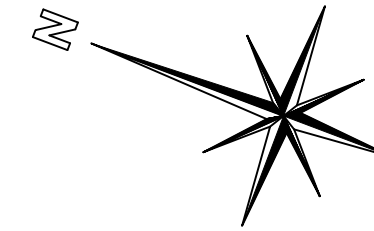


1121 RIVER BEND COURT CUSTOM HOME

SITE PLAN

SCALE IS 1" = 10'-0"



KandE design

916-604-2932
8757 #2991
Auburn Folsom Rd.
Granite Bay, CA 95746

DATES:

DRAW KJP - 09-02-21
DRAW KJP - 07/24/2021
Cmt. Chgs. - 12/25/2021
Cmt. Chgs. - 01/01/2022
Cmt. Chg. - 03/17/2024

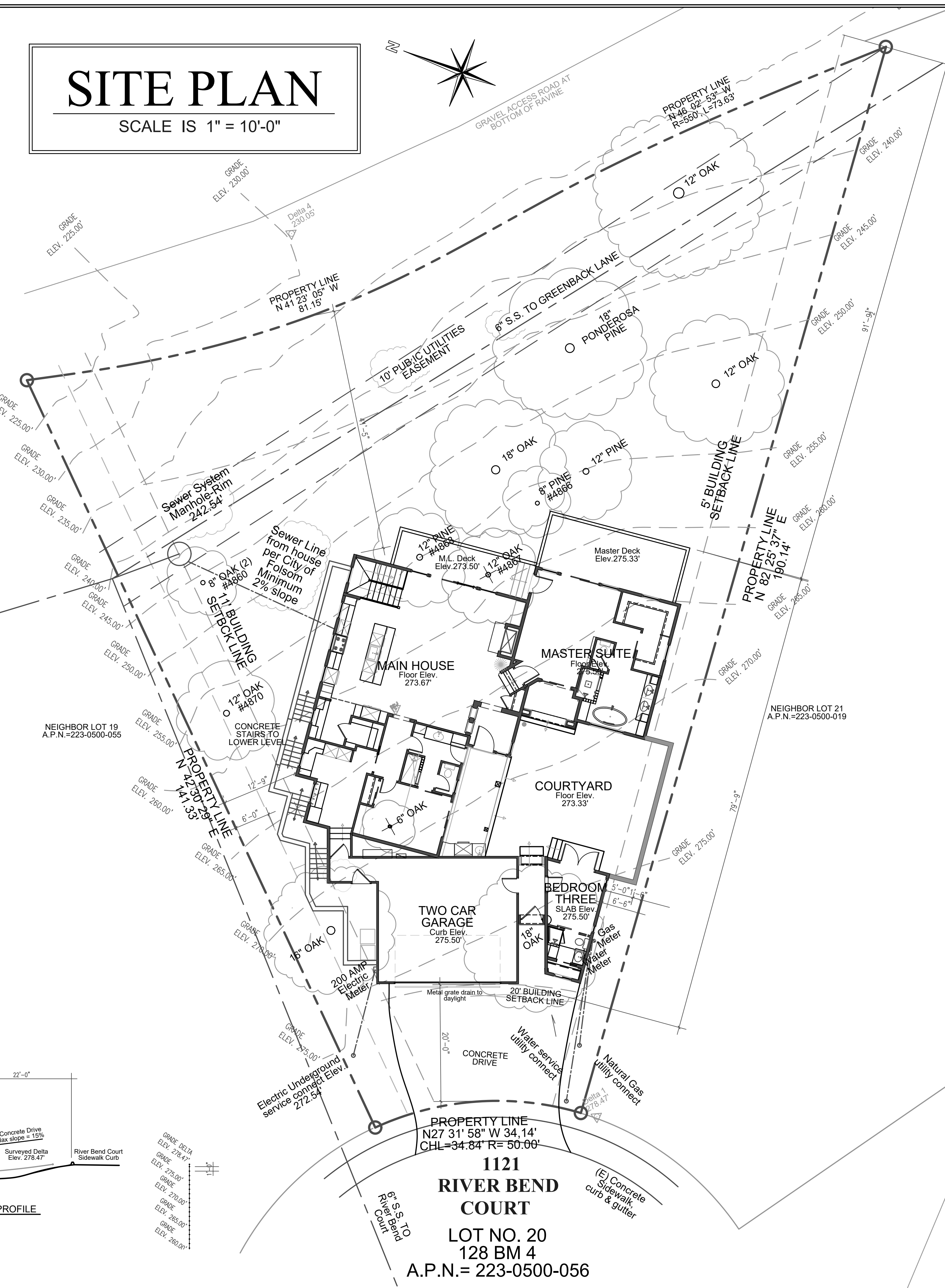
OWNERS:

OMAR PELA

PROJECT ADDRESS:

1121 RIVER BEND COURT
FOLSOM, CALIFORNIA

RIVER ROCK SUBDIVISION, LOT NO, 20
A.P.N.= 223-0500-056
.32 ACRES, 13,800 SQ. FT. ZONED R-1-ML



SHEET INDEX

NO.	CONTENTS:
CS	COVER SHEET & SITE PLAN
A1	MAIN LEVEL FLOOR PLAN
A2	APARTMENT LEVEL FLOOR PLAN
A3	BUILDING EXTERIOR ELEVATIONS
A4	BUILDING EXTERIOR ELEVATIONS
A5	BUILDING EXTERIOR ELEVATIONS
A6	BUILDING EXTERIOR ELEVATIONS
A7	BUILDING EXTERIOR ELEVATIONS
A8	BUILDING CROSS SECTIONS
A8	BUILDING CROSS SECTIONS
E1	MAIN LEVEL ELECTRICAL PLAN
E2	APARTMENT LEVEL ELECTRICAL PLAN
GP	GRADING PLAN
S1	FOUNDATION PLAN
S2	FLOOR FRAMING PLAN
S3	ROOF FRAMING PLAN
SD1	STRUCTURAL DETAILS AND NOTES
T24-1	TITLE 24 ENERGY CALCULATIONS & REQUIREMENTS
T24-2	TITLE 24 ENERGY CALCULATIONS & REQUIREMENTS
GB1	CALIFORNIA ENERGY COMMISSION MANDATORY MEASURES
GB2	CALIFORNIA ENERGY COMMISSION MANDATORY MEASURES

ALL WORK TO BE IN FULL CONFORMANCE WITH THE 2019 CRC, CBC, CMC, CPC, CEC, CA GREEN BUILDING STANDARDS, CA ENERGY CODE & ANY CITY OF FOLSOM, SACRAMENTO COUNTY CODES & REGULATIONS.

PROJECT DATA :

ZONED- R-1-ML
SCHOOL DISTRICT- SAN JUAN UNIFIED SCHOOL DISTRICT
FIRE DISTRICT- SACRAMENTO METROPOLITAN FIRE DISTRICT
GAS- P&GE
ELECTRIC- SMUD
WATER- SACRAMENTO SEWER & WATER DISTRICT
SEWER- SACRAMENTO SEWER & WATER DISTRICT

DESIGN CRITERIA:

- OCCUPANCY GROUP - R3 & U
- CONSTRUCTION TYPE - V
- ROOF LIVE LOAD - 20 p.s.f.
- FLOOR LIVE LOAD- 40 p.s.f.
- SOIL CLASS - D - 1,500 PSF
- SEISMIC DESIGN CATEGORY - D1, IMPORTANCE FACTOR- 1
- WIND EXPOSURE CATEGORY - C - 120 m.p.h. for a 3 second gust.
- CLIMATE ZONE - 12

LOT COVERAGE BREAKDOWN:

HOME INTERIOR SPACE FOOTPRINT	1,956 SQ. FT.
BEDROOM THREE	174 SQ. FT.
ATTACHED TWO CAR GARAGE	600 SQ. FT.
COVERED PORCHES & PATIOS	450 SQ. FT.

