

THE CONTRACTOR SHALL VERIFY ALL JOB CONDITIONS AND DIMENSIONS BEFORE BEGINNING WORK.

SHEET ABBREVIATIONS

AB	ANCHOR BOLT	GA	GAUGE	REIN	REINFORCED
ADJ	ADJACENT	GFCI	GROUND FAULT INTERRUPTER	RM	ROOM
ALUM	ALUMINUM	GALV	GALVANIZED	RWD	REDWOOD
BM	BEAM	GL	GLASS	S	SOUTH
BOW	BOTTOM OF WALL	GYP	GYPSUM	SB	SET BACK
BKG	BLOCKING	H	HIGH OR HEIGHT	SBO	SELECTED BY OWNER
BRD	BOARD	HB	HOSE BIBB	SF	SQUARE FOOT
CC	CENTER TO CENTER	JTS	JOIST	SHHG	SHEATHING
CL	CENTERLINE	LAV	LAVATORY	SHWR	SHOWER
CEM	CEMENT	LB	POUND	SIM	SIMILAR
CER	CERAMIC	LIN	LINEN	SIMP	'SIMPSON'
CJ	CONTROL JOINT	LT	LIGHT	SID	SIDING
CLG	CEILING	MANF	MANUFACTURER	S&P	SHELF & POLE
CLR	CLEAR	MAX	MAXIMUM	STRCT	STRUCTURAL
CLO	CLOSET	MC	MEDICINE CABINET	T	TREAD
CO	CLEANOUT	MIN	MINIMUM	TEMP	TEMPERED
CONC	CONCRETE	MTL	METAL	TOC	TOP OF CONCRETE
CONTIN	CONTINUOUS	N	NORTH	TOG	TOP OF GRADE
DBL	DOUBLE	O/	OVER	TOF	TOP OF FLOOR
DF	DOUGLAS FIR	OC	ON CENTER	TOP	TOP OF PAVEMENT
DI	DRAIN INLET	OFCI	OWNER FURNISHED	TOS	TOP OF SLAB
DIA	DIAMETER		CONTRACTOR INSTALLED	TOW	TOP OF WALL
DR	DOOR	O	OWNER SELECTED	TV	TELEVISION
DW	DISH WASHER	PB	PUSH BUTTON	TYP	TYPICAL
E	EAST	PH	PHONE	UC	UNDER COUNTER
EL	ELEVATION	PL	PLATE	W	WEST
EQ	EQUAL	POC	POINT OF CONNECTION	W/	WITH
FF	FINISH FLOOR	PT	PRESSURE TREATED	W/C	WATER CLOSET
FX	FIXTURE	R	RISER	W/D	WOOD
FLUOR	FLUORESCENT	REF	REFRIGERATOR	WH	WATER HEATER
FP	FIRE PLACE			WP	WATER PROOF
				WWM	WEIDED WIRE MESH

ADDITION FOR:

HERMES RESIDENCE



GREYSCALE HOMES

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OWNER INFO:

NAME: MICHAEL & KIMBERLY HERMES
ADDRESS: 142 CASSELMAN STREET, FOLSOM, CA 95630
TEL: XX
EMAIL: KHERMES@GSH.COM

APN: 071-0760-050

EXISTING PERSPECTIVE



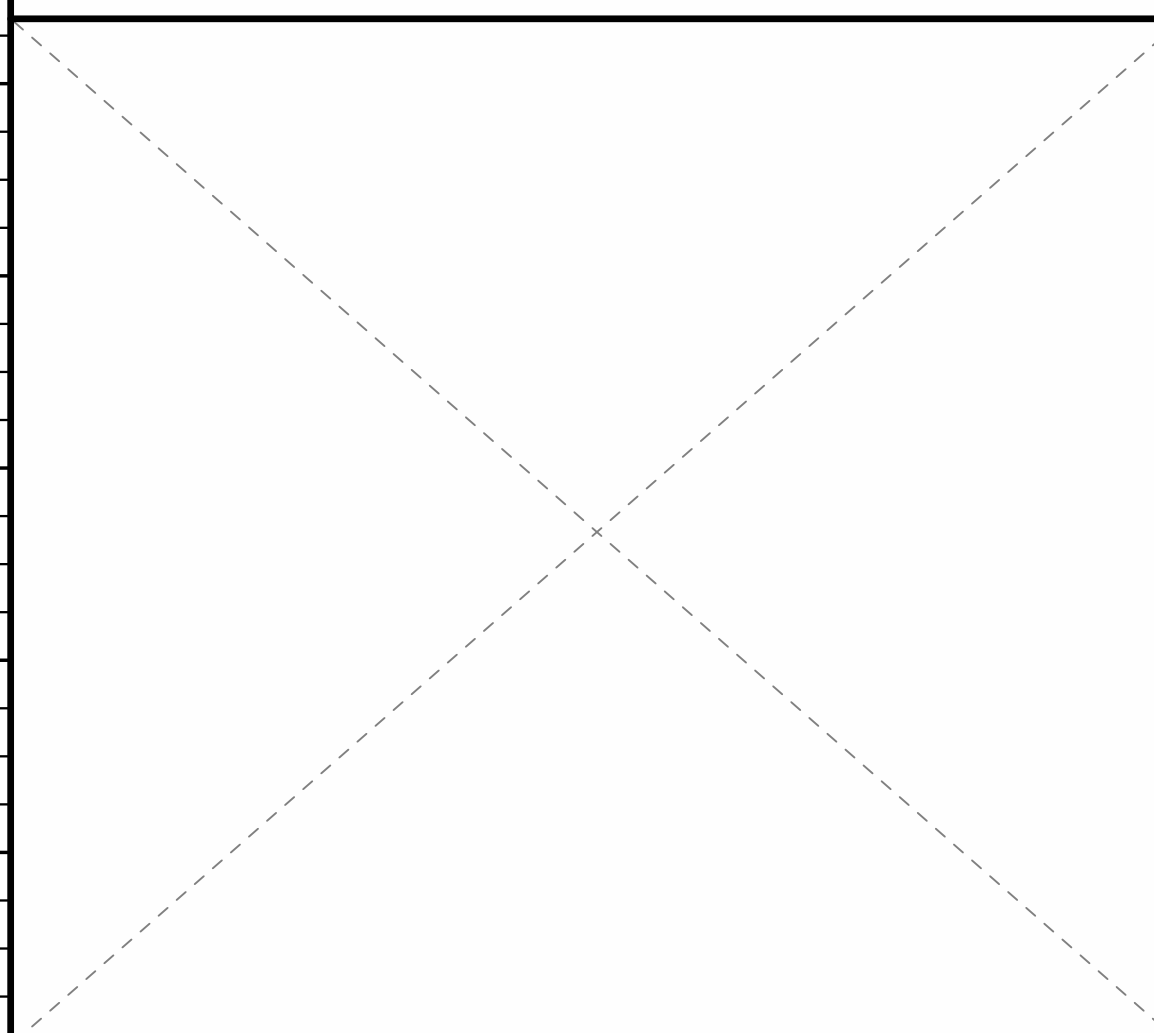
PROPOSED PERSPECTIVE



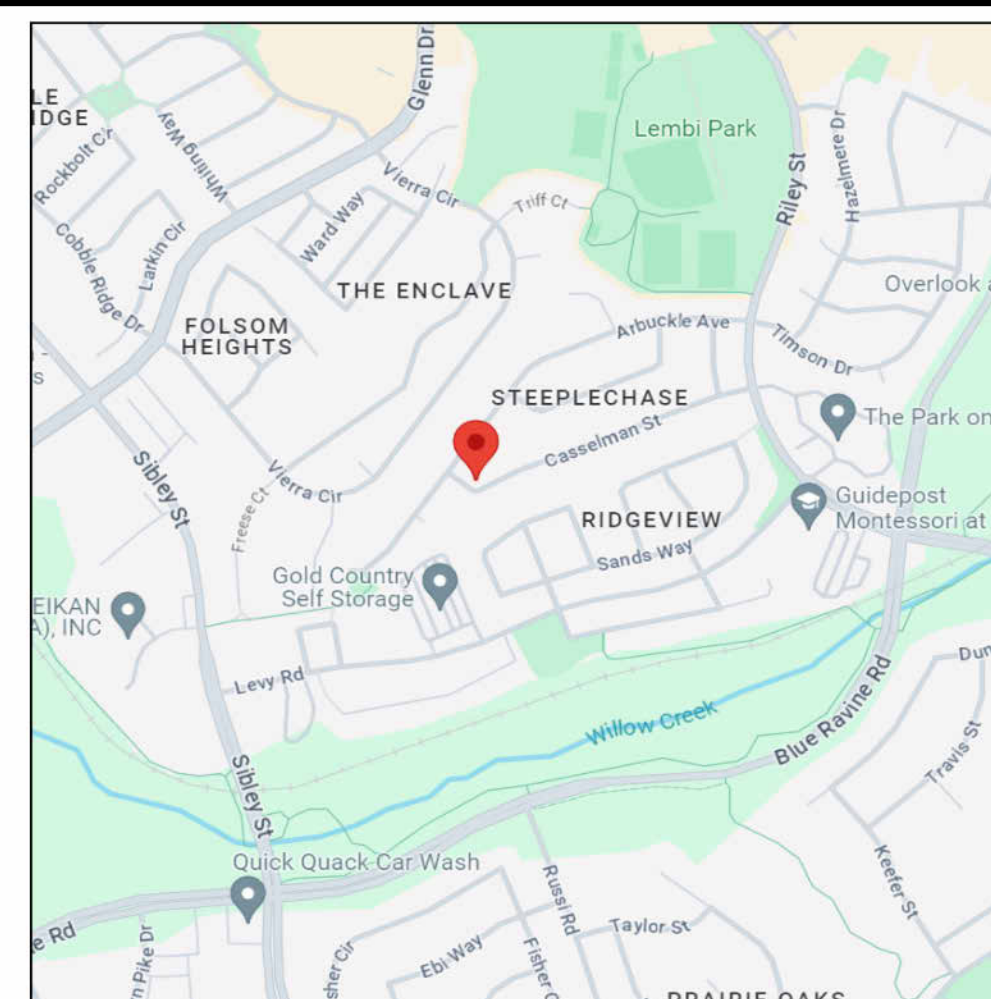
PROJECT DIRECTORY

DRAFTER	GREYSCALE HOMES, INC 735 SUNRISE AVE, SUITE 106, ROSEVILLE, CA 95661 TEL: 916-384-0595
BUILDER	N/A

ADDITIONAL NOTES



PROJECT VICINITY MAP



PROJECT INFORMATION

APPLICABLE BUILDING CODE:	2022 CALIFORNIA BUILDING CODE (CBC) 2022 CALIFORNIA RESIDENTIAL CODE (RCR) 2022 CALIFORNIA MECHANICAL CODE (CMC) 2022 CALIFORNIA PLUMBING CODE (CPC) 2022 CALIFORNIA ELECTRICAL CODE (CEC)	2022 CALIFORNIA FIRE CODE (CFC) 2022 CALIFORNIA GREEN BUILDING CODE (CGBS) 2022 CALIFORNIA ENERGY CODE (2022 CALIFORNIA ENERGY STANDARDS AS AMENDED BY THE STATE OF CALIFORNIA AND THE LOCAL JURISDICTION)
OCCUPANCY GROUP:	R-3/U (2022 CBC CH 3)	
STORIES/CONSTRUCTION TYPE:	TWO-LEVEL TYPE V-B (2022 CBC CH 6)	
FIRE SPRINKLED:	NO	
ZONE:	R-1-M PD (FMC 17.13)	
DENSITY:	N/A TO PROJECT	
BUILDING JURISDICTION:	CITY OF FOLSOM	
YEAR BUILT:	1987	
FLOOD ZONE:	X N/A	
CLIMATE ZONE:	12	
SNOW LOAD:	0 (PSF/SQFT)	
WILDLAND URBAN INTERFACE:	NO	
FOUNDATION TYPE:	SLAB ON GRADE	
RISK CATEGORY:	II (2022 CBC 1604.5)	

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T24-3	TITLE-24	ENERGY
SN1	STRUCTURAL NOTES AND SPECIFICATIONS	STRUCTURAL
S1.0	FOUNDATION AND SHEARWALL PLAN	STRUCTURAL
S2.0	LEVEL-1 SHEARWALL PLAN	STRUCTURAL
S3.0	LEVEL-2 SHEARWALL PLAN	STRUCTURAL
S4.0	FLOOR AND LOWER ROOF FRAMING PLAN	STRUCTURAL
S5.0	ROOF FRAMING PLAN	STRUCTURAL
SD1	STANDARD STRUCTURAL DETAILS	STRUCTURAL
SD2	STANDARD STRUCTURAL DETAILS	STRUCTURAL
SD3	STRUCTURAL DETAILS	STRUCTURAL

ADDITION FOR:
HERMES RESIDENCE
142 CASSELMAN STREET,
FOLSOM, CA 95630

STAMP:

MICHAEL OUSHAKOFF
04/04/2024 3:57:07 PM

TITLE:

COVER SHEET

PLAN CHECK 04/03/24
CONST. DOCUMENTS 03/18/24
DESIGN DEVELOPMENT 03/18/24
SCHEMATIC DESIGN 03/08/24

SHEET:

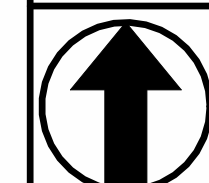
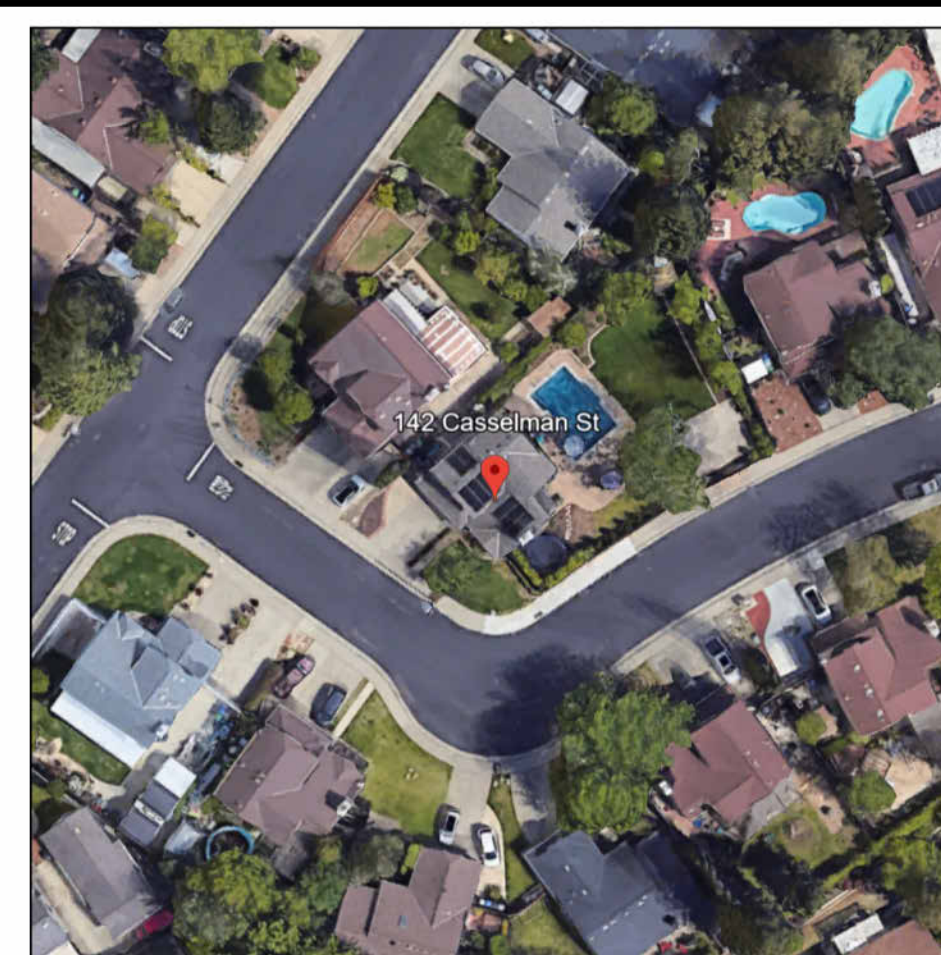
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SYMBOLS

W# WIDTHxHEIGHT HH:# STATUS TYPE-GLAZING	1 A101 SECTION HEAD	ASPHALT SHINGLE	SHAKE	BOARD & BATTEN
WINDOW TAG D# WIDTHxHEIGHT STATUS TYPE	1 A101 CALL-OUT HEAD	SPANISH TILE	STRAIGHT-EDGE SHINGLE	PLYWOOD (CUT)
DOOR TAG Room name R101 150 SF CH-VAULTED ROOM TAG	Ref A101 Ref ELEVATION MARKER	STANDING SEAM METAL	HORIZONTAL LAP	EXISTING
GRIDLINE MARK # KEYNOTE	Ref ELEVATION MARKER	STUCCO	BOARDS W/ EDGES	PROPOSED
Name Elevation ELEVATION DATUM	Ref ELEVATION MARKER	BRICK	T1-11	STEEL
ELEV. #" SPOT ELEVATION	Ref ELEVATION MARKER	LEDGESTONE	TILE	CONCRETE
	TRUE NORTH (BLACK) PROJECT NORTH (GREY)			

AERIAL VIEW



PROJECT LOCATION:
142 CASSELMAN STREET,
FOLSOM, CA 95630

APN: 071-0760-050

PROJECT SCOPE

- 143 SF LEVEL-1 DINING ROOM ADDITION
- REMODEL LEVEL-1 KITCHEN, LIVING, DINING
- RECONFIGURE STAIRS
- 200 SF LEVEL-2 BEDROOM AND WALK WAY ADDITION

AREA CALCULATIONS

NAME	OCCUPANCY	(E) AREA	(N) AREA	NET CHANGE
LEVEL-1 RESIDENCE	R-3	840 SF	983 SF	143 SF
LEVEL-2 RESIDENCE	R-3	788 SF	988 SF	200 SF
CONDITIONED		1628 SF	1971 SF	342 SF
GARAGE	U	532 SF	532 SF	0 SF
PORCH	U	10 SF	10 SF	0 SF
COVERED PATIO	U	54 SF	0 SF	-54 SF
UNCONDITIONED		596 SF	541 SF	-54 SF
TOTAL:		2224 SF	2512 SF	288 SF

LOT SIZE			BUILDING LOT COVERAGE					
(E) SF	(N) SF	CHANGE	(E) SF	(E) %	(N) SF	(N) %	CHANGE (SF)	CHANGE (%)
11263 SF	11263 SF	0 SF	1436 SF	12.75%	1524 SF	13.53%	88 SF	0.78%

AIA 2022 CALIFORNIA GREEN BUILDING STANDARD CODE - RESIDENTIAL MANDATORY MEASURES, SHEET 1 (JAN 2023)

Main table containing building code sections (e.g., 301.1 SCOPE, 4.106.4.2.1 IDENTIFICATION) and their corresponding specifications, organized in columns with checkboxes for compliance.

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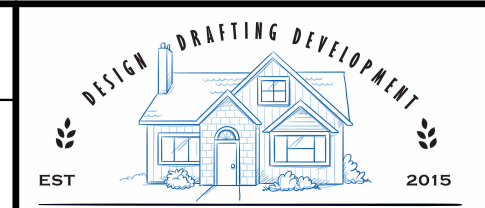
TITLE: CAL GREEN PLAN CHECK: 04/03/24 CONST. DOCUMENTS: 03/18/24 DESIGN DEVELOPMENT: 03/08/24 SCHEMATIC DESIGN: 03/08/24 SHEET:

A0.02 PRINT DATE/TIME: 4/4/2024 3:52:12 PM

AIA 2022 CALIFORNIA GREEN BUILDING STANDARD CODE - RESIDENTIAL MANDATORY MEASURES, SHEET 2 (JAN 2023)

GENERAL NOTES

Main table with 4 columns: Y, N/A, RESP PARTY, and detailed text specifications for environmental quality, carpet systems, wood products, and moisture content.



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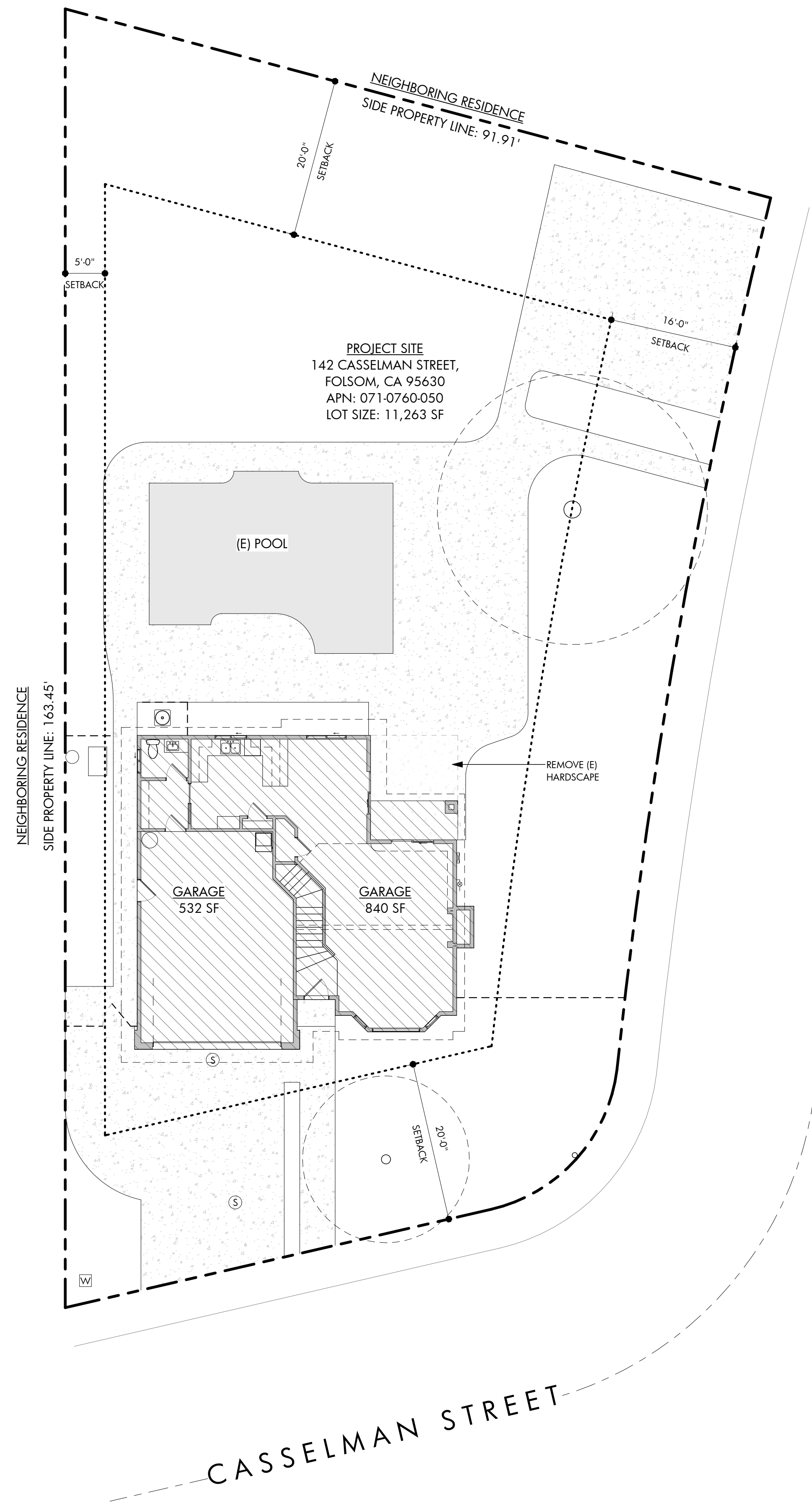
TITLE:

CAL GREEN & GEN. NOTES

Table with 2 columns: PLAN CHECK, CONST. DOCUMENTS, DESIGN DEVELOPMENT, SCHEMATIC DESIGN. Dates: 04/03/24, 03/18/24, 03/08/24.

