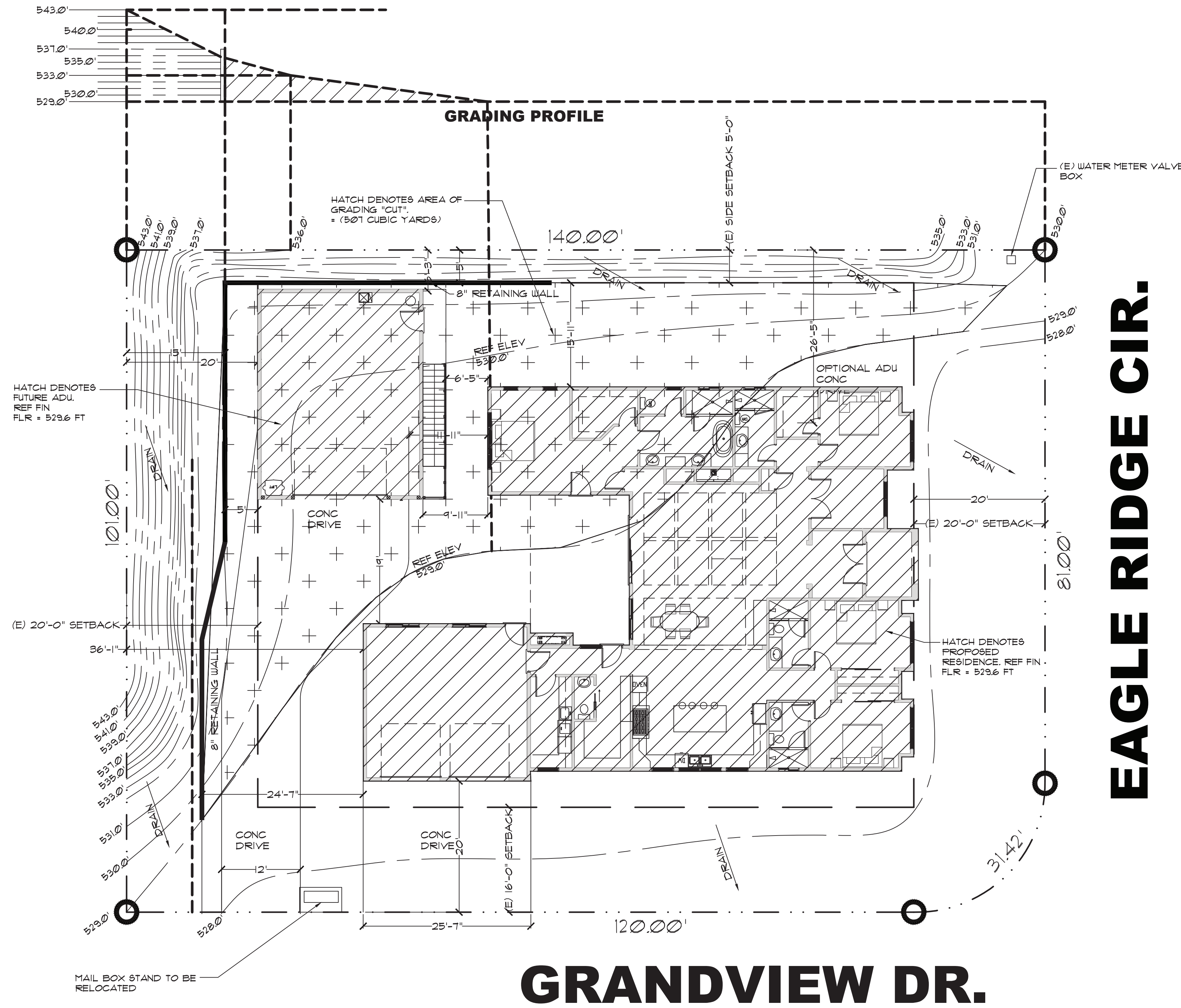


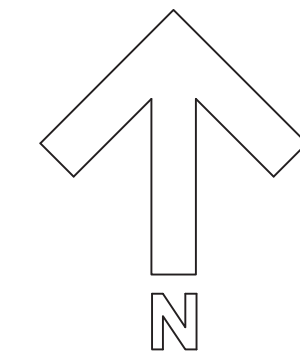
Hampton Residence & ADU

868 Eagle Ridge Circle
Folsom, CA 95630
APN: 831-484-8696



SITE PLAN
SCALE: 1"=10'-0"

1
A-0



EAGLE RIDGE CIR.

GRANDVIEW DR.

SHEET INDEX

A-0	PLOT PLAN & TITLE SHEET
A-01	CALGREEN MANDATORY MEASURES
A-02	CALGREEN MANDATORY MEASURES
A-1	FLOOR PLAN (HOUSE)
A-2	1ST FLOOR & 2ND FLOOR (FUTURE ADU)
A-3	FRONT & BACK ELEV'S (HOUSE)
A-4	LEFT & RIGHT ELEV'S (HOUSE)
A-5	ELEVATIONS (FUTURE ADU)
A-6	FOUNDATION PLAN (HOUSE)
A-7	FOUND. & 2ND FLR FRAMING PLANS (FUTURE ADU)
A-8	ROOF FRAMING PLAN (HOUSE)
A-9	ROOF FRAMING & SECTION PLANS (FUTURE ADU)
A-10	ELECTRICAL PLAN (HOUSE)
A-11	ELECTRICAL PLAN (FUTURE ADU)
SD0	STRUCTURAL NOTES
SD1	STRUCTURAL DETAILS

THIS IS NOT A SURVEY

OWNER AND CONTRACTOR SHALL VERIFY ALL PROPERTY LINES, SETBACKS, RIGHT-OF-WAYS, EASEMENTS, H.O.A. CONDITIONS & POLICIES PRIOR TO CONSTRUCTION. OWNER & CONTRACTOR SHALL VERIFY REFERENCE ELEVATIONS BEFORE GRADING.

SCOPE OF WORK

THE PROJECT SCOPE ENTAILS THE CONSTRUCTION OF A 3150 S.F. RESIDENCE & 2-CAR GARAGE & A FUTURE 805 S.F. REMOTE ADU & 2-CAR GARAGE

OWNER INFORMATION

APN: 831-484-8696
ADDRESS: 868 Eagle Ridge Cir.
Folsom CA 95630
OWNER: WILLY & LOKAREN HAMPTON

STRUCTURAL DESIGN INFO.

DECIMAL DEGREE LOCATION	38.4343833	-121.0749191
FLOOR LIVE LOAD	40	PSF
FLOOR DEAD LOAD	10	PSF
ROOF LIVE LOAD	20	PSF
GROUND SNOW LOAD	0	PSF
BASIC WIND SPEED	110/85	MPH
SITE CLASS	SITE CLASS "D"	
WIND EXPOSURE	EXPOSURE "C"	
SOIL BEARING PRESSURE	1500	PSF (ALLOWABLE)
SEISMIC DESIGN CATEGORY	CATEGORY "D"	
Ss	0.2 sec	0.407g
S1	1.0 sec	0.228g

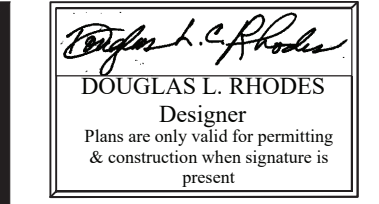
THIS BUILDING IS NOT EQUIPPED WITH A FIRE SPRINKLER SYSTEM

DESIGN CRITERIA

CBC TYPE V-B; OCC, R-3	
SRA FIRE HAZARD SEVERITY ZONE:	SAR MODERATE
RESIDENCE	3150.0 S.F.
GARAGE-house	812.0 S.F.
ADU (FUTURE)	805.0 S.F.
GARAGE-ADU	805.0 S.F.

