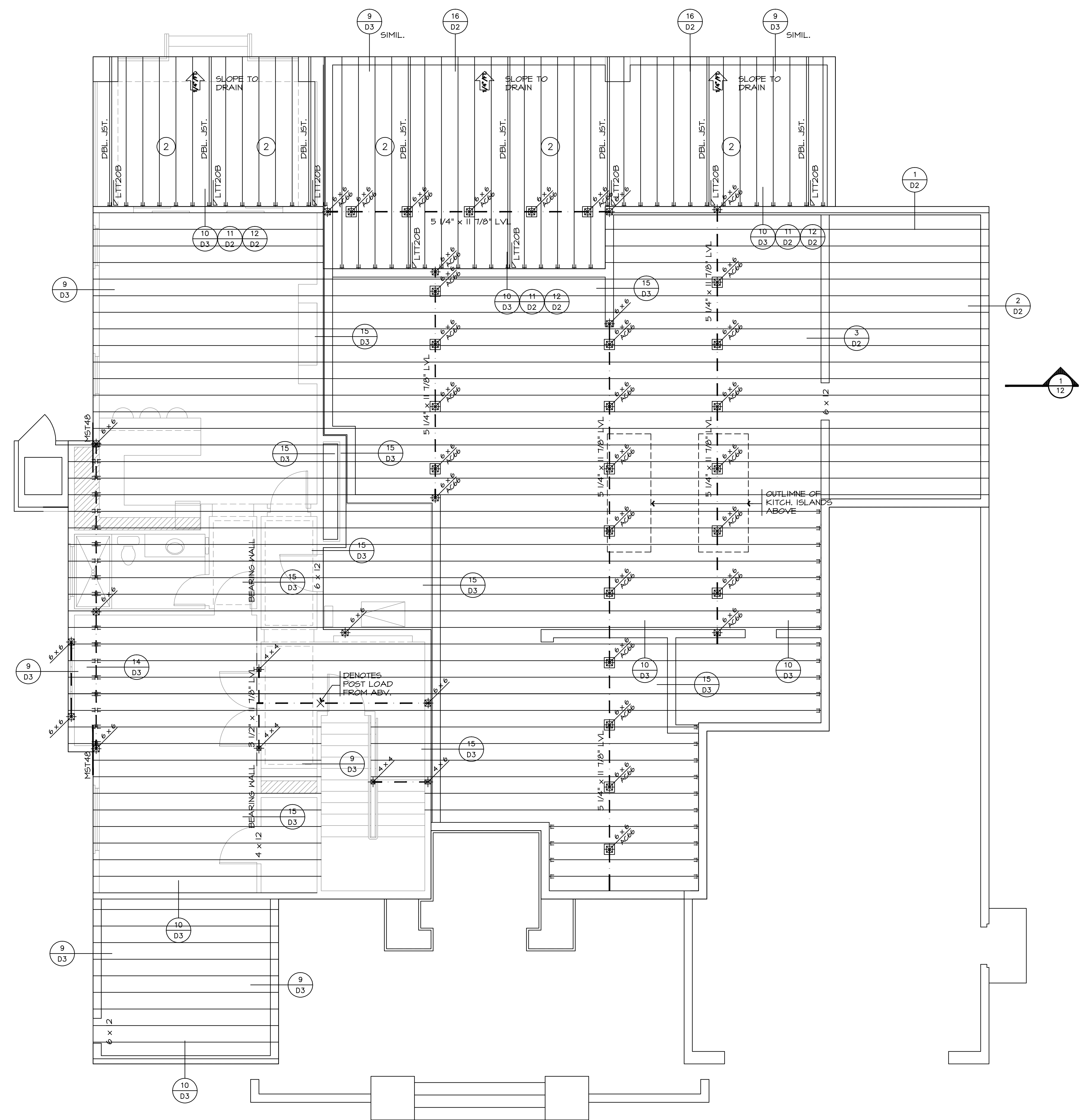
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- ① DENOTES 16" DEEP x TJI / 360 FLOOR JOISTS AT 16" o.c. (OR EQUAL)
- ② DENOTES 1 3/4" x 11 7/8" LVL DECK JOISTS AT 16" o.c. WITH HUS181/10 HANGERS AT SINGLE JSTS. HU412 AT DBL. JOISTS WITH COMPLETE ELASTOMERIC WATERPROOF DECKING INSTALLED PER MFG. SPECS. RIPPED AT 1/4" PER FOOT FOR POSITIVE DRAINAGE FLASH / COUNTERFLASH AS REQ'D.
- DRA6 - DENOTES 1 3/4" x 14" LVL, FLUSH WITH 10d's AT 6" o.c. FULL LENGTH USE HUS181/10 HGRS. - WHERE OCCURS

FLOOR SHEATHING:
 3/4" STANDARD T & G PLYWOOD, APA #48/24 GLUE AND NAILED TO FRAMING WITH 10d NAILS AT 6" o.c. EDGE AND BOUNDARY NAILING (EN.) AND 10" o.c. FIELD NAILING (FN.) UNLESS OTHERWISE NOTED. STAGGER ALL END JOINTS AND RUN PLYWOOD PERPENDICULAR TO THE DIRECTION OF THE FRAMING. (NOTE: 10d RING SHANKS ARE RECOMMENDED IN LIEU OF 10d NAILS.)

DECK SHEATHING:
 3/4" STANDARD T & G PLYWOOD, APA #48/24 GLUE AND NAILED TO FRAMING WITH 10d NAILS AT 6" o.c. EDGE AND BOUNDARY NAILING (EN.) AND 10" o.c. FIELD NAILING (FN.) UNLESS OTHERWISE NOTED. STAGGER ALL END JOINTS AND RUN PLYWOOD PERPENDICULAR TO THE DIRECTION OF THE FRAMING. (NOTE: 10d RING SHANKS ARE RECOMMENDED IN LIEU OF 10d NAILS.)

MAIN LEVEL FLOOR FRAMING

HEADER SCHEDULE (UNLESS OTHERWISE NOTED ON PLANS)

OPENING SIZE	HEADER SIZE	2 x 4 STUD WALL	2 x 6 STUD WALL	TRIMMER POST (12)	KING POST (12)	2 x 4 STUD WALL (12)	2 x 6 STUD WALL (12)
LESS THAN 4'	4 x 10	6 x 10 DF #1	6 x 12 DF #1	(1) 2 x 4	(1) 2 x 4	(1) 2 x 6	(1) 2 x 6
4' TO 6' MAX.	4 x 12	6 x 12 DF #1	6 x 12 DF #1	(2) 2 x 4 OR 4 x 4	(2) 2 x 4	(2) 2 x 6 OR 4 x 6	(2) 2 x 6
6' TO 8' MAX.	3 1/2" x 11 7/8" PSL	5 1/4" x 11 7/8" PSL	5 1/4" x 11 7/8" PSL	(2) 2 x 4 OR 4 x 4	(2) 2 x 4	(2) 2 x 6 OR 4 x 6	(2) 2 x 6

HANGER SCHEDULE (16" DP. x TJI / PRO 230 FLOOR TRUSSES)

MEMBER	FACE MOUNT HANGER	TOP FLANGE HANGER
SINGLE JST.	IUT3516	MIT3516
DOUBLE JST.	MIU4.75/16	LEV3516-2

UNDER FLOOR VENTILATION REQUIREMENT

TOTAL SQUARE FOOTAGE = 4344 SQ. FT.
 REQUIRED VENTILATION = 4344 / 150 = 28.96 SQ. FT.
 NUMBER OF 7" x 14" VENTS (A= 98 SQ. IN.) = 43 VENTS
 USE (45) MIN. 7" x 14" UNDER FLOOR VENTS EVENLY SPACED

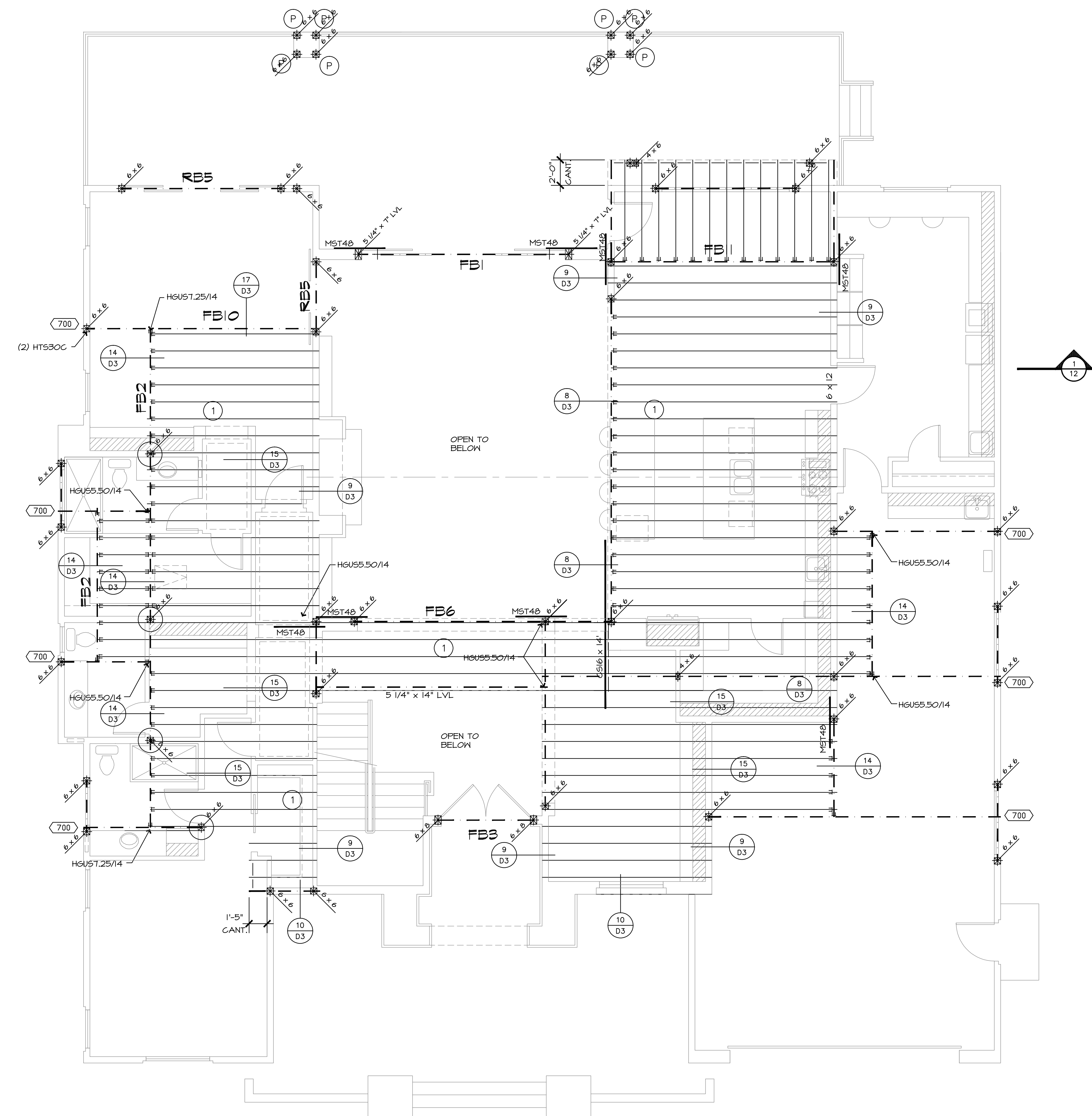
MAIN LEVEL FLOOR FRAMING

VERSION:
 DEC. 2023

SCALE:
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SECOND LEVEL FLOOR FRAMING

- ① DENOTES 16" DEEP x TJI / 230 FLOOR JOISTS AT 16" o.c. (OR EQUAL)
- ⑦00 TOO/FRAMING RIP CUT BEAM AT ROOF RAKE
- Ⓟ DENOTES 1" x 1" 2.0E PSL PARALLAM POST

FLOOR SHEATHING:
3/4" STANDARD 1 & G PLYWOOD, APA #48/24
GLUE AND NAILED TO FRAMING WITH 10d NAILS AT 6" o.c. EDGE AND BOUNDARY NAILING (E.N.) AND 10" o.c. FIELD NAILING (F.N.) UNLESS OTHERWISE NOTED.
STAGGER ALL END JOINTS AND RUN PLYWOOD PERPENDICULAR TO THE DIRECTION OF THE FRAMING. (NOTE: 10d RING SHANKS ARE RECOMMENDED IN LIEU OF 10d NAILS.)

BEAM SCHEDULE

BEAM ID.	SIZE	REMARKS
FB1	7" x 16" LVL MICROLAM (OR EQUAL)	
FB2		
FB2A		
FB3		
FB4		
FB5		
FB6		
FB7		
FB8		
FB9		
FB10		
FB11		
RB1		
RB2		
RB3		
RB4		
RB5		

HEADER SCHEDULE (UNLESS OTHERWISE NOTED ON PLANS)

OPENING SIZE	HEADER SIZE		TRIMMER POST (1,2)		KING POST (1,2)	
	2 x 4 STUD WALL	2 x 6 STUD WALL	2 x 4 STUD WALL	2 x 4 STUD WALL	2 x 6 STUD WALL	2 x 6 STUD WALL
LESS THAN 4'	4 x 10	6 x 10 DF #1	(1) 2 x 4	(1) 2 x 4	(1) 2 x 6	(1) 2 x 6
4' TO 6' MAX.	4 x 12	6 x 12 DF #1	(2) 2 x 4 OR 4 x 4	(2) 2 x 4	(2) 2 x 6 OR 4 x 6	(2) 2 x 6
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MEMBER	FACE MOUNT HANGER	TOP FLANGE HANGER
SINGLE JST.	IUT3516	MIT3516
DOUBLE JST.	MIU4.75/16	LBV3516-2

- NOTES:**
- STITCH MULTIPLE STUDS TOGETHER WITH 16d's AT 8" o.c. STAGGERED.
 - THE SPECIFIC POST SIZE REFERENCED IN THE HOLD-DOWN SCHEDULE SHALL TAKE PRECEDENCE OVER THE STATED POST SIZE, IN THIS HEADER SCHEDULE, WHERE HOLD-DOWNS OCCUR.

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OPENING SIZE	HEADER SIZE		TRIMMER POST (1/2)		KING POST (1/2)	
	2 x 4 STUD WALL	2 x 6 STUD WALL	2 x 4 STUD WALL	2 x 4 STUD WALL	2 x 6 STUD WALL	2 x 6 STUD WALL
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1. STITCH MULTIPLE STUDS TOGETHER WITH 16d's AT 8" o.c. STAGGERED.
 2. THE SPECIFIC POST SIZE REFERENCED IN THE HOLD-DOWN SCHEDULE SHALL TAKE PRECEDENCE OVER THE STATED POST SIZE, IN THIS HEADER SCHEDULE, WHERE HOLD-DOWNS OCCUR.