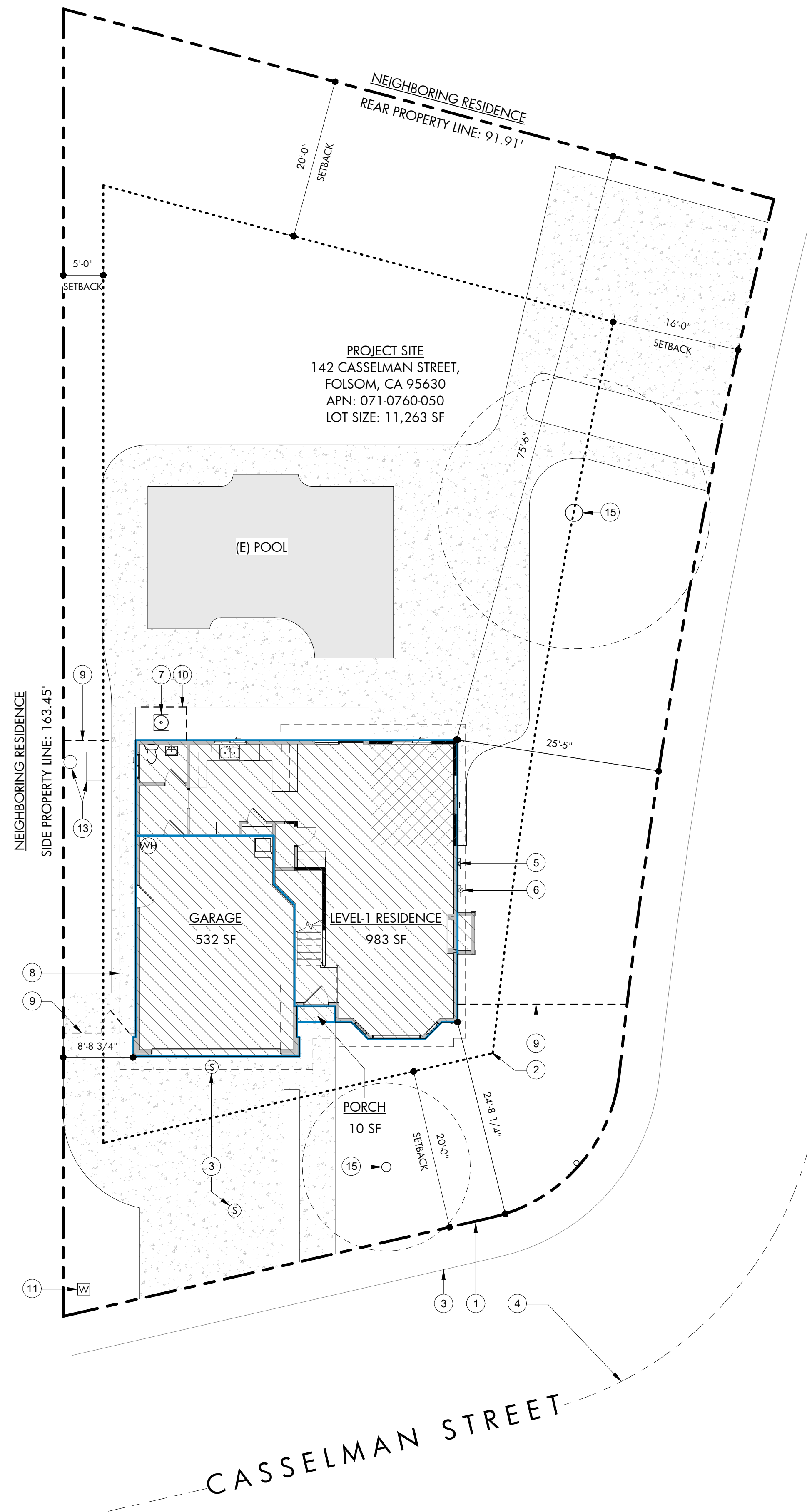
SHEET:

A0.03



(E) SITE PLAN
1" = 10'-0"

2



(N) SITE PLAN
1" = 10'-0"

1

ZONING SITE COMPLIANCE: [F.M.C., CH. 17.13]

CODE REQUIREMENT	REQUIRED	PROVIDED	DIFFERENCE	GENERAL NOTES
FRONT SETBACK	20'	24.67'	4.67'	COMPLIES
SIDE SETBACK	5'	8.67'	3.67'	COMPLIES
REAR SETBACK	20'	75.5'	55.5'	COMPLIES
MAX HEIGHT	35'	23.1'	-11.9'	COMPLIES
FLOOR AREA RATIO	0	0	0	N/A
LOT COVERAGE	50%	13.53%	-36.47%	COMPLIES

LOT SIZE		BUILDING LOT COVERAGE			
(E) SF	(N) SF	CHANGE	(E) %	(N) %	CHANGE (%)
11263 SF	11263 SF	0 SF	12.75%	1524 SF	13.53%
				88 SF	0.78%

LEGEND: SITE PLAN

	EXISTING LOT COVERAGE:		EXISTING CONCRETE PAD:
	EXISTING IMPERVIOUS LOT COVERAGE		EXISTING CAST IN PLACE CONCRETE FINISH: EXISTING
	PROPOSED LOT COVERAGE:		PROPOSED CONCRETE PAD:
	PROPOSED IMPERVIOUS LOT COVERAGE		EXISTING CAST IN PLACE CONCRETE FINISH: MATCH EXISTING

EXISTING	NEW	WALLS:
		EXISTING AND PROPOSED WALLS, SEE FLOOR PLANS FOR WALL INFORMATION AND FINISHES

KEYNOTES: SITE PLAN (#)

- PROPERTY LINE
- SETBACK LINE
- SIDEWALK LINE
- STREET CENTERLINE
- ELECTRICAL METER
- GAS METER
- CONDENSER UNIT
- ROOF OVERHANG
- FENCE - 6'-0" HIGH WOOD FENCE
- FENCE - 4'-6" HIGH WOOD FENCE
- WATER METER - INSTALL PER CITY SPECIFICATIONS
- SEWER CLEANOUT - INSTALL PER CITY SPECIFICATIONS
- POOL EQUIPMENT
- LAMP POST
- (E) TREE - NOT ALL SHOWN

GENERAL NOTES: SITE PLAN

- ALL CONSTRUCTION MATERIALS AND WORKMANSHIP SHALL CONFORM TO THE CITY STANDARD SPECIFICATIONS.
- THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE EXACT LOCATION OF ALL EXISTING UTILITIES AND FOR THE PROTECTION OF AND REPAIR OF DAMAGE TO THEM. CONTACT UNDERGROUND SERVICE ALERT 1-800-642-2444, 48 HOURS BEFORE WORK IS TO BEGIN DIRECT ALL NEW DOWNSPOUTS ONTO NATURAL GROUND OR LANDSCAPED AREAS WHERE FEASIBLE.
- NO PERMANENT STRUCTURE (INCLUDING W/O/UT LIMITATION GARAGES, PATIOS, CONCRETE SLABS, TOOL SHED, ROOF OVERHANGS AND SIMILAR STRUCTURES) SHALL BE CONSTRUCTED ON TOP OF WATER, SEWER OR DRAINAGE PIPELINES OR ANYWHERE W/IN THE ASSOCIATED UTILITY EASEMENTS.
- LOTS SHALL BE GRADED TO DRAIN SURFACE WATER AWAY FROM FOUNDATION WALLS. THE GRADE SHALL FALL A MINIMUM OF 6 INCHES WITHIN THE FIRST 10 FEET. [R401.3], WHERE POOLING MAY OCCUR, CONTRACTOR SHALL NOTIFY GSH.
- IMPERVIOUS SURFACES WITHIN 10 FEET OF THE BUILDING FOUNDATION SHALL BE SLOPED NOT LESS THAN 2 PERCENT AWAY FROM THE BUILDING. [R401.3, EXCEPTION]
- WHERE LOT LINES, WALLS, SLOPES OR OTHER PHYSICAL BARRIERS PROHIBIT 6 INCHES OF FALL WITHIN 10 FEET, DRAINS OR SWALES SHALL BE CONSTRUCTED TO ENSURE DRAINAGE AWAY FROM THE STRUCTURE. [R401.3, EXCEPTION]



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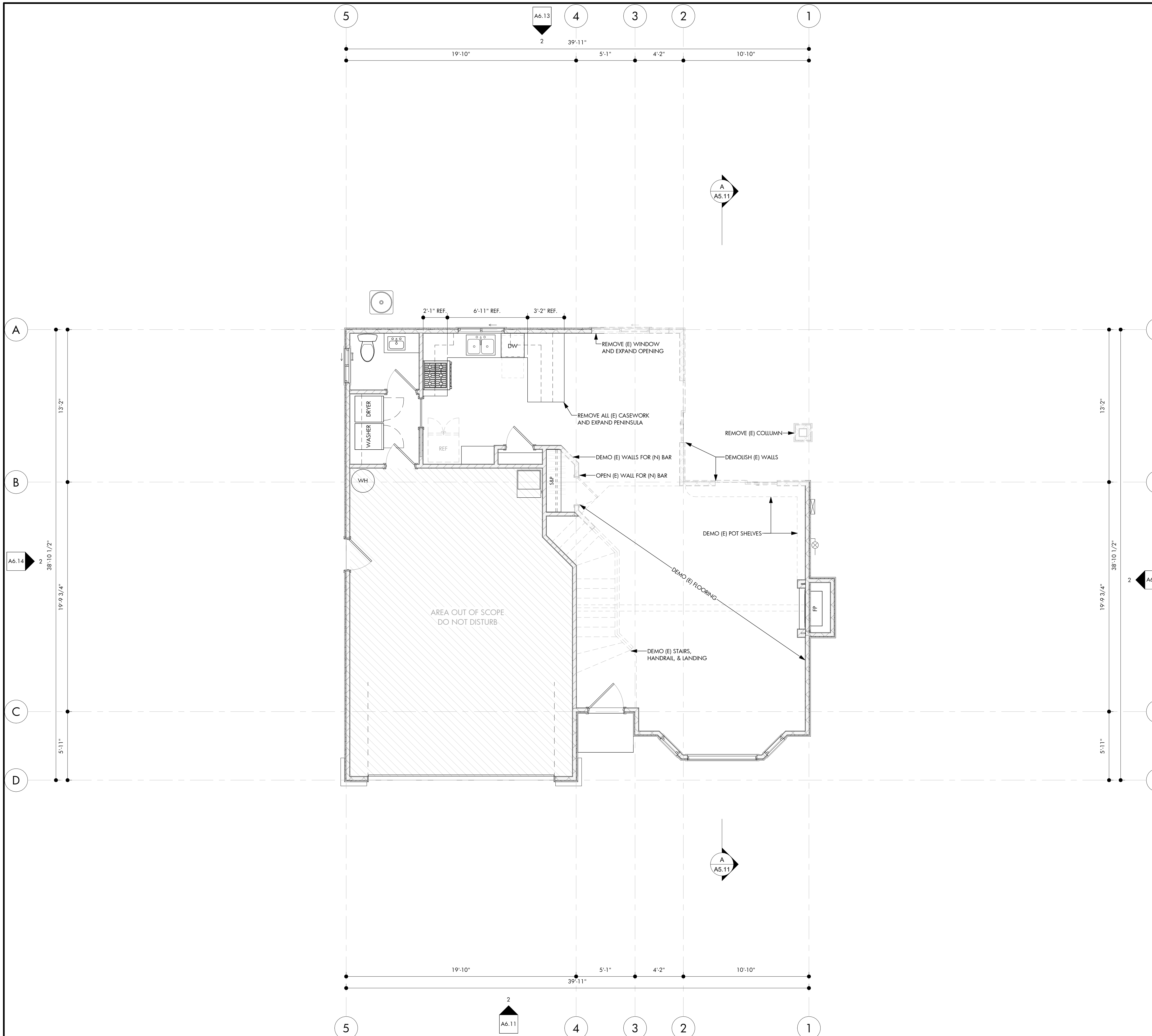
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SITE PLAN

PLAN CHECK	04/03/24
CONST. DOCUMENTS	03/18/24
DESIGN DEVELOPMENT	03/08/24
SCHEMATIC DESIGN	

SHEET:

A1.01



LEGEND: DEMOLITION PLAN	
	EXTERIOR WALL: DEMOLITION CONTRACTOR TO VERIFY REQUIRED DEMO EXTENTS BEFORE BEGINNING WORK. PATCH AND REPAIR ANY AFFECTED AREAS TO REMAIN, TYP. WALLS SERVING AS BEARING TO BE PROPERLY SHORED PRIOR TO DEMOLITION.
	INTERIOR WALL: DEMOLITION CONTRACTOR TO VERIFY REQUIRED DEMO EXTENTS BEFORE BEGINNING WORK. PATCH AND REPAIR ANY AFFECTED AREAS TO REMAIN, TYP. WALLS SERVING AS BEARING TO BE PROPERLY SHORED PRIOR TO DEMOLITION.
	DOOR: DEMOLITION CONTRACTOR SHALL REMOVE FRAMES, ANCHORAGE, SHIMS, SEALANTS, THRESHOLDS, ETC IN ITS ENTIRETY. PATCH AND REPAIR ANY AFFECTED AREAS TO REMAIN, TYP.
	WINDOW: DEMOLITION CONTRACTOR SHALL REMOVE FRAMES, ANCHORAGE, SHIMS, SEALANTS, ETC IN ITS ENTIRETY. PATCH AND REPAIR ANY AFFECTED AREAS TO REMAIN, TYP.
	PLUMBING: DEMOLITION CONTRACTOR TO VERIFY REQUIRED DEMO EXTENTS BEFORE BEGINNING WORK. CAP ALL SEWER, DRAIN, TUBING, AND VENTILATION PRIOR TO REMOVAL. PATCH AND REPAIR AFFECTED AREAS TO REMAIN, TYP. U.N.O.
	CASEWORK: DEMOLITION REMOVE AS SHOWN, CONTRACTOR TO VERIFY REQUIRED DEMO EXTENTS BEFORE BEGINNING WORK. PATCH AND REPAIR AFFECTED AREAS TO REMAIN, TYP. U.N.O.

- GENERAL NOTES: DEMOLITION PLAN**
- IN THE CASE THAT EXISTING HVAC AND PLUMBING RELOCATION IS REQUIRED, ACTUAL EXISTING LOCATIONS AND ROUTING TO BE DONE BY A LICENSED PROFESSIONAL (PER CPC 2022).
 - OWNER OR CONTRACTOR SHALL OBTAIN ALL BUILDING PERMITS PRIOR TO ANY CONSTRUCTION OR DECONSTRUCTION AS REQUIRED BY THE GOVERNING JURISDICTION.
 - CONTRACTOR SHALL RECYCLE AND/OR SALVAGE FOR REUSE A MINIMUM OF 65% OF NONHAZARDOUS CONSTRUCTION AND DEMOLITION WASTE IN ACCORDANCE WITH [CGS 4.408.] SEE A0.02 FOR ADDITIONAL INFORMATION.
 - DEMOLITION SHALL BE CONFINED TO THE INTERIOR SIDE OF THE PROPERTY LINES.
 - IN THE EVENT ANY HAZARDOUS MATERIAL OR DANGEROUS SITUATIONS ARE DISCOVERED DURING DEMOLITION WHICH WERE NOT VISIBLE BEFORE WORK BEGAN CONTRACTOR SHALL STOP WORK AND NOTIFY GSH.

LEGEND: EXISTING	
	EXTERIOR WALL CONSTRUCTION: (E) 2X4 D.F. STUDS @ 16" O.C. (ASSUMED) EXISTING EXTERIOR WALL ASSUMED TO BE 2X4
	INTERIOR WALL CONSTRUCTION: (E) 2X4 D.F. STUDS @ 16" O.C. (ASSUMED) EXISTING INTERIOR WALL ASSUMED TO BE 2X4
	DOORS: MAKE/MODEL - EXISTING EXISTING DOORS STYLE: 2-PANEL 3-PANEL 6-PANEL
	OPENING: EXISTING EXISTING WALL OPENING
	WINDOWS: MAKE/MODEL - EXISTING EXISTING EXTERIOR WINDOWS TYPE: ALUMINUM VINYL WOOD
	BATHTUBS AND WHIRLPOOL TUBS: MAKE/MODEL - EXISTING EXISTING SHOWER/TUB COMBO
	SHOWER: MAKE/MODEL - EXISTING EXISTING SHOWER
	WATER CLOSET: MAKE/MODEL - EXISTING EXISTING WATER CLOSET
	KITCHEN SINK: MAKE/MODEL - EXISTING EXISTING KITCHEN SINK
	VANITY SINK: MAKE/MODEL - EXISTING EXISTING VANITY SINK
	DISHWASHER: MAKE/MODEL - EXISTING EXISTING DISHWASHER
	RANGE: MAKE/MODEL - EXISTING EXISTING RANGE
	WASHER & DRYER: MAKE/MODEL - EXISTING EXISTING WASHER AND DRYER
	DIRECT-VENT FIREPLACE 36" WIDE : MAKE/MODEL - EXISTING EXISTING FIREPLACE
	ATTIC ACCESS : MAKE/MODEL - EXISTING EXISTING ATTIC ACCESS PANEL

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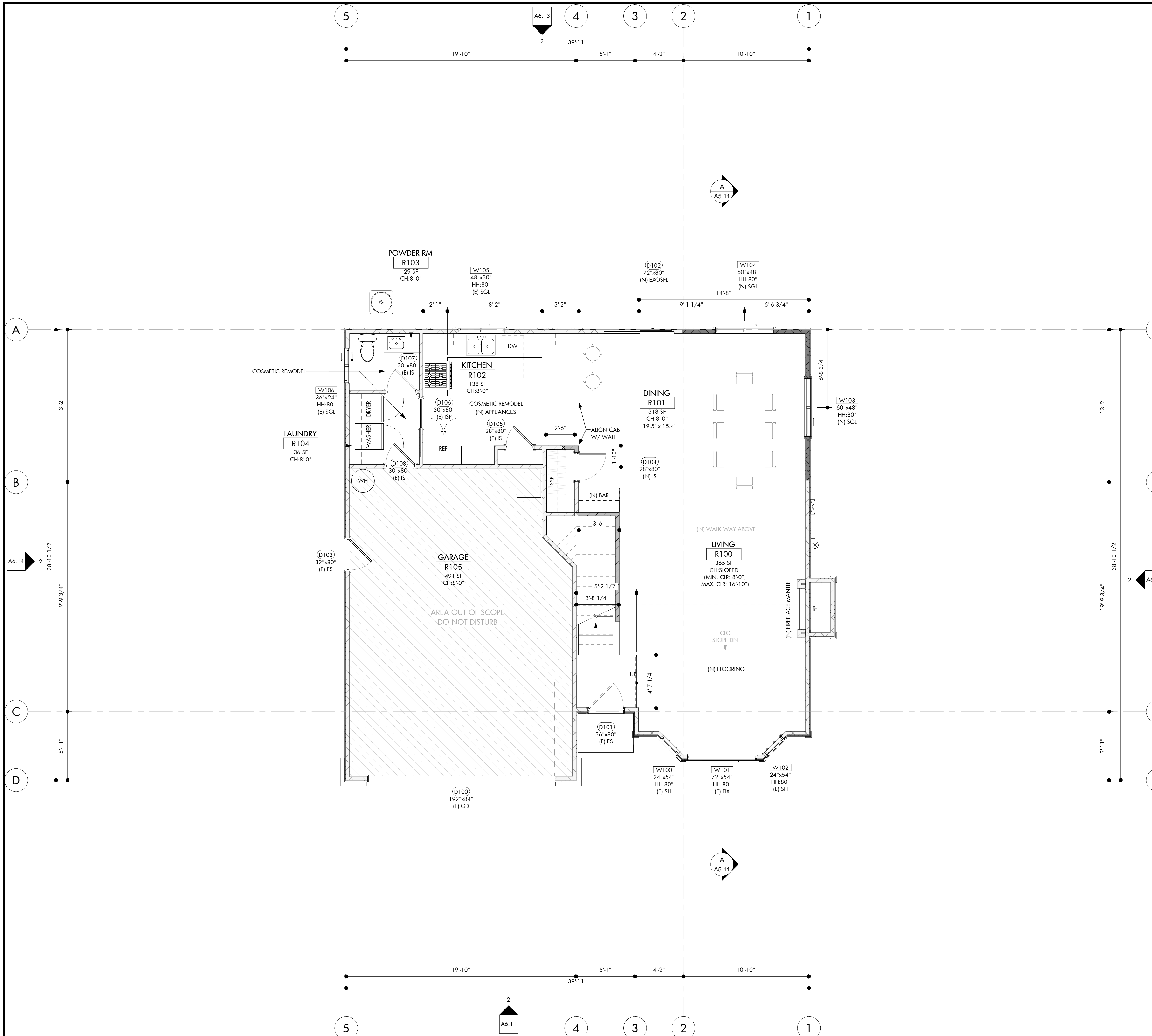
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TITLE:
 LEVEL-1 DEMO PLAN

PLAN CHECK: 04/03/24
 CONST. DOCUMENTS: 03/18/24
 DESIGN DEVELOPMENT: 03/08/24
 SCHEMATIC DESIGN: 03/08/24
SHEET:
A2.10
 PRINT DATE/TIME: 4/4/2024 3:52:15 PM



LEGEND: PROPOSED

	EXTERIOR WALL CONSTRUCTION: (N) 2X4 D.F. STUDS @ 16" O.C. [CBC 2308.5.1] INTERIOR FINISH: 1/2" GYP W/ FINISH (MATCH EXISTING), FASTENING: [CRC TABLE R702.3.5] EXTERIOR FINISH: SEE EXTERIOR ELEVATIONS NOTES: FOR COVERING REQUIREMENTS SEE [CRC CH 7]
	INTERIOR WALL CONSTRUCTION: (N) 2X4 D.F. STUDS @ 16" O.C. [CBC 2308.5.1] INTERIOR FINISH: 1/2" GYP W/ FINISH (MATCH EXISTING), FASTENING: [CRC TABLE R702.3.5] INTERIOR FINISH: 1/2" GYP W/ FINISH (MATCH EXISTING), FASTENING: [CRC TABLE R702.3.5] NOTES: FOR COVERING REQUIREMENTS SEE [CRC CH 7]
	DOORS: MAKE/MODEL - S.B.O. CAULK ALL EXTERIOR JOINTS, TYP. SEE IN VIEW FOR TYPE, LOCATION, AND SIZE. SEE SCHEDULE SHEETS FOR TYPES. ALL EXTERIOR DOORS SHALL HAVE A LANDING OR FINISHED FLOOR NOT MORE THAN 7.75" LOWER THAN THE TOP OF THE THRESHOLD. [CRC R311.2 & 311.3] PANEL STYLE: S.B.O. - HARDWARE STYLE: S.B.O. EXTERIOR TRIM STYLE: S.B.O. - INTERIOR TRIM STYLE: S.B.O.
	OPENING: SEE DOOR/OPENING TAG FOR OPENING WIDTH, HEIGHT, AND TYPE. TRIM STYLE: S.B.O.
	WINDOWS: MAKE/MODEL - S.B.O. CAULK ALL EXTERIOR JOINTS, TYP. SEE IN VIEW FOR TYPE, LOCATION, HEAD HEIGHT, AND SIZE. SEE SCHEDULE SHEETS FOR ABBREVIATIONS OF WINDOW TYPES. ALL EGRESS WINDOW SILL HEIGHTS SHALL NOT BE GREATER THAN 44" A.F.F. CRC R310.2.2 HEAD HEIGHT: 80" A.F.F., U.N.O. SASH TYPE/COLOR: VINYL - S.B.O. - EXTERIOR TRIM STYLE: S.B.O. INTERIOR TRIM STYLE: [KERS] FLAT TRIM, ARTICULATED TRIM, S.B.O.]
	WATER CLOSET: MAKE/MODEL - S.B.O. WATER CLOSETS SHALL HAVE AN EFFECTIVE FLUSH VOLUME OF NOT MORE THAN 1.28 GALLONS PER FLUSH. CPC 411.2. SET NOT CLOSER THAN 15" FROM ITS CENTER TO A SIDE WALL OR OBSTRUCTION OR CLOSER THAN 30" CENTER TO CENTER TO A SIMILAR FIXTURE. CLEAR SPACE IN FRONT OF A WATER CLOSER SHALL NOT BE LESS THAN 24".
	KITCHEN SINK: 30" WIDE. MAKE/MODEL - S.B.O. DOMESTIC DISHWASHERS SHALL DISCHARGE INDIRECTLY THROUGH AN AIR GAP FITTING IN ACCORDANCE WITH SECTION 807.3 INTO A WASTE RECEPTOR, A WYE BRANCH FITTING ON THE TAILPIECE OF A KITCHEN SINK, OR DISHWASHER CONNECTION OF A FOOD WASTE DISPOSER. CPC 414.0
	REFRIGERATOR (PROVIDE GFCI OUTLET): 32" W X 32" D. MAKE/MODEL - S.B.O. PROVIDE RECESSED COLD WATER BIB AND SHUT-OFF FOR ICE MAKER. GFCI OUTLET SHALL BE MOUNTED 42" ABOVE FINISH FLOOR. OWNER MAY SUBSTITUTE FOR COUNTER-DEPTH MODEL FOR ADDITIONAL FRONT-SIDE CLEARANCE.
	RANGE (PROVIDE 220V IF ELECTRIC 120V IF GAS): 36" WIDE. MAKE/MODEL - S.B.O. PROVIDE MICROWAVE ABOVE W/ LIGHTING OR HOOD W/ VENT DIRECTLY TO OUTSIDE EXHAUSTING A MIN. OF 100 CFM. THE FAN MUST BE LISTED AT 3 SONE OR LESS. RATING MUST BE BASED ON A .25 WATER COLUMN OR GREATER. (4.6.5, 4.6.7 & ASHRAE 62.2)
	WASHER & DRYER (PROVIDE 220V & GAS) 27" WIDE. MAKE/MODEL - S.B.O. REQUIRED DRYER VENT DUCT SHALL EXHAUST TO EXTERIOR W/ A MINIMUM OPENING OF 100 SQ. IN. MAKE-UP AIR OF 100 SQ. IN. IS REQUIRED FOR ROOMS CONTAINING A DRYER AND MAY COME FROM OPENING ABOVE DOOR INTO THE HALLWAY. MAKE-UP AIR MAY NOT COME FROM OR EXHAUST TO THE OUTSIDE. DRYER EXHAUST SHALL MAINTAIN A MIN. 5" CLEARANCE FROM AC CONDENSOR [CEC 150.3.A].
	CONTRACTOR SHALL VERIFY ALL MEASUREMENTS BEFORE PERFORMING WORK. STAIR: 36" X 80" HEIGHT CLEAR SPACE SHALL BE PROVIDED MIN. RISERS SHALL BE NOT MORE THAN 7.75". TREADS SHALL BE NOT LESS THAN 10". NOSING SHALL NOT PROJECT LESS THAN 0.75" AND NOT MORE THAN 1.25". RISERS, TREADS, AND NOSING NOT EXCEED THE SMALLEST BY MORE THAN 3/8". HANDRAILS: STAIRS WITH FOUR OR MORE RISERS SHALL HAVE AT LEAST ONE HANDRAIL NOT LESS THAN 34" AND NOT MORE THAN 38" A.F.F. AND SHALL NOT PROJECT MORE THAN 4.5" ON EITHER SIDE W/ 1.5" HAND CLEARANCE TO ADJ. WALL. STAIR TREAD FINISH: S.B.O. - ILLUMINATION: S.B.O.
	GUARDRAIL: MAKE/MODEL - S.B.O. GUARDS SHALL BE PROVIDED FOR THOSE PORTIONS OF OPENED WALKING SURFACES GREATER THAN 30" MEASURED VERTICALLY TO THE FLOOR OR GRADE. GUARDRAILS SHALL BE NOT LESS THAN 42" IN HEIGHT. GUARDRAILS SHALL NOT ALLOW A 4" SPHERE OR GREATER PASSING, 6" SPHERE AT OPEN SIDE OF STAIR TREADS. SEE [R312.1.1]
	CASEWORK: MAKE/MODEL - S.B.O. CABINETRY: MAKE/MODEL - AS S.B.O. COUNTERTOPS: MAKE/MODEL - AS S.B.O. BACKSPASHES: MAKE/MODEL - AS S.B.O. CONTRACTOR SHALL COORDINATE EQUIPMENT, UTILITIES, AND SIZE W/ CASEWORK FABRICATOR AND SUB-CRONTACTORS. ALL REQUIRED UTILITIES PER MANUFACTURERS INSTRUCTIONS SHALL BE ROUTED BY A LICENSED PROFESSIONAL.
	ACCESS ATTIC: 22" X 30" MIN. READILY ACCESSIBLE ATTIC PANEL WITH A MINIMUM OF 30" CLEAR HEADROOM ABOVE PER 2022 CRC 807.1. PROVIDE AIR-TIGHT SEAL. SEE TYPICAL DETAIL SHEET FOR MECHANICAL PLATFORM DETAILS.

- GENERAL NOTES: PROPOSED**
- MANUFACTURER'S INSTALLATION INSTRUCTIONS FOR LISTED APPLIANCES SHALL BE AVAILABLE TO THE FIELD INSPECTOR AT THE TIME OF INSPECTIONS PER 2022 [CRC R106.1.2.]
 - EXTERIOR CONCRETE PADS/LANDINGS: LENGTH TO MATCH DOOR X 36" MIN. DEPTH X 4" THICK CONCRETE PAD (MIN) @ EXTERIOR DOORWAYS AND GRADE-MOUNTED MECHANICAL EQUIPMENT. SLOPE PAD 1/4" 12" AWAY FROM BUILDING EDGE. PROVIDE 7.75" MAX STEP FOR INSWINGING DOORS AND 1" MAX FOR EXTERIOR SWINGING DOORS BETWEEN TOP OF PAD AND THRESHOLD. (TYP)
 - PROVIDE FIRE-BLOCKING AT THE FOLLOWING LOCATIONS. [CRC R302.1.1]
 - VERTICALLY AT THE CEILING AND FLOOR LEVELS.
 - HORIZONTALLY AT INTERVALS NOT EXCEEDING 10 FEET.
 - CONTRACTOR OR SUB-CRONTACTOR SHALL NOTIFY DESIGNER PRIOR TO PERFORMING WORK OF ANY DISCREPANCIES OR OTHER QUESTIONS PERTAINING TO THE DRAWINGS AND/OR SPECIFICATIONS. CONTRACTOR IS RESPONSIBLE FOR THE RESULTS OF ANY ERRORS, DISCREPANCIES, OR OMISSIONS WHICH THE CONTRACTOR FAILED TO NOTIFY THE DESIGNER PRIOR TO FABRICATION OR WORK.



