



CITY OF
FOLSOM
DISTINCTIVE BY NATURE

HISTORIC DISTRICT COMMISSION AGENDA

June 5, 2024

6:30 p.m.

50 Natoma Street

Folsom, California 95630

CALL TO ORDER HISTORIC DISTRICT COMMISSION: John Felts, Mark Dascallos, Ralph Peña, Jennifer Cabrera, Daniel West, John Lane, Kathy Cole

The Historic District Commission has adopted a policy that no new item will begin after 10:30 p.m. Therefore, if you are here for an item that has not been heard by 10:30 p.m., you may leave, as the item may be continued to a future Commission Meeting.

Any documents produced by the City and distributed to the Historic District Commission regarding any item on this agenda will be made available, upon request, at the Community Development Counter at City Hall located at 50 Natoma Street, Folsom, California

PLEDGE OF ALLEGIANCE

CITIZEN COMMUNICATION: The Historic District Commission welcomes and encourages participation in City Historic District Commission meetings and will allow up to five minutes for expression on a non-agenda item. Matters under the jurisdiction of the Commission, and not on the posted agenda, may be addressed by the general public; however, California law prohibits the Commission from taking action on any matter which is not on the posted agenda unless it is determined to be an emergency by the Commission.

MINUTES

The minutes of the May 1, 2024, meeting will be presented for approval.

NEW BUSINESS

1. DRCL24-00111: 706 Orange Grove Way, Deck and Patio Demolition Project and Determination that the Project is Exempt from CEQA

A Public Meeting to consider a request from Lynda Seymour for approval of a Demolition Permit for the demolition of a rear yard deck and patio cover located at a single-family residence at 706 Orange Grove Way. The zoning classification for the site is R-1-M (Single-Family, Small Lot District) while the General Plan land-use designation is SFHD (Single-Family, High Density). The property is located within the Central Subarea of the Historic Residential Primary Area of the Historic District. The project is categorically exempt under Section 15301 (Existing Facilities) of the California Environmental Quality Act (CEQA) Guidelines. **(Project Planner: Nathan Stroud / Applicant: Lynda Seymour)**

2. DRCL24-00116: 708 ½ Figueroa Street Modifications and Determination that the Project is Exempt from CEQA

A Public Meeting to consider a request from Christina Moore for approval of a Design Review application for modifications to an approved two-story structure containing an 833-square-foot garage and an 848-square-foot Accessory Dwelling Unit at 708 ½ Figueroa Street. The zoning classification for the site is R-2 (Two-Family Residence) while the General Plan land-use designation is MLD (Multi-Family, Low Density). The property is located within the Figueroa Subarea of the Historic Residential Primary Area of the Historic District. The project is categorically exempt under Section 15301 (Existing Facilities) and Section 15303 (New Construction or

Conversion of Small Structures) of the California Environmental Quality Act (CEQA) Guidelines. **(Project Planner: Josh Kinkade / Applicant: Christina Moore)**

PUBLIC WORKSHOP

3. SPEC24-00157: Neon Signs in the Historic District

A public workshop to discuss the prohibition on neon open/closed signs and City enforcement given local business desire for more visibility in the District. The workshop is not a project under Section 15061(b)(3) of the California Environmental Quality Act (CEQA) Guidelines. **(Project Planner: Desmond Parrington)**

PLANNING MANAGER REPORT

HISTORIC DISTRICT COMMISSION COMMENTS

ADJOURNMENT

The next regularly scheduled meeting is **August 7, 2024**. Additional non-public hearing items may be added to the agenda; any such additions will be posted on the bulletin board in the foyer at City Hall at least 72 hours prior to the meeting. Persons having questions on any of these items can visit the Community Development Department during normal business hours (8:00 a.m. to 5:00 p.m.) at City Hall, 2nd Floor, 50 Natoma Street, Folsom, California, prior to the meeting. The phone number is (916) 461-6200 and fax number is (916) 355-7274.

In compliance with the Americans with Disabilities Act, if you are a disabled person and you need a disability-related modification or accommodation to participate in the meeting, please contact the Community Development Department at (916) 461-6203, (916) 355-7274 (fax) or ksanabria@folsom.ca.us. Requests must be made as early as possible and at least two full business days before the start of the meeting.

NOTICE REGARDING CHALLENGES TO DECISIONS

The appeal period for Historic District Commission Action: Pursuant to Folsom Municipal Code Section 17.52.700, if a permit applicant, permittee, or other person whose property rights may be affected is dissatisfied with any determination made by the Historic District Commission, such person(s) may appeal to the City Council. Any such appeal shall be in writing, shall state the specific reason for the appeal and grounds asserted for relief, and shall be filed with the City Clerk not later than 10 calendar days after the date of the action being appealed. Pursuant to all applicable laws and regulations, including without limitation, California Government Code, Section 65009 and/or California Public Resources Code, Section 21177, if you wish to challenge in court any of the above decisions (regarding planning, zoning, and/or environmental decisions), you may be limited to raising only those issues you or someone else raised at the public hearing(s) described in this notice/agenda, or in written correspondence delivered to the City at, or prior to, this public hearing.



HISTORIC DISTRICT COMMISSION MINUTES
May 1, 2024
6:30 p.m.
50 Natoma Street
Folsom, California 95630

CALL TO ORDER HISTORIC DISTRICT COMMISSION:

A regular meeting of the Historic District Commission was called to order at 6:30 p.m. with Chair Kathy Cole presiding.

ROLL CALL:

Commissioners Present: John Lane, Vice Chair
 Mark Dascallos, Commissioner
 Ralph Peña, Commissioner
 Jennifer Cabrera, Commissioner
 Daniel West, Commissioner
 Kathy Cole, Chair

Commissioners Absent: John Felts, Commissioner

PLEDGE OF ALLEGIANCE:

The Pledge of Allegiance was recited.

CITIZEN COMMUNICATION:

NONE

MINUTES:

The minutes of the March 6, 2024, meeting were approved.

NEW BUSINESS:

1. DRCL24-00100: 602 Figueroa Street Modifications and Determination that the Project is Exempt from CEQA

A Public Meeting to consider a request from Charles Green for modifications to a previously approved design review for a remodel of an existing single-family residence located at 602 Figueroa Street. The zoning classification for the site is R-2 (Two-Family Residence) while the General Plan land-use designation is SFHD (Single-Family High-Density). The property is located within the Figueroa Subarea of the Historic Residential Primary Area of the Historic District. The project is categorically exempt under Section 15301 (Existing Facilities) of the California Environmental Quality Act (CEQA) Guidelines. **(Project Planner: Josh Kinkade / Applicant: Charles Green)**

COMMISSIONER WEST MOVE TO APPROVE THE DESIGN REVIEW APPLICATION (DRCL24-00100) FOR MODIFICATIONS TO A PREVIOUSLY APPROVED RESTORATION AND REMODEL OF AN EXISTING SINGLE-FAMILY RESIDENCE LOCATED AT 602 FIGUEROA STREET, AS ILLUSTRATED ON ATTACHMENT 5 FOR THE 602 FIGUEROA STREET ADDITION PROJECT, BASED ON THE FINDINGS INCLUDED IN THIS REPORT (FINDINGS A-I) AND SUBJECT TO THE ATTACHED CONDITIONS OF APPROVAL (CONDITIONS 1-11).

COMMISSIONER DASCALLOS SECONDED THE MOTION.

The Motion carried the following roll call vote:

AYES: LANE, DASCALLOS, PEÑA, CABRERA, WEST, COLE
NOES: NONE
RECUSED: NONE
ABSENT: FELTS

MOTION PASSED

PRINCIPAL PLANNER REPORT

Principal Planner Steve Banks reported that the next Historic District Commission meeting is tentatively scheduled for June 5, 2024.

Principal Planner Steve Banks provided an update on the following items:

- Provided Commission with update on Historic District Building Permit activity over the past two months.
- Introduced new Principal Planner Jessica Brandt to the Commission.
- Informed Commission the next Historic District Commission meeting will be on June 5, 2024.
- Planning Manager Desmond Parrington provided the Commission with update on some sign issues staff has been dealing with in the Historic District.

There being no further business to come before the Folsom Historic District Commission, Chair Kathy Cole adjourned the meeting at 7:06 p.m.

RESPECTFULLY SUBMITTED,

Karen Sanabria, ADMINISTRATIVE ASSISTANT

APPROVED:

Kathy Cole, CHAIR



CITY OF
FOLSOM
DISTINCTIVE BY NATURE

AGENDA ITEM NO. 1
Type: Public Meeting
Date: June 5, 2024

Historic District Commission Staff Report

50 Natoma Street, Council Chambers
Folsom, CA 95630

Project: 706 Orange Grove Way, Deck and Patio Demolition Project
File #: DRCL24-00111
Request: Demolition Permit
Location: 706 Orange Grove Way; Central Subarea of Historic District
Parcel(s): APN 070-0191-004
Staff Contact: Nathan Stroud, Assistant Planner, (916) 461-6220
nstroud@folsom.ca.us

Property Owner

Name: Gerald Baribeau
Address: P.O. Box 620923
Woodside, CA 94062

Applicant

Name: Lynda Seymour
Address: 706 Orange Grove Way
Folsom, CA 95630

Recommendation

Conduct a public meeting and upon conclusion recommend approval of an application (DRCL24-00111) for a Demolition Permit for the demolition of a rear yard deck and patio cover located at a single family residence at 706 Orange Grove Way based on the findings included in this report (Findings A-G) and subject to the attached conditions of approval (Conditions 1-6).

Project Summary

The proposed project includes the demolition of an existing rear yard deck and patio cover located at a single-family residence at 706 Orange Grove Way. The existing deck and patio cover is estimated to have been built during the 1970s at the latest, and is in a severe state of disrepair. The project does not propose a deck or patio cover replacement. The property is within the Central Subarea of the Historic Residential Primary Area of the Historic District, and is not listed on the City of Folsom’s Cultural Resources Inventory.

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CITY OF
FOLSOM
DISTINCTIVE BY NATURE

AGENDA ITEM NO. 1
Type: Public Meeting
Date: June 5, 2024

Submitted,

A handwritten signature in blue ink, appearing to read 'Pam Johns', with a long horizontal flourish extending to the right.

PAM JOHNS
Community Development Director

ATTACHMENT 1 DESCRIPTION/ANALYSIS

Applicant's Proposal

The applicant, Lynda Seymour, is seeking a Demolition Permit for the demolition of an existing rear yard deck and patio cover located at a single-family residence at 706 Orange Grove Way. The applicant does not propose to replace the deck or patio cover, instead utilizing the existing concrete stairs underneath the deck and increasing the rear yard space with the deck's removal. Currently, the deck and patio cover is in a state of severe disrepair, as shown on Attachment 6. The deck and patio cover are not known to have any significant historical value, as discussed in the sections below.

As discussed in the background information in Attachment 2, a building permit indicates that the rear yard patio cover was constructed in 1973; the deck is estimated to have been built during or prior to 1973 due to the patio cover being built on top of the deck as a later addition.

Policy/Rule

Folsom Municipal Code (FMC) Section 17.52.300 states that the Historic District Commission shall have final authority relating to the design and architecture of all exterior renovations, remodeling, modification, addition, or demolition of existing structures within the Historic District.

FMC Section 17.52.660 states that the demolition of a structure located in the Historic District is subject to the review and approval of the Historic District Commission. Before demolition is authorized, the applicant must provide documentation of the structure for the historical record, to the extent that the history of the structure is known to, or reasonably obtainable by, the applicant. If the structure is considered historically significant, the Historic District Commission shall consider several factors before authorizing the demolition.

Historic District Design and Development Guidelines (DDGs) Section 4.13 explains that demolition of structures with historic value should be approved only when all other options have been exhausted by the property owner and the City. On the other hand, Section 4.13 also makes clear that demolition may be more readily approved for structures which do not comply with the goals, policies, and regulations of FMC Chapter 17.52 and the DDGs themselves.

Demolition

The existing rear-yard deck proposed to be demolished (shown in Attachment 6) consists of a wooden deck constructed of pine boards, concrete block support bases, and wood lattice railings. There is a wood beam patio cover above a portion of the deck, also proposed to be demolished. The deck also consists of an in-deck spa and a small metal wood-fueled fireplace, and two half-barrel planter boxes. Underneath the deck lies concrete stairs which existed prior to the deck's construction. The structure is in severe disrepair, as shown in Attachment 6.

Pursuant to FMC Section 17.52.660, prior to the authorization of demolition, the applicant is required to provide documentation of the structure for the historical record, including photographs of all sides of the structure, details of unique or representative construction features, and any history of the structure known to, or reasonably obtainable by, the applicant. The applicant has provided staff with information about the construction materials of the deck and patio cover and the photographs provided in Attachments 5 and 6. As such, staff concludes that the applicant has met this requirement.

Based on further research by staff, the structure is not considered historically significant, as discussed in the Environmental Review section below, and contains no historically significant value or unique architectural elements. Neither the property nor the structure is listed on the City of Folsom's Cultural Resources Inventory, the Built Environment Resources Directory (BERD), the California Register of Historical Resources, or the National Register of Historic Places.

Environmental Review

The project is categorically exempt from environmental review under Section 15301 (Existing Facilities) of the California Environmental Quality Act (CEQA) Guidelines. Based on staff's analysis of this project, none of the exceptions in Section 15300.2 of the CEQA Guidelines apply to the use of the categorical exemption in this case.

As a part of the analysis for this project, staff closely reviewed CEQA Guidelines Section 15300.2(f), which states that categorical exemptions shall not be used for a project which may cause a substantial adverse change in the significance of a historical resource. As relevant to this project, CEQA Guidelines Section 15064.5 defines a historical resource as:

1. A resource listed in or determined by the State Historical Resources Commission to be eligible for listing in the California Register of Historical Resources.
2. A resource included in a local register of historical resources.
3. Any object, building, structure, site, area, or place which a lead agency determines to be historically significant or significant in the architectural, engineering, scientific, economic, agricultural, educational, social, political, military, or cultural annals of California may be considered to be an historical resource, provided the lead agency's determination is supported by substantial evidence in light of the whole record (pursuant to Section 5020.1(j) of the Public Resources Code). Generally, a resource shall be considered "historically significant" if it meets the criteria for listing in the California Register of Historical Resources, including the following:
 - a. Is associated with events that have made a significant contribution to the broad patterns of California's history and cultural heritage;
 - b. Is associated with the lives of persons important in our past;
 - c. Embodies the distinctive characteristics of a type, period, region, or method

- of construction, or represents the work of an important creative individual, or possesses high artistic values; or
 - d. Has yielded, or may be likely to yield, information important in prehistory or history.
4. The fact that a resource is not listed in, or determined to be eligible for listing in the California Register of Historical Resources, not included in a local register of historical resources, or identified in an historical resources survey does not preclude a lead agency from determining that the resource may be an historical resource.

The subject property at 706 Orange Grove Way is not listed on the City's Cultural Resources inventory, nor has it been listed in either California Register of Historical Resources or the State's Built Environment Resources Inventory (BERD). Staff has contacted the Folsom Heritage Preservation League, the California Historical Resources Information System (North Central Information Center), and the Folsom History Museum, and have not found any indication that the proposed structure to be demolished holds any significant historical value, nor any association of the structure with any important events or persons from Folsom's past. The structure also does not hold any unique architectural features that distinguish it from other structures typical during its time of construction. As such, staff have concluded that the property and structure to be demolished do not meet the criteria for listing on the California Register of Historical Resources or in the City's Cultural Resources Inventory.

Staff therefore determined that the property and structure are not historical resources as defined in Public Resources Code Sections 5020.1(j) or 5024.1, and the potential exception to use of the categorical exemption described in CEQA Guidelines Section 15300.2(f) does not apply in this case.

Public Comments

No public comments have been received.

Recommendation

Staff recommends approval of the proposed project, subject to the attached conditions of approval.

Historic District Commission Action

Move to approve the application (DRCL24-00111) for a Demolition Permit for the demolition of an existing rear yard deck and patio cover located at a single-family residence at 706 Orange Grove Way, as shown on Attachment 6, based on the findings included in this report (Findings A-G) and subject to the attached conditions of approval (Conditions 1-6).

GENERAL FINDINGS

- A. NOTICE OF PUBLIC MEETING HAS BEEN GIVEN AT THE TIME AND IN THE MANNER REQUIRED BY STATE LAW AND CITY CODE.
- B. THE PROJECT IS CONSISTENT WITH THE GENERAL PLAN AND THE ZONING CODE OF THE CITY.

CEQA FINDINGS

- C. THE PROJECT IS CATEGORICALLY EXEMPT FROM ENVIRONMENTAL REVIEW UNDER SECTION 15301 (EXISTING FACILITIES) OF THE CALIFORNIA ENVIRONMENTAL QUALITY ACT (CEQA) GUIDELINES.
- D. THE CUMULATIVE IMPACT OF SUCCESSIVE PROJECTS OF THE SAME TYPE IN THE SAME PLACE, OVER TIME IS NOT SIGNIFICANT IN THIS CASE.
- E. NO UNUSUAL CIRCUMSTANCES EXIST TO DISTINGUISH THE PROPOSED PROJECT FROM OTHERS IN THE EXEMPT CLASS.
- F. THE PROPOSED PROJECT WILL NOT CAUSE A SUBSTANTIAL ADVERSE CHANGE IN THE SIGNIFICANCE OF A HISTORICAL RESOURCE.

DEMOLITION FINDINGS

- G. THE STRUCTURE PROPOSED TO BE DEMOLISHED IS NOT CONSIDERED HISTORICALLY SIGNIFICANT.

**ATTACHMENT 2
BACKGROUND**

Background

In 1947, a parcel of land on the northwestern corner of the intersection of Bidwell Street and Sibley Street was subdivided into 23 lots; single-family homes were built on each lot in the same year including a 1,339-square-foot single family residence located at the subject property at 706 Orange Grove Way, based on information from the Sacramento County Assessor’s Office.

In 1973, a patio cover was permitted by the City of Folsom to be constructed in the rear yard of the subject property at 706 Orange Grove Way. The patio cover was built on top of an existing wooden deck. Staff believe the wooden deck was built prior to 1973, since the permitted patio cover was built after the deck; however, no records have been found confirming the year of construction for the wooden rear yard deck. Both the deck and patio cover still stand today in a severe state of disrepair.

In 2024, the current property owners of 706 Orange Grove Way submitted applications for permits to remodel the interior of the residence as well as for the demolition of the rear yard deck and patio cover.