TOTAL NEW HOME LOT COVERAGE ON 13,800 SQ. FT. LOT
23% - 3,180 SQ. FT. (MAXIMUM 35%)

CONSTRUCTION NOTES:

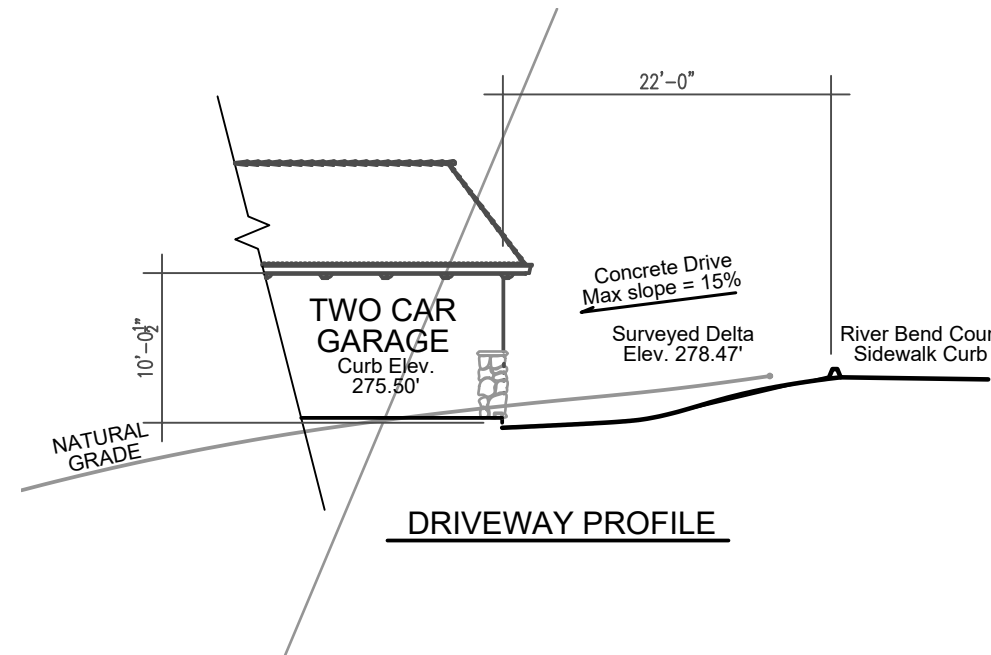
- All work described in these plans to be performed by licensed, bonded & insured contractors and subcontractors for the scope of their work.
- See Structural engineers sheets; S0.01, S0.02, S0.10, S0.11, S0.12, S1.01, S1.0, S2.0, S3.0, S4.0 for specifications, notes & construction details.
- All structural steel fabrication to be performed in a licensed shop by certified fabricators/welders.
- Provide Special Inspections for any field welding & structural bolts epoxied into concrete.
- All nails to be Common per nailing schedule on sheet S0.01. Wood connectors to be Simpson Strong Tie or equal.

FIRE PROTECTION CRITERIA:

- Maintain 13'-6" minimum headroom (12'-0" min. width) clearance at access driveway.
- Provide fire suppression sprinkler system per deferred submittal calculations and plans and are to be installed and tested prior to final inspection.

ENERGY COMPLIANCE CRITERIA:

- PER THE 2022 CEC
- All windows to be Minimum- U.29
- Provide continuous air barrier at either side of thermal building envelope per IECC 402.5.1.1 and 402.5.1.2



CUSTOM HOME AT
1121 RIVER BEND COURT
COVER SHEET & SITE PLAN

PROJECT:

SHEET:

CS

1121 RIVER BEND COURT CUSTOM HOME

GRADING PLAN

SCALE IS 1" = 10'-0"

SEE FOUNDATION PLAN SHEET S1 FOR MORE INFORMATION AND DETAILS

OWNERS:

OMAR PELA

PROJECT ADDRESS:

1121 RIVER BEND COURT
FOLSOM, CALIFORNIA

RIVER ROCK SUBDIVISION, LOT NO, 20
A.P.N.= 223-0500-056
.32 ACRES, 13,800 SQ. FT. ZONED R-1-ML

PROJECT DATA :

ZONED- R-1-ML
SCHOOL DISTRICT- SAN JUAN UNIFIED SCHOOL DISTRICT
FIRE DISTRICT- SACRAMENTO METROPOLITAN FIRE DISTRICT
GAS- PG&E
ELECTRIC- SMUD
SEWER DISTRICT- FOLSOM CITY
WATER DISTRICT- SAN JUAN WATER DISTRICT

GRADING SYMBOL LEGEND

	EXISTING PROPERTY LINE (No lot boundary line adjustments requested)
	EXISTING CONTOUR TO REMAIN
	EXISTING CONTOUR TO BE ALTERED
	NEW CONTOUR (GRADING PER EL DORADO COUNTY PERMIT)
	SITE GRADE DRAINAGE SLOPE DIRECTION
	GRADE CUT PER PLAN
	GRADE FILL PER PLAN
	SITE LANDSCAPE DRAIN TO DAYLIGHT
	EXISTING TREE TO REMAIN (THREE TREES TO BE REMOVED)
	SPOT ELEVATION AT GRADE LEVEL

ALL GRADING WORK TO BE PER THE APPROVED SACRAMENTO COUNTY AND FOLSOM CITY GRADING REGULATIONS, THE ENGINEER AND THE DETAILS AND SPECIFICATIONS SET FORTH IN THE SACRAMENTO COUNTY DESIGN AND IMPROVEMENTS STANDARDS MANUAL, STORM WATER MANAGEMENT PLAN, AND THE CALIFORNIA FIRE SAFE STANDARDS
ALL WATER AND SEWER SERVICE REQUIREMENTS TO BE PER THE FOLSOM MUNICIPAL CODE TITLE 13

LOT COVERAGE BREAKDOWN:

HOME INTERIOR SPACE FOOTPRINT	1,956 SQ. FT.
BEDROOM THREE	174 SQ. FT.
ATTACHED TWO CAR GARAGE	600 SQ. FT.
COVERED PORCHES & PATIOS	450 SQ. FT.

TOTAL NEW HOME LOT COVERAGE ON 13,800 SQ. FT. LOT
23% - 3,180 SQ. FT. (MAXIMUM 35%)

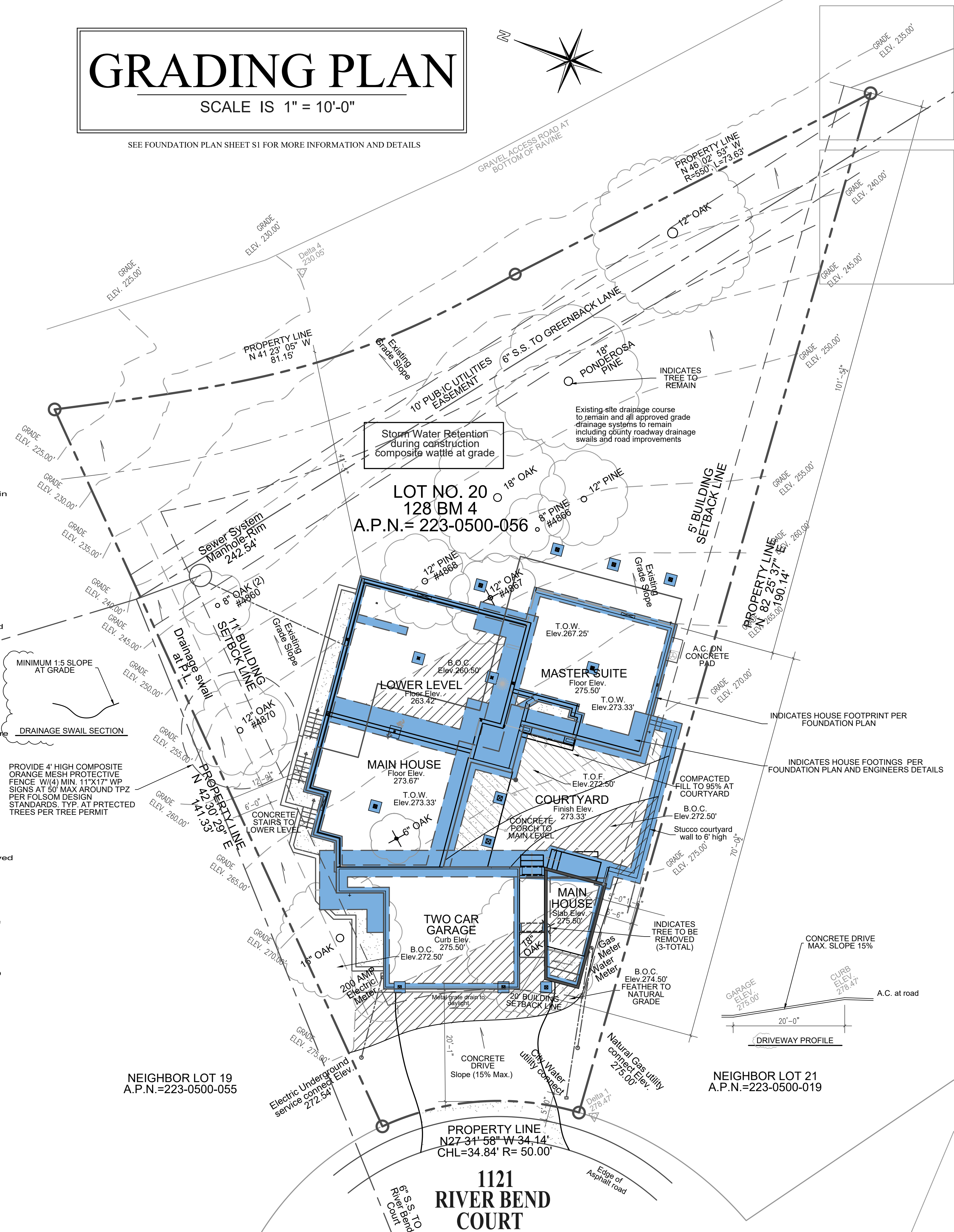
GRADING CUT & FILL CALCULATIONS:

CUT- TO ALLOW RETAINING WALLS AND GARAGES ----- 45 CUBIC YARDS
FILL- TO BE PLACED ON COURTYARD SIDE ----- 26 CUBIC YARDS
ANY SURPLUS CUT DIRT TO BE SPREAD OVER EXISTING GRADE PER SACRAMENTO COUNTY OR TRANSFERRED TO AN APPROVED SITE

- All erosion and sediment control measures shall be constructed and maintained in accordance with the latest edition of the City of Folsom Design Standards and the County of Sacramento erosion and sediment control guidelines or as otherwise directed by the special provisions for this project.
- Erosion control best management practices (BMPs) shall be installed and maintained year round and an effective combination of erosion and sediment control BMPs shall be installed and maintained during the wet season (October 1 through April 30) and prior to the onset of any storm.
- All storm drain inlets within the work area, and offsite storm drain inlets with the potential to receive runoff from the project site, shall be adequately protected with sediment control BMPs to effectively remove sediment from runoff prior to discharge to the storm drain. Additional BMPs shall be used as needed to remove sediment from runoff. Upon completion of the project and acceptance of the improvements by the City, all sediment control BMPs shall be removed.
- All stabilized construction access locations shall be constructed per the latest edition of the Sacramento County standards to effectively prevent tracking of sediment to paved areas. The stabilized access shall be maintained on a year-round basis until all areas are finally stabilized.
- All areas disturbed during construction by grading, trenching, or other activities, shall be protected from erosion during the wet season (October 1 through April 30). Hydroseed, if utilized, shall ideally be placed by September 15. Hydroseed placed during the wet season shall be used as a secondary erosion protection method.
- Protected areas and areas where existing vegetation is being preserved shall be protected with orange construction fencing. Additional signage may be required to identify the resource being protected and/or provide additional instructions to construction personnel. Erosion, sediment, and diversion control BMPs shall be installed and maintained to ensure that construction runoff does not enter the protected areas.
- Sediment control BMPs shall be placed along the project perimeter wherever there is a potential for drainage to leave the project site. Perimeter sediment control BMPs shall be maintained year round until the construction is complete or the drainage pattern has been changed and no longer leaves the site at those locations.
- Contractor shall maintain a log of all maintenance of BMPs, as well as any corrective changes to the BMPs or to the erosion and sediment control plan.
- Erosion and sediment control measures for this project shall be in substantial compliance at all times with the storm water pollution prevention plan (SWPPP) prepared for the project in accordance with the State of California general construction permit. This permit requires that SWPPP be kept up to date to reflect the changing site conditions and the SWPPP is available on site at all times for review by state and local inspectors. The contractor shall be required to meet and follow all NPDES requirements in effect at the time of construction.
- Sediment and trash accumulated in drainage or detention basins shall be removed as soon as possible. In addition, oil and material floating on water surface shall be skimmed weekly and the debris properly disposed of.
- The contractor shall establish a specific site within the development for maintenance and storage of equipment or any other activity that may adversely contribute to the water quality of the runoff. This area shall have a berm located around its perimeter. This area shall be restored to acceptable condition upon completion of project.
- If the project site is located in a geologic unit within the boundaries of the City of Folsom, which is likely to contain naturally occurring asbestos, the grading plan shall include the following note:
The owner/applicant shall be required to obtain approval from the Sacramento Metropolitan Air Quality Management (SMAQMD) prior to approval of any grading and/or construction on the project site. The owner/applicant shall provide to the Community Development Department a copy of the written approval from SMAQMD prior to approval of grading and/or site improvement plans

PROVIDE 4' HIGH COMPOSITE ORANGE MESH PROTECTIVE FENCE W/ (4) MIN. 11"X17" WP SIGNS AT 50' MAX AROUND TPZ PER FOLSOM DESIGN STANDARDS, TYP. AT PROTECTED TREES PER TREE PERMIT

ALL CALCULATIONS ARE APPROXIMATE AND BASED ON TOPOGRAPHIC PLAN PREPARED BY ELEMENT ENGINEERING AND ANY DISCREPANCIES IN THE PLAN TO BE BROUGHT TO THE ATTENTION OF THE PROJECT DESIGNER AND STRUCTURAL ENGINEER.



KandE
design

916-604-2932
8757 #2991
Auburn Folsom Rd.
Granite Bay, CA 95746

DATES:

DRAW KJP- 09-02-21
DRAW KJP- 08/31/2023
REV- KJP- 10/16/2023
REV- PLAN- 03/17/2024

CUSTOM HOME AT
1121 RIVER BEND COURT
GRADING PLAN

PROJECT:

SHEET:

GP

1A OF 31

DATES:

DRAW - KJP - 06/28/2021
DRAW - KJP - 07/24/2021
Cmt. Chngs. - 12/25/2021
Cmt. Chngs. - 01/01/2022
Cmt. Chngs. 03/03/2023

PROJECT:
CUSTOM HOME AT
1121 RIVER BEND COURT, FOLSOM CA.
MAIN LEVEL FLOOR PLAN

PROJECT:

SHEET:
A1

GENERAL NOTES:

- All structural framing to be per the engineers plans and specifications, 2022 CBC, CRC, ASCE 7-16
- See Elevation sheets for building vertical measurements and exterior materials.
- All hose bibs to have approved back-flow prevention devices permanently installed.
- Provide metal stucco screed at base of wall.
- All call-outs and specifications listed on plans are for the new home construction unless noted otherwise.
- Dimensions shown are to rough framing studs, rim joist or concrete edge per plan.
- All new wall framing (u.n.o.) to be 2x4/6 d.f. #2 studs at 16" o.c., blocked at 48" o.c. max, with double 2x top plate spliced minimum 48" overlap (16) 16d nails into splice.
- All wood used in the structural portion of construction to be d.f./h.f. #2 or pre-manufactured engineered lumber, unless noted otherwise.
- All nailing to be per the IBC tables and manufacturers specifications.
- All maximum wood framing spans to be per IBC tables and manufacturer.
- All straps, hangers, clips, anchor bolts and brace wall hold downs to be Simpson Strong Tie or equal and installed per manufacturers instructions.
- All glass in french doors and windows within 18" of floor, 24" of either edge and shower glass enclosures to be tempered.
- Provide tight fitting weather strip at exterior doors with a 1" maximum drop to finish surface at exterior.
- Verify electric service meter panel location and capacity. (See SMUD install requirements)
- All floor tile, stone & all wall stone veneer to be installed per the IRC, manufacturers instructions and the ceramic/stone institute guidelines.

Stair construction per CBC Chapter 10- section 1009 & 1011 7.5" maximum Rise, 10" minimum Run stairs with a bullnose edge at full width of nosing. Provide a 1-1/2" to 2" handrail mounted at 34" to 38" over nosing and extending from wall a maximum of 4-1/2". Extend handrail 12" past top of stairs to wall and 12" past bottom stair tread and return to wall or newel post.
1-hour 5/8" type X gypsum board on wall and ceiling assemblies under stairs at concealed space.