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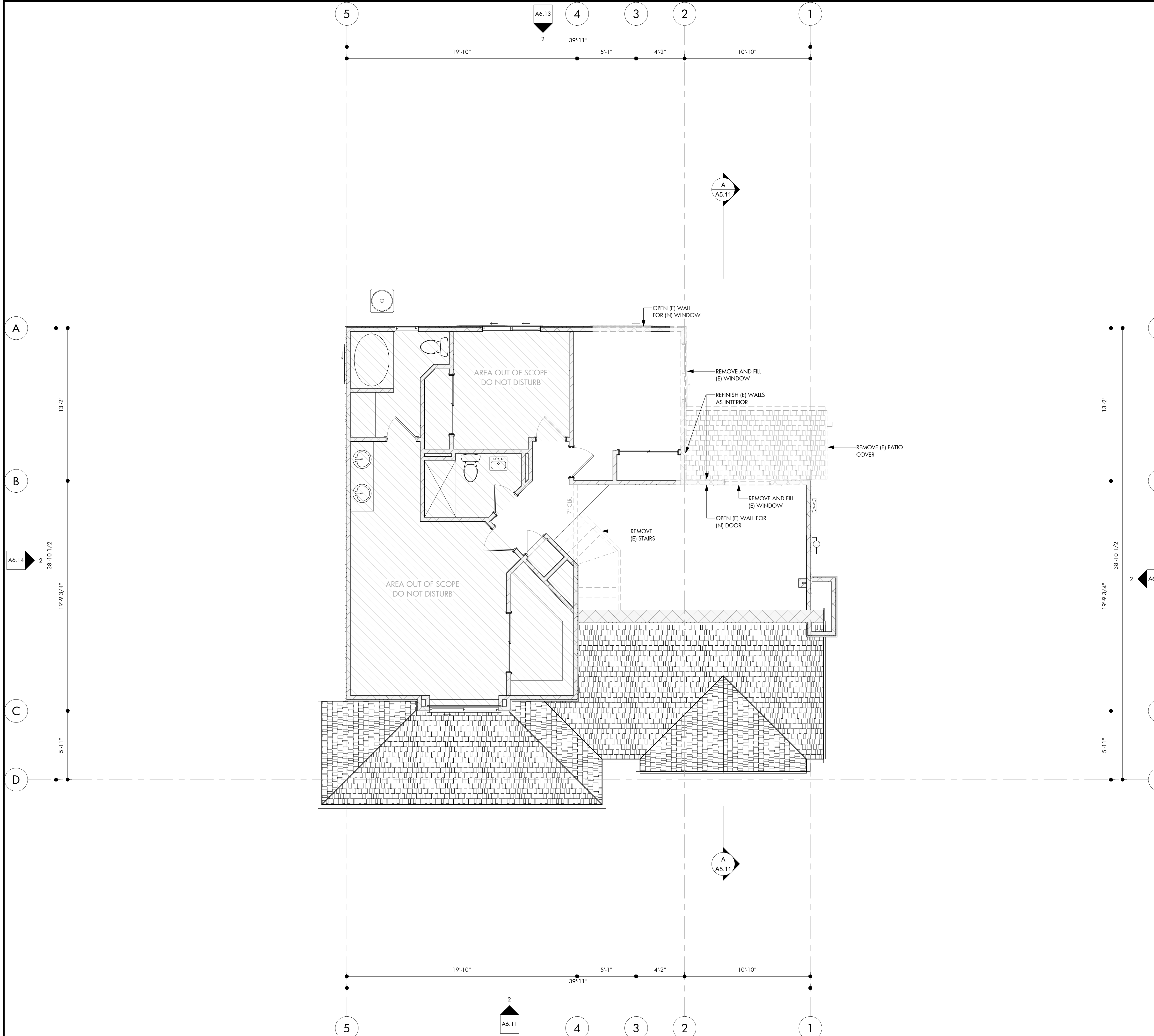
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TITLE:
LEVEL-1 PROPOSED PLAN

PLAN CHECK: 04/03/24
CONST. DOCUMENTS: 03/18/24
DESIGN DEVELOPMENT: 03/08/24
SCHEMATIC DESIGN:

SHEET:
A2.11

PRINT DATE/TIME: 4/4/2024 3:52:16 PM



LEGEND: DEMOLITION PLAN	
	EXTERIOR WALL: DEMOLITION CONTRACTOR TO VERIFY REQUIRED DEMO EXTENTS BEFORE BEGINNING WORK. PATCH AND REPAIR ANY AFFECTED AREAS TO REMAIN, TYP. WALLS SERVING AS BEARING TO BE PROPERLY SHORED PRIOR TO DEMOLITION.
	INTERIOR WALL: DEMOLITION CONTRACTOR TO VERIFY REQUIRED DEMO EXTENTS BEFORE BEGINNING WORK. PATCH AND REPAIR ANY AFFECTED AREAS TO REMAIN, TYP. WALLS SERVING AS BEARING TO BE PROPERLY SHORED PRIOR TO DEMOLITION.
	DOOR: DEMOLITION CONTRACTOR SHALL REMOVE FRAMES, ANCHORAGE, SHIMS, SEALANTS, THRESHOLDS, ETC IN ITS ENTIRETY. PATCH AND REPAIR ANY AFFECTED AREAS TO REMAIN, TYP.
	WINDOW: DEMOLITION CONTRACTOR SHALL REMOVE FRAMES, ANCHORAGE, SHIMS, SEALANTS, ETC IN ITS ENTIRETY. PATCH AND REPAIR ANY AFFECTED AREAS TO REMAIN, TYP.
	PLUMBING: DEMOLITION CONTRACTOR TO VERIFY REQUIRED DEMO EXTENTS BEFORE BEGINNING WORK. CAP ALL SEWER, DRAIN, TUBING, AND VENTILATION PRIOR TO REMOVAL. PATCH AND REPAIR AFFECTED AREAS TO REMAIN, TYP. U.N.O.
	CASEWORK: DEMOLITION REMOVE AS SHOWN, CONTRACTOR TO VERIFY REQUIRED DEMO EXTENTS BEFORE BEGINNING WORK. PATCH AND REPAIR AFFECTED AREAS TO REMAIN, TYP. U.N.O.

- GENERAL NOTES: DEMOLITION PLAN**
- IN THE CASE THAT EXISTING HVAC AND PLUMBING RELOCATION IS REQUIRED, ACTUAL EXISTING LOCATIONS AND ROUTING TO BE DONE BY A LICENSED PROFESSIONAL (PER CPC 2022).
 - OWNER OR CONTRACTOR SHALL OBTAIN ALL BUILDING PERMITS PRIOR TO ANY CONSTRUCTION OR DECONSTRUCTION AS REQUIRED BY THE GOVERNING JURISDICTION.
 - CONTRACTOR SHALL RECYCLE AND/OR SALVAGE FOR REUSE A MINIMUM OF 65% OF NONHAZARDOUS CONSTRUCTION AND DEMOLITION WASTE IN ACCORDANCE WITH [CGS 4.408.] SEE A0.02 FOR ADDITIONAL INFORMATION.
 - DEMOLITION SHALL BE CONFINED TO THE INTERIOR SIDE OF THE PROPERTY LINES.
 - IN THE EVENT ANY HAZARDOUS MATERIAL OR DANGEROUS SITUATIONS ARE DISCOVERED DURING DEMOLITION WHICH WERE NOT VISIBLE BEFORE WORK BEGAN CONTRACTOR SHALL STOP WORK AND NOTIFY GSH.

LEGEND: EXISTING	
	EXTERIOR WALL CONSTRUCTION: (E) 2X4 D.F. STUDS @ 16" O.C. (ASSUMED) EXISTING EXTERIOR WALL ASSUMED TO BE 2X4
	INTERIOR WALL CONSTRUCTION: (E) 2X4 D.F. STUDS @ 16" O.C. (ASSUMED) EXISTING INTERIOR WALL ASSUMED TO BE 2X4
	DOORS: MAKE/MODEL - EXISTING EXISTING DOORS STYLE: 2-PANEL 3-PANEL 6-PANEL
	OPENING: EXISTING EXISTING WALL OPENING
	WINDOWS: MAKE/MODEL - EXISTING EXISTING EXTERIOR WINDOWS TYPE: ALUMINUM VINYL WOOD
	BATHTUBS AND WHIRLPOOL TUBS: MAKE/MODEL - EXISTING EXISTING SHOWER/TUB COMBO
	SHOWER: MAKE/MODEL - EXISTING EXISTING SHOWER
	WATER CLOSET: MAKE/MODEL - EXISTING EXISTING WATER CLOSET
	KITCHEN SINK: MAKE/MODEL - EXISTING EXISTING KITCHEN SINK
	VANITY SINK: MAKE/MODEL - EXISTING EXISTING VANITY SINK
	DISHWASHER: MAKE/MODEL - EXISTING EXISTING DISHWASHER
	RANGE: MAKE/MODEL - EXISTING EXISTING RANGE
	WASHER & DRYER: MAKE/MODEL - EXISTING EXISTING WASHER AND DRYER
	DIRECT-VENT FIREPLACE 36" WIDE : MAKE/MODEL - EXISTING EXISTING FIREPLACE
	ATTIC ACCESS : MAKE/MODEL - EXISTING EXISTING ATTIC ACCESS PANEL



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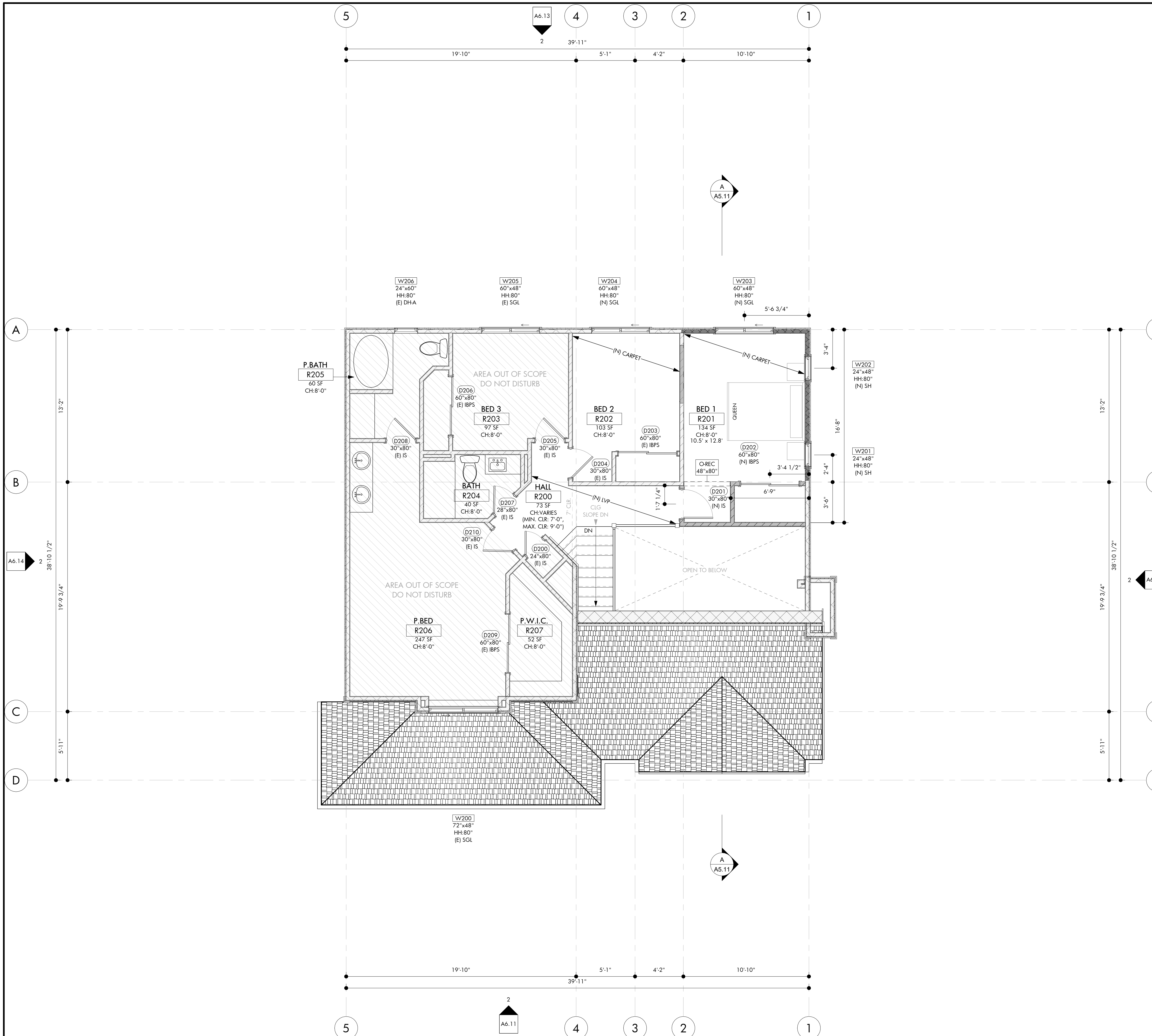
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 04/04/2024 3:57:07 PM

TITLE:
 LEVEL-2 DEMO PLAN

PLAN CHECK: 04/03/24
 CONST. DOCUMENTS: 03/18/24
 DESIGN DEVELOPMENT: 03/08/24
 SCHEMATIC DESIGN:
 SHEET:
A2.20
 PRINT DATE/TIME: 4/4/2024 3:52:16 PM



LEGEND: PROPOSED	
	EXTERIOR WALL CONSTRUCTION: (N) 2X4 D.F. STUDS @ 16" O.C. [CBC 2308.5.1] INTERIOR FINISH: 1/2" GYP W/ FINISH (MATCH EXISTING), FASTENING: [CRC TABLE R702.3.5] EXTERIOR FINISH: SEE EXTERIOR ELEVATIONS NOTES: FOR COVERING REQUIREMENTS SEE [CRC CH 7]
	INTERIOR WALL CONSTRUCTION: (N) 2X4 D.F. STUDS @ 16" O.C. [CBC 2308.5.1] INTERIOR FINISH: 1/2" GYP W/ FINISH (MATCH EXISTING), FASTENING: [CRC TABLE R702.3.5] NOTES: FOR COVERING REQUIREMENTS SEE [CRC CH 7]
	DOORS: MAKE/MODEL - S.B.O. CAULK ALL EXTERIOR JOINTS, TYP. SEE IN VIEW FOR TYPE, LOCATION, AND SIZE. SEE SCHEDULE SHEETS FOR TYPES. ALL EXTERIOR DOORS SHALL HAVE A LANDING OR FINISHED FLOOR NOT MORE THAN 7.75" LOWER THAN THE TOP OF THE THRESHOLD. [CRC R311.2 & 311.3] PANEL STYLE: S.B.O. - HARDWARE STYLE: S.B.O. EXTERIOR TRIM STYLE: S.B.O. - INTERIOR TRIM STYLE: S.B.O.
	OPENING: SEE DOOR/OPENING TAG FOR OPENING WIDTH, HEIGHT, AND TYPE. TRIM STYLE: S.B.O.
	WINDOWS: MAKE/MODEL - S.B.O. CAULK ALL EXTERIOR JOINTS, TYP. SEE IN VIEW FOR TYPE, LOCATION, HEAD HEIGHT, AND SIZE. SEE SCHEDULE SHEETS FOR ABBREVIATIONS OF WINDOW TYPES. ALL EGRESS WINDOW SILL HEIGHTS SHALL NOT BE GREATER THAN 44" A.F.F. CRC R310.2.2 HEAD HEIGHT: 80" A.F.F., U.N.O. SASH TYPE/COLOR: VINYL - S.B.O. - EXTERIOR TRIM STYLE: S.B.O. INTERIOR TRIM STYLE: [REFS: FLAT TRIM, ARTICULATED TRIM, S.B.O.]
	WATER CLOSET: MAKE/MODEL - S.B.O. WATER CLOSETS SHALL HAVE AN EFFECTIVE FLUSH VOLUME OF NOT MORE THAN 1.28 GALLONS PER FLUSH. CPC 411.2. SET NOT CLOSER THAN 15" FROM ITS CENTER TO A SIDE WALL OR OBSTRUCTION OR CLOSER THAN 30" CENTER TO CENTER TO A SIMILAR FIXTURE. CLEAR SPACE IN FRONT OF A WATER CLOSET SHALL NOT BE LESS THAN 24".
	KITCHEN SINK: 30" WIDE. MAKE/MODEL - S.B.O. DOMESTIC DISHWASHING MACHINES SHALL DISCHARGE INDIRECTLY THROUGH AN AIR GAP FITTING IN ACCORDANCE WITH SECTION 807.3 INTO A WASTE RECEPTOR, A WYE BRANCH FITTING ON THE TAILPIECE OF A KITCHEN SINK, OR DISHWASHER CONNECTION OF A FOOD WASTE DISPOSER. CPC 414.0
	REFRIGERATOR (PROVIDE GFCI OUTLET): 32" W X 32" D. MAKE/MODEL - S.B.O. PROVIDE RECESSED COLD WATER BIB AND SHUT-OFF FOR ICE MAKER. GFCI OUTLET SHALL BE MOUNTED 42" ABOVE FINISH FLOOR. OWNER MAY SUBSTITUTE FOR COUNTER-DEPTH MODEL FOR ADDITIONAL FRONT-SIDE CLEARANCE.
	RANGE (PROVIDE 220V IF ELECTRIC) 120V IF GAS): 36" WIDE. MAKE/MODEL - S.B.O. PROVIDE MICROWAVE ABOVE W/ LIGHTING OR HOOD W/ VENT DIRECTLY TO OUTSIDE EXHAUSTING A MIN. OF 100 CFM. THE FAN MUST BE LISTED AT 3 SONE OR LESS. RATING MUST BE BASED ON A .25 WATER COLUMN OR GREATER. (4.6.5, 4.6.7 & ASHRAE 62.2)
	WASHER & DRYER (PROVIDE 220V & GAS) 27" WIDE. MAKE/MODEL - S.B.O. REQUIRED DRYER VENT DUCT SHALL EXHAUST TO EXTERIOR W/ A MINIMUM OPENING OF 100 SQ. IN. MAKE-UP AIR OF 100 SQ. IN. IS REQUIRED FOR ROOMS CONTAINING A DRYER AND MAY COME FROM OPENING ABOVE DOOR INTO THE HALLWAY. MAKE-UP AIR MAY NOT COME FROM OR EXHAUST TO THE OUTSIDE. DRYER EXHAUST SHALL MAINTAIN A MIN. 5" CLEARANCE FROM AC CONDENSOR [CEC 150.3.A].
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	GUARDRAIL: MAKE/MODEL - S.B.O. GUARDS SHALL BE PROVIDED FOR THOSE PORTIONS OF OPEN-ENDED WALKING SURFACES GREATER THAN 30" MEASURED VERTICALLY TO THE FLOOR OR GRADE. GUARDRAILS SHALL BE NOT LESS THAN 42" IN HEIGHT. GUARDRAILS SHALL NOT ALLOW A 4" SPHERE OR GREATER PASSING, 6" SPHERE AT OPEN SIDE OF STAIR TREADS. SEE [R312.1.1]
	CASEWORK: MAKE/MODEL - S.B.O. CABINETS: MAKE/MODEL - AS S.B.O. COUNTER TOPS: MAKE/MODEL - AS S.B.O. BACKSPASHES: MAKE/MODEL - AS S.B.O. CONTRACTOR SHALL COORDINATE EQUIPMENT, UTILITIES, AND SIZE W/ CASEWORK FABRICATOR AND SUB-CONTRACTORS. ALL REQUIRED UTILITIES PER MANUFACTURERS INSTRUCTIONS SHALL BE ROUTED BY A LICENSED PROFESSIONAL.
	ACCESS ATTIC: 22" X 30" MIN. READILY ACCESSIBLE ATTIC PANEL WITH A MINIMUM OF 30" CLEAR HEADROOM ABOVE PER 2022 CRC 807.1. PROVIDE AIR-TIGHT SEAL. SEE TYPICAL DETAIL SHEET FOR MECHANICAL PLATFORM DETAILS.

- GENERAL NOTES: PROPOSED**
- MANUFACTURER'S INSTALLATION INSTRUCTIONS FOR LISTED APPLIANCES SHALL BE AVAILABLE TO THE FIELD INSPECTOR AT THE TIME OF INSPECTIONS PER 2022 [CRC R106.1.2.]
 - EXTERIOR CONCRETE PADS/LANDINGS: LENGTH TO MATCH DOOR X 36" MIN. DEPTH X 4" THICK CONCRETE PAD (MIN) @ EXTERIOR DOORWAYS AND GRADE-MOUNTED MECHANICAL EQUIPMENT. SLOPE PAD 1/4" 12" AWAY FROM BUILDING EDGE. PROVIDE 7.75" MAX STEP FOR INSWINGING DOORS AND 1" MAX FOR EXTERIOR SWINGING DOORS BETWEEN TOP OF PAD AND THRESHOLD. (TYP)
 - PROVIDE FIRE-BLOCKING AT THE FOLLOWING LOCATIONS. [CRC R302.1.1]
 - VERTICALLY AT THE CEILING AND FLOOR LEVELS.
 - HORIZONTALLY AT INTERVALS NOT EXCEEDING 10 FEET.
 - CONTRACTOR OR SUB-CONTRACTOR SHALL NOTIFY DESIGNER PRIOR TO PERFORMING WORK OF ANY DISCREPANCIES OR OTHER QUESTIONS PERTAINING TO THE DRAWINGS AND/OR SPECIFICATIONS. CONTRACTOR IS RESPONSIBLE FOR THE RESULTS OF ANY ERRORS, DISCREPANCIES, OR OMISSIONS WHICH THE CONTRACTOR FAILED TO NOTIFY THE DESIGNER PRIOR TO FABRICATION OR WORK.



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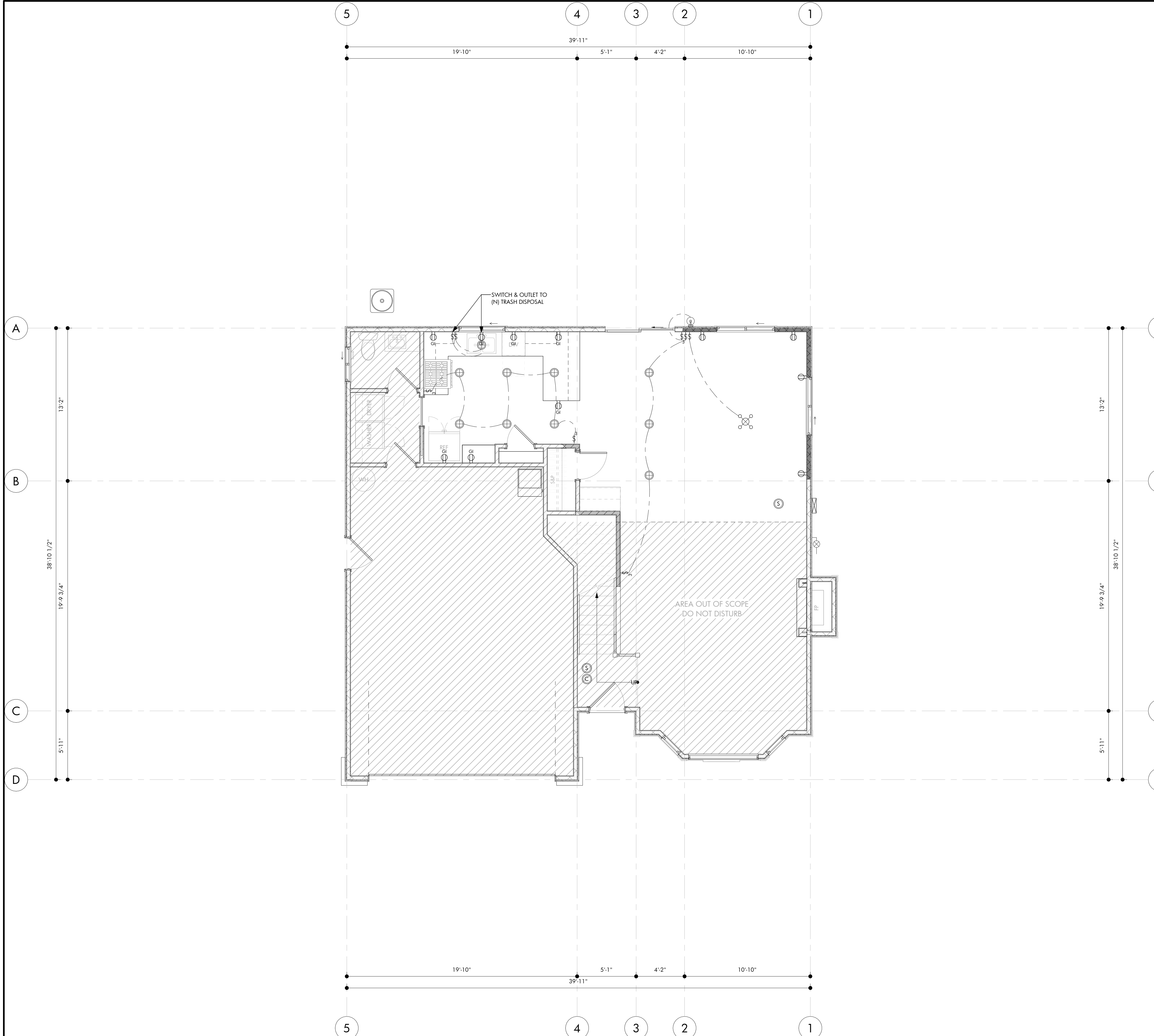
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TITLE:
 LEVEL-2 PROPOSED PLAN

PLAN CHECK	04/03/24
CONST. DOCUMENTS	03/18/24
DESIGN DEVELOPMENT	03/08/24
SCHEMATIC DESIGN	

SHEET:

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LEGEND: LIGHTING	
	EXTERIOR SURFACE-MOUNT LIGHT FIXTURE: MAKE/MODEL - S.B.O. 12W/120V 3500K LED WEATHERPROOF FIXTURE. PROVIDE UL RATED BOX. SEE NOTE #1.
	INTERIOR LIGHT FIXTURE CEILING CHANDELER: MAKE/MODEL - S.B.O. 25W/120V 3500K SURFACE MOUNTED LED LIGHT FIXTURE. SEE NOTE #2.
	INTERIOR LIGHT FIXTURE SCONCE SURFACE: MAKE/MODEL - S.B.O. 9W/120V 3500K WALL-MOUNT LED SCONCE LIGHT FIXTURE. MOUNT 72" A.F.F. U.N.O. SEE NOTE #2.
	INTERIOR LIGHT FIXTURE CEILING RECESSED: MAKE/MODEL - S.B.O. 8W/120V 3500K 4" (U.N.O.) RECESSED CANISTER LED LIGHT FIXTURE, OR EQUAL. PROVIDE WATERPROOF DIFFUSERS IN SHOWERS AND WET AREAS. SEE NOTE #2.
LEGEND: ELECTRICAL POWER & SIGNAL	
	INTERIOR WIRING CONTROL DEVICE: MAKE/MODEL - S.B.O. 120V (U.N.O.) DUPLEX WALL MOUNTED +18" A.F.F. (U.N.O.) W/ ARC FAULT CIRCUIT INTERRUPTER PROTECTION & LISTED TAMPER RESIST. CEC - 210.12 (B), 406.11, 210.52 WIRING CONTROL DEVICE: MAKE/MODEL - S.B.O.
	120V (U.N.O.) DUPLEX OUTLET +18" A.F.F. (U.N.O.) W/ GROUND FAULT CIRCUIT INTERRUPTER PROTECTION IN KITCHEN AND DINING AREAS A RECEPTACLE SHALL BE PROVIDED FOR EACH COUNTER SPACE WIDER THAN 12" AND SPACED NO MORE THAN 4'-0" APART, A MAX OF 2'-0" FROM THE END OF THE COUNTER. CEC 210.52(C)(1) PROVIDE: 125V SINGLE-PHASE, 15 & 20 AMP RECEPTACLE FOR EA VEHICLE SPACE PER CEC 210.52(G)(1), 210.8. WP = GFCI PLACED ≤ 6'-6" ABOVE GRADE, PROV. WTRPF COVER
	INTERIOR ELECTRICAL CABLE/CONDUCTOR: NM CABLE (ROMEX) CONCEALED IN WALL, CLG OR RAISED FLR SPACES W/ MIN. 2 #12 AWG CONDUCTORS AND 1 #12 GROUND, SUPPORT AND PROTECT CABLE PER NEC 334.
	INTERIOR SWITCHING CONTROL DEVICE: 200V/20A SINGLE POLE SWITCH MOUNT ON WALL +48" A.F.F. (U.N.O.) PROVIDE DIMMING (NOTE #2) CAPABILITIES. OS = OCCUPANCY SENSOR (MANUAL/ON/AUTO-OFF)
	SMOKE DETECTOR W/ BATTERY BACK-UP & ALARM SILENCER: MAKE/MODEL - S.B.O. PHOTOELECTRIC, INSTALL AS PER CRC R314, INTERCONNECT TO SOUND AN ALARM AUDIBLE IN ALL BEDROOMS IN THE DWELLING. INSTALL ONE (1) SMOKE DETECTOR IN EACH SLEEPING ROOM AND AT A POINT CENTRALLY LOCATED IN THE CORRIDOR AREA GIVING ACCESS TO THESE SLEEPING AREAS. A SMOKE DETECTOR SHALL BE INSTALLED ON EACH LEVEL AND IN CLOSE PROXIMITY TO STAIRWAYS.
	CARBON MONOXIDE SENSOR W/ BATTERY BACK-UP: MAKE/MODEL - S.B.O. INSTALL AS PER 2022 CRC R 315.1, INTERCONNECT TO SOUND AN ALARM AUDIBLE IN ALL BEDROOMS IN THE DWELLING. INSTALL ONE (1) CARBON MONOXIDE SENSOR AT A POINT CENTRALLY LOCATED IN THE CORRIDOR AREA GIVING ACCESS TO THESE SLEEPING AREAS. A CARBON MONOXIDE SENSOR SHALL BE INSTALLED ON EACH LEVEL AND IN CLOSE PROXIMITY TO STAIRWAYS.
LEGEND: MECHANICAL & PLUMBING	
	MECHANICAL CONDENSING UNIT: MAKE/MODEL - EXISTING.
	GAS METER: EXISTING
	WATER HEATER: MAKE/MODEL - EXISTING

- GENERAL NOTES: ELECTRICAL**
- ALL EXTERIOR LIGHTS TO BE HIGH EFFICACY AND CONTROLLED W/ MANUAL ON AND OFF AND ASTRONOMICAL TIME CLOCK THAT AUTO TURNS THE OUTDOOR LIGHTING OFF DURING DAYLIGHT HOURS. SEE CEC 7.150(K)
 - ELECTRICAL CONTRACTOR TO VERIFY USE OF CORRECT DIMMERS TO TYPE OF LIGHT FIXTURE. LOW VOLTAGE, LINE VOLTAGE, AND FLUORESCENT FIXTURES ALL REQUIRE A DIFFERENT TYPE DIMMER. AT LEAST ONE LIGHT SHALL BE CONTROLLED BY A VACANCY SENSOR IN BATHROOMS, LAUNDRY ROOMS & UTILITY ROOMS, AND GARAGE.
 - ELECTRICAL PLAN MAY NOT SHOW ALL REQUIRED OUTLETS. REFER TO NATIONAL ELECTRICAL CODE AND APPLIANCE CUT SHEETS FOR FINAL DETERMINATION OF NUMBER AND PLACEMENT OF ELECTRICAL OUTLETS. ALL LIGHTING TO COMPLY WITH 2022 TITLE 24.
 - RECESSED FIXTURES INSTALLED IN INSULATED CEILINGS ARE RATED "ICAT" AND CERTIFIED ASTM E283 OR EQUIVALENT. INSTALLATION IS AIRTIGHT.
 - ALL NEW, MODIFIED, REPLACED, OR EXTENDED 120VOLT, SINGLE PHASE, 15- AND 20-AMP BRANCH CIRCUITS IN THE KITCHEN, LAUNDRY AREA, OR SIMILAR ROOMS SHALL BE PROTECTED BY A LISTED ARC-FAULT CIRCUIT INTERRUPTER (AFCI) IN ADDITION TO THE GFCI PROTECTION. CEC ART. 210.12(A)
 - NEW OR ALTERED CIRCUITS FOR RANGES, OVENS, AND DRYERS SHALL BE ON 4-WIRE REC. S PER CEC 250.40.
 - RESIDENTIAL LIGHTS TO BE HIGH EFFICACY. EFFICACY REQUIREMENTS APPLY TO ALL PERMANENT INSTALLED LIGHT FIXTURES, INCLUDING SCREW-BASED WHICH MUST CONTAIN JAB COMPLIANT LAMPS. SHOULD CONTRACTOR DEVIATE FROM LEDS IDENTIFIED IN LEGEND THE LIGHT SOURCE SHALL COMPLY WITH TABLE 6-1 "SUMMARY OF COMPLIANT LUMINAIRE TYPES".
 - IN KITCHENS, PANTRY, DINING ROOM OR SIMILAR AREA OF A DWELLING UNIT, 2 OR MORE 20-AMPERE BRANCH CIRCUITS SHALL SERVE ALL WALL AND FLOOR RECEPTACLES, COUNTERTOP AND REFRIGERATOR RECEPTACLE OUTLETS, PER [CEC 210.52(B)(1)] AND SHALL HAVE NO OTHER OUTLET PER CEC 210.52(B)(2). RECEPTACLE OUTLETS INSTALLED IN KITCHEN COUNTERTOP SURFACES SHALL BE SUPPLIED BY NO FEWER THAN 2 SMALL APPLIANCE BRANCH CIRCUITS, EITHER OR BOTH SHALL BE PERMITTED TO SUPPLY RECEPTACLE OUTLETS IN THE SAME KITCHEN PER [CEC 210.52(B)(3)].

- GENERAL NOTES: PLUMBING**
- PROVIDE GAS SHUT-OFF VALVES WITHIN 6' OF ALL APPLIANCES PER [CPC 1211.5].
 - ALL PLUMBING FIXTURES AND FITTING SHALL BE INSTALLED PER CPC CHAPTER 4.
 - FOR WATER AND GAS LINE PENETRATIONS OF FIRE WALLS AND CEILINGS AT THE GARAGE, PENETRATIONS SHALL BE PROTECTED BY AN APPROVED PENETRATION FIRESTOP SYSTEM INSTALLED AS TESTED IN ACCORDANCE WITH ASTM E814 OR ASTM 1479, [R302.4.1.2]



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 ADDRESS: 142 CASSELMAN STREET, FOLSOM, CA 95630
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APN: 071-0760-050

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HERMES RESIDENCE
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 FOLSOM, CA 95630

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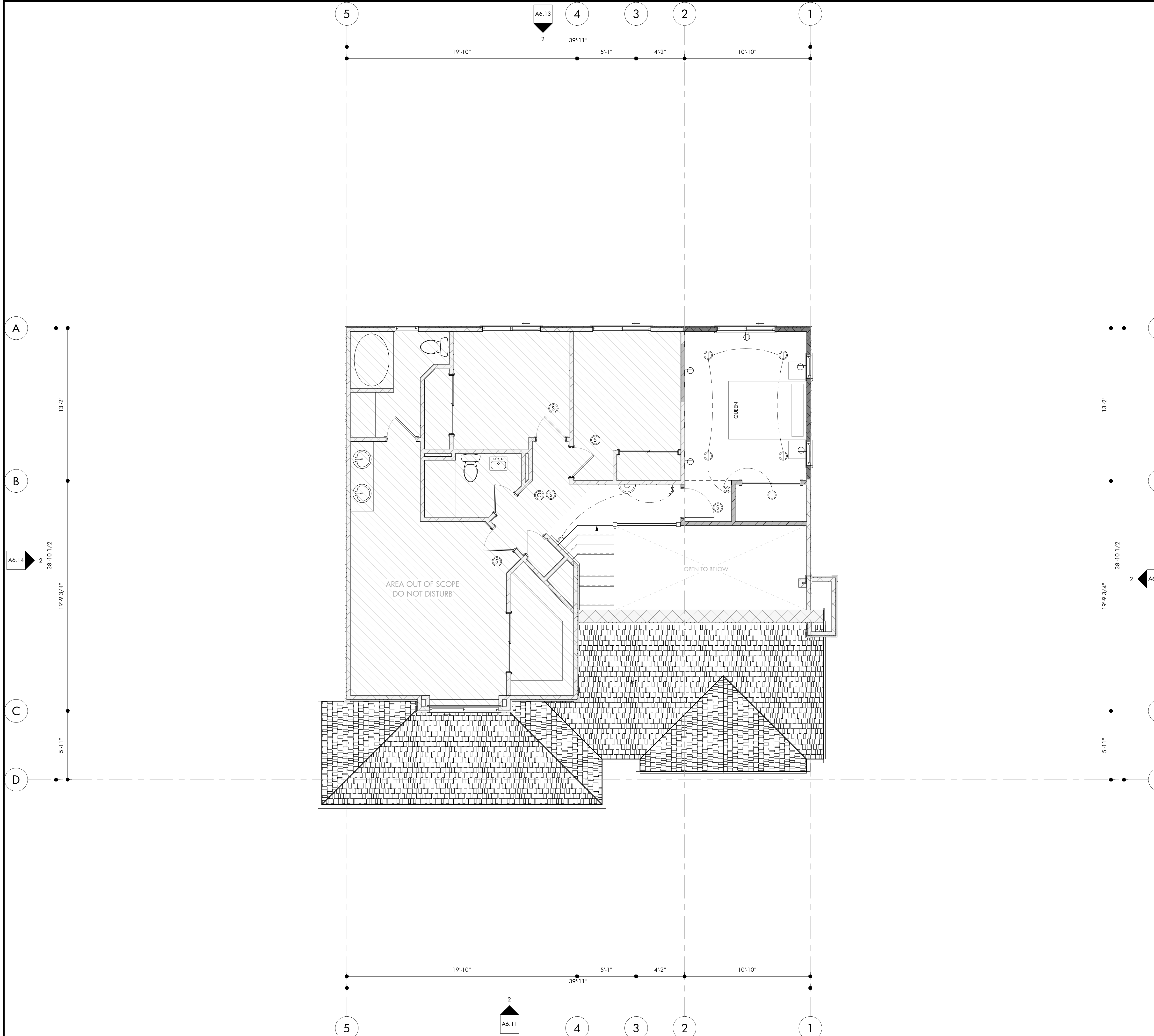
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TITLE:
 LEVEL-1 RCP/ELECTRICAL PLAN

PLAN CHECK
 CONST. DOCUMENTS 04/03/24
 DESIGN DEVELOPMENT 03/18/24
 SCHEMATIC DESIGN 03/08/24

SHEET:
A3.11

PRINT DATE/TIME: 4/4/2024 3:52:18 PM



LEGEND: LIGHTING

	EXTERIOR SURFACE-MOUNT LIGHT FIXTURE: MAKE/MODEL - S.B.O.
	12W/120V 3500K LED WEATHERPROOF FIXTURE. PROVIDE UL RATED BOX. SEE NOTE #1.
	INTERIOR LIGHT FIXTURE CEILING CHANDELER: MAKE/MODEL - S.B.O.
	25W/120V 3500K SURFACE MOUNTED LED LIGHT FIXTURE. SEE NOTE #2.
	INTERIOR LIGHT FIXTURE SCONCE SURFACE: MAKE/MODEL - S.B.O.
	9W/120V 3500K WALL-MOUNT LED SCONCE LIGHT FIXTURE. MOUNT 72" A.F.F. U.N.O. SEE NOTE #2.
	INTERIOR LIGHT FIXTURE CEILING RECESSED: MAKE/MODEL - S.B.O.
	8W/120V 3500K 4" (U.N.O.) RECESSED CANISTER LED LIGHT FIXTURE, OR EQUAL. PROVIDE WATERPROOF DIFFUSERS IN SHOWERS AND WET AREAS. SEE NOTE #2.

LEGEND: ELECTRICAL POWER & SIGNAL

	INTERIOR WIRING CONTROL DEVICE: MAKE/MODEL - S.B.O.
	120V (U.N.O.) DUPLEX WALL MOUNTED +18" A.F.F. (U.N.O.) W/ ARC FAULT CIRCUIT INTERRUPTER PROTECTION & LISTED TAMPER RESIST. CEC - 210.12 (B), 406.11, 210.52
	WIRING CONTROL DEVICE: MAKE/MODEL - S.B.O.
	120V (U.N.O.) DUPLEX OUTLET +18" A.F.F. (U.N.O.) W/ GROUND FAULT CIRCUIT INTERRUPTER PROTECTION. IN KITCHEN AND DINING AREAS A RECEPTACLE SHALL BE PROVIDED FOR EACH COUNTER SPACE WIDER THAN 12" AND SPACED NO MORE THAN 4'-0" APART, A MAX OF 2'-0" FROM THE END OF THE COUNTER. CEC 210.52(C)(1) PROVIDE: 125V SINGLE-PHASE, 15 & 20 AMP RECEPTACLE FOR EA VEHICLE SPACE PER CEC 210.52(G)(1), 210.8. WP = GFCI PLACED ≤ 6'-6" ABOVE GRADE, PROV. WTRPF COVER
	INTERIOR ELECTRICAL CABLE/CONDUCTOR:
	NM CABLE (ROMEX) CONCEALED IN WALL, CLG OR RAISED FLR SPACES W/ MIN. 2 #12 AWG CONDUCTORS AND 1 #12 GROUND. SUPPORT AND PROTECT CABLE PER NEC 334.
	INTERIOR SWITCHING CONTROL DEVICE:
	200V/20A SINGLE POLE SWITCH MOUNT ON WALL +48" A.F.F. (U.N.O.) PROVIDE DIMMING (NOTE #2) CAPABILITIES. OS = OCCUPANCY SENSOR (MANUAL/ON/AUTO-OFF)
	SMOKE DETECTOR W/ BATTERY BACK-UP & ALARM SILENCER: MAKE/MODEL - S.B.O. PHOTOELECTRIC, INSTALL AS PER CRC R314, INTERCONNECT TO SOUND AN ALARM AUDIBLE IN ALL BEDROOMS IN THE DWELLING. INSTALL ONE (1) SMOKE DETECTOR IN EACH SLEEPING ROOM AND AT A POINT CENTRALLY LOCATED IN THE CORRIDOR AREA GIVING ACCESS TO THESE SLEEPING AREAS. A SMOKE DETECTOR SHALL BE INSTALLED ON EACH LEVEL AND IN CLOSE PROXIMITY TO STAIRWAYS.
	CARBON MONOXIDE SENSOR W/ BATTERY BACK-UP: MAKE/MODEL - S.B.O. INSTALL AS PER 2022 CRC R 315.1, INTERCONNECT TO SOUND AN ALARM AUDIBLE IN ALL BEDROOMS IN THE DWELLING. INSTALL ONE (1) CARBON MONOXIDE SENSOR AT A POINT CENTRALLY LOCATED IN THE CORRIDOR AREA GIVING ACCESS TO THESE SLEEPING AREAS. A CARBON MONOXIDE SENSOR SHALL BE INSTALLED ON EACH LEVEL AND IN CLOSE PROXIMITY TO STAIRWAYS.

LEGEND: MECHANICAL & PLUMBING

	MECHANICAL CONDENSING UNIT: MAKE/MODEL - EXISTING.
	EXISTING
	GAS METER: EXISTING
	WATER HEATER: MAKE/MODEL - EXISTING
	EXISTING

- GENERAL NOTES: ELECTRICAL**
- ALL EXTERIOR LIGHTS TO BE HIGH EFFICACY AND CONTROLLED W/ MANUAL ON AND OFF AND ASTRONOMICAL TIME CLOCK THAT AUTO TURNS THE OUTDOOR LIGHTING OFF DURING DAYLIGHT HOURS. SEE CEC 7.150(K)
 - ELECTRICAL CONTRACTOR TO VERIFY USE OF CORRECT DIMMERS TO TYPE OF LIGHT FIXTURE. LOW VOLTAGE, LINE VOLTAGE, AND FLUORESCENT FIXTURES ALL REQUIRE A DIFFERENT TYPE DIMMER. AT LEAST ONE LIGHT SHALL BE CONTROLLED BY A VACANCY SENSOR IN BATHROOMS, LAUNDRY ROOMS & UTILITY ROOMS, AND GARAGE.
 - ELECTRICAL PLAN MAY NOT SHOW ALL REQUIRED OUTLETS. REFER TO NATIONAL ELECTRICAL CODE AND APPLIANCE CUT SHEETS FOR FINAL DETERMINATION OF NUMBER AND PLACEMENT OF ELECTRICAL OUTLETS. ALL LIGHTINGS TO COMPLY WITH 2022 TITLE 24.
 - RECESSED FIXTURES INSTALLED IN INSULATED CEILINGS ARE RATED "ICAT" AND CERTIFIED ASTM E283 OR EQUIVALENT. INSTALLATION IS AIR TIGHT.
 - ALL NEW, MODIFIED, REPLACED, OR EXTENDED 120VOLT, SINGLE PHASE, 15- AND 20-AMP BRANCH CIRCUITS IN THE KITCHEN, LAUNDRY AREA, OR SIMILAR ROOMS SHALL BE PROTECTED BY A LISTED ARC-FAULT CIRCUIT INTERRUPTER (AFCI) IN ADDITION TO THE GFCI PROTECTION. CEC ART. 210.12(A)
 - NEW OR ALTERED CIRCUITS FOR RANGES, OVENS, AND DRYERS SHALL BE ON 4-WIRE REC. S PER CEC 250-40.
 - RESIDENTIAL LIGHTS TO BE HIGH EFFICACY. EFFICACY REQUIREMENTS APPLY TO ALL PERMANENT INSTALLED LIGHT FIXTURES, INCLUDING SCREW-BASED WHICH MUST CONTAIN JAB COMPLIANT LAMPS. SHOULD CONTRACTOR DEVIATE FROM LEDS IDENTIFIED IN LEGEND THE LIGHT SOURCE SHALL COMPLY WITH TABLE 6-1 "SUMMARY OF COMPLIANT LUMINAIRE TYPES".
 - IN KITCHENS, PANTRY, DINING ROOM OR SIMILAR AREA OF A DWELLING UNIT, 2 OR MORE 20-AMPERE BRANCH CIRCUITS SHALL SERVE ALL WALL AND FLOOR RECEPTACLES, COUNTERTOP AND REFRIGERATOR RECEPTACLE OUTLETS, PER [CEC 210.52(B)(1)] AND SHALL HAVE NO OTHER OUTLET PER CEC 210.52(B)(2). RECEPTACLE OUTLETS INSTALLED IN KITCHEN COUNTERTOP SURFACES SHALL BE SUPPLIED BY NO FEWER THAN 2 SMALL APPLIANCE BRANCH CIRCUITS, EITHER OR BOTH SHALL BE PERMITTED TO SUPPLY RECEPTACLE OUTLETS IN THE SAME KITCHEN PER [CEC 210.52(B)(3)].

- GENERAL NOTES: PLUMBING**
- PROVIDE GAS SHUT-OFF VALVES WITHIN 6' OF ALL APPLIANCES PER [CPC 1211.5].
 - ALL PLUMBING FIXTURES AND FITTING SHALL BE INSTALLED PER CPC CHAPTER 4.
 - FOR WATER AND GAS LINE PENETRATIONS OF FIRE WALLS AND CEILINGS AT THE GARAGE, PENETRATIONS SHALL BE PROTECTED BY AN APPROVED PENETRATION FIRESTOP SYSTEM INSTALLED AS TESTED IN ACCORDANCE WITH ASTM E814 OR ASTM 1479, [R302.4.1.2]



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 142 CASSELMAN STREET,
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TITLE:
 LEVEL-2 RCP/ELECTRICAL PLAN

PLAN CHECK: 04/03/24
 CONST. DOCUMENTS: 03/18/24
 DESIGN DEVELOPMENT: 03/08/24
 SCHEMATIC DESIGN: 03/08/24

SHEET:
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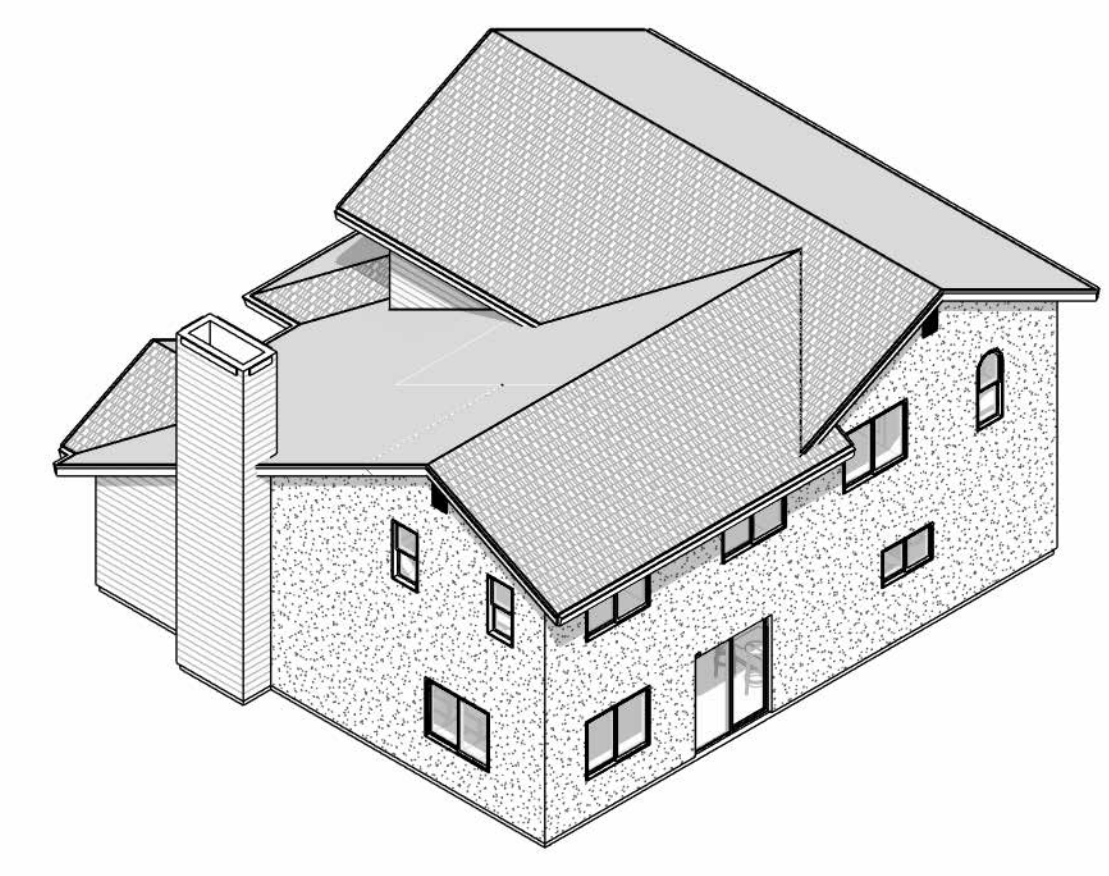
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MICHAEL OUSHAKOFF
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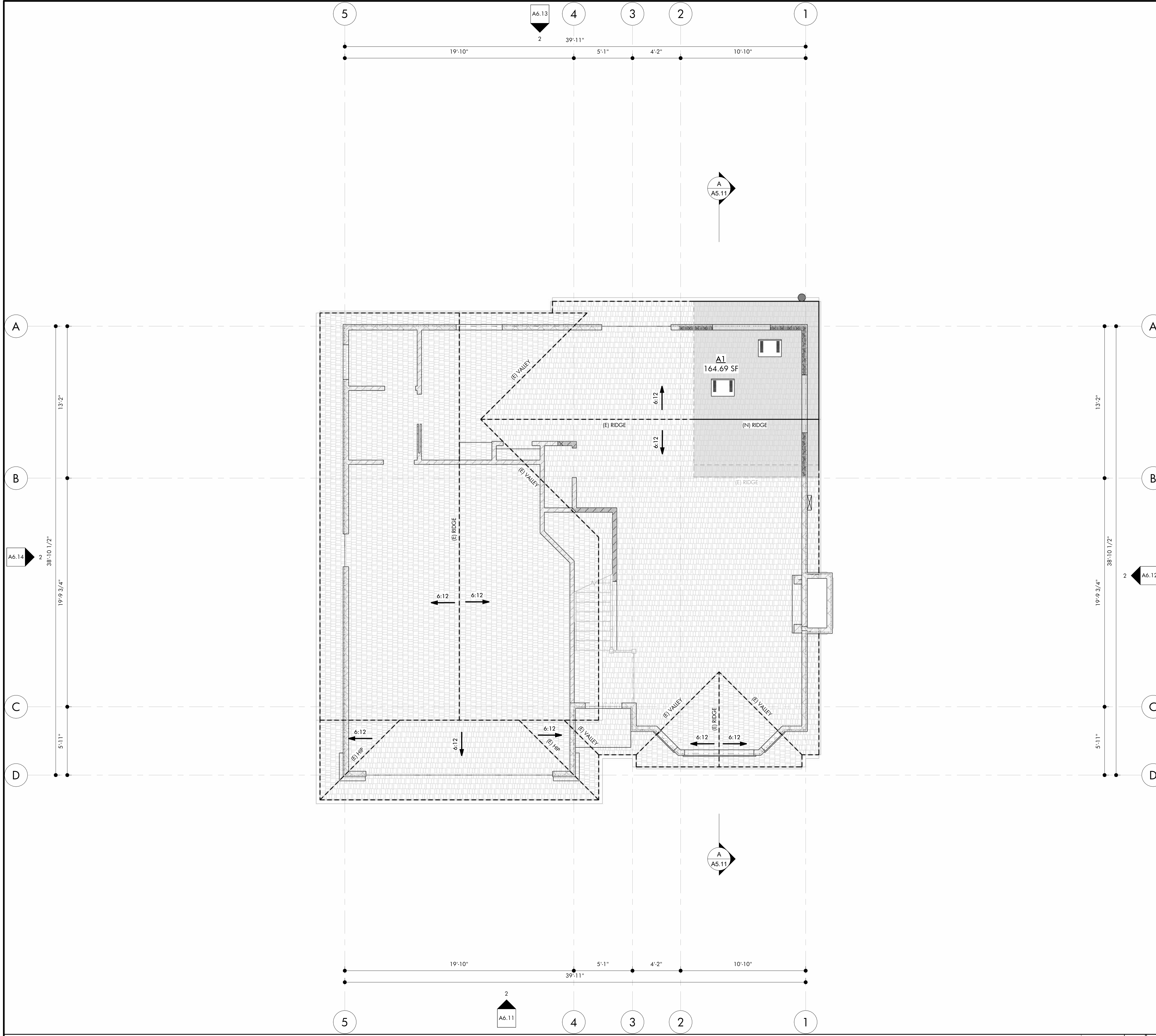
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ROOF PLAN

