



CITY OF  
**FOLSOM**  
DISTINCTIVE BY NATURE

**PLANNING COMMISSION AGENDA**  
**June 19, 2024**  
**CITY COUNCIL CHAMBERS**  
**6:30 p.m.**  
**50 Natoma Street**  
**Folsom, California 95630**

**CALL TO ORDER PLANNING COMMISSION:** Daniel West, Bill Miklos, Ralph Peña, Bill Romanelli, James Ortega, Mathew Herrera, Eileen Reynolds

The Planning Commission has a policy that no new item will begin after 10:30 p.m. Therefore, if you are here for an item that has not been heard by 10:30 p.m., you may leave, as the item will be continued to a future Planning Commission Meeting.

*Any documents produced by the City and distributed to the Planning Commission regarding any item on this agenda will be made available upon request at the Community Development Counter at City Hall located at 50 Natoma Street, Folsom, California. The meeting is available to view via webcast on the City's website the day after the meeting.*

**PLEDGE OF ALLEGIANCE**

**CITIZEN COMMUNICATION:** The Planning Commission welcomes and encourages participation in City Planning Commission meetings and will allow up to five minutes for expression on a non-agenda item. Matters under the jurisdiction of the Commission, and not on the posted agenda, may be addressed by the public, however, California law prohibits the Commission from taking action on any matter which is not on the posted agenda unless it is determined to be an emergency by the Commission.

**MINUTES**

The minutes of the May 15, 2024, meeting will be presented for approval.

**NEW BUSINESS**

**1. PDEV24-00143: Walmart Addition Planned Development Permit Modification and Determination that the Project is Exempt from CEQA**

A Public Hearing to consider a request from Abril Herrera with Kimley-Horn for a Planned Development (PD) Permit Modification to allow an approximately 3,700 square foot building addition to the Walmart retail center to accommodate online order pickup, located at 1018 Riley Street. The proposed project is seeking to modify the previously approved Wal-Mart Central Shopping Center PD Permit (File No. PN 90-087) and subsequent expansion under the Folsom Wal-Mart Expansion Project PD Permit Modification (File No. PN 06-469). The General Plan Land Use designation for the project site is CC- EBMU (Community Commercial, East Bidwell Mixed-Use Overlay), while the Zoning District is C-2-PD (Central Business Zone-Planned Development). The City, as lead agency, has determined that the project is exempt from CEQA under Section 15303 (New Construction or Conversion of Small Structures) of the CEQA Guidelines. **(Project Planner: Jessica Brandt / Applicant: Abril Herrera)**

**2. VARI24-00158: 659 Hancock Drive Third Story and Determination that the Project is Exempt from CEQA**

A Public Hearing to consider a request from Tarik Taeha for a Variance to add a third story element to a residence located at 659 Hancock Drive. The General Plan Land Use designation for the project site is SF (Single-Family), while the Zoning District is R-1-ML (Single-Family Residential- Medium Lot District). The City, as lead agency, has

determined that the project is exempt from CEQA under Section 15301 (Existing Facilities). (**Project Planner: Josh Kinkade / Applicant: Tarik Taaha**)

**PLANNING COMMISSION / PLANNING MANAGER REPORT**

The next Planning Commission meeting is scheduled for **July 24, 2024**. Additional non-public hearing items may be added to the agenda; any such additions will be posted on the bulletin board in the foyer at City Hall at least 72 hours prior to the meeting.

Persons having questions on any of these items can visit the Community Development Department during normal business hours (8:00 a.m. to 5:00 p.m.) at City Hall, 2<sup>nd</sup> Floor, 50 Natoma Street, Folsom, California, prior to the meeting. The phone number is (916) 461-6200 and FAX number is (916) 355-7274.

In compliance with the Americans with Disabilities Act, if you are a disabled person and you need a disability-related modification or accommodation to participate in the meeting, please contact the Community Development Department at (916) 461-6200, (916) 355-7274 (fax) or [shannum@folsom.ca.us](mailto:shannum@folsom.ca.us). Requests must be made as early as possible and at least two full business days before the start of the meeting.

**NOTICE REGARDING CHALLENGES TO DECISIONS**

The appeal period for Planning Commission Action: Any appeal of a Planning Commission action must be filed in writing with the City Clerk's Office no later than ten (10) days from the date of the action pursuant to Resolution No. 8081. Pursuant to all applicable laws and regulations, including without limitation, California Government Code Section 65009 and or California Public Resources Code Section 21177, if you wish to challenge in court any of the above decisions (regarding planning, zoning and/or environmental decisions), you may be limited to raising only those issues you or someone else raised at the public hearing(s) described in this notice/agenda, or in written correspondence delivered to the City at, or prior to, the public hearing.



**PLANNING COMMISSION MINUTES  
May 15, 2024  
CITY COUNCIL CHAMBERS  
6:30 P.M.  
50 Natoma Street  
Folsom, CA 95630**

**CALL TO ORDER PLANNING COMMISSION:**

The regular Planning Commission Meeting was called to order at 6:31 p.m. with Chair Eileen Reynolds presiding.

**PLEDGE OF ALLEGIANCE:** The Pledge of Allegiance was recited.

**ROLL CALL:**

Commissioners Present: Mathew Herrera, Commissioner  
Daniel West, Vice Chair  
Bill Miklos, Commissioner  
Bill Romanelli, Commissioner  
James Ortega, Commissioner  
Eileen Reynolds, Chair

Commissioners Absent: Ralph Peña, Commissioner

**CITIZEN COMMUNICATION:** None

**MINUTES:**

The minutes of the April 17, 2024, Regular Meeting were approved as submitted.

**NEW BUSINESS**

**1. DRCL 24-00080: Shops at Folsom Ranch Pad 4 (Habit Burger) Exterior Remodel and Determination that the Project is Exempt from CEQA**

A Public Meeting to consider a request from Josh Rupert of Hunter Properties for a modification to the approved exterior design for Pad 4 (Habit Burger) of The Shops at Folsom Ranch commercial center, located at 3290 East Bidwell Street. The General Plan Land Use designation for the project site is GC (General Commercial), while the Specific Plan land use designation is SP-GC-PD (Specific Plan-General Commercial-Planned Development). The City, as lead agency, has determined that The Shops at Folsom Ranch Pad 4 project is entirely consistent with the Folsom Plan Area Specific Plan (FPASP) EIR/EIS and the Addendum for the Westland Eagle Specific Plan Amendment. As a result, the project qualifies for the streamlining provisions in Public Resources Code section

21083.3 and CEQA Guidelines section 15183. No further environmental review is required. **(Project Planner: Jessica Brandt / Applicant: Josh Rupert).**

COMMISSIONER REYNOLDS MOVED TO APPROVE A COMMERCIAL DESIGN REVIEW APPLICATION FOR MODIFICATION TO THE EXTERIOR DESIGN FOR PAD 4 (HABIT BURGER) OF THE SHOPS AT FOLSOM RANCH COMMERCIAL CENTER AS ILLUSTRATED ON ATTACHMENT 7, BASED ON THE FINDINGS (FINDINGS A-L) AND SUBJECT TO THE CONDITIONS OF APPROVAL (CONDITIONS 1-6) ATTACHED TO THIS REPORT.

COMMISSIONER ORTEGA SECONDED THE MOTION.

AYES: HERRERA, WEST, MIKLOS, ROMANELLI, ORTEGA, REYNOLDS  
NOES: NONE  
RECUSED: NONE  
ABSENT: PEÑA

MOTION PASSED

**2. DRCL 24-00122: Shops at Folsom Ranch Pad 3 (Starbucks) Exterior Remodel and Determination that the Project is Exempt from CEQA**

A Public Meeting to consider a request from Josh Rupert of Hunter Properties for a modification to the approved exterior design for Pad 3 (Starbucks) of The Shops at Folsom Ranch commercial center, located at 3250 East Bidwell Street. The General Plan Land Use designation for the project site is GC (General Commercial), while the Specific Plan land use designation is SP-GC-PD (Specific Plan-General Commercial-Planned Development). The City, as lead agency, has determined that The Shops at Folsom Ranch Pad 3 project is entirely consistent with the Folsom Plan Area Specific Plan (FPASP) EIR/EIS and the Addendum for the Westland Eagle Specific Plan Amendment. As a result, the project qualifies for the streamlining provisions in Public Resources Code section 21083.3 and CEQA Guidelines section 15183. No further environmental review is required. **(Project Planner: Jessica Brandt / Applicant: Josh Rupert of Hunter Properties).**

COMMISSIONER ROMANELLI MOVED TO APPROVE A COMMERCIAL DESIGN REVIEW APPLICATION FOR MODIFICATION TO THE EXTERIOR DESIGN FOR PAD 3 (STARBUCKS) OF THE SHOPS AT FOLSOM RANCH COMMERCIAL CENTER AS ILLUSTRATED ON ATTACHMENT 7, BASED ON THE FINDINGS (FINDINGS A-L) AND SUBJECT TO THE CONDITIONS OF APPROVAL (CONDITIONS 1-6) ATTACHED TO THIS REPORT.

COMMISSIONER HERRERA SECONDED THE MOTION.

AYES: HERRERA, WEST, MIKLOS, ROMANELLI, ORTEGA, REYNOLDS  
NOES: NONE  
RECUSED: NONE  
ABSENT: PEÑA

MOTION PASSED

**3. ZCAM 24-00112: 1000 East Natoma Rezone to Residential and Determination that No Additional Environmental Review is Required**

A Public Meeting to consider a request from David Koelpin for a Rezone to change the zoning for the parcels located at 1000 East Natoma Street (currently split zoned R-1-ML (Residential, Single-Family Dwelling, Medium Lot District) and A-1-A (Agricultural-Reserve District)) and 1010 East Natoma Street (currently zoned A-1-A), to R-1-ML for both parcels. The City, as lead agency, has determined that no new impacts will result from the proposed project that were not already considered in the previously approved Environmental Impact Report for the City of Folsom 2035 General Plan. The project therefore does not require additional environmental review under Section 15183 (Projects Consistent with a Community Plan, General Plan, or Zoning) of the CEQA Guidelines. **(Project Planner: Jessica Brandt / Applicant: David Koelpin).**



COMMISSIONER WEST MOVED TO RECOMMEND THAT THE CITY COUNCIL APPROVE A REZONE FOR TWO PARCELS TOTALING APPROXIMATELY 4.3 ACRES AT THE NORTHEAST CORNER OF EAST NATOMA STREET AND FOLSOM POINT ROAD FROM SPLIT ZONING BETWEEN R-1-ML AND A-1-A (1000 EAST NATOMA), AND A-1-A (1010 EAST NATOMA), TO R-1-ML FOR BOTH PARCELS AS ILLUSTRATED ON ATTACHMENT 5 FOR THE 1000 EAST NATOMA REZONE TO RESIDENTIAL PROJECT (ZCAM24-00112) BASED ON THE FINDINGS (FINDINGS A-I) ATTACHED TO THIS REPORT.

COMMISSIONER ROMANELLI SECONDED THE MOTION.

AYES: HERRERA, WEST, MIKLOS, ROMANELLI, ORTEGA, REYNOLDS  
NOES: NONE  
RECUSED: NONE  
ABSENT: PEÑA

MOTION PASSED

**PLANNING COMMISSION / PLANNING MANAGER REPORT**

Planning Manager, Desmond Parrington, shared the following with the Commission:

- Planning staff handled several design reviews since the Commission’s last meeting on April 17 including:
  - 4 custom homes
  - 1 residential exterior remodel
  - 1 cell tower modification
  - 1 commercial bank ATM
- There was an update on the Central Business District Master Plan at City Council on May 14 and an update on the River District Master Plan was presented previously to City Council on March 12.
- The Community Development Department will be hosting a community meeting on Thursday, May 16 at 6:00 pm to discuss the proposed amendments to the General Plan and Folsom Plan Area Specific Plan (FPASP) to increase housing capacity in Folsom as required by State law. More information is available at [www.folsom.ca.us/housingstudy](http://www.folsom.ca.us/housingstudy).
- The Commission’s next meeting will be June 19 and there will be several items scheduled for that meeting.
- The Commission’s July meeting will be moved from July 17 to July 24.
- The July 24 meeting will be focused on the proposed amendments to the General Plan and FPASP.
- There will be a special workshop on Tuesday, July 30 along with the Historic District Commission and Parks & Recreation Commission to review and discuss the draft River District Master Plan.
- There will be another special meeting on August 28 to review and recommend adoption of the River District Master Plan.

**ADJOURNMENT**

There being no further business to come before the Folsom Planning Commission, Chair Eileen Reynolds adjourned the meeting at 7:29 p.m.

RESPECTFULLY SUBMITTED,

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Stephanie Hannum, ADMINISTRATIVE ASSISTANT

**APPROVED:**

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Eileen Reynolds, CHAIR



CITY OF  
**FOLSOM**  
DISTINCTIVE BY NATURE

**AGENDA ITEM NO. 1**  
**Type: Public Hearing**  
**Date: June 19, 2024**

## Planning Commission Staff Report

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**Project:** 0 00 0r0Add0000  
**File #:** PD0V0000000000  
**Request:** P00000d D0000000 000P0r0 0M0d00000000  
**Location:** 0000 R000 0r0000  
**Parcel(s):** 00000000000000  
**Staff Contact:** 000000 0r00d0Pr000000P0000r0000000000000000  
[0r00d00 00000 000000](#)

### Property Owner

N00 00R00000Tr0000V 00 00M0r0  
R00000000 Tr0000  
Addr0000P 00 000 0000 00000000000000  
AR 000000

### Applicant

N00 00A0r0000r0r0r0  
00 0000 0r0  
Addr0000000000 0 T000 00d C0000r0  
R00d000000 000  
0r000000CA 000000

**Recommendation:** C00d00000 000000 000r000 00d 0000 0000000000 000r000 000 P00000d D0000000 000P0r0 0M0d00000000 0r 00 000r0000 00000 00000 0000r0 0000000d000 0dd0000 00 000 0 00 0r0r000000000r 0000000 R0000 0r00000PD0V0000000000000000d 00 000 00d0000 0000d0d 00 000r000r00000000000 A00 000d 000000000 000 0000000d 000d00000 00000r000000 0C00d000000 0000000

**Project Summary:** T00 0r00000d 0r00000 0000000000 000 P00000d D0000000 000P0r0 0M0d0000000 00 0000 00 000r0000 00000 00000 0000r0 0000000d000 0dd0000 00 000000 0 0d0000 000000 0r000r0 0000000 00000000 0r 000 0 000 0r0 00 000 0r00000 00000 00000 00 0000 00 000r000000 000r00000 000000 0r000r0 0000000 0r00d 0 0000000 0r0d 0r00000 0000000 00000 00000 0r0000000000 000d0000T00 000000 0r00 0 00d 00r0000000d 00 000 00000000000r00r 00000 0000 00d 0000d0 000 000 000d000 0r00 00d 0r00000d 0r00000 00d 0000000 0r0000 00d 000000 0r000

### Table of Contents/Attachments:

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## ATTACHMENT 1 DESCRIPTION/SUMMARY ANALYSIS

### APPLICANT'S PROPOSAL

This proposal is intended to provide a description of the proposed project. The project is a... [The following text is a placeholder for the applicant's proposal, which is mostly illegible in the provided image.]

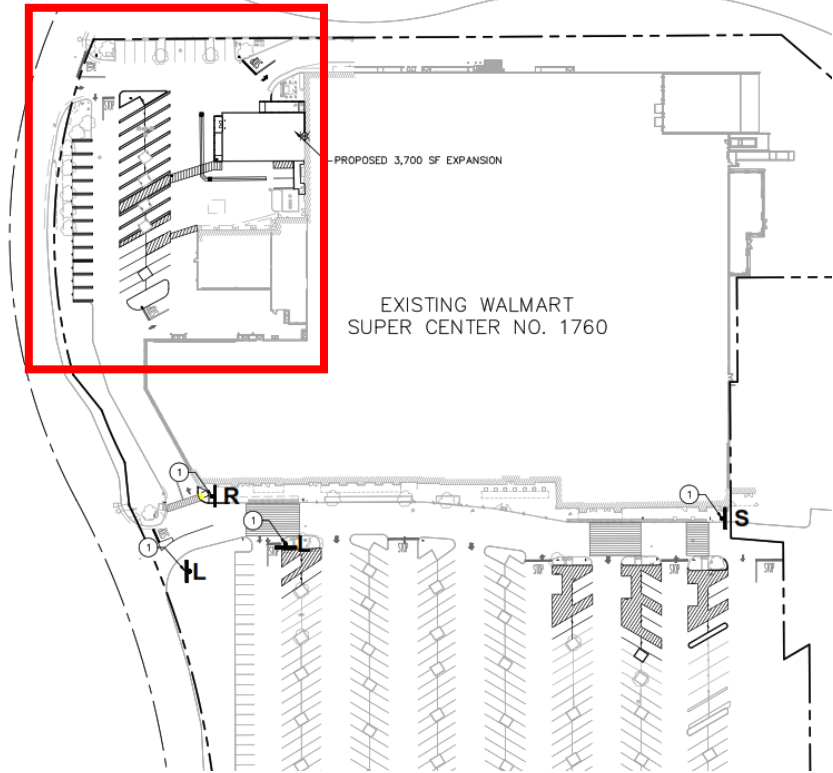
This proposal is intended to provide a description of the proposed project. The project is a... [The following text is a placeholder for the applicant's proposal, which is mostly illegible in the provided image.]

V... C... [The following text is a placeholder for the applicant's proposal, which is mostly illegible in the provided image.]

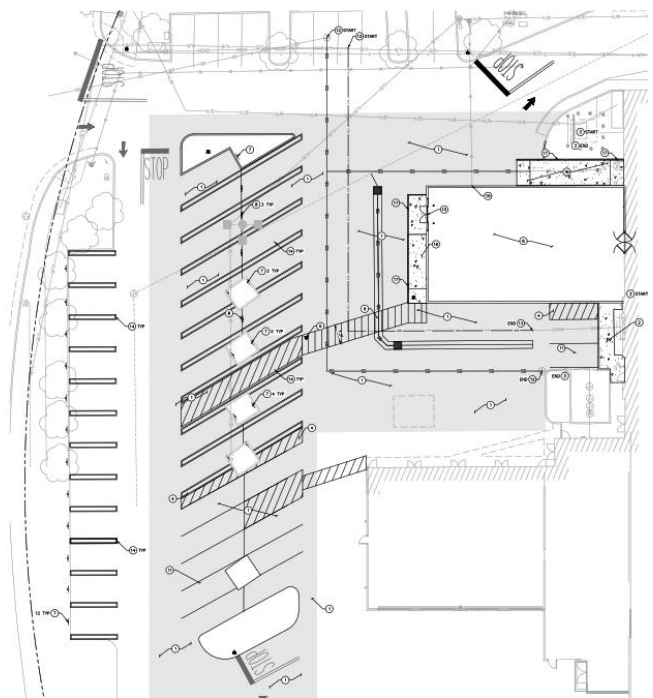
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### SUMMARY ANALYSIS

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D... PD... N... PN ...  
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... d... r...

... C... P... D...  
Pr... M... r... C...  
... A... N... C... r...  
C...

## ATTACHMENT 2 DETAILED ANALYSIS

### BACKGROUND

... P... C... T... P... M...  
P... D... PD... P... C... P... V...  
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... A PD P... M... C...  
... P... C... PN ... A ... PD P...  
M...  
... PN ... T...  
... D... R...  
... PN ...

### GENERAL PLAN DESIGNATION

CC ... C... C...  
... M...

### ZONING

C... PD... C... P...  
D...

### ADJACENT LAND USES/ZONING

N... R... P...  
... C... D...  
... PD...  
... Dr...  
R... D... C...  
PD...  
... Dr...  
R... D... R... M...  
... C... PD...  
... C...  
... C... D... C... PD...  
... Dr...  
...

### SITE CHARACTERISTICS

T... r...  
... d...  
T... d...  
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... dr...  
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... T... r... r...  
d... d...  
... d... r...

**APPLICABLE CODES**

- MC C... C... r...
- MC C... P... D...
- MC C... P... R...
- MC C...

**POLICY/RULE**

T... C... P...  
D... M... C... MC... P...  
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- The project's compliance with the intent and purposes of this chapter, the
- The project's consistency with the objectives, policies and requirements of the
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### General Plan and Zoning Consistency

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- D... r... MC C... r ... o ... d... d ... m ... d...  
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... M... C...

### Land Use Compatibility/Site Considerations

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P... D... T... r... d... o ... r... o ... r...  
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### ENVIRONMENTAL REVIEW

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### RECOMMENDATION

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### **PLANNING COMMISSION ACTION**

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...d... .. A... ..d ... ..d... ..d... ..d... ..d... ..  
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### **GENERAL FINDINGS**

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T... APP...A... ..D...V... ..P...M...T ...T...AND...R...D... AND A... ..CI...T...D...  
R... ..IR...M...T... ..IN T... ..N... ..C...D...

### **CEQA FINDINGS**

- C... T... PR...CT IS C...T... ..R...C... ..Y ... ..M...P...T ...R...M ...N...V... ..R...M... ..T...A...  
R...V... ..ND...R ... ..C...T... ..I...N ... ..N... ..C...N... ..T...R... ..C...T... ..I...N ...  
... ..M... ..T...R... ..C...T... ..R... ..T... ..C... ..A... ..R...N... ..A... ..N... ..V... ..R...M... ..T...A... .. ..A... ..T...Y...  
A...T... ..C... ..A... .. ..I... ..D... .. ..I... ..N... ..
- D... T... C...M... ..A... ..T... ..I...M...P... ..C... ..I...V... .. PR... ..C...T... .. .. T... .. ..A... ..M...  
T... ..Y... ..IN T... .. ..A... ..P... ..A... ..C... ..V... ..R... ..T... ..I... .. ..N... ..T... .. ..I... .. ..N... ..I... ..C... ..A... ..T... ..I... ..C... ..A... ..
- ... N... ..N... ..R... ..A... ..C... ..R... ..C... ..M... ..T... ..A... ..C... .. ..I... ..T... ..T... ..D... ..I... ..T... ..I... .. ..I... ..T... .. PR... ..P... .. ..D...  
PR... ..C... ..T... ..R... .. ..I... ..N... ..T... .. .. ..M... ..P... ..T... ..C... ..A... ..

### **PLANNED DEVELOPMENT PERMIT MODIFICATION FINDINGS**

- ... T... PR... ..D... PR... ..C... ..T... ..C... ..M... ..P... .. ..I... ..T... .. ..N... ..T... .. AND P... ..R... .. ..  
... ..C... ..A... ..P... ..T... ..R... .. ..P... .. ..A... ..N... ..D... .. ..D... .. ..V... .. ..P... .. ..M... ..T... .. ..D... ..I... ..T... ..R... .. ..I... ..T... .. .. ..M...  
M... ..N... ..C... ..I... ..C... ..D... ..T... .. APP... ..A... .. ..R... ..D... ..I... ..N... ..C... .. ..T... ..T... ..C... ..I... .. AND T... ..  
... ..N... ..R... ..P... ..A... ..
- ... T... PR... ..D... PR... ..C... ..T... ..I... ..C... ..N... ..T... .. ..I... ..T... .. .. ..C... ..T... ..I... ..  
P... ..I... .. AND R... .. ..I... ..R... ..M... ..T... .. ..T... .. ..D... .. ..V... .. ..P... .. ..M... ..T... .. ..D... .. ..T... ..AND... ..R... ..D... ..  
T... ..C... ..I... ..
- ... T... P... ..Y... ..I... ..C... .. ..N... ..C... ..T... ..I... .. ..A... ..C... ..M... ..P... ..A... ..T... ..I... ..T... .. ..I... .. ..N... ..T... ..  
PR... ..P... .. ..D... .. PR... ..C... ..T... .. AND ... ..I... ..T... .. ..I... .. AND ... ..T... ..R... .. ..A... ..C... .. ..A... ..C... .. ..T... ..  
.. ..A... ..C... .. ..A... ..R... .. ..C... .. ..T... ..R... ..I... ..T... ..I... ..C... ..I... .. ..A... ..C... ..P... ..T... ..A... ..

- I... T... AR... AVAI... N... P... ACI... INC... NOT... AT... R... DRAIN... TO... R... DEV... PM... T... PR... IT... IN A MANNER... IT... T... PR... AND T... PR... PR... A... MAD... AD... AT... PR... R... T... RNI... T... ACI...
- ... A... PR... T... A CAT... RICA... MPTION... T... PR... PR... IT... NOT CA... ADV... ENVIR... NMENTA... IMPACT...
- ... T... PR... PR... IT... NOT CA... NACC... TA... V... IC... AR... TRA... IC... V... ON... RR... NDIN... ROAD... AY... AND T... PR... PR... IT... PR... AD... AT... INT... NA... TRA... IC... CIRC... ATION... INC... DIN... IN... R... AND... R...
- ... T... PR... PR... IT... NOT... D... TRIM... NTA... T... T... A... T... A... TY... AND... N... RA... R... AR... R... T... P... R... ON... R... PR... O... P... R... TY... IT... IN... T... VICINITY... T... PR... IT... AND T... CITY... A... A... ..
- M... AD... AT... PR... VI... ON... I... MAD... R... T... RNI... IN... R... ANITATION... R... VIC... AND... M... R... NCY... P... IC... A... TY... R... VIC... T... T... DEV... PM...

**DESIGN REVIEW FINDINGS**

- N... T... PR... CT... COMP... IT... T... N... RA... P... AN... AND... APP... CA... R... R... IR... M... ENT... IN... T... NIN... C... D...
- ... T... I... DIN... MAT... RIA... T... T... R... AND... C... R... R... IN... T... PR... PR... AR... COMPAT... IT... RR... NDIN... DEV... PM... AND... R... CON... IT... T... N... RA... D... I... N... T... M... T... NI... R...

# ATTACHMENT 3

## Conditions of Approval

**CONDITIONS OF APPROVAL FOR  
 WALMART ADDITION  
 (PDEV24-00143)**

Cond No.	Mitigation Measure	<b>GENERAL REQUIREMENTS</b>	When Reqd.	Responsible Department
1.		<p>             The applicant shall provide a detailed description of the proposed project and its location, including a site plan and a description of the proposed improvements. The applicant shall also provide a detailed description of the proposed project's impact on the surrounding environment and the community.           </p> <p>             The applicant shall provide a detailed description of the proposed project's impact on the surrounding environment and the community. The applicant shall also provide a detailed description of the proposed project's impact on the surrounding environment and the community.           </p>	<input type="checkbox"/>	CD (P)
2.		<p>             The applicant shall provide a detailed description of the proposed project and its location, including a site plan and a description of the proposed improvements. The applicant shall also provide a detailed description of the proposed project's impact on the surrounding environment and the community.           </p>	<input type="checkbox"/>	CD (P)
3.		<p>             The applicant shall provide a detailed description of the proposed project and its location, including a site plan and a description of the proposed improvements. The applicant shall also provide a detailed description of the proposed project's impact on the surrounding environment and the community.           </p> <p>             The applicant shall provide a detailed description of the proposed project's impact on the surrounding environment and the community. The applicant shall also provide a detailed description of the proposed project's impact on the surrounding environment and the community.           </p>	<input type="checkbox"/>	CD (P)

4.		<p>T... ..</p> <ul style="list-style-type: none"> <li>• The City bears its own attorney’s fees and costs; and</li> <li>• T... C... ..</li> </ul> <p>T... ..</p>	□ □	CD P... P... PR... PD
<b>DEVELOPMENT COSTS AND FEE REQUIREMENTS</b>				
6.		T... ..	I □	CD P...
7.		I... ..	□	CD ...