GENERAL PLAN DESIGNATION	SFHD (Single-Family High Density)
ZONING	CEN/R-1-M (Central Subarea of the Historic Residential Primary Area / Residential Single-Family, Small Lot District)
ADJACENT LAND USES/ZONING	North: Single Family Residential Parcel (CEN/R-1-M) South: Single Family Residential Parcel (CEN/R-1-M) East: Multi-Family Residential Development (CEN/R-4) West: Orange Grove Way with Single Family Residential Development (CEN/R-1-M) Beyond
SITE CHARACTERISTICS	The 6,949-square-foot (0.16-acre) project site contains an existing 1,339-square-foot single-family residence.
APPLICABLE CODES	<u>FMC</u> Chapter 17.52, HD, Historic District

FMC Section 17.52.540, Historic Residential
Primary Area Special Use and Design
Standards

FMC Section 17.52.660, Demolition
Historic District Design and Development
Guidelines (DDG's)

PUBLIC NOTICING

A notice was posted on the project site five days prior to the Historic District Commission meeting of June 5, 2024, that met the requirements of FMC Section 17.52.320.

Attachment 3

Proposed Conditions of Approval

CONDITIONS OF APPROVAL FOR 706 ORANGE GROVE WAY, DECK AND PATIO DEMOLITION PROJECT (DRCL24-00111)				
Cond. No.	Mitigation Measure	GENERAL REQUIREMENTS	When Required	Responsible Department
1.		Issuance of a Demolition Permit is required.	B	CD (P)
2.		Compliance with all local, state and federal regulations pertaining to building and demolition is required.	B	CD (B)
3.		<p>The owner/applicant shall defend, indemnify, and hold harmless the City and its agents, officers and employees from any claim, action or proceeding against the City or its agents, officers or employees to attack, set aside, void, or annul any approval by the City or any of its agencies, departments, commissions, agents, officers, employees, or legislative body concerning the project. The City will promptly notify the owner/applicant of any such claim, action or proceeding, and will cooperate fully in the defense. The City may, within its unlimited discretion, participate in the defense of any such claim, action or proceeding if both of the following occur:</p> <ul style="list-style-type: none"> • The City bears its own attorney’s fees and costs; and • The City defends the claim, action or proceeding in good faith. <p>The owner/applicant shall not be required to pay or perform any settlement of such claim, action or proceeding unless the settlement is approved by the owner/applicant.</p>	OG	CD (P)(E)(B) PW, PR, FD, PD
4.		The project approval granted under this staff report (Demolition) shall remain in effect for one year from final date of approval (Expires June 5, 2025). Failure to obtain the relevant building or other permits within this time period, without the subsequent extension of this approval, shall result in the termination of this approval. The owner/applicant may file an application with the Community Development Department for an extension not less than 60 days prior to the expiration date of the approval, along with appropriate fees and necessary submittal materials pursuant to Section 17.52.350 of the <u>Folsom Municipal Code</u> . If after approval of this project, a lawsuit is filed which seeks to invalidate any approval, entitlement, demolition permit, or other construction permit required in connection with any of the activities or construction authorized by the project approvals, or to enjoin the project contemplated herein, or to challenge the issuance by any governmental agency of any	B	CD (P)

		environmental document or exemption determination, the one year period for submitting a complete permit application referenced in <u>FMC</u> section 17.52.350(A) shall be tolled during the time that any litigation is pending, including any appeals.		
5.		If any archaeological, cultural, or historical resources or artifacts, or other features are discovered during the course of construction anywhere on the project site, work shall be suspended in that location until a qualified professional archaeologist assesses the significance of the discovery and provides recommendations to the City. The City shall determine and require implementation of the appropriate mitigation as recommended by the consulting archaeologist. The City may also consult with individuals that meet the Secretary of the Interior's Professional Qualifications Standards before implementation of any recommendation. If agreement cannot be reached between the project applicant and the City, the Historic District Commission shall determine the appropriate implementation method.	G, I, B	CD (P)(E)(B)
NOISE REQUIREMENT				
6.		Compliance with the Noise Control Ordinance and General Plan Noise Element shall be required. Hours of construction operation shall be limited from 7:00 a.m. to 6:00 p.m. on weekdays and 8:00 a.m. to 5:00 p.m. on Saturdays. No construction is permitted on Sundays or holidays. In addition, construction equipment shall be muffled and shrouded to minimize noise levels.	I, B	CD (P)(E)

RESPONSIBLE DEPARTMENT		WHEN REQUIRED	
CD	Community Development Department Planning Division Engineering Division Building Division Fire Division	I	Prior to approval of Improvement Plans
(P)		M	Prior to approval of Final Map
(E)		B	Prior to issuance of first Building Permit
(B)		O	Prior to approval of Occupancy Permit
(F)		G	Prior to issuance of Grading Permit
PW		Public Works Department	DC
PR	Park and Recreation Department	OG	On-going requirement
PD	Police Department		

Attachment 4 Vicinity Map



Attachment 5 Applicant Narrative

Structure History:

- The approximate date of construction is “best guess” 1980s.
- The building materials are Pinewood and concrete blocks underneath.
- There are no unique designs or architectural features other than a nasty plastic spa in the middle of it.
- There is no known history of the structure.
- There are concrete steps beneath the deck. I’ve taken pictures to show that. We will use these as an egress and install handrails.
- We have no intentions of rebuilding a deck.

Attachment 6 Site Photographs

























Attachment 7 Patio Cover Permit, 1973

INSTRUCTIONS TO APPLICANT:

IMPORTANT: Use indelible pencil or ball point pen. Press firmly. No erasures allowed.

**CITY OF FOLSOM
BUILDING INSPECTION DEPARTMENT**

APPLICATION FOR PERMIT

**50 NATOMA
STREET
FOLSOM
CALIF.**

**TELEPHONE
985-3661**

BUILDING

FOR APPLICANT TO FILL IN TYPE OR PRINT			
DESCRIPTION OF WORK			
NEW	X	ALTERATION	
REPAIR		DEMOLITION	
ADDITION			X
STORIES	SQ. FT. SIZE	200	DWELL GAR.
EXT. WALL COVERING	NO. OF ROOMS		ROOF COVERING
USE OF STRUCTURE <u>patio</u>			
DWELLINGS	DUP.	RETAIL	COMM.
GARAGE	PUB.	MANU.	RETAIL
APTS.	NO. OF UNITS		
LEGAL DESCRIPTION	BLOCK	LOT NO.	
TRACT <u>70-191-04</u>			
<u>10x20 awning to the rear of the dwelling</u>			
<u>R-L-M</u>			
SIZE OF LOT			
NO. OF BLDGS. NOW ON LOT			
USE OF EXISTING BLDG.			
NO. OF FAMILIES			

FOR APPLICANT TO FILL IN (Type or Print)	
BUILDING ADDRESS	<u>706 ORANGE GROVE WY</u>
LOCALITY	<u>FOLSOM CALIF.</u>
NEAREST CROSS ST.	<u>BIDWILL</u>
OWNER	<u>DAYMON C. BURD</u>
DATE	<u>25 SEPT 73</u>
MAIL ADDRESS	<u>706 ORGE GROVE WY</u>
CITY	<u>FOLSOM CALIF 95630</u>
BUILDING CONTRACTOR	<u>OWNER</u>
MAIL ADDRESS	
CITY	

LENDING AGENCY

None listed

WHEN VALIDATED		
THIS APPLICATION IS YOUR PERMIT	DATE	NUMBER
Plan Check Fee <u>.50</u>	<u>9/25/73</u>	<u>0708</u>
Permit Fee <u>5.00</u>	<u>Sept. 25, 1973</u>	

BUILDING ADDRESS	<u>706 Orange Grove Way</u>	OFFICE FILL IN	S-
LOCALITY	<u>Natoma Mining Sub.</u>	TYPE CONST.	CODE
CROSS ST.	<u>Bidwell----- Natoma Stub</u>		

NAME OF PERMITTEE Daymon Burd

CHECKED BY _____ **VALIDATION BY** _____

CHIEF BUILDING INSPECTOR

I HEREBY ACKNOWLEDGE THAT I HAVE READ THIS APPLICATION AND STATE THAT THE INFORMATION GIVEN IS CORRECT. I AGREE TO COMPLY WITH THE CORRECTIONS LISTED HEREON AND WITH ALL CITY ORDINANCES AND STATE LAWS REGULATING BUILDING CONSTRUCTION. I AGREE TO SUBMIT TWO COPIES OF ALL CONSTRUCTION DRAWINGS AND A PLOT PLAN OF THE DEVELOPMENT AREA.

SIGNATURE OF PERMITTEE OR AUTHORIZED AGENT BY Daymon C. Burd

Nº 3201

CONSTRUCTION VALUATION	\$ <u>500.00</u>
SETBACK	FRONT <u>n/a</u> SIDE <u>6</u> BACK <u>10</u>
USE ZONE	<u>R-1</u> OCCUPANCY <u>patio</u>

COUNTY ENGINEER APPROVED BY _____ DATE _____

PLANNING COMMISSION

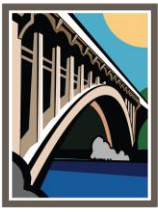
OCCUPANCY VARIANCE _____ LAND USE VARIANCE _____

APPROVED BY _____ DATE _____

HEALTH DEPT. APPROVED BY _____ DATE _____

ARCHITECT OR ENGINEER _____

ADDRESS _____ TEL. NO. _____



Historic District Commission Staff Report

50 Natoma Street, Council Chambers
Folsom, CA 95630

Project: 708 ½ Figueroa Street Modifications
File #: DRCL24-00116
Request: Design Review
Location: 708 ½ Figueroa Street
Parcel(s): 070-0105-014
Staff Contact: Josh Kinkade, Associate Planner, 916-461-6209
jkinkade@folsom.ca.us

Property Owner/Applicant

Name: Christina Moore
Address: P.O. Box 26280
San Diego, CA 92196

Recommendation Conduct a public meeting, and upon conclusion recommend approval of a Design Review application for modifications to an approved two-story structure containing an 833-square-foot garage and an 848-square-foot Accessory Dwelling Unit at 708 ½ Figueroa Street (DRCL24-00116) based on the findings included in this report (Findings A-J) and subject to the attached conditions of approval (Conditions 1-15).

Project Summary: The proposed project consists of architectural modifications to a previously approved two-story structure containing an 833-square-foot garage and an 848-square-foot Accessory Dwelling Unit at 708 Figueroa Street. The property is located within the Figueroa Subarea of the Historic Residential Primary Area of the Historic District. The property at 708 Figueroa Street is included on the City of Folsom Cultural Resources Inventory.

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- 3 - Vicinity Map
- 4 - Approved Plans
- 5 - Proposed Plans
- 6 - Comparison of Approved and Proposed Elevations
- 7 - Photographs of Existing Garage/ADU Structure
- 8 - Comment Letter from the Historic Folsom Residents Association, dated 5/14/2024



CITY OF
FOLSOM
DISTINCTIVE BY NATURE

AGENDA ITEM NO. 2
Type: Public Meeting
Date: June 5, 2024

Submitted,

A handwritten signature in blue ink, appearing to read "Pam Johns", with a long horizontal flourish extending to the right.

PAM JOHNS
Community Development Director

**ATTACHMENT 1
DESCRIPTION/ANALYSIS**

BACKGROUND

A 1,775-square-foot two-story residence was first constructed on the property in 1926. The residence features horizontal siding painted light blue, and white trim around the windows, vents and doors.

On November 5, 1998, the City Council approved a Historic Preservation Master Plan for the City of Folsom. On April 4, 2007, the Historic District Commission determined that the subject property and structure (known as the Historic Ronchi Residence) located at 708 Figueroa Street was eligible for listing on the City of Folsom Cultural Resource Inventory.

On September 21, 2022, the Historic District Commission approved a two-story structure containing an 833-square-foot garage and an 848-square-foot Accessory Dwelling Unit on the project site. The applicant submitted Building Permit plans consistent with the Commission’s approval. In April 2024, the applicant sought Certificate of Occupancy approval of the structure, but staff found that what was built did not fully match the approved elevations.

GENERAL PLAN DESIGNATION

MLD, Multi-Family Low Density

ZONING

FIG, Figueroa Subarea of the Historic Residential Primary Area, with an underlying zoning of R-2 (Two-Family Residence)

ADJACENT LAND USES/ZONING

North: Figueroa-Sutter Street alley with commercial beyond (SUT)

South: Figueroa Street with vacant residential property beyond (FIG)

East: Vacant residential property (FIG)

West: Existing commercial (FIG)

SITE CHARACTERISTICS

The 14,000-square-foot project site contains a single-family residence, accessory structures, an accessory dwelling unit above a garage, and associated landscaping.

APPLICABLE CODES

FMC Chapter 17.52 HD, Historic District
FMC Section 17.52.300, Design Review
FMC Section 17.52.330, Plan Evaluation
FMC Section 17.52.340, Approval Process
FMC Section 17.52.540, Historic Residential

Primary Area Special Use and Design
Standards
FMC Chapter 17.105, Accessory Dwelling
Units
Historic District Design and Development
Guidelines

APPLICANT'S PROPOSAL

The proposed project consists of modifications to an approved two-story structure containing an 833-square-foot garage on the lower level and an 848-square-foot one-bedroom Accessory Dwelling Unit on the second level at 708 ½ Figueroa Street. Plans previously approved by the Historic District Commission are included in Attachment 4. The applicant is requesting reduction in building height by one foot, a shallower roof pitch on the north and south elevations, removal of one window each on the west and east elevations and a different garage door style. No changes to the approved building footprint, colors or materials are proposed. Proposed plans are provided in Attachment 5 and photographs of the building as constructed are provided in Attachment 6.

POLICY/RULE

Section 17.52.300 of the Folsom Municipal Code (FMC) states that the Historic District Commission shall have final authority relating to the design and architecture of all new residential structures and all exterior renovations, remodeling, modification, or addition to existing structures within the Historic District. FMC Section 17.52.330 states that, in reviewing projects, the Commission shall consider the following criteria:

- a) Project compliance with the General Plan and any applicable zoning ordinances;
- b) Conformance with any city-wide design guidelines and historic district design and development guidelines adopted by the city council;
- c) Conformance with any project-specific design standards approved through the planned development permit process or similar review process; and
- d) Compatibility of building materials, textures and colors with surrounding development and consistency with the general design theme of the neighborhood.

FMC Section 17.52.490 states that ADUs in the Historic District shall comply with the standards set forth in FMC Chapter 17.105. The design standards set forth in FMC Section 17.105.150 apply to all attached and detached ADUs city-wide and, in addition, the design standards of FMC Section 17.105.160 apply to all ADUs in the Historic District that are larger than 800 square feet or greater than 16 feet in height.

FMC Section 17.105.070 states that in the Historic District, any proposed detached ADU

that exceeds a height of 16 feet shall be subject to review by the Historic District Commission, in compliance with the provisions of FMC Sections 17.52.300 through 17.52.350, which govern design review in the Historic District.

ANALYSIS

General Plan and Zoning Consistency

The General Plan land use designation for the project site is MLD (Multi-Family Low Density), and the zoning designation for the project site is R-2 (Two-Family Residence), within the Figueroa Subarea of the Historic Residential Primary Area of the Historic District. FMC Section 17.105.060 states that one ADU is permitted in zones with an existing or proposed single-unit dwelling. Accessory structures (such as garages) are allowed in the Historic Residential Primary Area per FMC Section 17.52.520(a)(1).

The applicant is not proposing to increase the building height or footprint of the approved structure, and all development requirements continue to be met. The following table shows how the garage and ADU structure relates to the FMC zoning requirements:

DEVELOPMENT STANDARD	REQUIRED¹	PROPOSED/EXISTING
Minimum Lot Size	n/a	14,000 sf
Minimum Lot Width	n/a	100 feet
Maximum ADU Size	One bed: 850 sqft Two+ beds: 1,000 sqft	848 sf (one bedroom)
Maximum Garage Size	No larger than the main structure in square footage or height	833 sf, 10 ft to ceiling of garage (main residence is 1,775 sf and 25.6 feet tall)
ADU and Garage Front Setback	Does not break front plane of primary dwelling and meets setback of primary dwelling (20 feet)	79 feet, in back of primary dwelling
Rear Setbacks	4 feet (ADU), 5 feet (garage)	5 feet (ADU and garage)
Side Setbacks	4 feet (ADU) 5 feet (garage)	5 feet (ADU and garage)
Minimum Pervious Surface	45%	70%
Parking Requirement	2 parking spaces for primary residence, 0 parking spaces for ADU	3 parking spaces (proposed)

¹ Required per FMC Sections 17.105, 17.52.480 and 17.52.540.

DEVELOPMENT STANDARD	REQUIRED¹	PROPOSED/EXISTING
Maximum Building Height	25 feet, or the height of the primary structure (whichever is less)	23.9 feet (primary structure is 25.6 feet tall)
Structure Separation	6 feet from the primary structure or other accessory structures on-site	6 feet from on-site structures

As shown in the above table (and on the site plan in Attachment 5), the proposed project continues to meet all relevant development standards of the FMC.

FMC Section 17.105.170(D) states that any accessory dwelling unit proposed for construction on or within fifty feet of the property line of a parcel containing a structure listed on the California Register of Historical Resources shall have a peak height above finished grade of no more than sixteen feet. While the subject property is listed on the City’s Cultural Resources Inventory, the proposed ADU is not located within fifty feet of a property line of a parcel containing a structure listed on the California Register of Historical Resources and is therefore not subject to this height limitation.

Because ADUs and garages are both allowed uses for the subject parcel, the proposed use is not subject to Commission approval. However, the design of the entire proposed structure is subject to Commission approval since this ADU exceeds the size (800 square feet) and height (16 feet) standards established in FMC Section 17.105.060(B).

Building Design/Architecture

Pursuant to FMC Section 17.105.070(B)(1), this is a discretionary design review by the Commission. As a result, the design standards in FMC Sections 17.105.150 and 17.105.160, as well as the design guidance established within the Historic District Design and Development Guidelines (DDGs) apply to this project.

The following table provides an analysis comparing the proposed ADU and the standards of FMC Section 17.105.150 for two-story ADUs or ADUs constructed above an accessory structure:

STANDARD	ANALYSIS
All exterior walls shall include at least two different materials, as well as either windows or projections or bays or recessed elements.	All exterior walls utilize two different materials (6-inch horizontal lap siding with board and batten) along with windows. Front elevation includes projections.