PLAN CHECK 04/03/24
 CONST. DOCUMENTS 03/18/24
 DESIGN DEVELOPMENT 03/08/24
 SCHEMATIC DESIGN

SHEET:

A4.11



LEGEND: ROOF

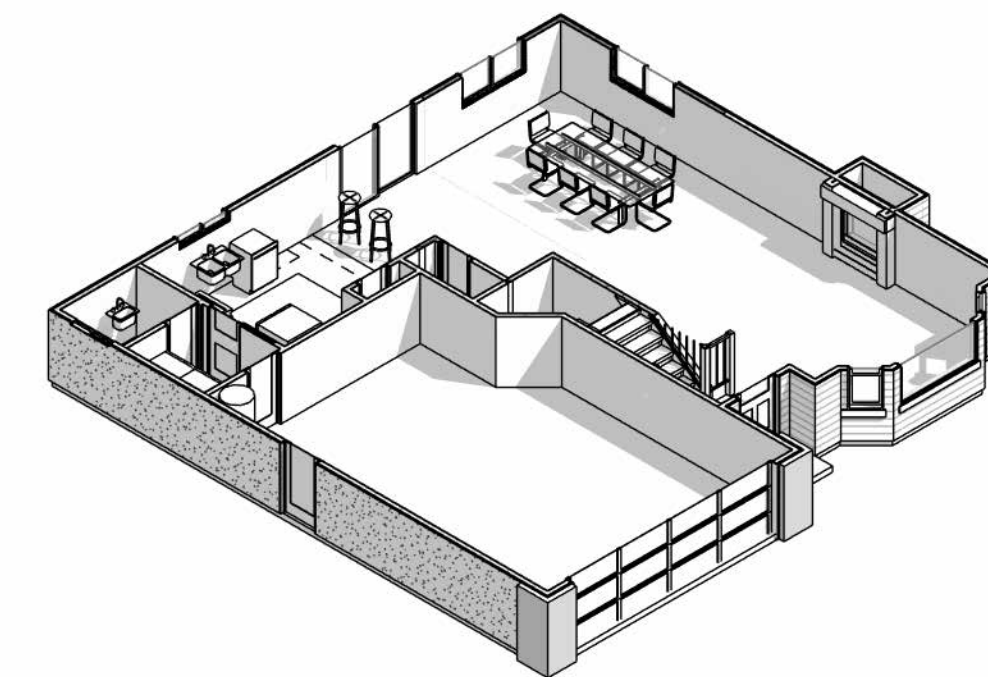
	ASPHALT SHINGLE W/ FASCIA - MAKE/MODEL - MATCH EXISTING
	ASPHALT SHINGLES O/ 2LAYERS 30 LB FELT APPLIED PER [R905.1.1(2)] AND PLYWOOD SHEATHING: 2:12 MIN SLOPE PER [R905.2.2]
	FLASHING REQUIREMENTS: REFER TO [CRC R905.2.8.6]
	GUTTER: 26ga [K-STYLE] HALF-ROUND [FASCIA MOUNT GUTTER] 3-COAT PAINT AS S.B.O. PROVIDE DOWNSPOUTS AT EA END OF GUTTER RUN OR EVERY 15' (MIN), TYP OVERHANG: 18" U.N.O.
	ROOF VENT: MAKE/MODEL - O'HAGIN TAPERED LOW PROFILE
	72 SQ. IN. NFVA O'HAGIN ROOF VENT, INSTALL PER MANUFACTURER'S SPECIFICATIONS. COLOR AND STYLE TO MATCH ROOFING FINISH.
	DOWNSPOUT: MAKE/MODEL - MATCH EXISTING
	DOWNSPOUT W/ 4" DIAMETER AS SPECIFIED BY MANUFACTURER

ATTIC VENTILATION CALCULATION: [CRC R806.2]

AREA	UNITS IN SQUARE FEET		CONVERSION		UNITS IN SQUARE INCHES	
	VENTED SPACE (A)	REQ. NFVA (A/300)	REQ. NFVA IN SQ. IN. (NFVA * 144)	REQ. NFVA @ TOP & BOT	PROV. VENT NFVA	NUMBER OF VENTS @ T&B
A1	164.69	0.548967	79.0512	39.5256	72	0.548967

- PROVIDE TWO (2) O'HAGIN ROOF VENTS (72 SQ. IN. NFVA EACH) AS LOCATED IN VIEW.
- UPPER VENTILATORS SHALL BE LOCATED NOT MORE THAN 3' BELOW THE RIDGE OR HIGHEST POINT OF THE SPACE MEASURED VERTICALLY. [CRC R806.2.2]

ROOF PLAN
 1/4" = 1'-0"



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LEGEND: BUILDING SECTION

- IF SELECTED, EXTERIOR WALL INSULATION: SEE TITLE-24 & PLAN VIEW.
- IF SELECTED, INTERIOR WALL INSULATION: SEE TITLE-24 & PLAN VIEW.
- IF SELECTED, EXTERIOR ROOF/CEILING INSULATION: SEE TITLE-24 & PLAN VIEW.

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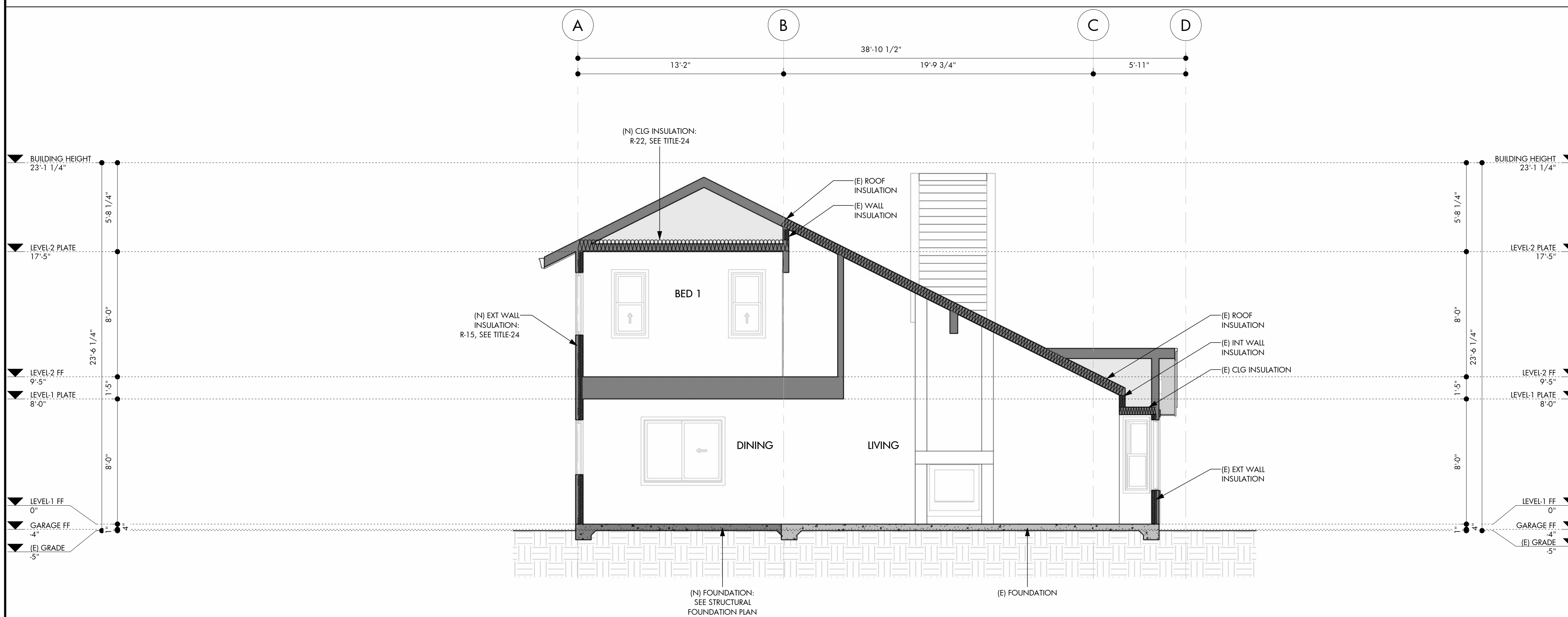
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SECTIONS

PLAN CHECK 04/03/24
 CONST. DOCUMENTS 03/18/24
 DESIGN DEVELOPMENT 03/08/24
 SCHEMATIC DESIGN 03/08/24

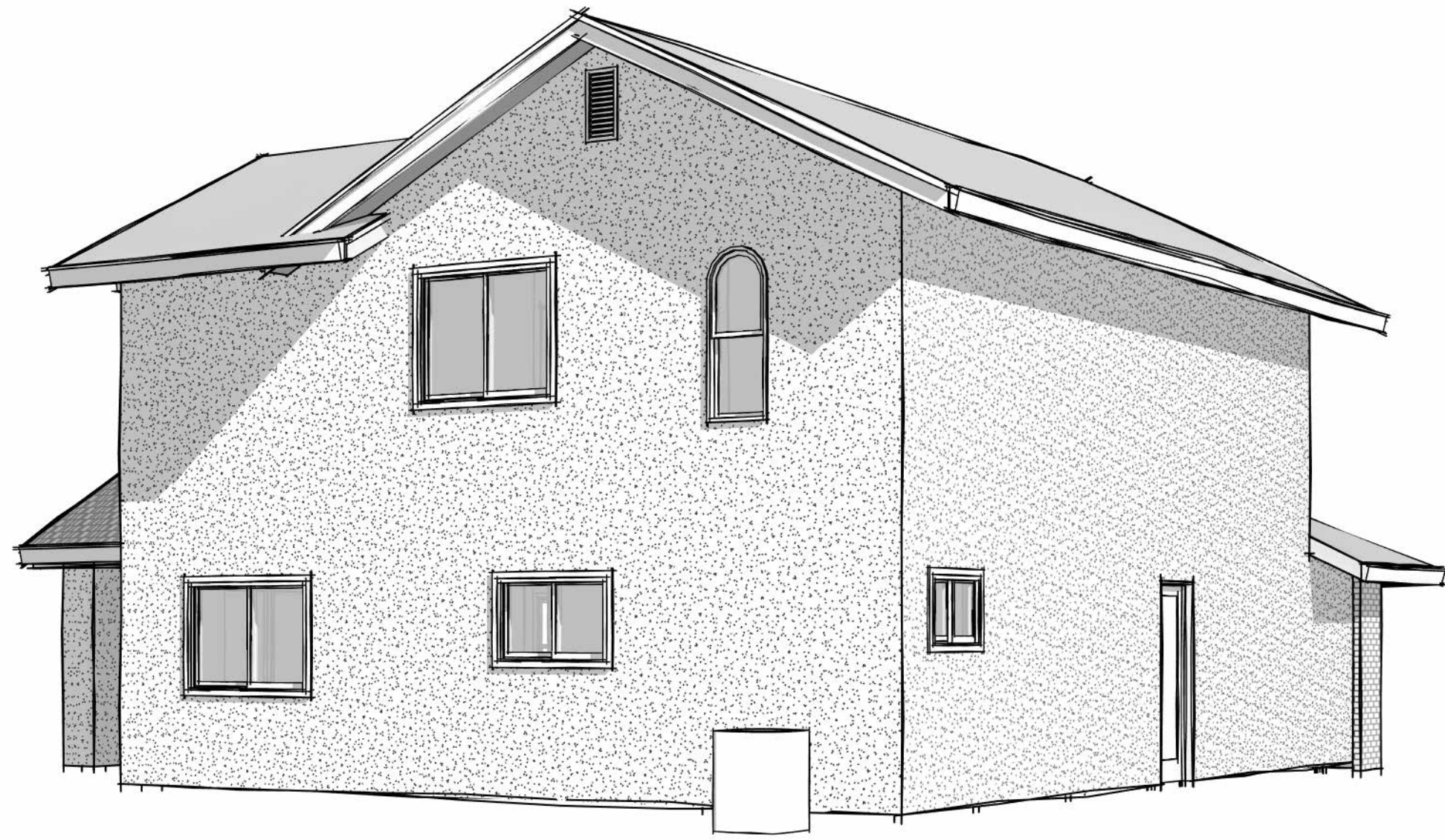
SHEET:

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SECTION A
 1/4" = 1'-0"

A



VIEW 3 EXISTING 6



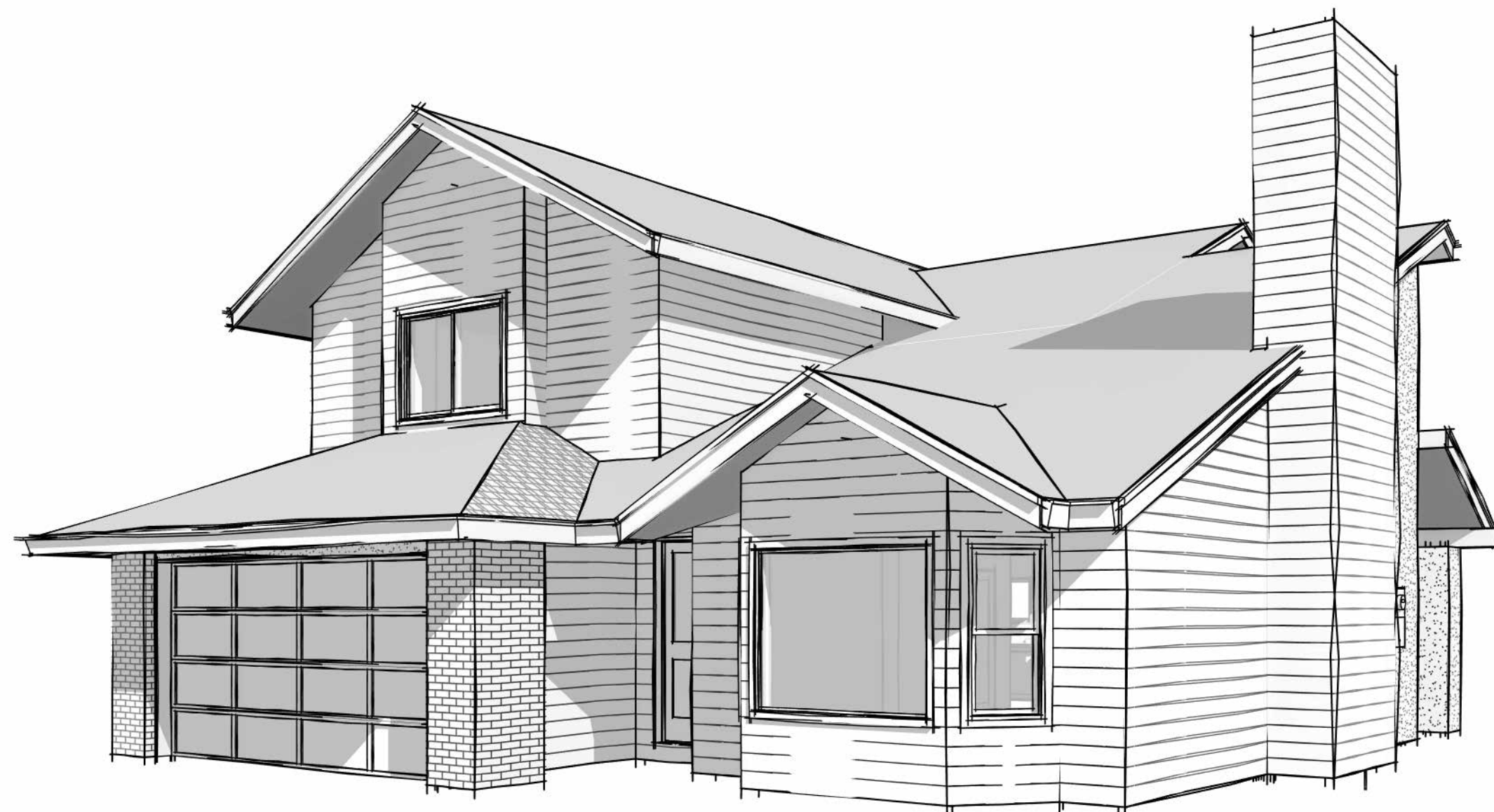
VIEW 3 PROPOSED 3



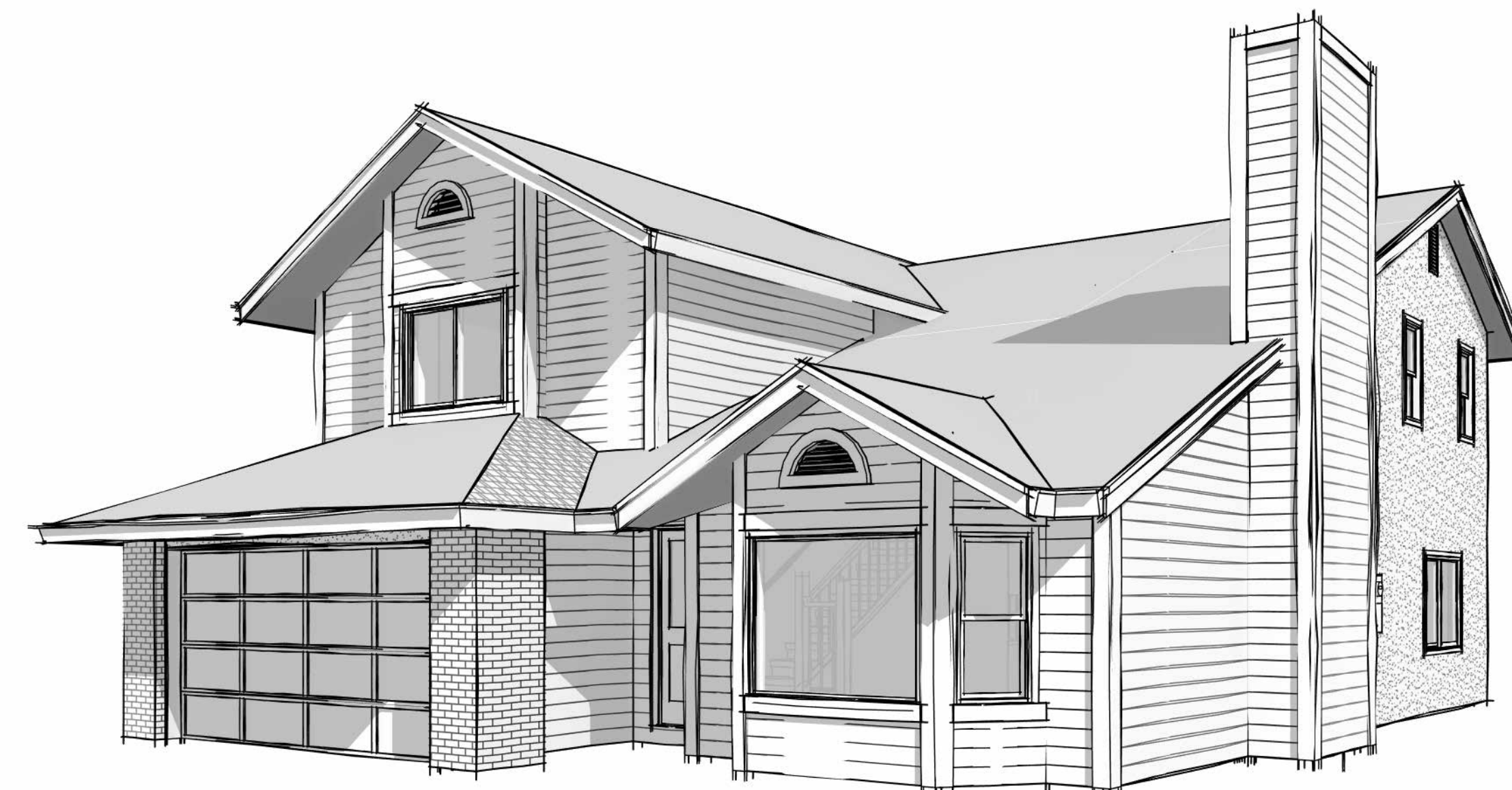
VIEW 2 EXISTING 5



VIEW 2 PROPOSED 2



VIEW 1 EXISTING 4



VIEW 1 PROPOSED 1

LEGEND: ELEVATIONS

	ASPHALT SHINGLES: MAKE/MODEL - AS S.B.O. SEE ROOF PLAN FOR ADDITIONAL INFORMATION.
	EXTERIOR CEMENT PLASTER: FINISH/COLOR - MED TEXTURE/AS S.B.O. 7/8" THICK 3-COAT CEMENT PLASTER O/ CORROSION-RESISTANT LATH, 2 LAYERS OF GRADED PAPER, AND PLYWOOD SHEATHING. (CRC R703.7) SCREED LINE: MIN. 0.019" C.R. WEEP SCREED W/ A MIN VERT. ATTACHMENT FLANGE OF 3.5" SHALL BE PROVIDED AT OR BELOW THE FOUNDATION PLATE LINE ON THE EXTERIOR STUD WALLS. SCREED SHALL BE PLACED A MIN. 4" ABOVE EARTH OR 2" ABOVE A PAVED SURFACE. (CRC R703.7.2.1)
	BRICK VENEER: MAKE/MODEL - EXISTING EXISTING BRICK VENEER TO REMAIN.
	LAP SIDING: MAKE/MODEL - EXISTING EXISTING LAP SIDING TO REMAIN.
	DOORS: MAKE/MODEL - S.B.O. CALK ALL EXTERIOR JOINTS, TYP. FLASHING AT EXTERIOR WINDOW AND DOOR OPENINGS SHALL EXTEND TO THE SURFACE OF THE EXTERIOR WALL FINISH OR TO THE WATER-RESISTIVE BARRIER COMPLYING WITH SECTION [703.2] FOR SUBSEQUENT DRAINAGE. MECHANICALLY ATTACHED FLEXIBLE FLASHINGS SHALL COMPLY WITH AAMA 712. [R703.4] THE FENESTRATION MANUFACTURER'S INSTALLATION AND FLASHING INSTRUCTIONS, OR FOR APPLICATIONS NOT ADDRESSED IN THE FENESTRATION MANUFACTURER'S INSTRUCTIONS, IN ACCORDANCE WITH THE FLASHING MANUFACTURER'S INSTRUCTIONS. WHERE FLASHING INSTRUCTIONS OR DETAILS ARE NOT PROVIDED, PAN FLASHING SHALL BE INSTALLED AT THE SILL OF EXTERIOR WINDOW AND DOOR OPENINGS. PAN FLASHING SHALL BE SEALED OR SLOPED IN SUCH A MANNER AS TO DIRECT WATER TO THE SURFACE OF THE EXTERIOR WALL FINISH OR TO THE WATER-RESISTIVE BARRIER FOR SUBSEQUENT DRAINAGE. OPENINGS USING PAN FLASHING SHALL INCORPORATE FLASHING OR PROTECTION AT THE HEAD AND SIDES. [R703.4.1.1] AIR SEALING SHALL BE INSTALLED AROUND ALL WINDOW AND DOOR OPENINGS ON THE INTERIOR SIDE OF THE ROUGH OPENING GAP. [R703.4.1]
	WINDOWS: MAKE/MODEL - S.B.O. CALK ALL EXTERIOR JOINTS, TYP. FLASHING AT EXTERIOR WINDOW AND DOOR OPENINGS SHALL EXTEND TO THE SURFACE OF THE EXTERIOR WALL FINISH OR TO THE WATER-RESISTIVE BARRIER COMPLYING WITH SECTION [703.2] FOR SUBSEQUENT DRAINAGE. MECHANICALLY ATTACHED FLEXIBLE FLASHINGS SHALL COMPLY WITH AAMA 712. [R703.4] THE FENESTRATION MANUFACTURER'S INSTALLATION AND FLASHING INSTRUCTIONS, OR FOR APPLICATIONS NOT ADDRESSED IN THE FENESTRATION MANUFACTURER'S INSTRUCTIONS, IN ACCORDANCE WITH THE FLASHING MANUFACTURER'S INSTRUCTIONS. WHERE FLASHING INSTRUCTIONS OR DETAILS ARE NOT PROVIDED, PAN FLASHING SHALL BE INSTALLED AT THE SILL OF EXTERIOR WINDOW AND DOOR OPENINGS. PAN FLASHING SHALL BE SEALED OR SLOPED IN SUCH A MANNER AS TO DIRECT WATER TO THE SURFACE OF THE EXTERIOR WALL FINISH OR TO THE WATER-RESISTIVE BARRIER FOR SUBSEQUENT DRAINAGE. OPENINGS USING PAN FLASHING SHALL INCORPORATE FLASHING OR PROTECTION AT THE HEAD AND SIDES. [R703.4.1.1] AIR SEALING SHALL BE INSTALLED AROUND ALL WINDOW AND DOOR OPENINGS ON THE INTERIOR SIDE OF THE ROUGH OPENING GAP. [R703.4.1]
	LOUVERED VENT: MAKE/MODEL - MATCH EXISTING AS S.B.O. SIZE AND STYLE TO MATCH EXISTING. PAINT 3-COAT AS S.B.O.

GENERAL NOTES: ELEVATIONS

- FOR ALL EXTERIOR WALL COVERING FLASHING REQUIREMENTS CONTRACTOR SHALL REFER TO CRC [R703.4]
- GRADE CONDITIONS MAY VARY FOR INDIVIDUAL SITE FROM THAT SHOWN. BUILDER SHALL VERIFY AND COORDINATE PER ACTUAL SITE CONDITIONS.
- PROVIDE MECHANICAL AND GRAVITY OUTDOOR AIR INTAKE OPENINGS PER 2022 CRC SECTION R303.5.1.