12.		Pr CD Add V		CD
13.		P CD Add V Standard Construction Specifications Design and Procedures Manual and Improvement Standards	I	CD IP
14.		T CD Add V Standard Construction Specification Design and Procedures Manual and Improvement Standards	I	CD
15.		T CD Add V		CD
16.		CD Add V		CD
17.		T CD Add V M D P	I	CD IP
18.		T CD Add V D		CD

19.		... ... ... C... ...	...	CD ...
20.		T... ... ... <u>Standard Construction Specifications</u> ...	I	CD ...
21.		A... ... ... C... ...	I	CD ...
22.		... C... D... ... ... ... ... ... C... D...	I...	CD IP
23.		... ... ...	...	CD ...
24.		T... Pr... Pr... A... ... C... ... R...	...	CD ...
25.		T... Partnership's Stormwater Quality Design Manual with respect to treatment controls including full ...	...	CD ...

26.		Pr... m... d... R... P... ... ...	<input type="checkbox"/>	CD
<b>STORM WATER POLLUTION/CLEAN WATER ACT REQUIREMENTS</b>				
27.		T... r... ... ...	<input type="checkbox"/>	CD
28.		The storm drain swale or onsite improvement plans shall provide for “Best Management Practices” that meet the requirements of the water quality standards of the City’s National Pollutant Discharge ... ... ...	<input type="checkbox"/>	CD
29.		... ... ... ... ...	<input type="checkbox"/>	CD
30.		Pr... R... C... P... D... A... ... ... ... ... ...	<input type="checkbox"/>	CD P
<b>LANDSCAPE/TREE PRESERVATION REQUIREMENTS</b>				

P 0000000 C 00 0 0000000  
 0 000 0rAdd 00000 PD0V 00000000000  
 00000 000000000

31.		<p>T 000 00 00r 0000000000000000000000 r 000000000000 00r 00000000 00d 0000000 0 000000000000 00r 000000000000000000 000 00      000 0r 00000000 000 000000000000 000000 C 000 0 00000 D 0000000000 0000 D 0000r 0000 V 000000000000 0r 0000000000      000000000000 0000 0000 0000d 0000000d 00 000 0000000d 000000 000000000000 0000 000000 0000r 0000d 00      000 C 000 0 00000 D 00000000 0000 D 0000r 0000 000000000000 000 00000000 0000 000000 0000 0000 0000 0000      00000r 00 0000 0 0000r 00 T 000 0000000d 00000000 000000 00000000 00d 0000d 00 0000r 00r 0000 0 0r 0000000      0000000 0000000 000000000000r 000000000d 0r 0000d 0000r 00 000 000000000000 00000 C 000 0 00000 D 00000000 0000      D 0000r 0000 0000</p>	0 0 0 0	CD 0P 00000
32.		<p>R 000 0000000000 00r 0000 000000d 000 000 00r 00000000 0r 0000000000000000000 0000000000 000 0000 00r 00 00      00d 0 00000000r 0000r 0000 0000000d 00 0000000 M 000000000 C 00d 0 C 00000r 00000- Tr 000      Pr 000r 0000000 A 0r 00r 00r 0000r 0000 00 0r 0r 0000r 00000 0 000 000 I 000r 000000000000000000 00      Ar 000r 00000r 0 00d 0 0000 0000 0000 0000 0000 0000 0000 0000 0000 0000 0000 0000 0000 0000 0000      00000000 0000 00 000 0000 0000 0000 Tr 000 000 0 000000 00000d 0r 0r 00 0r 0 000000 0 0000      0000 0000d 000 0r 0000 0 0r 000 0000 000 00r 000 0000000</p>	0 0 0	CD 00 00
33.		<p>0000d 000000 00000r 0 00000 0000 R 0000 0 000000r 0000000000000000000 r 000000000d 0 000 000 00r 0000 000      0000d 0000 00000 0000 0r 0000000 00000 0000 0000 d 000d 000d 000r 0000000 00000 0000 000 000r 000000 00      d 000r 000d 00 000 0r 0000 00r 0000r T 000 r 00000000 00000r 0000 000000d 000 00000 0000000 000000      0000d 00 000 000000 M 0000r Tr 000 000000000000 0000 0 0000 00 000000000 000000r 00000d 0000000      000000 0 00 000 0000 00 00r 00000000 0000d 0000 0000 000000 0000000000000000000 r 000000 000d 000r 000000      00 000 CDD 0R 000000000 0000r 000000 0000000d 000000 0000 00 0 000r 0000000000 000000000r 00 000      C 0r 00000000 0000 000000000000</p>	0 0 0	CD 00 00
<b>AIR QUALITY REQUIREMENTS</b>				
34.		<p>I 0 000 000000 000 R 000 000 00 000 000r 00 000 M 0r 000000000 Air 0 00000 M 00000000 000 D 00r 0000      00 MA 0 MD 000000 000000000d 0000000r 000000 0r 000000000000000000 0 000 MA 0 MD 00 00r 000 00r 00000d      0000r 000000 000000000000 00r 000000000 00 0000000 00 000000 00 0000 00 00000r 0r 000d 00000 0r 000000000      T 000 0000000d 0000000r 000000000 000 0000 000 000000d 00r 00r 0r 000d 0 00d 00000 00000 0000 00r 000      000r 00000d</p>	0 0 0 0	CD 0P 000000
35.		<p>I 0 000 000000 000 R 000 000 00 000 MA 0 MD 000 00000000d 0000000r 00 000 0r 00000 0000 000      0r 0000000r 00000000000000000 00000000 00 0 000 000 0000000 0r 00000 0000 0000d 0000000000 00 0000000d 00 000      0000r 0r 0000</p>	0 0 0 0	CD 0P 000000

36.		<p>D        A        P        V</p>	I	CD P
37.		<p>P        I        C        P        V</p>	I	CD P
38.		<p>C        P        V</p>	I	CD P

39.		<p>C      MA      MD      T</p> <ul style="list-style-type: none"> <li>•</li> <li>•</li> <li>•</li> <li>•</li> <li>•</li> <li>•</li> <li>•</li> </ul>	<p>CD</p>	<p>CD</p>
40.		<p>A      C      P      R</p>		
41.		<p>A</p>		







48.		<p>T... P... D... rd...  <ul style="list-style-type: none"> <li>A ...</li> <li>...</li> </ul> </p>	...	PD
<b>FIRE DEPARTMENT REQUIREMENTS</b>				
49.		T... d... dd... dr... M...	I	D
50.		Pr... C... D... d... dr... M...	I	D
51.		A... d... d... A... issued. The fire sprinkler riser location shall be inside a Fire Control Room (5' X 7' minimum) with a sized 3'0" door. This room can be shared with other building ut... T... r... ...	I	D
52.		A... 6" of compacted AB from May 1 to September 30 and 2" AC over 6" AB from October 1 to April 30.	I	D
<b>ENVIRONMENTAL AND WATER RESOURCE REQUIREMENTS</b>				
53.		T... M... C... ...	I	RCD
<b>MISCELLANEOUS REQUIREMENTS</b>				

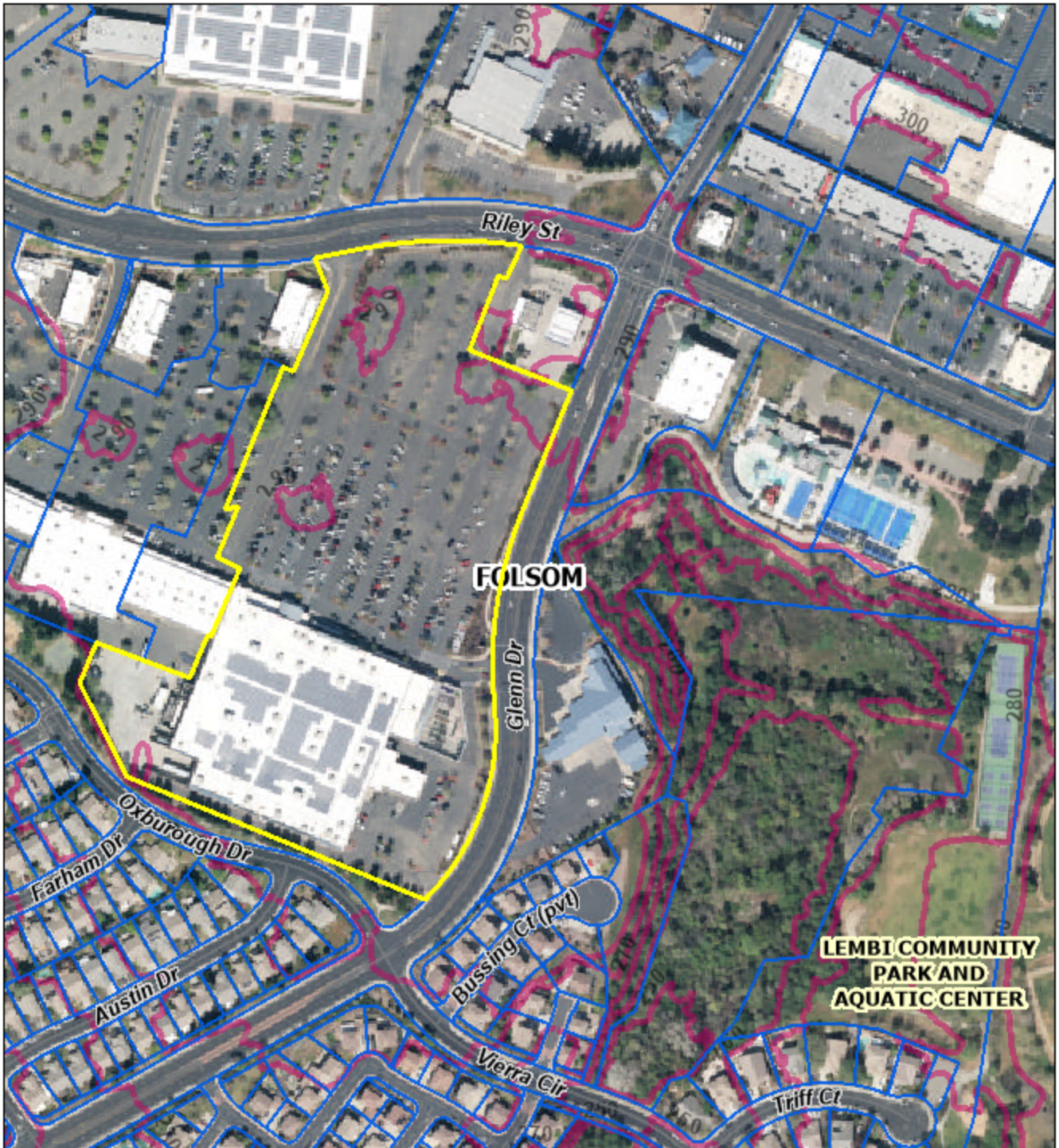
54.		T... .. ... .. ... ..	...	CD (P)
55.		T... .. ... .. ... ..	I	CD (P)
56.		... .. ... .. ... .. The applicant shall either use the City of Folsom or one of the City's ... ..	...	CD (P)

RESPONSIBLE DEPARTMENT		WHEN REQUIRED	
CD	Community Development Department	I	Prior to approval of Improvement Plans
(P)	Planning Division	M	Prior to approval of Final Map
(E)	Engineering Division	B	Prior to issuance of first Building Permit
(B)	Building Division	O	Prior to approval of Occupancy Permit
(F)	Fire Division	G	Prior to issuance of Grading Permit
PW	Public Works Department	DC	During construction
PR	Park and Recreation Department	OG	On-going requirement
PD	Police Department		
FD	Fire Department		

P████████ C██ █ █████  
█ ███ █rAdd█████ fPD█V██████████  
█████ ████████

## Attachment 4 Vicinity Map

# VICINITY MAP



1" = 298'



P  
C  
Add  
PD  
V

## Attachment 5 Planning Review Set



DIRECTIONAL SIGN SCHEDULE		
ARROW	NUMBER	MOUNTING TYPE
Directional Left	4	Pole
Directional Right	3	Pole
Directional Straight	1	Pole

**SIGNAGE LEGEND**

DIRECTIONAL SIGN SIGN ARROW DIRECTION  
 L-LEFT  
 R-RIGHT  
 S-STRAIGHT

**SHEET NOTES**

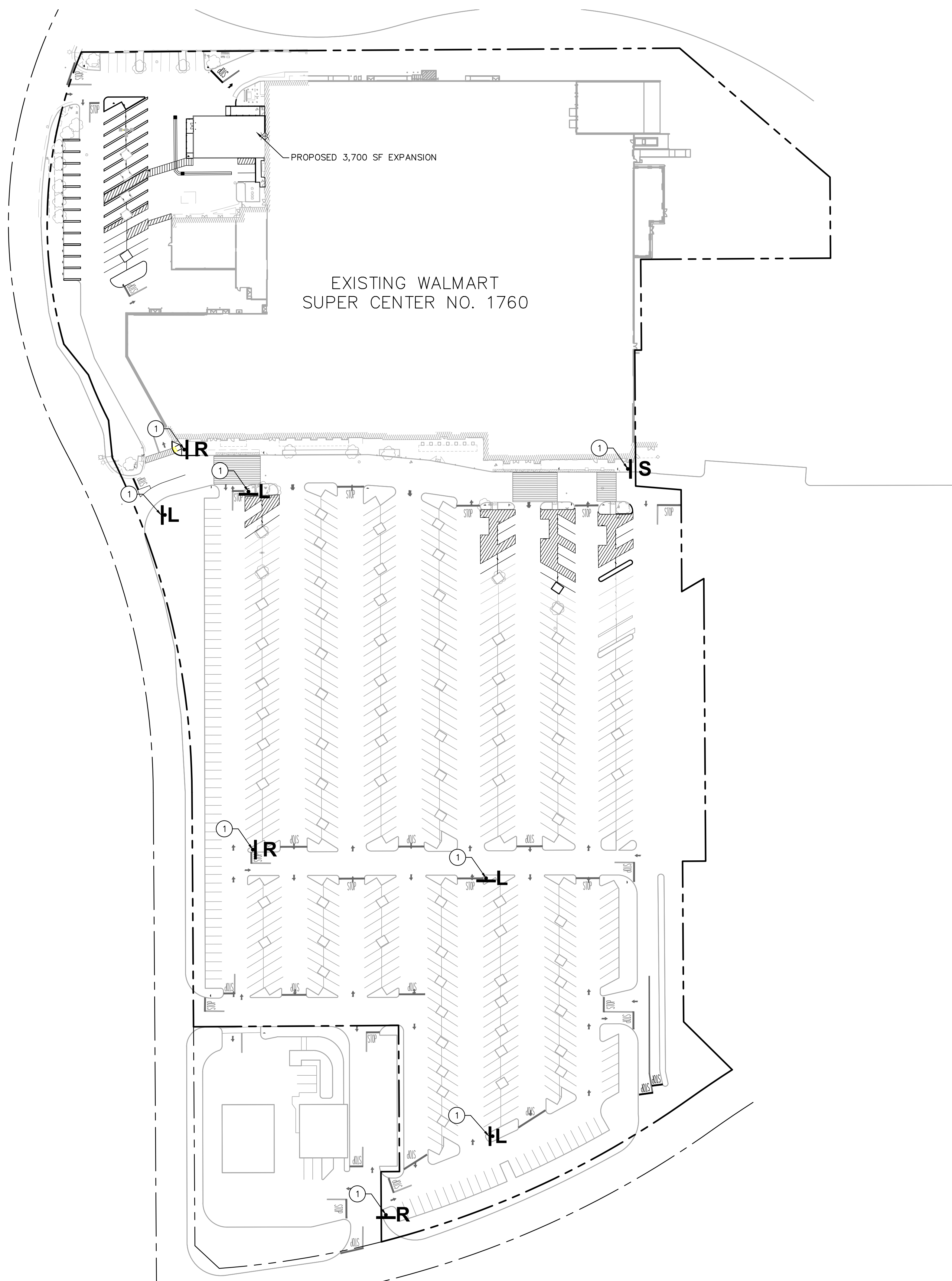
1 ON PROJECTS WHERE PICKUP IS IN OPERATION AND PICKUP SIGNAGE EXISTS ON SITE. VERIFY THAT SIGN LOCATIONS MATCH THE NEW PROPOSED SIGN LOCATIONS SHOWN IN THIS SET. REMOVE ANY EXISTING PICKUP SIGNS THAT DO NOT MATCH THE SIGN TYPES AND LOCATIONS PROVIDED IN THIS SET. CONSULT WITH WM CONSTRUCTION MANAGER PRIOR TO REMOVING EXISTING PICKUP SIGNAGE. PATCH AND REPAIR PAVEMENT TO MATCH EXISTING AND PROVIDE FLUSH WITH EXISTING TOP OF PAVEMENT.

**LEGEND**

— PROPERTY LINE  
 --- EXISTING EASEMENT

**CONSTRUCTION NOTES**

1 INSTALL DIRECTIONAL PICKUP SIGN ON POST PER DETAIL 1 AND 2. SHEET C10.0.



**OVERALL SITE PLAN**  
 SCALE: 1" = 60'

PARKING INFORMATION										
WALMART BUILDING INFO		AHJ PARKING REQUIRED	WALMART PARKING REQUIRED	REGULAR PARKING STALLS PROVIDED	OGP PARKING STALLS PROVIDED	ADA PARKING STALLS PROVIDED	CART CORRAL STALLS PROVIDED	TOTAL STALLS PROVIDED	TOTAL AHJ PARKING RATIO	TOTAL WALMART PARKING RATIO
WALMART BUILDING	BUILDING SF <sup>1</sup>	SPACES	SPACES	SPACES <sup>2,3</sup>	SPACES <sup>2,3</sup>	SPACES <sup>2,3</sup>	SPACES <sup>2,3</sup>	SPACES <sup>2,3</sup>	SPACES <sup>3</sup>	SPACES <sup>3</sup>
EXISTING	153,342 SF	614 SPACES 4.00/1,000 SF	614 SPACES 4.00/1,000 SF	769	10	22	20	801	5.22/1,000 SF	5.22/1,000 SF
PROPOSED	157,042 SF	629 SPACES 4.00/1,000 SF	629 SPACES 4.00/1,000 SF	720	29	21	20	770	4.90/1,000 SF	4.90/1,000 SF

**PARKING INFORMATION NOTES:**  
 1. USABLE FLOOR AREA IS PER INFORMATION SHOWN IN THE WALMART STORE PLANNING PROJECT MANAGEMENT APPLICATION SYSTEM (LUCERNEX).  
 2. EXISTING PARKING COUNTS ARE BASED ON ORIGINAL CONSTRUCTION PLANS AND A REVIEW OF AVAILABLE AERIAL PHOTOGRAPHS.  
 3. PARKING SPACES OCCUPIED BY CART CORRALS HAVE BEEN EXCLUDED FROM THE PARKING COUNTS AND PARKING RATIOS.

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CONSULTANTS

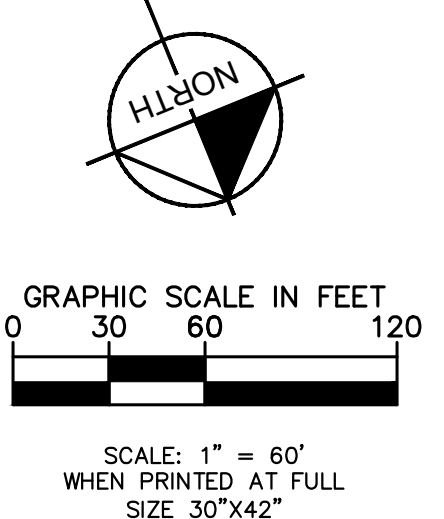
Kimley-Horn  
 CONSULTANTS

Walmart  
 FOLSOM, CA  
 10118 RILEY ST  
 STORE NO. 1760 - 276

JOB NUMBER: 39970 | PROTO: 150

**ISSUE BLOCK**

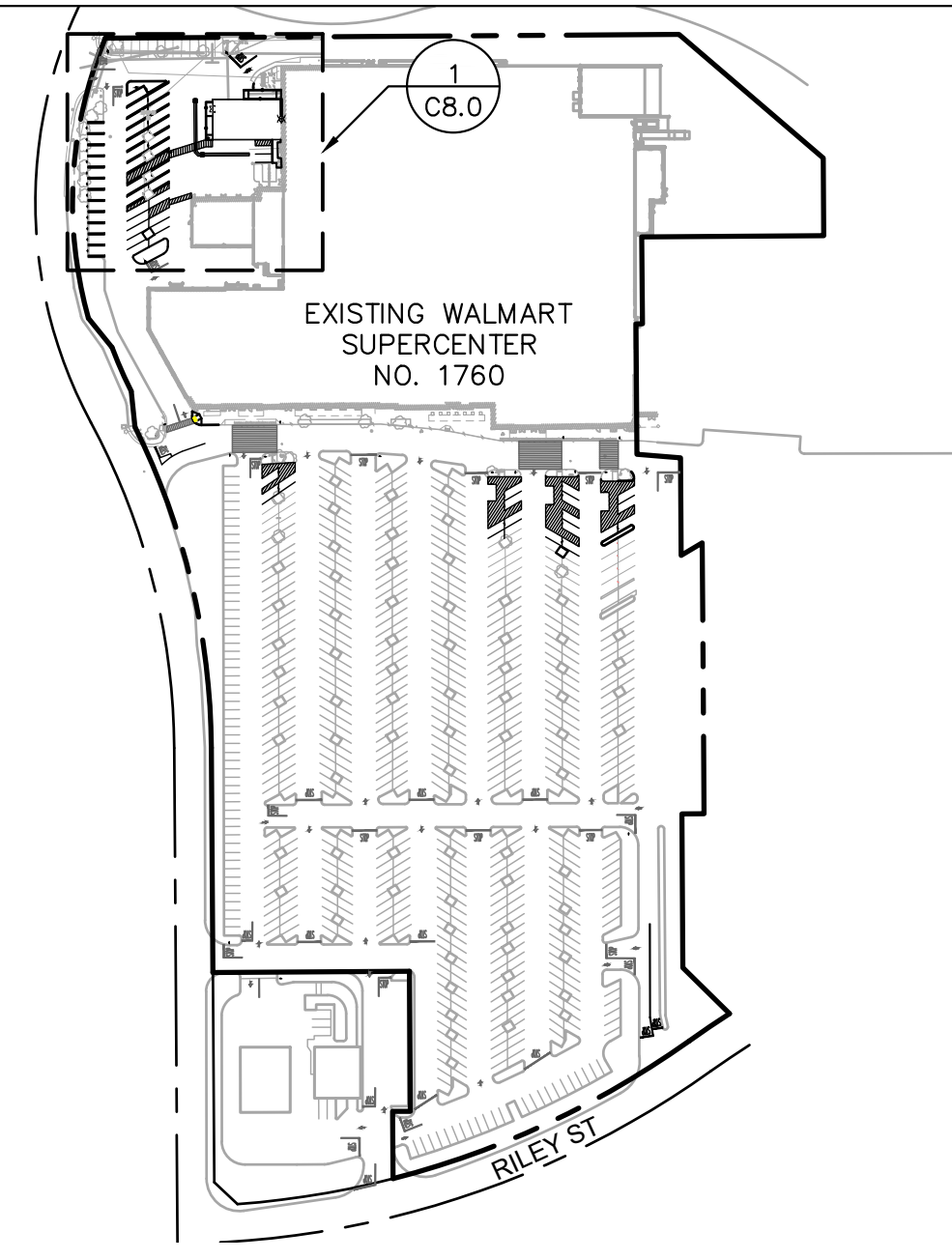

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 DRAWN BY: CV  
 PROTO CYCLE: 01/26/24  
 DOCUMENT DATE: 04/08/24



OVERALL SITE PLAN

SHEET: **C6.0**





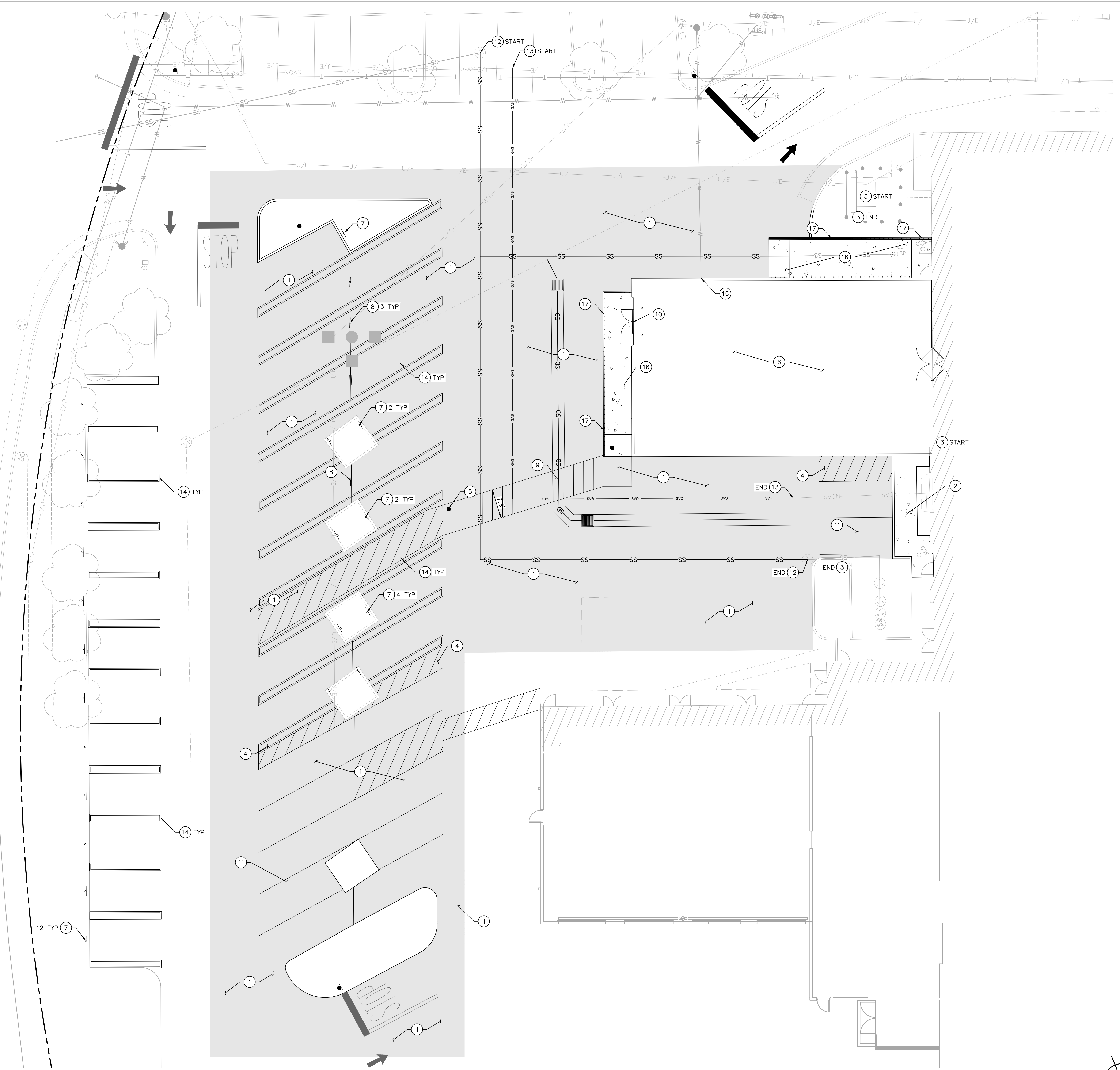
INDEX MAP  
SCALE: 1" = 200'

**LEGEND**

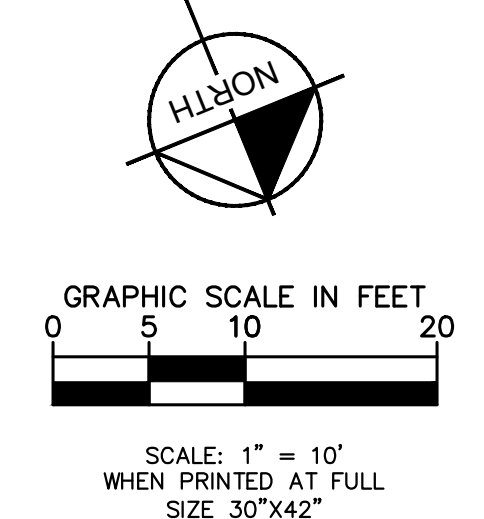
- PROPERTY LINE
- - - - - EXISTING EASEMENT
- - - - - SAWCUT LINE
- SD- EXISTING STORM DRAIN LINE TO REMAIN
- W- EXISTING WATER LINE TO REMAIN
- FW- EXISTING FIRE WATER LINE TO REMAIN
- SS- PROPOSED SANITARY SEWER LINE
- SS- EXISTING SANITARY SEWER LINE TO REMAIN
- U/E- EXISTING UNDERGROUND ELECTRIC LINE TO REMAIN
- T- EXISTING TELECOMMUNICATIONS LINE TO REMAIN
- O/E- EXISTING OVERHEAD ELECTRIC LINE TO REMAIN
- [Hatched Box] ASPHALT PAVEMENT. REFER TO DETAIL ON SHEET C10.0
- [Dotted Box] CONCRETE PAVEMENT. REFER TO DETAIL ON SHEET C10.0
- [Plant Symbols] LANDSCAPING

**CONSTRUCTION NOTES**

1. PROPOSED ASPHALT PAVEMENT PER DETAIL ON SHEET C10.0.
2. PROPOSED CONCRETE SIDEWALK PER DETAIL ON SHEET 10.0.
3. PROPOSED CONCRETE CURB PER DETAIL ON SHEET C10.0. HEIGHT PER GRADING AND DRAINAGE PLAN SHEET C9.0.
4. PROPOSED WHITE 4" STRIPE, 60 DEGREES, SPACES AT 36" O.C.
5. INSTALL "STOP HERE FOR PEDESTRIANS" SIGN ON POST AND BOLLARD PER DETAIL ON SHEET C10.0. AND "SIGN MOUNTING AND BASE" ON SHEET C18.0.
6. PROPOSED BUILDING EXPANSION. REFER TO ARCHITECTURAL PLANS FOR MORE INFORMATION.
7. INSTALL PICKUP SIGN ON POST PER DETAILS ON SHEET C10.0.
8. INSTALL DUAL PICKUP SIGN ON POST AND BOLLARD PER DETAILS ON SHEET C10.0.
9. PROPOSED ASSOCIATE PATH-OF-TRAVEL PER DETAIL ON SHEET C10.0.
10. PROPOSED PICKUP DOOR. REFER TO ARCHITECTURAL PLANS FOR MORE INFORMATION.
11. PROPOSED REGULAR PARKING STALL STRIPING TO MATCH EXISTING.
12. PROPOSED SEWER LINE TO TIE INTO EXISTING MANHOLE.
13. PROPOSED GAS LINE TO TIE INTO EXISTING.
14. STRIPE PICKUP PARKING PER DETAIL ON SHEET C10.0.
15. NEW PROPOSED POINT OF CONNECTION FOR DOMESTIC WATER LINE. REFER TO MEP PLAN FOR MORE INFORMATION.
16. PROPOSED RAMP. REFER TO ARCHITECTURAL PLANS FOR MORE INFORMATION.
17. PROPOSED HANDRAILS. REFER TO ARCHITECTURAL PLANS FOR MORE INFORMATION.