GENERAL NOTES

1. THE DRAWING LOCATION, DIMENSIONS, REFERENCE AND TYPICAL DETAILS OF CONSTRUCTION. THE DRAWINGS DO NOT INDICATE EVERY CONDITION. WORK NOT PARTICULARLY DETAILED SHALL BE OF CONSTRUCTION SIMILAR TO PARTS THAT ARE DETAILED.
 2. DO NOT SCALE DRAWINGS.
 3. FIGURED DIMENSIONS TAKE PRECEDENCE OVER SCALED DRAWINGS. WHERE DISCREPANCIES OCCUR, THEY SHALL BE REPORTED TO ARCHITECT AND ENGINEER FOR RESOLUTION, AS SOON AS POSSIBLE AFTER DISCOVERY.
 4. DETAILED DRAWINGS AND LARGER SCALE DRAWINGS TAKE PRECEDENCE OVER SMALLER SCALE DRAWINGS. WHERE DISCREPANCIES OCCUR, THEY SHALL BE REPORTED TO DESIGNER AND GENERAL CONTRACTOR FOR RESOLUTION, AS SOON AS POSSIBLE AFTER DISCOVERY.
 5. CONCRETE DIMENSIONS ARE GIVEN TO FACE OF CONCRETE AND/OR TO THE EDGE OF CONCRETE SLABS.
 6. BUILDING DIMENSIONS ARE GIVEN TO FACE OF FOUNDATION WALLS, STUDS, FRAMING, AND/OR TO THE FACE OF ADJACENT AFFURTENANCES, UNLESS NOTED OTHERWISE.
 7. ALL WORK, MATERIALS, METHODS, ETC. SHALL CONFORM TO ALL GOVERNING BUILDING CODES, REGULATIONS AND AGENCIES: 2019 CBC, CMC, CFC, CEC, & 2022 T-24 W/ AMEND. ICB0.
 8. SITE BOUNDARY LINES, BOUNDARY DIMENSIONS AND BOUNDARY DECLINATIONS ARE FOR REFERENCE ONLY. ACTUAL SITE CONDITIONS WILL VARY. THE CONTRACTOR SHALL BE DEEMED TO HAVE INSPECTED THE SITE AND SATISFIED HIMSELF AS TO ACTUAL GRADES, LEVELS, DIMENSIONS AND DECLINATIONS, AND THE TRUE CONDITIONS UNDER WHICH THE WORK IS TO BE PERFORMED.
 9. WHERE NO MATERIAL NOTES OCCUR, THE MATERIAL INDICATION SHALL INDICATE MATERIAL TYPES AND ITEMS.
- THESE DRAWINGS AND ANY ELECTRONIC MEDIA ARE THE PROPERTY OF AMERICAN DESIGN SOLUTIONS. ANY USE WITHOUT EXPRESS WRITTEN AGREEMENT AND/OR APPROPRIATE COMPENSATION TO AMERICAN DESIGN SOLUTIONS IS PROHIBITED BY LAW. SOME SCALED PORTIONS OF THESE DRAWINGS MAY VARY. DO NOT SCALE PRINTS. CONTRACTOR AND SUBCONTRACTORS SHALL USE AND VERIFY DIMENSIONS ONLY. CONTRACTOR AND SUBCONTRACTORS ARE RESPONSIBLE FOR VERIFYING EXACT LOCATIONS OF INSTALLATIONS PRIOR TO THEIR TRADE FUNCTIONS. ANY WORK NOT VERIFIED FOR INSTALLATION OR FOUND NOT TO MEET CODE REQUIREMENTS SHALL BE REPLACED AT THE CONTRACTOR OR SUBCONTRACTOR'S EXPENSE AND NOT THAT OF THE OWNER OR AMERICAN DESIGN SOLUTIONS. ALL WORK DONE ON THIS PROJECT SHALL CONFORM TO THE FOLLOWING CODES AND AS AMENDED BY THE CITY OF FOLSOM
2022 CALIFORNIA ELECTRICAL CODES
2022 CBC, CMC, CFC, CEC, CRC, 6B5C
2022 TITLE-24 ENERGY COMPLIANCE REQUIREMENTS