Color and Materials To Match Existing Residence



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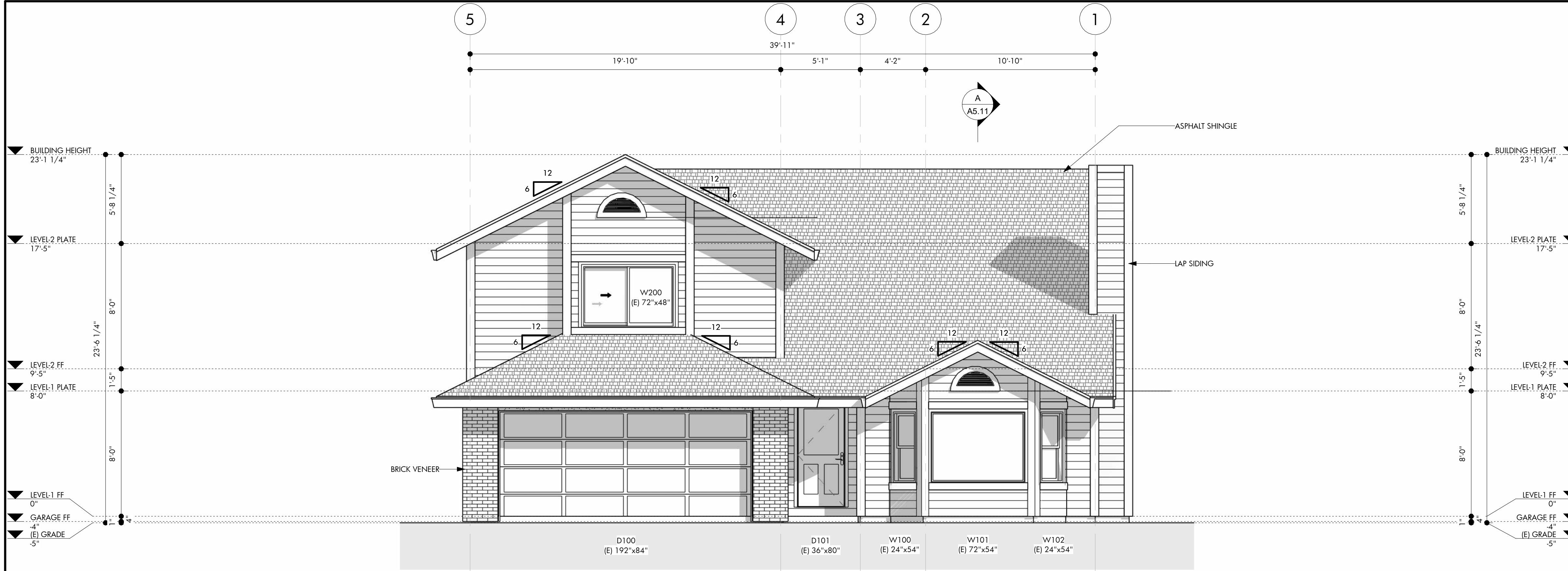
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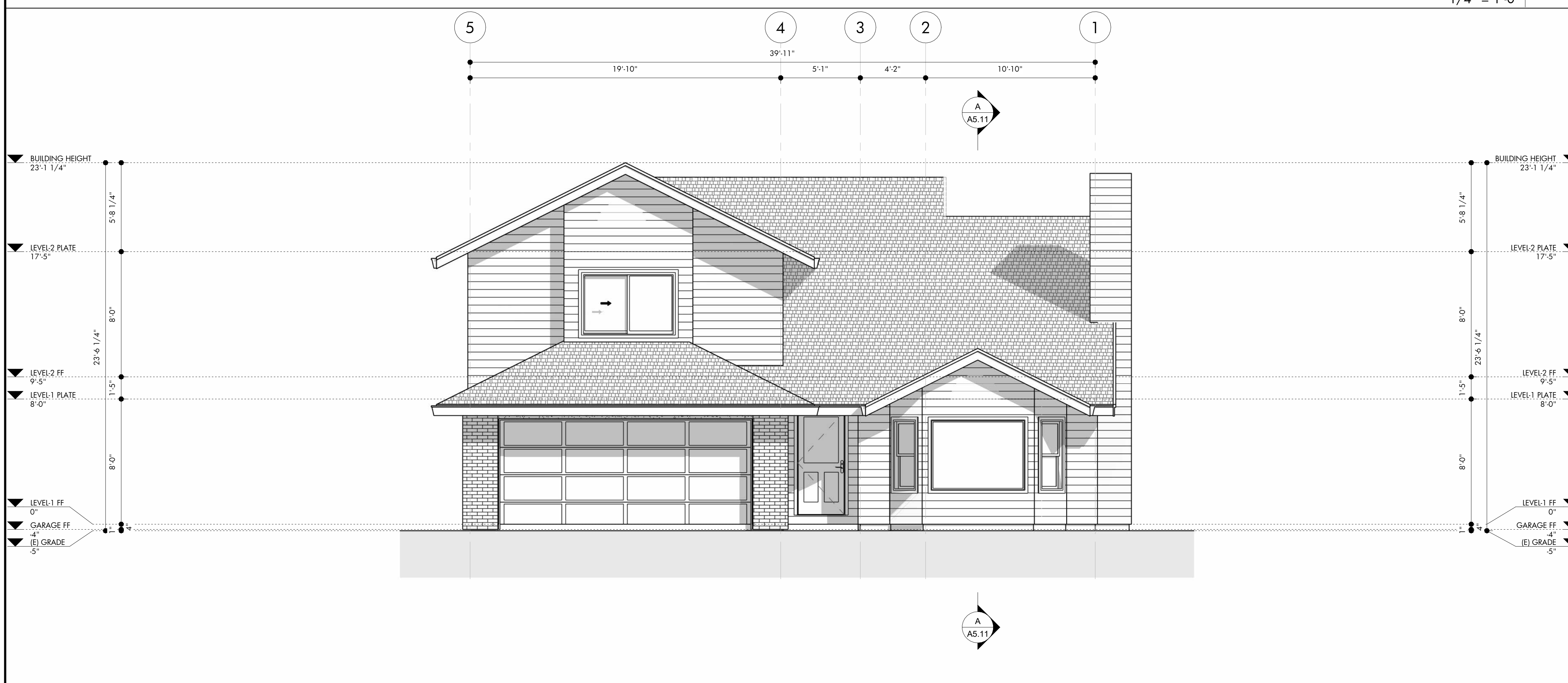
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MICHAEL OUSHAKOFF
04/04/2024 3:57:08 PM

TITLE:
EXTERIOR PERSPECTIVE
PLAN CHECK 04/03/24
CONST. DOCUMENTS 03/18/24
DESIGN DEVELOPMENT 03/08/24
SCHEMATIC DESIGN

SHEET:
A6.00



(N) FRONT ELEVATION
1/4" = 1'-0" 2



(E) FRONT ELEVATION
1/4" = 1'-0" 1

LEGEND: ELEVATIONS	
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- GENERAL NOTES: ELEVATIONS
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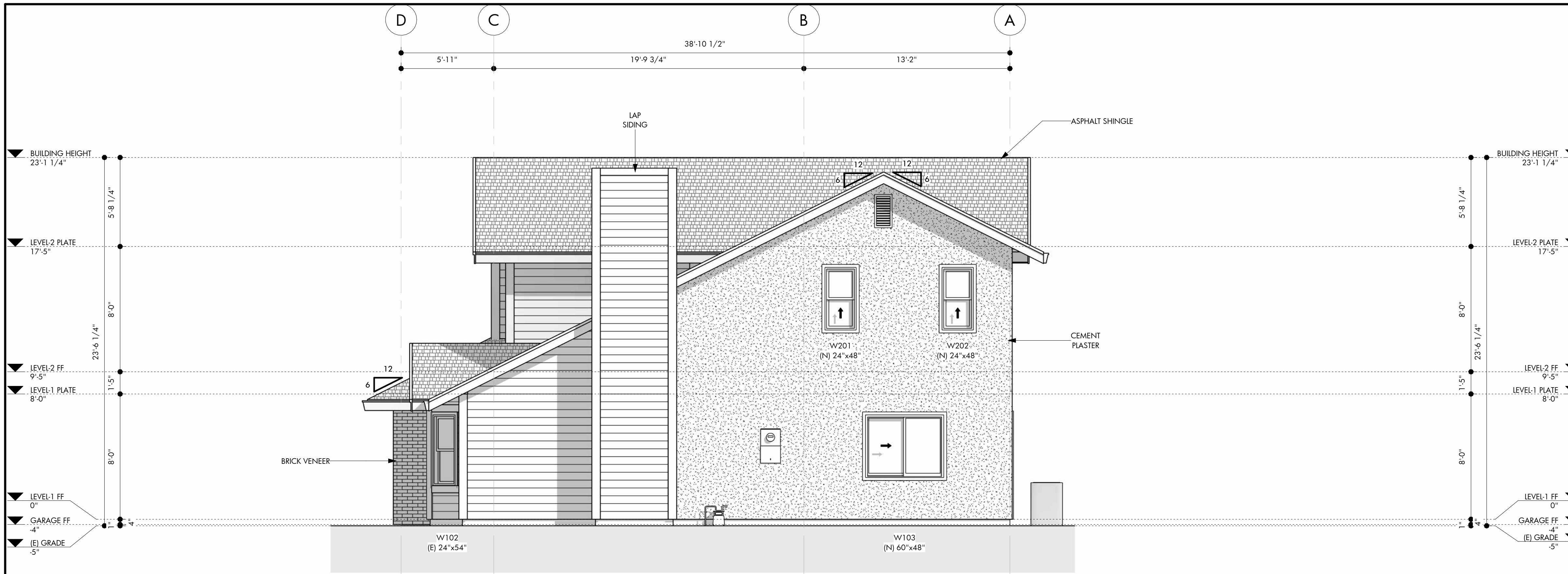
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TITLE:
EXTERIOR ELEVATIONS

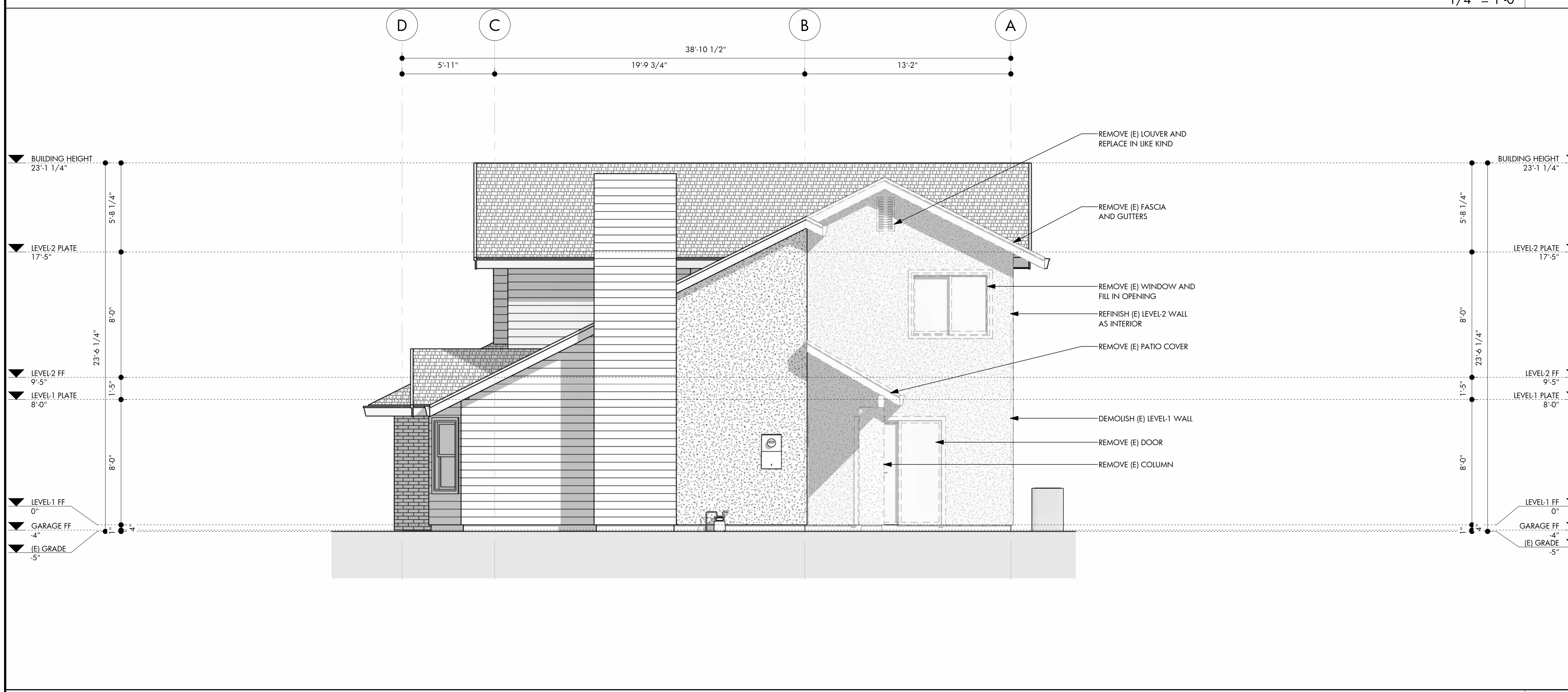
PLAN CHECK	04/03/24
CONST. DOCUMENTS	03/18/24
DESIGN DEVELOPMENT	03/08/24
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PRINT DATE/TIME: 4/4/2024 3:52:29 PM

THE CONTRACTOR SHALL VERIFY ALL JOB CONDITIONS AND DIMENSIONS BEFORE BEGINNING WORK.



(N) RIGHT ELEVATION
1/4" = 1'-0" 2



(E) RIGHT ELEVATION
1/4" = 1'-0" 1

LEGEND: ELEVATIONS	
	ASPHALT SHINGLES: MAKE/MODEL - AS S.B.O. SEE ROOF PLAN FOR ADDITIONAL INFORMATION
	EXTERIOR CEMENT PLASTER: FINISH/COLOR - MED TEXTURE/AS S.B.O. 7/8" THICK 3-COAT CEMENT PLASTER O/ CORROSION-RESISTANT LATH, 2 LAYERS OF GRADED PAPER, AND PLYWOOD SHEATHING. [CRC R703.7] SCREED LINE: MIN. 0.019" C.R. WEEP SCREED W/ A MIN. VERT. ATTACHMENT FLANGE OF 3/8" SHALL BE PROVIDED AT OR BELOW THE FOUNDATION PLATE LINE ON THE EXTERIOR STUD WALLS. SCREED SHALL BE PLACED A MIN. 4" ABOVE EARTH OR 2" ABOVE A PAVED SURFACE. [CRC R703.7.2.1]
	BRICK VENEER: MAKE/MODEL - EXISTING EXISTING BRICK VENEER TO REMAIN.
	LAP SIDING: MAKE/MODEL - EXISTING EXISTING LAP SIDING TO REMAIN.
	DOORS: MAKE/MODEL - S.B.O. CAULK ALL EXTERIOR JOINTS, TYP. FLASHING AT EXTERIOR WINDOW AND DOOR OPENINGS SHALL EXTEND TO THE SURFACE OF THE EXTERIOR WALL FINISH OR TO THE WATER-RESISTIVE BARRIER COMPLYING WITH SECTION [703.2] FOR SUBSEQUENT DRAINAGE. MECHANICALLY ATTACHED FLEXIBLE FLASHINGS SHALL COMPLY WITH AAMA 712. [R703.4] THE FENESTRATION MANUFACTURER'S INSTALLATION AND FLASHING INSTRUCTIONS, OR FOR APPLICATIONS NOT ADDRESSED IN THE FENESTRATION MANUFACTURER'S INSTRUCTIONS, IN ACCORDANCE WITH THE FLASHING MANUFACTURER'S INSTRUCTIONS. WHERE FLASHING INSTRUCTIONS OR DETAILS ARE NOT PROVIDED, PAN FLASHING SHALL BE INSTALLED AT THE SILL OF EXTERIOR WINDOW AND DOOR OPENINGS. PAN FLASHING SHALL BE SEALED OR SLOPED IN SUCH A MANNER AS TO DIRECT WATER TO THE SURFACE OF THE EXTERIOR WALL FINISH OR TO THE WATER-RESISTIVE BARRIER FOR SUBSEQUENT DRAINAGE. OPENINGS USING PAN FLASHING SHALL INCORPORATE FLASHING OR PROTECTION AT THE HEAD AND SIDES. [R703.4.1.1] AIR SEALING SHALL BE INSTALLED AROUND ALL WINDOW AND DOOR OPENINGS ON THE INTERIOR SIDE OF THE ROUGH OPENING GAP. [R703.4.1]
	WINDOWS: MAKE/MODEL - S.B.O. CAULK ALL EXTERIOR JOINTS, TYP. FLASHING AT EXTERIOR WINDOW AND DOOR OPENINGS SHALL EXTEND TO THE SURFACE OF THE EXTERIOR WALL FINISH OR TO THE WATER-RESISTIVE BARRIER COMPLYING WITH SECTION [703.2] FOR SUBSEQUENT DRAINAGE. MECHANICALLY ATTACHED FLEXIBLE FLASHINGS SHALL COMPLY WITH AAMA 712. [R703.4] THE FENESTRATION MANUFACTURER'S INSTALLATION AND FLASHING INSTRUCTIONS, OR FOR APPLICATIONS NOT ADDRESSED IN THE FENESTRATION MANUFACTURER'S INSTRUCTIONS, IN ACCORDANCE WITH THE FLASHING MANUFACTURER'S INSTRUCTIONS. WHERE FLASHING INSTRUCTIONS OR DETAILS ARE NOT PROVIDED, PAN FLASHING SHALL BE INSTALLED AT THE SILL OF EXTERIOR WINDOW AND DOOR OPENINGS. PAN FLASHING SHALL BE SEALED OR SLOPED IN SUCH A MANNER AS TO DIRECT WATER TO THE SURFACE OF THE EXTERIOR WALL FINISH OR TO THE WATER-RESISTIVE BARRIER FOR SUBSEQUENT DRAINAGE. OPENINGS USING PAN FLASHING SHALL INCORPORATE FLASHING OR PROTECTION AT THE HEAD AND SIDES. [R703.4.1.1] AIR SEALING SHALL BE INSTALLED AROUND ALL WINDOW AND DOOR OPENINGS ON THE INTERIOR SIDE OF THE ROUGH OPENING GAP. [R703.4.1]
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- GENERAL NOTES: ELEVATIONS
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 - PROVIDE MECHANICAL AND GRAVITY OUTDOOR AIR INTAKE OPENINGS PER 2022 CRC SECTION R303.5.1.



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EMAIL: KHERMES@GMAIL.COM

APN: 071-0760-050

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FOLSOM, CA 95630

STAMP:

NICHOLAS OUSHAKOFF
04/04/2024 3:57:08 PM

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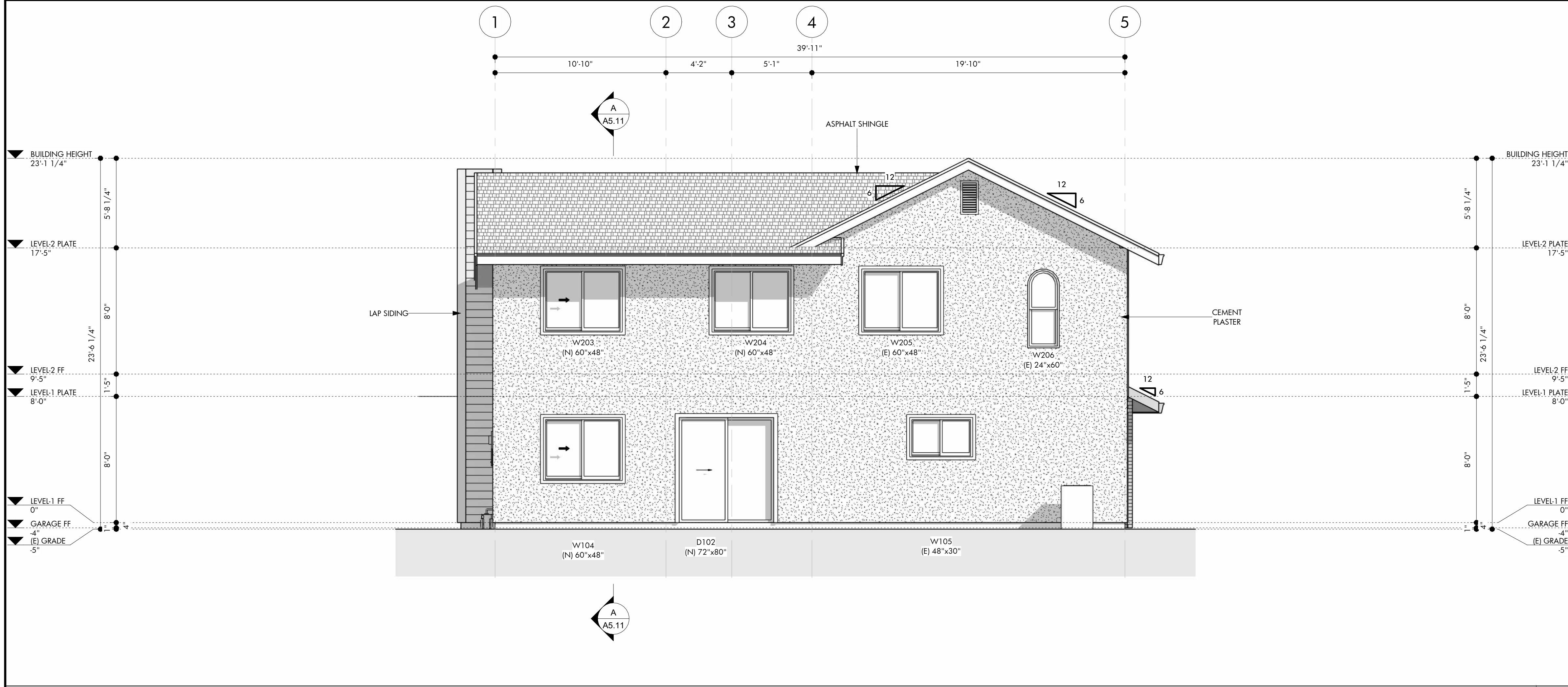
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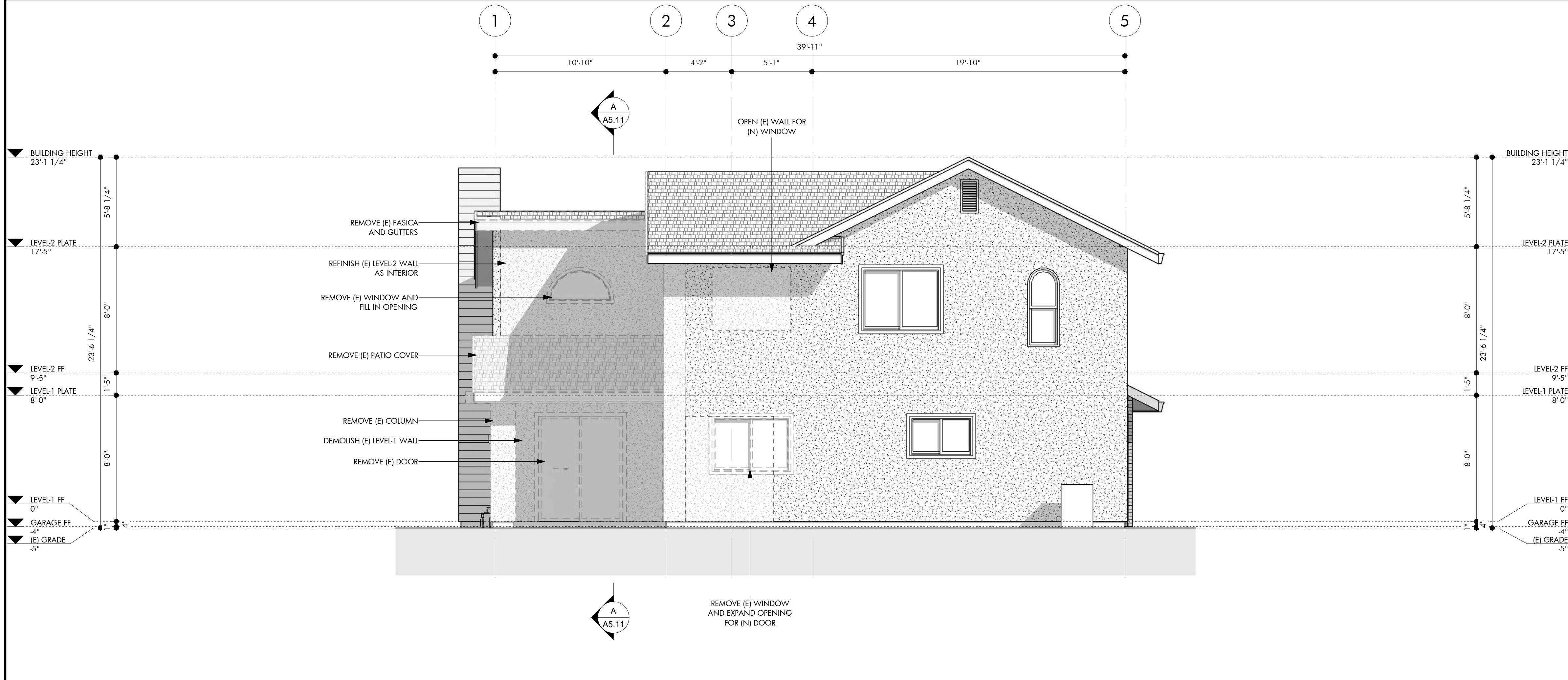
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PRINT DATE/TIME: 4/4/2024 3:52:32 PM