Window/Door efficiency

- Windows to be Milgard Vinyl Argon filled with a U Factor of 0.28, solar heat gain- 0.22, STC, .50, and installed per manufacturer & the CBC, CRC.
- Metal Roll up door at garage windows to be minimum- 0.31 U Factor, .50 transmittance

SQUARE FOOTAGE BREAKDOWN:

TOTAL INTERIOR SPACE-	2,831 SQUARE FEET
• MAIN LEVEL INTERIOR SPACE-	2,084 SQUARE FEET
• LOWER LEVEL INTERIOR SPACE-	747 SQUARE FEET
• GARAGES (ATTACHED)-	541 SQUARE FEET
• COVERED PORCHES/PATIOS-	106 SQUARE FEET
• SECOND FLOOR DECKS-	991 SQUARE FEET

SEE COVER SHEET SITE PLAN FOR LOT COVERAGE AND FURTHER INFORMATION

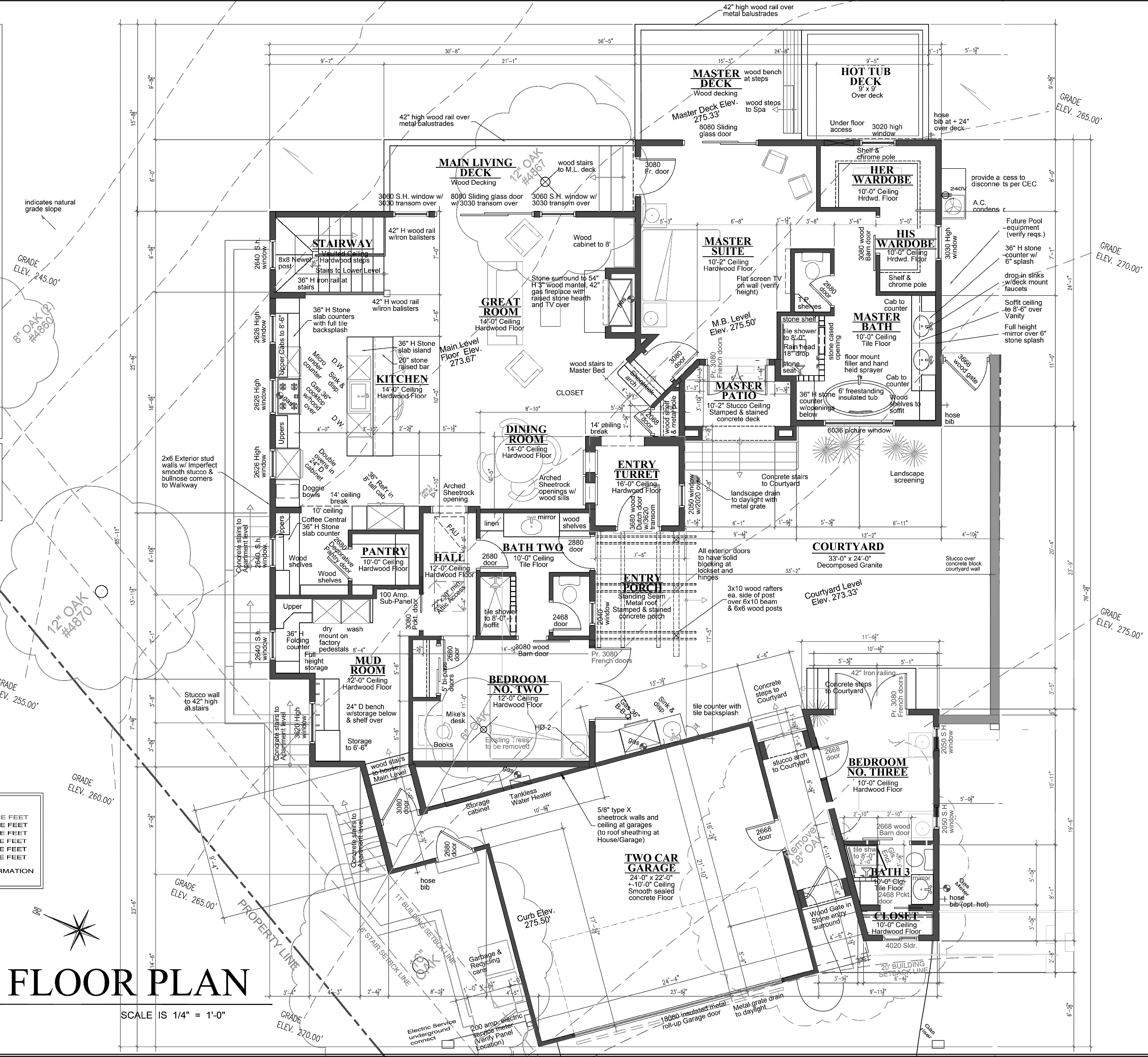
ALL EXTERIOR WALLS TO BE 2x6 D.F. NO. 2 STUDS AT 16" O.C., 3/8" OSB SHEATHING WITH 1-COAT SIP STUCCO EXTERIOR TREATMENT OVER 1" RIGID FOAM PER CBC R 703

SEE SHEET S1.1 & S1.2 FOR SHEAR WALL SCHEDULE, TIE STRAP SCHEDULE, HOLDOWN SCHEDULES & NOTES.

MAIN LEVEL FLOOR PLAN

1,909 SQUARE FEET

SCALE IS 1/4" = 1'-0"



indicates natural grade slope

GRADE ELEV. 245.00'

8" OAK #4860

12" OAK #4870

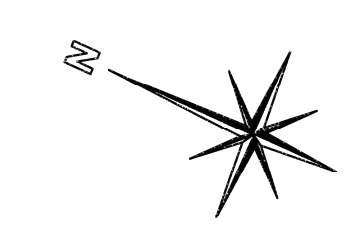
GRADE ELEV. 250.00'

GRADE ELEV. 255.00'

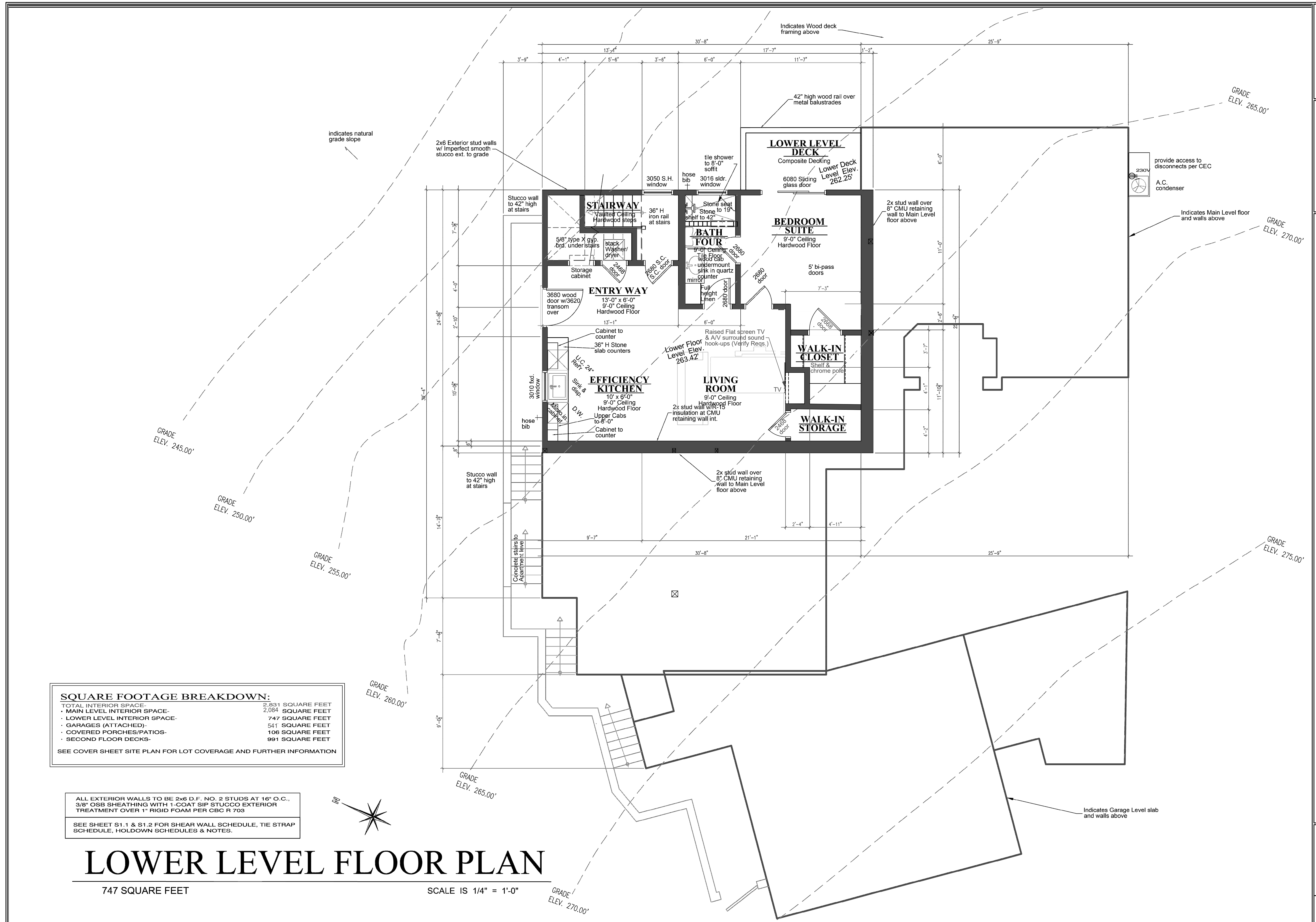
GRADE ELEV. 260.00'