**SITE PLAN**  
SCALE: 1" = 10'



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STORE NO. 1760 - Z16  
JOB NUMBER: 39970 | PROJECT: 150

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DOCUMENT DATE: 04/08/24

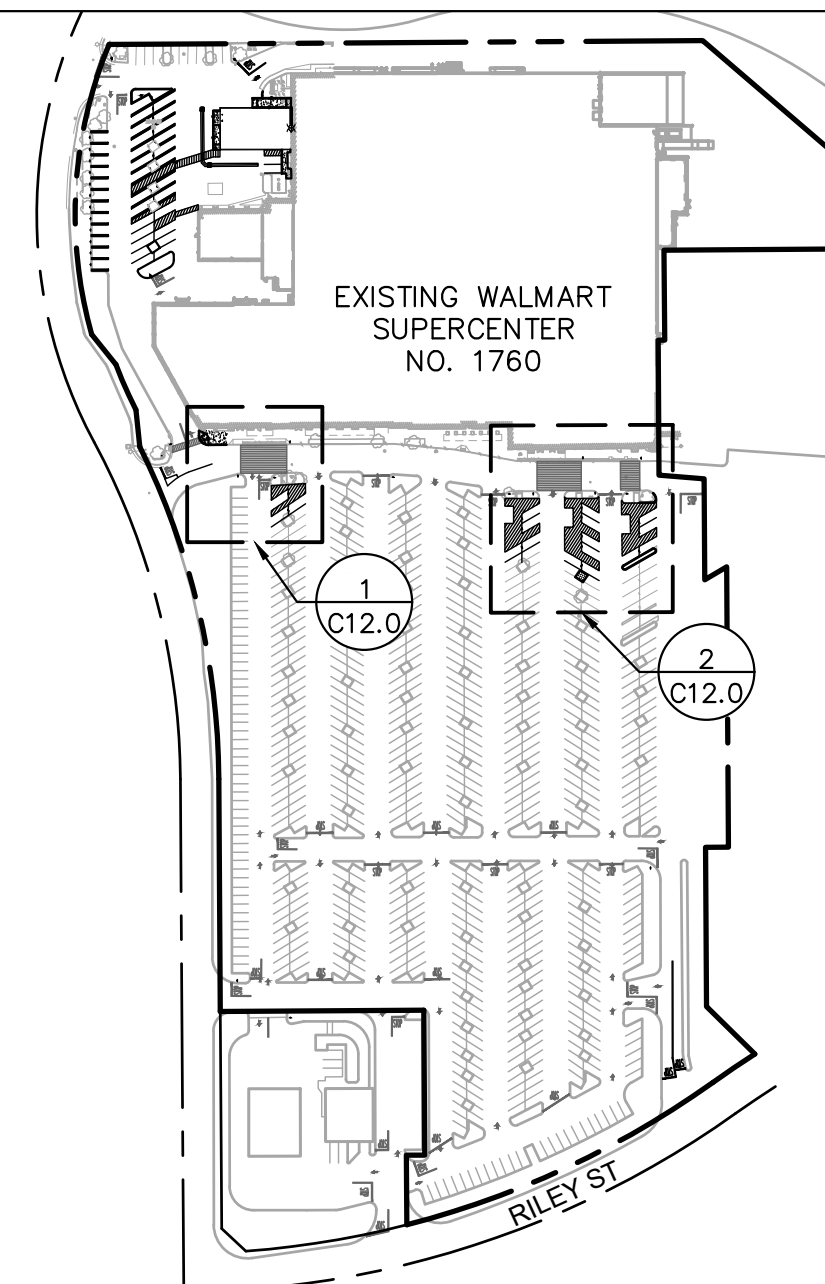


PICKUP 2.0 SITE PLAN  
SHEET: C8.0









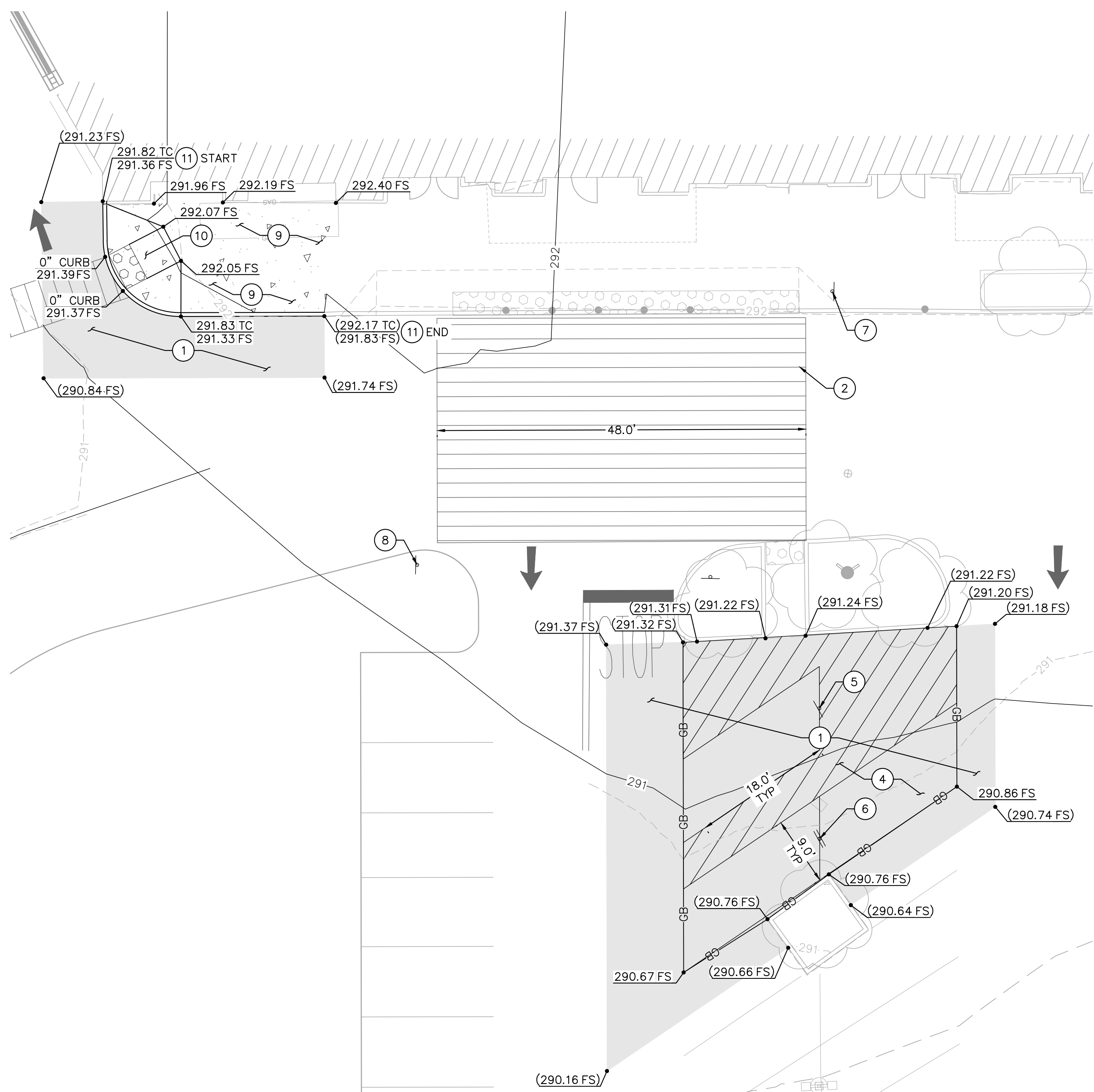
INDEX MAP  
SCALE: 1" = 200'

**LEGEND**

- PROPERTY LINE
- - - - EXISTING EASEMENT
- SAWCUT LINE
- ASPHALT PAVEMENT. REFER TO DETAIL ON SHEET C13.0
- CONCRETE PAVEMENT. REFER TO DETAIL ON SHEET C13.0
- LANDSCAPING
- GB --- GRADE BREAK LINE
- RL --- RIDGE LINE
- FL --- FLOW LINE
- - - 1252 - - - PROPOSED CONTOUR
- - - 1252 - - - EXISTING CONTOUR
- ▲ (1292.50 TC) (1292.00 FS) EXISTING ELEVATION
- ▲ (1292.50 TC) (1292.00 FS) PROPOSED ELEVATION
- FS FINISHED FLOOR ELEVATION
- FS FINISHED SURFACE
- TC TOP OF CURB
- FL FLOW LINE
- DR DOOR

**CONSTRUCTION NOTES**

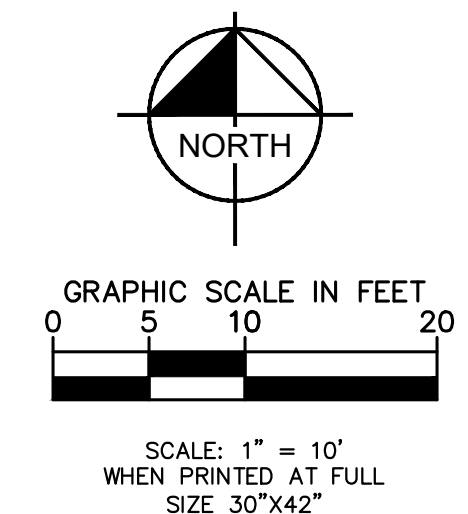
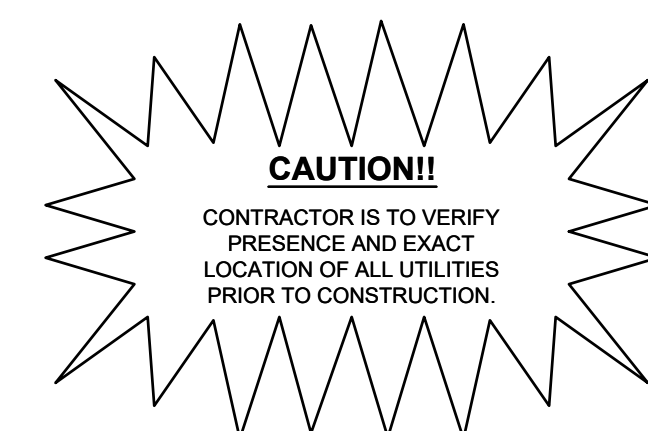
- 1 PROPOSED ASPHALT PAVEMENT PER DETAIL ON SHEET C13.0.
- 2 PROPOSED ACCESSIBLE PATH OF TRAVEL PER DETAIL ON SHEET C13.0.
- 3 PROPOSED PARKING STALL STRIPING TO MATCH EXISTING.
- 4 STRIPE ACCESSIBLE PARKING SPACES PER DETAIL ON SHEET C13.0. DIMENSIONS PER PLAN.
- 5 INSTALL ACCESSIBLE PARKING SIGN ON POST AND BOLLARD PER DETAIL ON SHEET C13.0 AND "SIGN MOUNTING AND BASE" ON SHEET C13.0.
- 6 INSTALL DUAL ACCESSIBLE PARKING SIGN ON POST AND BOLLARD PER DETAIL ON SHEET C13.0 AND "SIGN MOUNTING AND BASE" ON SHEET C13.0.
- 7 INSTALL "STOP HERE FOR PEDESTRIANS" SIGN ON POST AND BOLLARD PER DETAIL ON SHEET C13.0 AND "SIGN MOUNTING AND BASE" ON SHEET C13.0.
- 8 INSTALL "STOP HERE FOR PEDESTRIANS" SIGN ON POST PER DETAIL ON SHEET C13.0 AND "SIGN MOUNTING AND BASE" ON SHEET C13.0.
- 9 PROPOSED CONCRETE SIDEWALK.
- 10 PROPOSED CONCRETE CURB RAMP.



SITE PLAN 1  
SCALE: 1" = 10'



SITE PLAN 2  
SCALE: 1" = 10'



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**Walmart\***  
FOLSOM, CA  
1018 RILEY ST  
STORE NO. 1760 - 276  
JOB NUMBER: 30970 | PROJ: 150

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ADA SITE PLAN

SHEET: C12.0



# SHEET NOTES

1. ENSURE ALL EXISTING WALL STANDARDS AND HALF GONDOLAS TO REMAIN ARE SECURE TO WALL.
2. RELOCATE AND/OR INSTALL PREFABRICATED CASH WRAP(S) FOR CHECKOUTS AND SERVICE COUNTERS.
3. CAULK BASE TO FLOOR WHEN LOCATION IS FINALIZED.
4. ANCHORING OF UPRIGHTS TO BE PERFORMED BY GENERAL CONTRACTOR.
5. NOT USED.

# KEYNOTES

10.44 PROVIDE TACTILE "EXIT" SIGN, REF. N1.

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No. C-33169

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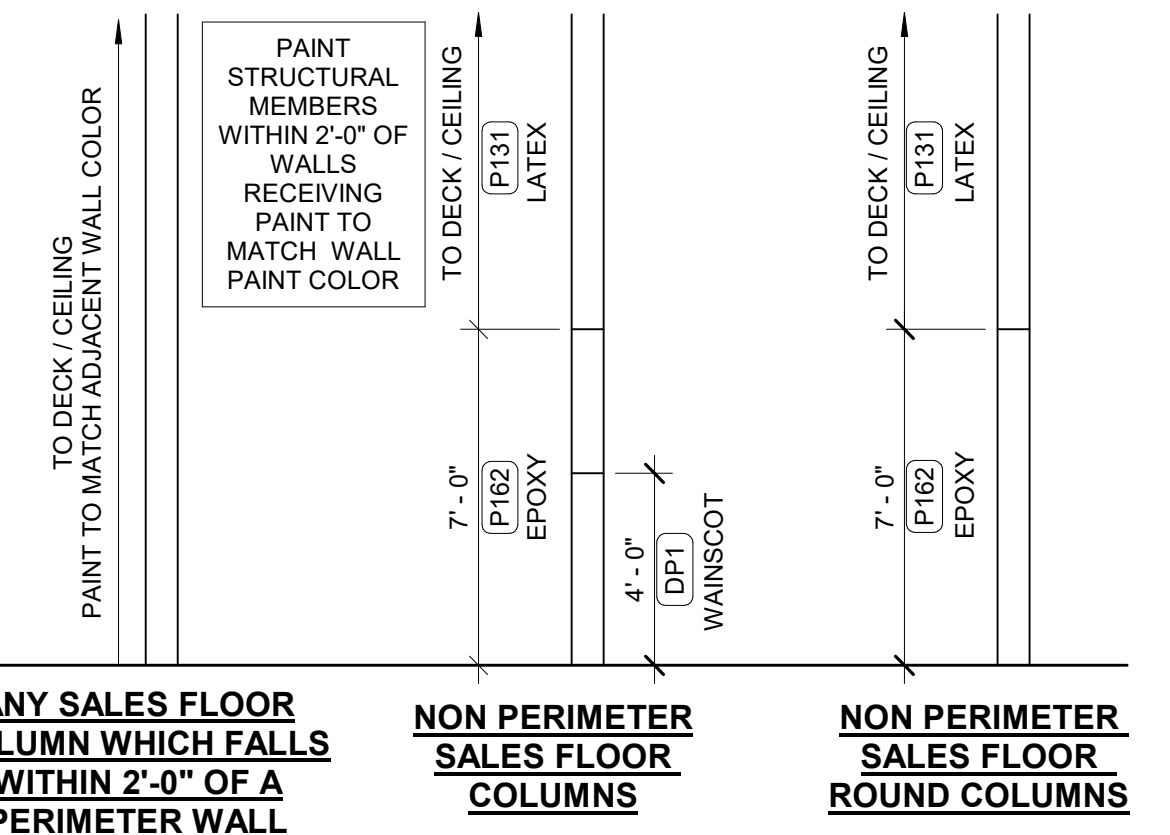
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1018 RILEY ST  
STORE NO. 01760276  
JOB NUMBER: 30970 | PROTO: 150

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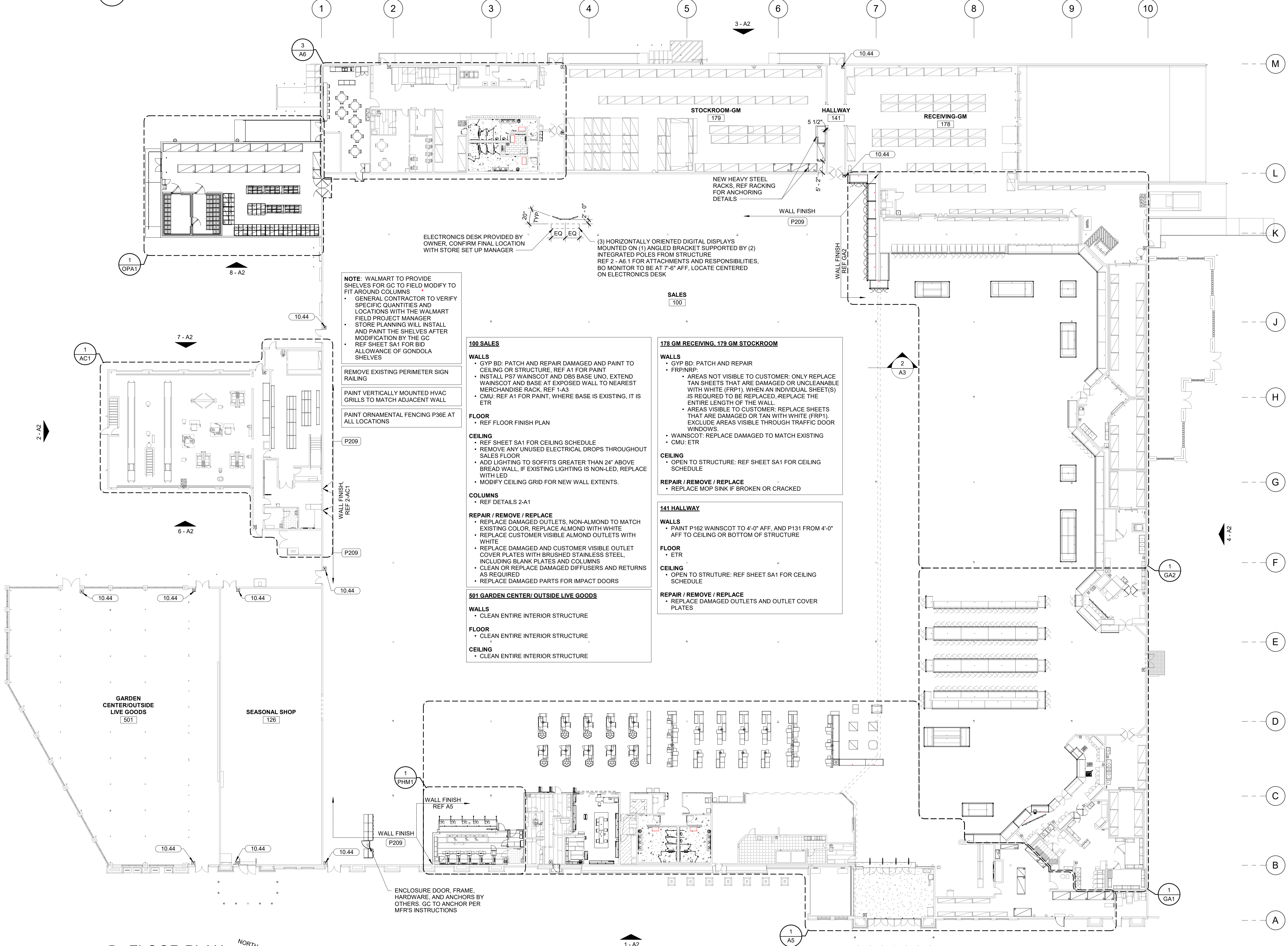
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DRAWN BY: DEJ  
PROTO CYCLE: 1/26/24  
DOCUMENT DATE: 4/8/24

James A. Lastovica  
ARCHITECT  
C-33169  
01/31/25  
1018 RILEY ST  
FOLSOM, CA 95756  
APR 17, 2024



## 2 COLUMN COLORS

1/4" = 1'-0"



## 1 FLOOR PLAN

1" = 20'-0"

### 100 SALES

- WALLS**
  - GYP BD: PATCH AND REPAIR DAMAGED AND PAINT TO CEILING OR STRUCTURE, REF A1 FOR PAINT
  - INSTALL PS7 WAINSCOT AND DBS BASE UNO, EXTEND WAINSCOT AND BASE AT EXPOSED WALL TO NEAREST MERCHANDISE RACK, REF 1-A3
  - CMU: REF A1 FOR PAINT, WHERE BASE IS EXISTING, IT IS ETR
- FLOOR**
  - REF FLOOR FINISH PLAN
- CEILING**
  - REF SHEET SA1 FOR CEILING SCHEDULE
  - REMOVE ANY UNUSED ELECTRICAL DROPS THROUGHOUT SALES FLOOR
  - ADD LIGHTING TO SOFFITS GREATER THAN 24" ABOVE BREAD WALL, IF EXISTING LIGHTING IS NON-LED, REPLACE WITH LED
  - MODIFY CEILING GRID FOR NEW WALL EXTENTS.
- COLUMNS**
  - REF DETAILS 2-A1
- REPAIR / REMOVE / REPLACE**
  - REPLACE DAMAGED OUTLETS, NON-ALMOND TO MATCH EXISTING COLOR, REPLACE ALMOND WITH WHITE
  - REPLACE CUSTOMER VISIBLE ALMOND OUTLETS WITH WHITE
  - REPLACE DAMAGED AND CUSTOMER VISIBLE OUTLET COVER PLATES WITH BRUSHED STAINLESS STEEL, INCLUDING BLANK PLATES AND COLUMNS
  - CLEAN OR REPLACE DAMAGED DIFFUSERS AND RETURNS AS REQUIRED
  - REPLACE DAMAGED PARTS FOR IMPACT DOORS

### 178 GM RECEIVING, 179 GM STOCKROOM

- WALLS**
  - GYP BD: PATCH AND REPAIR
  - FRP/NRP
    - AREAS NOT VISIBLE TO CUSTOMER: ONLY REPLACE TAN SHEETS THAT ARE DAMAGED OR UNCLEANABLE WITH WHITE (FRP1). WHEN AN INDIVIDUAL SHEET(S) IS REQUIRED TO BE REPLACED, REPLACE THE ENTIRE LENGTH OF THE WALL.
    - AREAS VISIBLE TO CUSTOMER: REPLACE SHEETS THAT ARE DAMAGED OR TAN WITH WHITE (FRP1). EXCLUDE AREAS VISIBLE THROUGH TRAFFIC DOOR WINDOWS
  - WAINSCOT: REPLACE DAMAGED TO MATCH EXISTING
  - CMU: ETR
- CEILING**
  - OPEN TO STRUCTURE: REF SHEET SA1 FOR CEILING SCHEDULE
- REPAIR / REMOVE / REPLACE**
  - REPLACE MOP SINK IF BROKEN OR CRACKED

### 141 HALLWAY

- WALLS**
  - PAINT P162 WAINSCOT TO 4'-0" AFF, AND P131 FROM 4'-0" AFF TO CEILING OR BOTTOM OF STRUCTURE
- FLOOR**
  - ETR
- CEILING**
  - OPEN TO STRUCTURE: REF SHEET SA1 FOR CEILING SCHEDULE
- REPAIR / REMOVE / REPLACE**
  - REPLACE DAMAGED OUTLETS AND OUTLET COVER PLATES

### 501 GARDEN CENTER/OUTSIDE LIVE GOODS

- WALLS**
  - CLEAN ENTIRE INTERIOR STRUCTURE
- FLOOR**
  - CLEAN ENTIRE INTERIOR STRUCTURE
- CEILING**
  - CLEAN ENTIRE INTERIOR STRUCTURE

NOTE: WALMART TO PROVIDE SHELVES FOR GC TO FIELD MODIFY TO FIT AROUND COLUMNS

- GENERAL CONTRACTOR TO VERIFY SPECIFIC QUANTITIES AND LOCATIONS WITH THE WALMART FIELD PROJECT MANAGER
- STORE PLANNING WILL INSTALL AND PAINT THE SHELVES AFTER MODIFICATION BY THE GC
- REF SHEET SA1 FOR BID ALLOWANCE OF GONDOLA SHELVES

REMOVE EXISTING PERIMETER SIGN RAILING

PAINT VERTICALLY MOUNTED HVAC GRILLS TO MATCH ADJACENT WALL

PAINT ORNAMENTAL FENCING P306 AT ALL LOCATIONS

WALL FINISH REF 2-A1

WALL FINISH REF 2-A2

WALL FINISH REF A6

WALL FINISH P209

ENCLOSURE DOOR FRAME, HARDWARE, AND ANCHORS BY OTHERS. GC TO ANCHOR PER MFR'S INSTRUCTIONS

ELECTRONICS DESK PROVIDED BY OWNER. CONFIRM FINAL LOCATION WITH STORE SET UP MANAGER

(3) HORIZONTALLY ORIENTED DIGITAL DISPLAYS MOUNTED ON (1) ANGLED BRACKET SUPPORTED BY (2) INTEGRATED POLES FROM STRUCTURE. REF 2-A6.1 FOR ATTACHMENTS AND RESPONSIBILITIES. BO MONITOR TO BE AT 7'-6" AFF, LOCATE CENTERED ON ELECTRONICS DESK