USE 2-2x6 STUDS BENEATH EACH GIRDER AND DRAG TRUSS SUPPORT
 STITCH MULT. MEMBERS TOGETHER WITH 16d's AT 8" o.c.
 FULL LENGTH UNLESS OTHERWISE NOTED

ALL GIRDER AND DRAG TRUSSES ARE TO BE CONNECTED TO SUPPORT POST
 WITH "SIMP." LGT GIRDER HOLD-DOWNS

USE 2 x 6 CONT. RIDGE BLOCKING ALONG ALL RIDGE LINES

SPAN TABLE (DF #2 OR BETTER)

MEMBER	MAX. ALLOW SPAN
2 x 6 RAFTERS AT 24" o.c.	7'-0"
2 x 8 RAFTERS AT 24" o.c.	10'-0"
2 x 6 RAFTERS AT 16" o.c.	9'-0"
2 x 8 RAFTERS AT 16" o.c.	12'-0"

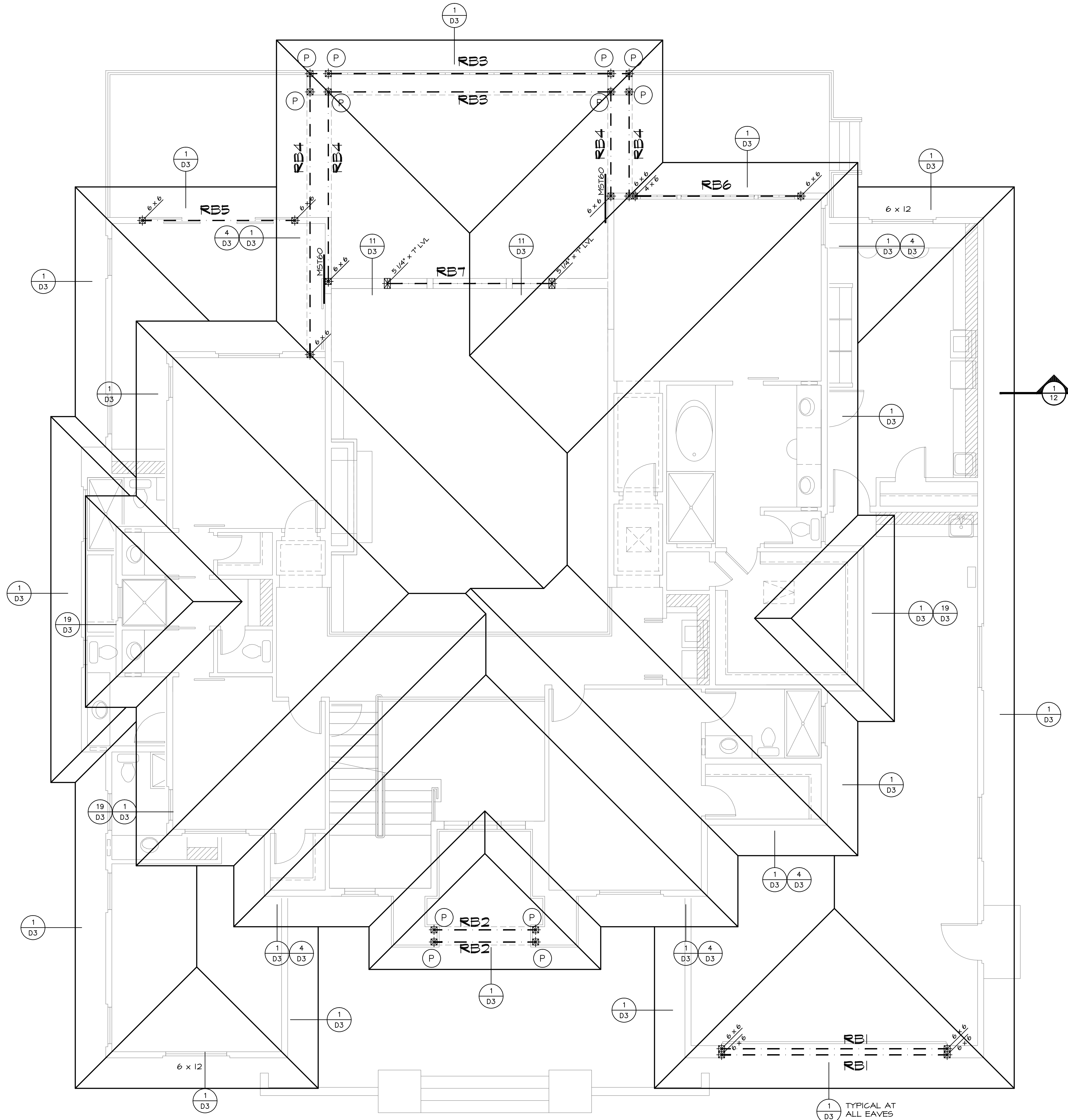
BEAM SCHEDULE

BEAM ID.	SIZE	REMARKS
RB1	5 1/4" x 16" 1.9E LVL MICROLAM (OR EQUAL)	
RB2	5 1/4" x 11 7/8" 1.9E LVL MICROLAM (OR EQUAL)	
RB3	5 1/4" x 18" 1.9E LVL MICROLAM (OR EQUAL)	
RB4	5 1/4" x 18" 1.9E LVL MICROLAM (OR EQUAL)	
RB5	5 1/4" x 11 7/8" 1.9E LVL MICROLAM (OR EQUAL)	
RB6	5 1/4" x 14" 1.9E LVL MICROLAM (OR EQUAL)	
RB7	7" x 14" 1.9E LVL MICROLAM (OR EQUAL)	

- NOTES:**
1. ALL DRAG TRUSSES ARE TO BE NAILED WITH 8d's AT 6" o.c. FULL LENGTH OF TRUSS TOP CHORD STRAP TO END WALLS WITH HORIZ. NIST48 STRAP, WHERE OCCURS
 2. ENGINEERED WOOD PRODUCTS SUCH AS ROOF TRUSSES, I-JOISTS, STRUCTURAL GLU-LAM BEAMS, LAMINATED TIMBER AND STRUCTURAL COMPOSITE LUMBER CANNOT BE CUT, NOTCHED, DRILLED, SPLICED OR OTHERWISE ALTERED IN ANY WAY WITHOUT THE APPROVAL OF THE ENGINEER OF RECORD.

LG T GIRDER / DRAG TRUSS HOLD-DOWN SCHEDULE

DRAG TRUSS AND/OR GIRDER TRUSS	HOLD-DOWN STRAP	COMMENTS
ONE PLY TRUSS	L6T2	WITH 2 x 6 x 48" SCAB WITH (2) ROWS OF 16d's AT 6" o.c. STAGGERED
TWO PLY TRUSSES	L6T2	
THREE PLY TRUSSES	L6T3-SDS2.5	
FOUR PLY TRUSSES	L6T4-SDS3	



ROOF FRAMING PLAN

ROOF SHEATHING:
 5/8" STANDARD (OR O.S.B.), CDX, PLYWOOD, APA #32/16 MIN.
 NAILED TO FRAMING WITH 8d NAILS AT 6" o.c.
 EDGE AND BOUNDARY NAILING (E.N.) AND 12" o.c.
 FIELD NAILING (F.N.) UNLESS OTHERWISE NOTED.
 STAGGER ALL END JOINTS AND RUN PLYWOOD
 PERPENDICULAR TO THE DIRECTION OF THE
 FRAMING WITH PANEL CLIPS AT ALL PLYWOOD EDGES.

(P) DENOTES 7" x 7" 2.0E PSL PARALLAM POST

ATTIC VENTILATION REQUIREMENT

TOTAL SQUARE FOOTAGE = 4454 SQ. FT.
 REQUIRED VENTILATION = 4454 / 150 = 33 SQ. FT.
 33 / 2 = 16.5 SQ. FT. OF SOFFIT EAVE VENTING
 33 / 2 = 16.5 SQ. FT. OF VENTING (GABLE, DORMER VENTS)
 NUMBER OF 4" x 22" VENTS (A= 80 SQ. IN.) = 21 VENTS
 INSTALL A MIN. OF (30) ATTIC VENTS EVENLY SPACED
 INSTALL A MIN. OF 16.5 SQ. FT. OF GABLE END, DORMER VENTS A MIN. OF 36" ABOVE EAVE HEIGHT

ROOF FRAMING PLAN

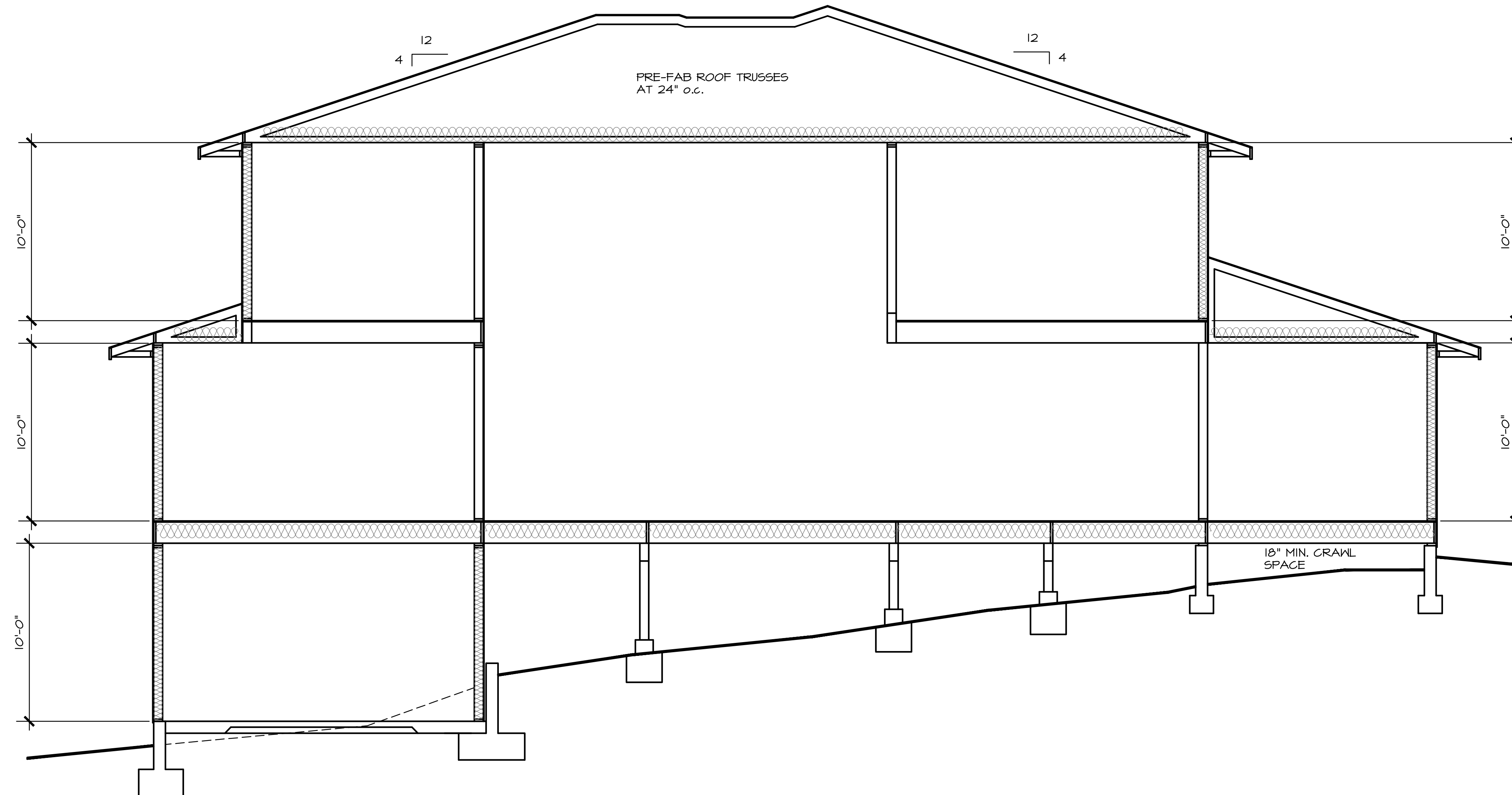
VERSION:
 DEC. 2023

SCALE:
 1/4" = 1'-0"

FILE NAME:

11
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 20

OWNERSHIP OF DOCUMENTS
 DRAWINGS AND SPECIFICATIONS AS INSTRUMENTS OF SERVICE ARE AND SHALL REMAIN THE PROPERTY OF DON BLESSEN & ASSOCIATES WHETHER THE PROJECT FOR WHICH THEY ARE MADE IS EXECUTED OR NOT. THEY ARE NOT TO BE USED BY THE CLIENT ON OTHER PROJECTS OR AS AN EXTENSION TO THIS PROJECT EXCEPT BY AGREEMENT IN WRITING WITH APPROPRIATE COMPENSATION TO DON BLESSEN & ASSOCIATES.



 **BUILDING SECTION**

MINIMUM STUD SCHEDULE		
MAX. STUD HEIGHT	EXTERIOR WALLS	INTERIOR WALLS
10'-0"	2 x 6 DF #2 AT 16" o.c.	2 x 4 DF #2 AT 16" o.c.
12'-0"	2 x 6 DF #2 AT 16" o.c.	2 x 4 DF #1 AT 16" o.c.
14'-0"	2 x 6 DF #1 AT 16" o.c.	2 x 6 DF #1 AT 16" o.c.
16'-0"	2 x 6 DF #1 AT 12" o.c.	2 x 6 DF #1 AT 16" o.c.
18'-0"	1 3/4" x 5 1/2" LVL AT 16" o.c.	2 x 6 DF #1 AT 16" o.c.
20'-0"	1 3/4" x 5 1/2" LVL AT 12" o.c.	2 x 6 DF #1 AT 16" o.c.

NOTES: 1. SEE FRAMING PLAN AND ARCHITECTURAL DRAWINGS FOR CONDITIONS NOT NOTED ABOVE
 2. ALL EXTERIOR WALLS SHALL HAVE A TYVEK (OR EQUAL) INFILTRATION BARRIER.