STANDARD	ANALYSIS
<p>The accessory dwelling unit shall have the same roof pitch as the primary dwelling with matching eave details but may vary by up to 2/12 more or 2/12 less than the roof pitch of the primary dwelling. Roof must follow the roof pitch requirements for design style allowed in the Historic District subarea.</p>	<p>Primary roof pitch of existing primary dwelling is 6/12. New roof pitches of ADU are 5/12. Craftsman design style is allowed in Figueroa Subarea, and mandates a roof pitch between 3/12 and 8/12.</p>
<p>Any second story wall facing an abutting property shall incorporate the following features: translucent glazed windows, transom windows, clerestory windows, false windows, or other similar design approach that achieves the same purpose.</p>	<p>West side windows (facing neighbor) are translucent glazed.</p>
<p>The landing area of any external staircase shall be screened from the bottom of the landing to the top of the entry of the accessory dwelling unit to maintain the privacy of abutting properties. Materials used to screen the landing shall be of the same color and material as those used for the accessory dwelling unit.</p>	<p>No external staircase is proposed.</p>
<p>No decks or balconies shall be allowed, except that one balcony no larger than twenty square feet shall be allowed on the front facade</p>	<p>A 20-square-foot balcony was included on front façade</p>
<p>If any external staircase is necessary to access the unit, that staircase shall be located at the side or rear of the unit and shall be at least five feet from the adjacent property line.</p>	<p>No external staircase is proposed.</p>

STANDARD	ANALYSIS
<p>Building massing shall be modified using one of the following methods:</p> <ol style="list-style-type: none"> 1. Use of at least two different building materials. 2. Use of recessed or projecting windows, doors, or parts of the wall to avoid flat monotonous facades. Recessed windows and doors shall project a minimum of six inches or shall be recessed a minimum of six inches. Any projection must be behind the parcel side or rear yard setback line. 3. Use of cantilevered areas so long as area does not extend beyond the side or rear yard setback. 4. Use of varied roof form such as a mix of different roof types (e.g., hipped, gabled, slant, etc.). 	<p>All exterior walls continue to utilize two different materials (6-inch horizontal lap siding with board and batten). Varied roof forms and projections were also incorporated into the design to address massing.</p>

The applicant is also required to comply with the objective design standards of FMC Section 17.105.160, which mandate that an appropriate style (Craftsman, Queen Anne, Delta, Italianate, or Spanish Eclectic for all zones including the subject area) is chosen and that specific design elements are met for the chosen style. In this case, the applicant chose the Craftsman style. The table on the following page lists the required design elements of the Craftsman style from FMC Section 17.105.160(C)(1) and provides an analysis for how the applicant continues to meet these design elements under the proposed design. As shown in this table, the updated design continues to meet all required design elements of the FMC for two-story ADUs as well as ADUs in the Historic District.

DESIGN ELEMENT	ANALYSIS
A roof pitch between 3/12 and 8/12.	Roof pitch is now entirely 5/12
Front-gabled, side-gabled or cross-gabled roof with unenclosed eave overhang.	ADU utilized both front- and side-gabled roofing with unenclosed eave overhangs
Exposed roof rafters and/or braces under gables (i.e., knee braces or corbels).	ADU utilized wood corbels and knee braces
Single- or double-hung sash windows with small panes above large pane (e.g., three small panes over one large pane, or six-over-one window) for all windows on the front elevation.	ADU utilizes single-hung windows with small panes over one large pane on all windows
Horizontal clapboard or shingle siding that is 2.5 to 6 inches wide or board and batten or a mix of shingles, stone, and siding for different levels or elements may be used. Fiber cement board and shingles may be used in place of wood siding or shingles.	Exterior materials are six-inch horizontal lap siding and board and batten siding
Optional: Shed or gabled roof dormer.	Not utilized
Optional: Entry porch under roofline with roof supported by tapered or square columns with square bases that extend to the ground.	Not utilized

The property is located within the Figueroa Subarea of the Historic Residential Primary Area of the Historic District. Chapter 5.04.03(a) of the DDGs, which addresses the design concepts for the Figueroa Subarea, states that the design concept for the Figueroa Subarea is to maintain existing pre-1910 structures and encourage restoration, reconstruction and new construction of pre-1910 styles, especially those previously existing in Folsom. Property owners are encouraged to maintain historic authenticity within the private areas of their property but are not required to do so except as may be necessary to maintain a National Register or similar listing. The property is not listed on a State or Federal registry or inventory of historic resources.

In analyzing the architectural design of the proposed project, staff determined that the structure continues to include many key elements commonly found in early residential design (pre-1910) Craftsman style. While the previously approved steeper roof accents added additional architectural interest, the proposed shallower roof pitch elements are consistent with the design of the approved primary roof and the primary residence. As such, staff supports the proposed roof pitch modifications.

The DDG's state that, in general, window proportions should be vertical rather than

horizontal; however, appropriate proportions and number of panes will vary depending upon the style of the individual building and the context. The proposed modified design continues to include windows that are primarily vertically oriented, consistent with the DDGs. Removal of the windows does not substantially impact the approved elevations, as windows, shed roofs and belly bands are still included on each elevation to address massing and provide adequate articulation.

According to the DDGs, Appendix D, Section C.4(e), two single garage doors are preferred over a double door. The garage doors, as built, feature two overhead roll-up doors, one of which is a two-car garage door. Both doors have raised panels and contain no hinges or handles. Neither of these garage doors fit the style of appropriate garage doors for the Central Subarea, as approved by the HDC and described in the “Historic District Guide: Approved Metal Garage Door Styles” document, dated February 9, 2024. Staff has provided Condition No. 3a, which states that these garage doors are required to be switched to garage doors appropriate for the Central Subarea, as shown in the “Approved Metal Garage Door Styles” document.

Staff has determined that the proposed building modifications, as conditioned, are consistent with the design and development guidelines for the Figueroa Subarea and the design of the approved building. Staff has concluded that the applicant has met the design standards identified in the Folsom Municipal Code and the guidelines contained in the DDG's.

Cultural Resources Inventory Listing

As previously mentioned, in 2007 the Historic District Commission determined that the subject property and main residence at 708 Figueroa Street was eligible for listing on the City’s Cultural Resources Inventory. The Commission determined that the residence met the following criteria for listing as established by the City’s Historic Preservation Master Plan.

- 1) Property is associated with the lives of persons significant in our past.
- 2) Property embodies distinctive characteristics of a type, period, region, construction method, or represents the work of a creative individual.

According to the City’s Cultural Resource Inventory Purpose and Procedures, listing on the City’s Cultural Resource Inventory does not grant any special privileges or impose any restrictions on private property rights. However, listing may assist the property owner in obtaining awards or financial benefits from outside agencies. The property’s nomination packet noted that the architecture and owner of the primary residence itself were what made it eligible for listing rather than the property as a whole. The report also noted that the accessory structures that were on-site at the time were not visible from the street. Based on the height and location of the proposed garage/ADU structure, it is not easily seen from the street. Furthermore, it has been designed to mimic the colors and materials

of the primary residence. As such, staff concludes that the garage/ADU structure, as modified, will not substantially affect the historic nature of the primary residence.

PUBLIC NOTICING

A notice was posted on the project site five days prior to the Historic District Commission meeting of June 5, 2024, in compliance with the requirements of FMC Section 17.52.320. Staff received no public comments based on this notice at time of publication of this staff report.

Updated elevations were also routed to the Heritage Preservation League (HPL) and the Historic Folsom Residents Association (HFRA). Staff received a comment letter from the HFRA on May 14, 2024 (see Attachment 8). The letter expresses concern regarding the architectural changes that were not consistent with the previous HDC approval and why they were not caught until the end of the process. The letter also expresses concern about staff time not being captured in the Design Review fee.

Planning staff reviews plans submitted for a building permit for consistency with HDC approval and then reviews the structure built at the end of the building process before signing off on a certificate of occupancy. In this case, the plans that were submitted for a building permit were consistent with the plans approved by the HDC, but what was built in the field was not consistent with the plans. Planning staff continues to work with City Building Inspection staff to ensure that these deviations from the plans are caught in the field earlier in the process.

Regarding the fee, the standard \$61 Design Review fee only covers a fraction of the costs associated with bringing a project forward to the HDC. Because CDD staff does not currently have the resources to process and track deposit-based fees for Design Reviews, only a flat fee has been collected. Updated planning fees, along with potential process changes to minimize staff time on smaller projects, are planned to be proposed as part of the upcoming Zoning Code update in early 2025.

ENVIRONMENTAL REVIEW

The project is categorically exempt under Section 15301 (Existing Facilities) and Section 15303 (New Construction or Conversion of Small Structures) of the California Environmental Quality Act (CEQA) Guidelines. Based on staff's analysis of this project, none of the exceptions in Section 15300.2 of the CEQA Guidelines apply to the use of the categorical exemptions in this case.

RECOMMENDED HISTORIC DISTRICT COMMISSION ACTION

Move to approve the application (DRCL24-00116) for Design Review for modifications to an approved two-story structure containing an 833-square-foot garage and an 848-square-foot Accessory Dwelling Unit at 708 ½ Figueroa Street, as illustrated on Attachment 5 for the 708 ½ Figueroa Street Modifications project, based on the findings

included in this report (Findings A-J) and subject to the attached conditions of approval (Conditions 1-15).

GENERAL FINDINGS

- A. NOTICE OF PUBLIC MEETING HAS BEEN GIVEN AT THE TIME AND IN THE MANNER REQUIRED BY STATE LAW AND CITY CODE.
- B. THE PROJECT IS CONSISTENT WITH THE GENERAL PLAN AND ZONING CODE OF THE CITY.

CEQA FINDINGS

- C. THE PROJECT IS CATEGORICALLY EXEMPT FROM ENVIRONMENTAL REVIEW UNDER SECTION 15301 (EXISTING FACILITIES) OF THE CALIFORNIA ENVIRONMENTAL QUALITY ACT (CEQA) GUIDELINES.
- D. THE PROJECT IS ALSO CATEGORICALLY EXEMPT FROM ENVIRONMENTAL REVIEW UNDER SECTION 15303 (NEW CONSTRUCTION OR CONVERSION OF SMALL STRUCTURES) OF THE CEQA GUIDELINES.
- E. THE CUMULATIVE IMPACT OF SUCCESSIVE PROJECTS OF THE SAME TYPE IN THE SAME PLACE, OVER TIME IS NOT SIGNIFICANT IN THIS CASE.
- F. NO UNUSUAL CIRCUMSTANCES EXIST TO DISTINGUISH THE PROPOSED PROJECT FROM OTHERS IN THE EXEMPT CLASS.
- G. THE PROPOSED PROJECT WILL NOT CAUSE A SUBSTANTIAL ADVERSE CHANGE IN THE SIGNIFICANCE OF A HISTORICAL RESOURCE.

DESIGN REVIEW FINDINGS

- H. THE PROJECT IS COMPLIANT WITH THE REQUIRED DESIGN STANDARDS OF FOLSOM MUNICIPAL CODE CHAPTER 17.105.
- I. THE PROPOSED PROJECT IS IN CONFORMANCE WITH THE HISTORIC DISTRICT DESIGN AND DEVELOPMENT GUIDELINES ADOPTED BY CITY COUNCIL.
- J. THE BUILDING MATERIALS, TEXTURES AND COLORS USED IN THE PROPOSED PROJECT ARE COMPATIBLE WITH SURROUNDING DEVELOPMENT AND ARE CONSISTENT WITH THE GENERAL DESIGN THEME OF THE NEIGHBORHOOD.

ATTACHMENT 2

Proposed Conditions of Approval

CONDITIONS OF APPROVAL FOR 708 ½ FIGUEROA STREET MODIFICATIONS (DRCL24-00116)				
Cond. No.	Mitigation Measure	GENERAL REQUIREMENTS	When Required	Responsible Department
1.		Issuance of a Building Permit is required. The applicant shall submit final site and building plans to the Community Development Department that substantially conform to the elevations dated 4-18-24, included in Attachment 5. Implementation of this project shall be consistent with the above referenced items as modified by these conditions of approval.	B	CD (B)
2.		Compliance with all local, state and federal regulations pertaining to building construction is required.	OG	CD (B)
3.		<p>This approval is for modifications to a two-story structure containing an 833-square-foot garage and an 848-square-foot Accessory Dwelling Unit located at 708 ½ Figueroa Street. The applicant shall submit building plans that comply with this approval and the building elevations dated 4-18-24 included in Attachment 5, with the following modifications:</p> <ul style="list-style-type: none"> a) The garage doors shall be consistent with the approved garage door styles listed as appropriate for the Central Subarea in the “Historic District Guide: Approved Metal Garage Door Styles” document, dated February 9, 2024, as approved by the Historic District Commission. b) All Conditions of Approval as outlined herein shall be made as a note or separate sheet on the Construction Drawings. 	B	CD (P)
4.		All conditions of approval from the previously approved DRCL 22-00145 Design Review approval, as modified by the conditions of this staff report (DRCL24-00116) are hereby incorporated by reference.	G, I, B, OG	CD (P)(E)(B)

5.		<p>The owner/applicant shall defend, indemnify, and hold harmless the City and its agents, officers and employees from any claim, action or proceeding against the City or its agents, officers or employees to attack, set aside, void, or annul any approval by the City or any of its agencies, departments, commissions, agents, officers, employees, or legislative body concerning the project. The City will promptly notify the owner/applicant of any such claim, action or proceeding, and will cooperate fully in the defense. The City may, within its unlimited discretion, participate in the defense of any such claim, action or proceeding if both of the following occur:</p> <ul style="list-style-type: none"> • The City bears its own attorney’s fees and costs; and • The City defends the claim, action or proceeding in good faith <p>The owner/applicant shall not be required to pay or perform any settlement of such claim, action or proceeding unless the settlement is approved by the owner/applicant.</p>	OG	CD (P)(E)(B) PW, PR, FD, PD
6.		The owner/applicant shall pay all applicable taxes, fees and charges at the rate and amount in effect at the time such taxes, fees and charges become due and payable.	B	CD (P)(E)
7.		If applicable, the owner/applicant shall pay off any existing assessments against the property, or file necessary segregation request and pay applicable fees.	B	CD (E)
8.		The City, at its sole discretion, may utilize the services of outside legal counsel to assist in the implementation of this project, including, but not limited to, drafting, reviewing and/or revising agreements and/or other documentation for the project. If the City utilizes the services of such outside legal counsel, the applicant shall reimburse the City for all outside legal fees and costs incurred by the City for such services. The applicant may be required, at the sole discretion of the City Attorney, to submit a deposit to the City for these services prior to initiation of the services. The applicant shall be responsible for reimbursement to the City for the services regardless of whether a deposit is required.	B	CD (P)(E)
9.		If the City utilizes the services of consultants to prepare special studies or provide specialized design review or inspection services for the project, the applicant shall reimburse the City for actual costs it incurs in utilizing these services, including administrative costs for City personnel. A deposit for these services shall be provided prior to initiating review of the improvement plans or beginning inspection, whichever is applicable.	B	CD (P)(E)

10.		This project shall be subject to all City-wide development impact fees, unless exempt by previous agreement. This project shall be subject to all City-wide development impact fees in effect at such time that a building permit is issued. These fees may include, but are not limited to, fees for fire protection, park facilities, park equipment, Quimby, Humbug-Willow Creek Parkway, Light Rail, TSM, capital facilities and traffic impacts. The 90-day protest period for all fees, dedications, reservations or other exactions imposed on this project has begun. The fees shall be calculated at the fee rate in effect at the time of building permit issuance.	B	CD (P)(E), PW, PK
11.		The owner/applicant agrees to pay to the Folsom-Cordova Unified School District the maximum fee authorized by law for the construction and/or reconstruction of school facilities. The applicable fee shall be the fee established by the School District that is in effect at the time of the issuance of a building permit. Specifically, the owner/applicant agrees to pay any and all fees and charges and comply with any and all dedications or other requirements authorized under Section 17620 of the Education Code; Chapter 4.7 (commencing with Section 65970) of the Government Code; and Sections 65995, 65995.5 and 65995.7 of the Government Code.	B	CD (P)
12.		The owner/applicant shall coordinate the planning, development and completion of this project with the various utility agencies (i.e., SMUD, PG&E, etc.).	I	CD (P)(E)
13.		Per <u>FMC</u> Section 17.105.140(J), all ADUs approved under this chapter may be rented separate from the primary residence; however, the rental must be for a term longer than thirty days. Per <u>FMC</u> Section 17.58.050(1), a maximum of three paying guests are permitted to rent rooms in a dwelling. Per <u>FMC</u> Chapters 17.11, 17.12, 17.13 and 17.14, boarding houses, defined as a residence wherein three or more rooms are rented to individuals under separate rental agreements or leases, are not allowed in single-family or two-family zones.	O	CD (P)
14.		Compliance with Noise Control Ordinance and General Plan Noise Element shall be required. Hours of construction operation shall be limited from 7:00 a.m. to 6:00 p.m. on weekdays and 8:00 a.m. to 5:00 p.m. on Saturdays. No construction is permitted on Sundays or holidays. In addition, construction equipment shall be muffled and shrouded to minimize noise levels.	I, B	CD (P)(E)

15.		<p>The project approval granted under this staff report shall remain in effect for one year from final date of approval (Expiration Date: June 5, 2025). If a building permit is not issued within the identified time frame and/or the applicant has not demonstrated substantial progress towards completion of the project, this approval shall be considered null and void. The owner/applicant may file an application with the Community Development Department for an extension not less than 60 days prior to the expiration date of the approval, along with appropriate fees and necessary submittal materials pursuant to Section 17.52.350 of the <u>Folsom Municipal Code</u>. If after approval of this project, a lawsuit is filed which seeks to invalidate any approval, entitlement, demolition permit, or other construction permit required in connection with any of the activities or construction authorized by the project approvals, or to enjoin the project contemplated herein, or to challenge the issuance by any governmental agency of any environmental document or exemption determination, the one year period for submitting a complete permit application referenced in <u>FMC</u> Section 17.52.350(A) shall be tolled during the time that any litigation is pending, including any appeals.</p>	B	CD (P)
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RESPONSIBLE DEPARTMENT		WHEN REQUIRED	
CD	Community Development Department	I	Prior to approval of Improvement Plans
(P)	Planning Division	M	Prior to approval of Final Map
(E)	Engineering Division	B	Prior to issuance of first Building Permit
(B)	Building Division	O	Prior to approval of Occupancy Permit
PW	Public Works Department	G	Prior to issuance of Grading Permit
PR	Park and Recreation Department	DC	During construction
PD	Police Department	OG	On-going requirement
FD	Fire Department		