NEW HEAVY STEEL RACKS, REF RACKING FOR ANCHORING DETAILS

WALL FINISH P209

WALL FINISH REF 2-A2

TO DECK / CEILING (P133) LATEX

TO DECK / CEILING (P131) LATEX

TO DECK / CEILING (P162) EPOXY

TO DECK / CEILING (P162) EPOXY

TO DECK / CEILING (P131) LATEX

TO DECK / CEILING (P162) EPOXY

TO DECK / CEILING (P131) LATEX

TO DECK / CEILING (P131) LATEX

TO DECK / CEILING (P133) LATEX

TO DECK / CEILING (P162) EPOXY

TO DECK / CEILING (P162) EPOXY

TO DECK / CEILING (P131) LATEX

TO DECK / CEILING (P162) EPOXY

TO DECK / CEILING (P131) LATEX

4/17/2024 10:02:09 AM  
C:\walmart\document\178\_179gm\_garden\_center.dwg  
User: JALASTOVICA, PLOT: A1, SCALE: 1/20, CURRENT: 4/17/2024

FLOOR PLAN

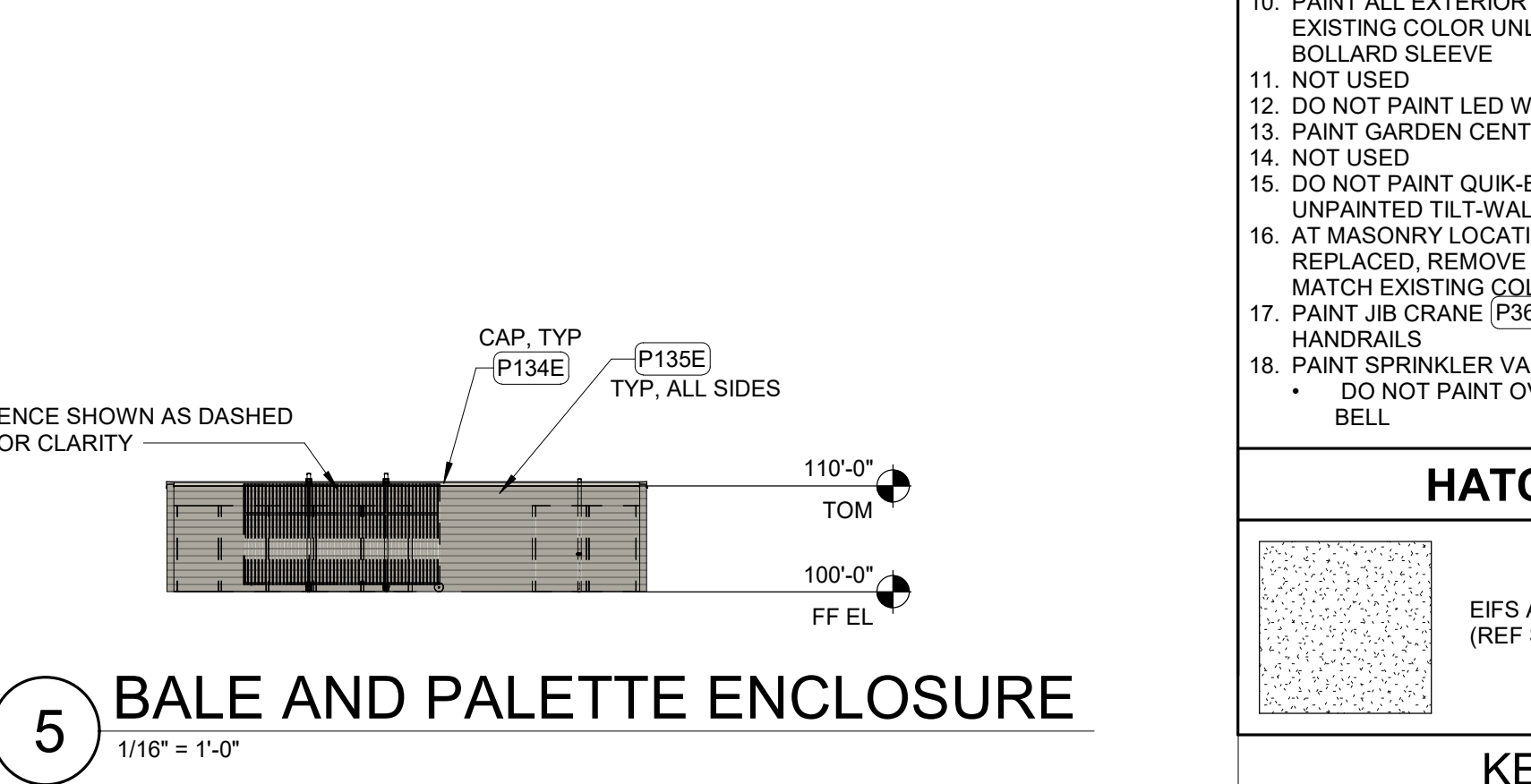
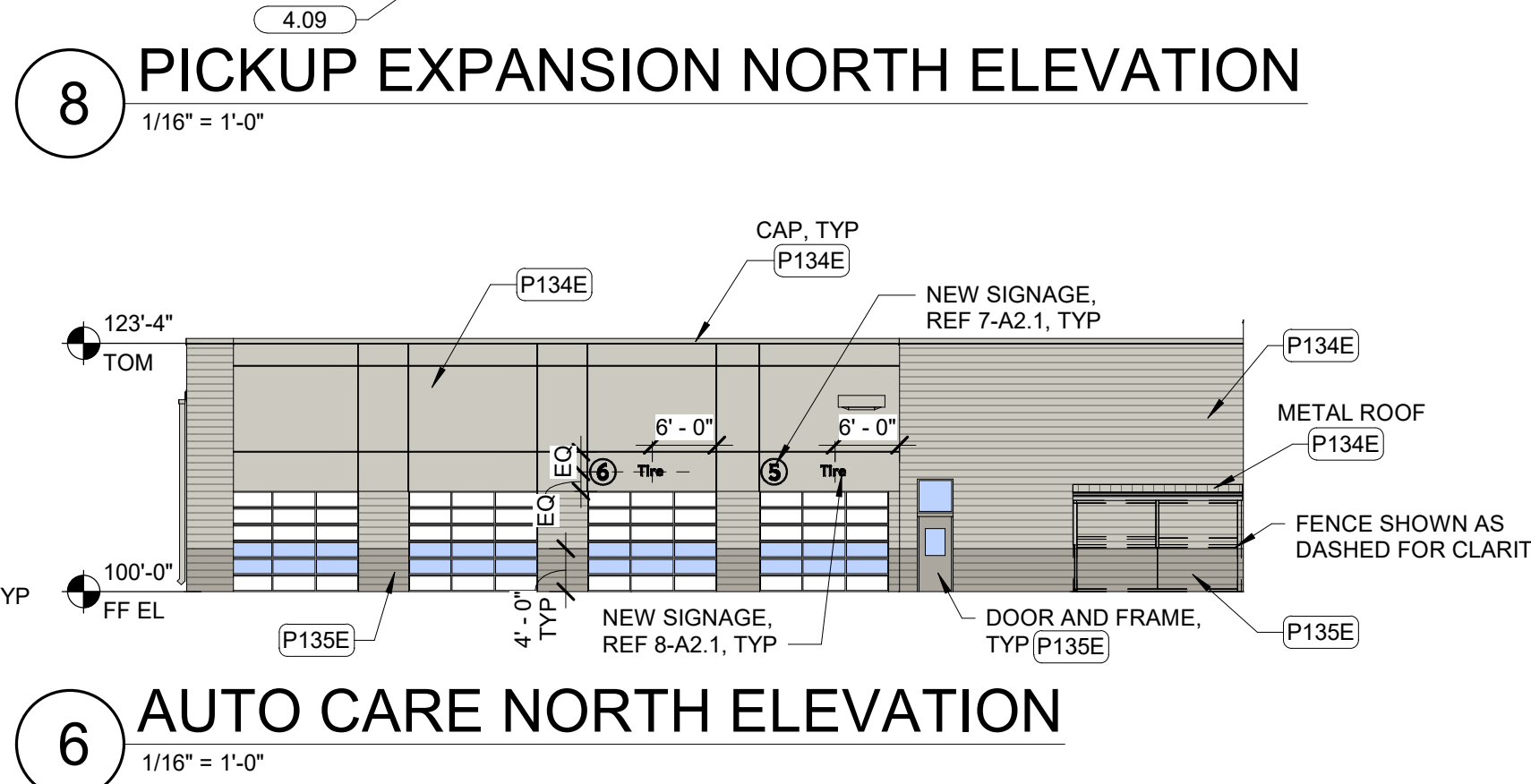
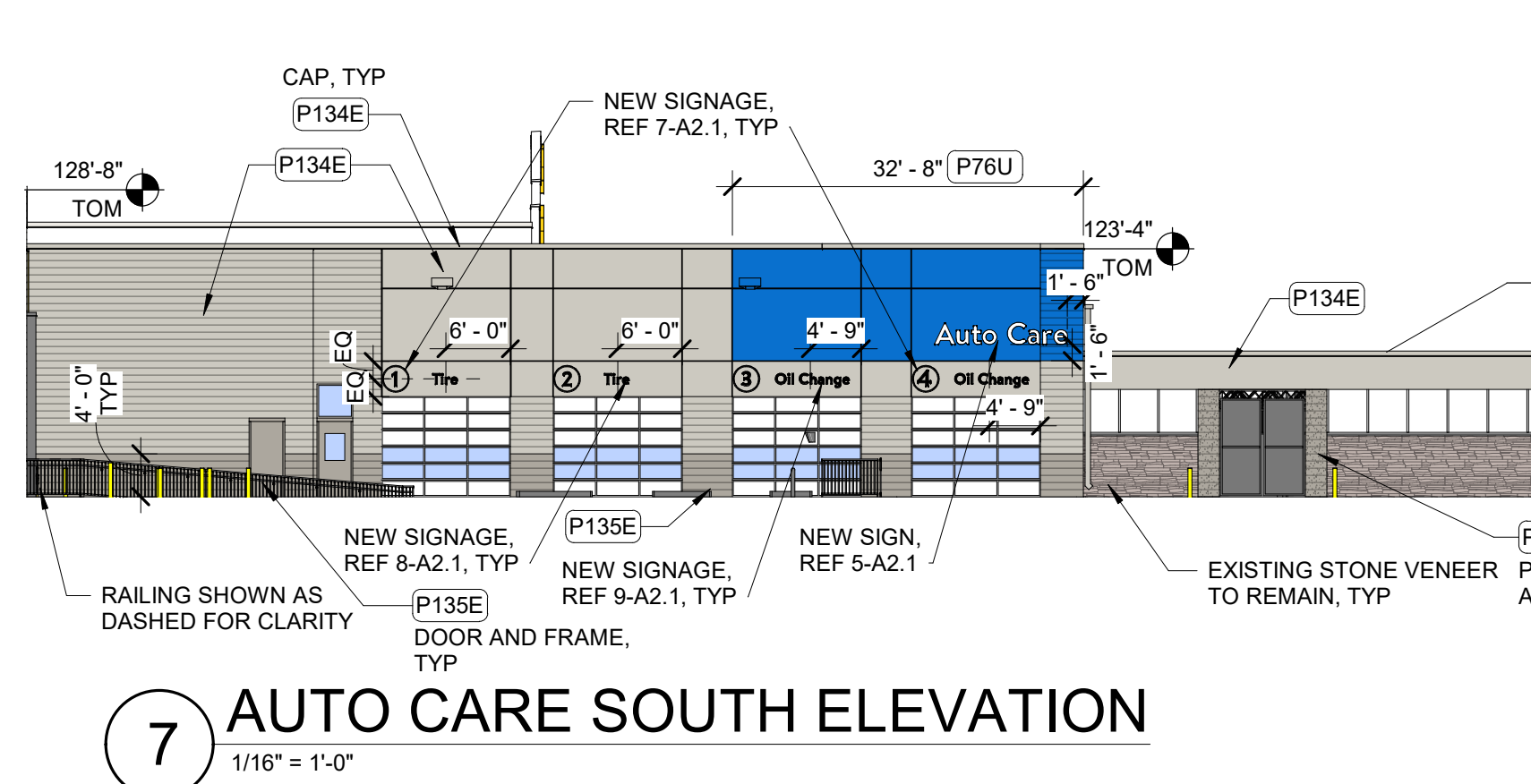
SHEET: A1





PYLON SIGNAGE		COLOR LEGEND	
P#	COLOR NAME	P#	COLOR NAME
P5E	SAFETY YELLOW	P21E	SAFETY RED
P33E	CREAM	P39E	BLACK
P49E	DARK GRAY	P76U	WALMART BLUE (URETHANE-LIKE)
P134E	LIGHT GRAY	P135E	MEDIUM GRAY
P162E	BLACK GRAY		

DISCLOSURES  
 • PAINT RESTRICTIONS: NONE  
 ALLOWED SIGNAGE SF: Building Signs. Each business or entity is permitted 1 nonilluminated wall sign as follows:  
 a. Maximum Sign Area. The allowable sign area is 5 square foot of signage for each 1 lineal foot of primary building frontage up to a maximum sign area of 50 square feet.  
 b. Location. The wall sign shall not be located above the roof line or project more than 18 inches from the building wall. The sign length shall not exceed 75 percent of the building frontage.  
 • EXISTING SIGNAGE SF: 567.01  
 PROPOSED SIGNAGE SF: 542.20  
 • VARIANCE / PROCESS: N/A



**DEMOLITION NOTES**

- REMOVE EXTERIOR TENANT SIGNS
  - COORDINATE REMOVAL WITH WALMART CM AND TENANT PRIOR TO BEGINNING WORK
  - DELIVER REMOVED TENANT SIGNS TO TENANT
- REMOVAL OF BUILDING MOUNTED ITEMS, SHOWN OR NOTED TO BE DEMOLISHED OR AS REQUIRED BY SCOPE OF WORK, SHALL OCCUR PRIOR TO PAINTING BUILDING
- COORDINATE DEMOLITION WORK SO EXTERIOR PAINTING WILL OCCUR PRIOR TO INSTALLATION OF BUILDING MOUNTED ITEMS

**SHEET NOTES**

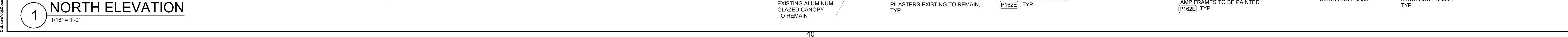
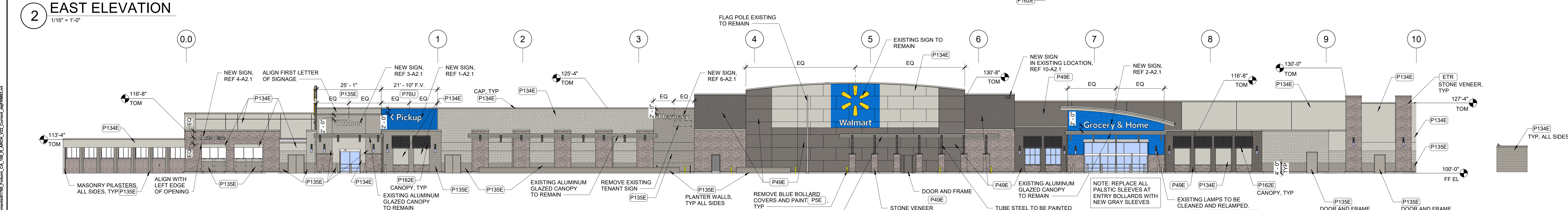
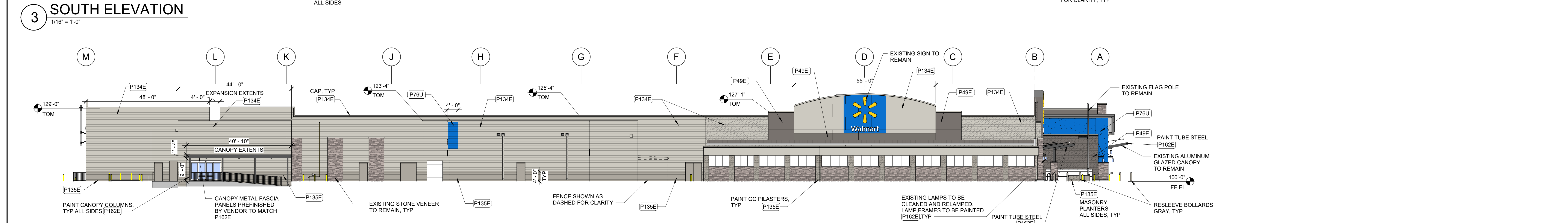
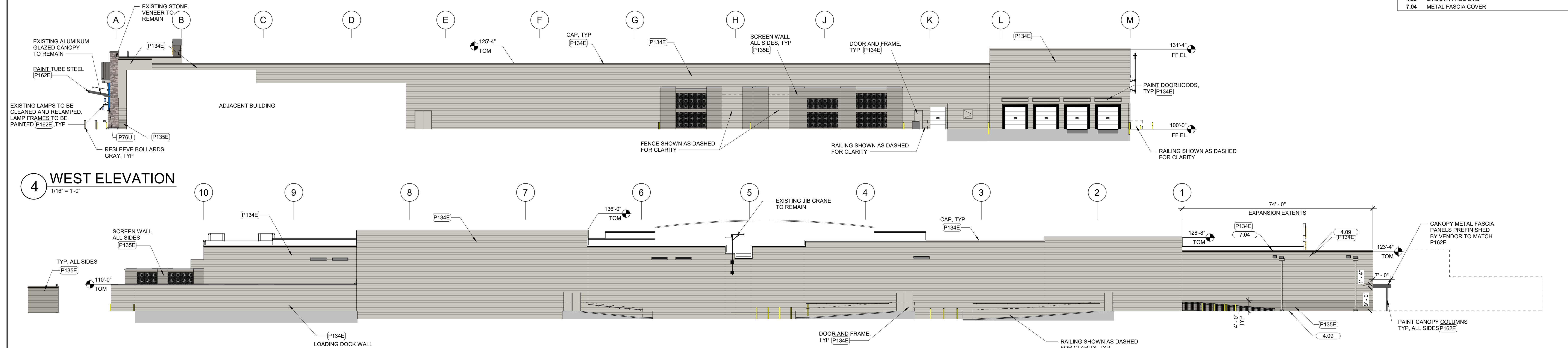
- PATCH AND REPAIR EXTERIOR WALL SURFACES, DAMAGED OR EXPOSED DUE TO REMOVAL OF BUILDING MOUNTED ITEMS. TO MATCH ADJACENT AS REQUIRED
- REFER TO DETAILS ON SHEET A2.1 FOR SUBSTRATE AND FINISH REQUIREMENTS AT LOCATIONS OF BUILDING MOUNTED SIGNS
- RESURFACE EXISTING EIFS WHERE SHOWN (HATCHED AREA)
- NOT USED
- BEFORE PAINTING WALL AT LOCATION(S) OF LIT ID LOGO SIGN(S), COORDINATE SCOPE OF WORK WITH WALMART CM
- IF PAINTING ADJACENT WALLS PAINT HOLLOW METAL STEEL DOORS, FRAMES, AND DOWNSPOUTS, EXPOSED METAL FLASHING, HANDRAILS, AND EXPOSED MISCELLANEOUS STEEL TO MATCH PRIMARY ADJACENT BUILDING COLOR UNO
- PAINT ANY ROOFTOP GAS PIPING (P5E)
  - WHERE EXTERIOR WALL IS BEING PAINTED, GAS PIPE ALONG SIDE WALL TO GRADE SHALL MATCH ADJACENT BUILDING
  - DO NOT PAINT METER OR VALVES
- IF PAINTING ADJACENT WALLS PAINT CANOPY STRUCTURAL STEEL AND FLASHING TO MATCH ADJACENT WALL
- NOT USED
- PAINT ALL EXTERIOR ENTRY BOLLARDS TO MATCH EXISTING COLOR UNLESS NOTED TO RECEIVE PLASTIC BOLLARD SLEEVE
- DO NOT PAINT LED WALL PACK HOUSINGS
- PAINT GARDEN CENTER STEEL DOORS AND FRAMES (P39E)
- NOT USED
- DO NOT PAINT QUIK-BRIK, STONE VENEER, FACE BRICK, UNPAINTED TILT-WALL OR PRECAST PANELS
- AT MASONRY LOCATIONS WHERE SIGNS ARE BEING REPLACED, REMOVE AND PAINT AREA BEHIND SIGN TO MATCH EXISTING COLOR, REF SPECS
- PAINT JOB CRANE (P59E) ON JOB BOOM (P5E) ON HANDRAILS
- PAINT SPRINKLER VALVES (P22E)
  - DO NOT PAINT OVER SIGHT GLASS OR FIRE ALARM BELL

**HATCH LEGEND**

[Hatched Pattern]	EIFS AREA TO BE RESURFACED (REF SPEC)
-------------------	---------------------------------------

**KEYNOTES**

4.09	SMOOTH FACE CMU
7.04	METAL FASCIA COVER



**James A. Lastovica**  
 ARCHITECT  
 SUITE 4308  
 1018 RILEY ST  
 FOLSOM, CA 95630  
 PHONE: 916.778.8604  
 FAX: 916.778.8604  
 LICENSED ARCHITECT  
 LICENSE NO. 18657  
 REGISTERED IN CA  
 REGISTERED IN NV

STIPULATION FOR REUSE  
 THIS DRAWING WAS PREPARED FOR  
 THE PROJECT IDENTIFIED BY THE  
 TITLE BLOCK AND IS THE PROPERTY  
 OF JAMES A. LASTOVICA ARCHITECT.  
 IT IS TO BE USED ONLY FOR THE  
 PROJECT IDENTIFIED IN THE TITLE  
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 JAMES A. LASTOVICA ARCHITECT  
 AND WILL BE DESTROYED UPON  
 REQUEST OR AT THE DISCRETION  
 OF THE ARCHITECT.

**Walmart**  
 FOLSOM, CA  
 1018 RILEY ST  
 STORE NO. 01760.276  
 30970 PHOTO 150

**ISSUE BLOCK**

NO.	DESCRIPTION	DATE


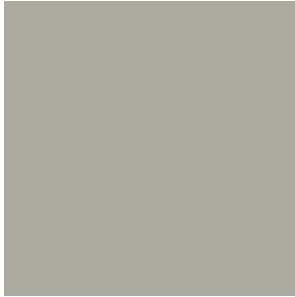

CHECKED BY: LLM  
 DRAWN BY: DEJ  
 PHOTO CYCLE: 1/26/24  
 DOCUMENT DATE: 4/8/24



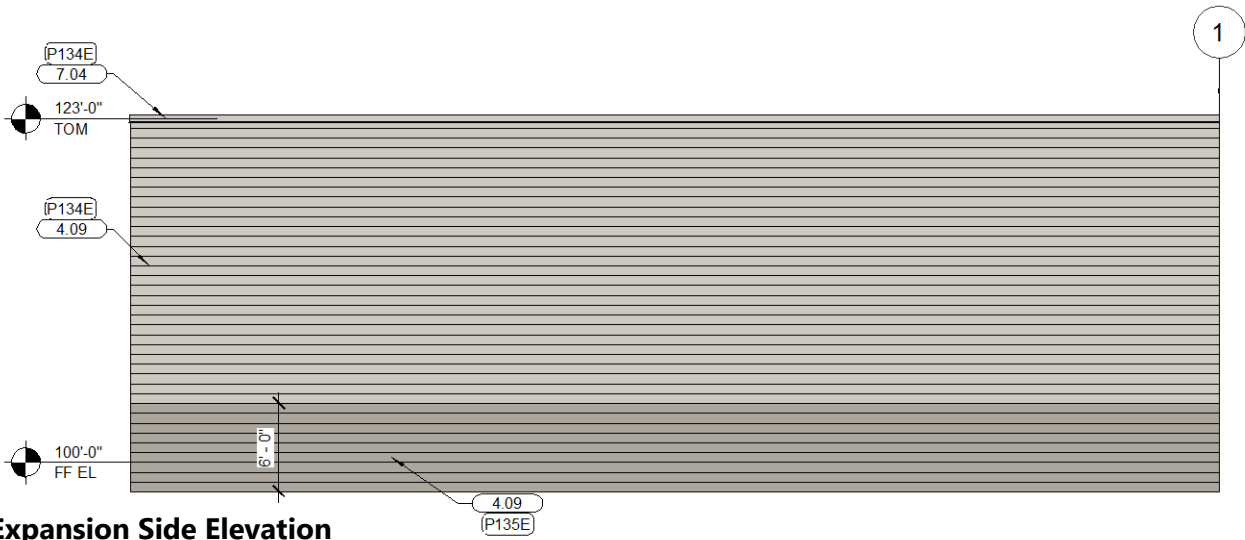
**EXTERIOR ELEVATIONS**

SHEET: **A2**

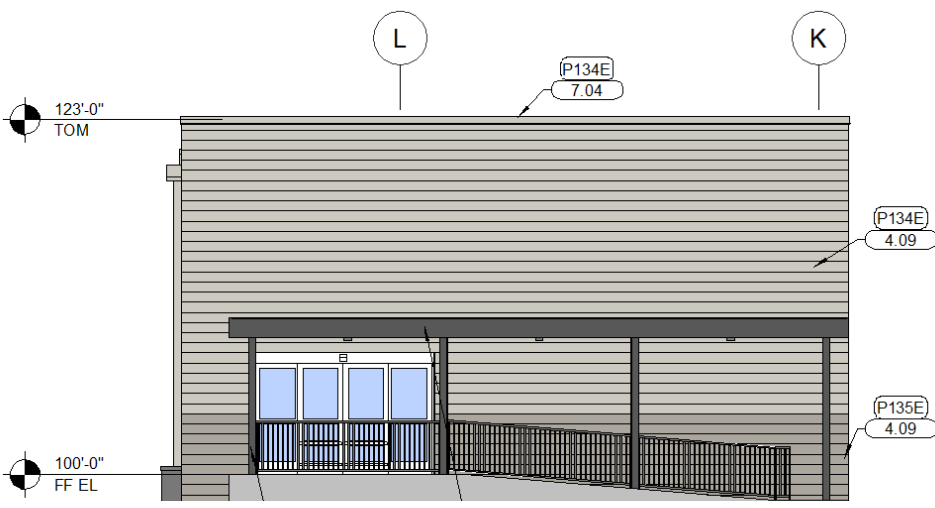


Proposed Colors
P134E Light Gray; BM#1465; PPG#1006-3 
R204 G201 B192 P135E Medium Gray; BM#1474 ; PPG#1007-4 
R172 G167 B158 P162E Black Gray; BM# Walmart Charcoal; PPG#0997 
R88 G88 B88

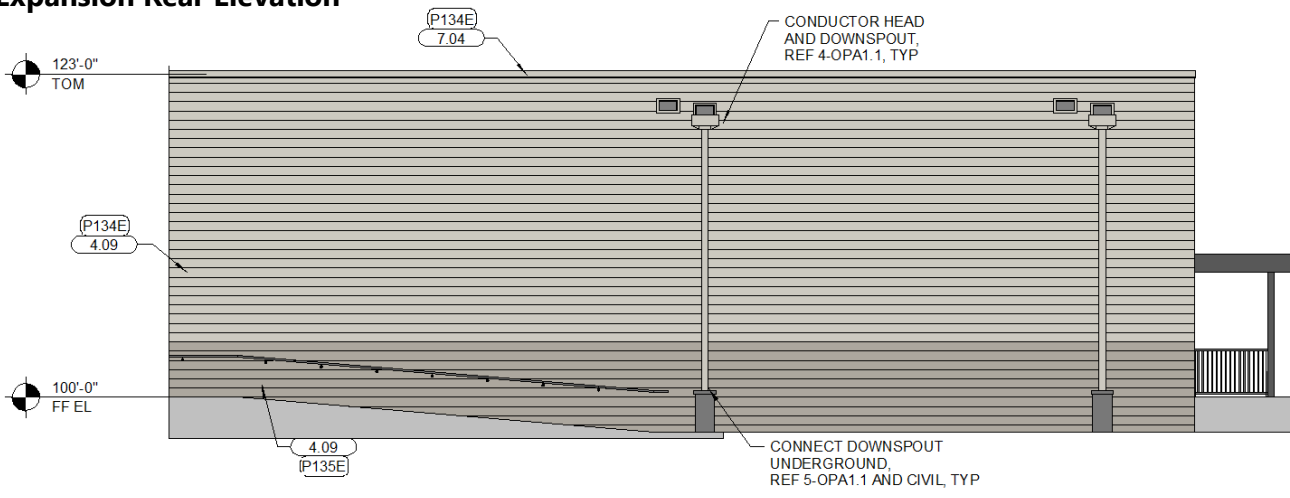
### Expansion Front Elevation



### Expansion Side Elevation



### Expansion Rear Elevation



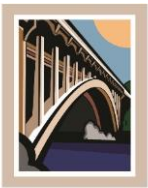
## CMU Specs

### 1.1 CONCRETE MASONRY UNITS

- A. Unit Design: Modular two core units sized as indicated or scheduled. Provide special shapes necessary for bond beams, control and expansion joints, lintels, and special conditions.
  - 1. Provide units as required for indicated construction including sill units and solid cap units.
  - 2. Provide units with exposed faces which are uniform in appearance.
  - 3. Provide units containing a minimum of 12% recycled content.
  