American Design Solutions
301 DAWN RIDGE RD.
ROSEVILLE, CA 95678
(916) 759-6730



CS Engineering
9887 GLACIER CREEK WAY
ELK GROVE, CA 95624
(916) 690-1456 PH

REV	DATE	DESCRIPTION

DATE: March 19 2022

PROJECT:
Hampton Residence & ADU
868 Eagle Ridge Cir.
Folsom CA 95630

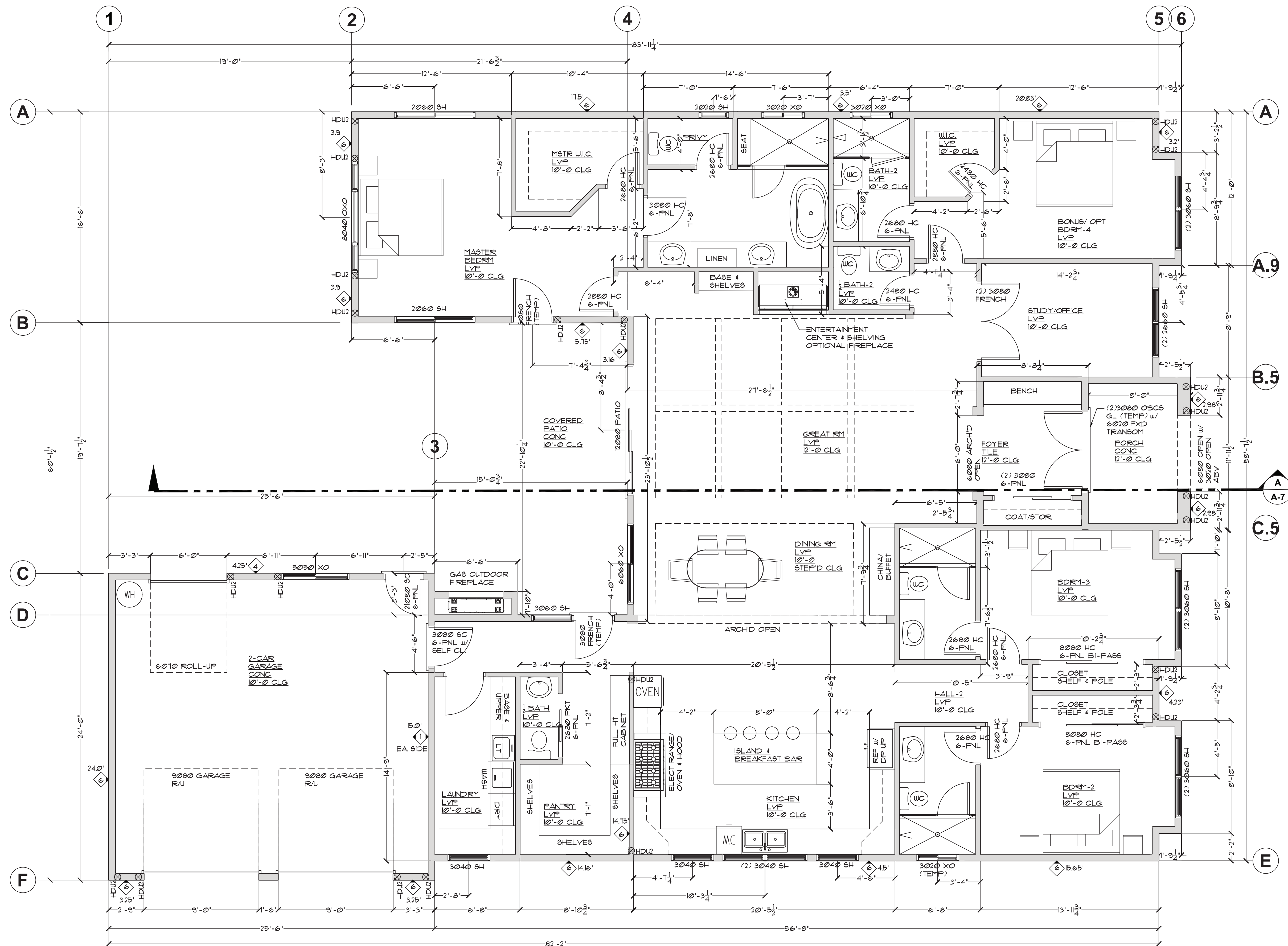
TITLE SHEET / SITE PLAN

DESIGNER : ADS
DRAWN BY : DL Rhodes
APPROVED BY : dl cs
SCALE : AS NOTED

JOB NUMBER:

SHEET NUMBER

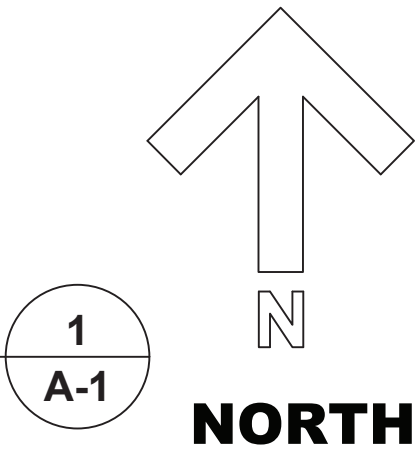
A-0



3158 s.f. HOUSE
 612 SF GARAGE
 10-24-22

PROPOSED FLOOR PLAN (HOUSE)

SCALE: 1/4" = 1'-0"



REV	DATE	DESCRIPTION

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Hampton Residence & ADU
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 Folsom CA 95630

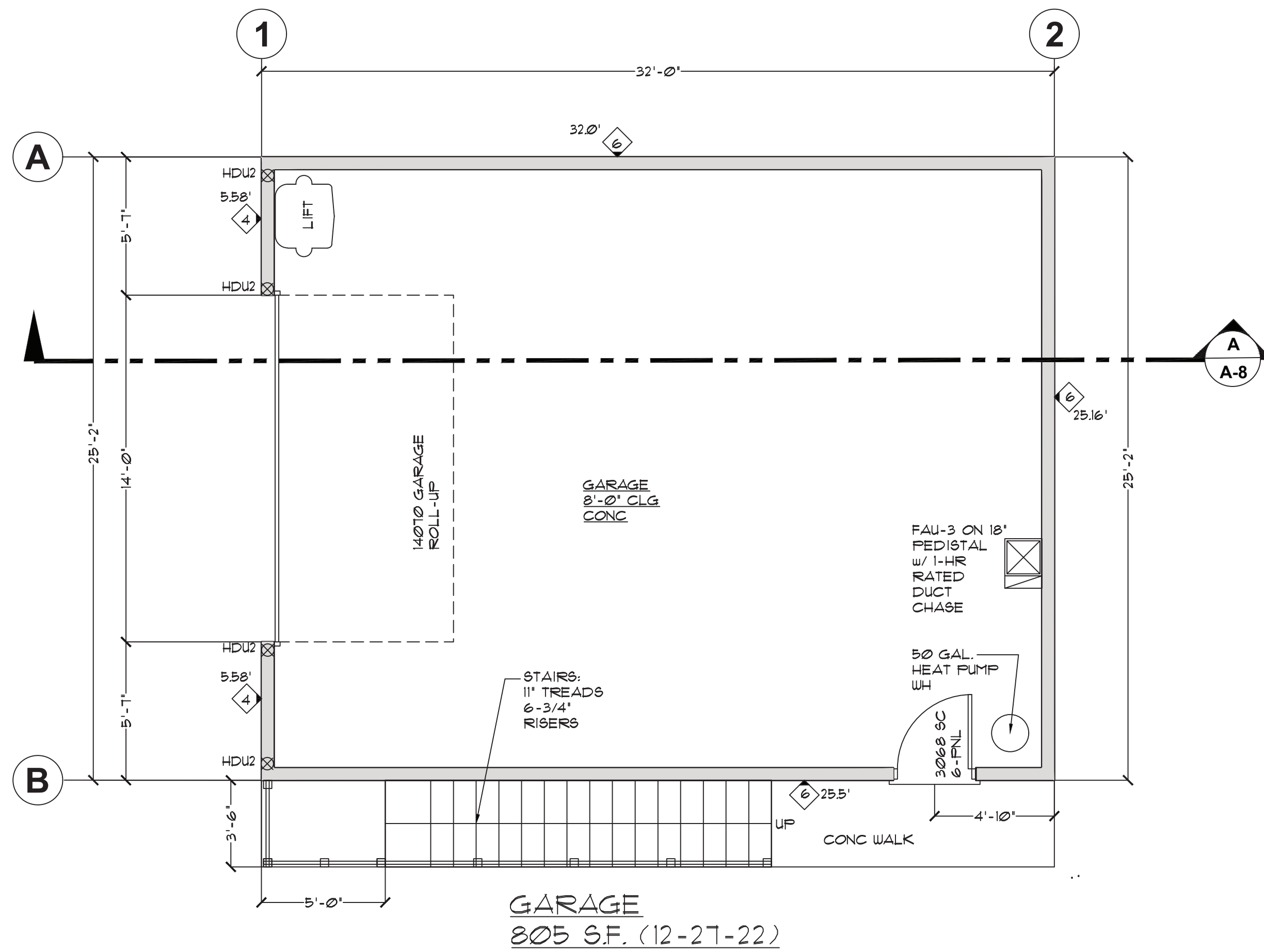
PROPOSED FLOOR PLAN (HOUSE)

DESIGNER: ADS
 DRAWN BY: DL Rhodes
 APPROVED BY: drs
 SCALE: AS NOTED

JOB NUMBER:

SHEET NUMBER

Future ADU not in scope of Design Review

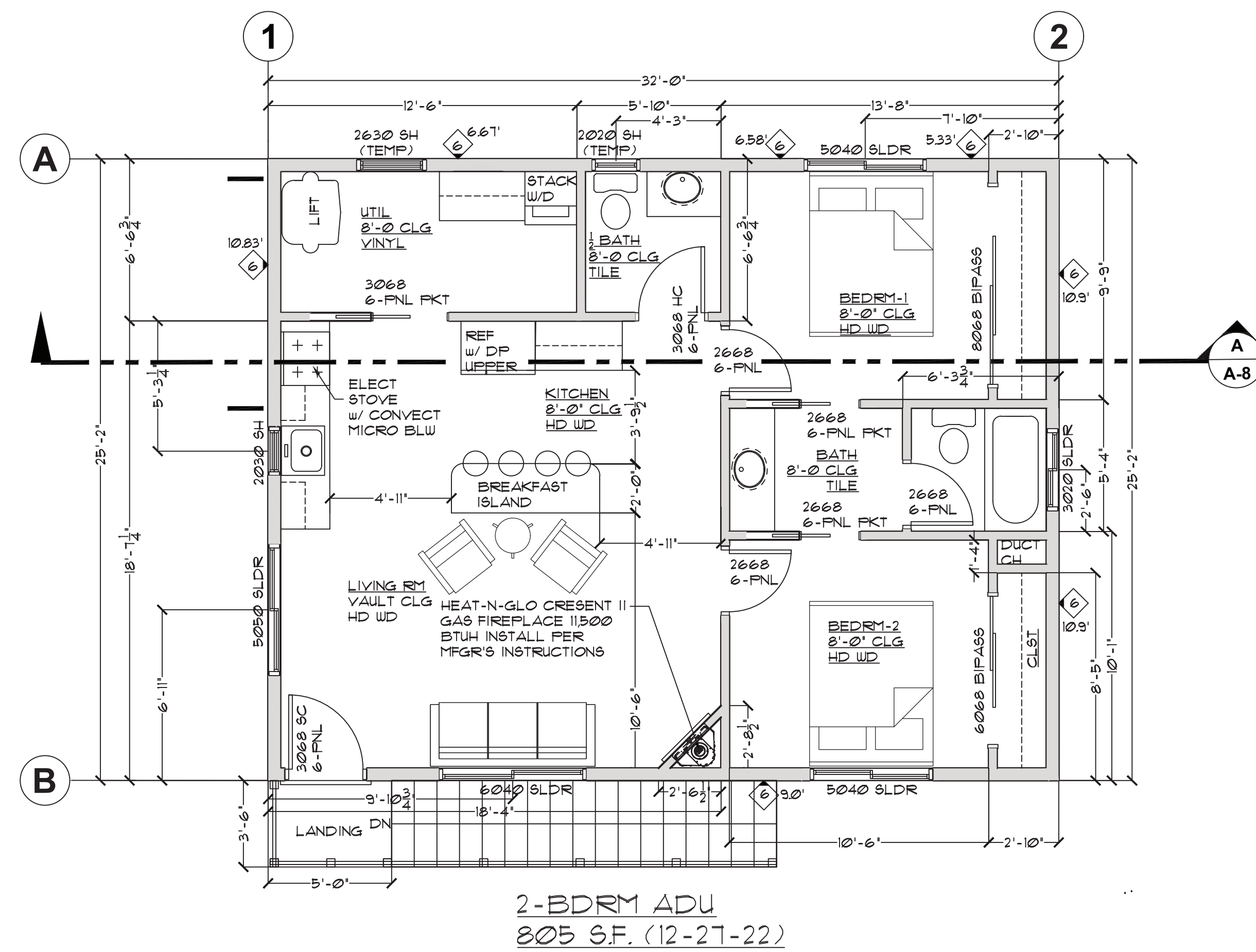


PROPOSED 1ST FLOOR PLAN (FUTURE ADU)

SCALE: 1/4" = 1'-0"

1
A-2

NORTH



PROPOSED 2ND FLOOR PLAN (FUTURE ADU)

SCALE: 1/4" = 1'-0"

1
A-2

NORTH

Douglas L. Rhodes
 DOUGLAS L. RHODES
 Designer
 Plans are only valid for permitting
 & construction when signature is
 present

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 ROSEVILLE, CA 95678
 (916) 759-6730

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 9687 GLACIER CREEK WAY
 ELK GROVE, CA 95624
 (916) 690-1458 PH



REV	DATE	DESCRIPTION

DATE: March 19 2022

Hampton Residence & ADU
 868 Eagle Ridge Cir.
 Folsom CA 95630

PROPOSED FLOOR PLANS (FUTURE ADU)

DESIGNER: ADS
 DRAWN BY: DL Rhodes
 APPROVED BY: dr cs
 SCALE: AS NOTED

JOB NUMBER:

SHEET NUMBER

A-2

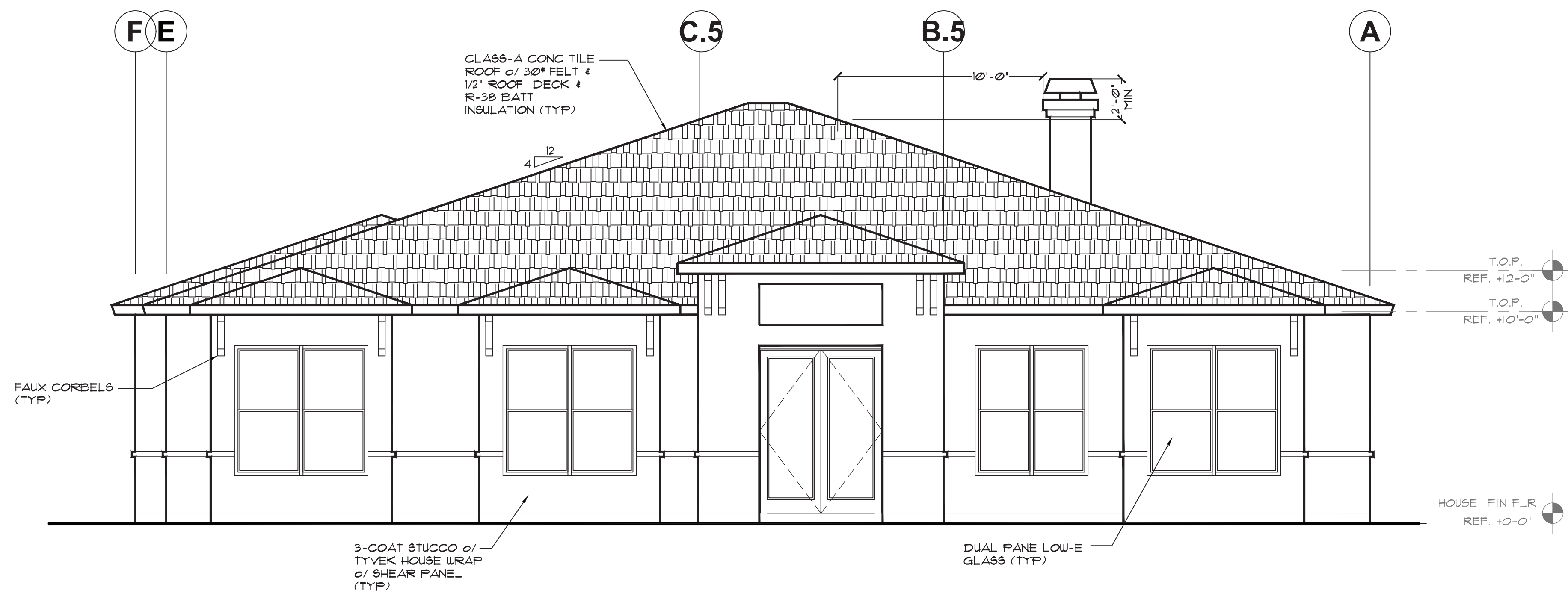
ROOF VENT CALCULATION

PER C.B.C. 1209.2
 VENTILATING OPENINGS SHALL BE
 1 SF / 150 S.F. ATTIC AREA
 HOUSE:
 ROOF AREA = 3158 S.F. FLR. AREA PER 150 S.F.
 = 21.05 S.F. REQUIRED VENTING -
 1/2 UPPER ROOF DORMER VENTS @ .8 SQ. FT. EA @ 10.53
 S.F. = 13 VENTS.
 LOW ROOF VENTS @ 0.605 SQ. FT. EA. FOR THE
 BALANCE OF 10.53 S.F.