Design / Build
 Residential
 Commercial
 916.984.8466
 MercadoCD.com



BUILDING SECTION
 A.P.N. 072-2170-018-0000
 SINGH RESIDENCE, 791 HERITAGE PLACE, FOLSOM, CA. 95630

VERSION:
 DEC. 2023

SCALE:
 1/4" = 1'-0"

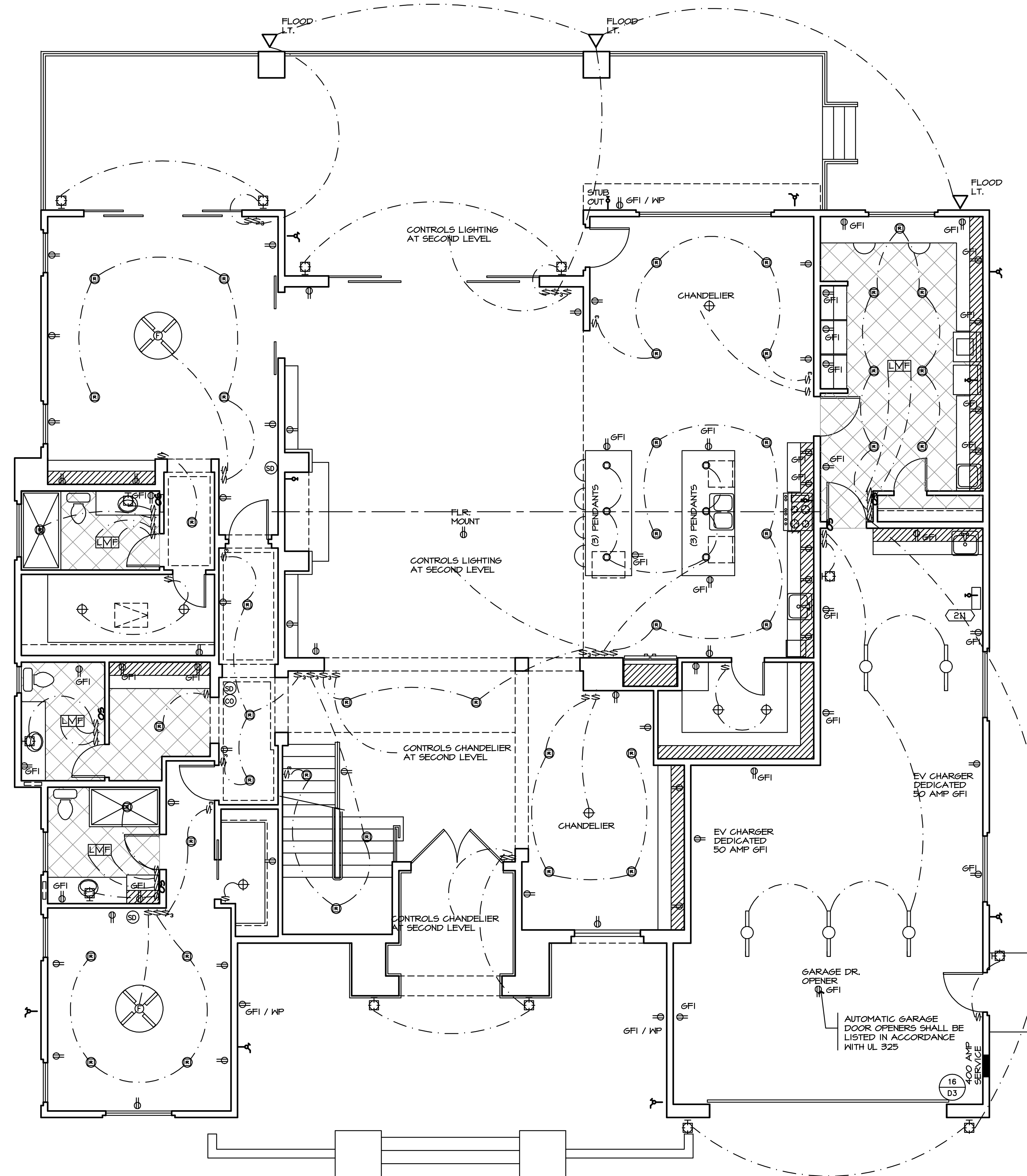
FILE NAME:

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FOR NEW CONSTRUCTION INSTALL A LISTED RACEWAY TO ACCOMMODATE A DEDICATED 200/240 VOLT BRANCH CIRCUIT. THE RACEWAY SHALL NOT BE LESS THAN TRADE SIZE 1 (NOMINAL 1-1/8" INSIDE DIAMETER). THE RACEWAY SHALL ORIGINATE AT THE MAIN SERVICE OR SUBPANEL AND SHALL TERMINATE INTO A LISTED CABINET, BOX, OR OTHER ENCLOSURE IN CLOSE PROXIMITY TO THE PROPOSED LOCATION OF AN EV CHARGER. RACEWAYS ARE REQUIRED TO BE CONTINUOUS AT ENCLOSED, INACCESSIBLE OR CONCEALED AREAS AND SPACES. THE SERVICE PANEL AND/OR SUBPANEL SHALL PROVIDE CAPACITY TO INSTALL A 40 AMP MINIMUM DEDICATED BRANCH CIRCUIT AND SPACES RESERVED TO PERMIT INSTALLATION OF A BRANCH CIRCUIT OVER CURRENT PROTECTIVE DEVICE. THE SERVICE PANEL OR SUBPANEL CIRCUIT DIRECTORY SHALL IDENTIFY THE OVER CURRENT PROTECTIVE DEVICE (SPACE) RESERVED FOR FUTURE EV CHARGING AS "EV CAPABLE". THE RACEWAY TERMINATION LOCATION SHALL BE PERMANENTLY AND VISIBLY MARKED AS "EV CAPABLE".

SYMBOLS:

- ⊕ DUPLEX (W.P. - WEATHERPROOF)
- ⊕ TRIPLEX (220V)
- ⊕ QUADRIplex
- ⊕ DUPLEX SPLIT WIRE
- ⊕ WALL SWITCH
- ⊕ 3 WAY WALL SWITCH
- ⊕ SWITCH WITH OCCUPANT SENSOR
- ⊕ WALL SWITCH w/ DIMMER CONTROL
- ⊕ CEILING MOUNTED LIGHT FIXTURE
- ⊕ WALL MOUNTED LIGHT
- ⊕ RECESSED LIGHT FIXTURE
- ⊕ FLUORESCENT LIGHT FIXTURE (2) x 48" LONG
- ⊕ 48" DIA. CEILING FAN
- ⊕ HOSE BIBB WITH APPROVED BACK FLOW PREVENTION DEVICE
- ⊕ GAS LIGHTER / SHUT OFF VALVE
- ⊕ LMF LIGHT, VENT FAN COMBO
- ⊕ 2" PLUMB TANKLESS DIRECT VENT WATERHEATER GAS PIPING SHALL BE CAPABLE OF 200,000 BTU PER THE 2014 CALIFORNIA ENERGY CODE
- ⊕ A PERMITTED GROUNDING ELECTRODE TYPE SHALL BE INSTALLED AS LISTED IN CEC 250.52
- ⊕ ALL 120-VOLT, SINGLE PHASE, 15 & 20-AMP BRANCH CIRCUITS SUPPLYING OUTLETS INSTALLED IN KITCHENS, DINING ROOMS, FAMILY ROOMS, LIVING ROOMS, PARLORS, LIBRARIES, DEN'S, BEDROOMS, SUNROOMS, REC ROOMS, CLOSETS, LAUNDRY AREAS, HALLWAYS, AND SIMILAR ROOMS SHALL BE PROTECTED BY A LISTED ARC-FAULT CIRCUIT INTERRUPTER, OR COMBINATION TYPE, INSTALLED TO PROVIDE PROTECTION OF THE BRANCH CIRCUIT.
- ⊕ AT LEAST 1 LUMINAIRE IN BATHROOMS, GARAGE, LAUNDRY ROOMS AND UTILITY ROOMS SHALL BE CONTROLLED BY A VACANCY OR OCCUPANT SENSOR PROGRAMMED AS A VACANCY SENSOR (MANUAL-ON OPERATION)
- ⊕ SMOKE DETECTORS SHALL BE INTERCONNECTED AND MUST BE INSTALLED IN EXISTING AND NEW ROOMS. SMOKE DETECTORS MUST BE BATTERY OPERATED IN EXISTING ROOMS AND HALLS ONLY AND HARD WIRED FOR NEW ROOMS AND HALLS, PER 2022 CALIFORNIA RESIDENTIAL CODE.
- ⊕ CARBON MONOXIDE DETECTORS SHALL BE INTERCONNECTED AND ARE REQUIRED OUTSIDE OF EACH SLEEPING AREA IN THE IMMEDIATE VICINITY OF BEDROOMS, AND ON EVERY LEVEL OF THE DWELLING UNIT. CARBON MONOXIDE DETECTORS ARE PERMITTED TO BE SOLELY BATTERY OPERATED WHEN THE PROPOSED WORK DOES NOT RESULT IN THE REMOVAL OF WALL AND CEILING FINISHES OR IS NO ACCESS BY MEANS OF ATTIC, BASEMENT, OR CRAWL SPACE, PER 2022 CALIFORNIA RESIDENTIAL CODE.



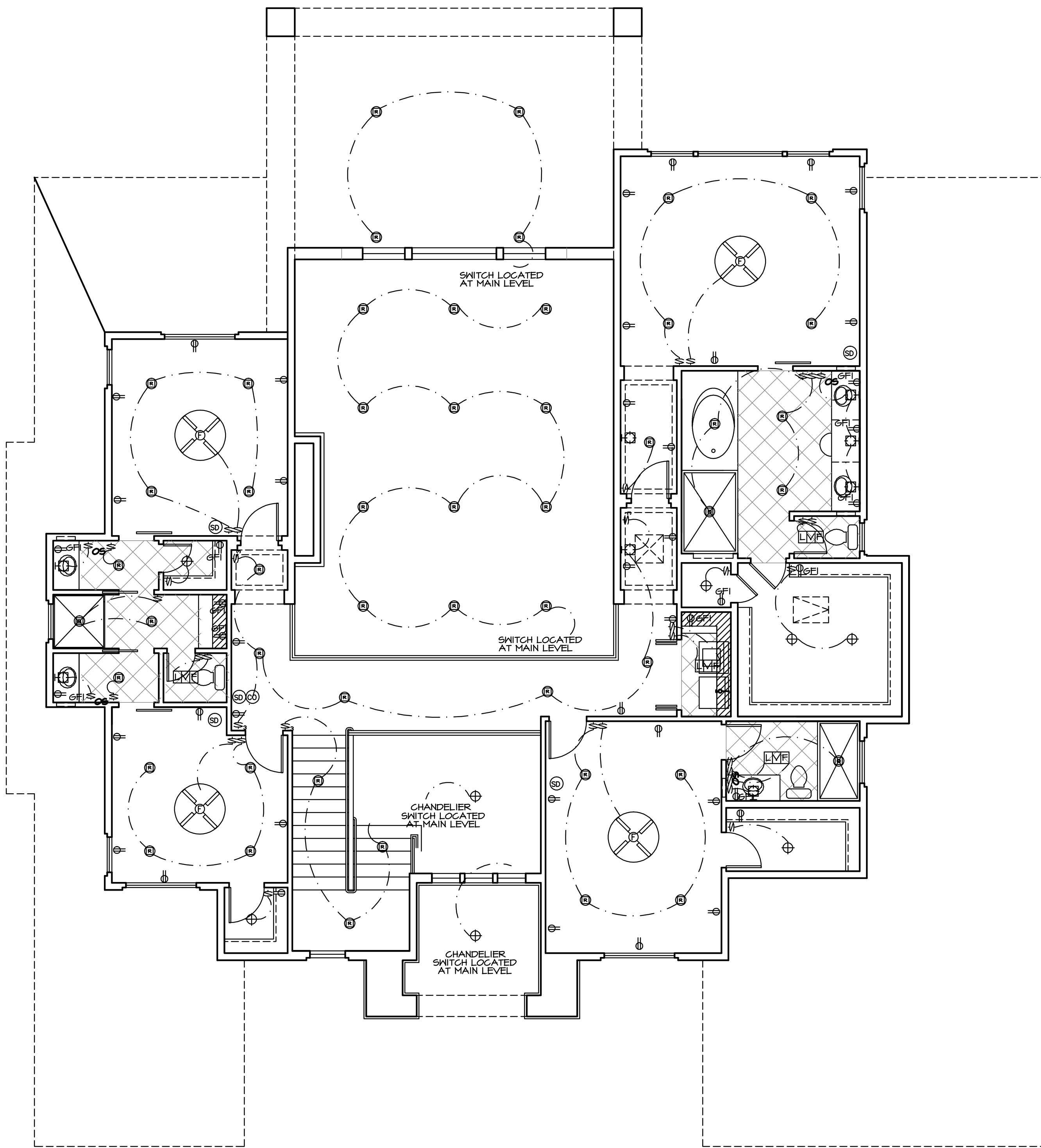
MAIN LEVEL ELECTRICAL PLAN

NOTE: ALL EAVE RECEPTACLES ARE TO BE WIRED TOGETHER WITH CONTROL SWITCH

FOR NEW CONSTRUCTION, INSTALL A LISTED RACEWAY TO ACCOMMODATE A DEDICATED 200/240 VOLT BRANCH CIRCUIT. THE RACEWAY SHALL NOT BE LESS THAN TRADE SIZE 1 (NOMINAL 1-INCH INSIDE DIAMETER). THE RACEWAY SHALL ORIGINATE AT THE MAIN SERVICE OR SUBPANEL AND SHALL TERMINATE INTO A LISTED CABINET, BOX, OR OTHER ENCLOSURE IN CLOSE PROXIMITY TO THE PROPOSED LOCATION OF AN EV CHARGER. RACEWAYS ARE REQUIRED TO BE CONTINUOUS AT ENCLOSED, INACCESSIBLE OR CONCEALED AREAS AND SPACES. THE SERVICE PANEL AND/OR SUBPANEL SHALL PROVIDE CAPACITY TO INSTALL A 40 AMP MINIMUM DEDICATED BRANCH CIRCUIT AND SPACES RESERVED TO PERMIT INSTALLATION OF A BRANCH CIRCUIT OVER CURRENT PROTECTIVE DEVICE. THE SERVICE PANEL OR SUBPANEL CIRCUIT DIRECTORY SHALL IDENTIFY THE OVER CURRENT PROTECTIVE DEVICE(S) RESERVED FOR FUTURE EV CHARGING AS "EV CAPABLE". THE RACEWAY TERMINATION LOCATION SHALL BE PERMANENTLY AND VISIBLY MARKED AS "EV CAPABLE".