GRADE ELEV. 265.00'

GRADE ELEV. 270.00'



SCALE IS 1/4" = 1'-0"



SQUARE FOOTAGE BREAKDOWN:

TOTAL INTERIOR SPACE	2,831 SQUARE FEET
• MAIN LEVEL INTERIOR SPACE	2,084 SQUARE FEET
• LOWER LEVEL INTERIOR SPACE	747 SQUARE FEET
• GARAGES (ATTACHED)	541 SQUARE FEET
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SEE COVER SHEET SITE PLAN FOR LOT COVERAGE AND FURTHER INFORMATION

ALL EXTERIOR WALLS TO BE 2x6 D.F. NO. 2 STUDS AT 16" O.C., 3/8" OSB SHEATHING WITH 1-COAT SIP STUCCO EXTERIOR TREATMENT OVER 1" RIGID FOAM PER CBC R 703

SEE SHEET S1.1 & S1.2 FOR SHEAR WALL SCHEDULE, TIE STRAP SCHEDULE, HOLDOWN SCHEDULES & NOTES.

LOWER LEVEL FLOOR PLAN

747 SQUARE FEET

SCALE IS 1/4" = 1'-0"

DATES:

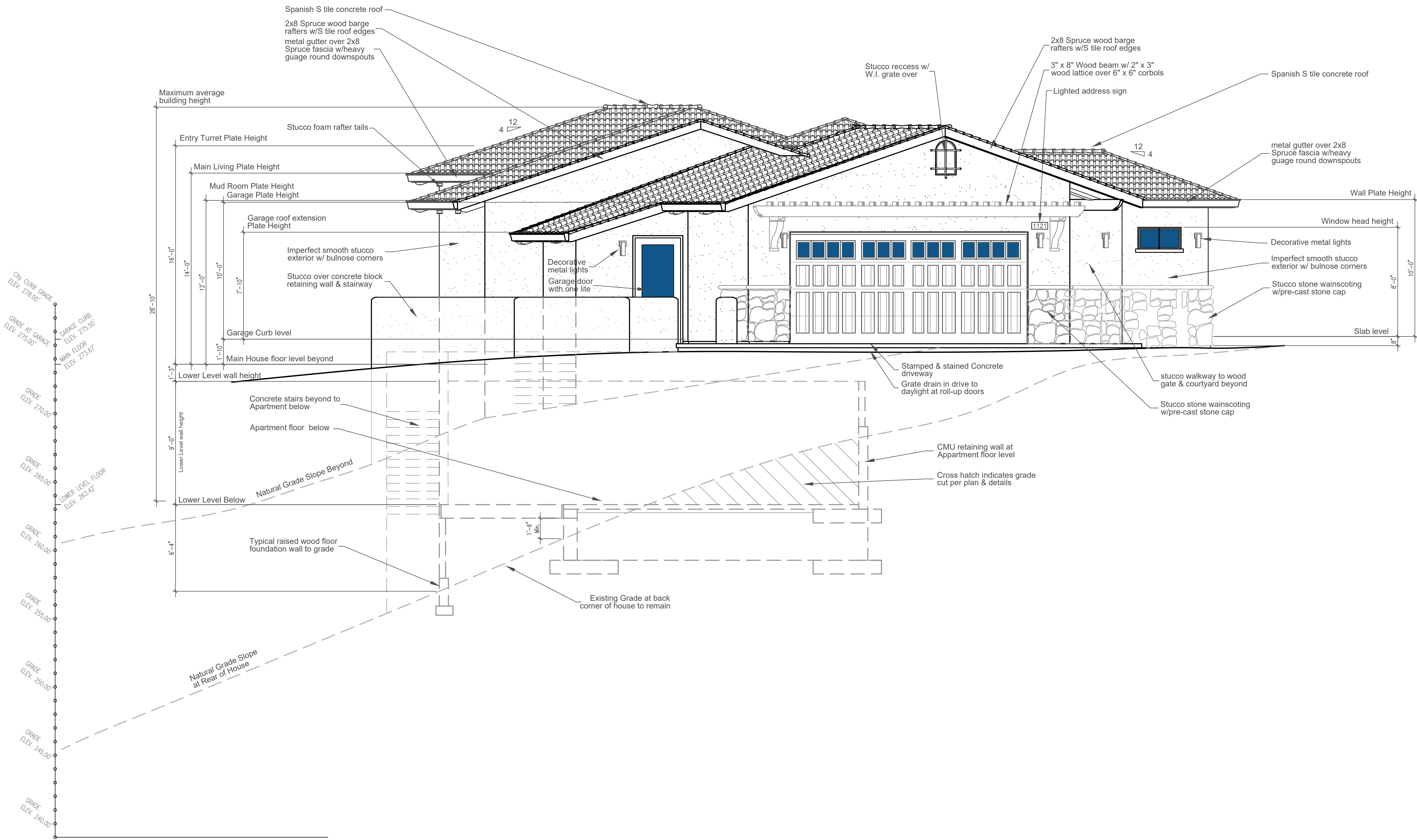
DRAW - KJP - 06/28/2021
DRAW - KJP - 07/24/2021
Cont. Chngs. - 12/25/2021
Cont. Chngs. - 01/01/2022

PROJECT:
**CUSTOM HOME AT
1121 RIVER BEND COURT, FOLSOM CA.**
RIVER BEND COURT EXTERIOR ELEVATIONS

SHEET:

A3

4 OF xx



RIVER BEND COURT FRONT ELEVATION
NORTH FACING
SCALE IS 1/4" = 1'-0"

DATES:

DRAW - KJP - 06/28/2021
DRAW - KJP - 07/24/2021
Clnt. Chngs. - 12/25/2021
Clnt. Chngs. - 01/01/2022