ATTACHMENT 3

Vicinity Map

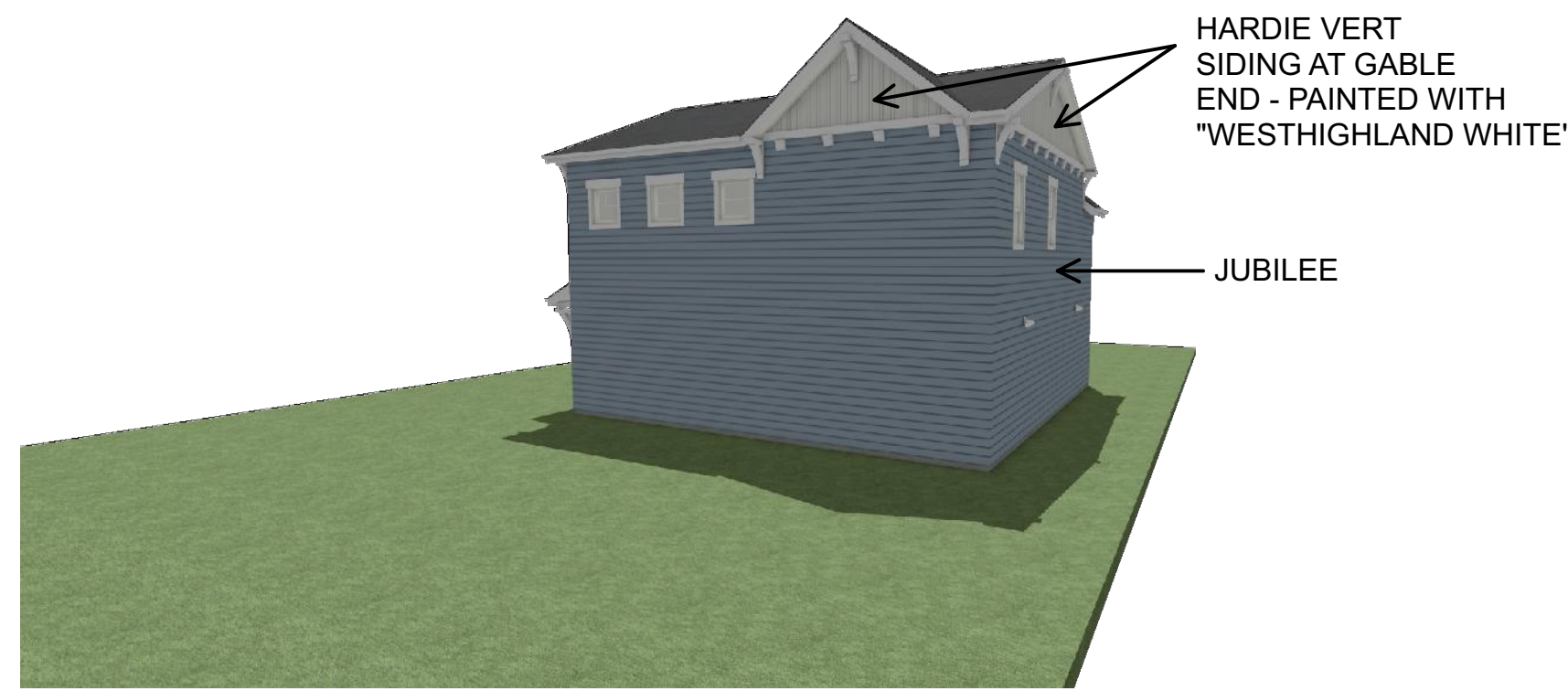
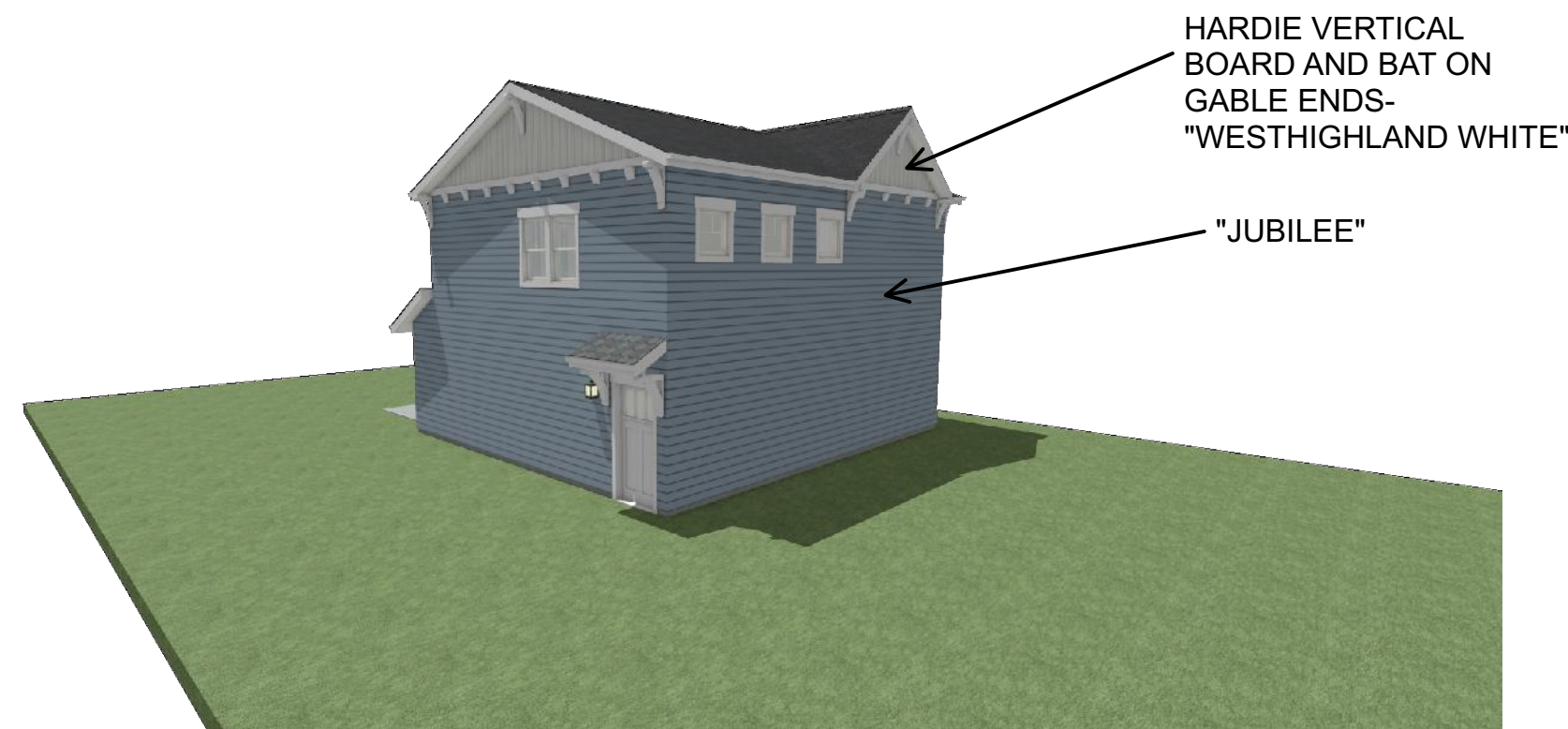
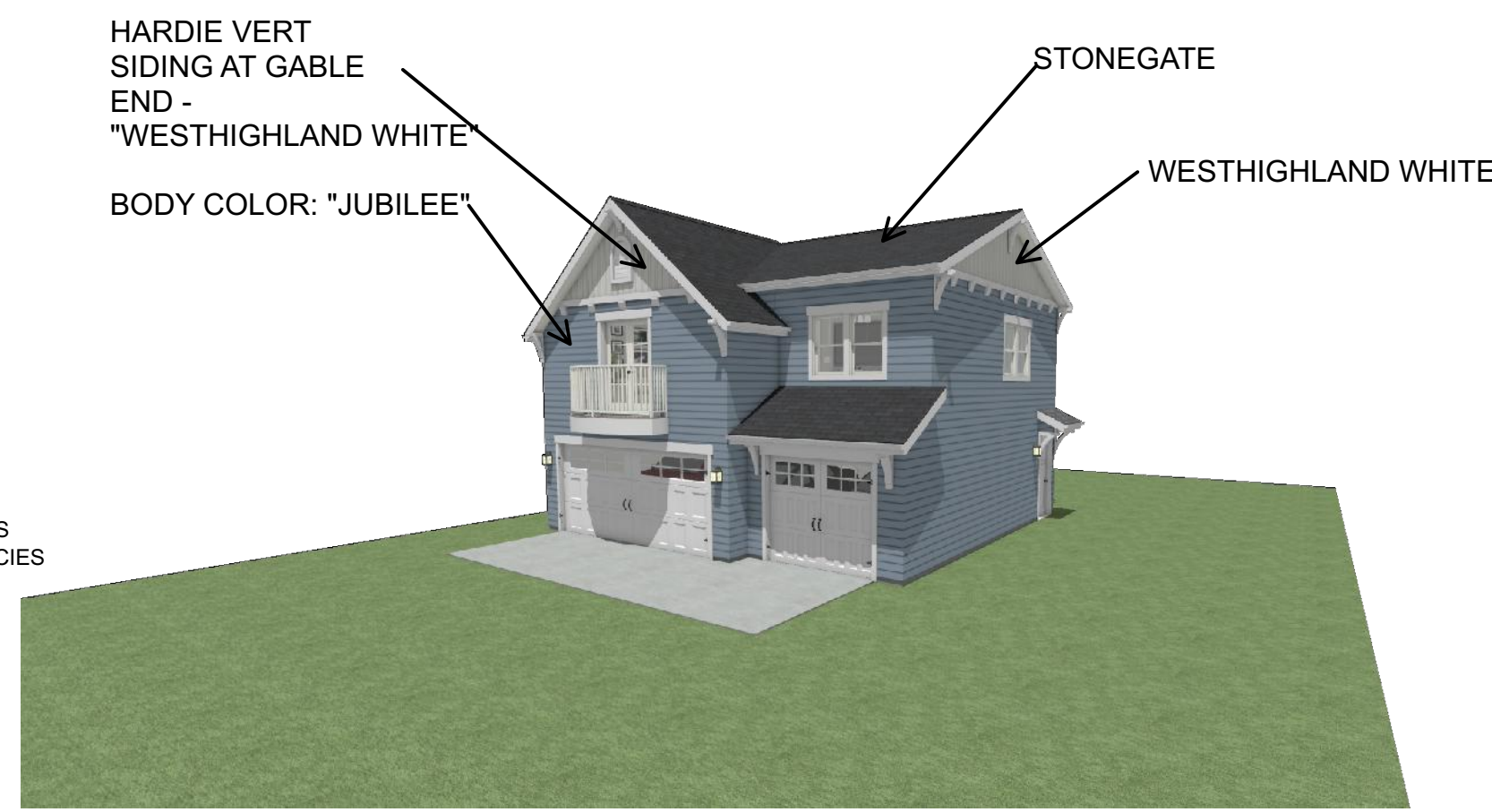


ATTACHMENT 4

Approved Plans

GENERAL NOTES

- THE CONTRACTOR SHALL VERIFY ON SITE ALL GRADES, EXISTING IMPROVEMENTS, PROPERTY LINES, EASEMENTS, SETBACKS, UTILITIES AND SUBSTRUCTURES. WHERE DISCREPANCIES OCCUR, CONTACT THE DESIGNER. WORK IS NOT TO CONTINUE UNTIL PROBLEMS ARE RESOLVED.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO FAMILIARIZE HIMSELF WITH THE SITE AND PLANS OF THIS WORK. HE SHALL CLARIFY WITH THE DESIGNER AND OWNER, ALL POINTS OF MISUNDERSTANDING PRIOR TO SUBMITTING A BID. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL RELATED WORK.
- CONTRACTOR SHALL FIELD VERIFY EXISTING CONDITIONS AS SHOWN ON THESE PLANS. IF THERE ARE DISCREPANCIES WORK SHALL NOT PROCEED UNTIL THE ENGINEER OF RECORD AND/OR DESIGNER HAVE BEEN NOTIFIED.
- BUILDING CODES:
ALL NEW CONSTRUCTION SHALL MEET OR EXCEED THE LATEST ADDITION OF CODES ADOPTED BY LOCAL GOVERNING AGENCIES. THESE INCLUDE (BUT ARE NOT LIMITED TO)
2019 CALIFORNIA BUILDING CODE,
2019 CALIFORNIA RESIDENTIAL CODE,
2019 CALIFORNIA PLUMBING CODE,
2019 CALIFORNIA MECHANICAL CODE,
2019 ELECTRICAL CODE,
2019 HEALTH AND SAFETY CODE
2019 CALIFORNIA FIRE CODE,
2019 CALIFORNIA ENERGY CODE,
2019 CALIFORNIA GREEN CODE,
2019 CALIFORNIA TITLE 24 - CALIFORNIA STATE ENERGY & ACCESSIBILITY STANDARDS AND ALL OTHER ORDINANCES ADOPTED BY THE LOCAL GOVERNING AGENCIES.
- THESE PLANS ARE FOR GENERAL CONSTRUCTION PURPOSES ONLY. THEY ARE NOT EXHAUSTIVELY DETAILED NOR FULLY SPECIFIED. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO SELECT, VERIFY, RESOLVE AND INSTALL ALL MATERIALS AND EQUIPMENT.
- THE DESIGNER SHALL NOT BE OBSERVING OR OVERSEEING THE CONSTRUCTION OF THIS PROJECT. THE CONTRACTOR IS RESPONSIBLE FOR THE QUALITY CONTROL AND CONSTRUCTION STANDARDS FOR THIS PROJECT.
- ALL ROOF DRAINAGE SHALL BE PIPED TO DRAIN AWAY FROM STRUCTURE.
- FINISH GRADE SHALL PROVIDE POSITIVE DRAINAGE (MIN 5% SLOPE & MINIMUM DISTANCE OF 10' FROM BUILDING.)
- IRRIGATION SYSTEM SHALL BE DESIGNED TO PREVENT SATURATION OF SOIL ADJACENT TO BUILDING.
- WHERE DISCREPANCIES BETWEEN SOILS REPORT AND DESIGNER OCCUR, CONTACT DESIGNER.
- ALL EXTERIOR HOSE BIBS SHALL HAVE NON-REMOVABLE BACK FLOW PREVENTION DEVICES PER CPC 603.1.
- DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS.
- GENERAL CONTRACTOR SHALL VERIFY ALL APPLIANCES & CABINETRY WITH HOMEOWNER PRIOR TO PURCHASING AND INSTALLATION.
- WHEN THERE IS A CONFLICT BETWEEN STRUCTURAL DETAILS AND ARCHITECTURAL DETAILS, STRUCTURAL DETAILS TAKE PRECEDENCE.



SW 7080 Quest Gray Locator Number: 227-C3	SW 7008 Alabaster Locator Number: 255-C2
SW 6249 Storm Cloud Locator Number: 225-C5	SW 7566 Westhighland White Locator Number: 255-C3
SW 7079 Ponder Locator Number: 227-C2	SW 6248 Jubilee Locator Number: 225-C3



PLEASE NOTE: ALTHOUGH, INTERIOR ROOMS ARE SHOWN HERE, COLORS ARE INTENDED FOR EXTERIOR COLOR SELECTION ONLY.

PROJECT DATA & PROJECT INFORMATION

PROJECT CODES		
OCCUPANCY GROUP	R3	SFD
CONSTRUCTION TYPE	V-B	
BUILDING CODES		
2019 CALIFORNIA BUILDING CODE		
2019 CALIFORNIA RESIDENTIAL CODE		
2019 CALIFORNIA ELECTRICAL CODE		
2019 CALIFORNIA MECHANICAL CODE		
2019 CALIFORNIA PLUMBING CODE		
2019 CALIFORNIA FIRE CODE		
2019 CALIFORNIA ENERGY CODE		
2019 CALIFORNIA GREEN BUILDING STANDARDS		

ADDRESS: 708 FIGUEROA ST, FOLSOM, CA 95630	
YEAR BUILT: 1926 (EXISTING RESIDENCE)	
USE: SINGLE FAMILY DWELLING- NEW ADU	
ZONING CODE: R2	
OCCUPANCY GRP: R3 / U	
BED/BA: 1/1	
NEW ADU AREA: 848 SQ FT	
NEW GARAGE AREA: 833 SQ FT	
LOT AREA: 14,000 SQ FT	
SEWER: PUBLIC	
WATER: PUBLIC	
UTILITIES: GAS	
FIREPLACES: NO	
SPRINKLERS: NO	
POOL: NO	
BUILDING AUTHORITY: CITY OF FOLSOM	

CONSULTANT INDEX

OWNER	JASON & CHRISTINA MOORE PO BOX 26280 SAN DIEGO, CA 92196 (619) 417-0435
DESIGNER	VIVIAN SZCZEPANKOWSKI 56 HIGHLINE DR LAKE OZARK, MO 65049 (916) 532-8116 VIVIANZEP@GMAIL.COM
DRAFTING	KEVIN SZCZEPANKOWSKI 56 HIGHLINE RD LAKE OZARK, MO 65049 (916) 521-3263 KEVINZEP01@GMAIL.COM
GENERAL CONTRACTOR	DON SHERWOOD (916) 212-5620 CSLB: 862527
STRUCTURAL ENGINEERING	
BUILDING AUTHORITY	CITY OF FOLSOM BUILDING DEPARTMENT 50 NATOMA STREET FOLSOM, CA 95630 (916) 461-6201

DESIGN CRITERIA - TYPICAL	
SEISMIC CATEGORY	D
WIND SPEED	110 MPH
WIND EXPOSURE	C
CLIMATE ZONE	12
SNOW LOAD	20
ROOF LIVE LOAD	20
ROOF DEAD LOAD	15
CEILING LIVE LOAD	10
CEILING DEAD LOAD	10
FLOOR LIVE LOAD	40
FLOOR DEAD LOAD	20
SOIL BEARING	1500 PSF



CERTAINEED - STONEGATE



ASSESSOR'S PARCEL MAP

ID	ITEM	DESCRIPTION	MANUFACTURER	COLOR
1	ROOF	CLASS 'A' RATED ASPHALT SHINGLE	CERTAINEED	STONEGATE
2	SIDING/BODY	HARDIE - CEMENT SIDING - PAINTED	SHERWIN WILLIAMS PAINTS	JUBILEE (SW 6248)
3	TRIM/FACIA/GUTTERS	HARDIE TRIM - PAINTED	SHERWIN WILLIAMS PAINTS	WESTHIGHLAND WHITE (SW 7566)
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6	ENTRY DOOR	FIBERGLASS OR METAL - PAINTED	SHERWIN WILLIAMS PAINTS	WESTHIGHLAND WHITE (SW 7566)