- B. Load Bearing Units: ASTM C 90.
  - 1. Smooth CMU: Light weight or normal weight above finished floor; normal weight only below finished floor.
  - 2. Split Face CMU: Light weight or normal weight above finished floor; normal weight only below finished floor.
  - 3. Contractor's Option: Lightweight reduced web concrete masonry unit.
    - a. ProBlock, as distributed by Johnson Concrete, Lexington, NC, (336) 248-2918.
  
- C. Non-load Bearing Units: ASTM C 129.







CITY OF  
**FOLSOM**  
DISTINCTIVE BY NATURE

**AGENDA ITEM NO. 2**  
**Type: Public Hearing**  
**Date: June 19, 2024**

Public Hearing on the Proposed  
Parks and Recreation Department

Public Hearing

Public Hearing on the Proposed  
Parks and Recreation Department  
City of Folsom

**ATTACHMENT 1  
BACKGROUND**

... D... C... r... D... R... PN ...  
... T... T... d...  
... Dr...  
... d... T... d... d... r... d...  
... Dr... r... r...

...

- A... d... r... C... D... CDD... D... R...  
• A... r... C... T... d... CDD... D... R...  
• A... D... R... Dr... Cr... Y... P... Commission denied the appeal and upheld staff's approval by a vote of 6... Ar...  
• T... d... r...  
• A... D... R... PN... CDD... A... D... R...  
• T... d... r... d... r...

...

- I... r... d... r...  
• T... r... d... r... T... d... r...

- In March 2011, the respondent advised the City of the respondent's plan to build a new building on the property. The respondent stated that the building would be used for a combination of residential and commercial purposes. The respondent stated that the building would be built in two phases. The first phase would be the construction of a four-unit residential building. The second phase would be the construction of a commercial building. The respondent stated that the building would be built in accordance with the City's zoning code. The respondent stated that the building would be built in accordance with the City's zoning code.
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- A new building was constructed on the property in March 2011. The building was used for a combination of residential and commercial purposes. The building was built in two phases. The first phase was the construction of a four-unit residential building. The second phase was the construction of a commercial building. The building was built in accordance with the City's zoning code.
- The respondent advised the City that the respondent's plan to build a new building on the property. The respondent stated that the building would be used for a combination of residential and commercial purposes. The respondent stated that the building would be built in two phases. The first phase would be the construction of a four-unit residential building. The second phase would be the construction of a commercial building. The respondent stated that the building would be built in accordance with the City's zoning code. The respondent stated that the building would be built in accordance with the City's zoning code.

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... d... d... d...  
 ... d...  
 ... d...  
 ... d...  
 ... d...  
 ... d...  
 ... d...  
 ... d...  
 ... d...  
 ... d...

- T... V... r...  
 ... M...

**GENERAL PLAN DESIGNATION**

...

**ZONING**

R... M...  
 M... D...

**ADJACENT LAND USES/ZONING**

Nr... R...  
 R...  
 ... R...  
 ... Dr... R...  
 ...  
 ... R...  
 ... R...

**SITE CHARACTERISTICS**

T...  
 ...  
 ...  
 ...  
 ...  
 ...

**FUTURE ACTION**

I... P...

**APPLICABLE CODES**

MC ... P... C...  
MC ... D... R...  
MC ... R... R...  
 ... D... M...  
 D...  
MC ... V...

**ATTACHMENT 2  
DESCRIPTION/ANALYSIS**

**APPLICANT'S PROPOSAL**

The applicant's... proposal...

... C...  
...

... Add ...  
...

... Add ...  
...

The applicant's... proposal...

In ...  
neighboring properties and that the additional space would not increase the building's lot ...  
...

**POLICY/RULE**

... MC ... where "practical ...  
chapter". MC ...

... T...  
...

The Commission shall...  
...

The Commission shall...  
...

MC ...  
... "special circumstances applicable to  
...". This section also states  
that the Commission " ...  
...

MC ...  
...  
...

## ANALYSIS

### General Plan and Zoning Consistency

The ...  
...  
... "the ...  
..."  
MC  
...  
...

### Variance

A ...  
...  
...

### Exceptional or Extraordinary Circumstances

The ...  
...  
...  
...  
...  
...  
...

The purpose of this chapter is to provide a framework for the development and implementation of the Pennsylvania Code. This chapter shall be interpreted to effect its purpose and to conform with the provisions of the Pennsylvania Code.

### Preservation and Enjoyment of Substantial Property Rights

Any ordinance that is enacted by a local government shall be subject to the provisions of this chapter. The provisions of this chapter shall not be construed to limit the authority of a local government to enact ordinances that are necessary for the health, safety, and general welfare of the community.

Whenever a local government enacts an ordinance that is subject to the provisions of this chapter, the local government shall ensure that the ordinance does not deprive any person of a substantial property right. A substantial property right is a right that is recognized by the law and that is of a substantial nature. The provisions of this chapter shall not be construed to limit the authority of a local government to enact ordinances that are necessary for the health, safety, and general welfare of the community.

### Health, Safety and Public Welfare of Neighborhood

The provisions of this chapter shall not be construed to limit the authority of a local government to enact ordinances that are necessary for the health, safety, and general welfare of the community. The provisions of this chapter shall not be construed to limit the authority of a local government to enact ordinances that are necessary for the health, safety, and general welfare of the community.

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r... the applicant's proposal ... Dr...  
... A...  
... T...  
... V...  
...

**Conclusion**

... V...  
... MC ... P... C...  
... C... N...  
... D... R...  
... V... D...  
... V...  
...

**PUBLIC COMMENTS**

... V...  
... T... A...  
...

**ENVIRONMENTAL REVIEW**

T...  
... C... A... C... A...  
on staff's analysis of this project, none of the exceptions in Section 15300.2 of the CEQA  
...

**RECOMMENDED PLANNING COMMISSION ACTION**

M... V... VARI...  
... Dr... T...  
... A... C...  
...

**GENERAL FINDINGS**

- A) NOTIC... ARIN... A... N... IV...N AT T... TIM... AND IN T... MANN...R...  
R... IR...D ... AT... A... AND CITY C...D...
- ... T... PR...CT I... C...N...T...NT ... IT... T... ...N...RA... P...AN AND ...NIN...  
C...D... ... T... CITY...



**CEQA FINDINGS**

- C... THE PROJECT IS CATEGORICALLY EXEMPT FROM ENVIRONMENTAL REVIEW UNDER SECTION 15300 THROUGH 15307 OF THE CALIFORNIA ENVIRONMENTAL QUALITY ACT (CEQA) ID#IN#
- D... NONE OF THE EXCEPTIONS IN SECTION 15300 OF THE CEQA ID#IN# APPLY TO THE ... OF THE CATEGORICAL EXEMPTION IN THE CASE

**VARIANCE FINDINGS**

- ... THE ... SPECIAL CIRCUMSTANCES APPLY TO THE PROJECT PROPERTY INCLUDING ... DEPT... AND ... THAT DO NOT APPLY GENERALLY TO OTHER PROPERTIES IN THE VICINITY THAT ARE UNDER THE IDENTICAL ... CATEGORIZATION
- ... STRICT APPLICATION OF THE ... CODE ... DEPRIVE THE PROJECT PROPERTY OF PRIVACY ENJOYED BY OTHER PROPERTIES IN THE VICINITY THAT ARE UNDER THE IDENTICAL ... CATEGORIZATION
- ... THE GRANTING OF THE APPLICATION ... NOT UNDER THE CIRCUMSTANCES OF THE PARTICULAR CATEGORICALLY EXEMPT ... ACT OR ... OF PERSONS RESIDING OR ... IN THE NEIGHBORHOOD AND ... NOT UNDER THE CIRCUMSTANCES OF THE PARTICULAR CASE OR MATERIALLY DETRIMENTAL TO THE PUBLIC ... OR INTERFERE TO PROPERTY OR IMPROVEMENT IN THE NEIGHBORHOOD

# ATTACHMENT 3

## Conditions of Approval

**CONDITIONS OF APPROVAL FOR THE  
 659 HANCOCK DRIVE THIRD STORY PROJECT  
 (VARI24-00158)**

Cond. No.	Mitigation Measure	GENERAL REQUIREMENTS	When Required	Responsible Department
00		<p>T 000 000r 0000000 00r 00000r 0000 000000 00000 000 0000r 0000000r 0000000000 000000000000            0000 00000d 00r 0000 00000 000 00000000 00000 00000000dd 000 000000 00000 00 0000r 0 000000            00000000 00000 0 000 r 0000000000 00000000dd 000 0 0000 000000 d 000r 0 000 r 00r 00000000            0000 0000000 0 00000r 0r 00d 00000 00000d 00000 0 000000 Dr 000 0 r 00000 0 00rd 00r 00            A 00r 0000000 D 00000 R 00000 00d 00000000 000 000d 000 P 00r 000 r 00000r 0d T 000 00000000000000            0000 00000 D 00000 R 00000 00d 000d 000 00000 0 000 C 00 0 00000 D 00000000 000 D 000r 000            000000000000000000000000 00000r 0 000 Pr 00000 P 0000 0000d 0d 0 A 000000 00000d 0 0000 0000000 00            0000 r 0000000000000000000 000 000 00000 r 00r 00000d 000 0 00 0 0d 000d 00 00000            000d 000000 00000r 000000</p>	0	CD 000
00		<p>C 000 000000 0 000 000000000000000 00d 0d 0r 00r 00000000000000 00r 0000000 0 000d 000 0000r 000000 0            r 00000r 0d</p>	0 0	CD 000
00		<p>A 00000d 000000 00000r 00000r 00000 000 r 000000000 000r 000d PN 0000000 PN 000000 00d PN 0000            0000 D 00000 R 00000 000r 000000000 0 0d 000d 00 000 000d 000000 000000 0000r 0000r VARI 0000            000000000r 00r 0000 000r 000000d 00r 000r 0000000</p>	0 0 0000 0 0	CD (P 0000000)

<p>...</p>		<p>The City shall bear its own attorney's fees and costs; and</p> <ul style="list-style-type: none"> <li>The City bears its own attorney's fees and costs; and</li> <li>The City shall bear its own attorney's fees and costs; and</li> </ul> <p>The City shall bear its own attorney's fees and costs; and</p>	<p>...</p>	<p>CD (P...)        P... (PR...)        PD</p>
<b>DEVELOPMENT COSTS AND FEE REQUIREMENTS</b>				
<p>...</p>		<p>The City shall bear its own attorney's fees and costs; and</p>	<p>...</p>	<p>CD (P...)</p>
<p>...</p>		<p>The City shall bear its own attorney's fees and costs; and</p>	<p>...</p>	<p>CD (P...)</p>
<p>...</p>		<p>The City shall bear its own attorney's fees and costs; and</p>	<p>...</p>	<p>CD (P...)</p>

□□		<p>T... Cr... C... d... d...        Cr... T... Cr... C... d... d...        Cr... P... R... T... M...        Cr... T... Cr... C... d... d...        Cr... T... Cr... C... d... d...</p>	□	<p>CD P...        P... P...</p>
□□		<p>T... Cr... C... d... d...        T... Cr... C... d... d...        T... Cr... C... d... d...        T... Cr... C... d... d...        T... Cr... C... d... d...        T... Cr... C... d... d...        T... Cr... C... d... d...        T... Cr... C... d... d...</p>	□	<p>CD P...</p>
□□□		<p>T... Cr... C... d... d...        T... Cr... C... d... d...        T... Cr... C... d... d...</p>	I	<p>CD P...</p>
□□□		<p>C... N... C... rd...        r... rd... N...        r... rd... N...        r... rd... N...</p>	I□□	<p>CD P...</p>

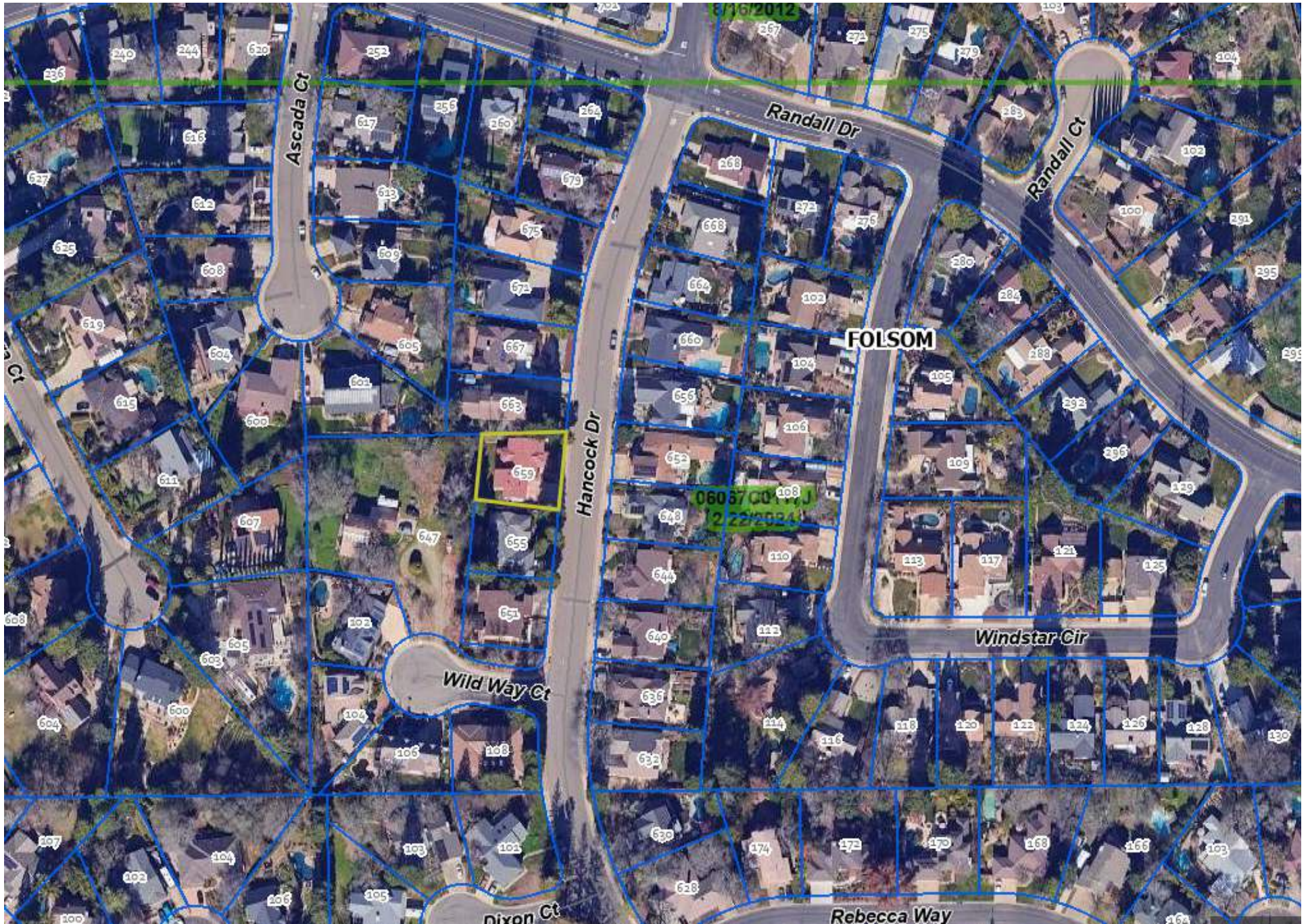
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--	---	--	-------------

RESPONSIBLE DEPARTMENT		WHEN REQUIRED	
CD P D D	C... D... P... D... ... D... ... D...	I	Pr... P...
		M	Pr... M...
			Pr... P...
			Pr... P...
P	P... D...		Pr... P...
PR	P... R... D...	DC	D... r...
PD	P... D...		r...
D	r... D...		

P████████ C███ ██████  
████ ██████ Dr████ T████ VARI████████████  
████ ██████████

## **Attachment 4 Vicinity Map**







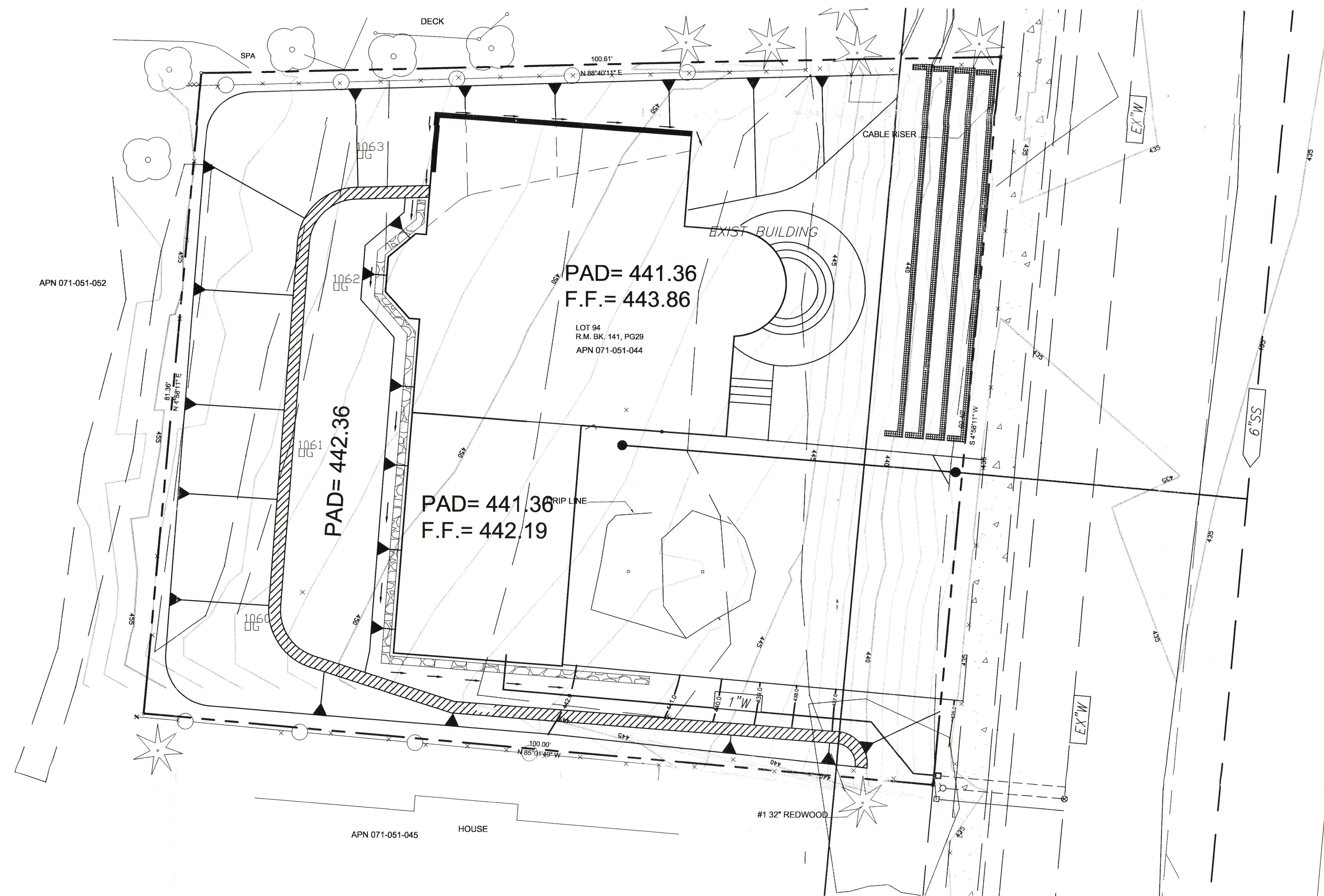
P████████ C███ ██████  
████ ██████ Dr████ T████ █████ VARI████████████  
████ ██████████

## **Attachment 5 Approved Plans**

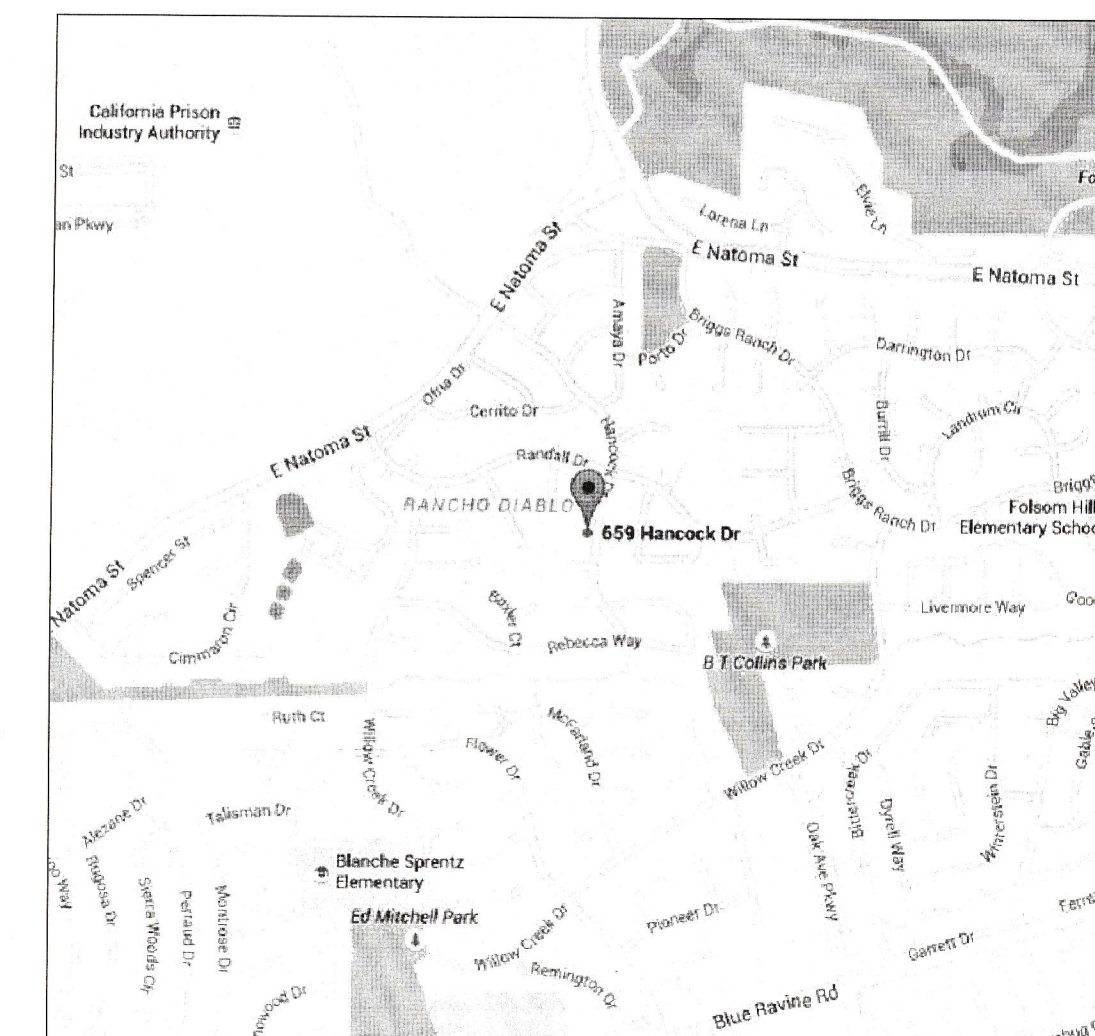


# GRADING PLANS FOR 659 HANCOCK DRIVE

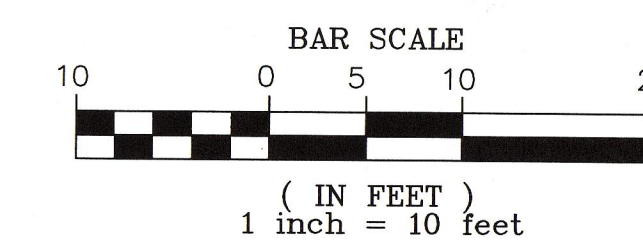
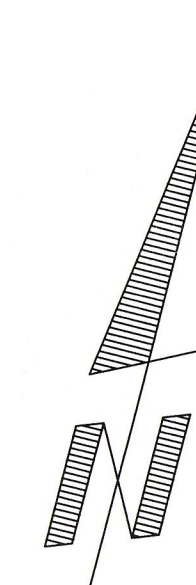
FOR  
American AAA & R Developer  
PO BOX 16353, SACRAMENTO, CA 95816



**SITE MAP**  
SCALE: 1"=10'



**VICINITY MAP**  
NO SCALE



**SHEET INDEX**

- C1. TITLE SHEET
- C2. GRADING PLAN
- C3. NOTES & DETAILS

CITY OF FOLSOM  
COMMUNITY DEVELOPMENT DEPARTMENT

APPROVED BY: \_\_\_\_\_ DATE: \_\_\_\_\_

THIS APPROVAL IS VALID FOR ONE YEAR UNLESS EXTENDED BY THE CITY OF FOLSOM.

APN# 071-0370-038

Prepared Under The Direction Of:

*Jack A. Varozza*

JACK A. VAROZZA DATE: \_\_\_\_\_

9/02/2015

JOB NUMBER:  
1823.001

SHEET NO. 02 2015



No.	Description	Eng. Init.	City	By	Date

PEABODY ENGINEERING  
1700 ALHAMBRA BLVD., SUITE 102  
SACRAMENTO, CA. 95816  
(916) 731-8088 Office (916) 731-8089 Fax



659 HANCOCK DRIVE - LOT GRADING PLAN  
TITLE SHEET  
FOLSOM CALIFORNIA

DRAWN BY: JAV  
DESIGNED BY: JAV  
CHECKED BY: JAV  
HORIZONTAL: AS SHOWN  
VERTICAL: AS SHOWN  
DATE: 9/02/2015  
JOB NUMBER: 1823.001  
SHEET NO. 02 2015

C1 of C3



WINDOW HEAD HEIGHTS:  
 -1ST FLOOR=8'-1" A.F.F.(U.N.O)  
 -2ND FLOOR=8'-17" A.F.F.(U.N.O)  
 -DOOR HEIGHTS AS NOTED ON FLOOR PLAN

EXTERIOR WALL:  
 HARD PLANK SIDING, TYPE &  
 EXPOSURE PER ELEVATION  
 BUILDING PAPER

APPROVED ADDRESS SHALL BE VISIBLE FROM THE STREET AND LEGIBLE WITH CONTRASTING BACKGROUND. LETTERS AND NUMBERS SHALL BE CLEARLY VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. NUMBERS MIN 4 INCHES IN HEIGHT AND STROKE OF MIN .5 INCH OF CONTRACTING COLOR. CRC R319.1

BALUSTERS:  
 A. HANDRAILS SHALL SATISFY CBC 1006.9  
 B. OPENINGS BETWEEN RAILINGS SHALL BE LESS THAN 4"  
 C. FINISHED HEIGHT SHALL BE 34" TO 38" ABOVE NOSE OF TREAD.