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- ⊕ SWITCH WITH OCCUPANT SENSOR
- ⊕ WALL SWITCH w/ DIMMER CONTROL
- ⊕ CEILING MOUNTED LIGHT FIXTURE
- ⊕ WALL MOUNTED LIGHT
- ⊕ RECESSED LIGHT FIXTURE
- ⊕ FLUORESCENT LIGHT FIXTURE (2) x 48" LONG
- ⊕ EXHAUST FAN
- ⊕ 48" DIA. CEILING FAN
- ⊕ HOSE BIBB WITH APPROVED BACK FLOW PREVENTION DEVICE
- ⊕ GAS LIGHTER / SHUT OFF VALVE
- ⊕ LMF LIGHT, VENT FAN COMBO
- ⊕ 2" PLUMB TANKLESS DIRECT VENT WATERHEATER
- ⊕ GAS PIPING SHALL BE CAPABLE OF 200,000 BTU PER THE 2019 CALIFORNIA ENERGY CODE
- ⊕ A PERMITTED GROUNDING ELECTRODE TYPE SHALL BE INSTALLED AS LISTED IN CEC 250.52
- ⊕ ALL 120-VOLT, SINGLE PHASE, 15 & 20-AMP BRANCH CIRCUITS SUPPLYING OUTLETS INSTALLED IN KITCHENS, DINING ROOMS, FAMILY ROOMS, LIVING ROOMS, PARLORS, LIBRARIES, DENs, BEDROOMS, SUNROOMS, REC ROOMS, CLOSETS, LAUNDRY AREAS, HALLWAYS, AND SIMILAR ROOMS SHALL BE PROTECTED BY A LISTED ARC-FAULT CIRCUIT INTERRUPTER, OR COMBINATION TYPE, INSTALLED TO PROVIDE PROTECTION OF THE BRANCH CIRCUIT.
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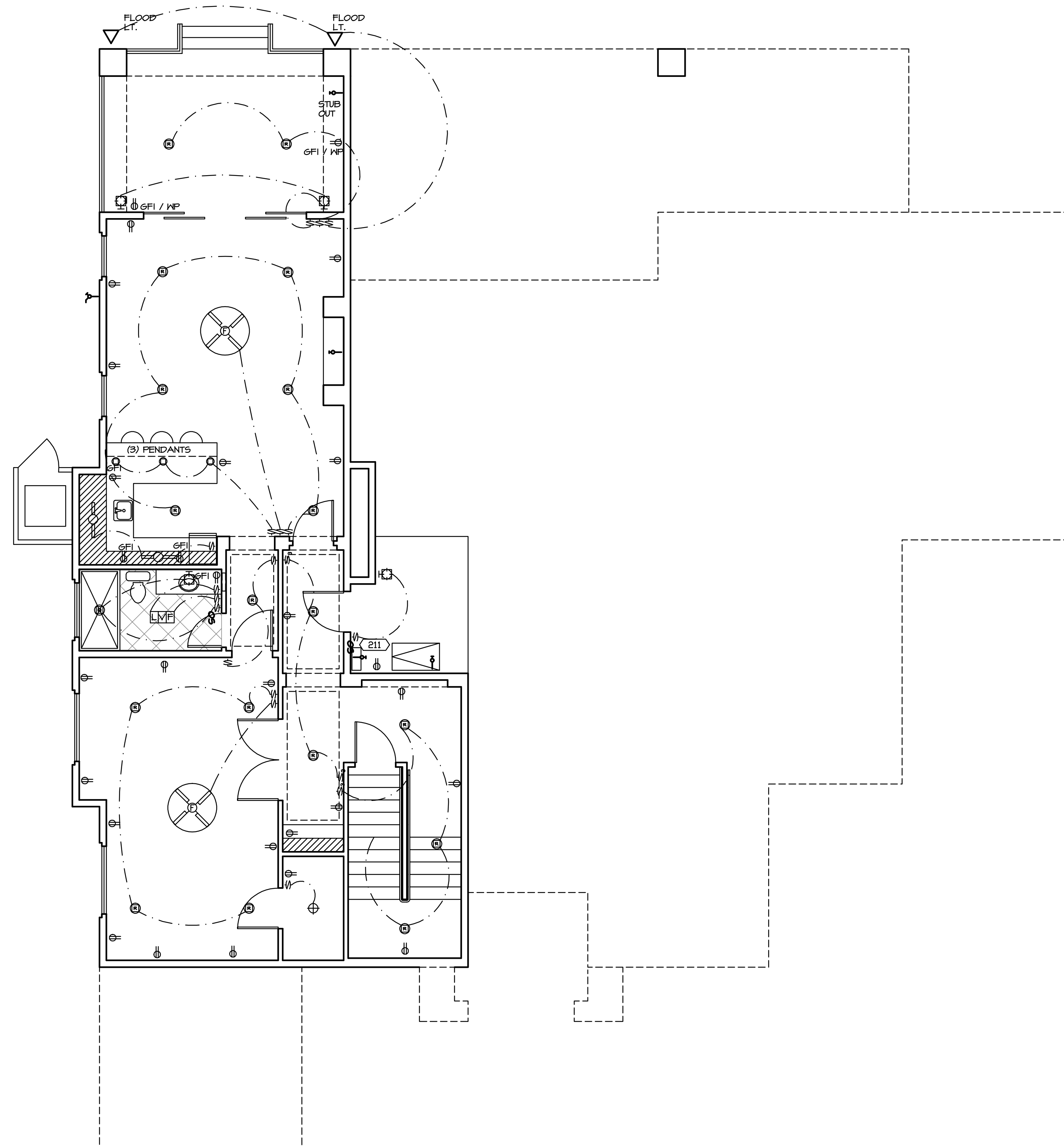
SECOND LEVEL ELECTRICAL PLAN

NOTE: ALL EAVE RECEPTACLES ARE TO BE WIRED TOGETHER WITH CONTROL SWITCH

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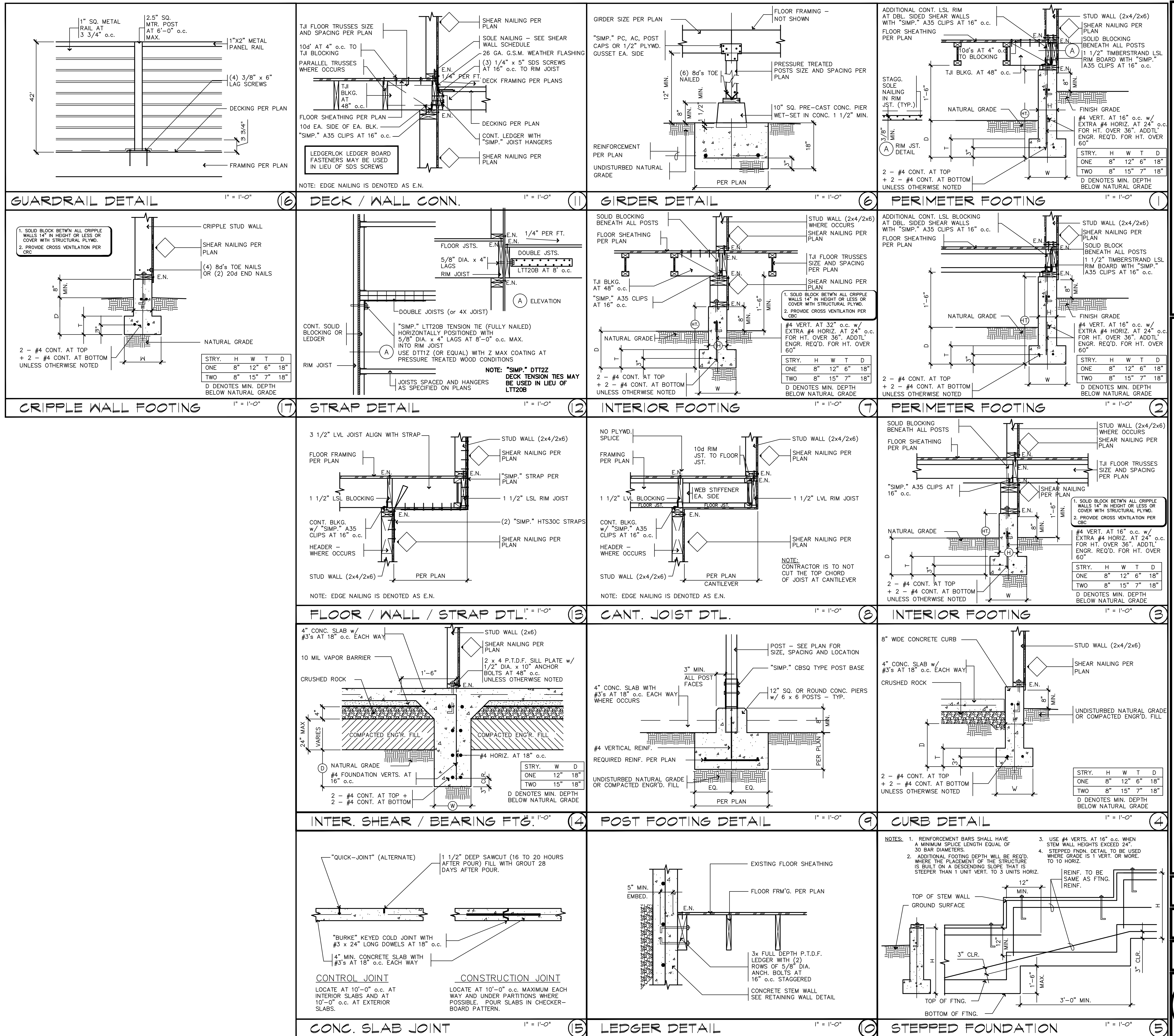
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- ⊕ GAS LIGHTER / SHUT OFF VALVE
- ⊕ LMF LIGHT, VENT FAN COMBO
- ⊕ 211 21/2" PLUMB TANKLESS DIRECT VENT WATERHEATER GAS PIPING SHALL BE CAPABLE OF 200,000 BTU PER THE 2019 CALIFORNIA ENERGY CODE
- ⊕ A PERMITTED GROUNDING ELECTRODE TYPE SHALL BE INSTALLED AS LISTED IN CEC 250.52
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BASEMENT LEVEL ELECTRICAL PLAN