Douglas L. Rhodes
 DOUGLAS L. RHODES
 Designer
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 present

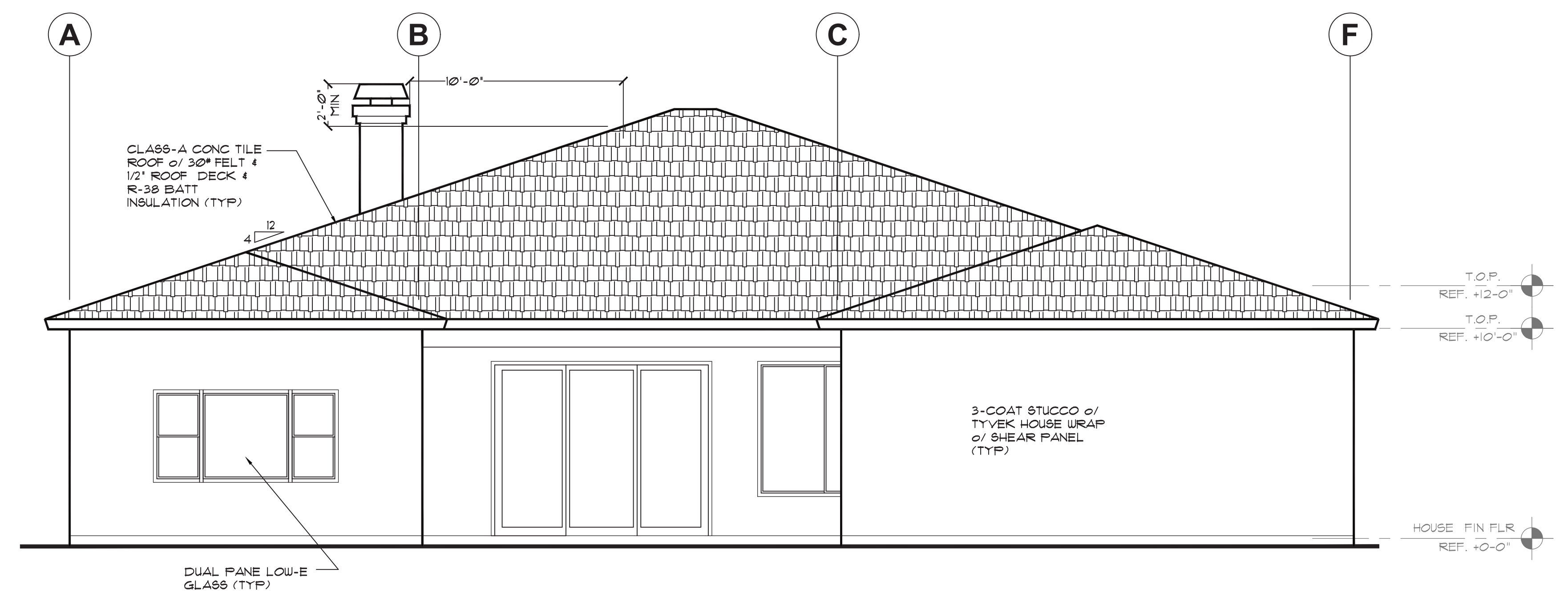
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 (916) 690-1468 PH



FRONT ELEVATION
 SCALE: 1/4" = 1'-0"

1
A-3



BACK ELEVATION
 SCALE: 1/4" = 1'-0"

2
A-3

REV	DATE	DESCRIPTION

DATE: March 19 2022

Hampton Residence & ADU
 868 Eagle Ridge Cir.
 Folsom CA 95630

FRONT & BACK ELEVATIONS (HOUSE)

DESIGNER: ADS
 DRAWN BY: DL Rhodes
 APPROVED BY: dr cs
 SCALE: AS NOTED

JOB NUMBER:

SHEET NUMBER

A-3



REV	DATE	DESCRIPTION

DATE: March 19 2022

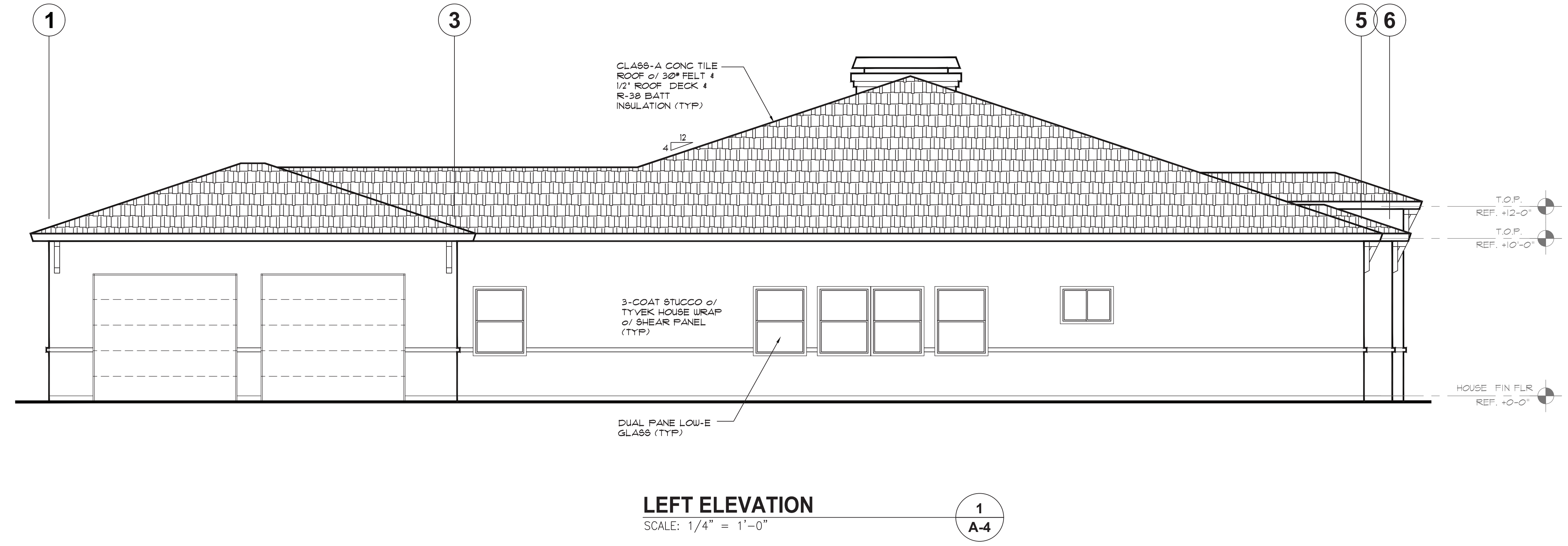
Hampton Residence & ADU
868 Eagle Ridge Cir.
Folsom CA 95630

LEFT & RIGHT ELEVATIONS (HOUSE)