SCOPE OF WORK
BUILD NEW 850 SQ FT ACCESSORY DWELLING
EXISTING HISTORIC BARN IS NOT TO BE DISTURBED
EXISTING RESIDENCE IS NOT TO BE DISTURBED

SHEET INDEX				
NUMBER	LABEL	TITLE	DESCRIPTION	COMMENTS
1	A1	COVER SHEET		
2	A2	GENERAL CONSTRUCTION NOTES		
3	A3	CAL GREEN		
4	A4	SITE PLAN		
5	A5	PROPOSED PLAN		
6	A6	EXISTING & NEW ELEVATIONS		
7	A7	EXISTING & NEW ELEVATIONS		

PLAN SET FOR PLANNING REVIEW COMMITTEE

House Arte
Residential Design - Drafting - Illustration

APN: 070-01005-014-0000

ENGINEER: Kevincep01@gmail.com (916) 521-3263

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JASON & CHRISTINA MOORE
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FOLSOM, CA 95630

REVISIONS		
NO	DESCRIPTION	DATE

DRAWN BY: **KES**
DATE DRAWN: **5/19/2022**

SCALE: **CONCEPT 6**

COVER SHEET

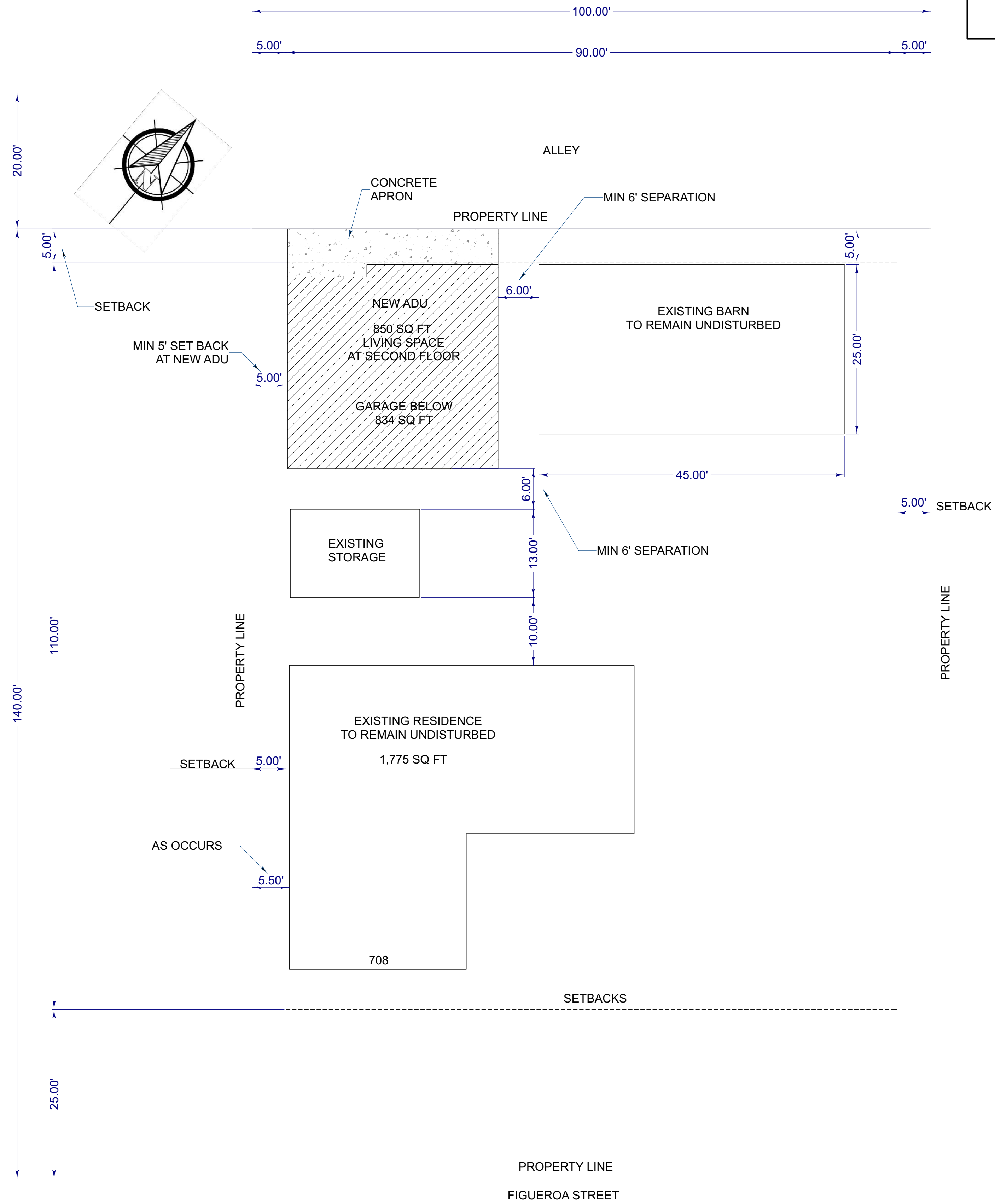
- A1 -

1 OF 7

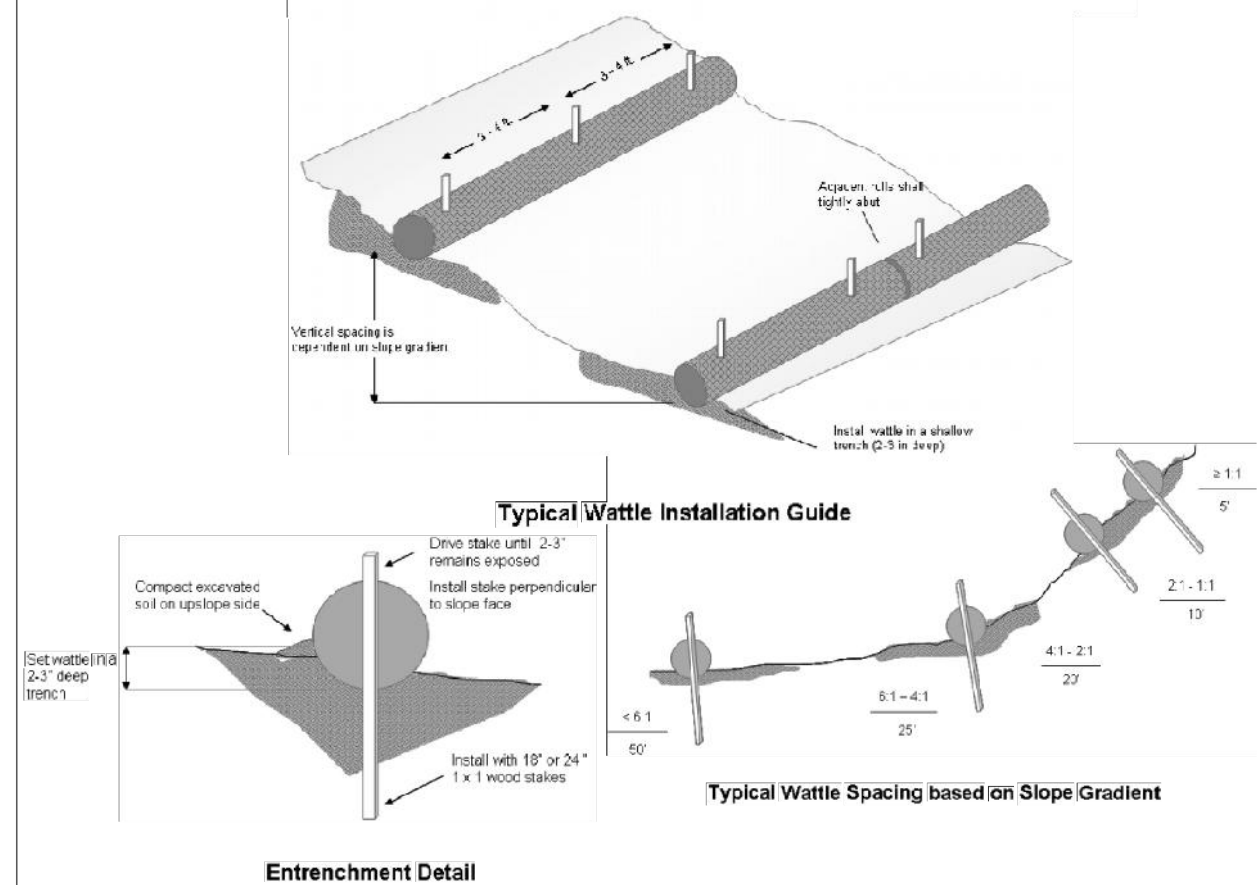
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- DEMOLISH AND/OR REMOVE ALL STRUCTURES, BOTH SURFACE AND SUBSURFACE, TREES, BRUSH, ROOTS, DEBRIS AND ALL OTHER DELETERIOUS MATERIALS FROM PROJECT SITE UNDER BUILDING AREA AND AREAS TO RECEIVE FILL.
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- ALL MATERIALS AND WORK RELATED TO PAVING SHALL CONFORM TO STATE OF CALIFORNIA DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS, PARTICULARLY SECTIONS 39 AND 40.
- ALL IMPROVEMENTS SHALL CONFORM TO LOCAL STNDS. UNLESS NOTED OTHERWISE.
- ALL PAVED AREAS SHALL BE TREATED WITH POLYBICHLORATE AT A RATE OF 4 LBS. PER 100 SQ. FT. TO PREVENT WEED GROWTH.
- ALL SITE CONCRETE CURBS, GUTTERS, DRIVE APPROACHES, AND WALKS SHALL BE CLASS 'B' CONCRETE (5 SACK MIX) WITH A MAXIMUM SLUMP OF 5" AND A MINIMUM 28-DAY COMPRESSIVE STRENGTH OF 2500 PSI. CARPORT AND GARAGE SLABS, EXTERIOR STEPS, AND PORCHES TO BE 3500 PSI MIN. (NO TESTING REQUIRED).
- PROPERTY DIMENSIONS AS SHOWN ARE BASED ON RECORD INFORMATION AND SHOULD BE FIELD VERIFIED BY A PROPERTY SURVEY PRIOR TO CONSTRUCTION.
- ALL EXTERIOR CONCRETE FLATWORK SHALL HAVE A BROOM FINISH.
- THE GROUND DIRECTLY ADJACENT TO THE FOUNDATION SHALL BE GRADED NOT LESS THAN TEN FEET WITH A DROP OF MINIMUM SIX INCHES (5% SLOPE). IF GROUND SURFACE DIRECTLY ADJACENT TO FOUNDATION IS IMPERVIOUS A 2% SLOPE AWAY FROM FOUNDATION SHALL BE PROVIDED. CRC R401.3
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HEIGHT OF MAIN RESIDENCE
FROM GRADE TO HIGHEST RIDGE
25.6 FT



Straw Wattle Installation Guide



- BEGIN AT THE LOCATION WHERE THE WATTLE IS TO BE INSTALLED BY EXCAVATING A 2'-3" (57.5 CM) DEEP X 9" (22.9 CM) WIDE TRENCH ALONG THE CONTOUR OF THE SLOPE. EXCAVATED SOIL SHOULD BE PLACED UP-SLOPE FROM THE ANCHOR TRENCH.
 - PLACE THE WATTLE IN THE TRENCH SO THAT IT CONTOURS TO THE SOIL SURFACE. COMPACT SOIL FROM THE EXCAVATED TRENCH AGAINST THE WATTLE ON THE UPHILL SIDE. ADJACENT WATTLES SHOULD TIGHTLY ABUT.
 - SECURE THE WATTLE WITH 18-24" (45.7-61 CM) STAKES EVERY 3'-4" (0.9 - 1.2 M) AND WITH A STAKE ON EACH END. STAKES SHOULD BE DRIVEN THROUGH THE MIDDLE OF THE WATTLE LEAVING AT LEAST 2'-3" (57.5 CM) OF STAKE EXTENDING ABOVE THE WATTLE. STAKES SHOULD BE DRIVEN PERPENDICULAR TO SLOPE FACE.
- North American Green Straw Wattles are a Best Management Practice (BMP) that offers an effective and economical alternative to silt fence and straw bales for sediment control and storm water runoff.
- Guidelines are provided to assist in design, installation, and structure spacing. The guidelines may require modification due to variation in soil type, rainfall intensity or duration, and amount of runoff affecting the application site.
- To maximize sediment containment with the Straw Wattle, place the initial structure at the topcrest of the slope if significant runoff is expected from above. If no runoff from above is expected, the initial Straw Wattle can be installed at the appropriate distance downhill from the topcrest of the slope. The final structure should be installed at or just beyond the bottom/ toe of the slope. Wattles should be installed perpendicular to the primary direction of overland flow.
- Straw Wattles are a temporary sediment control device and are not intended to replace rolled erosion control products (RECPs) or hydraulic erosion control products (HECPs). If vegetation is desired for permanent erosion control, North American Green recommends that RECPs or HECPs be used to provide effective immediate erosion control until vegetation is established. Straw Wattles may be used in conjunction with blankets, mats, and mulches as supplemental sediment and runoff control for these applications. Like all sediment control devices, the effectiveness of the Straw Wattle is dependent on storage capacity.

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kvincenzo@gmail.com

ENGINEER

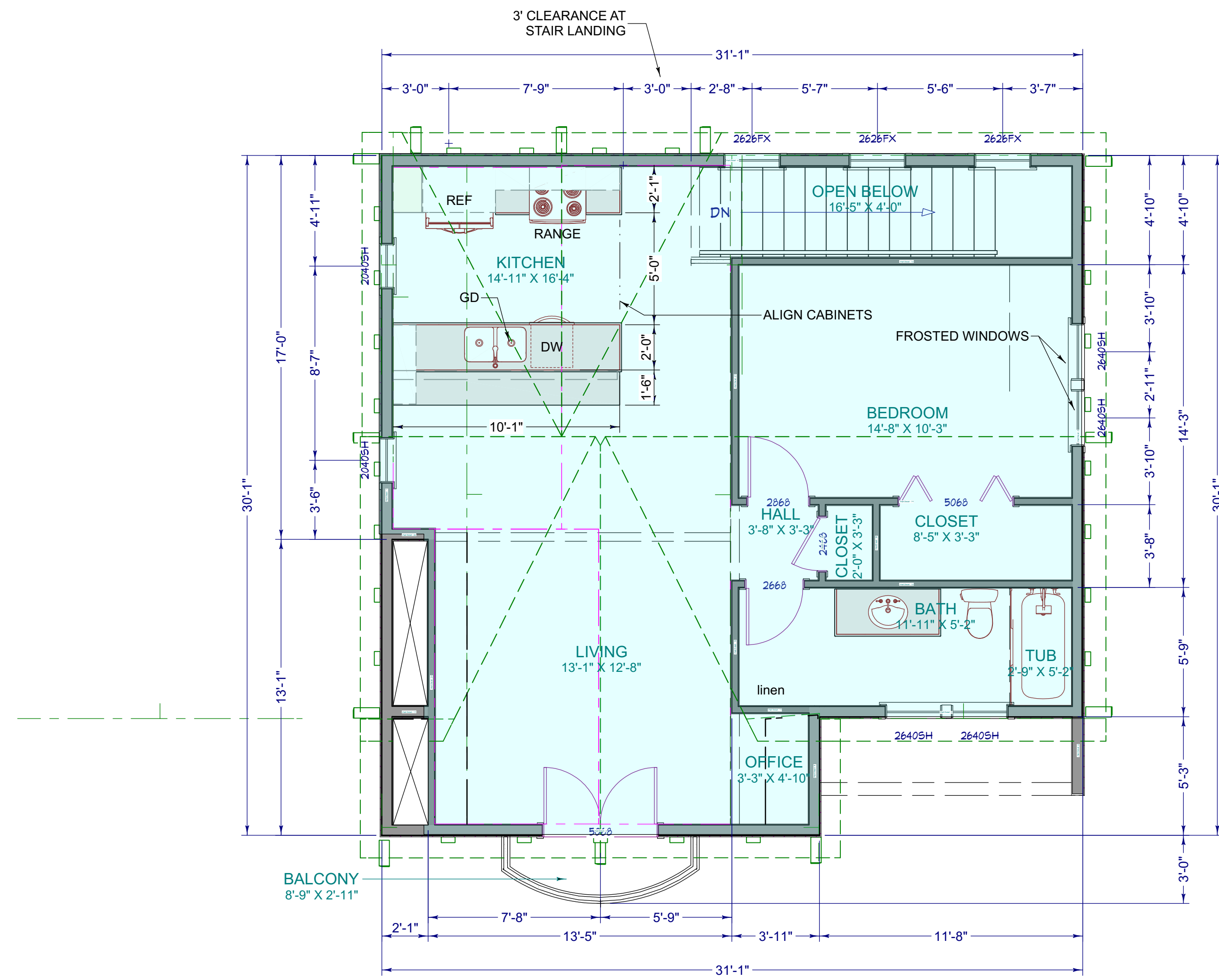
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NO	DESCRIPTION	DATE