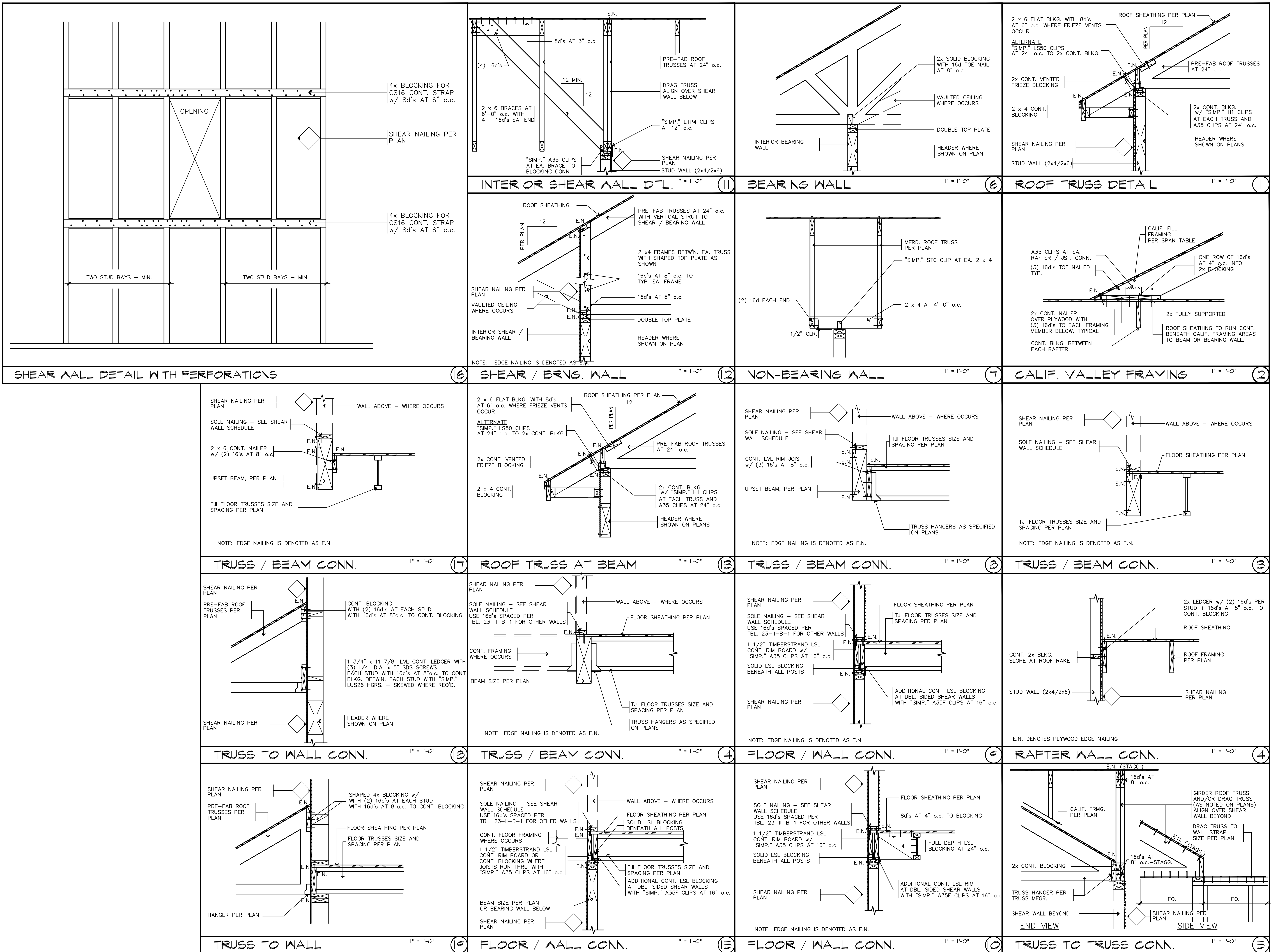
NOTE: ALL EAVE RECEPTACLES ARE TO BE WIRED TOGETHER WITH CONTROL SWITCH

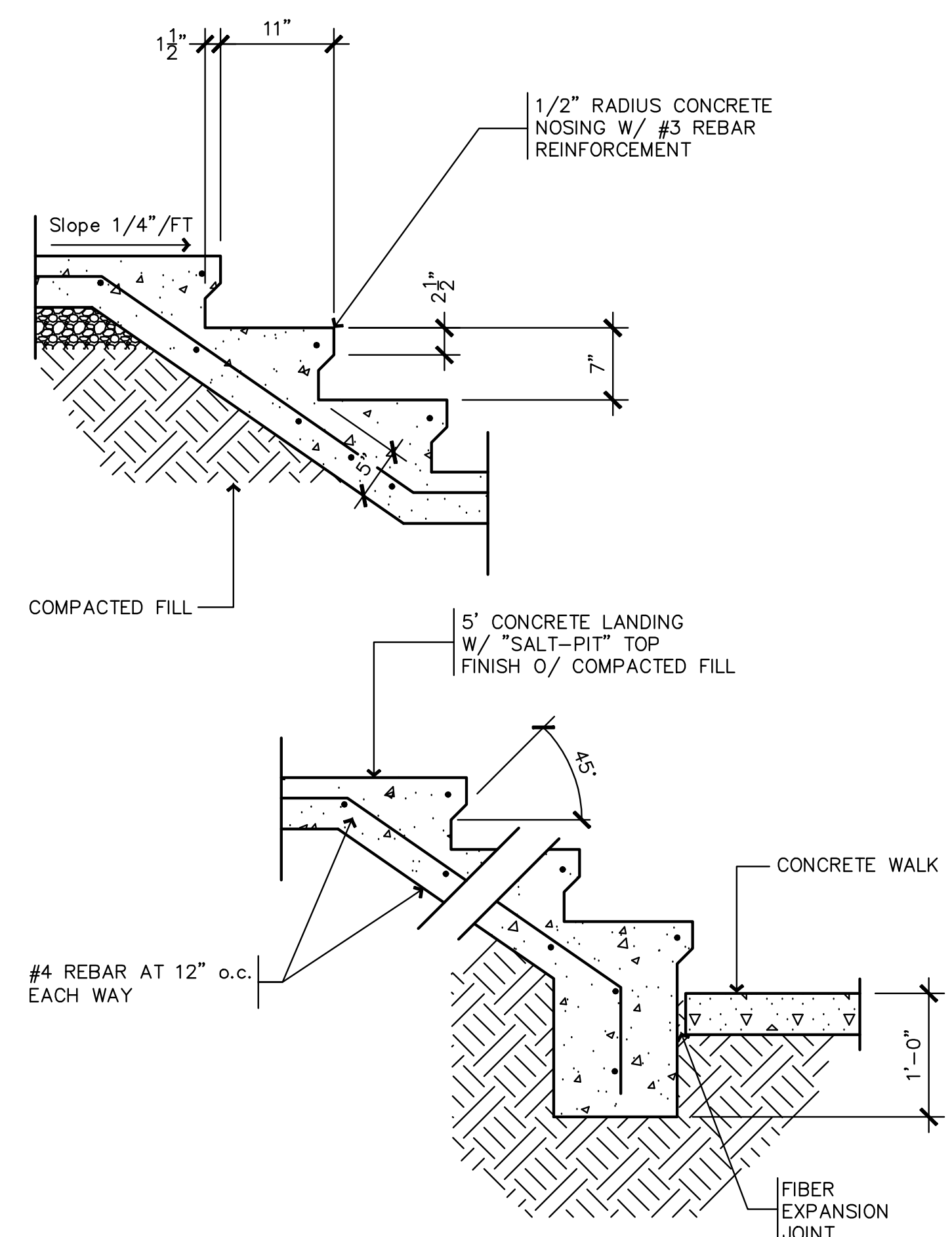


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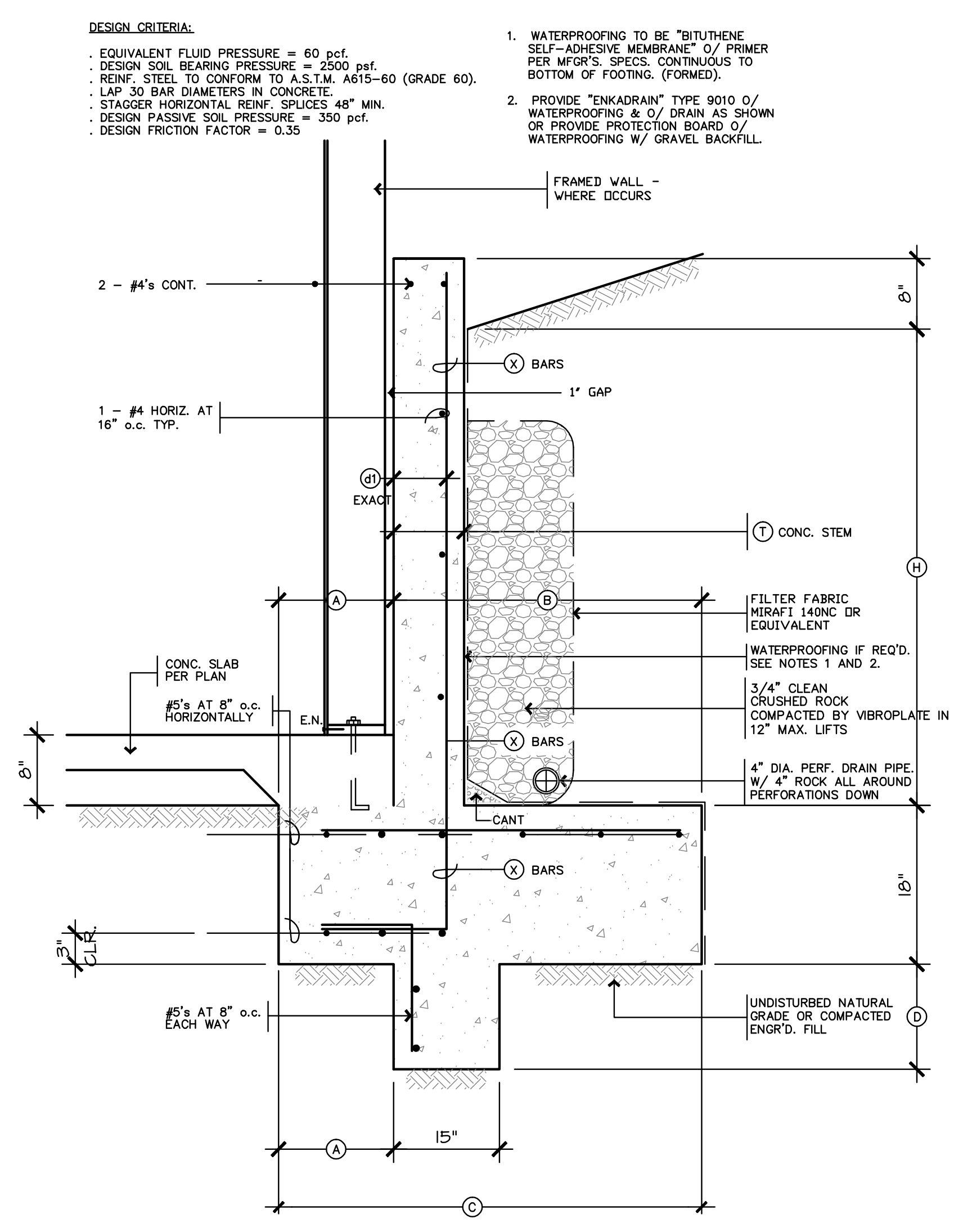
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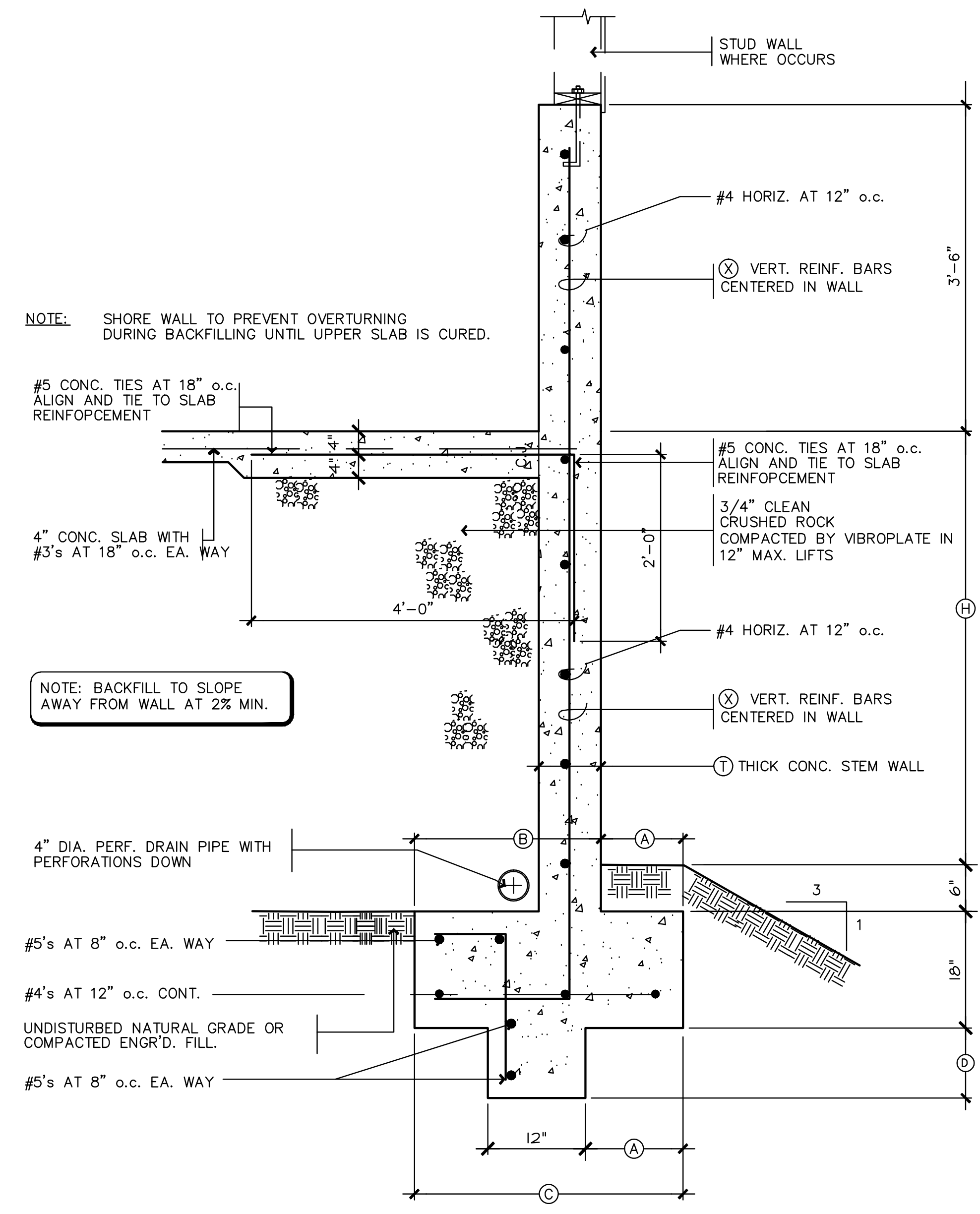


CONCRETE STEPS DETAIL (3)



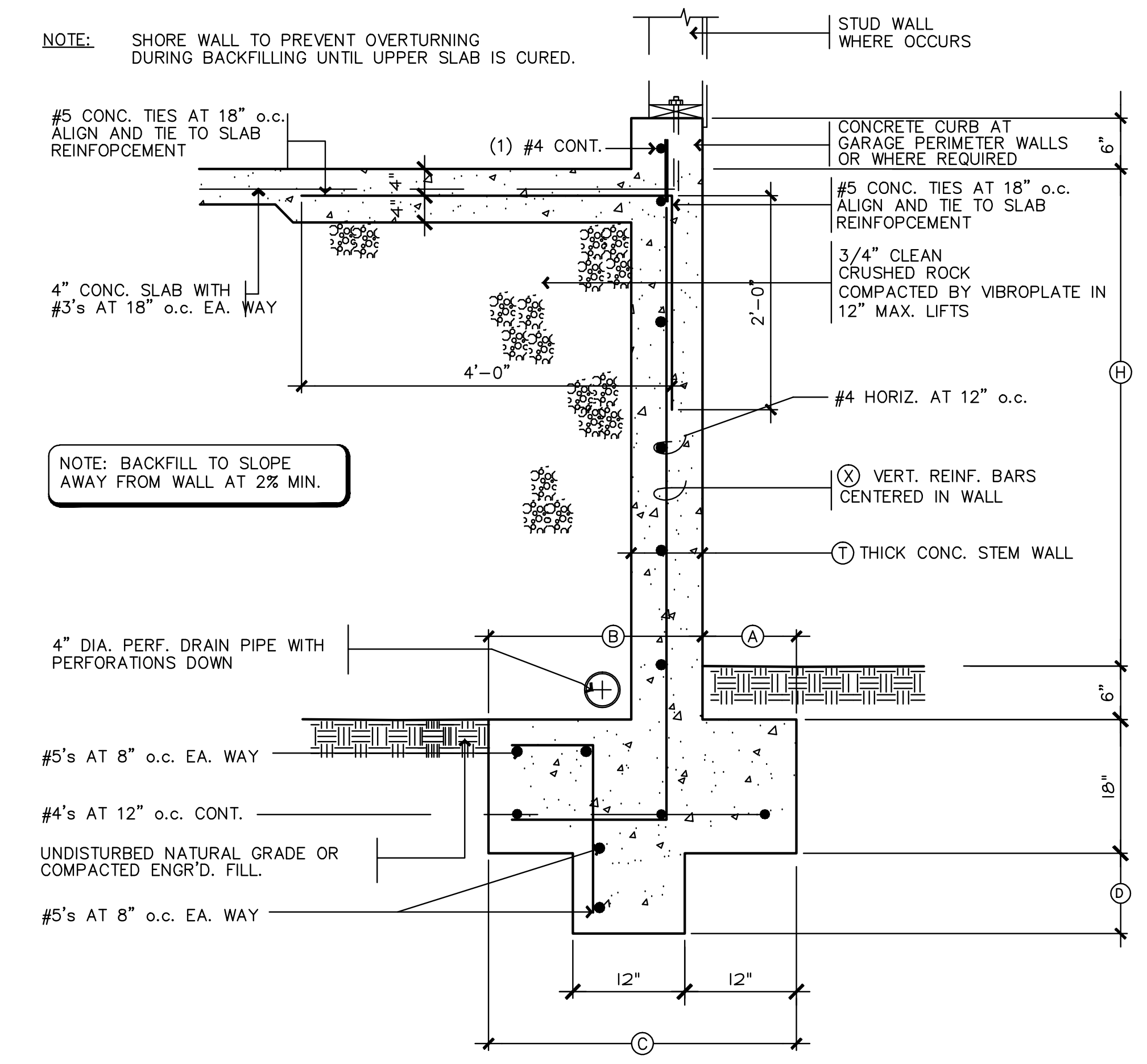
(H) DENOTES MAX. STEM WALL HEIGHT	(V) BARS	(A)	(B)	(C)	(D)	(E)	(F)
6'-0" - 7'-0"	#5 VERT. AT 8" o.c.	1'-8"	3'-6"	5'-2"	14"	8"	6.19"
4'-0" - 6'-0"	#5 VERT. AT 10" o.c.	1'-8"	2'-6"	4'-2"	12"	8"	6.19"
0 - 4'-0"	#4 VERT. AT 12" o.c.	1'-2"	1'-10"	3'-0"	—	8"	6.25"

RETAINING WALL DETAIL (1)



(H) MAX. WALL HEIGHT	(V) BARS	(A)	(B)	(C)	(D)	(E)
7'-0" - 9'-0"	#6 VERT. AT 8" o.c.	2'-0"	3'-0"	5'-0"	28"	8"
5'-0" - 7'-0"	#5 VERT. AT 6" o.c.	2'-0"	2'-0"	4'-0"	20"	8"
3'-0" - 5'-0"	#5 VERT. AT 8" o.c.	1'-4"	1'-8"	3'-0"	14"	8"
3'-0"	#5 VERT. AT 12" o.c.	1'-0"	1'-3"	2'-3"	6"	8"

ENTRY PORCH WALL DETAIL (4)



(H) MAX. WALL HEIGHT	(V) BARS	(A)	(B)	(C)	(D)	(E)
7'-0" - 9'-0"	#6 VERT. AT 8" o.c.	2'-0"	3'-0"	5'-0"	28"	8"
5'-0" - 7'-0"	#5 VERT. AT 6" o.c.	2'-0"	2'-0"	4'-0"	20"	8"
3'-0" - 5'-0"	#5 VERT. AT 8" o.c.	1'-4"	1'-8"	3'-0"	14"	8"
3'-0"	#5 VERT. AT 12" o.c.	1'-0"	1'-3"	2'-3"	6"	8"

RESTRAINING WALL DETAIL (2)

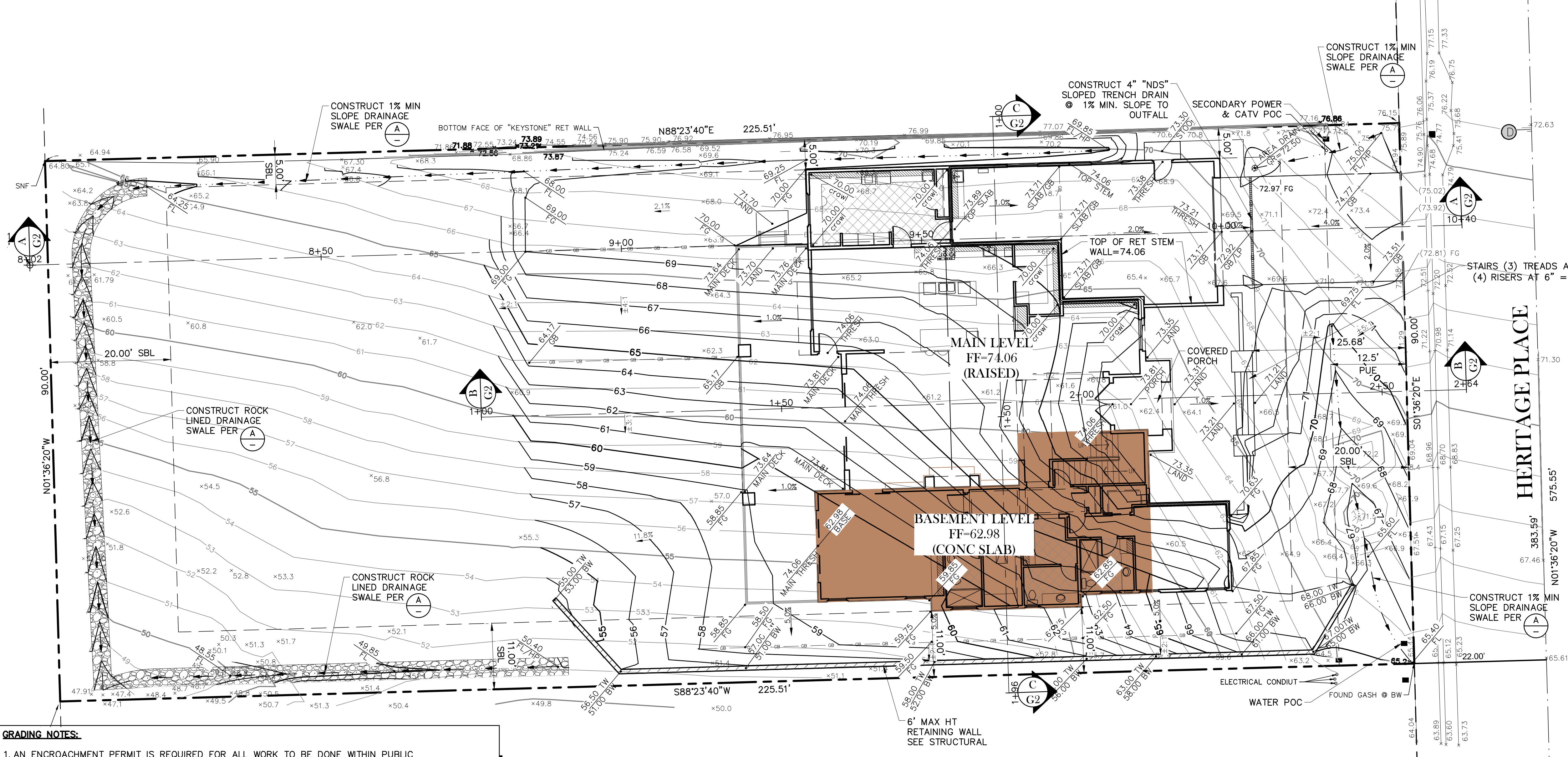
SITE/GRADING PLAN

791 HERITAGE PLACE

APN: 072-2170-018-0000

LOT 38 - EMPIRE RANCH VILLAGE 48

CITY OF FOLSOM, CALIFORNIA



SHEET INDEX	
G1	SITE/GRADING PLAN
G2	GRADING SECTIONS
G3	EROSION & SEDIMENT CONTROL PLAN
RSN.1	STRUCTURAL NOTES - RETAINING WALL
RSD.1	STRUCTURAL DETAILS - RETAINING WALL