AT GUARDS:  
 GUARDS SHALL BE MIN OF 42" IN HEIGHT AND SPACED SUCH THAT A 4' SPHERE CAN NOT PASS

2 FLAT CONCRETE ROOFING TILES  
 3 SYNTHETIC STONE VENEER, 60 MINUTE GRADE  
 4 2 X6 FASCIA GUTTER, SPEC PER BUILDER.  
 5 FASCIA GUTTER, SPEC PER BUILDERS  
 6 MINIMUM CLASS B ROOFING. SEE ROOF PLAN SHEET NOTS.  
 7 DECORATIVE SHUTTER STYLES SEE DETAIL 2/AS

8 "HARD PLANK" SIDING 60 MINUTE GRADE EXPOSURE PER ELEVATION BUILDING PAPER  
 9 FUNCTIONAL GABLE END VENT, SIZE AS NOTED.  
 10 DECORATIVE CORBEL:  
 B. WOOD ELEVATION  
 11 WOOD KEE BRACE.  
 12 GARAGE DOOR PER ELEVATION STYLE:  
 A. LONG PLANE WITH SPANISH STYLE HARDWARE.  
 B. SHORT PLANE WITH STANDARD WINDOWS.  
 C. CARRAGE STYLE WITH STANSDARD WINDOWS.

3. EXTERIOR SOFFITS:  
 4. ROOFING: REFER TO ELEVATION SHEET NOTES.  
 5. WINDOWS: VINYL WINDOWS SPEC PER BUILDER. DIVIDED LITES WHERE SHOWN ON EXTERIOR  
 6. ENTRY DOOR: RAISED PANEL SPEC PER BUILDER.  
 7. OVER HEADED GARAGE DOORS: STEEL SECTIONAL SPEC PER BUILDER. RAISED PANEL AND GLASS INSERTS  
 8. PLEASE REFER TO MAIN ELEVATION FOR INFORMATION ON PARTIAL ELEVATIONS.

EXTERIOR WALL FINISH  
 "HARD PLANK" SIDING, TYPE & EXPOSURE PER ELEVATION  
 BUILDING PAPER "D" PAPER

Clearances regarding the proposed adhered masonry veneer:  
 A. Minimum of 4 inches above earth. CRC R703.12.1  
 B. Minimum of 2 inches above paved area; or  
 C. Minimum of 3/4 inch above exterior walking surfaces which are supported by the same foundation that supports the exterior wall. CRC R703.12.1

A Radiant barrier on the roof sheathing and at the gable ends of the attic space as specified in the energy calculations. CBEE5 150.1 (c)2 # Table 150.1-A



LEFT SIDE ELEVATION  
 SCALE: 1/4"=1'-0"

FRONT ELEVATION  
 SCALE: 1/4"=1'-0"



RIGHT SIDE ELEVATION  
 SCALE: 1/4"=1'-0"



REAR ELEVATION  
 SCALE: 1/4"=1'-0"



DESIGN  
 Planning  
 Landscape Architecture  
 Interior Design Graphics

P O BOX 163653  
 SACRAMENTO, CA 95814  
 PHONE: (916) 220 -2824

Drawing Title  
 ELEVATIONS

Job No: \_\_\_\_\_  
 Date: -- --  
 Drawn By: \_\_\_\_\_  
 Checked By: \_\_\_\_\_

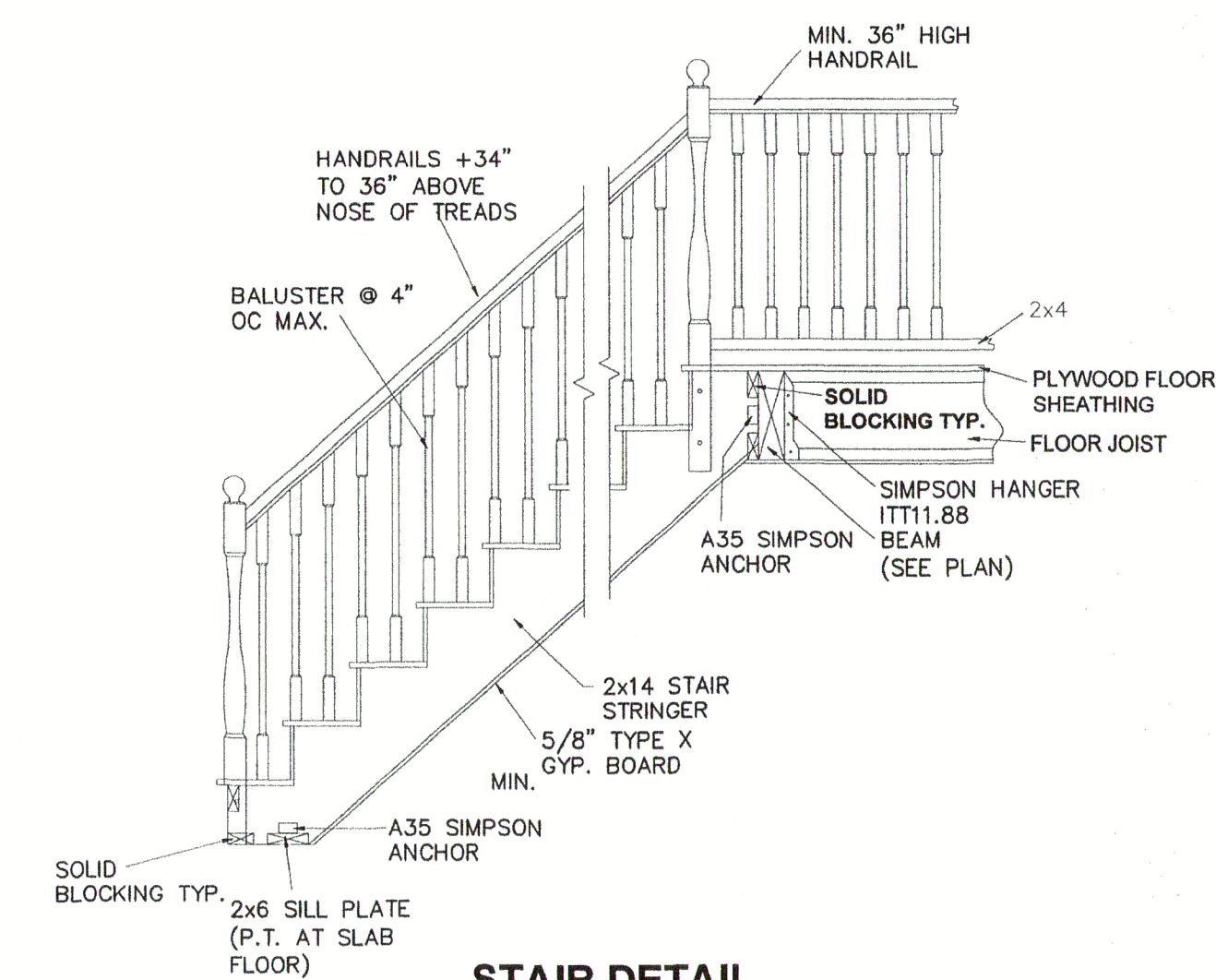
Sheet No:  
 A3

659 HANCOCK DR  
 FOLSOM, CALIFORNIA

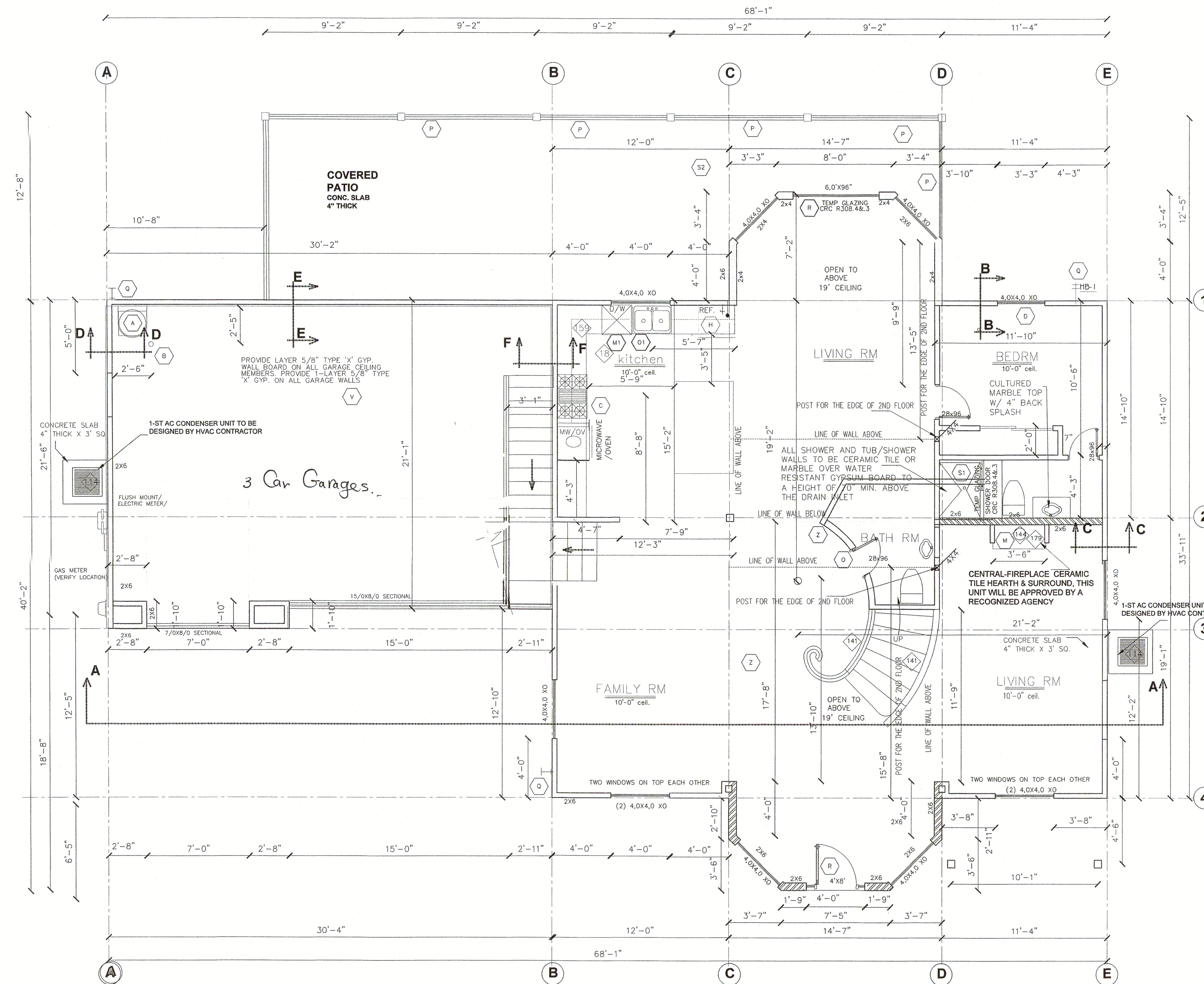


**GENERAL STAIRS NOTE:**

1. MINIMUM WIDTH OF STAIRWAYS SHALL NOT BE LESS THAN 36"
2. MAXIMUM RISE IS 7.75" nosing between 3/4" and 1 1/4".
3. the minimum run to be 11" or 1'0" when provided with a nosing between 3/4" and 1 X 4. MINIMUM HEADROOM CLEARANCE OF 6'-8"
5. HANDRAIL ENDS SHALL BE RETURNED OR SHALL TERMINATE IN NEWEL POSTS OR SAFETY TERMINALS.
6. THE HANDGRIP PORTION OF HANDRAILS SHALL NOT BE LESS THAN 1 1/2" OR MORE THAN 2" IN CROSS SECTION DIMENSION.
7. the guard shall be 42" minimum, except where it serves as a handrail at the sides of stairs, then it shall be between 34" and 38".
8. OPEN GUARDRAILS SHALL HAVE INTERMEDIATE RAILS OR AN ORNAMENTAL PATTERN SUCH THAT A SPHERE 4" CANNOT PASS THROUGH PER 2013 CRC reference in lieu of the UBC.
9. MAXIMUM 3.5 ONCHES HANDRAIL PROJECTION INTO THE REQUIRED STAIRS WIDTH. NOTE: THAT STRINGERS AND OTHER PROJECTIONS SUCH AS TRIM ARE LIMITED TO 1 1/2" INCHES ON EACH SIDE. 2013 CRC reference in lieu of the UBC.10. SOFFIT AND WALLS UNDER STAIRS SHALL BE PROTECTED W/5/8" TYPE 'X' GYP. BD.



**STAIR DETAIL**  
SCALE: 1/2" = 1'-0"



**FIRST FLOOR PLAN**

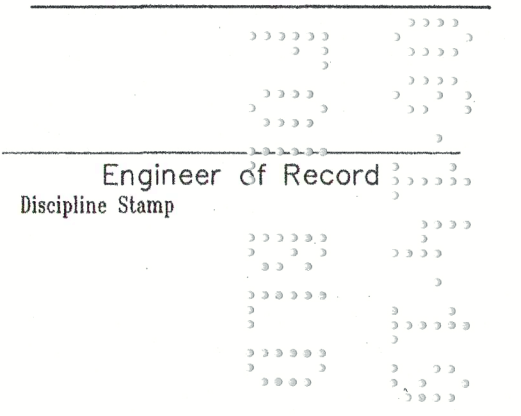
1/4" = 1'-0"

7. FAU IN ATTIC ABOVE: PROVIDE UNOBSTRUCTED PASSAGE WAY WHICH IS LARGE ENOUGH TO REMOVE THE LARGEST PIECE OF EQUIPMENT. PASSAGEWAY DIMENSIONS SHALL BE MINIMUM 30" HIGH X 30" WIDE PLYWOOD FLOORING AND A 30"X30" PLATFORM AT SERVICE SIDE OF EQUIPMENT. MAXIMUM 20'-0" FROM ACCESS POINT TO FAU. (CMC SECTION 904.11) VERIFY LOCATION WITH MECHANICAL DRAWINGS.
  8. A/C CONDENSOR: PROVIDE MINIMUM 30"X30" CONCRETE PAD' MINIMUM 3" ABOVE GRADE. the threshold shall not be more than 7.75" above the landing. R311.3.1
  9. TEMPERED SAFETY GLASS: PROVIDE TEMPERED GLASS PER CODE REQUIREMENTS. provide a design based on the 2013 CRC.
  10. DRYER VENT DUCT SHALL BE OF METAL AND SHALL HAVE SMOOTH INTERIOR SURFACES, EXTENDING TO EXTERIOR WITH BACKDRAFT DAMPER. (CMC SECTION 504.3)
  11. WASHING MACHINE: PROVIDE PRE-FABRICATED GALVANIZED METAL PAN UNDER WASHING MACHINE LOCATED ON UPPER FLOOR. DRAIN TO EXTERIOR.
  12. UPPER CABINETS: WALL MOUNTED ABOVE, 12" DEEP TYPICAL. 24" DEEP ABOVE REFRIGERATOR.
  13. SHOWERS & TUB/ SHOWER COMBINATIONS. PROVIDE A SMOOTH, HARD, NON-ABSORBENT SURFACE OVER MOISTURE RESISTANT GYPSUM BOARD TO A HEIGHT OF MINIMUM 70" ABOVE DRAIN INLET (CPC SECTION 411.7) LOCATE SHOWER HEAD AT +84" AFF.
  14. LOW WALL: PROVIDE WITH DOUBLE TOP PLATE HEIGHT AT +42" AFF OR STAIR NOSING. (LNU)
  15. 30" GAS RANGE (ELECTRIC OPTIONAL) WITH 24" MICRO/HOOD, LIGHT, EXHAUST FAN ABOVE.
  16. OPTIONAL FIRE PLACE: PRE FABRICATED GAS REPLACEMENT (ANSI Z21.50) INSTALLATION SHALL BE IN ACCORDANCE WITH CODE AND MANUFACTURER'S REQUIREMENTS. (CMC SECTION 908)
- EXTERIOR WALL**  
HARD PLANK SIDING, TYPE & EXPOSURE PER ELEVATION BUILDING PAPER  
foundation plate line at least 4-inches above grade or 2-inches above concrete or paving.
- INTERIOR PARTITION**  
1/2" THK. GYP BOARD  
O/2X4 STUDS @ 16"  
O.C. NOTE ADD 3/8" OSB WHERE NOTED.  
ALL CEILINGS 5/8" TYPE 'X' GYPSUM BOARD
- LOT SHALL BE GRADED TO DRAIN SURFACE WATER AWAY FROM FOUNDATION WALLS THE GRADE SHALL FALL A MIN OF 6 INCHES WITHIN THE FIRST 10 FEET CRC R40.13
17. S1 GLASS IN WINDOWS, DOORS & PANELS OF SHOWER & BATHTUB ENCLOSURES AND ADJACENT WALL OPENINGS WITHIN 60" ABOVE A STANDING SURFACE AND DRAIN INLET SHALL BE FULLY TEMPERED.
  18. S2 BALCONIES, LANDINGS, EXTERIOR STAIRWAYS, OCCUPIED ROOFS AND SIMILAR SURFACES EXPOSED TO WEATHER AND SEALED UNDERNEATH SHALL BE WATERPROOFED AND SLOPED A MINIMUM OF 2% FOR DRAINAGE. (SEE BUILDING CODE NOTE #B20)
  19. M1 DISHWASHER - W/ APPROVED AIR GAP FITTING
  20. M2 42" PRE-FAB. ZERO-CLEARANCE GAS FIREPLACE W/ MIN. 16" DEEP NON COMBUSTIBLE HEARTH & SURROUND PROVIDE GAS CONNECTION, LOG LIGHTER & KEY, & GLASS DOOR.
  21. R ALL EXTERIOR DOORS SHALL HAVE A MINIMUM 36" DEEP LANDING OUTSIDE EXTERIOR DOORS (NOT MORE THAN 8" LOWER THAN THRESHOLD FOR IN-SWINGING DOORS, AND NOT MORE THAN 1" LOWER THAN THRESHOLD FOR OUT-SWINGING DOORS.)
  22. S1 GLASS IN WINDOWS, DOORS & PANELS OF SHOWER & BATHTUB ENCLOSURES AND ADJACENT WALL OPENINGS WITHIN 60" ABOVE A STANDING SURFACE AND DRAIN INLET SHALL BE FULLY TEMPERED.
  23. S2 BALCONIES, LANDINGS, EXTERIOR STAIRWAYS, OCCUPIED ROOFS AND SIMILAR SURFACES EXPOSED TO WEATHER AND SEALED UNDERNEATH SHALL BE WATERPROOFED AND SLOPED A MINIMUM OF 2% FOR DRAINAGE. (SEE BUILDING CODE NOTE #B20)
  24. P AT GUARDS: GUARDS SHALL BE MIN OF 42" IN HEIGHT AND SPACED SUCH THAT A 4" SPHERE CAN NOT PASS
  25. B1 BALUSTERS provide design based on the 2013 CRC. A. HANDRAILS SHALL B. OPENINGS BETWEEN RAILINGS SHALL BE LESS THAN 4" C. FINISHED HEIGHT SHALL BE 34" TO 38" ABOVE NOSE OF TREAD. D. A handrail on one side is required at stairways with four or more risers. Revise and show location of handrail(s). CRC R311.7.7
  26. P4 carbon monoxide alarms at the following locations: CRC R311.5.3 A. In the immediate vicinity of bedrooms. B. On every level of a dwelling, unit including basement

- 107 any cantilevered floor projections, show compliance with CRC R327.7.1
- 108 Exterior decks, stairs, porches the following: CRC R327.9.3 Approved noncombustible materials
- 109 Specify carbon monoxide alarms at the following locations: CRC R315.3 A. In the immediate vicinity of bedrooms. B. On every level of a dwelling, unit including basements.
- 110 Provide smoke alarms at the following locations: CRC R314.3 A. In all bedrooms. B. In hallways leading to bedrooms. C. Above tops of stairs. D. At least one at every floor level.
- 116 WOOD FRAMED TUB DECK PER TUB MANUFACTURER'S HEIGHT RECOMMENDATIONS - FINISH SPECIFIED BY
- 118 12"x12" MIN. ACCESS DOOR TO JETTED TUB MOTOR -
- 120 WOOD FRAMED SHOWER SEAT - MATCH HEIGHT TO TUB DECK - PROVIDE WATER RESISTANT "DENSShield"
- 128 PROVIDE FIRE PROTECTION provide a design based on the 2013 CRC. a) THE GARAGE SHALL BE SEPARATED FROM THE DWELLING AND ITS ATTIC AREA BY MEANS OF A MINIMUM OF 1/2" GYPSUM BOARD APPLIED TO THE GARAGE SIDE. b) GARAGES BENEATH HABITABLE ROOMS SHALL BE SEPARATED FROM ALL HABITABLE ROOMS ABOVE BY NOT LESS THAN A 5/8" TYPE "X" GYPSUM BOARD OR EQUIVALENT. c) SPACES UNDER STAIRWAYS SERVING AND CONTAINED A SINGLE RESIDENTIAL DWELLING UNIT IN GROUP R-3 BE PROTECTED ON THE ENCLOSED SIDE WITH 1/2" PROTECTED BY 1 LAYER OF 5/8" TYPE 'X' GYPSUM BOARD BOTH SIDES.
- 135 MECHANICAL CHASE
- 136 22X30 ATTIC ACCESS. TO BE COORDINATE WITH HVAC EQUIPMENT TO ENSURE EQUIPMENT WILL FIT THROUGH THIS OPENING BUILDER TO PROVIDE LARGER OPENING IF REQUIRED PER CMC 904.10
- 137 WOOD BALLOON FRAMED WALL - REFER TO STRUCTURAL DRAWINGS: 2x6 :
- 138 COLUMN - REFER TO STRUCTURAL DRAWINGS - SPECIFIED BY BUILDER
- 144 WOOD FRAMED SOFFIT OR DROPPED CEILING - SHOWN SHADED - DISTANCE FROM TOP PLATE: a) 1'-0" b) 1'-0"
- 129 18" HIGH WOOD FRAMED WATER HEATER PLATFORM ENCLOSED W/ 5/8" TYPE "X" GYPSUM BOARD - SEE DETAIL B/A6.05. ALL IGNITION SOURCES IN GARAGE TO BE A MIN. OF 18" ABOVE GARAGE FLOOR
- 130 PROVIDE COMBUSTION AIR DUCTS/VENTS (NO DAMPERS) (1) WITHIN 6" OF CEILING AND (1) WITHIN 6" OF FLOOR
- 131 PANTRY W/ 5 FIXED SHELVES
- 158 FLOOR MATERIAL TRANSITION
- 159 COUNTERTOP/BAR/DESKTOP MATERIAL - FINISH SPECIFIED BY BUILDER
- 179 42" PRE-FAB. ZERO-CLEARANCE GAS FIREPLACE W/ MIN. 16" DEEP NON COMBUSTIBLE HEARTH & SURROUND PROVIDE GAS CONNECTION, LOG LIGHTER & KEY, & GLASS DOOR.
- 60 GAL. GAS WATER HEATER ON 18" HIGH PLATFORM SEE DETAIL 14/A05 WATER HEATER SHALL BE INSTALLED SO THAT THE SOURCE OF IGNITION IS @ LEAST 18 INCHES ABOVE THE GARGE FLOOR
- 3" DIAMETER, 3/8" HIGH CONCRETE FILLED PIPE BOLLARD WITH 2" DIA. X 12" DEEP CONCRETE FTG.
- Local ventilation shall be provided in the kitchen and all bathrooms; and provided per the standard. Note: proper window operation is not a permissible method of providing whole building ventilation required in section 4 of the 100 CFM minimum and 3 tone maximum kitchen exhaust requirements and reference the 2013 CBEES in lieu of the 2012 Title 24 requirements.
- EMERGENCY EGRESS SLEEPING ROOM SHALL HAVE ATLEAST ONE (1) EMERGENCY EXTERIOR ESCAPE AND RESCUE OPENING. EMERGENCY OPENING SHALL HAVE A MINIMUM NET CLEAR OPENING OF 5.7 SQUARE FEET. THE MINIMUM NET CLEAR OPENING HEIGHT DIMENSION SHALL BE 24" AND THE MINIMUM NET CLEAR OPENING WIDTH DIMENSION SHALL BE 20". EMERGENCY OPENINGS SHALL HAVE THE BOTTOM OF THE CLEAR OPENING NOT GREATER THAN 44" MEASURED FROM THE FLOOR. (CBC SECTION 1026)
- Through Penetrations to be in accordance with R 302.4.1.1 R 302.4.2.1
- Membrane Penetrations to be in accordance with R 302.4.1 R 302.4.2
- PROVIDE A SOLID CORE WOOD DOOR 1 3/8" THICK, SELF-CLOSING TIGHT FITTING DOOR HAVING A FIRE PROTECTION RATING OF NOT LESS THAN 20 MINUTES PER IBC. SECTION 302.4
- PROVIDE WATER STUB FOR ICEMAKER
- PROVIDE DRYER VENT AS FOLLOWS: A. PROVIDE PER MANUFACTURER SPECS. B. LENGTH NOT TO EXCEED 14' OR HVAC INSTALLER TO PROVIDE AN APPROVED ENGINEERS DESIGN. C. INSTALL BACK DRAFT DAMPER, PER MANUFAC. INSTALLATION INSTRUCTIONS. D. NO SHEET METAL SCREWS, OR OTHER FASTENERS THAT WILL OBSTRUCT THE FLOW.
- PROVIDE HOSE BIBBS THESE LOCATIONS W/ APPROVED NON-REMOVABLE BACKFLOW PREVENTION DEVICES.
- ATTIC ACCESS PER ARCHITECT W/ MIN. 30" HEADROOM. PROVIDE 2 X LADDER FRAMING @ 24" O.C. BETWEEN TRUSS TOP CHORDS AT 30" TRUSS BAY. WHERE ACCESS IS TO BE CENTERED IN ROOM/HALL, TRUSS MANUFACTURER TO PROVIDE ADDITIONAL TRUSSES AS REQUIRED TO MAINTAIN MAX. TRUSS SPACING
- TUB/SHOWER W/ POLE & SURROUND ALL TUBS TO BE PROVIDED W/PRESURE BALANCED THERMOSTATIC VALVE. SET TUBS IN MORTAR
- WHERE THE OCCUPANCY SEPARATION IS HORIZONTAL, STRUCTURAL MEMBERS SUPPORTING THE SEPARATION SHALL BE PROTECTED BY 5/8" THK. FIRE-RATED TYPE "X" GYP. BD. FIRE-RESISTANT CONSTRUCTION
- maximum rise is 7-3/4 inches and minimum run (tread) is 10 inches. CRC R311.7.4 a. nosing between 3/4" and 1 1/4" with minimum 36 inch wide stairway. CRC R311.7.1
- DOUBLE COMPARTMENT SINK W/ GARBAGE DISPOSAL - (VERIFY W/ MANF. SPECS.)