DESIGNER: ADS
DRAWN BY: DL Rhodes
APPROVED BY: dr cs
SCALE: AS NOTED

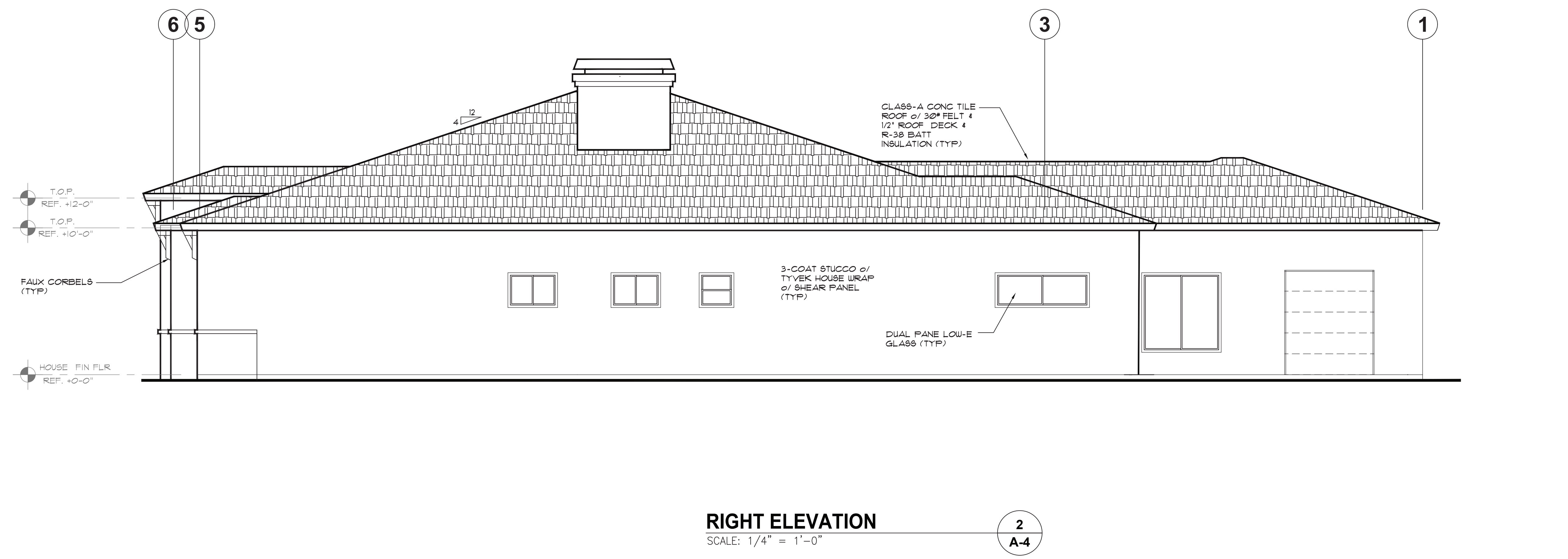
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SHEET NUMBER



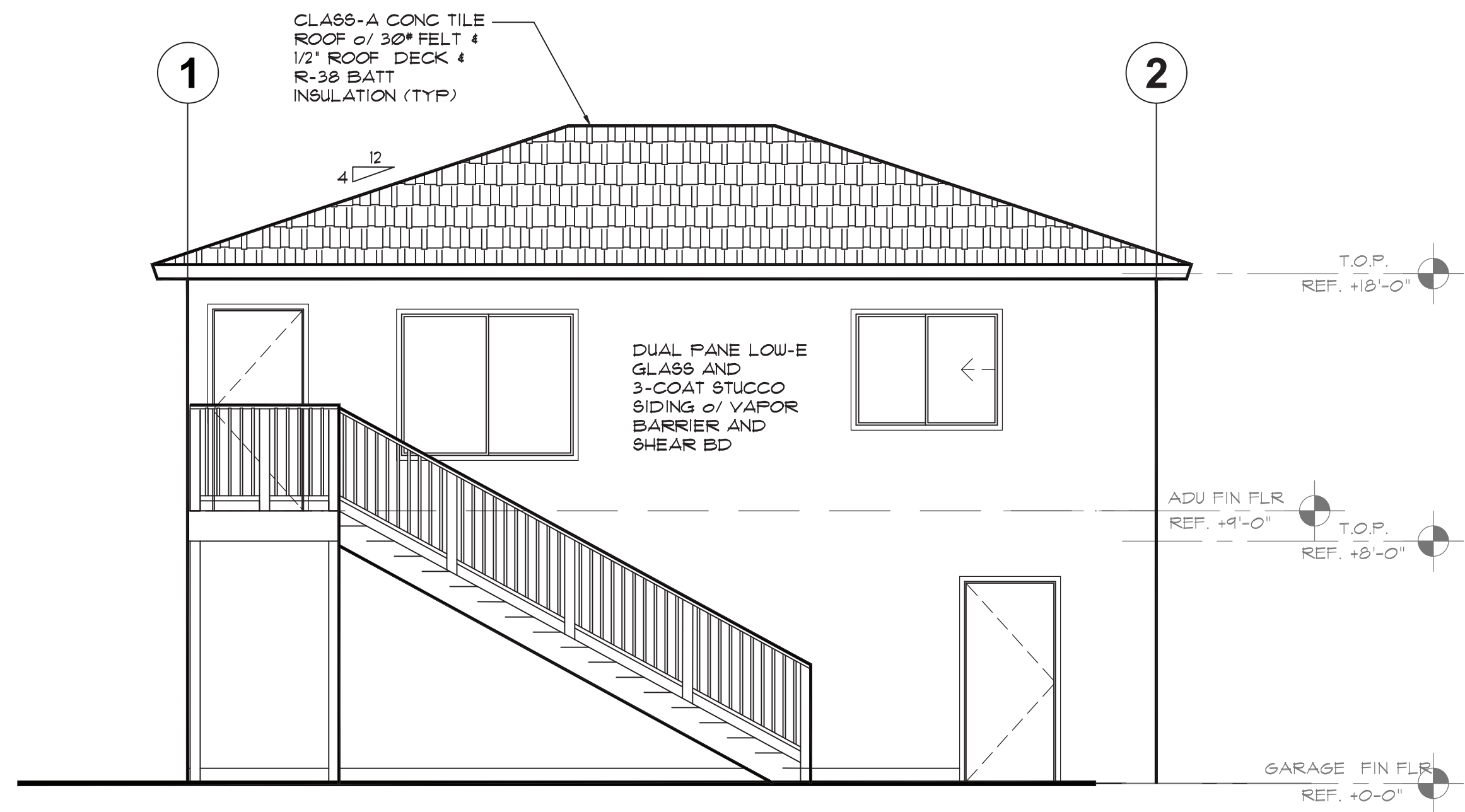
LEFT ELEVATION
SCALE: 1/4" = 1'-0"