RAVI & AMRIK SINGH
 OWNER/APPLICANT
 14420 BEVAN STREET
 SLOUGHHOUSE, CA 95683
 PHONE: (916) 600-4355
 EMAIL: ravingh011@yahoo.com

GRADING NOTES:

1. AN ENCROACHMENT PERMIT IS REQUIRED FOR ALL WORK TO BE DONE WITHIN PUBLIC RIGHTS-OF-WAY OR EASEMENTS, AND FOR CONNECTIONS TO PUBLICLY-OWNED AND MAINTAINED FACILITIES.
2. CALL UNDERGROUND SERVICE ALERT (USA) AT 811 OR 800.642.2444, FORTY-EIGHT (48) HOURS PRIOR TO ANY GRADING/EXCAVATION ACTIVITY.
3. THE OWNER/CONTRACTOR SHALL NOTIFY CITY OF FOLSOM CONSTRUCTION INSPECTION SERVICES AT 916.355.7210, TWENTY-FOUR(24) HOURS PRIOR TO COMMENCEMENT OF ANY GRADING.
4. CONTRACTOR SHALL OBTAIN AN APPROVED WATER METER FROM THE CITY AT THE OWNER'S EXPENSE.
5. ALL REFERENCES TO "STANDARD SPECIFICATIONS" SHALL MEAN THE LATEST EDITION OF THE CITY OF FOLSOM STANDARD CONSTRUCTION SPECIFICATIONS AND DESIGN AND PROCEDURES MANUAL.
6. DRAINAGE SWALES ARE TO BE CONSTRUCTED PER CITY STANDARD DETAIL.
7. CLEARING AND GRUBBING SHALL CONFORM TO THE PROVISIONS OF SECTION 9.1 OF THE STANDARD SPECIFICATIONS.
8. ALL EXCAVATION, EMBANKMENT, BACKFILL, ETC., SHALL CONFORM TO THE PROVISIONS IN SECTION 9.2, "EXCAVATION," OF THE STANDARD SPECIFICATIONS.
9. CUSTOM HOMES AND/OR SWIMMING POOLS SHALL BE CHALKED OUT ON THE GROUND AND ALL OAK TREES SHALL BE FENCED WITH HIGH VISIBILITY FENCING BEFORE THE PRE-SITE INSPECTION IS SCHEDULED.
10. NO WORK SHALL BE DONE UNDER OR WITHIN THE TREE PROTECTION ZONE (TPZ) OF ANY EXISTING TREE WITHOUT A VALID TREE PERMIT.
11. GRADING ACTIVITIES SHALL IMPLEMENT EROSION AND DUST CONTROL MEASURES AT ALL TIMES. EROSION CONTROL PLANS SHALL BE SUBMITTED TO THE CITY OF FOLSOM, COMMUNITY DEVELOPMENT DEPARTMENT FOR REVIEW AND APPROVAL.
12. THERE SHALL BE NO TRESPASSING OF ANY KIND INTO PUBLIC OR PRIVATE OPEN SPACE AREAS.
13. ALL GRADING SHALL BE DONE IN ACCORDANCE WITH THE GEOTECHNICAL REPORT JOB NO. EQ20259_036 FOR EMPIRE RANCH VILLAGES 32, 34-36 PROVIDED BY: YOUNGDAHL ENGINEERING GROUP, AND DATED: APRIL 2004.
14. ALL GRADING INCLUDING COMPACTION, EXCAVATION, PLACEMENT OF FILL MATERIALS ETC., SHALL BE DONE UNDER THE DIRECTION OF A GEOTECHNICAL ENGINEER.
15. THE OWNER/CONTRACTOR SHALL PROVIDE A GRADING REPORT CONSISTING OF THE OBSERVATIONS MADE DURING EARTHWORK OPERATIONS, SIGNED AND STAMPED BY A LICENSED GEOTECHNICAL ENGINEER, PRIOR TO ISSUANCE OF A BUILDING PERMIT FOR THE STRUCTURE. RECOMMENDATIONS PROVIDED IN THE GRADING REPORT SHALL BE COMPLETED PRIOR TO ANY STRUCTURAL IMPROVEMENTS.

ADDITIONAL GRADING NOTES:

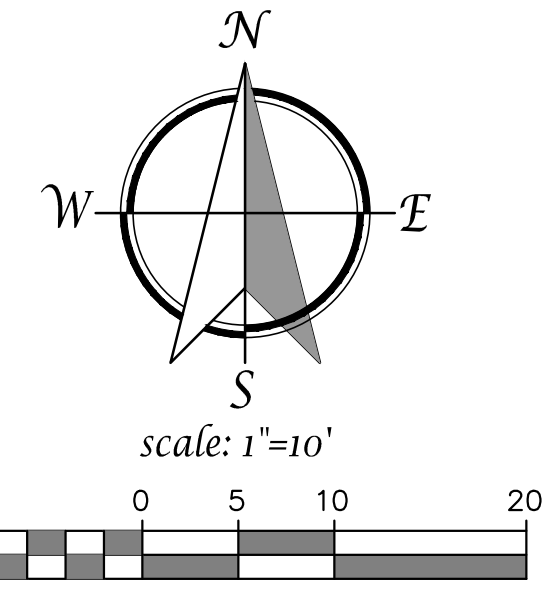
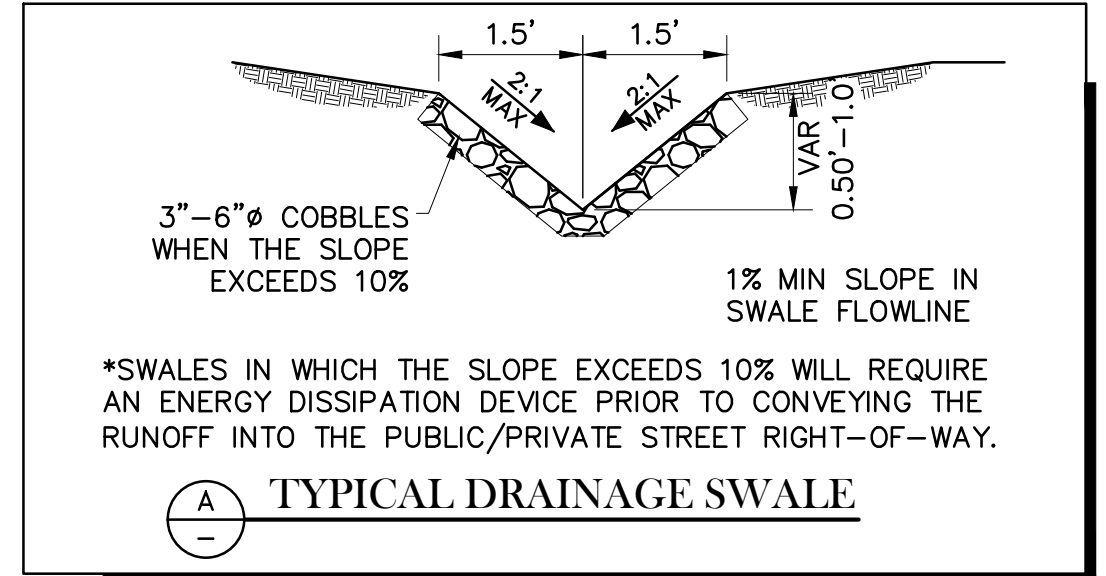
1. COMPACTION TEST REQUIRED ON ALL FILL AREAS.
2. CALL U.S.A. AT 1-800-642-2444 PRIOR TO EXCAVATION.
3. ROCK LINE ANY SWALES STEEPER THAN 10%.
4. CONTRACTOR TO VERIFY BUILDING STRUCTURAL SECTION PRIOR TO CONSTRUCTION.

RETAINING WALL NOTES:

1. RETAINING WALLS SHOWN HEREON ARE FOR INFORMATION ONLY AND NOT CONSTRUCTED UNDER THIS PERMIT. SAID WALLS SHALL BE CONSTRUCTED UNDER SEPARATE PERMIT.
2. NO PART OF THE ROCKERY WALL CONSTRUCTION, INCLUDING FOOTING AND DRAINAGE SYSTEM, WILL EXTEND OVER THE PROPERTY LINE.
3. REFER TO ROCKERY DESIGN AND CONSTRUCTION GUIDELINES BY FHWA OR ASCE.

ABBREVIATIONS

AGGREGATE BASE	AB	PORTLAND CEMENT CONCRETE	PCC
ASPHALTIC CONCRETE PAVEMENT	AC	PROPERTY LINE	PL
BOTTOM OF WALL	BW	POINT OF CONNECTION	POC
CENTER LINE	CL	PUBLIC UTILITY EASEMENT	PUE
DESIGN GRADE ELEVATION	DG	RADIUS	R
FINISHED GRADE ELEVATION	FG	RIGHT OF WAY	ROW (R/W)
FINISHED FLOOR	FF	STORM DRAIN CLEAN OUT	SDCO
FIRE SERVICE	FS	STORM DRAIN MANHOLE	SDMH
FIRE WATER	FW	SANITARY SEWER CLEAN OUT	SSCO
FLOW LINE	FL	SANITARY SEWER MANHOLE	SSMH
GRADE BREAK	GB	STANDARD	STD
HIGH POINT	HP	STATION (CENTERLINE)	STA
INVERT ELEVATION	IE	TO BE DETERMINED	TBD
LINEAR FEET	LF	TOP OF CURB	TC
LOW POINT	LP	TOP OF FOOTING	TF
OVERHEAD	OH	TOP OF WALL	TW
PEDESTAL	PED	TYPICAL	TYP



INSPECTIONS

- IT SHALL BE THE DUTY OF THE HOLDER OF THE BUILDING PERMIT OR THEIR DULY AUTHORIZED AGENT TO NOTIFY THE BUILDING OFFICIAL WHEN WORK IS READY FOR INSPECTION. IT SHALL BE THE DUTY OF THE PERMIT HOLDER TO PROVIDE ACCESS TO AND MEANS FOR INSPECTIONS OF SAID WORK THAT ARE REQUIRED BY THIS CODE.
- ALL CONSTRUCTION WORK SHALL BE SUBJECTED TO INSPECTION BY THE CITY OF FOLSOM BUILDING OFFICIAL (OR HIS/HER REPRESENTATIVES) AND SUCH CONSTRUCTION OR WORK SHALL REMAIN ACCESSIBLE AND EXPOSED FOR INSPECTION PURPOSES UNTIL APPROVED. APPROVAL AS A RESULT OF AN INSPECTION SHALL NOT BE CONSTRUED TO BE AN APPROVAL OF A VIOLATION OF THE PROVISIONS OF THIS CODE OR OTHER ORDINANCES OF THE JURISDICTION. INSPECTIONS PRESUMING TO GIVE AUTHORITY TO VIOLATE OR CANCEL THE PROVISIONS IT THIS CODE OR OF OTHER ORDINANCES OF THE JURISDICTION SHALL NOT BE VALID. IT SHALL BE THE DUTY OF THE PERMIT APPLICANT TO CAUSE THE WORK TO REMAIN ACCESSIBLE AND EXPOSED FOR INSPECTION PURPOSES. NEITHER THE BUILDING OFFICIAL NOR THE JURISDICTION SHALL BE LIABLE FOR EXPENSES ENTAILED IN THE REMOVAL OR PLACEMENT OF ANY MATERIAL REQUIRED TO ALLOW INSPECTION. 2016 C.R.C. SECTION R109.

AMENDED CONSTRUCTION DOCUMENTS

WORK SHALL BE INSTALLED IN ACCORDANCE WITH THE APPROVED CONSTRUCTION DOCUMENTS, AND ANY CHANGES MADE DURING CONSTRUCTION THAT ARE NOT IN COMPLIANCE WITH THE APPROVED CONSTRUCTION DOCUMENTS SHALL BE RESUBMITTED FOR APPROVAL AS AN AMENDED SET OF CONSTRUCTION DOCUMENTS.

TOPOGRAPHIC SURVEY

TOPOGRAPHIC SURVEY HAS BEEN GENERATED FROM FIELD SURVEY PERFORMED BY TSD ENGINEERING INC., DATED DECEMBER 18, 2023. CONTRACTOR TO VERIFY EXISTING GRADES PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER OF ANY CONFLICTS.