Designer  
5/13/09

**KEY PLAN**



Engineer of Record  
Discipline Stamp

No.	Date	Rev

Job Title  
**659 HANCOCK Dr**  
FOLSOM, CALIFORNIA

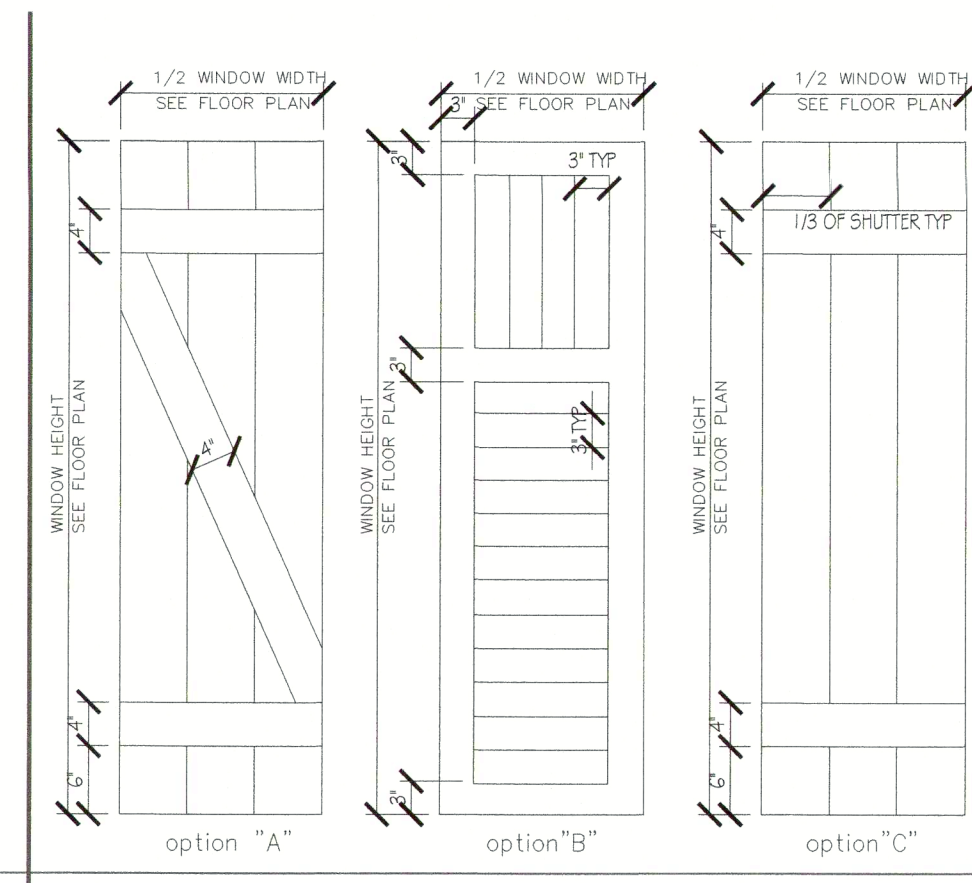
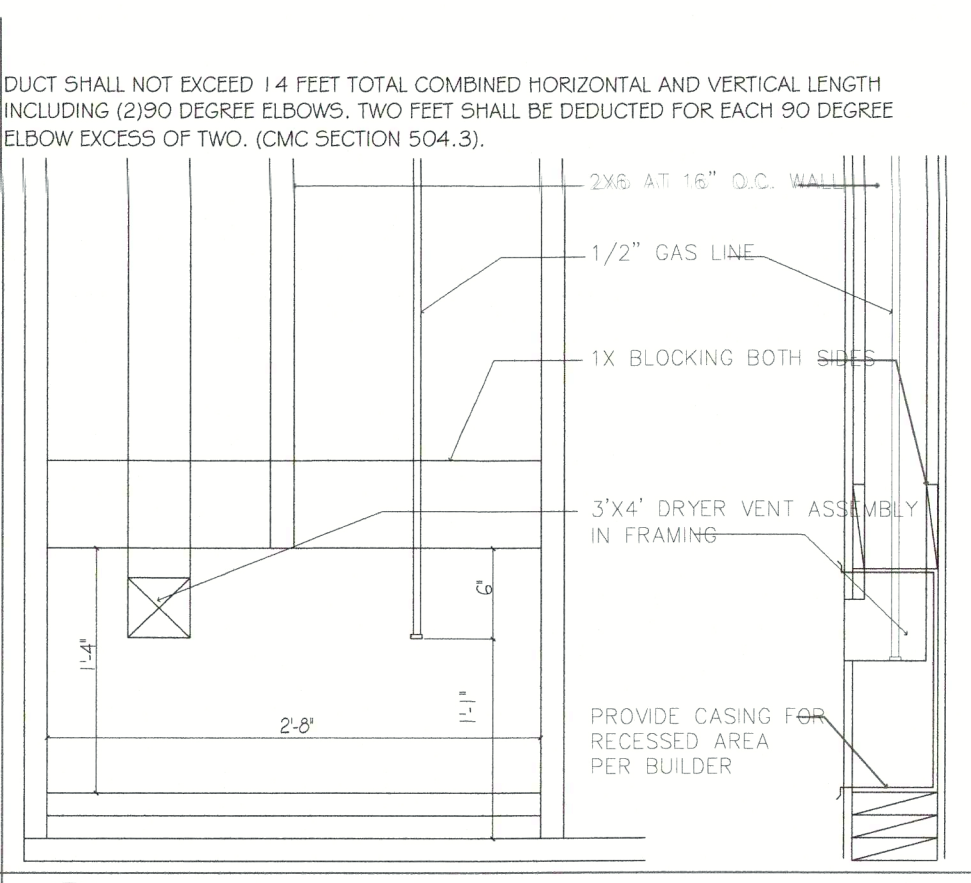
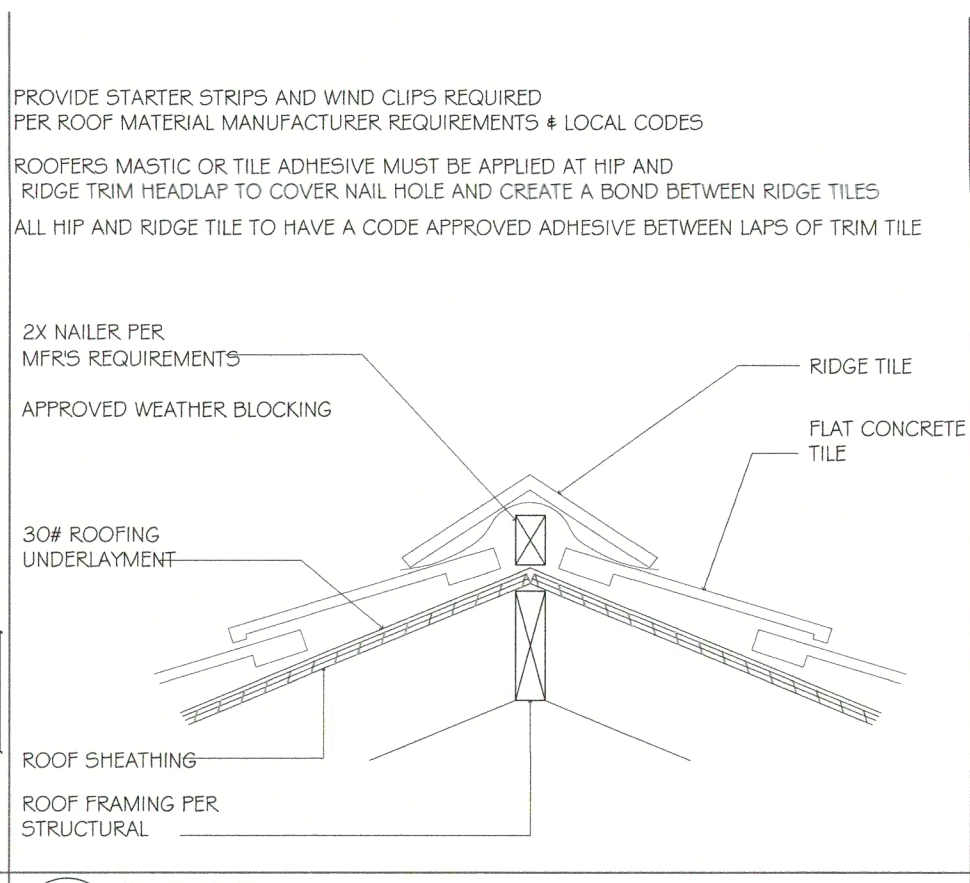
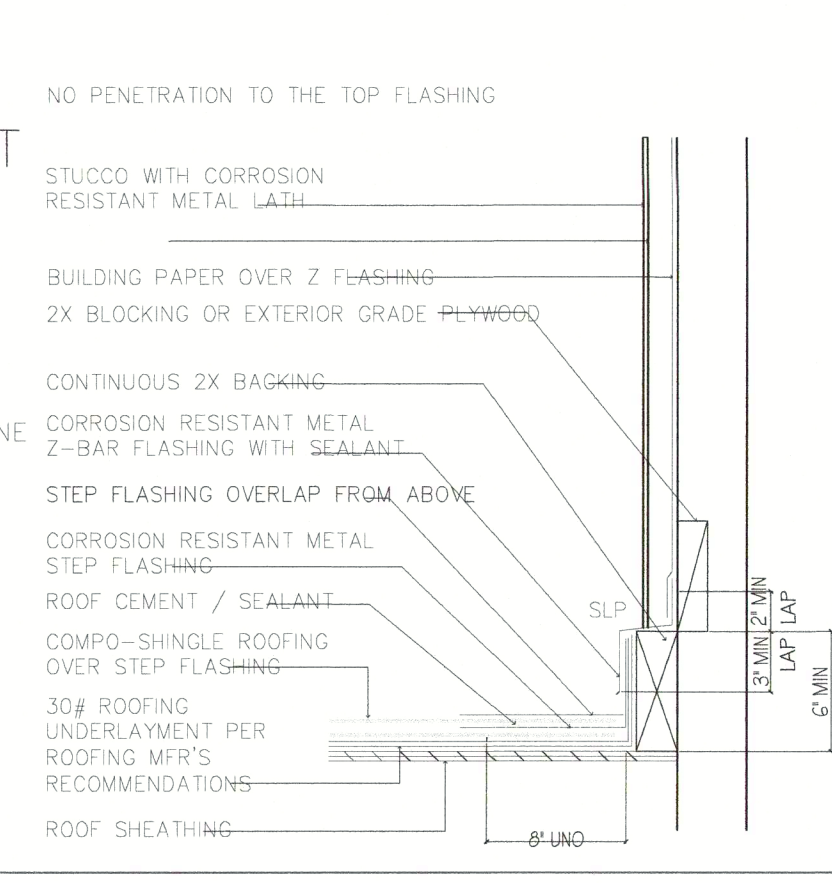
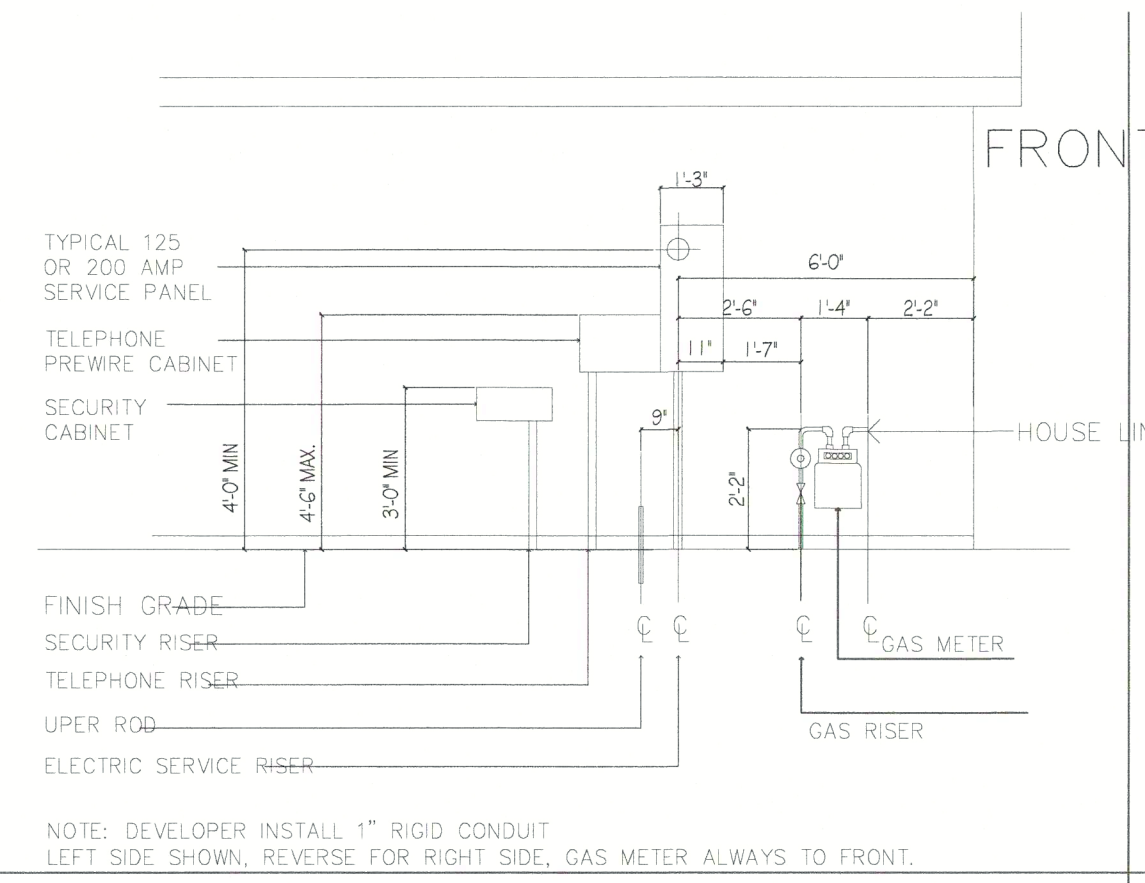
SPD  
SPACE PLUS DIMENSIONS DEVELOPERS

Design Planning  
P O BOX 163653  
SACRAMENTO, CA 95814  
PHONE: (916) 220-2824

**FIRST FLOOR PLAN**

Job 217 Sheet#  
11/9/16  
Drawn TT  
Drawn AG A1





KEYNOTES

109 Specify carbon monoxide alarms at the following locations: CRC R315.3  
A. In the immediate vicinity of bedrooms.  
B. On every level of a dwelling, unit including basements.

110 Provide smoke alarms at the following locations: CRC R314.3  
A. In all bedrooms.  
B. In hallways leading to bedrooms.  
C. Above tops of stairs.  
D. At least one at every floor level.

116 WOOD FRAMED TUB DECK PER TUB MANUFACTURER'S HEIGHT RECOMMENDATIONS - FINISH SPECIFIED BY BUILDER

118 12"x12" MIN. ACCESS DOOR TO JETTED TUB MOTOR - SPECIFIED BY BUILDER

120 WOOD FRAMED SHOWER SEAT - MATCH HEIGHT TO TUB DECK - PROVIDE WATER RESISTANT "DENSshield" BACKING -

135 MECHANICAL CHASE

136 22X30 ATTIC ACCESS, TO BE COORDINATE WITH HVAC EQUIPMENT TO ENSURE EQUIPMENT WILL FIT THROUGH THIS OPENING BUILDER TO PROVIDE LARGER OPENING IF REQUIRED PER CMC 904.10

137 WOOD BALLOON FRAMED WALL - REFER TO STRUCTURAL DRAWINGS: 2x6

138 COLUMN - REFER TO STRUCTURAL DRAWINGS - SPECIFIED BY BUILDER

144 WOOD FRAMED SOFFIT OR DROPPED CEILING - SHOWN SHADED - DISTANCE FROM TOP PLATE:  
a) 6"  
b) 1'-0"

128 18" HIGH WOOD FRAMED WATER HEATER PLATFORM ENCLOSED W/ 5/8" TYPE "X" GYPSUM BOARD - SEE DETAIL 8/A6.08 - ALL IGNITION SOURCES IN GARAGE TO BE A MIN. OF 18" ABOVE GARAGE FLOOR

130 PROVIDE COMBUSTION AIR DUCTS/VENTS (NO DAMPERS) (1) WITHIN 6" OF CEILING AND (1) WITHIN 6" OF FLOOR

131 PANTRY W/ 5 FIXED SHELVES

158 FLOOR MATERIAL TRANSITION

159 COUNTERTOP/BAR/DESKTOP MATERIAL - FINISH SPECIFIED BY BUILDER

179 ZERO CLEARANCE FIREPLACE - SPECIFIED BY BUILDER

Local ventilation shall be provided in the kitchen and all bathrooms, and provided for the attic. The window operation is not a permissible method of providing whole building ventilation required in section 4 of the 100 CFM minimum and 3 score maximum kitchen exhaust requirements and reference the 2013 CBES in lieu of the 2012 Title 24 requirements.

EMERGENCY EGRESS SLEEPING ROOM SHALL HAVE ATLEAST ONE (1) EMERGENCY EXTERIOR EMERGENCY ESCAPE AND RESCUE OPENING. EMERGENCY OPENING SHALL HAVE A MINIMUM NET CLEAR OPENING OF 5.7 SQUARE FEET. THE MINIMUM NET CLEAR OPENING HEIGHT DIMENSION SHALL BE 24" AND THE MINIMUM NET CLEAR OPENING WIDTH DIMENSION SHALL BE 20". EMERGENCY OPENINGS SHALL HAVE THE BOTTOM OF THE CLEAR OPENING NOT GREATER THAN 44" MEASURED FROM THE FLOOR. (CBC SECTION 1026)

Through Penetrations to be in accordance with R 302.4.1.1 R 302.4.2.1

Membrane Penetrations to be in accordance with R 302.4.1 R 302.4.2

PROVIDE A SOLID CORE WOOD DOOR 1 3/8" THICK, SELF-CLOSING TIGHT FITTING DOOR HAVING A FIRE PROTECTIVE RATING OF NOT LESS THAN 20 MINUTES PER UBC, SECTION 302.4

PROVIDE WATER STUB FOR ICEMAKER

PROVIDE DRYER VENT AS FOLLOWS:  
A. PROVIDE PER MANUFACTURER SPECS.  
B. LENGTH NOT TO EXCEED 14' OR HVAC INSTALLER TO PROVIDE AN APPROVED ENGINEERS DESIGN.  
C. INSTALL BACK DRAFT DAMPER, PER MANUFAC. INSTALLATION INSTRUCTIONS.  
D. NO SHEET METAL SCREWS, OR OTHER FASTENERS THAT WILL OBSTRUCT THE FLOW.

ATTIC ACCESS PER ARCHITECT W/ MIN. 30" HEADROOM. PROVIDE 2 X LADDER FRAMING @ 24" O.C. BETWEEN TRUSS TOP CHORDS AT 30" TRUSS BAY. WHERE ACCESS IS TO BE CENTERED IN ROOM/HALL, TRUSS MANUFACTURER TO PROVIDE ADDITIONAL TRUSSES AS REQUIRED TO MAINTAIN MAX. TRUSS SPACING

A FORCED AIR FURNACE LOCATED IN ATTIC ABOVE SHALL COMPLY WITH THE FOLLOWING:  
A LEVEL WORKING PLATFORM 30 INCHES IN DEPTH IN FRONT OF THE ENTIRE FIREBOX (FIREBOX SIDE WITH A 24" CATWALK FROM ACCESS TO WORKING PLATFORM (SEE MECHANICAL CODE #10)

TUB/SHOWER W/ POLE & SURROUND ALL TUBS TO BE PROVIDED W/PRESSURE BALANCED THERMOSTATIC VALVE. SET TUBS IN MORTAR

WHERE THE OCCUPANCY SEPARATION IS HORIZONTAL, STRUCTURAL MEMBERS SUPPORTING THE SEPARATION SHALL BE PROTECTED BY 5/8" THK. FIRE-RATED TYPE "X" GYP. BD. FIRE-RESISTANT CONSTRUCTION

MINIMUM WIDTH OF STAIRCASE TO BE 36".  
1. the maximum rise to 7-3/4"  
2. the minimum run to be 10" when provided with a nosing between 3/4" and 1 1/4".

GLASS IN WINDOWS, DOORS & PANELS OF SHOWER & BATHTUB ENCLOSURES AND ADJACENT WALL OPENINGS WITHIN 60" ABOVE A STANDING SURFACE AND DRAIN INLET SHALL BE FULLY TEMPERED.

Shower and tub/shower walls are a smooth, hard, nonabsorbent surface (e.g., ceramic tile or fiberglass) over a moisture resistant underlayment (e.g., cement, fiber cement, or glass mat gypsum backer) to a height of 72 inches above the drain inlet

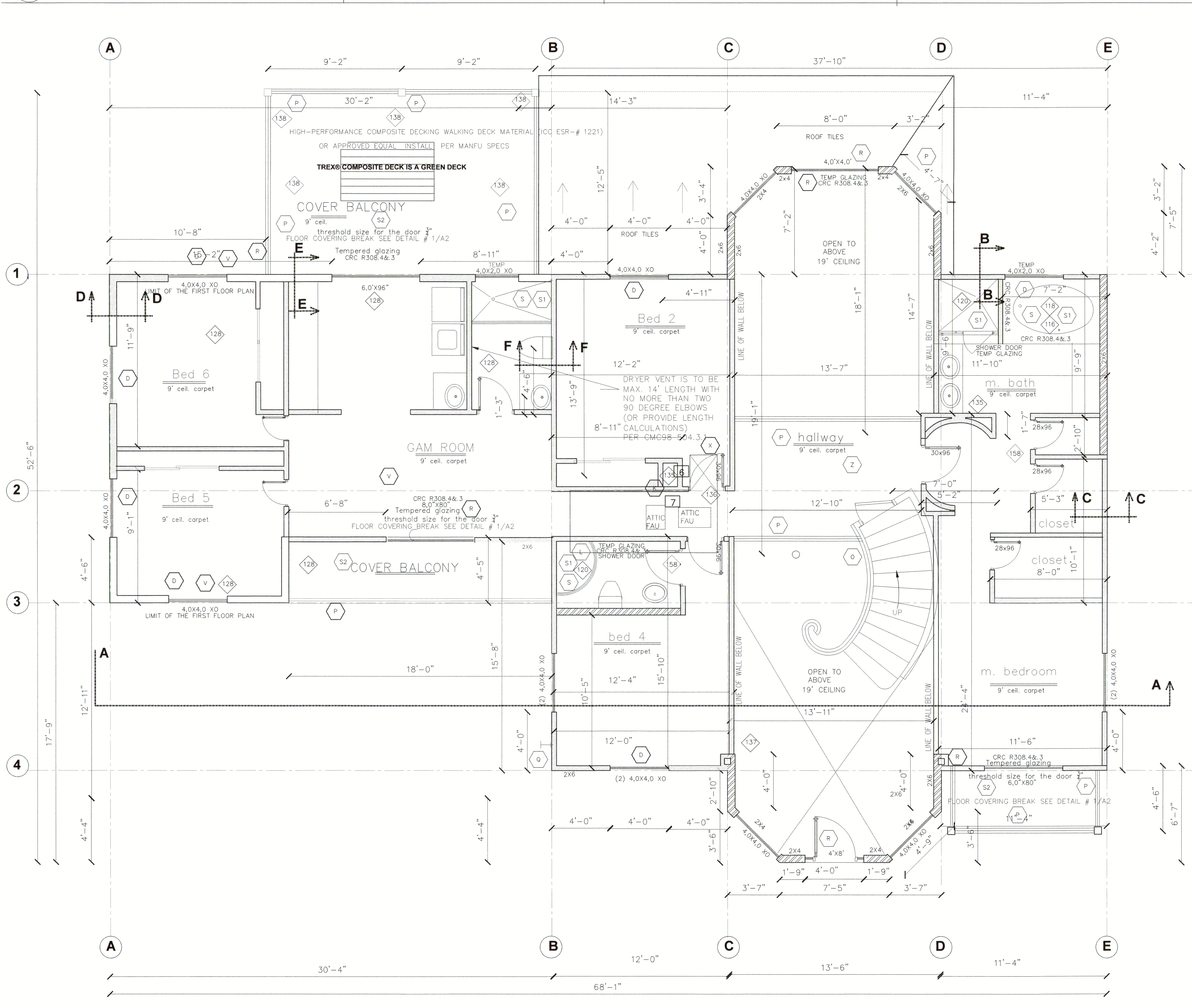
1 UTILITY PANEL & METER LOCATIONS  
SCALE : NTS

2 WALL TO RAKE ROOF  
SCALE 1-1/2"=1'-0"

3 RIDGE  
SCALE 1-1/2"=1'-0"

4 DRYER VENT  
SCALE 1"=1'-0"

5 DECORATIVE SHUTTER STYLES  
SCALE : 3"=1'-0"



- 7 FAU IN ATTIC ABOVE-PROVIDE UNOBSTRUCTED PASSAGE WAY WHICH IS LARGE ENOUGH TO REMOVE THE LARGEST PIECE OF EQUIPMENT. PASSAGEWAY DIMENSIONS SHALL BE MINIMUM 30" HIGH X 30" WIDE PLYWOOD FLOORING AND A 30"x30" PLATFORM AT SERVICE SIDE OF EQUIPMENT. MAXIMUM 20'-0" FROM ACCESS POINT TO FAU. (CMC SECTION 904.11) VERIFY LOCATION WITH MECHANICAL DRAWINGS.
- 8 A/C CONDENSER: PROVIDE MINIMUM 30"x30" CONCRETE PAD MINIMUM 3" ABOVE GRADE. THE THRESHOLD SHALL NOT BE MORE THAN 7.75" ABOVE THE LANDING. R311.3.1
- 9 TEMPERED SAFETY GLASS: PROVIDE TEMPERED GLASS PER CODE REQUIREMENTS PROVIDE A DESIGN BASED ON THE 2013 CRC
- 10 DRYER-VENT DUCT SHALL BE OF METAL AND SHALL HAVE SMOOTH INTERIOR SURFACES, EXTENDING TO EXTERIOR WITH BACKDRAFT DAMPER (CMC SECTION 504.3)
- 11 WASHING MACHINE: PROVIDE PRE-FABRICATED GALVANIZED METAL PAN UNDER WASHING MACHINE LOCATED ON UPPER FLOOR. DRAIN TO EXTERIOR.
- UPPER CABINETS: WALL MOUNTED ABOVE, 12" DEEP TYPICAL. 24" DEEP ABOVE REFRIGERATOR.
- 13 SHOWERS & TUB/ SHOWER COMBINATIONS. PROVIDE A SMOOTH, HARD, NON-ABSORBENT SURFACE OVER A MOISTURE RESISTANT GYPSUM BOARD TO A HEIGHT OF MINIMUM 70" ABOVE DRAIN INLET (CPC SECTION 411.7) LOCATE SHOWER HEAD AT +84" AFF.
- 14 LOW WALL: PROVIDE WITH DOUBLE TOP PLATE HEIGHT AT +42" AFF OR STAIR NOSING.(UNO)
- 15 30" GAS RANGE(ELECTRIC OPTIONAL) WITH 24" MICRO/HOOD, LIGHT, EXHAUST FAN ABOVE.
- 16 OPTIONAL FIRE PLACE: PRE FABRICATED GAS REPLACE.(ANSI Z21.50) INSTALLATION SHALL BE IN ACCORDANCE WITH CODE AND MANUFACTURER'S REQUIREMENTS.(CMC SECTION 908)
- S1 GLASS IN WINDOWS, DOORS & PANELS OF SHOWER & BATHTUB ENCLOSURES AND ADJACENT WALL OPENINGS WITHIN 60" ABOVE A STANDING SURFACE AND DRAIN INLET SHALL BE FULLY TEMPERED.
- S2 BALCONIES, LANDINGS, EXTERIOR STAIRWAYS, OCCUPIED ROOFS AND SIMILAR SURFACES EXPOSED TO WEATHER AND SEALED UNDERNEATH SHALL BE WATERPROOFED AND SLOPED A MINIMUM OF 2% FOR DRAINAGE.
- S3 Specify shower and tub/shower walls are a smooth, hard, nonabsorbent surface (e.g., ceramic tile or over a moisture resistant underlayment (e.g., cement, fiber cement, or glass mat gypsum backer) to a height of 72 inches above the drain inlet. CRC R307 and 702.3 .8
- M1 DISHWASHER- W/ APPROVED AIR GAP FITTING
- M 42" PRE- FAB. ZERO-CLEARANCE GAS FIREPLACE W/ MIN. 16" DEEP NON COMBUSTIBLE HEARTH & SURROUND PROVIDE GAS CONNECTION, LOG LIGHTER & KEY, & GLASS DOOR.
- R ALL EXTERIOR DOORS SHALL HAVE A MINIMUM 36" DEEP LANDING OUTSIDE EXTERIOR DOORS (NOT MORE THAN 8" LOWER THAN THRESHOLD FOR IN-SWINGING DOORS, AND NOT MORE THAN 1" LOWER THAN THRESHOLD FOR OUT-SWINGING DOORS.)
- S1 GLASS IN WINDOWS, DOORS & PANELS OF SHOWER & BATHTUB ENCLOSURES AND ADJACENT WALL OPENINGS WITHIN 60" ABOVE A STANDING SURFACE AND DRAIN INLET SHALL BE FULLY TEMPERED.
- S2 BALCONIES, LANDINGS, EXTERIOR STAIRWAYS, OCCUPIED ROOFS AND SIMILAR SURFACES EXPOSED TO WEATHER AND SEALED UNDERNEATH SHALL BE WATERPROOFED AND SLOPED A MINIMUM OF 2% FOR DRAINAGE.
- P AT GUARDS; GUARDS SHALL BE MIN OF 42" IN HEIGHT AND SPACED SUCH THAT A 4" SPHERE CAN NOT PASS
- P1 BALUSTERS: a design based on the 2016 CRC: A. HANDRAILS SHALL SATISFY CBC 1008.9 B. OPENINGS BETWEEN RAILINGS SHALL BE LESS THAN 4" C. FINISHED HEIGHT SHALL BE 34" TO 38" ABOVE NOSE OF TREAD.
- P2 Specify minimum 30 inch wide clear space at the water closet, extending at least 24 inches in front of the water closet. CPC 407 .5
- P3 A handrail on one side is required at stairways with four or more risers. Revise and show location of handrail(s). CRC R3 11.7.7
- P4 carbon monoxide alarms at the following locations: CRC R3 15 .3 A. In the immediate vicinity of bedrooms. B. On every level of a dwelling, unit including basement
- P5 3-coat stucco application is 7/8-inch minimum thick. CRC R703.6.2