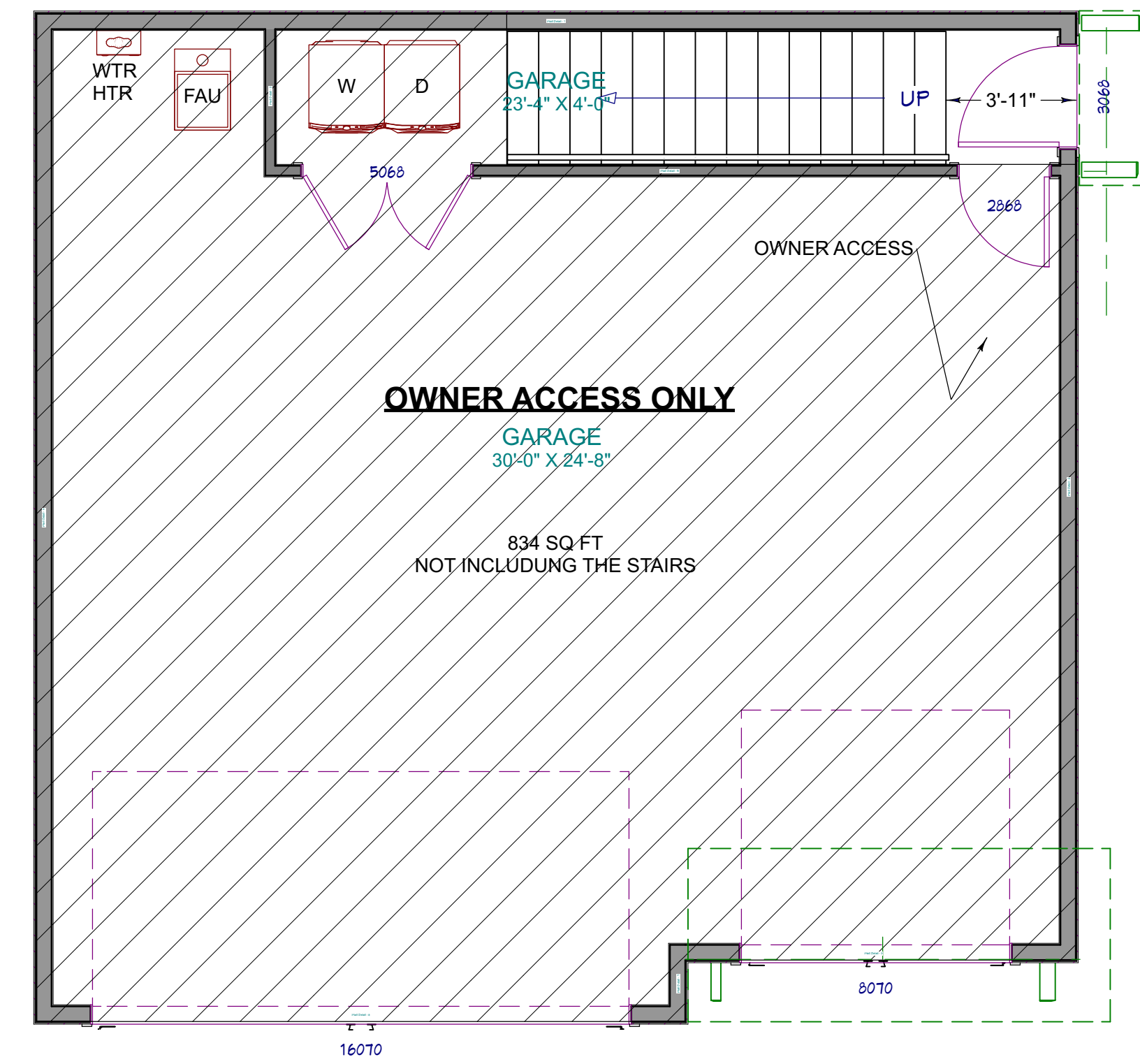
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DATE DRAWN: **6/13/2022**
SCALE: **1"=10'**

CONCEPT 6
PROPOSED SITE LAYOUT

- A4 -
4 OF 7



1 2ND (MAIN) FLOOR PLAN
SCALE: 1/4"=1'-0"



2 LOWER / GARAGE FLOOR PLAN
SCALE: 1/4"=1'-0"

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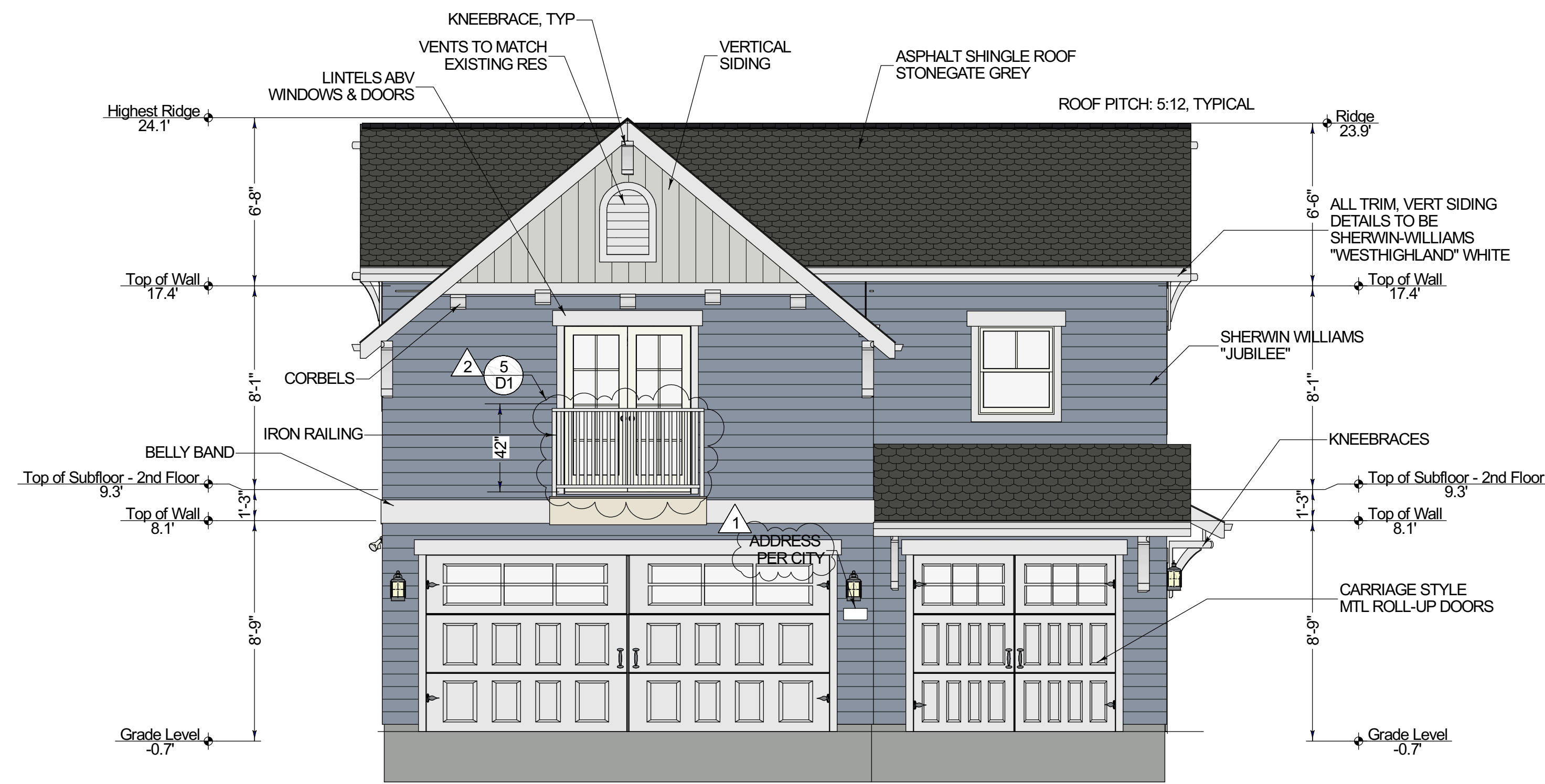
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SCALE:

CONCEPT 6
PROPOSED PLAN



1 NORTH / ALLEY ELEVATION
SCALE: 1/4"=1'-0"



2 SOUTH ELEVATION
SCALE: 1/4"=1'-0"

ID	ITEM	DESCRIPTION	MANUFACTURER	COLOR
1	ROOF	CLASS 'A' RATED ASPHALT SHINGLE	CERTAINTEED	STONEGATE
2	SIDING/BODY	HARDIE - CEMENT SIDING - PAINTED	SHERWIN WILLIAMS PAINTS	JUBILEE (SW 6248)
3	TRIM/FACIA/GUTTERS	HARDIE TRIM - PAINTED	SHERWIN WILLIAMS PAINTS	WESTHIGHLAND WHITE (SW 7566)
4	GARAGE DOOR	METAL ROLL UP - PAINTED	SHERWIN WILLIAMS PAINTS	WESTHIGHLAND WHITE (SW 7566)
5	EXT MAN DOORS	FIBERGLASS OR METAL - PAINTED	SHERWIN WILLIAMS PAINTS	WESTHIGHLAND WHITE (SW 7566)
6	ENTRY DOOR	FIBERGLASS OR METAL - PAINTED	SHERWIN WILLIAMS PAINTS	WESTHIGHLAND WHITE (SW 7566)

LANDINGS & THRESHOLDS (CRC 311.3.1)

- 16. ALL EXTERIOR DOORS SHALL HAVE A LANDING THAT IS EQUAL TO DOOR WIDTH AND MINIMUM 36" IN DIRECTION OF TRAVEL.
- 17. LANDINGS SHALL BE A MIN OF 1/2" BELOW THE THRESHOLD AND A MAXIMUM DROP OF 7-3/4" FROM TOP OF THRESHOLD TO THE LANDING. PROVIDED THE DOOR DOES NOT SWING OUT OVER THE LANDING. IF DOOR SWINGS OUT OVER THE LANDING THE MAXIMUM CHANGE IN ELEVATION IS LIMITED TO 1-1/2".

1 CONTRACTOR TO PROVIDE GUTTERS AND DOWNSPOUTS. RAINWATER RUNOFF TO BE PIPED AWAY FROM FOUNDATION FOR A MIN 6" DROP IN 10'

1 ADDRESS NUMBERS TO BE PROVIDED AND SHALL BE VISIBLE FROM THE RIGHT OF WAY. NUMBERS SHALL BE A MIN 4" HIGH WITH A MIN STROKE WIDTH OF 1/2".

2 BALCONY NOTES

TUBE STEEL POSTS AND GUARD TO BE MIN 42" HIGH ABOVE FINISHED BALCONY SURFACE.

GUARD RAIL TO BE DESIGNED SUCH THAT IT CAN WITHSTAND A 200# POINT LOAD APPLIED TO THE TOP OF THE RAIL IN ANY DIRECTION.

PICKETS ARE TO BE SPACED SUCH THAT A 4" DIAMETER SPHERE CANNOT PASS THROUGH AT ANY POINT ALONG THE HEIGHT OF THE GUARDRAIL.

BOTTOM RAIL SHALL BE DESIGNED SUCH THAT A 4" DIAMETER SPHERE CANNOT PASS THROUGH BETWEEN THE DECK SURFACE AND THE BOTTOM RAIL.

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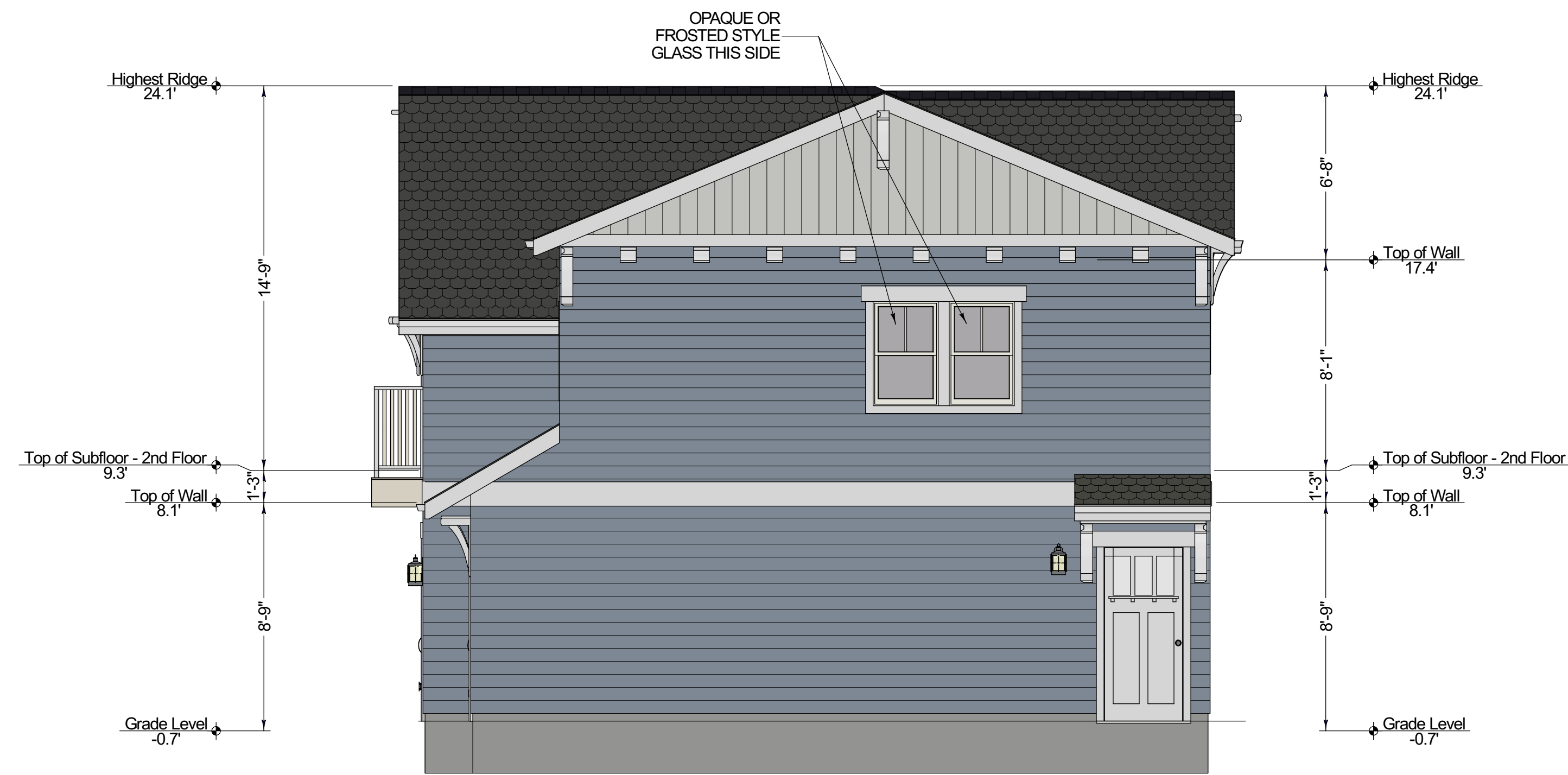
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708 FIGUEROA ST
FOLSOM, CA 95630
APN: 070-0105-014-0000

REVISIONS		
NO	DESCRIPTION	DATE
1	PLAN CHECK 1	
2	PLAN CHECK 2	

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DATE DRAWN: **5/9/2023**
SCALE:

CONCEPT 7
NORTH & SOUTH ELEVATIONS

A6
7 OF 28



1 WEST ELEVATION
SCALE: 1/4"=1'-0"



2 EAST ELEVATION
SCALE: 1/4"=1'-0"

ID	ITEM	DESCRIPTION	MANUFACTURER	COLOR
1	ROOF	CLASS 'A' RATED ASPHALT SHINGLE	CERTAINTEED	STONEGATE
2	SIDING/BODY	HARDIE - CEMENT SIDING - PAINTED	SHERWIN WILLIAMS PAINTS	JUBILEE (SW 6248)
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NO	DESCRIPTION	DATE
1	PLAN CHECK 1	
2	PLAN CHECK 2	

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DATE DRAWN: **5/9/2023**
SCALE:

CONCEPT 7
EAST & WEST ELEVATIONS

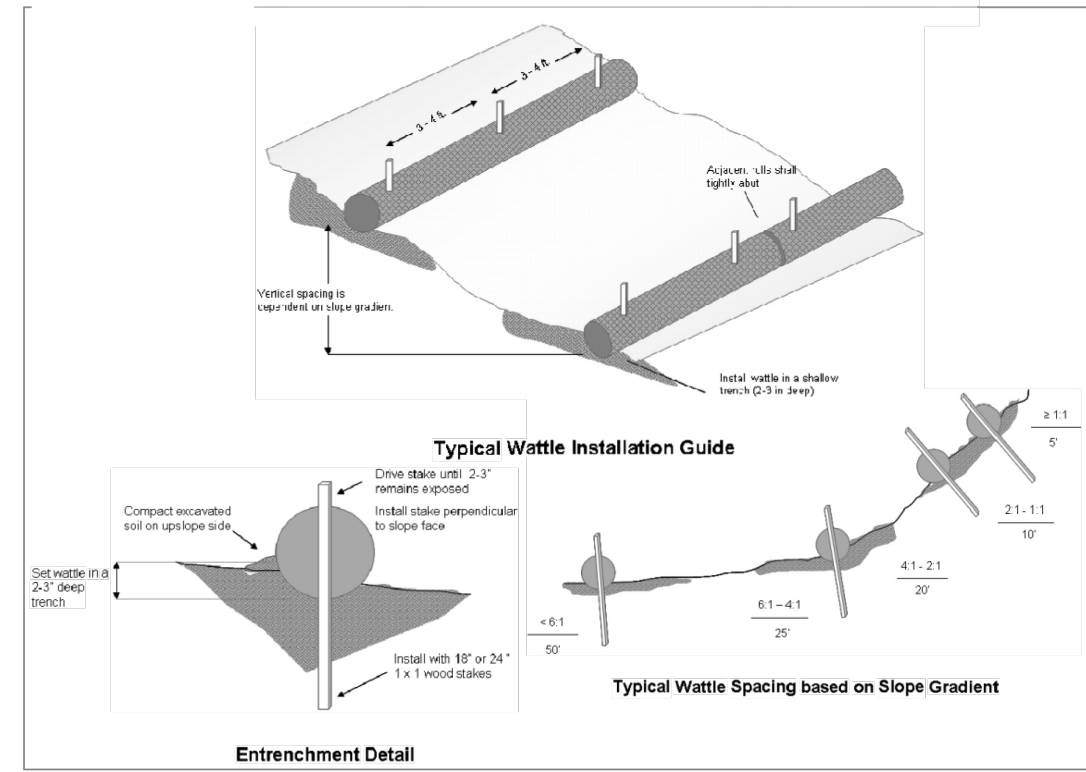
A7

ATTACHMENT 5

Proposed Plans

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- removed
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Straw Wattle Installation Guide



- BEGIN AT THE LOCATION WHERE THE WATTLE IS TO BE INSTALLED BY EXCAVATING A 2'-3" (57.5 CM) DEEP X 9" (22.9 CM) WIDE TRENCH ALONG THE CONTOUR OF THE SLOPE. EXCAVATED SOIL SHOULD BE PLACED UP-SLOPE FROM THE ANCHOR TRENCH.
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Construction Site BEST MANAGEMENT PRACTICES

STABILIZED CONSTRUCTION ACCESS

Require all construction vehicles and equipment to use one designated, stabilized entrance/exit to prevent vehicles from tracking mud onto roadways. When possible, prohibit vehicle/equipment parking on unpaved or non-stabilized areas. Tracks and trails left by vehicle/equipment leading to and from the site should be cleaned up immediately using dry clean up methods (i.e. sweeping).

CHEMICAL TOILETS

Chemical toilets are to be located in such a manner that if they are either damaged or knocked over the contents could not enter a stormwater drainage system.