EARTHWORK QUANTITIES:

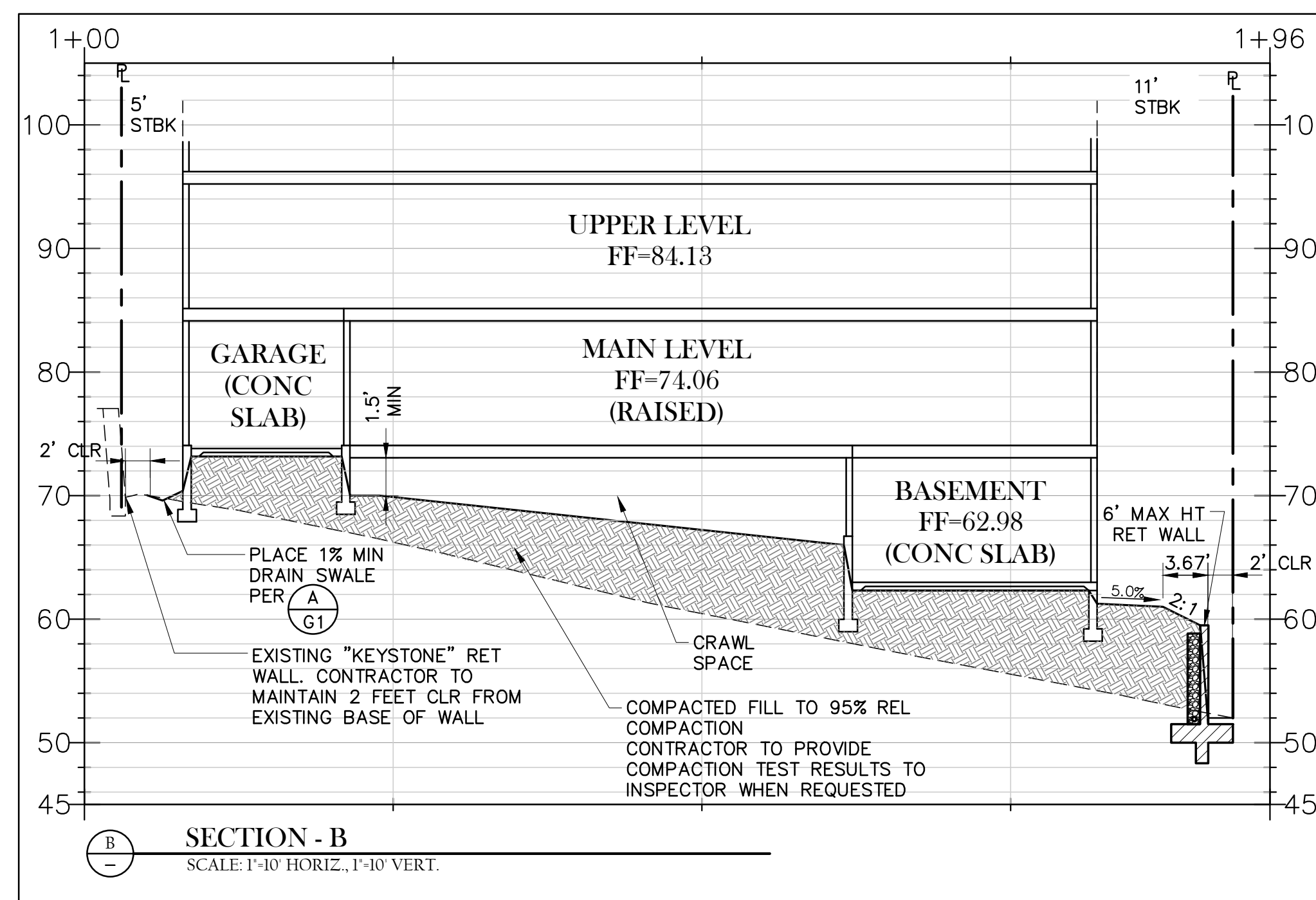
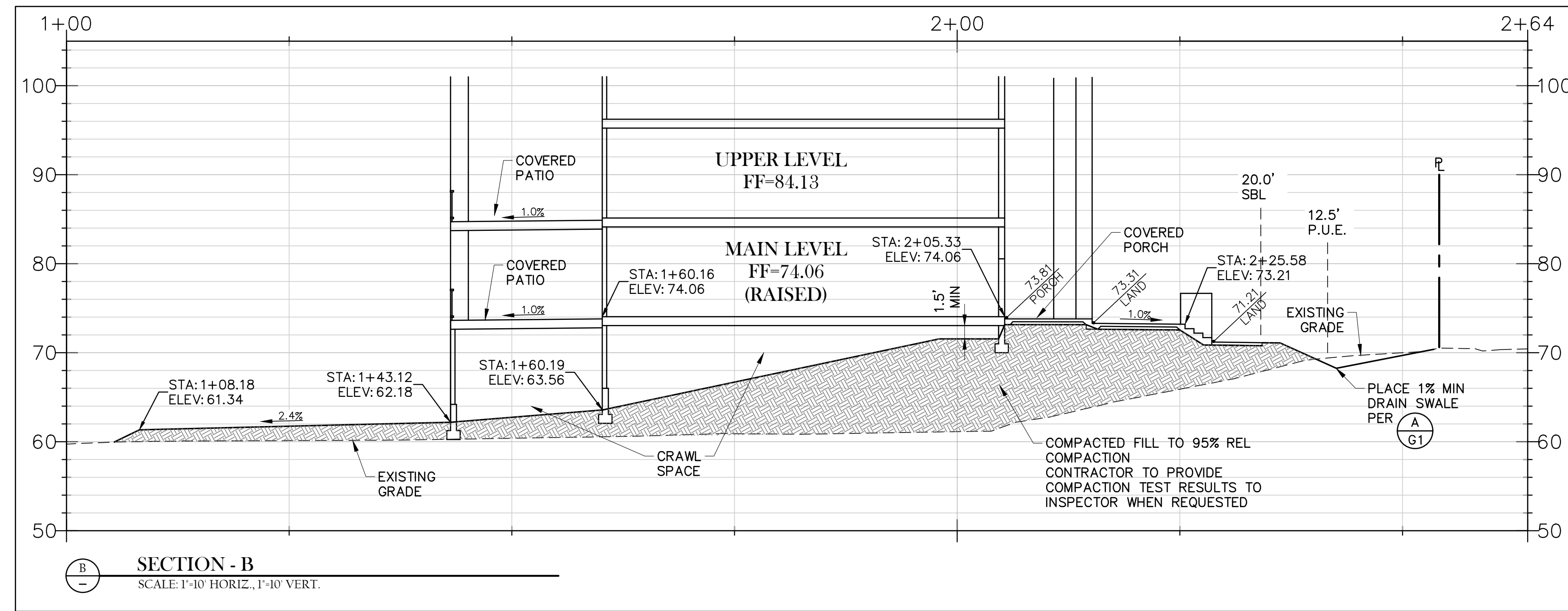
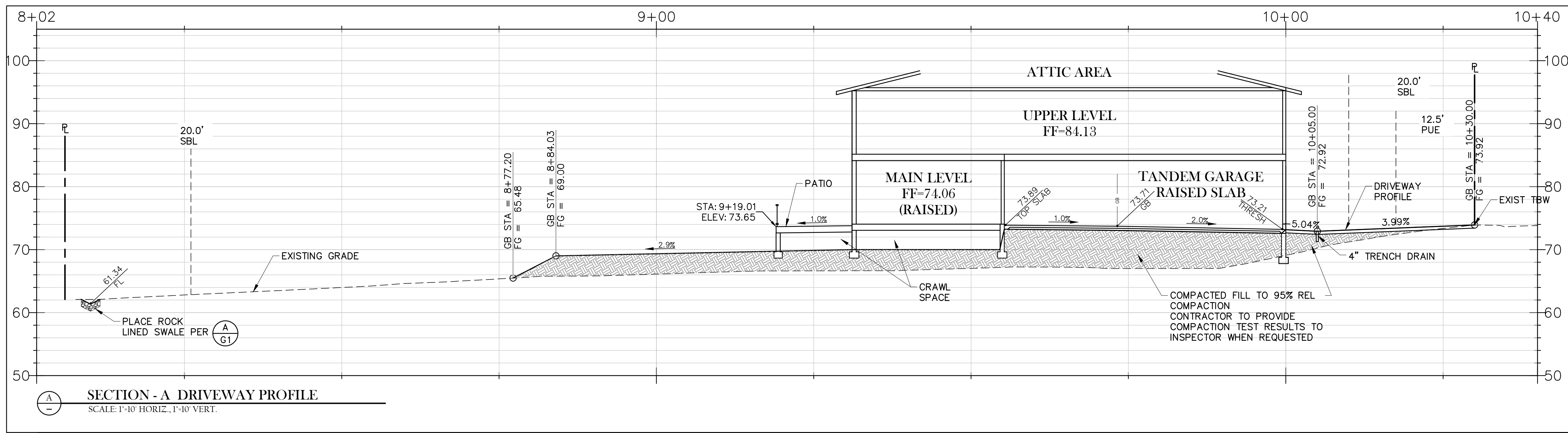
CUT - ± 37 CY
 FILL - ± 1681 CY
 NET - ± 1644 CY (IMPORT)
 AREA OF IMPACT - ± 13,038 SF=0.29 Ac
 RAW NUMBERS, NO SHRINKAGE OR SWELL WAS ACCOUNTED FOR.

811
 Know what's below.
 Call before you dig.
 NOTICE TO CALL A MIN. 48 HOURS PRIOR TO CONSTRUCTION.

TSD ENGINEERING, INC.
 expect more.

785 Orchard Drive, Suite #110
 Folsom, CA 95630
 Phone: (916) 608-0707
 Fax: (916) 608-0701

SHEET
 G1/3



SITE SECTIONS
791 HERITAGE PLACE
APN: 072-2170-018-0000
LOT 38 - EMPIRE RANCH VILLAGE 48
CITY OF FOLSOM, CALIFORNIA

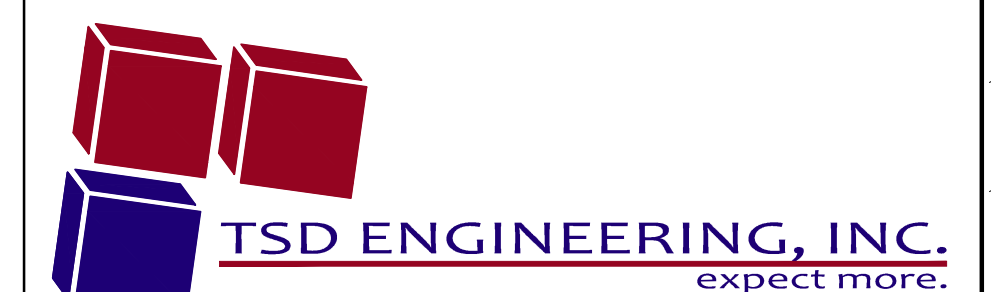
RAVI & AMRIK SINGH
OWNER/APPLICANT
14420 BEVAN STREET
SLOUGHHOUSE, CA 95683
PHONE: (916) 600-4355
EMAIL: ravisingh011@yahoo.com

ADDITIONAL GRADING NOTES:

1. COMPACTION TEST REQUIRED ON ALL FILL AREAS.
2. CALL U.S.A. AT 1-800-642-2444 PRIOR TO EXCAVATION.
3. ROCK LINE ANY SWALES STEEPER THAN 10%.
4. CONTRACTOR TO VERIFY BUILDING STRUCTURAL SECTION W/ GEOTECH REPORT AND ARCHITECTS PLANS PRIOR TO GRADING.



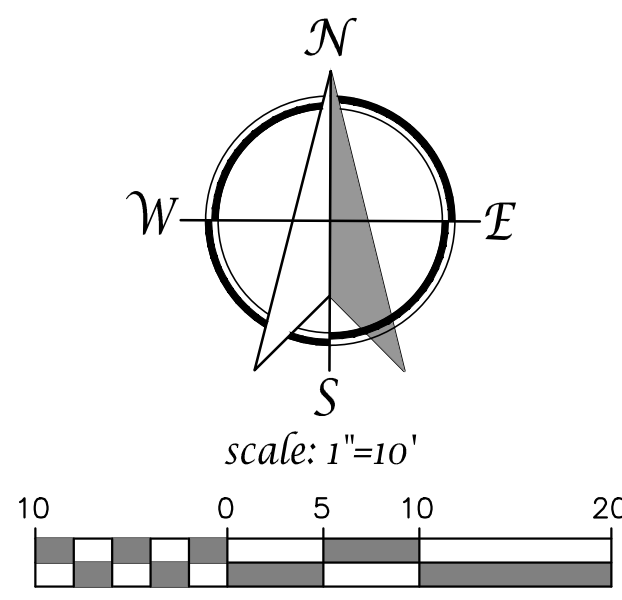
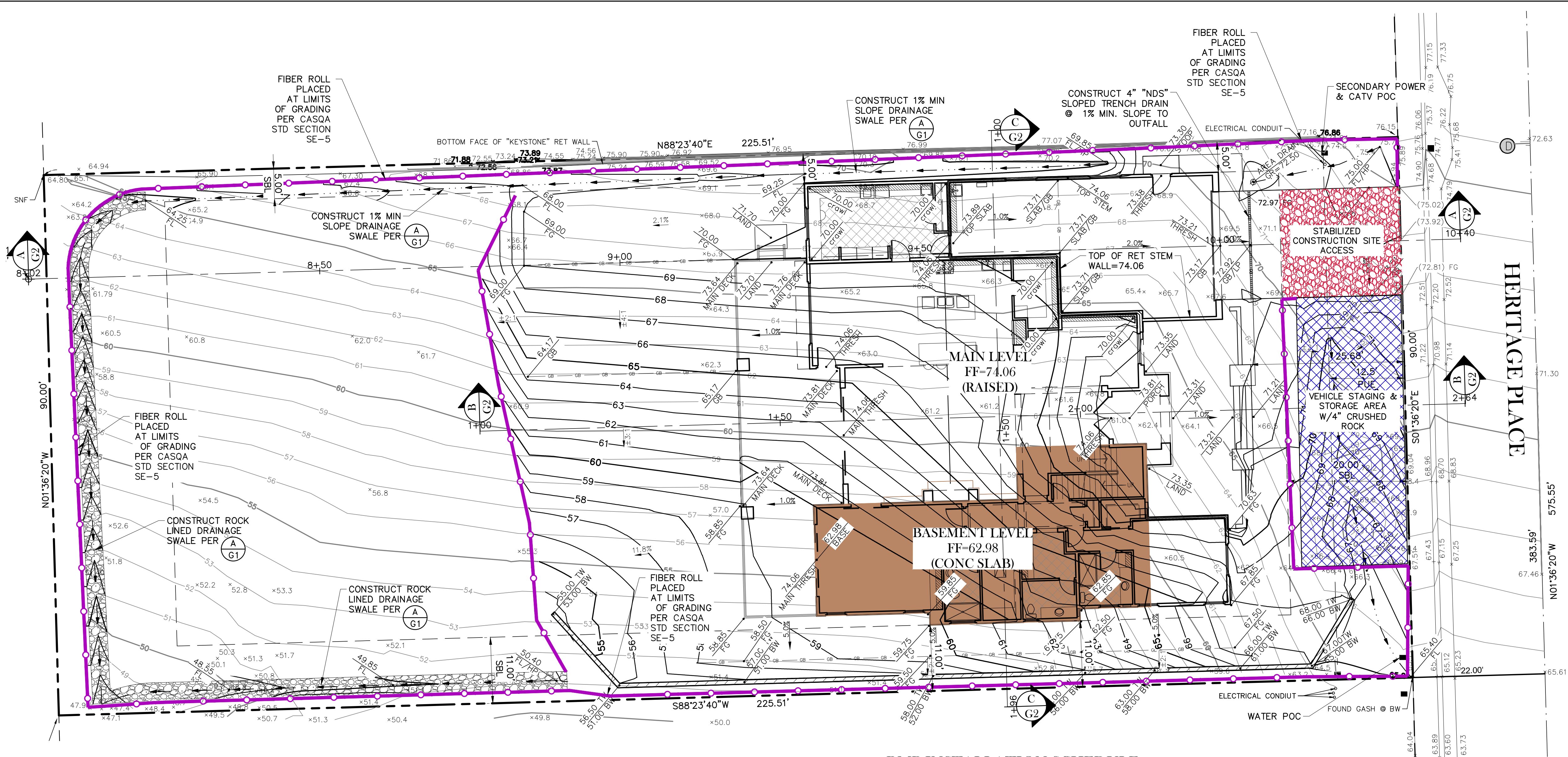
SITE SECTIONS
791 HERITAGE PLACE
MARCH 25, 2024