1
A-4

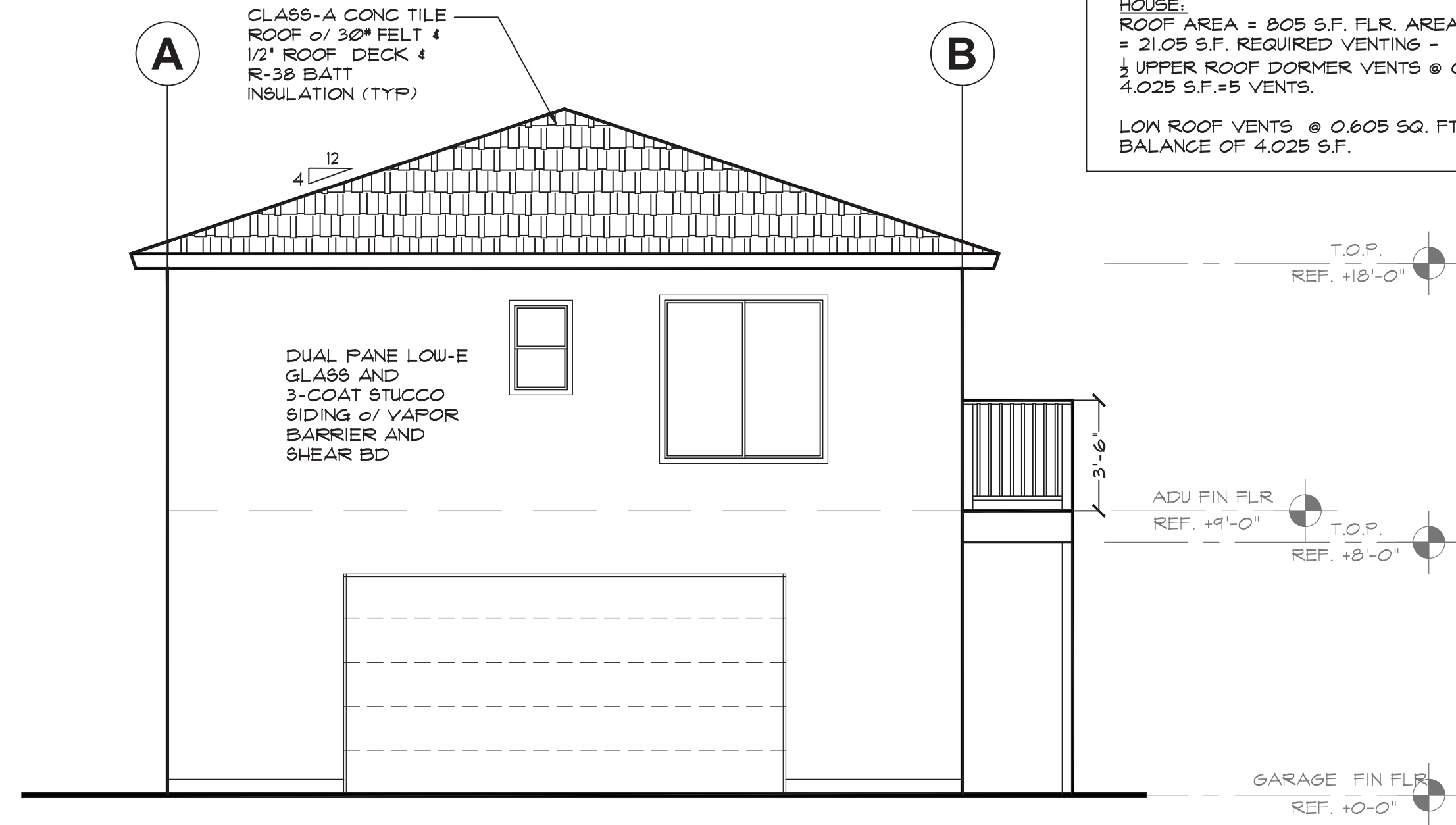


RIGHT ELEVATION
SCALE: 1/4" = 1'-0"