PAINT AND STUCCO

All paint and stucco materials stored on the site must be contained and covered. It is illegal for contractors to wash out paint brushes in the street or dump any residues in the sewer or the storm drain. Paint brushes and spray guns should be washed/cleaned out into a hazardous materials drum or back into original containers and disposed of properly.

PERIMETER CONTROLS

Properly installed gravel bags, hay bales, silt fences and straw wattles are acceptable perimeter controls, and should be used as needed around the entire site. Avoid running over perimeter controls with vehicles or heavy equipment, as they can damage the materials. Keep extra absorbent materials and/or a wet/dry vacuum on site to quickly pick up unintended spills.

BUILDING MATERIALS/STAGING AREAS

Construction and landscaping materials should be stored on site and not within the public right-of-way. Building materials should always be covered or contained when not in use to prevent contact with rain.

CONSTRUCTION SITE OVERVIEW

Protecting clean water improves our quality of life and preserves the local environment for our children and future generations. Unintentional spills at work sites can flow into storm drains and pollute waterways. These spills are prohibited by law. The drawing illustrates BMPs that must be used at all construction sites to protect storm drains and minimize pollution. All site BMPs must be checked and maintained daily.

CONCRETE TRUCKS/PUMPERS

Pumpers should be surrounded by perimeter controls, such as gravel bags, sand bags or straw wattles. Tarps should be placed beneath concrete pumpers. Residual materials must be cleaned up as well. Debris should be disposed of properly.

WASHOUT AREA

The disposal of "wet" construction materials should be handled in a properly designed washout area. This includes paint, stucco and concrete. Use a sand berm and tarp, or mobile unit to collect wastes and prevent run-off.

DIRT AND GRADING

Mounds of dirt or gravel should be stored on site and sprayed daily with water to prevent excessive dust. These materials should also be covered each day with a tarp, coconut mat or other form of protection.

EARTHMOVING EQUIPMENT

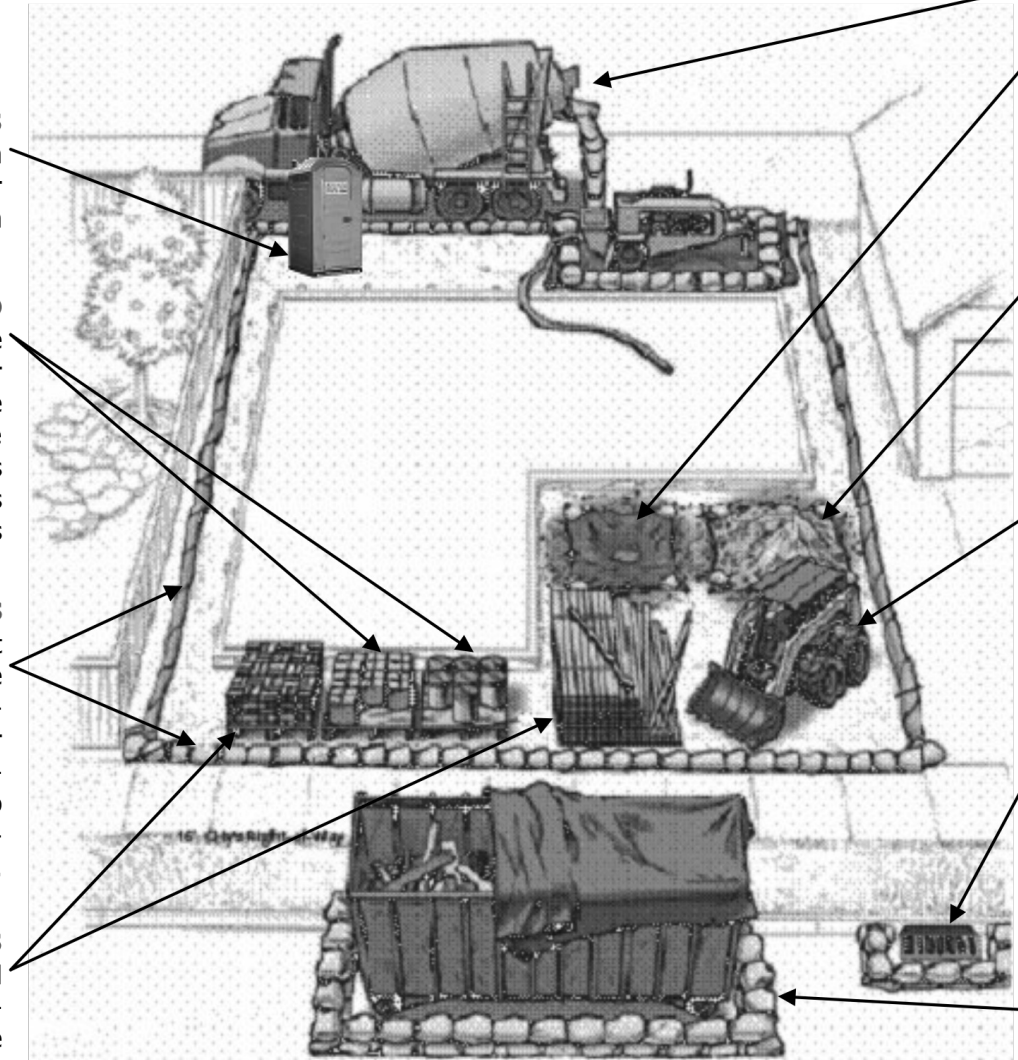
All earthmoving equipment should be stored on site. Maintenance should also be conducted on the site in properly protected areas. Clean up all drips and spills immediately using dry clean up methods (i.e. sweeping, absorbent materials). Do not hose down spills.

STORM DRAINS

Storm drains must be protected at all times with perimeter controls, such as sand bags, gravel bags or straw wattles.

DUMPSTERS

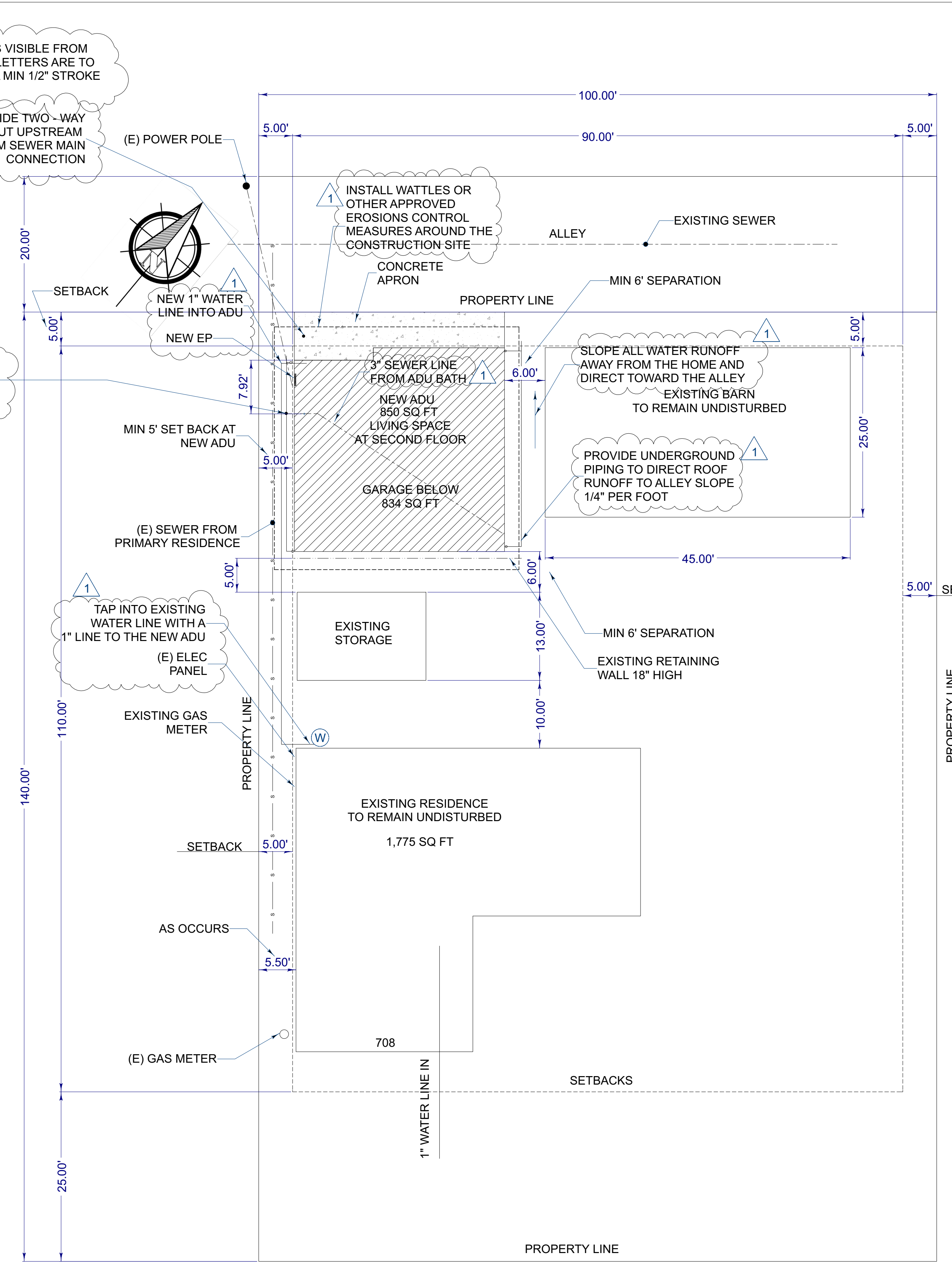
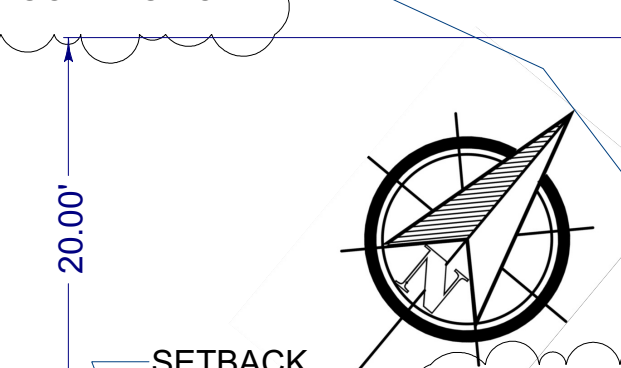
Always cover dumpsters and locate them away from drainage inlets and gutters. Areas around dumpsters should be swept daily. Perimeter controls should be installed around dumpsters.



1 PROVIDE ADDRESS LETTERS VISIBLE FROM THE PUBLIC RIGHT OF WAY. LETTERS ARE TO BE A MIN 4" IN HEIGHT WITH A MIN 1/2" STROKE

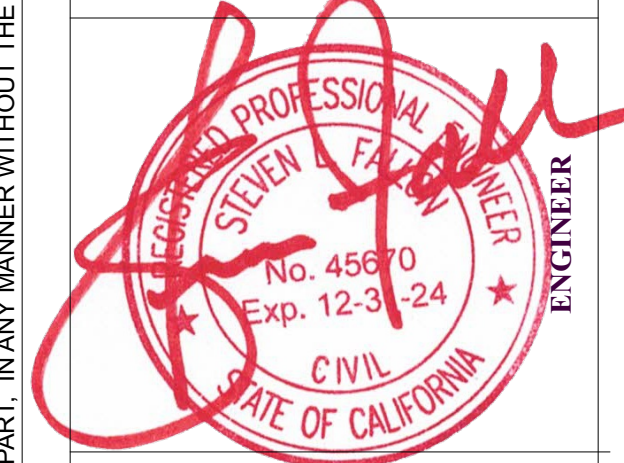
2 PROVIDE TWO-WAY CLEANOUT UPSTREAM FROM SEWER MAIN CONNECTION

1 CONNECT NEW SEWER LINE TO EXISTING SEWER LINE USE 3" LINE FROM ADU TO (E) SEWER



HEIGHT OF MAIN RESIDENCE FROM GRADE TO HIGHEST RIDGE
25.6 FT

House Arte
Residential Design - Drafting - Illustration
HouseArte.com
(916) 521-3263
Kevincep01@gmail.com



NEW ADU FOR:
JASON & CHRISTINA MOORE
708 FIGUEROA ST
FOLSOM, CA 95630
APN: 070-0105-014-0000

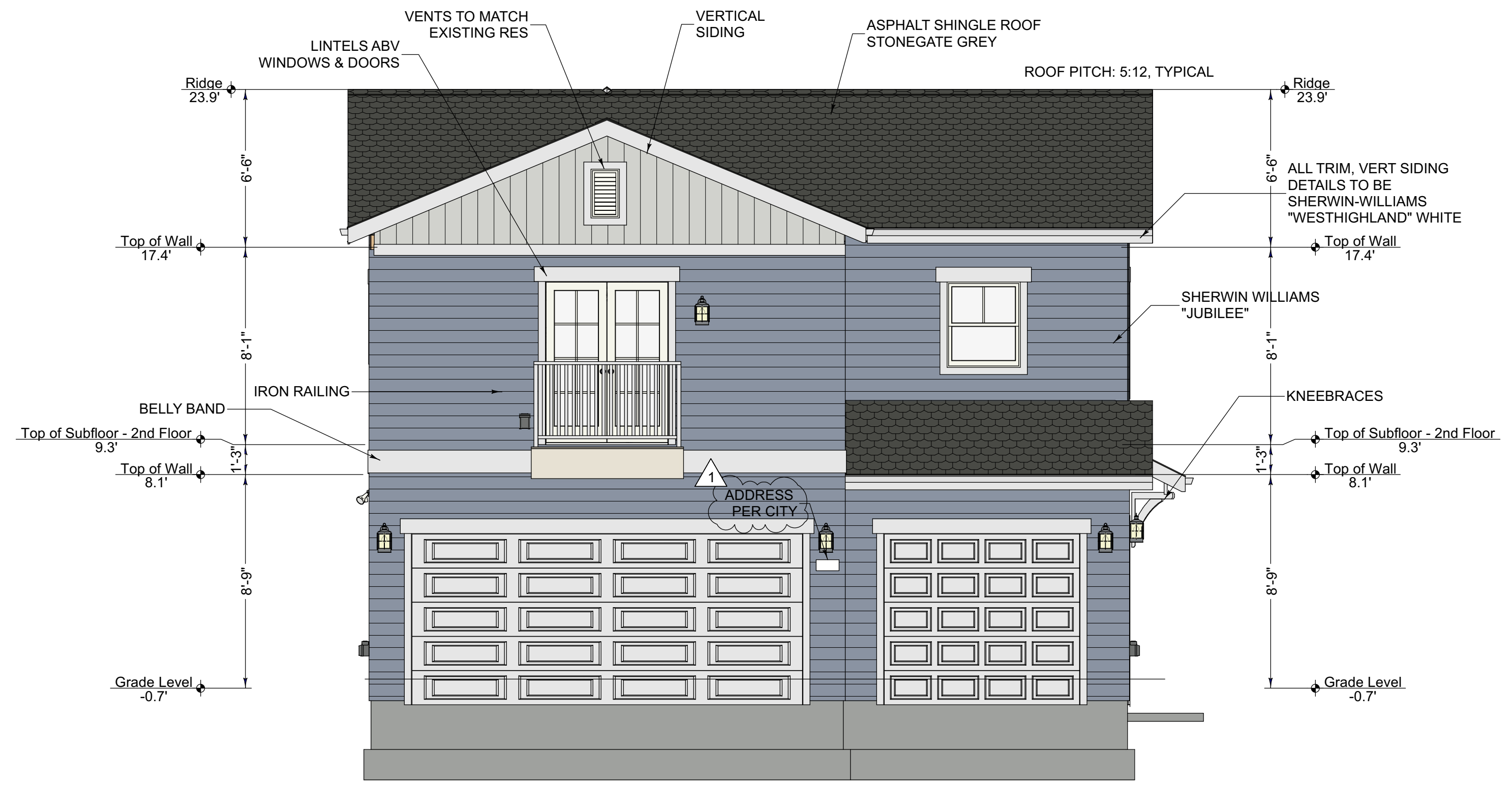
REVISIONS		
NO	DESCRIPTION	DATE
1	PLAN CHECK 1	
2	PLAN CHECK 2	

DRAWN BY: **KES**
DATE DRAWN: **4/18/2024**
SCALE: **1"=10'**

CONCEPT 8
PROPOSED SITE LAYOUT

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5 OF 28

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1 NORTH / ALLEY ELEVATION
SCALE: 1/4"=1'-0"



2 SOUTH ELEVATION
SCALE: 1/4"=1'-0"

ID	ITEM	DESCRIPTION	MANUFACTURER	COLOR
1	ROOF	CLASS 'A' RATED ASPHALT SHINGLE	CERTAINTEED	STONEGATE
2	SIDING/BODY	HARDIE - CEMENT SIDING - PAINTED	SHERWIN WILLIAMS PAINTS	JUBILEE (SW 6248)
3	TRIM/FACIA/GUTTERS	HARDIE TRIM - PAINTED	SHERWIN WILLIAMS PAINTS	WESTHIGHLAND WHITE (SW 7566)
4	GARAGE DOOR	METAL ROLL UP - PAINTED	SHERWIN WILLIAMS PAINTS	WESTHIGHLAND WHITE (SW 7566)
5	EXT MAN DOORS	FIBERGLASS OR METAL - PAINTED	SHERWIN WILLIAMS PAINTS	WESTHIGHLAND WHITE (SW 7566)
6	ENTRY DOOR	FIBERGLASS OR METAL - PAINTED	SHERWIN WILLIAMS PAINTS	WESTHIGHLAND WHITE (SW 7566)

- LANDINGS & THRESHOLDS (CRC 311.3.1)**
- ALL EXTERIOR DOORS SHALL HAVE A LANDING THAT IS EQUAL TO DOOR WIDTH AND MINIMUM 36" IN DIRECTION OF TRAVEL.
 - LANDINGS SHALL BE A MIN OF 1/2" BELOW THE THRESHOLD AND A MAXIMUM DROP OF 7-3/4" FROM TOP OF THRESHOLD TO THE LANDING. PROVIDED THE DOOR DOES NOT SWING OUT OVER THE LANDING. IF DOOR SWINGS OUT OVER THE LANDING THE MAXIMUM CHANGE IN ELEVATION IS LIMITED TO 1-1/2".