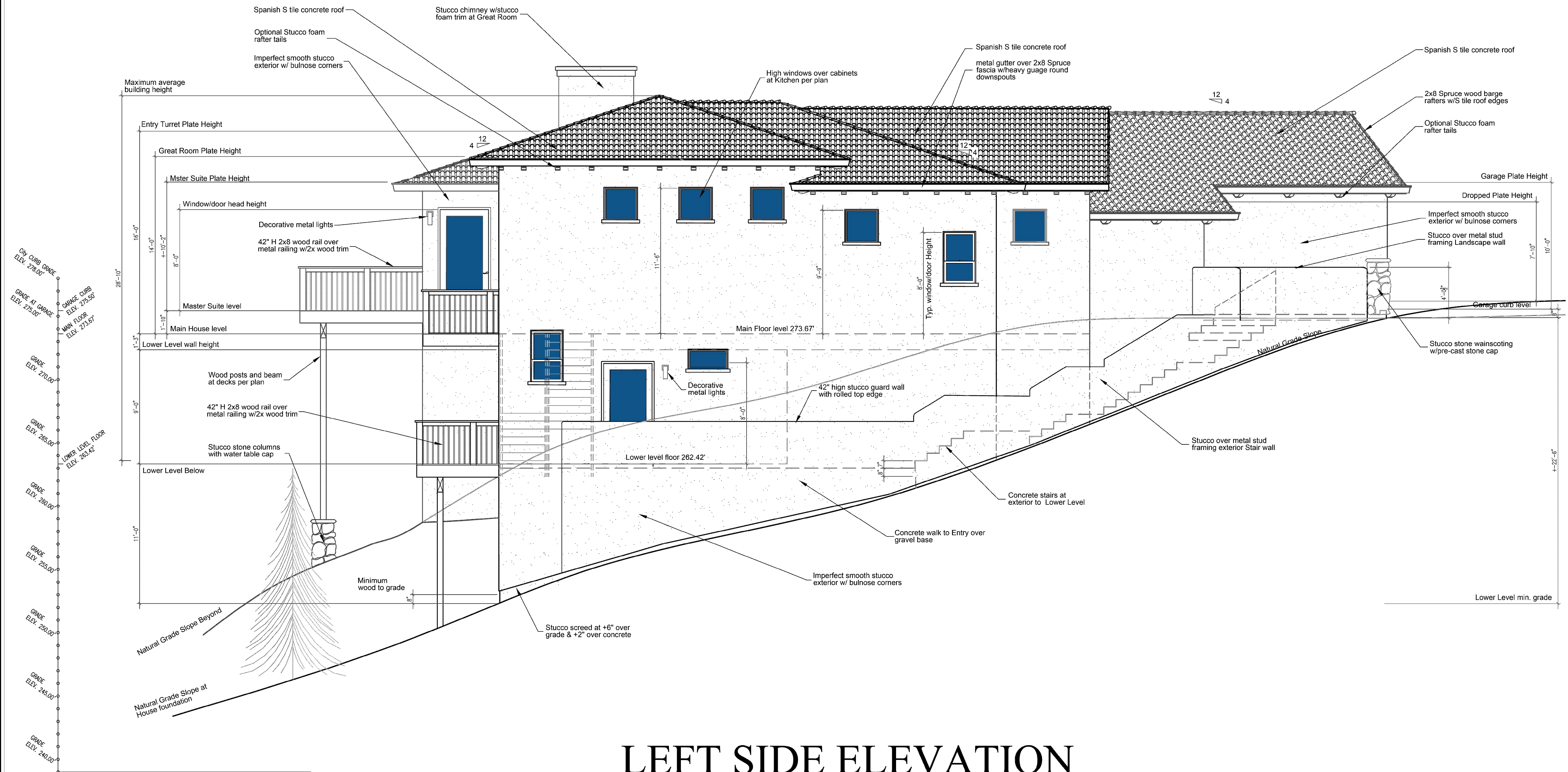
**CUSTOM HOME AT
1121 RIVER BEND COURT, FOLSOM CA.
MAIN HOUSE EXTERIOR ELEVATIONS**

PROJECT:

SHEET:

A4

5 OF xx

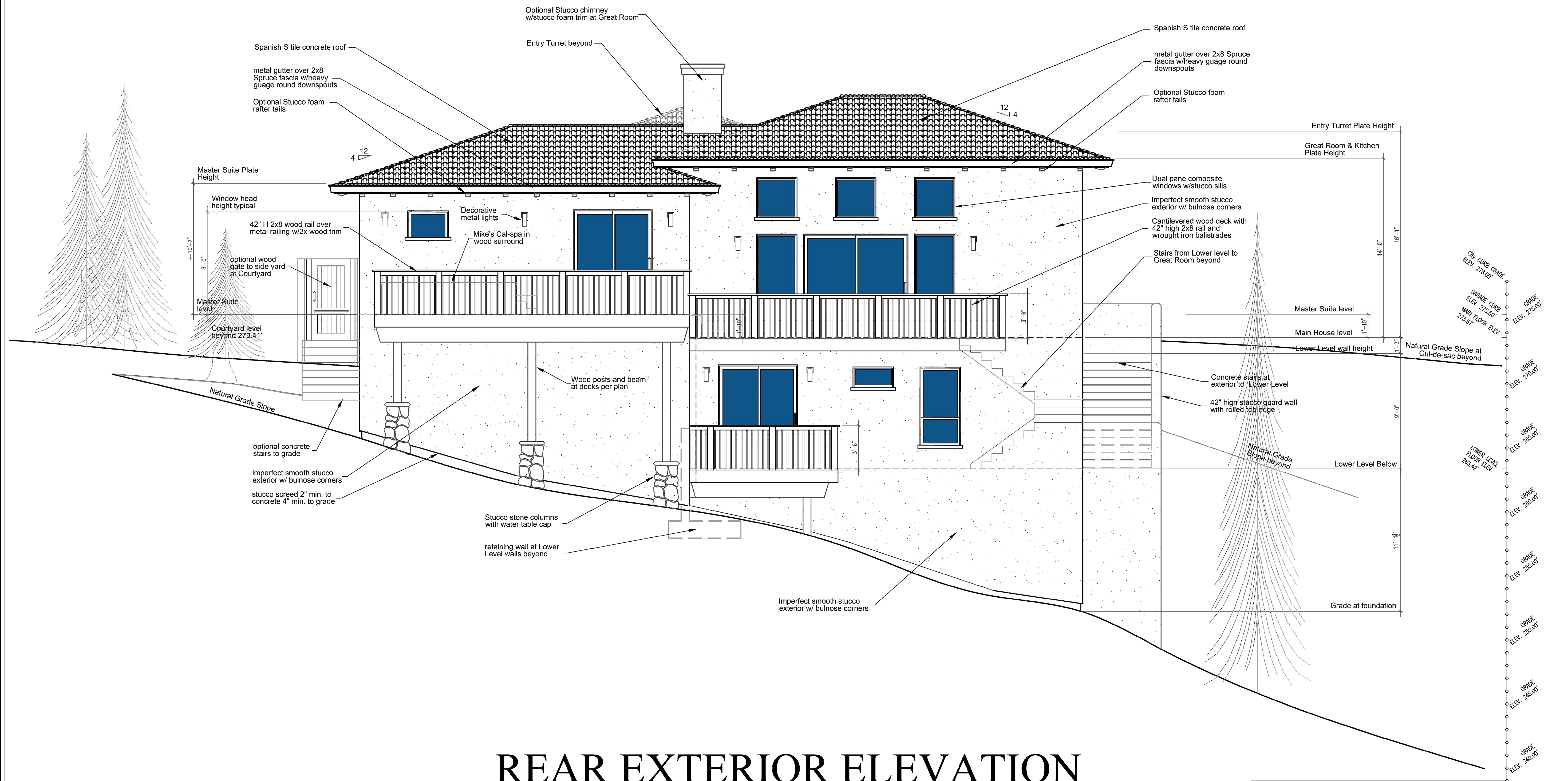


LEFT SIDE ELEVATION

NORTH west FACING

SCALE IS 1/4" = 1'-0"

DATES:
DRAW- KJP - 06/28/2021
DRAW- KJP - 07/24/2021
Cmt. Chngs. - 12/25/2021
Cmt. Chngs. - 01/01/2022