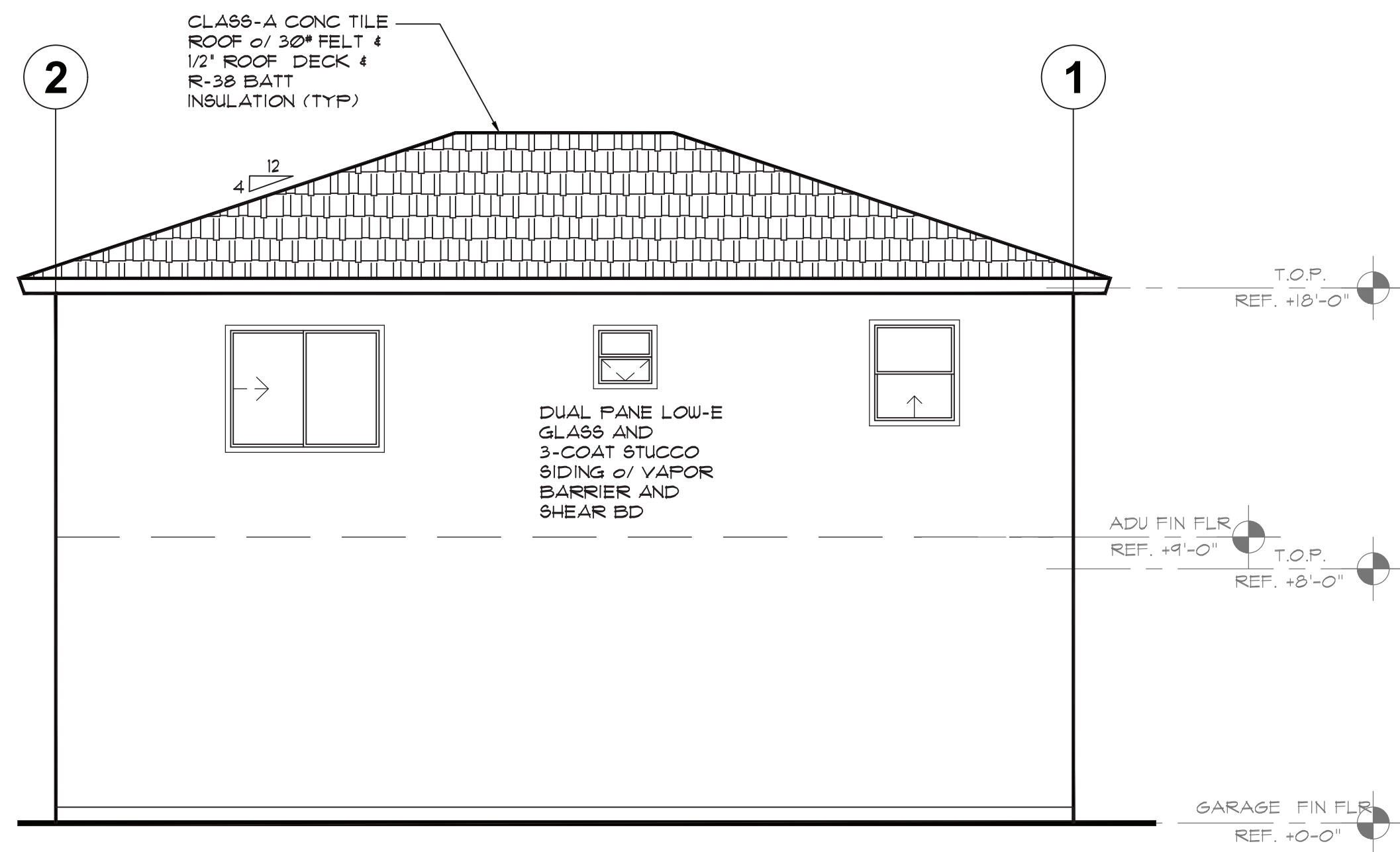
2
A-4



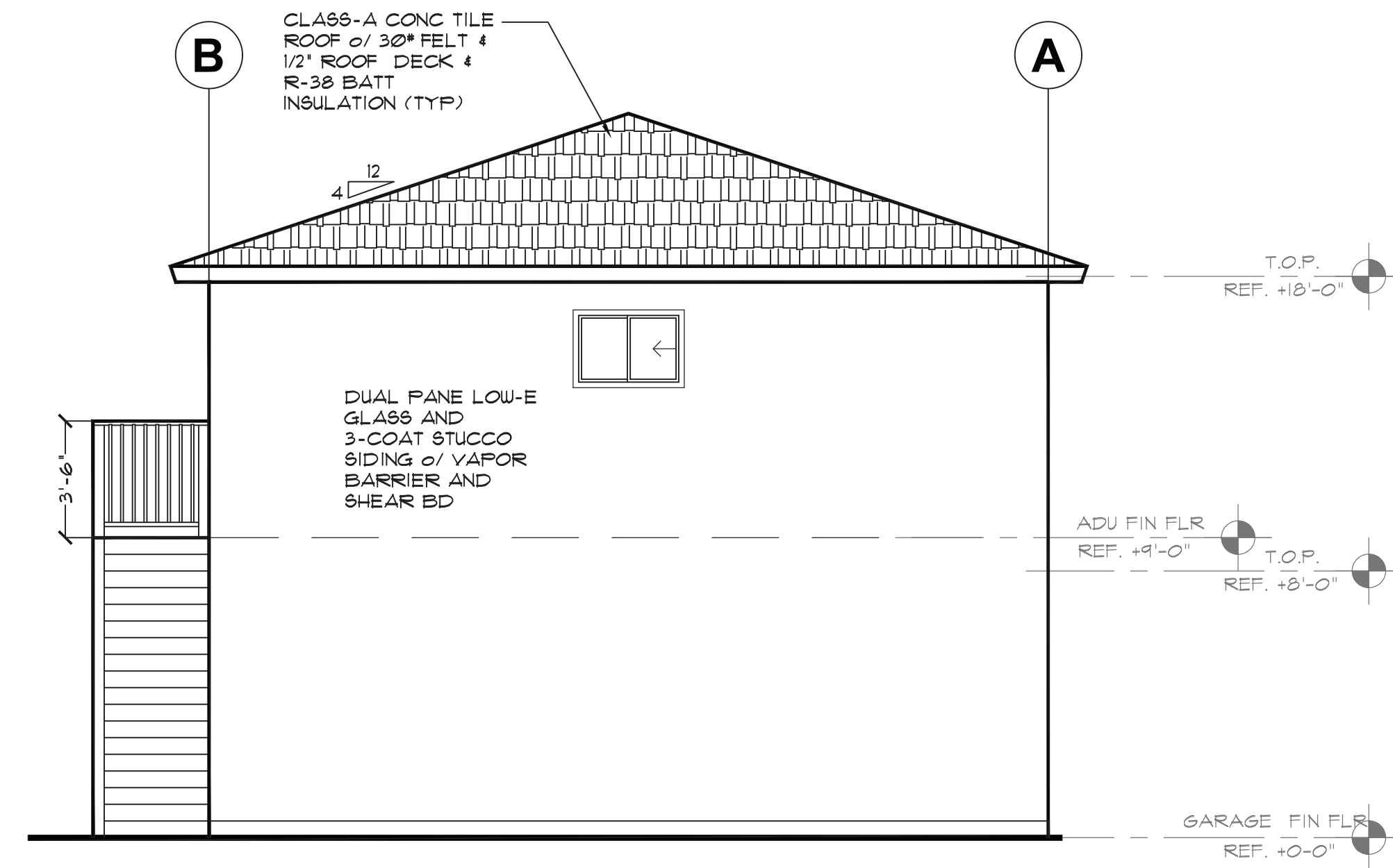
FRONT ELEVATION (FUTURE ADU) 1 A-5
SCALE: 1/4" = 1'-0"



LEFT ELEVATION (FUTURE ADU) 2 A-5
SCALE: 1/4" = 1'-0"



RIGHT ELEVATION (FUTURE ADU) 3 A-5
SCALE: 1/4" = 1'-0"



BACK ELEVATION (FUTURE ADU) 4 A-5
SCALE: 1/4" = 1'-0"

ROOF VENT CALCULATION

PER C.B.C. 1203.2
VENTILATING OPENINGS SHALL BE
1 SF/ 150 S.F. ATTIC AREA
HOUSE:
ROOF AREA = 805 S.F. FLR. AREA PER 150 S.F.
= 21.05 S.F. REQUIRED VENTING -
1/2 UPPER ROOF DORMER VENTS @ 0.25 SQ. FT. EA.
4.025 S.F.=5 VENTS.

LOW ROOF VENTS @ 0.605 SQ. FT. EA. FOR THE
BALANCE OF 4.025 S.F.

Future ADU not in scope of Design Review

Designer
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Folsom CA 95630

ELEVATIONS FUTURE ADU)

DESIGNER: ADS
DRAWN BY: DL Rhodes
APPROVED BY: dr cs
SCALE: AS NOTED

JOB NUMBER:

SHEET NUMBER

A-5

DE6385 Black Bean LRV 7 To request, visit dunnedwards.com or call (888) DE PAINT (337-2423) Binder 8

OMEGA
PRODUCTS INTERNATIONAL



1C030 MILKY

EAGLE
ROOFING PRODUCTS



ABOVE: Slate Slab & Medium Gray Release (Ashlar Slate Stamp)



5699 Charcoal Range - Range of Gray
CRIC 0010-0046 Ref. 25 Em. 94 St. 15 A Ref. 17 A Em. 92 A Sn 16

Gallery Collection 16 ft. x 7 ft. 18.4 R-Value
Intellicore Insulated Solid Ultra-Grain Walnut Garage Door

by Clopay
ULTRA-GRAIN® FINISH

- Painted steel surface simulates a real stained door without the need of staining and the ongoing maintenance of wood.
- Oak woodgrain runs horizontal on stiles and vertical on panels for an authentic, natural look.
- Exterior steel surface on an Ultra-Grain® finish door has a woodgrain texture.



HAMPTON RESIDENCE



Example Rendering of Style;
Not a Rendering of the
Proposed Residence

**MATERIALS BOARD LIST
WILLIE & KAREN HAMPTON
RESIDENCE**

1. WINDOWS- PELLA WHITE CASEMENT/MULLION
2. EXTERIOR STUCCO- OMEGAFLEX 1C030 MILKY
3. ACCENT TRIM- DUNN EDWARDS DE6385 B.BEAN
4. ENTRY DOOR SYSTEM- IRON DOOR DARK BRONZE FINISH WITH GLASS PANELS
5. ROOF- EAGLE ROOFING PRODUCTS CONCRETE TILES-5699 PONDEROSA, CHARCOAL RANGE
6. HARDSCAPE/DRIVEWAY- STAMPED OR SLAB CONCRETE, DENVER CONCRETE MEDIUM GRAY RELEASE
7. GARAGE DOORS- CLOPAY GALLERY COLLECTION STEEL ULTRA GRAIN IN DARK WALNUT FINISH
8. FIXED AWNING IN MESH METAL DARK BRONZE FINISH
9. PHYSICAL SAMPLES GUTTER (WHITE METAL) DOOR AND ACCENT (DARK BRONZE METAL)

Metal Standing Seam Fixed Awning