1 CONTRACTOR TO PROVIDE GUTTERS AND DOWNSPOUTS. RAINWATER RUNOFF TO BE PIPED AWAY FROM FOUNDATION FOR A MIN 6" DROP IN 10'

1 ADDRESS NUMBERS TO BE PROVIDED AND SHALL BE VISIBLE FROM THE RIGHT OF WAY. NUMBERS SHALL BE A MIN 4" HIGH WITH A MIN STROKE WIDTH OF 1/2".

2 BALCONY NOTES

TUBE STEEL POSTS AND GUARD TO BE MIN 42" HIGH ABOVE FINISHED BALCONY SURFACE.

GUARD RAIL TO BE DESIGNED SUCH THAT IT CAN WITHSTAND A 200# POINT LOAD APPLIED TO THE TOP OF THE RAIL IN ANY DIRECTION.

PICKETS ARE TO BE SPACED SUCH THAT A 4" DIAMETER SPHERE CANNOT PASS THROUGH AT ANY POINT ALONG THE HEIGHT OF THE GUARDRAIL.

BOTTOM RAIL SHALL BE DESIGNED SUCH THAT A 4" DIAMETER SPHERE CANNOT PASS THROUGH BETWEEN THE DECK SURFACE AND THE BOTTOM RAIL.

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APN: 070-0105-014-0000

REVISIONS

NO	DESCRIPTION	DATE
1	PLAN CHECK 1	
2	PLAN CHECK 2	

DRAWN BY: **KES**
DATE DRAWN: **4/18/2024**
SCALE:

CONCEPT 8
NORTH & SOUTH ELEVATIONS

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7 OF 28

LANDINGS & THRESHOLDS (CRC 311.3.1)

- 16. ALL EXTERIOR DOORS SHALL HAVE A LANDING THAT IS EQUAL TO DOOR WIDTH AND MINIMUM 36" IN DIRECTION OF TRAVEL.
- 17. LANDINGS SHALL BE A MIN OF 1/2" BELOW THE THRESHOLD AND A MAXIMUM DROP OF 7-3/4" FROM TOP OF THRESHOLD TO THE LANDING. PROVIDED THE DOOR DOES NOT SWING OUT OVER THE LANDING. IF DOOR SWINGS OUT OVER THE LANDING THE MAXIMUM CHANGE IN ELEVATION IS LIMITED TO 1-1/2".



1 WEST ELEVATION
SCALE: 1/4"=1'-0"



2 EAST ELEVATION
SCALE: 1/4"=1'-0"

ID	ITEM	DESCRIPTION	MANUFACTURER	COLOR
1	ROOF	CLASS 'A' RATED ASPHALT SHINGLE	CERTAINTEED	STONEGATE
2	SIDING/BODY	HARDIE - CEMENT SIDING - PAINTED	SHERWIN WILLIAMS PAINTS	JUBLIEE (SW 6248)
3	TRIM/FACIA/GUTTERS	HARDIE TRIM - PAINTED	SHERWIN WILLIAMS PAINTS	WESTHIGHLAND WHITE (SW 7566)
4	GARAGE DOOR	METAL ROLL UP - PAINTED	SHERWIN WILLIAMS PAINTS	WESTHIGHLAND WHITE (SW 7566)
5	EXT MAN DOORS	FIBERGLASS OR METAL - PAINTED	SHERWIN WILLIAMS PAINTS	WESTHIGHLAND WHITE (SW 7566)
6	ENTRY DOOR	FIBERGLASS OR METAL - PAINTED	SHERWIN WILLIAMS PAINTS	WESTHIGHLAND WHITE (SW 7566)

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NEW ADU FOR:
JASON & CHRISTINA MOORE
708 FIGUEROA ST
FOLSOM, CA 95630
APN: 070-0105-014-0000

REVISIONS		
NO	DESCRIPTION	DATE
1	PLAN CHECK 1	
2	PLAN CHECK 2	

DRAWN BY: **KES**
DATE DRAWN: **4/18/2024**
SCALE:

CONCEPT 8
EAST & WEST ELEVATIONS

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ATTACHMENT 6

Comparison of Approved and Proposed Elevations

Approved North Elevation



Proposed North Elevation



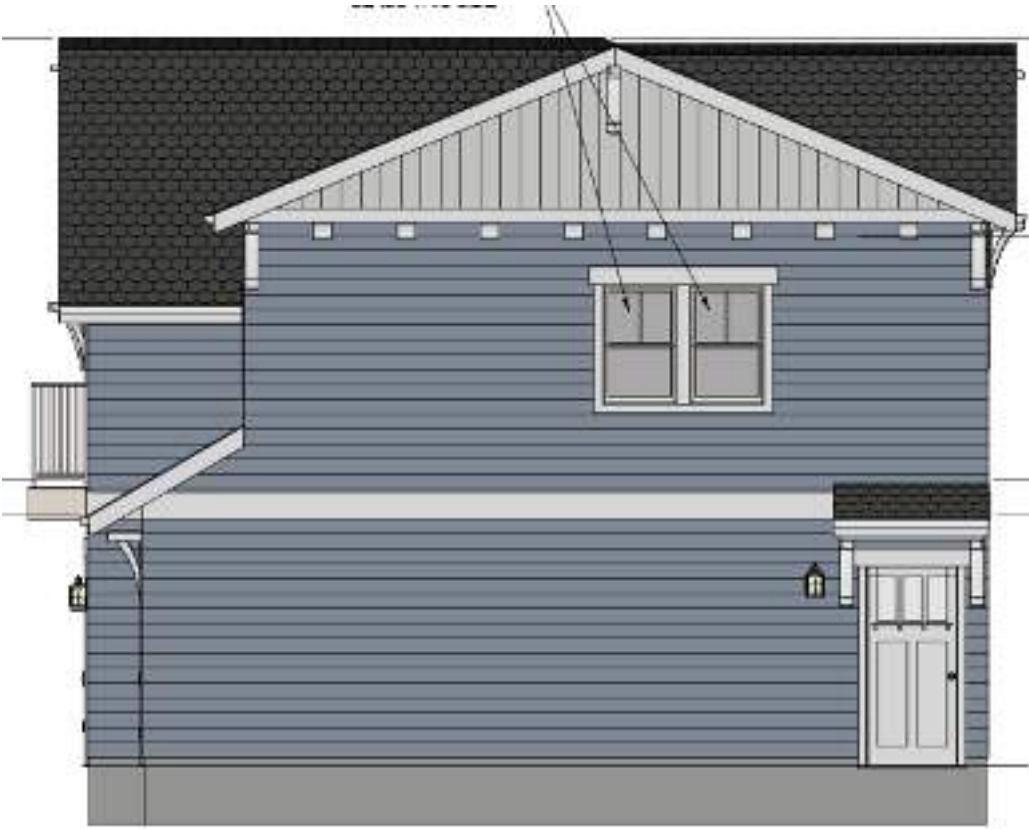
Approved South Elevation



Proposed South Elevation



Approved West Elevation



Proposed West Elevation



Approved East Elevation



Proposed East Elevation



ATTACHMENT 7

Photographs of Existing Garage/ADU Structure









ATTACHMENT 8
**Comment Letter from the Historic Folsom
Residents Association, dated 5/14/2024**

Josh Kinkade

From: The HFRA <thehfra@gmail.com>
Sent: Tuesday, May 14, 2024 8:10 AM
To: Josh Kinkade
Cc: Desmond Parrington; Pam Johns
Subject: Re: 708 1/2 Figueroa St. Design Review Modifications Request for Comments

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Josh:

HFRA appreciates the opportunity to provide comments on this project. With regard to the design changes, we support staff's recommendation to change the garage doors to be consistent with the garage door styles approved by the HDC and have no concerns with the change in building height. With regard to the changes to the windows and roof pitch, we continue to be concerned with unapproved changes that are not consistent with HDC-approved design. After the significant modification to the HDC-approved design of 908 Bidwell Street, Ms. Johns presented to both HDC and the City Council updated process changes that would help eliminate unapproved changes prior to completion of a project. We appreciate that this project is being brought back to the HDC for approval, but would like to understand and share with our membership why, as soon as there has been a deviation from HDC-approved design as discovered by the building inspector during construction, isn't work stopped until an additional HDC review is performed and the changes approved or denied? And is there anything else that can be done to ensure construction is compliant with approved design?

We would also like to understand the source of funding for the additional staff time that has been required to process this project a second time. Was this applicant charged a fee to reprocess this application? As per the 2011 resolution adopted by the City Council but never implemented by the Community Development Department for full cost recovery, we would expect that the applicant would be billed for the full cost of staff's time to re-process this application. If no fees were charged, we'd like to understand how this same situation would be addressed under the newly proposed development fee changes.

Thank you,

The HFRA Board

On Tue, Apr 30, 2024 at 10:26 AM Josh Kinkade <jkinkade@folsom.ca.us> wrote:

All,

Please find the attached request for comments, approved plans, proposed plans and as-built pictures for the 708 ½ Figueroa St. Modifications Design Review application subject to review by the Historic District Commission. Please send me any comments or questions by 5/14/24.



CITY OF
FOLSOM
DISTINCTIVE BY NATURE

AGENDA ITEM NO. 3

Type: New Business

Date: June 5, 2024

Historic District Commission Staff Report

50 Natoma Street, Council Chambers

Folsom, CA 95630

Project: Neon Signs in the Historic District
File #: SPEC24-00157
Request: Provide input and direction to staff
Location: Historic District
Parcel(s): N/A
Staff Contact: Desmond Parrington, AICP, Planning Manager, 916-461-6233
 dparrington@folsom.ca.us

Recommendation: Provide input and direction to staff.

Project Summary: Staff is presenting a workshop on the issue of neon “Open” signs in the Historic District. The use of neon signs has grown in the Sutter Street subarea of the Historic Commercial Primary Area of the Historic District. While neon and internally illuminated window signage is prohibited in the Historic District under the Folsom Municipal Code (FMC), business owners in the area have raised concerns about the prohibition of these minor signs and the need for this type of signage to support their stores.

Submitted,

PAM JOHNS

Community Development Director

ATTACHMENTS

1. Background
2. Photo Examples of Neon Signs in the Historic District
3. Fact Sheet on Historic District Sign Regulations

DESCRIPTION/ANALYSIS

Folsom Municipal Code Section [17.52.510\(E\)\(4\)](#) states that neon and internally illuminated signage are not allowed in the Sutter Street Subarea within the Historic Commercial Primary Area of the Historic District. While incidental signs such as open/closed signs and window signs that do not cover more than 25 percent of the window are exempt from sign permit requirements (refer to [FMC 17.59.030\(C\)](#)), staff have traditionally not allowed these signs to be neon or internally illuminated. Much of Sutter Street is characterized by pre-1900 era buildings. Given that neon came into widespread use after 1930¹, neon in the Sutter Street subarea is seen as inconsistent with the design concept for the area as described in [FMC Section 17.52.510\(B\)](#).

In order to support local business during the COVID-19 Public Health Emergency (PHE), the City relaxed its enforcement activities on businesses for minor issues such as sign violations. After the end of the PHE, and as a result of complaints received regarding the appearance of several neon and internally illuminated “Open” signs on windows at businesses on Sutter Street (refer to example photos in Attachment 2), Code Enforcement sent the Folsom Historic District Association (FHDA) a fact sheet on sign requirements in the Historic District (refer to Attachment 3), which was distributed to all businesses within the subarea in early August 2023, and staff asked FHDA to remind business owners that neon and internally illuminated signs, as well as unpermitted temporary banner signs were not allowed on Sutter Street and that City enforcement would begin shortly.

Code Enforcement and Planning staff also met with the Sutter Street Merchants’ Association on August 24, 2023 to educate business owners about the sign regulations. Staff explained the regulations to the merchants but received many concerns about the prohibition on minor neon and internally illuminated “Open” window signs. Coming out of the COVID-19 PHE, many of the merchants felt that the neon and internally illuminated window signs were important for their businesses to let the public know that they were now open again. This was especially the case for businesses located within buildings where their storefront was not directly facing the street. The merchants generally felt that the City was always telling them what they could not do instead of supporting them as they tried to recover from the economic impact of the PHE.

At the meeting, City staff proposed the following to try to find a balance between strict enforcement and the needs of a struggling small business community:

1. Staff would research suitable alternatives to the neon and other internally illuminated “Open” signs that were consistent with the time period of the Sutter Street Subarea.
2. Staff would hold off on strict enforcement of the existing neon and internally

¹ Source: The Neon Museum. *The Evolution of Neon Signs: From Vintage to Modern*. Website: <https://neonmuseum.org/news/the-evolution-of-neon-signs-from-vintage-to-modern/>

illuminated “Open” window signs until the new Zoning Code was adopted.

3. As part of the new Zoning Code, staff would hold a workshop on signage within the Historic District including a discussion on neon and internally illuminated window signs.

Since that meeting, staff researched alternatives to the neon and internally illuminated “Open” signs but could not find an externally illuminated sign that was easily available that was consistent with the style from the pre-1900 time period. Due to staff shortages and workload, staff has been delayed starting the Zoning Code update for the Historic District and that work is not anticipated to begin until mid to late 2025. Staff is therefore bringing this workshop forward now for the Commission’s consideration.

Since the August 2023 meeting with the Merchants’ Association, staff has seen more neon and internally illuminated window signage appear in the Historic District and have received more complaints regarding these signs and other types of unpermitted signage. As a result, staff is seeking input about whether changes should be considered in the new Zoning Code related to this type of minor neon and internally illuminated window signage. However, if the consensus of the Commission is that this type of signage should remain prohibited, staff will resume enforcement of City regulations. Please note that this workshop only refers to neon and internally illuminated “Open” window signs. All other neon and internally illuminated signage, including such signs displaying business names, or other words besides “Open”, is prohibited and this workshop does not involve a discussion on that type of signage.

POLICY/RULE

The following are the policies from the City’s 2035 General Plan and current Zoning Code that apply to this workshop.

LU 1.1.9 Preserve Historic Resources: Recognize the importance of history in the City of Folsom, and preserve historic and cultural resources throughout the city, to the extent feasible.

LU 2.1.1 Historic Folsom: Maintain the existing street fabric and pattern and enhance the tourist-oriented, historic commercial uses in the Historic Folsom commercial areas to preserve the unique character of Folsom’s historic center and support local business.

NCR 5.1.6 Historic District Standards: Maintain and implement design and development standards for the Historic District.

EP 3.1.2 Customer Service: Maintain a strong customer service orientation toward businesses.

In addition, the following FMC sections apply:

17.52.510(B) - Design Concept. The design concept for this subarea is to preserve existing pre-1900 buildings, and require new or replacement structures to be of a pre-1900 design, unless a post-1900 building is unique and/or representative of 1850-1950 architectural styles. The historic district commission may approve new construction of post-1900 design, on an exception basis, if it finds that the architecture is an outstanding design which represents a structure or use which formerly existed in historic Folsom or which represents a typical design and use extant in similar California towns between 1900 and 1950.

17.52.510(E) – Prohibited Signs in the Sutter Street Subarea. In addition to those signs prohibited in Chapter 17.59 (Signs) of the Zoning Code, the following signs are prohibited in the Sutter Street Subarea:

- a. Neon;
- b. Internally illuminated;
- c. Backlit canopies; and
- d. Corporate flags.

ENVIRONMENTAL REVIEW

Under Section 15061(b)(3) of the California Environmental Quality Act (CEQA) Guidelines, this workshop is not a project under CEQA.

Attachment 2

Photographic Examples

Historic District Commission
Issue of Neon Signs in the Historic District
June 5, 2024





Attachment 3
Fact Sheet on Historic District Sign Regulations

Historic District Signage Requirements

The purpose of sign regulations is to provide each sign user the opportunity for effective identification by regulating the number, size, and location of signs on all sites. The sign regulations enhance the quality of the City's appearance and help maintain consistent standards with the types of establishments for all of Sutter Street.

When Is a Building Permit Required:

- Any new or replacement of a wall, under-canopy, or hanging sign.
- Any sign that is not specifically listed within the sign exemption section of the Folsom Municipal Code: <https://www.codepublishing.com/CA/Folsom/#!/Folsom17/Folsom1759.html#17.59.030>

When Does the Historic District Commission Need to Review:

- Any new or replacement of any wall, under-canopy, or hanging sign that is **NOT** part of a previously approved Uniformed Sign Program.
- Any on-site directional signs that are larger than 2-square-feet and/or taller than 2 feet in height.
- Any real estate signs that are not setback from public right-of-way.
- Window or door signs that are larger than 1-square-foot in size (NOTE: any window signs that are smaller than 1-square-foot are exempt from Historic Commission Review but are still subject to the overall requirement regarding window coverage of not being more than a combined maximum of 25 percent of the total window area for each window).
- Any freestanding signs, including A-Frame signs.
 - **Please note that even with Historic District Commission approval of any freestanding signs, these signs must maintain a 4' clearance from the City's right-of-way to maintain a safe, ADA-compliant, path of travel for pedestrians.**

What Type of Signs are Exempt from a Building Permit and Historic District Commission Review:

- Window Signs that are smaller than 1-square-foot in size;
- Civic Flags;
- Commemorative wall signs, wall signs indicating the historical significance of a site or building, not exceeding 4-square-feet;
- Signs located in the interior of a building, court, enclosed lobby intended for interior viewing only;
- Holiday decorations that do not contain any commercial message;
- House numbers identifying the address of a building;
- For a list of exempt signs, please see the Folsom Municipal Code: <https://www.codepublishing.com/CA/Folsom/#!/Folsom17/Folsom1759.html#17.59.030>
 - **Please note that five sign types listed above in Historic District Commission review above are not considered exempted on Sutter Street.**



What Type of Signs Are Prohibited:

- Any public viewing neon signs;
- Internally illuminated;
- Backlit canopies;
- Corporate flags
- Any signs listed in the Folsom Municipal Code as prohibited found here:
<https://www.codepublishing.com/CA/Folsom/#!/Folsom17/Folsom1759.html#17.59.030>

What Are the Requirements for Temporary Signs:

- All temporary promotional signs for a business require a temporary sign permit;
- Temporary signs must be located on site and attached to a building, fence or wall;
- Temporary signs cannot be up for more than 4 consecutive weeks at any one time;
- The Temporary Sign Permit application, which shows all the requirements, can be found here:
<https://www.folsom.ca.us/home/showpublisheddocument/178/637463033217530000>

We have received numerous complaints from members of the public about the signs that have been placed within Sutter Street. This informational sheet is to serve as a reminder of what the allowed signs are within Sutter Street area of the Historic District. We will be following up with individual businesses about the complaints to get them into compliance.

Thank you and please contact the Planning Department at planningepc@folsom.ca.us or call us at 916-461-6202 with any questions regarding signage.