KEY PLAN

Engineer of Record  
Discipline Stamp

No. Date Rev

Job Title

659 HANCOCK Dr  
FOLSOM, CALIFORNIA

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S P D

SPACE PLUS DIMENSIONS DEVELOPERS

Design Planning

P O BOX 163653  
SACRAMENTO, CA 95814  
PHONE: (916) 220-2824

SECOND FLOOR PLAN

Job 217 Sheet#

11/9/16

Drawn TT  
Drawn AG

A2

1/2" THK. GYP BOARD  
0/2x4 STUDS @ 16"  
O.C. NOTE ADD 3/8"  
OSB WHERE NOTED.  
ALL CEILINGS 5/8" TYPE  
X GYPSUM BOARD



P████████ C██ █ █████  
████ █ ████████ Dr████ T████ █████ VARI██████████  
████ ████████

## **Attachment 6 Proposed Plans**

659 Hancock Dr  
Folsom, CA

REVISIONS

ENGINEER OF RECORDED  
Firas Jandali, C.E., S.E., Ph.D.  
R.C.E. C038284

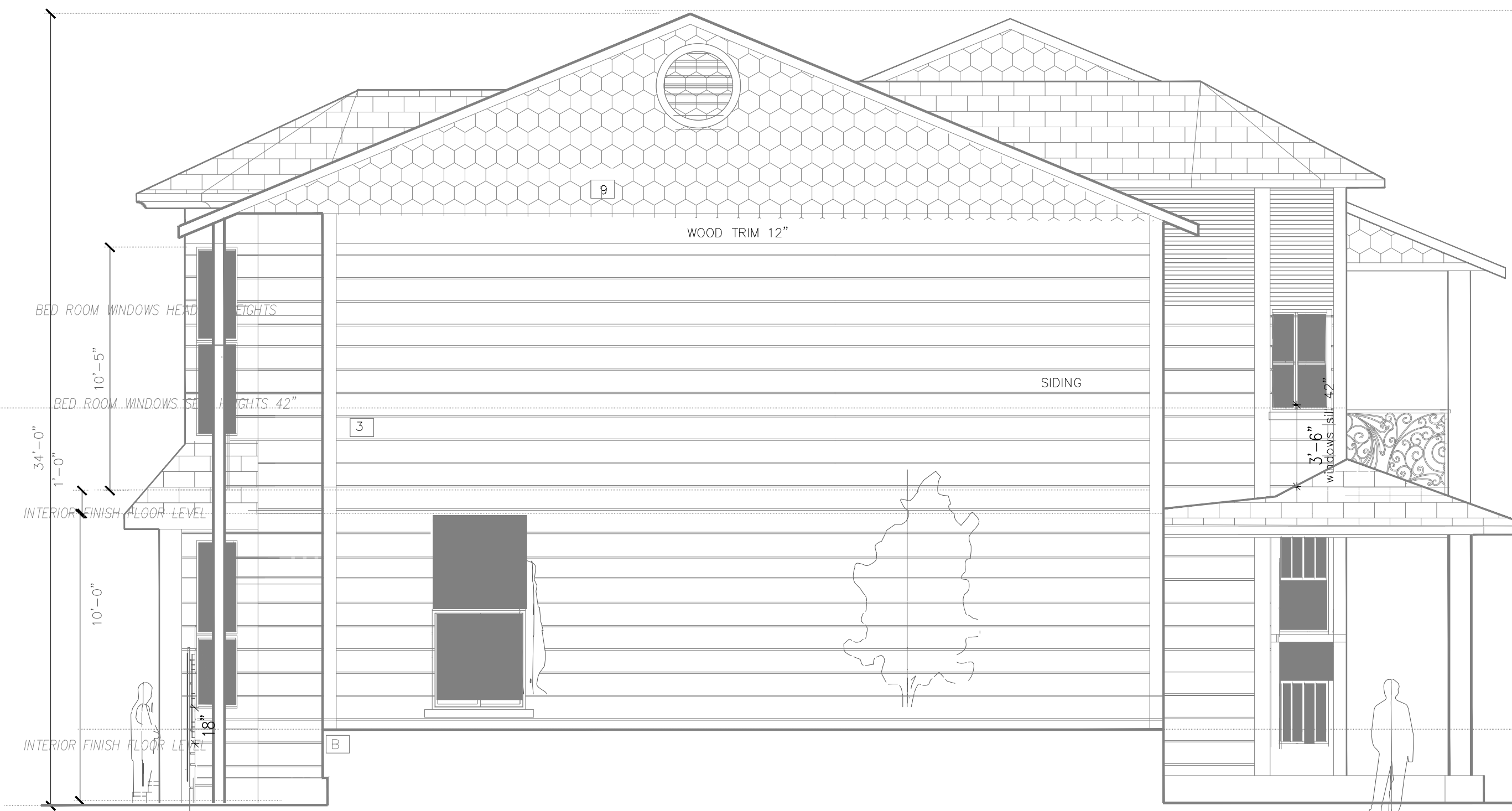


LEFT SIDE ELEVATION



FRONT ELEVATION

SCALE: 1/4"=1'-0"



RIGHT SIDE ELEVATION

SCALE: 1/4"=1'-0"



REAR ELEVATION

SCALE: 1/4"=1'-0"

CONST. DOCS

SCALE 1/16" = 1'0"

A3  
ELEVATIONS  
PLANS

REVISIONS

ENGINEER OF RECORDED  
Firas Jandali, C.E., S.E., Ph.D.  
R.C.E. C038284

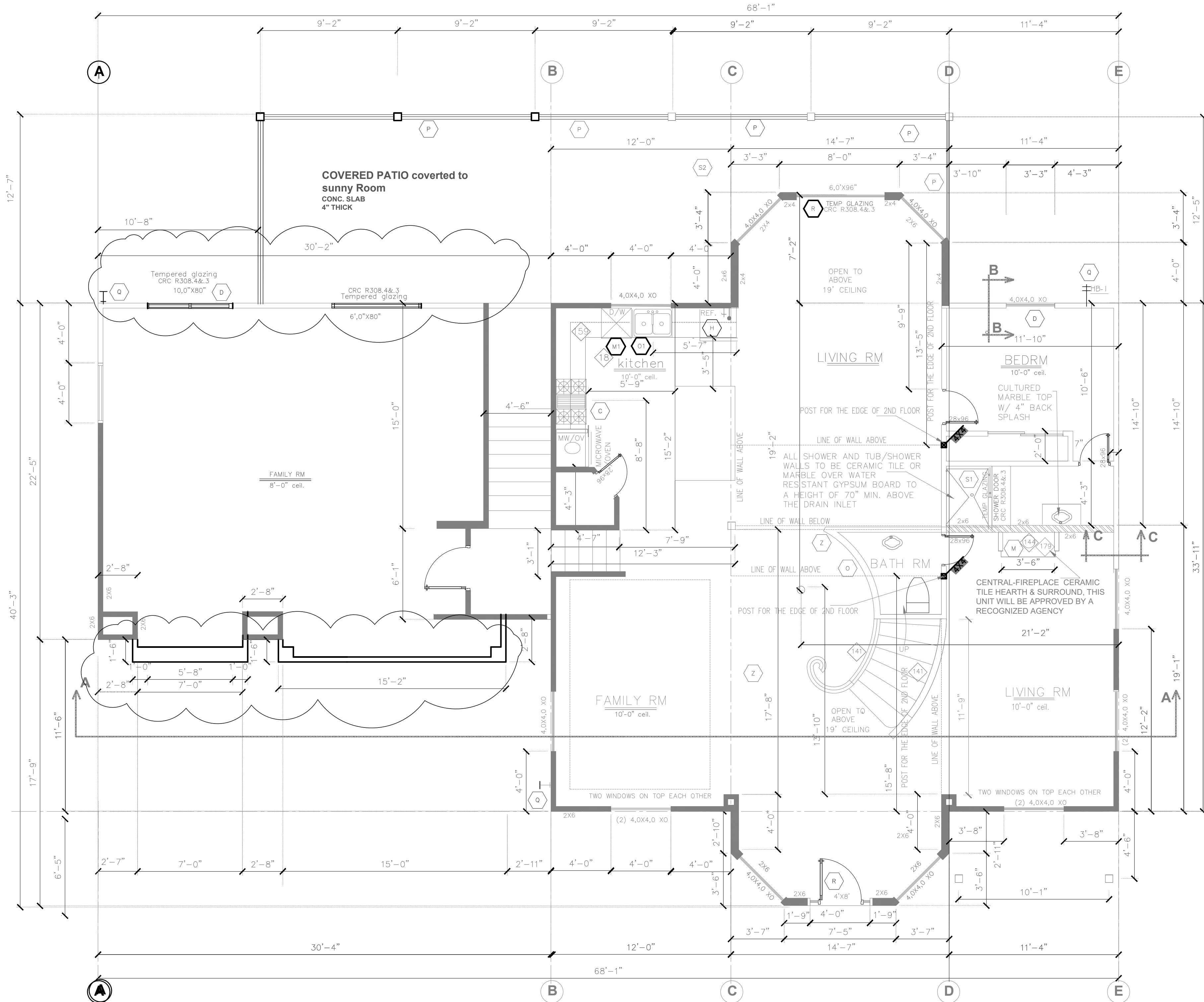


KEYNOTES

- 116 WOOD FRAMED TUB DECK PER TUB MANUFACTURER'S HEIGHT RECOMMENDATIONS - FINISH SPECIFIED BY BUILDER
- 118 12"x12" MIN. ACCESS DOOR TO JETTED TUB MOTOR - SPECIFIED BY BUILDER
- 120 WOOD FRAMED SHOWER SEAT - MATCH HEIGHT TO TUB DECK - PROVIDE WATER RESISTANT "DENSIELD" BACKING -
- 135 MECHANICAL CHASE
- 136 22X30 ATTIC ACCESS, TO BE COORDINATE WITH HVAC EQUIPMENT TO ENSURE EQUIPMENT WILL FIT THROUGH THIS OPENING BUILDER TO PROVIDE LARGER OPENING IF REQUIRED PER CMC 904.10
- 137 WOOD BALLOON FRAMED WALL - REFER TO STRUCTURAL DRAWINGS: 2x6
- 138 COLUMN - REFER TO STRUCTURAL DRAWINGS - SPECIFIED BY BUILDER
- 144 WOOD FRAMED SOFFIT OR DROPPED CEILING - SHOWN SHADED - DISTANCE FROM TOP PLATE:  
a) 6"  
b) 1'-0"
- 129 18" HIGH WOOD FRAMED WATER HEATER PLATFORM ENCLOSED W/ 5/8" TYPE "X" GYPSUM BOARD - SEE DETAIL B/A6.08 - ALL IGNITION SOURCES IN GARAGE TO BE A MIN. OF 18" ABOVE GARAGE FLOOR
- 130 PROVIDE COMBUSTION AIR DUCTS/VENTS (NO DAMPERS) (1) WITHIN 6" OF CEILING AND (1) WITHIN 6" OF FLOOR
- 131 PANTRY W/ 5 FIXED SHELVES
- 158 FLOOR MATERIAL TRANSITION
- 159 COUNTERTOP/BAR/DESKTOP MATERIAL - FINISH SPECIFIED BY BUILDER
- 179 ZERO CLEARANCE FIREPLACE - SPECIFIED BY BUILDER
- Local ventilation shall be provided in the kitchen and of bathroom and provided per the manufacturer's instructions. Note that for the window operation is not a permissible method of providing whole house ventilation required in section 4.0 of the 100 CFM minimum and 3 some maximum kitchen exhaust requirements and reference the 2013 CBEES in lieu of the 2012 Title 24 requirements.
- EMERGENCY EGRESS SLEEPING ROOM SHALL HAVE ATLEAST ONE (1) EMERGENCY EXTERIOR ESCAPE AND RESCUE OPENING. EMERGENCY OPENING SHALL HAVE A MINIMUM NET CLEAR OPENING OF 5.7 SQUARE FEET. THE MINIMUM NET CLEAR OPENING HEIGHT DIMENSION SHALL BE 24" AND THE MINIMUM NET CLEAR OPENING WIDTH DIMENSION SHALL BE 20". EMERGENCY OPENINGS SHALL HAVE THE BOTTOM OF THE CLEAR OPENING NOT GREATER THAN 44" MEASURED FROM THE FLOOR. (CBC SECTION 1026)
- Through Penetrations to be in accordance with R 302.4.1.1 R 302.4.2.1
- Membrane Penetrations to be in accordance with R 302.4.1 R 302.4.2
- PROVIDE A SOLID CORE WOOD DOOR 1 3/8" THICK, SELF-CLOSING TIGHT FITTING DOOR HAVING A FIRE PROTECTION RATING OF NOT LESS THAN 20 MINUTES PER UBC. SECTION 302.4
- PROVIDE WATER STUB FOR ICEMAKER
- PROVIDE DRYER VENT AS FOLLOWS:  
A. PROVIDE PER MANUFACTURER SPECS.  
B. LENGTH NOT TO EXCEED 14' OR HVAC INSTALLER TO PROVIDE AN APPROVED ENGINEERS DESIGN.  
C. INSTALL BACK DRAFT DAMPER, PER MANUFAC. INSTALLATION INSTRUCTIONS.  
D. NO SHEET METAL SCREWS, OR OTHER FASTENERS THAT WILL OBSTRUCT THE FLOW.
- ATTIC ACCESS PER ARCHITECT W/ MIN. 30" HEADROOM. PROVIDE 2 X LADDER FRAMING @ 24" O.C. BETWEEN TRUSS TOP CHORDS AT 30" TRUSS BAY. WHERE ACCESS IS TO BE CENTERED IN ROOM/HALL, TRUSS MANUFACTURER TO PROVIDE ADDITIONAL TRUSSES AS REQUIRED TO MAINTAIN MAX. TRUSS SPACING
- A FORCED AIR FURNACE LOCATED IN ATTIC ABOVE SHALL COMPLY WITH THE FOLLOWING:  
1. A LANDING PLATFORM 30 INCHES IN DEPTH IN FRONT OF THE ENTIRE FIREBOX.  
2. FIREBOX SIDE WITH A 2" CATWALK FROM ACCESS TO WORKING PLATFORM (SEE MECHANICAL CODE #110)
- TUB/SHOWER W/ POLE & SURROUND ALL TABS TO BE PROVIDED W/PRESURE BALANCED THERMOSTATIC VALVE. SET TUBS IN MORTAR
- WHERE THE OCCUPANCY SEPARATION IS HORIZONTAL, STRUCTURAL MEMBERS SUPPORTING THE SEPARATION SHALL BE PROTECTED BY 5/8" THK. FIRE-RATED TYPE "X" GYP. BD. FIRE-RESISTANT CONSTRUCTION
- MINIMUM WIDTH OF STAIRCASE TO BE 36".  
1. the maximum rise to 7.75"  
2. the minimum run to be 11" or 1 0" when provided with a nosing between 3/4" and 1 1/4".
- AT GUARDS:  
GUARDS SHALL BE MIN OF 42" IN HEIGHT AND SPACED SUCH THAT A 4" SPHERE CAN NOT PASS
- GLASS IN WINDOWS, DOORS & PANELS OF SHOWER & BATHTUB ENCLOSURES AND ADJACENT WALL OPENINGS WITHIN 60" ABOVE A STANDING SURFACE AND DRAIN INLET SHALL BE FULLY TEMPERED.
- BALCONIES, LANDINGS, EXTERIOR STAIRWAYS, OCCUPIED ROOFS AND SIMILAR SURFACES EXPOSED TO WEATHER AND SEALED UNDERNEATH SHALL BE WATERPROOFED AND SLOPED A MINIMUM OF 2% FOR DRAINAGE. (SEE BUILDING CODE NOTE #820)

- 7 FAU IN ATTIC ABOVE: PROVIDE UNOBSTRUCTED PASSAGE WAY WHICH IS LARGE ENOUGH TO REMOVE THE LARGEST PIECE OF EQUIPMENT. PASSAGEWAY DIMENSIONS SHALL BE MINIMUM 30" HIGH X 30" WIDE PLYWOOD FLOORING AND A 30"x30" PLATFORM AT SERVICE SIDE OF EQUIPMENT. MAXIMUM 20'-0" FROM ACCESS POINT TO FAU. (CMC SECTION 904.11) VERIFY LOCATION WITH MECHANICAL DRAWINGS.
- 8 A/C CONDENSOR: PROVIDE MINIMUM 30"x30" CONCRETE PAD' MINIMUM 3" ABOVE GRADE the threshold shall not be more than 7.75" above the landing. R311.3.1.
- 9 TEMPERED SAFETY GLASS: PROVIDE TEMPERED GLASS PER CODE REQUIREMENTS provide a design based on the 2013 CRC
- 10 DRYER VENT DUCT SHALL BE OF METAL AND SHALL HAVE SMOOTH INTERIOR SURFACES, EXTENDING TO EXTERIOR WITH BACKDRAFT DAMPER. (CMC SECTION 504.3)
- 11 WASHING MACHINE: PROVIDE PRE-FABRICATED GALVANIZED METAL PAN UNDER WASHING MACHINE LOCATED ON UPPER FLOOR. DRAIN TO EXTERIOR.  
UPPER CABINETS: WALL MOUNTED ABOVE, 12" DEEP TYPICAL 24" DEEP ABOVE REFRIGERATOR.
- 13 SHOWERS & TUB/ SHOWER COMBINATIONS. PROVIDE A SMOOTH, HARD, NON-ABSORBENT SURFACE OVER MOISTURE RESISTANT GYPSUM BOARD TO A HEIGHT OF MINIMUM 70" ABOVE DRAIN INLET (CPC SECTION 411.7) LOCATE SHOWER HEAD AT +84" AFF.
- 14 LOW WALL: PROVIDE WITH DOUBLE TOP PLATE HEIGHT AT +42" AFF OR STAIR NOSING. (UNO)
- 15 30" GAS RANGE (ELECTRIC OPTIONAL) WITH 24" MICRO/HOOD, LIGHT, EXHAUST FAN ABOVE.
- 16 OPTIONAL FIRE PLACE: PRE FABRICATED GAS REPLACE. (ANSI Z21.50) INSTALLATION SHALL BE IN ACCORDANCE WITH CODE AND MANUFACTURER'S REQUIREMENTS. (CMC SECTION 906)

- GLASS IN WINDOWS, DOORS & PANELS OF SHOWER & BATHTUB ENCLOSURES AND ADJACENT WALL OPENINGS WITHIN 60" ABOVE A STANDING SURFACE AND DRAIN INLET SHALL BE FULLY TEMPERED.
- BALCONIES, LANDINGS, EXTERIOR STAIRWAYS, OCCUPIED ROOFS AND SIMILAR SURFACES EXPOSED TO WEATHER AND SEALED UNDERNEATH SHALL BE WATERPROOFED AND SLOPED A MINIMUM OF 2% FOR DRAINAGE. (SEE BUILDING CODE NOTE #820)
- DISHWASHER- W/ APPROVED AIR GAP FITTING
- 42" PRE- FAB. ZERO-CLEARANCE GAS FIREPLACE W/ MIN. 18" DEEP NON COMBUSTIBLE HEARTH & SURROUND PROVIDE GAS CONNECTION, LOG LIGHTER & KEY, & GLASS DOOR.
- ALL EXTERIOR DOORS SHALL HAVE A MINIMUM 36" DEEP LANDING OUTSIDE EXTERIOR DOORS (NOT MORE THAN 8" LOWER THAN THRESHOLD FOR IN-SWINGING DOORS, AND NOT MORE THAN 1" LOWER THAN THRESHOLD FOR OUT-SWINGING DOORS.)
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- AT GUARDS:  
GUARDS SHALL BE MIN OF 42" IN HEIGHT AND SPACED SUCH THAT A 4" SPHERE CAN NOT PASS
- BALUSTERS: a design based on the 2013 CRC:  
A. HANDRAILS SHALL SATISFY CBC 1008.9  
B. OPENINGS BETWEEN RAILINGS SHALL BE LESS THAN 4"  
C. FINISHED HEIGHT SHALL BE 34" TO 38" ABOVE NOSE OF TREAD.



AREA	TOTAL (E) LIVING AREA	2888 SF New addition is 408 SQ Feet
2ND FLOOR	1435 SF	AREA COVER FIRST FLOOR 2618 SF
COVER Balcony	253 SF	Lot size 8,976 SF
		Lot coverage 2,618 sf/ 8976= X.2916

FIRST FLOOR PLAN 1/4" = 1'-0"

CONST. DOCS

SCALE 1/16" = 1'-0"

A1  
FLOOR PLANS



P████████ C██ █ █████  
████ █ ████████ Dr████ T████ █████ VARI████████████  
████ █████████

# **Attachment 7**

## **Applicant's Variance Justification**

**Tarik Taeha**

659 Hancock Dr Folsom CA 95630

Dear Mr kinkade

## **Variations and Special Exceptions: Key Criteria**

### **Unique or Extraordinary Circumstances:**

- **Explanation:** The property, building, or intended use must possess unique features that distinguish it from others in the zoning district. This could involve the land's physical characteristics, historical significance, or other specific details not generally applicable.

### **Preserving Substantial Property Rights:**

- **Explanation:** Granting the variance should be necessary for the owner to enjoy significant property rights typically available to others in the district. It ensures owners can utilize their property to its fullest potential within zoning regulations.

### **Impact on Public Health, Safety, and Welfare:**

- **Explanation:** The variance must not negatively affect the surrounding community. It shouldn't pose health or safety risks, harm public welfare, or damage nearby properties.

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## **Applying These Criteria to Our Situation**

### **Unique or Extraordinary Circumstances:**

- **Current Situation:** A six-person family resides in a 2,880 square foot home, which might feel cramped compared to an average of 1,500 square feet per person in the neighborhood.
- **Arguments:**
  - Our lot size is unusually small, at 8,900 square feet, limiting potential for expansion.
  - Specific physical limitations (e.g., slope, required setbacks) prevent expansion within existing regulations.
  - The large family size, while a common situation, creates a unique hardship in the context of this property and zoning district.

- The smaller lot size compared to the district average restricts options for expansion within the existing footprint.
- Zoning height restrictions limit our ability to expand upwards, further constraining potential solutions.

### **Preserving Substantial Property Rights:**

- **Current Situation:** The cramped living conditions impede the family's ability to fully enjoy their property rights.
- **Arguments:**
  - Granting the variance would allow the family to use their property in a manner consistent with other families in the district.
  - It ensures fairness by allowing the family to have similar living space per person as their neighbors.
  - The lot coverage will remain less than 28% before and after the proposed expansion.
  - The proposed expansion will allow the family to live with the dignity and safety afforded to other families in the neighborhood.

### **Impact on Public Health, Safety, and Welfare:**

- **Current Situation:** The proposed expansion must not negatively affect the surrounding community.
- **Arguments:**
  - The expansion will comply with all safety regulations, including setbacks and fire codes.
  - The expansion will not increase traffic congestion or parking issues.
  - The expansion will not block sunlight or views of neighboring properties.
  - The expansion will improve the overall living conditions for the family, indirectly benefiting the community by reducing stress levels, improving mental health, and fostering a more positive family environment.

## **Moving Forward**

### **Proving Minimal Impact on the Neighborhood:**

- **Safety Compliance:** Ensure that the expansion adheres to all relevant safety regulations.
- **Community Impact:** Demonstrate that the expansion will not exacerbate traffic or parking problems, nor will it infringe on neighbors' light or views.

### **Strengthening Our Case:**

- **Quantify the Uniqueness:** Include the actual lot size of 8,900 square feet and compare it to the zoning district's average lot size. Note that the lot coverage will not change significantly and will remain less than 28%.
- **Document the Hardship:** Provide details about the current living situation that showcase the hardship for our family. This could involve exceeding occupancy limits or safety concerns due to overcrowding. Highlight how the family has difficulty with the current house size compared to the rest of the neighborhood, where each person has more square footage.
- **Consult a Zoning Professional:** Seek guidance on specific requirements and the application process.
- **Gather Evidence:** Document physical limitations and the minimal impact of the proposed expansion on the neighborhood. Emphasize that there is no physical impact at all on the entire neighborhood.
- **Explore Alternatives:** Consider solutions that comply with existing regulations, such as creative interior design or maximizing existing space. Highlight that the interior space changes will not affect any setbacks or lot coverage.
- **Comparison:** Compare to properties like 663 Hancock Drive (3,100 square feet with two persons) and 652 Hancock Drive (3,000 square feet with one person) to illustrate the disparity. In contrast, six adults live in a 2,880 square foot home, averaging less than 500 square feet per person.

**Additional Supporting Materials:**

- **Property Survey:** Verify the lot size and any physical limitations.
- **Letters of Support:** Encourage our supportive neighbors to write formal letters expressing their approval of the proposed expansion. These letters should mention:
  - Their knowledge of our project
  - Their agreement that the expansion won't negatively impact them
  - Their positive view of the project overall, will be provided to planning commissions

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By emphasizing the property's unique features, demonstrating the minimal impact on the neighborhood, and focusing on the necessity of the variance for preserving substantial property rights, we can present a compelling case.

Tarik Taaha  
916 2202824

P████████ C███ ██████  
████ ██████ Dr████ T████ VARI████████████  
████ ██████████

## **Attachment 8**

### **Site Photos**







P████████ C███ ██████  
████ ██████ Dr████ T████ █████ VARI████████████  
████ ██████████

## **Attachment 9**

# **Photo of Site Prior to Development**





P████████ C███ ██████  
████ ██████ Dr████ T████ █████ VARI████████████  
████ ██████████

## **Attachment 10**

# **Photos of Neighboring Properties**