REAR EXTERIOR ELEVATION

NORTH east FACING

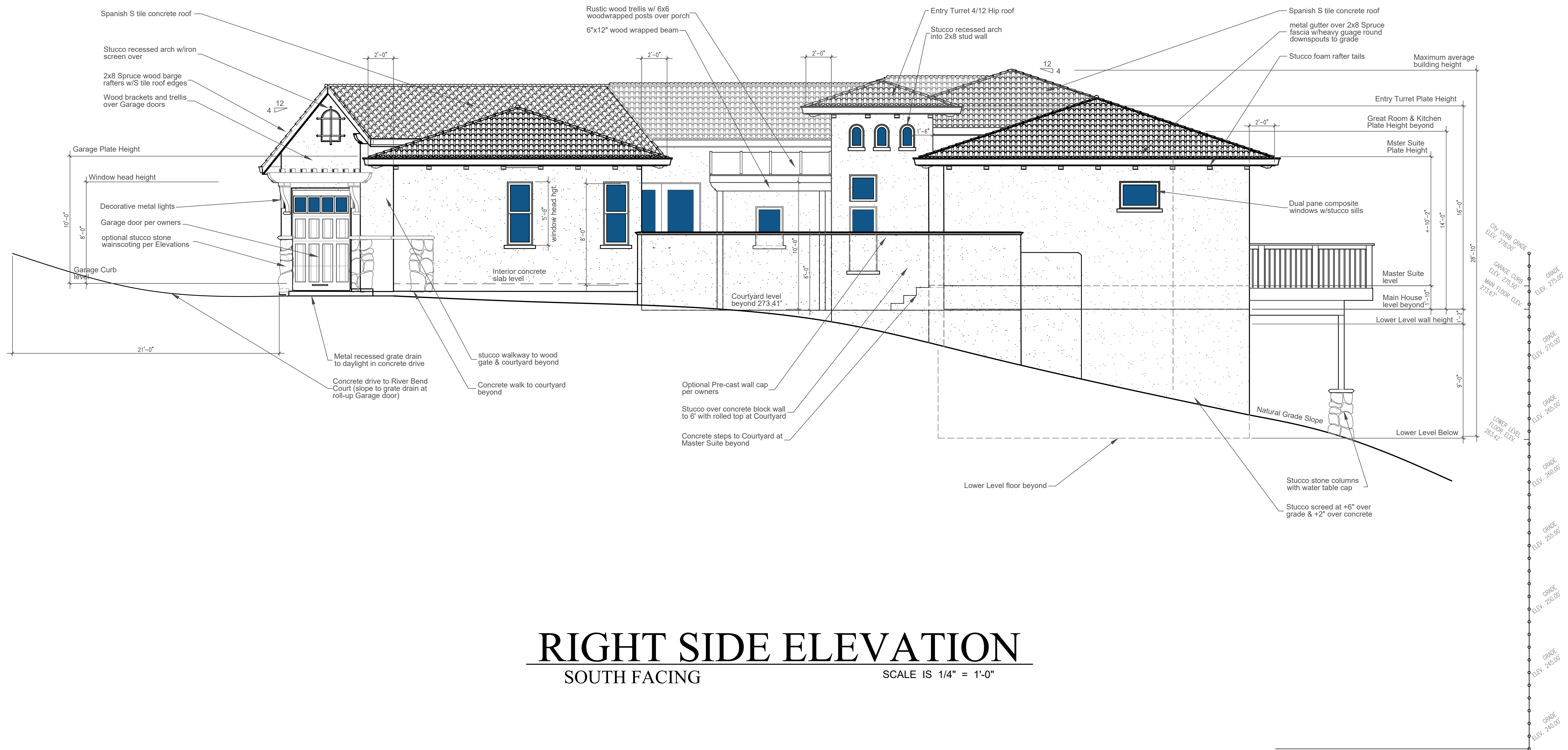
SCALE IS 1/4" = 1'-0"

PROJECT:
1121 RIVER BEND COURT, FOLSOM CA.
 SECOND HOUSE EXTERIOR ELEVATIONS

SHEET:
A5

DATES:

DRAW- KJP - 06/28/2021
DRAW- KJP - 07/24/2021
Cmt. Chngs. - 12/25/2021
Cmt. Chngs. - 01/01/2022



**CUSTOM HOME AT
1121 RIVER BEND COURT, FOLSOM CA.
SECOND HOUSE EXTERIOR ELEVATIONS**

PROJECT:

SHEET:

A6

7 OF xx

DATES:

DRAW- KJP - 06/28/2021
DRAW- KJP - 07/24/2021
Cmt. Chngs. - 12/25/2021
Cmt. Chngs. - 01/01/2022

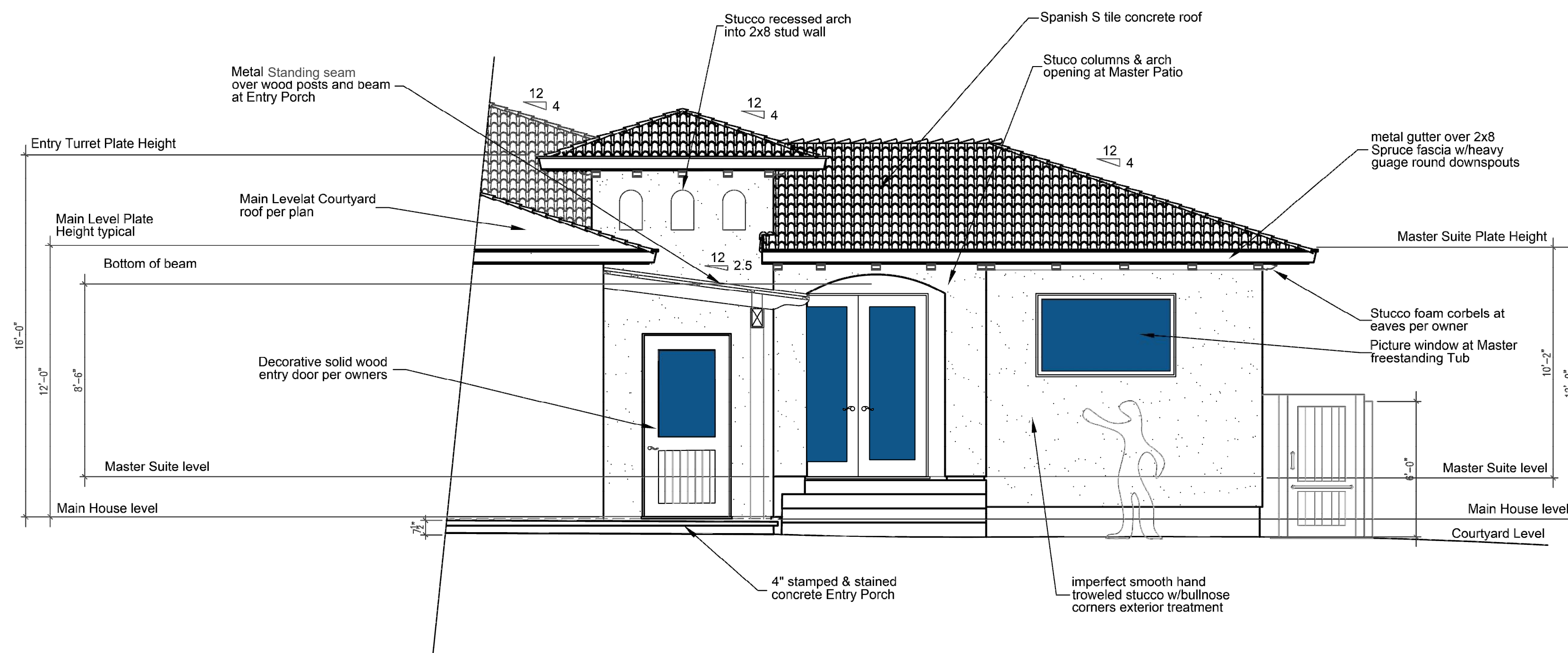
PROJECT:
**CUSTOM HOME AT
1121 RIVER BEND COURT, FOLSOM CA.**
BUILDING CROSS SECTIONS

PROJECT:

SHEET:

A7

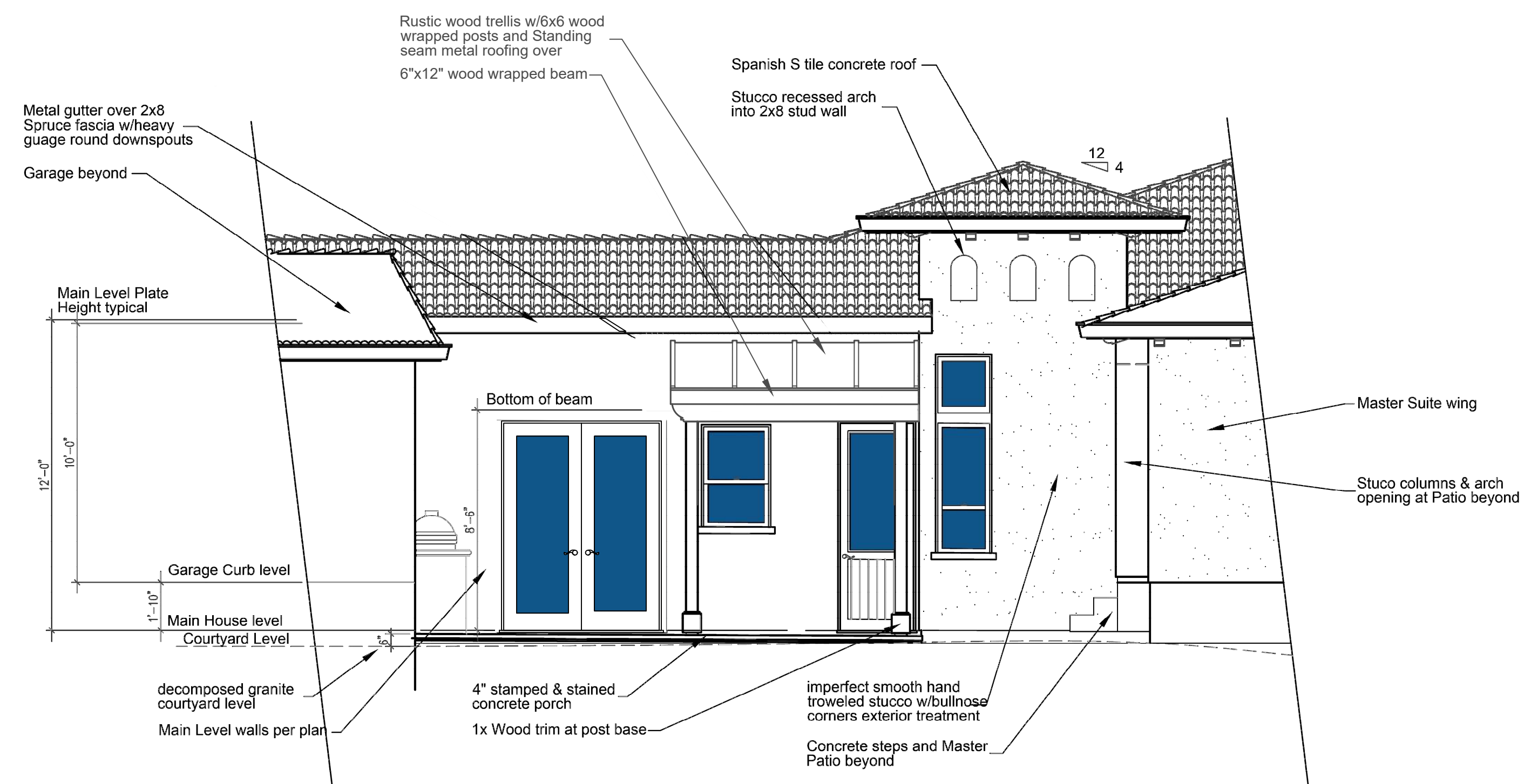
8 OF xx



COURTYARD MASTER SUITE ELEVATION

WEST FACING

SCALE IS 1/4" = 1'-0"



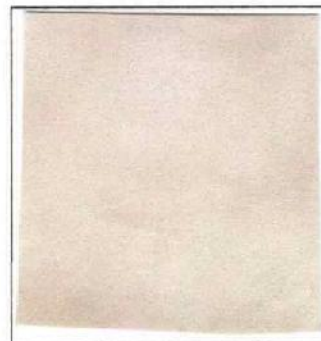
COURTYARD LEFT SIDE ELEVATION

SOUTH FACING

SCALE IS 1/4" = 1'-0"



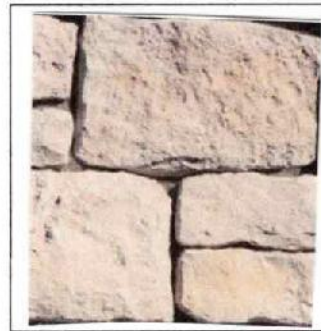
Trim Color Black Fox



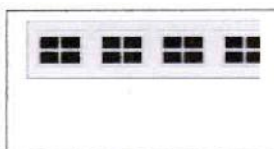
Stucco Color Native Brown



Westlake Concrete Tile Barcelona



Eldorado Stone Casa Blanca



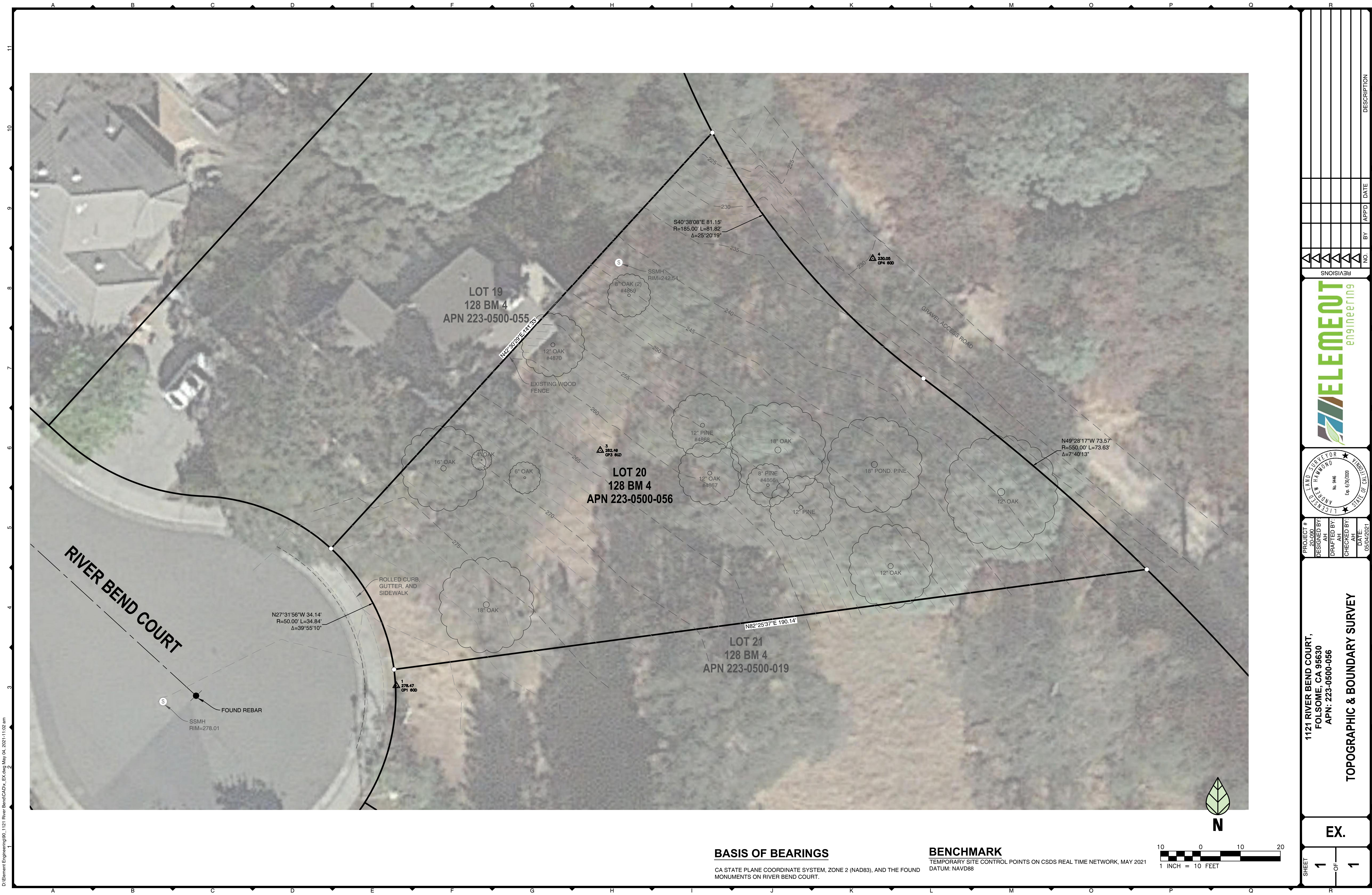
Garage paint same as trim











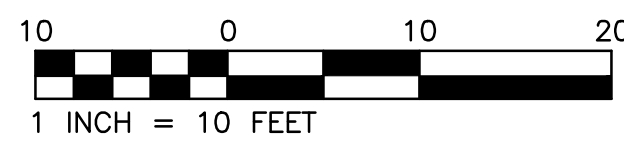
D:\Element Engineering\90_1121 River Bend\CAD\EX.dwg May 04, 2021-11:02 am

BASIS OF BEARINGS

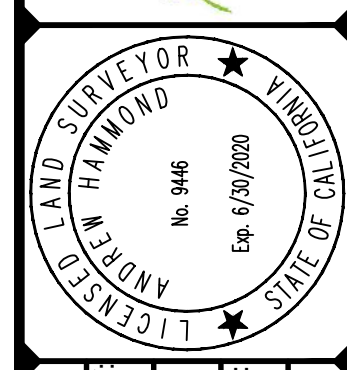
CA STATE PLANE COORDINATE SYSTEM, ZONE 2 (NAD83), AND THE FOUND MONUMENTS ON RIVER BEND COURT.

BENCHMARK

TEMPORARY SITE CONTROL POINTS ON CSDS REAL TIME NETWORK, MAY 2021 DATUM: NAVD88



NO.	BY	APP'D	DATE	DESCRIPTION



PROJECT #	20-090
DESIGNED BY	AH
DRAFTED BY	AH
CHECKED BY	AH
DATE	05/04/2021

1121 RIVER BEND COURT,
FOLSOME, CA 95630
APN: 223-0500-056

TOPOGRAPHIC & BOUNDARY SURVEY