785 Orchard Drive, Suite #110
Folsom, CA 95630
Phone: (916) 608-0707
Fax: (916) 608-0701

SHEET
G2/3

P:\Projects\221-603\02 DWG\C-Civil\MAS\REV\221-603_G1-03.dwg, Tim, Ctr, 14:33:31, 03-25-24



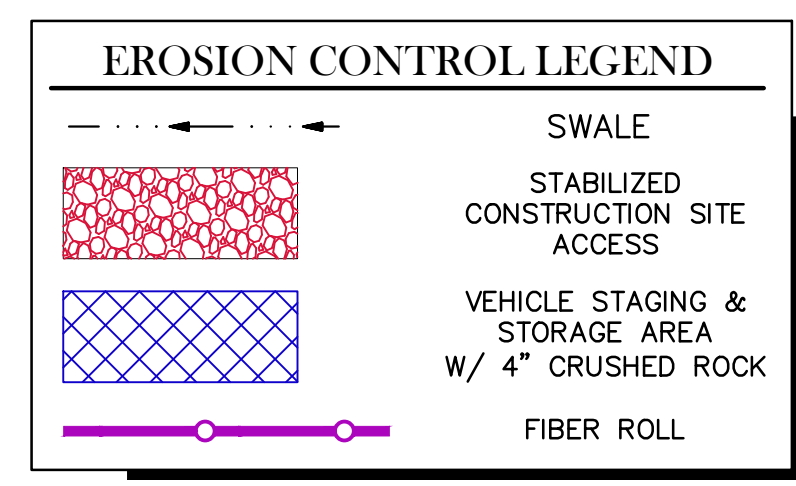
EROSION CONTROL PLAN

791 HERITAGE PLACE

APN: 072-2170-018-0000

LOT 38 - EMPIRE RANCH VILLAGE 48

CITY OF FOLSOM, CALIFORNIA



EROSION AND SEDIMENT CONTROL NOTES

- ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH THE CALIFORNIA STORMWATER QUALITY ASSOCIATION IMPROVEMENT STANDARDS FOR EROSION AND SEDIMENT CONTROL EXCEPT WHERE NOTED OTHERWISE.
- EROSION & SEDIMENT CONTROL BMPs MUST BE IN PLACE DURING ALL TIMES OF CONSTRUCTION. APPROPRIATE AMOUNTS (DEPENDING ON SIZE & CONDITION OF SITE) EROSION & SEDIMENT CONTROL DEVICES (FIBER ROLL, GRAVEL BAGS, ETC.) SHALL BE AVAILABLE ON SITE, DURING THE REST OF THE YEAR (DRY-SEASON) AND SHALL BE IMPLEMENTED PRIOR TO ANY SIGNIFICANT STORM EVENT THAT WILL GENERATE 1/10 INCH OF RAIN OR MORE.
- ALL DRAINAGE INLETS IMMEDIATELY DOWNSTREAM OF THE WORK AREAS AND WITHIN THE WORK AREAS SHALL BE PROTECTED WITH SEDIMENT CONTROL AND INLET FILTER BAGS, YEAR ROUND. INLET FILTER BAGS SHALL BE REMOVED FROM THE DRAINAGE INLETS UPON ACCEPTANCE OF THE IMPROVEMENTS BY THE CITY OF FOLSOM.
- ALL STABILIZED CONSTRUCTION ACCESS LOCATIONS SHALL BE CONSTRUCTED PER CASQA TR-1, TR-2, TR-3, WHERE CONSTRUCTION TRAFFIC ENTERS OR LEAVES PAVED AREAS. THE STABILIZED ACCESS SHALL BE MAINTAINED ON A YEAR ROUND BASIS UNTIL THE COMPLETION OF CONSTRUCTION. DIMENSIONS HAVE BEEN REDUCED PER LOT SIZE CONSIDERATIONS.
- ALL AREAS DISTURBED DURING CONSTRUCTION, BY GRADING, TRENCHING, OR OTHER ACTIVITIES, SHALL BE PROTECTED FROM EROSION DURING CONSTRUCTION. HYDROSEED PLACED IMMEDIATELY PRIOR TO ANY RAIN EVENT SHALL USE A SECONDARY EROSION PROTECTION METHOD.

BMP INSTALLATION SCHEDULE

EROSION AND SEDIMENT CONTROL MEASURES	PHASE OF CONSTRUCTION			
	PRE-GRADING (CLEARING)	CUT & FILL ACTIVITIES	GRADING OF PADS	COMPLETION OF SITE IMPROVEMENTS
SCHEDULING REFERENCE CALIFORNIA STORMWATER QUALITY ASSOCIATION IMPROVEMENT STANDARDS SECTION EC-1 EROSION AND SEDIMENT CONTROL.	X	X	X	X
HYDROSEEDING REFERENCE CALIFORNIA STORMWATER QUALITY ASSOCIATION IMPROVEMENT STANDARDS SECTION EC-3, EC-4 EROSION AND SEDIMENT CONTROL.		X		
WATER CONSERVATION PRACTICES REFERENCE CALIFORNIA STORMWATER QUALITY ASSOCIATION IMPROVEMENT STANDARDS SECTION NS-1 EROSION AND SEDIMENT CONTROL.	X	X	X	X
STABILIZED CONSTRUCTION ACCESS ALL CONTRACTORS AND SUBCONTRACTORS MUST ESTABLISH STABILIZED AND APPROVED DISCHARGE POINTS (INLETS & OUTLETS) PRIOR TO ONSET OF CONSTRUCTION. (REFERENCE CASQA SECTION EC-10).	X	X	X	X
DUST CONTROL DUST CONTROL SHALL BE MAINTAINED BY WATER TRUCK.	X	X	X	
FIBER ROLLS REFERENCE CALIFORNIA STORMWATER QUALITY ASSOCIATION IMPROVEMENT STANDARDS SECTION SE-5 EROSION AND SEDIMENT CONTROL.	X	X	X	
STORM DRAIN INLET PROTECTION/ INLET SEDIMENT CONTROL BARRIER REFERENCE CALIFORNIA STORMWATER QUALITY ASSOCIATION IMPROVEMENT STANDARDS SECTION SE-10 EROSION AND SEDIMENT CONTROL.	X	X	X	
EQUIPMENT STAGING AREA CONTRACTOR TO ESTABLISH AREA FOR EQUIPMENT/VEHICLE STORAGE AND VEHICLE/EQUIPMENT MAINTENANCE, FUELING AND WASHING.	X	X	X	
MATERIAL STORAGE AREA CONTRACTOR TO ESTABLISH AREA FOR CONSTRUCTION MATERIAL AND DEBRIS/SOLID WASTE STOCKPILES. REFERENCE CALIFORNIA STORMWATER QUALITY ASSOCIATION IMPROVEMENT STANDARDS SECTION WM-3.	X	X	X	
STREET SWEEPING AND VACUUMING REFERENCE CALIFORNIA STORMWATER QUALITY ASSOCIATION IMPROVEMENT STANDARDS SECTION SE-7 EROSION AND SEDIMENT CONTROL.	X	X	X	

BMP MAINTENANCE SCHEDULE:

THE BMP INSPECTOR SHOULD INSPECT THE SITE ON A WEEKLY BASIS, AND BEFORE, DURING, AND AFTER ANY STORM GENERATING RUNOFF TO DETERMINE MAINTENANCE REQUIREMENTS AND GENERAL CONDITIONS OF THE INSTALLED SYSTEM. THE LOCAL AGENCY MAY ALSO INSPECT THE SITE ON A ROUTINE BASIS TO ASSESS THE MAINTENANCE PERFORMED ON THE SYSTEMS. ALL MAINTENANCE RELATED TO A STORM EVENT SHOULD BE COMPLETED WITHIN FORTY-EIGHT (48) HOURS OF THE STORM EVENT. THE FOLLOWING MAINTENANCE TASKS SHOULD BE PERFORMED ON A REGULAR BASIS:

- REMOVAL OF SEDIMENT FROM BARRIERS AND SEDIMENTATION DEVICES.
- REPLACEMENT OR REPAIR OF WORN OR DAMAGED SILT FENCE FABRICS.
- REPLACEMENT OR REPAIR OF DAMAGED STRUCTURAL CONTROLS.
- REPAIR OF DAMAGED SOIL STABILIZATION MEASURES.
- OTHER CONTROL MAINTENANCE AS DEFINED IN EACH BMP FACT SHEET.

CUSTOM HOME EROSION AND SEDIMENT CONTROL NOTES

- THE PROJECT SHALL CONFORM TO THE FOLSOM MUNICIPAL CODE (FMC) FOR PROTECTION OF SURFACE WATERS AND URBAN RUN-OFF. IN ADDITION, SITES OF ONE ACRE OR MORE SHALL COMPLY WITH THE STATE'S NPDES GENERAL CONSTRUCTION PERMIT.
- THE PROJECT OWNER SHALL DESIGNATE AN EROSION AND SEDIMENT CONTROL (ESC) MANAGER WHO SHALL PROVIDE THEIR NAME, PHONE NUMBER, AND E-MAIL ADDRESS TO THE PUBLIC WORKS STORMWATER QUALITY MANAGER OR THE DESIGNATED CITY INSPECTOR. CHANGES TO THE ESC MANAGER'S CONTACT INFORMATION SHALL PROMPTLY BE REPORTED TO THE PUBLIC WORKS STORMWATER QUALITY MANAGER. THE ESC MANAGER SHALL BE RESPONSIBLE FOR ALL PROJECT PERSONNEL INCLUDING SUBCONTRACTORS AND MATERIAL SUPPLIERS.
- THE ESC MANAGER SHALL INSPECT AND MAKE NECESSARY CORRECTIONS AND ADJUSTMENTS TO THE STORMWATER CONTROLS ON THE FOLLOWING SCHEDULE: 1) WEEKLY, 2) 48 HOURS PRIOR TO A STORM EVENT PREDICTED BY THE NATIONAL OCEANIC ATMOSPHERIC ADMINISTRATION TO EXCEED 0.10 INCH, 3) DURING A STORM EVENT EXCEEDING 0.10 INCH AND 4) WITHIN 48 HOURS AFTER A STORM EVENT EXCEEDING 0.10 INCH.
- BEST MANAGEMENT PRACTICES (BMPs) DESCRIBED HEREIN AND ON THE APPROVED EROSION CONTROL PLAN ARE THE MINIMUM REQUIRED BMPs TO BE IMPLEMENTED AND MAINTAINED ON THE CONSTRUCTION SITE YEAR ROUND IN ORDER TO COMPLY WITH CHAPTER 8.70 OF THE FMC. ADDITIONAL MEASURES MAY BE REQUIRED AS SITE CONDITIONS DICTATE, THROUGHOUT THE COURSE OF THE WORK, TO ENSURE THAT WATER QUALITY RUN-OFF INTO CITY DRAINAGE FACILITIES IS PROTECTED.
- SEDIMENT CONTROL BMPs SHALL BE INSTALLED AND MAINTAINED YEAR ROUND AND AT A MINIMUM SHALL INCLUDE PERIMETER CONTROLS, DRAIN INLET PROTECTION, AND STABILIZED ACCESS. PUBLIC STREETS AND SIDEWALKS SHALL BE SWEEPED DAILY WHEN VEHICLES ARE ACCESSING THE SITE. WASHING THE STREET SHALL NOT BE PERMITTED UNLESS OTHERWISE APPROVED BY THE CITY.
- THE CONTRACTOR SHALL ANTICIPATE AND ACCOMMODATE ANY RUN-ON FROM NEIGHBORING PROPERTIES, INCLUDING EXISTING WATER COURSES. EXISTING WATER COURSES SHALL BE MAINTAINED IN THEIR ORIGINAL CONDITION, EXCEPT WHERE MODIFICATIONS ARE APPROVED BY THE CITY.
- ALL AREAS DISTURBED DURING CONSTRUCTION SHALL BE PROTECTED FROM EROSION DURING THE WET SEASON. HYDROSEED, IF USED, SHALL BE PLACED ON OR BEFORE SEPTEMBER 15TH. HYDROSEED PLACED AFTER SEPTEMBER 15TH SHALL BE USED WITH A SECONDARY PROTECTION METHOD SUCH AS A MAT OR BLANKET SPECIFICALLY DESIGNED TO FACILITATE GERMINATION AND GROWTH.
- PROTECTED AREAS SHALL BE PROTECTED WITH ORANGE CONSTRUCTION FENCING. ADDITIONAL SIGNAGE MAY BE REQUIRED TO IDENTIFY THE RESOURCE BEING PROTECTED AND/OR PROVIDE ADDITIONAL INSTRUCTIONS TO CONSTRUCTION PERSONNEL.
- CEMENTITIOUS, PAINT, WASTE, AND HAZARDOUS MATERIALS SHALL BE HANDLED, COVERED, AND/OR STORED PROPERLY TO AVOID SPILLS, LEAKAGE, AND CONTACT WITH RAIN OR STORMWATER RUNOFF.
- UPON COMPLETION OF THE PROJECT, ALL BMPs SHALL BE REMOVED ONCE LANDSCAPING IS INSTALLED AND FUNCTIONING TO THE SATISFACTION OF THE CITY.
- VIOLATIONS OF THE FMC 8.70 MAY RESULT IN STOP WORK NOTICES, FINES, AND/OR DELAY IN CITY INSPECTIONS OF THE PROJECT IMPROVEMENTS.

EARTHWORK QUANTITIES:
 CUT - ± 37 CY
 FILL - ± 1681 CY
 NET - ± 1644 CY (IMPORT)
 AREA OF IMPACT - ± 13,038 SF=0.29 Ac
 RAW NUMBERS, NO SHRINKAGE OR SWELL WAS ACCOUNTED FOR.

RAVI & AMRIK SINGH
 OWNER/APPLICANT
 14420 BEVAN STREET
 SLOUGHHOUSE, CA 95683
 PHONE: (916) 600-4355
 EMAIL: ravisingh011@yahoo.com

SHEET
G3/3

SINGH RESIDENCE

791 HERITAGE PLACE, FOLSOM
LOT 38 -EMPIRE RANCH VILLAGE 48
HILLCREST



Mercado
Construction & Design, Inc.

3/14/2024



ROOF COVERING

EAGLE ROOFING PRODUCTS
PROFILE -BEL AIR
COLOR - 295 DARK CHARCOAL



EXTERIOR STUCCO

OMEGA AKROFLEX
COLOR -QUAKE 1C035
SEMI-SMOOTH FINISH
LRV 56



STONE VENEER

EL DORADO STONE
EUROPEAN LEDGE
COLOR -GLACIER

EXTERIOR TRIM

FACIA & TRIM
SHERWIN WILLIAMS
SW 7068 GRIZZLE GRAY
LRV 13

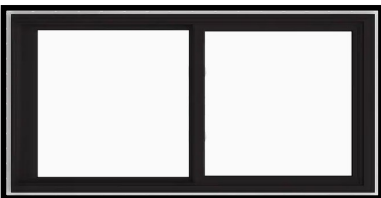


FRONT DOOR

PIVOT DOOR CO
MENHA
STAINED WOOD

GARAGE DOOR

ALUMINUM GLASS
MODEL 8800



WINDOWS

ANDERSEN
100 SERIES COMPOSITE
COLOR: BLACK