(N) REAR ELEVATION
1/4" = 1'-0" 2



(E) REAR ELEVATION
1/4" = 1'-0" 1

LEGEND: ELEVATIONS	
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MICHAEL AS OUSHAKOFF
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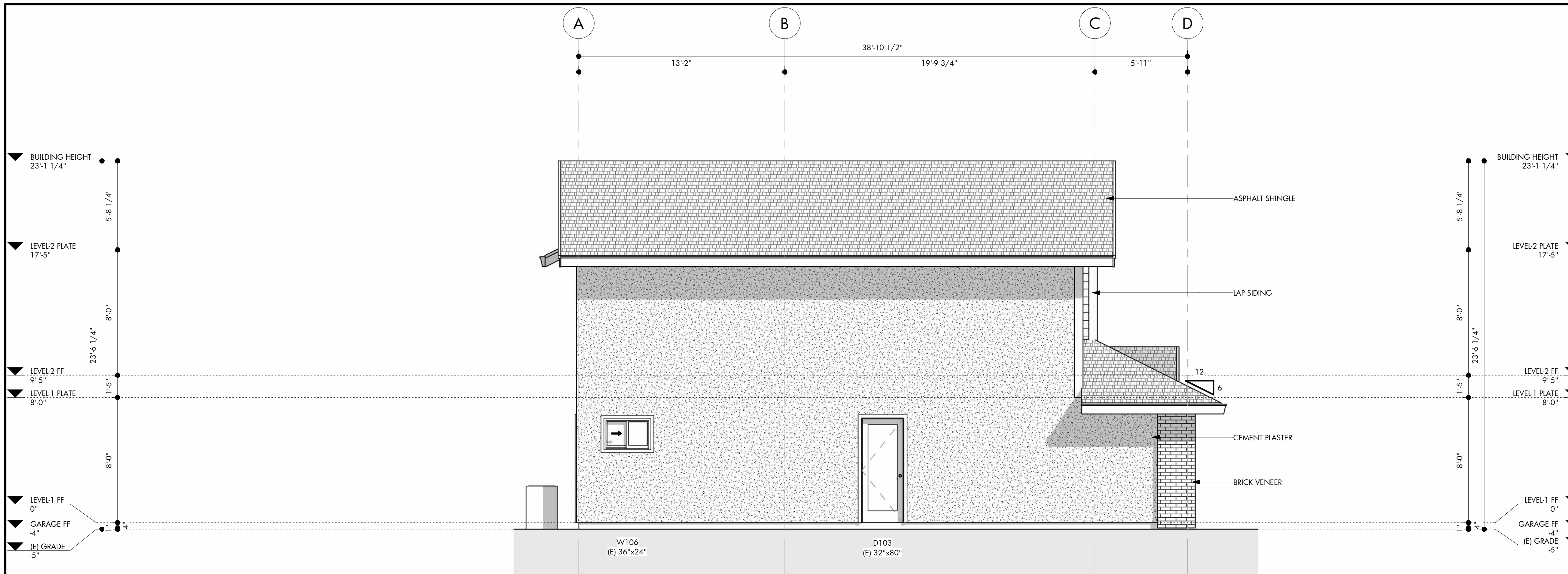
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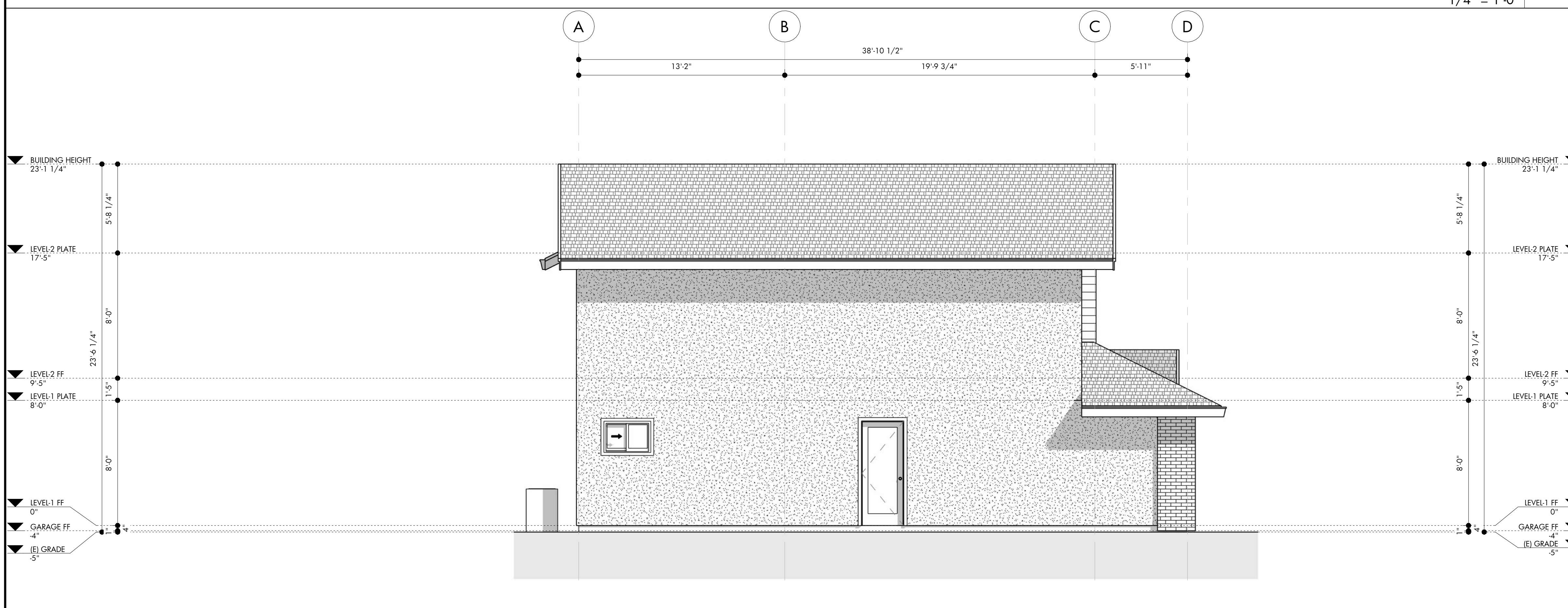
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NO CHANGE TO ELEVATION
VIEW SHOWN ONLY FOR GRAPHICAL REFERENCE

(N) LEFT ELEVATION 2
1/4" = 1'-0"



NO CHANGE TO ELEVATION
VIEW SHOWN ONLY FOR GRAPHICAL REFERENCE

(E) LEFT ELEVATION 1
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NICHOLAS OUSHAKOFF
04/04/2024 3:57:09 PM

TITLE:
EXTERIOR ELEVATIONS

PLAN CHECK 04/03/24
CONST. DOCUMENTS 03/18/24
DESIGN DEVELOPMENT 03/08/24
SCHEMATIC DESIGN
SHEET:
A6.14

LEGEND: FINISH TYPES

CEILING C1 = 2x4 SUSPENDED CEILING, SEE REFLECTED CEILING PLAN C2 = 5/8" GYP. BD (SMOOTH TEXTURE), PRIME AND PAINTED 2-COAT W/ SEMI GLOSS SBO = SELECTED BY OWNER	BASE B1 = 5" HIGH PAINTED MDF BASE, AS S.B.O. B2 = CERAMIC TILE COVERED BASE B3 = BURKE RUBBER TOPSET BASE B4 = CONT. 3/8" RADIUS COVERED SHEET VINYL BASE COVERED UP WALL 5" SBO = SELECTED BY OWNER
WALLS GB1 = 1/2" MIN GYP. BD (SMOOTH TEXTURE), PRIME & PAINTED 2-COAT W/ EGG SHELL GB2 = 1/2" MIN GYP. BD (SMOOTH TEXTURE), PRIME & PAINTED 2-COAT W/ SEMI GLOSS GB3 = 1/2" MIN GYP. BD (SMOOTH TEXTURE), PRIME & PAINTED 2-COAT W/ HIGH GLOSS CT1 = 12"x12" CERAMIC TILE UP, BEIGE W/ GRAY GROUT WD = 1/2"x4" TONGUE & GROOVE CEDAR SBO = SELECTED BY OWNER	FLOOR LVP = LUXURY VINYL PLANK - MAKE/MODEL: S.B.O. LVT = LUXURY VINYL TILE - MAKE/MODEL: S.B.O. T11 = TILE - MAKE/MODEL: S.B.O. (GROUT COLOR: S.B.O.) CP1 = CARPET - MAKE/MODEL: S.B.O. CC = CONCRETE W/ SEALANT SBO = SELECTED BY OWNER

LEGEND: HARDWARE GROUPS

GROUP SG-1 3 - HINGE 1 - SPRING HINGE 1 - ENTRY LOCK 1 - DEADBOLT 1 - DOOR STOP 1 - WEATHERSTRIP 1 - THRESHOLD 1 - DOOR VIEWER	GROUP SG-2 3 - HINGE 1 - SPRING HINGE 1 - ENTRY LOCK 1 - DEADBOLT 1 - DOOR STOP 1 - WEATHERSTRIP 1 - THRESHOLD	GROUP SG-3 3 - HINGE 1 - ENTRY LOCK 1 - DEADBOLT 1 - DOOR STOP 1 - WEATHERSTRIP 1 - THRESHOLD	GROUP SG-4 3 - HINGE 1 - PRIVACY LOCK 1 - DOOR STOP 1 - WEATHERSTRIP 3 - HINGE 1 - PASSAGE 1 - DOOR STOP	GROUP SG-6 3 - HINGE 1 - PASSAGE 1 - WEATHERSTRIP 1 - THRESHOLD	GROUP DB-1 6 - HINGE 2 - SPRING HINGE 1 - ENTRY LOCK 1 - DEADBOLT 2 - DOOR STOP 1 - WEATHERSTRIP 1 - THRESHOLD 1 - DOOR VIEWER	GROUP DB-2 6 - HINGE 2 - SPRING HINGE 1 - ENTRY LOCK 1 - DEADBOLT 2 - DOOR STOP 1 - WEATHERSTRIP 1 - THRESHOLD	GROUP DB-3 6 - HINGE 1 - ENTRY LOCK 1 - DEADBOLT 1 - DOOR STOP 1 - WEATHERSTRIP 1 - THRESHOLD	GROUP DB-4 6 - HINGE 1 - PRIVACY LOCK 1 - DOOR STOP	GROUP MFG MANUFACTURER'S SPECIFICATIONS
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GENERAL NOTES: WINDOW

- ALL WINDOWS TO BE PROPERLY WEATHERPROOFED WHEN INSTALLING, WINDOW FLASHING SHALL BE IN ACCORDANCE W/ [CRC 703.4].
- GC TO COORDINATE SUBMITTAL & FIELD VERIFY ROUGH OPENING SIZES PRIOR TO PURCHASE.
- SASHES NOTED AS EGRESS, EMERGENCY ESCAPE AND RESCUE OPENINGS, SHALL HAVE A MINIMUM NET CLEAR OPENING OF 5.7 SQUARE FEET. THE MINIMUM NET CLEAR OPENING HEIGHT DIMENSION SHALL BE 24". THE MINIMUM NET CLEAR OPENING WIDTH DIMENSION SHALL BE 20". OPENING SHALL HAVE THE FINISHED SILL HEIGHT NOT GREATER THAN 44" ABOVE FINISHED FLOOR.
- EGRESS WINDOWS SHALL BE OPERATIONAL FROM THE INSIDE OF THE ROOM WITHOUT THE USE OF KEYS, TOOLS OR SPECIAL KNOWLEDGE. WINDOW OPENING CONTROL DEVICES ON WINDOWS SERVING AS REQUIRED EMERGENCY ESCAPE AND RESCUE OPENING SHALL COMPLY WITH ASTM F2090. [CRC R310.1.1]
- CONTRACTOR TO VERIFY WINDOW FLANGE DEPTH & INSERT STYLE PRIOR TO ORDERING WINDOWS & PLACING ORDERS.



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GENERAL NOTES: ROOMS

- HABITABLE ROOMS SHALL HAVE AN AGGREGATE GLAZING AREA OF NOT LESS THAN 8% OF THE FLOOR AREA OF SUCH ROOMS. [CRC R303.1]
- WATER-RESISTANT GYPSUM BOARD SHALL NOT BE INSTALLED OVER CLASS 1 OR II VAPOR RETARDER IN A SHOWER OR TUB COMPARTMENT AND SHALL NOT BE USED WHERE THERE WILL BE DIRECT EXPOSURE TO WATER, OR IN AREAS SUBJECT TO CONTINUOUS HIGH HUMIDITY PER 2022 CRC SEC. R702.3.8 & R702.3.8.1
- ALL INTERIOR WALL/CEILING FINISHES S.B.O., U.N.O. ON FLOOR PLAN SHEET.

GENERAL NOTES: DOORS

- ALL EXTERIOR DOORS TO BE PROPERLY WEATHERPROOFED WHEN INSTALLING, DOOR FLASHING SHALL BE IN ACCORDANCE WITH [CRC 703.4].
- GC TO COORDINATE SUBMITTAL & FIELD VERIFY ROUGH OPENING SIZES PRIOR TO PURCHASE.
- FIXED AND SLIDING PANELS OF SLIDING DOOR ASSEMBLIES AND PANELS IN SWINGING DOORS OTHER THAN WARDROBE DOORS SHALL CONTAIN A SAFETY GLAZING PER CBC 2406.4
- ALL EXTERIOR DOORS SHALL HAVE A FIRE-RESISTANCE RATING OF NOT LESS THAN 20 MINUTES, HAVE AN EXTERIOR SURFACE OF NON-COMBUSTIBLE OR IGNITION RESISTANT CLADDING, BE SOLID CORE WOOD COMPLYING WITH STILES AND RAILS NOT LESS THAN 1 3/8 INCHES THICK, BE TESTED TO ASTM E2707, OR BE TESTED TO SFM STANDARD 12-7A-1. [R337.8.3]

GENERAL NOTES: GLAZING

- GLAZING IN THE FOLLOWING LOCATIONS SHALL BE SAFETY GLAZING MATERIAL IN ACCORDANCE WITH CALIFORNIA BUILDING CODE SECTION 2406.4:
 - FIXED AND SLIDING PANELS OF SLIDING DOOR ASSEMBLIES AND PANELS IN SWINGING DOORS OTHER THAN WARDROBE DOORS.
 - FIXED OR OPERABLE PANELS ADJACENT TO A DOOR WHERE THE NEAREST EXPOSED EDGE OF THE GLAZING IS WITHIN A 24" ARC OF EITHER THE VERTICAL EDGE OF THE DOOR IN A CLOSED POSITION AND WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60" ABOVE THE WALKING SURFACE.
 - INDIVIDUAL OR FIXED PANELS, OTHER THAN THOSE LOCATIONS DESCRIBED ABOVE THAT MEET ALL OF THE FOLLOWING CONDITIONS:
 - EXPOSED AREA OF AN INDIVIDUAL PANE IS GREATER THAN 9 FT²
 - EXPOSED BOTTOMS EDGE IS LESS THAN 18" ABOVE THE FLOOR
 - EXPOSED TOP EDGE IS GREATER THAN 36" ABOVE FLOOR, &
 - ONE OF MORE WALKING SURFACES ARE WITHIN 36" HORIZONTAL OF THE PLACE OF THE GLAZING
- ALL EXTERIOR WINDOWS MUST HAVE THE EXTERIOR PANE TEMPERED, HAVE NOT LESS THAN A 20-MINUTE FIRE-RESISTANCE RATING, OR BE TESTED TO SFM STANDARD 12-7A-2. [R337.8.2.1]

ROOM SCHEDULE

MARK	NAME	AREA	CEILING FINISH	WALL FINISH	BASE FINISH	FLOOR FINISH	LEVEL	COMMENTS
100	LIVING	365 SF	(E)	(E)	(E)	SBO	LEVEL-1 FF	(E)
101	DINING	318 SF	SBO	SBO	SBO	SBO	LEVEL-1 FF	(N)
102	KITCHEN	138 SF	SBO	SBO	SBO	SBO	LEVEL-1 FF	(E)
103	POWDER RM	29 SF	SBO	SBO	SBO	SBO	LEVEL-1 FF	(E)
104	LAUNDRY	36 SF	SBO	SBO	SBO	SBO	LEVEL-1 FF	(E)
105	GARAGE	491 SF	(E)	(E)	(E)	(E)	LEVEL-1 FF	(E)
200	HALL	73 SF	(E)	(E)	(E)	SBO	LEVEL-2 FF	(E)
201	BED 1	134 SF	SBO	SBO	SBO	SBO	LEVEL-2 FF	(N)
202	BED 2	103 SF	(E)	(E)	(E)	SBO	LEVEL-2 FF	(E)
203	BED 3	97 SF	(E)	(E)	(E)	(E)	LEVEL-2 FF	(E)
204	BATH	40 SF	(E)	(E)	(E)	(E)	LEVEL-2 FF	(E)
205	P.BATH	60 SF	(E)	(E)	(E)	(E)	LEVEL-2 FF	(E)
206	P.BED	247 SF	(E)	(E)	(E)	(E)	LEVEL-2 FF	(E)
207	P.W.I.C.	52 SF	(E)	(E)	(E)	(E)	LEVEL-2 FF	(E)

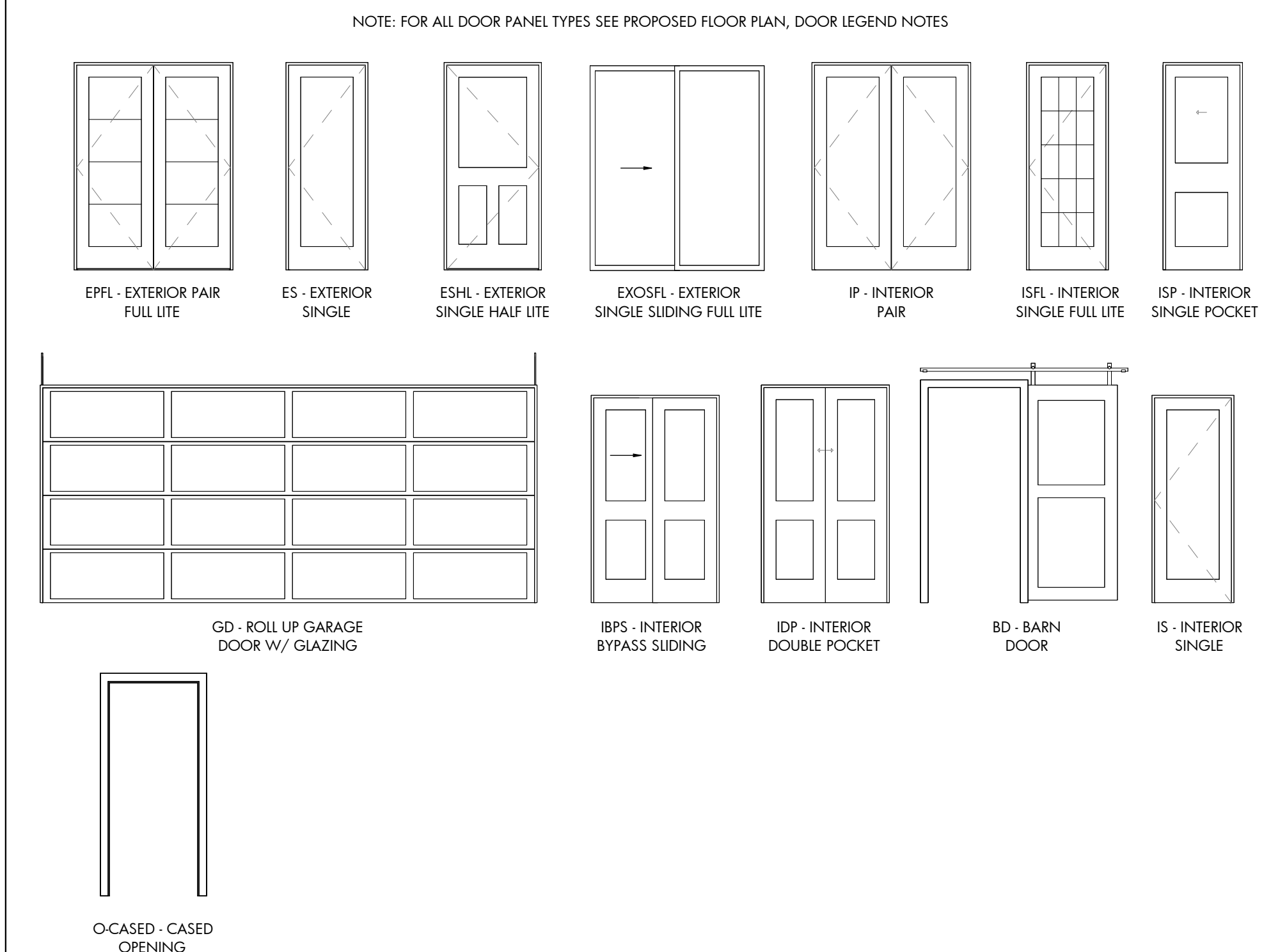
DOOR SCHEDULE

MARK	TYPE	WIDTH	HEIGHT	LEVEL	ROOM #	EXTR WALL FINISH (SEE A8 FOR DETAILS)	COMMENTS
100	GD	16'-0"	7'-0"	GARAGE FF	105:	-	(E)
101	ES	3'-0"	6'-8"	LEVEL-1 FF	100	-	(E)
102	EXOSFL	6'-0"	6'-8"	LEVEL-1 FF	101	-	(N)
103	ES	2'-8"	6'-8"	LEVEL-1 FF	105	-	(E)
104	IS	2'-4"	6'-8"	LEVEL-1 FF	101	-	(N)
105	IS	2'-4"	6'-8"	LEVEL-1 FF	102	-	(E)
106	ISP	2'-6"	6'-8"	LEVEL-1 FF	104-102	-	(E)
107	IS	2'-6"	6'-8"	LEVEL-1 FF	104-103	-	(E)
108	IS	2'-6"	6'-8"	LEVEL-1 FF	105-104	-	(E)
LEVEL-1 FF							
200	IS	2'-0"	6'-8"	LEVEL-2 FF	200	-	(E)
201	IS	2'-4"	6'-8"	LEVEL-2 FF	200	-	(N)
202	IBPS	5'-0"	6'-8"	LEVEL-2 FF	201:	-	(N)
203	IBPS	5'-0"	6'-8"	LEVEL-2 FF	202	-	(E)
204	IS	2'-6"	6'-8"	LEVEL-2 FF	200-202	-	(E)
205	IS	2'-6"	6'-8"	LEVEL-2 FF	200-203	-	(E)
206	IBPS	5'-0"	6'-8"	LEVEL-2 FF	203	-	(E)
207	IS	2'-4"	6'-8"	LEVEL-2 FF	200-204	-	(E)
208	IS	2'-6"	6'-8"	LEVEL-2 FF	206-205	-	(E)
209	IBPS	5'-0"	6'-8"	LEVEL-2 FF	206-207	-	(E)
210	IS	2'-6"	6'-8"	LEVEL-2 FF	200-206	-	(E)
LEVEL-2 FF							

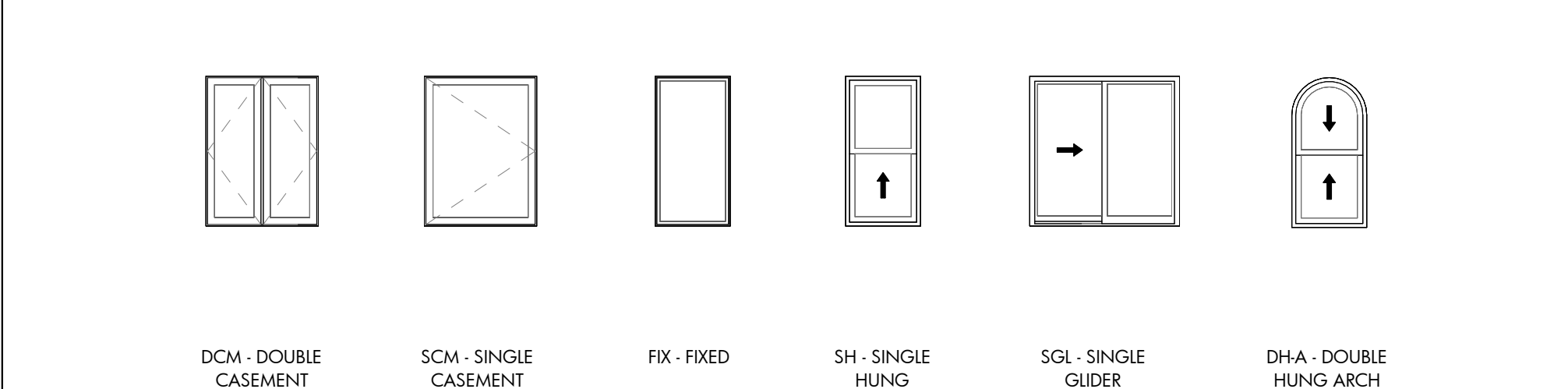
WINDOW SCHEDULE

MARK	TYPE	WIDTH	HEIGHT	HEAD HEIGHT	LEVEL	ROOM #	EXTR WALL FINISH (SEE A8 FOR DETAILS)	COMMENTS
100	SH	2'-0"	4'-6"	6'-8"	LEVEL-1 FF	100:	-	(E)
101	FX	6'-0"	4'-6"	6'-8"	LEVEL-1 FF	100:	-	(E)
102	SH	2'-0"	4'-6"	6'-8"	LEVEL-1 FF	100	-	(E)
103	SGL	5'-0"	4'-0"	6'-8"	LEVEL-1 FF	101:	-	(N)
104	SGL	5'-0"	4'-0"	6'-8"	LEVEL-1 FF	101:	-	(N)
105	SGL	4'-0"	2'-6"	6'-8"	LEVEL-1 FF	102	-	(E)
106	SGL	3'-0"	2'-0"	6'-8"	LEVEL-1 FF	103:	-	(E)
LEVEL-1 FF								
200	SGL	6'-0"	4'-0"	6'-8"	LEVEL-2 FF	206:	-	(E)
201	SH	2'-0"	4'-0"	6'-8"	LEVEL-2 FF	201:	-	(N)
202	SH	2'-0"	4'-0"	6'-8"	LEVEL-2 FF	201:	-	(N)
203	SGL	5'-0"	4'-0"	6'-8"	LEVEL-2 FF	201:	-	(N)
204	SGL	5'-0"	4'-0"	6'-8"	LEVEL-2 FF	202	-	(N)
205	SGL	5'-0"	4'-0"	6'-8"	LEVEL-2 FF	203	-	(E)
206	DHA	2'-0"	5'-0"	6'-8"	LEVEL-2 FF	205:	-	(E)
LEVEL-2 FF								

DOOR TYPES



WINDOW TYPES



OWNER INFO:

NAME: MICHAEL & KIMBERLY HERMES
 ADDRESS: 142 CASSELMAN STREET, FOLSOM, CA 95630
 TEL: XX
 EMAIL: KHERMES@GMAIL.COM

APN: 071-0760-050

ADDITION FOR:
HERMES RESIDENCE
 142 CASSELMAN STREET,
 FOLSOM, CA 95630

STAMP:

MICHAEL AS OUSHAKOFF
 04/04/2024 3:57:09 PM

TITLE:

SCHEDULES

PLAN CHECK 04/03/24
 CONST. DOCUMENTS 03/18/24
 DESIGN DEVELOPMENT 03/08/24
 SCHEMATIC DESIGN

SHEET:

A7.11



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STAMP:

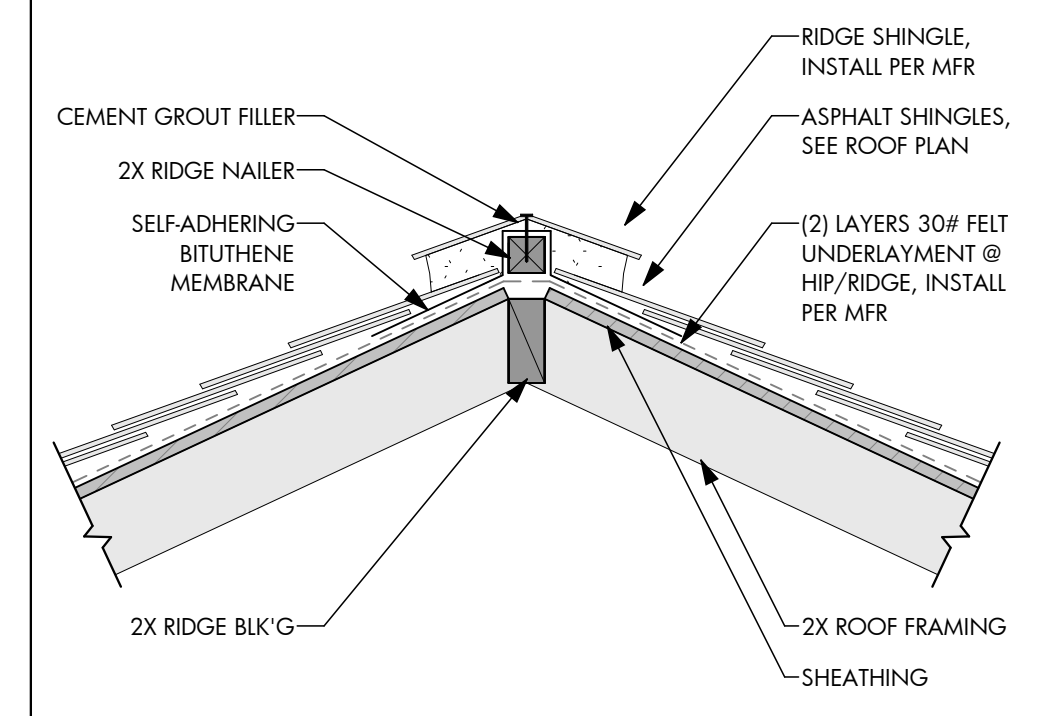
MICHAEL OUSAKHAROFF
 04/04/2024 3:57:09 PM

TITLE:
 TYPICAL DETAILS

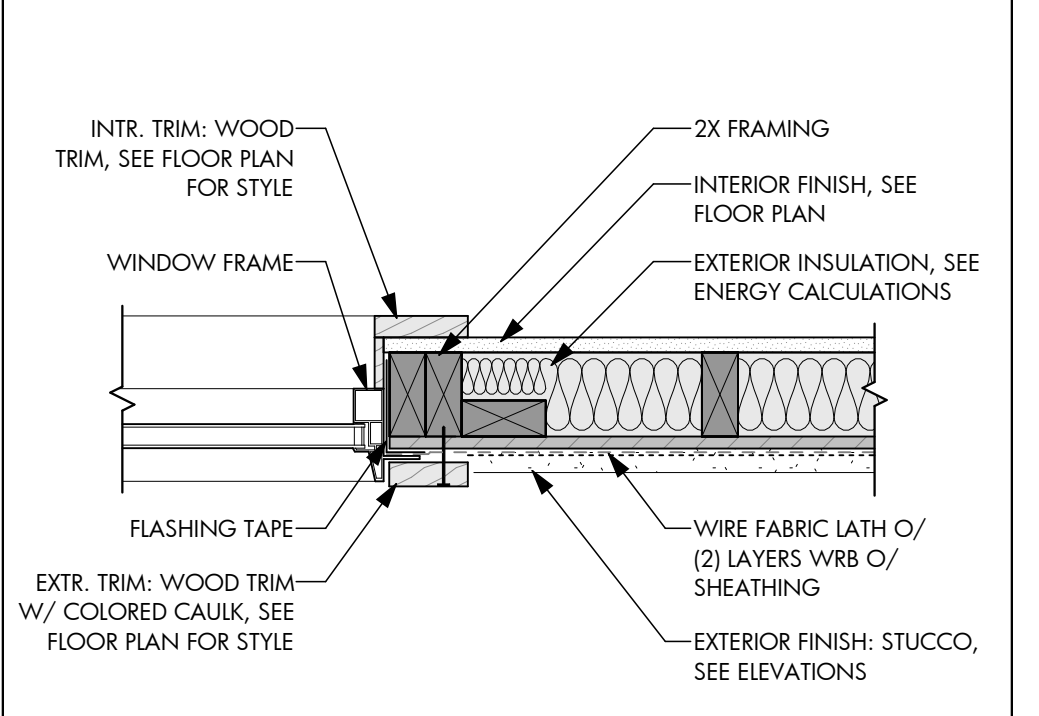
PLAN CHECK 04/03/24
 CONST. DOCUMENTS 03/18/24
 DESIGN DEVELOPMENT 03/08/24
 SCHEMATIC DESIGN

SHEET:

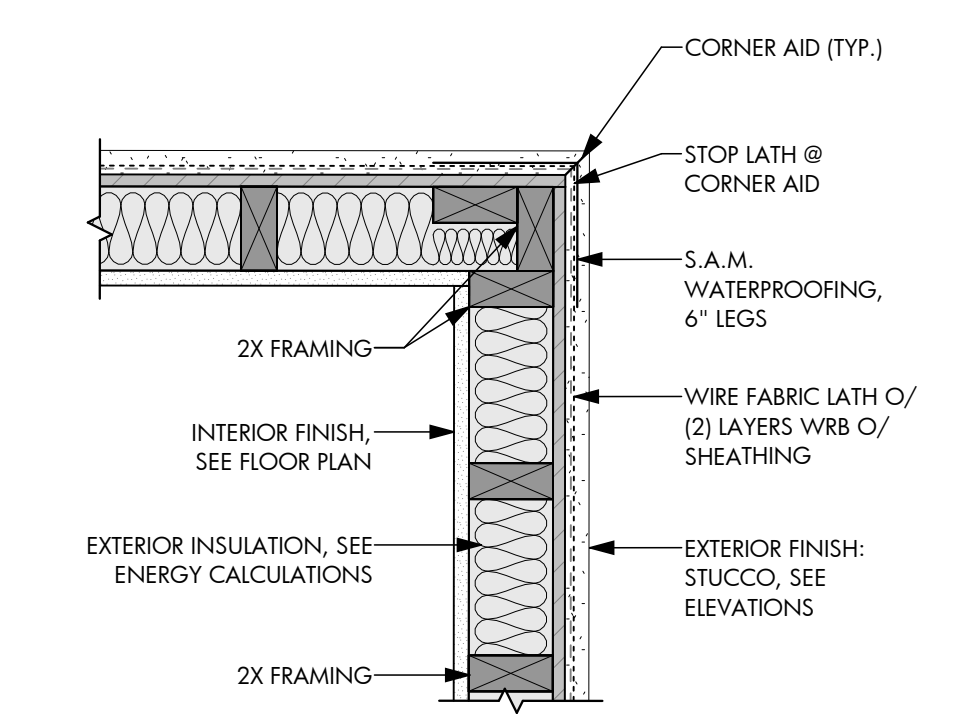
A8.11



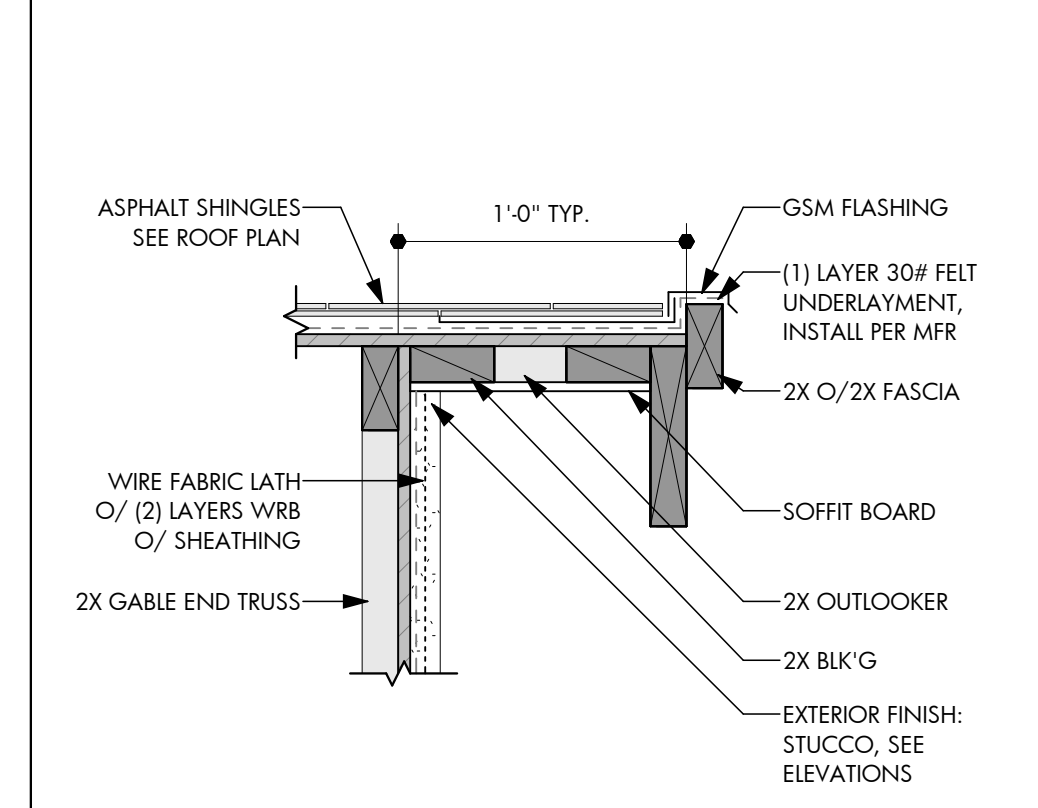
A - ROOF - RIDGE & HIP
 1 1/2" = 1'-0" 12



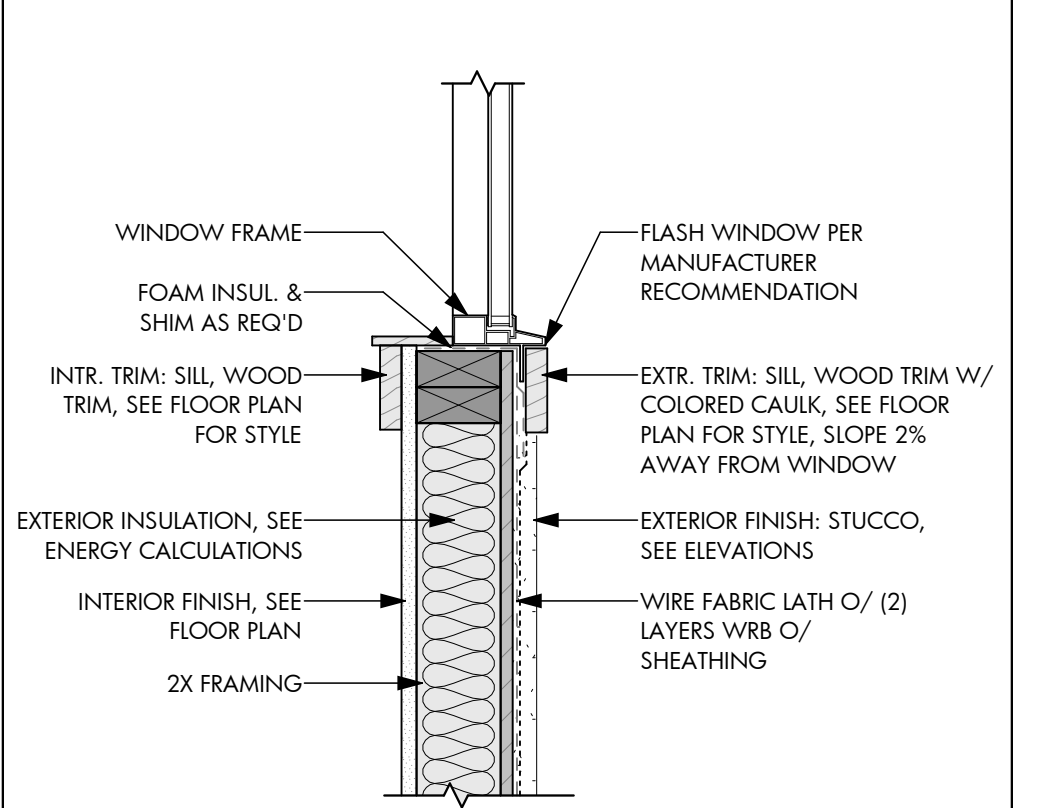
EXT - STUCCO @ WINDOW JAMB
 1 1/2" = 1'-0" 8



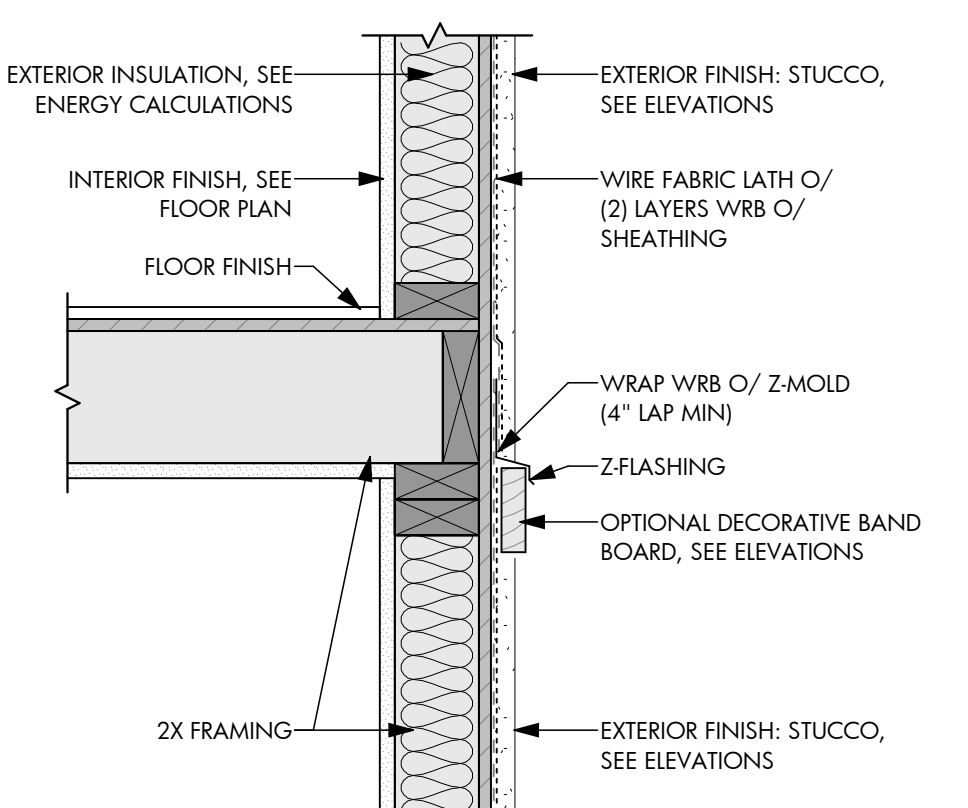
EXT - STUCCO @ OUTSIDE CORNER
 1 1/2" = 1'-0" 4



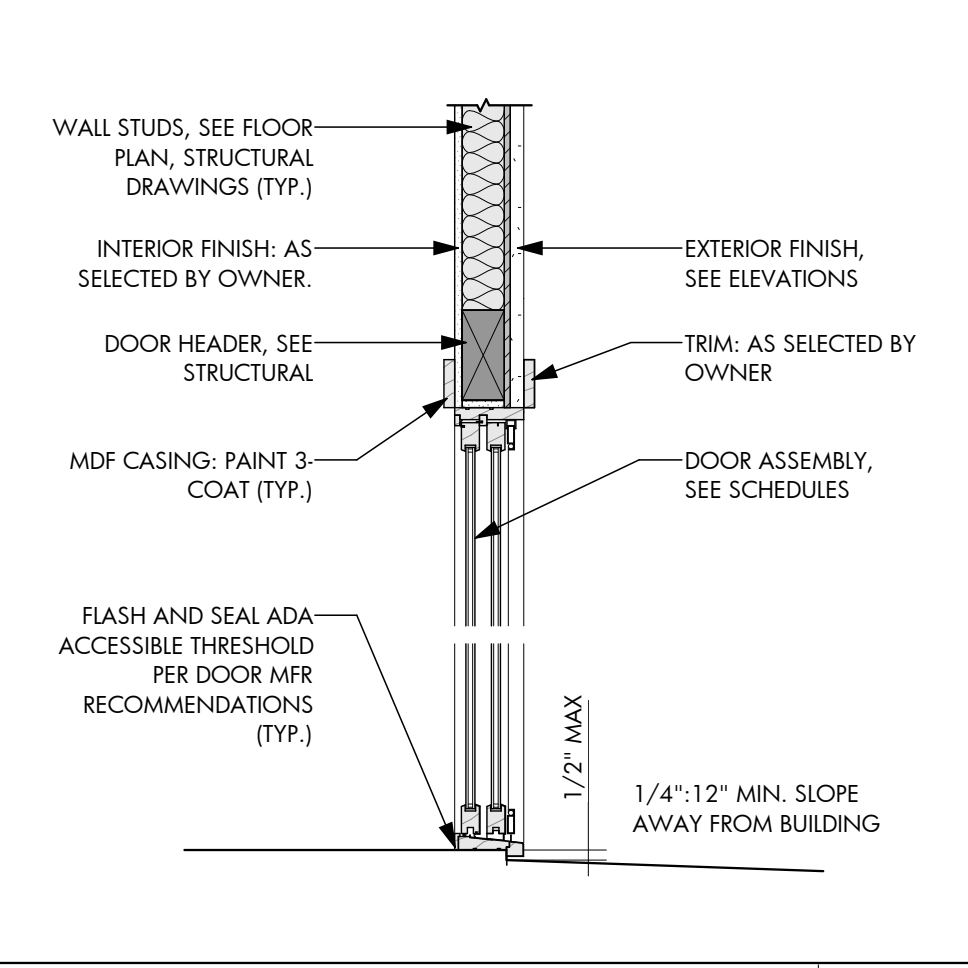
EXT - STUCCO @ RAKE
 1 1/2" = 1'-0" 11



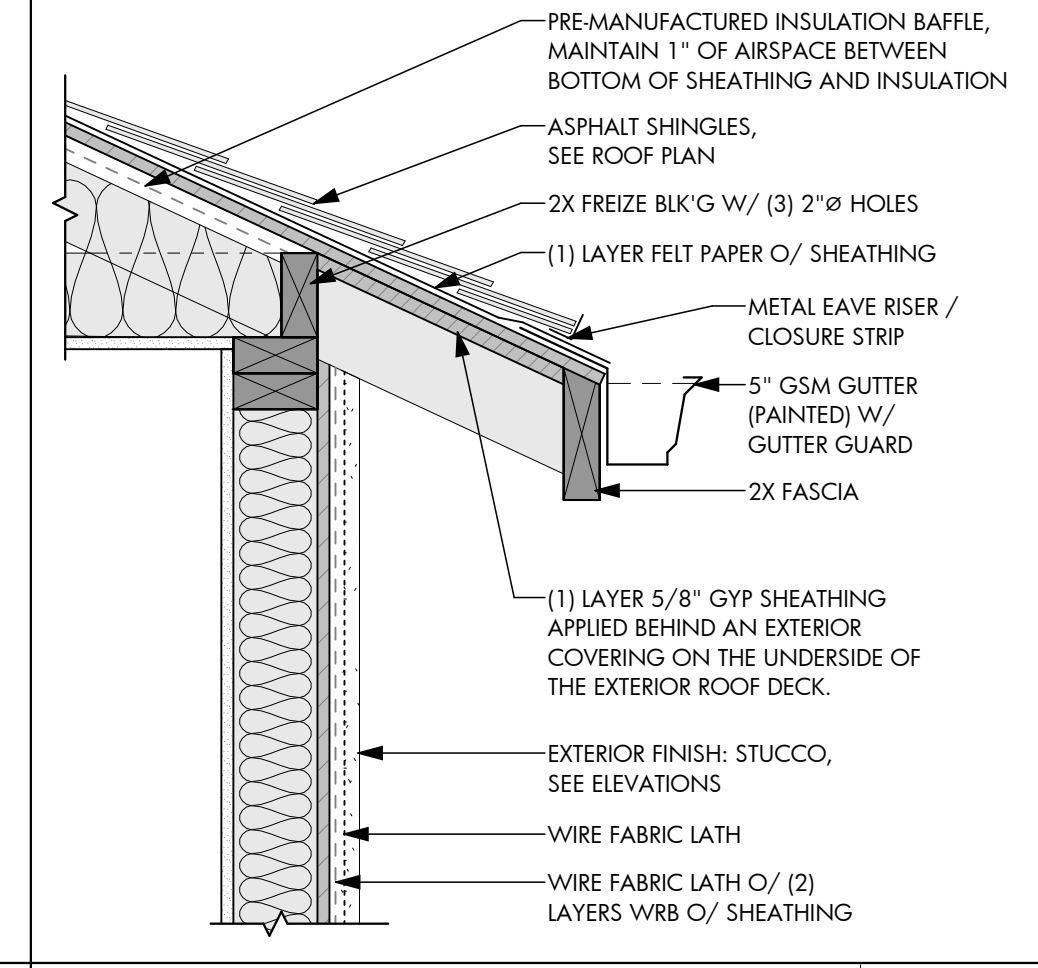
EXT - STUCCO @ WINDOW SILL
 1 1/2" = 1'-0" 7



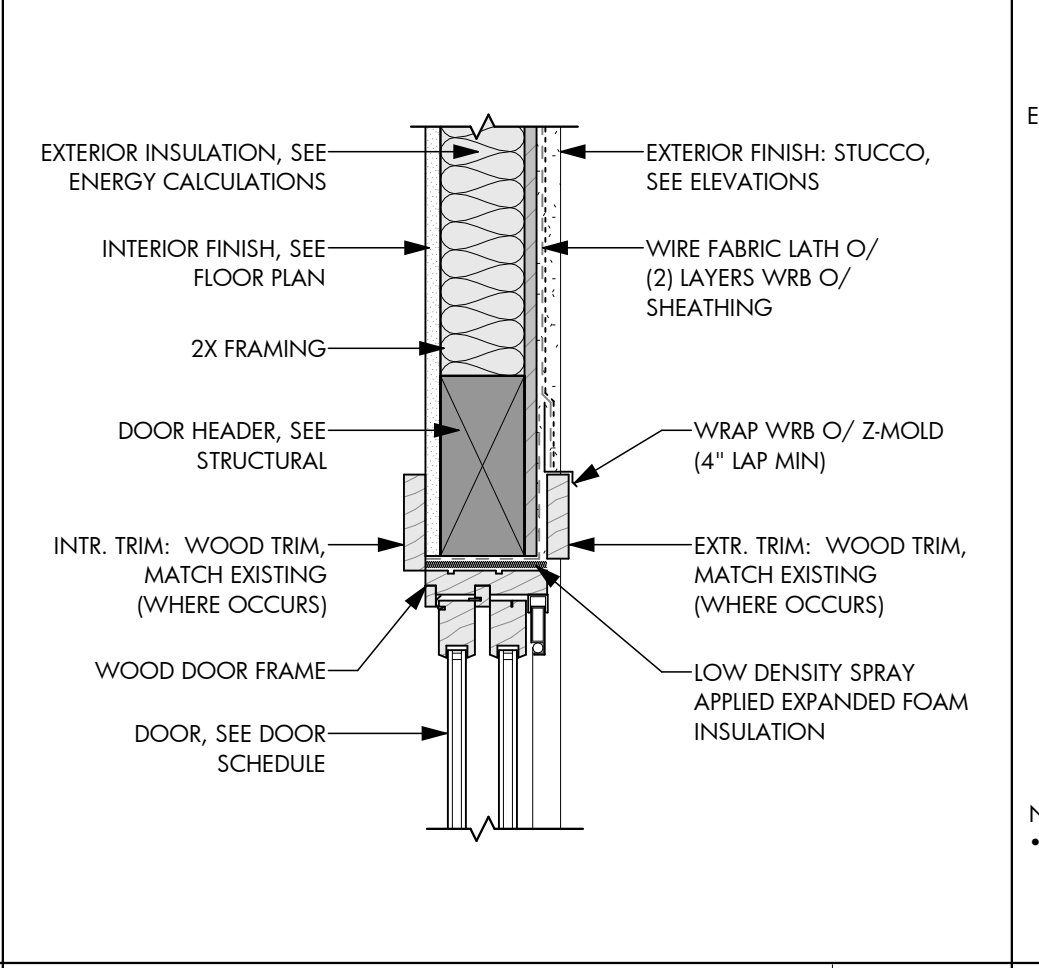
EXT - STUCCO @ HORIZ. VIEW
 1 1/2" = 1'-0" 3



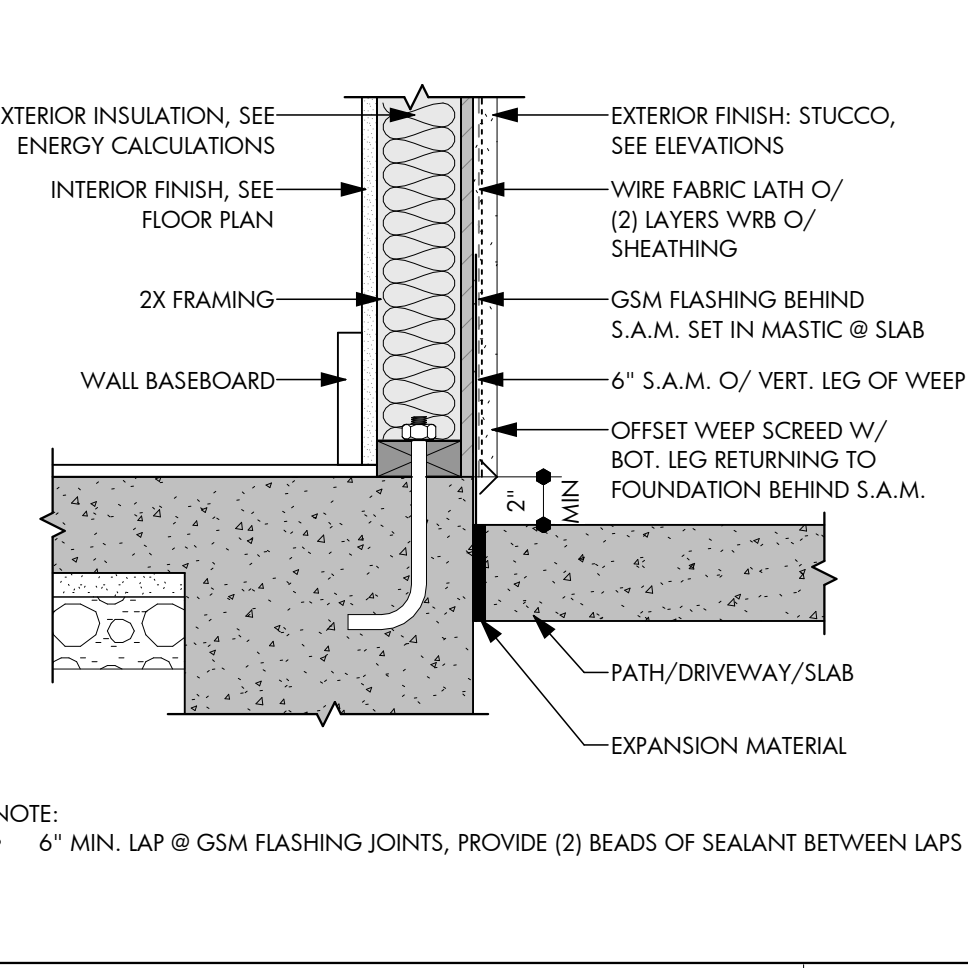
A - DOOR - EXT SLIDER
 3/4" = 1'-0" 14



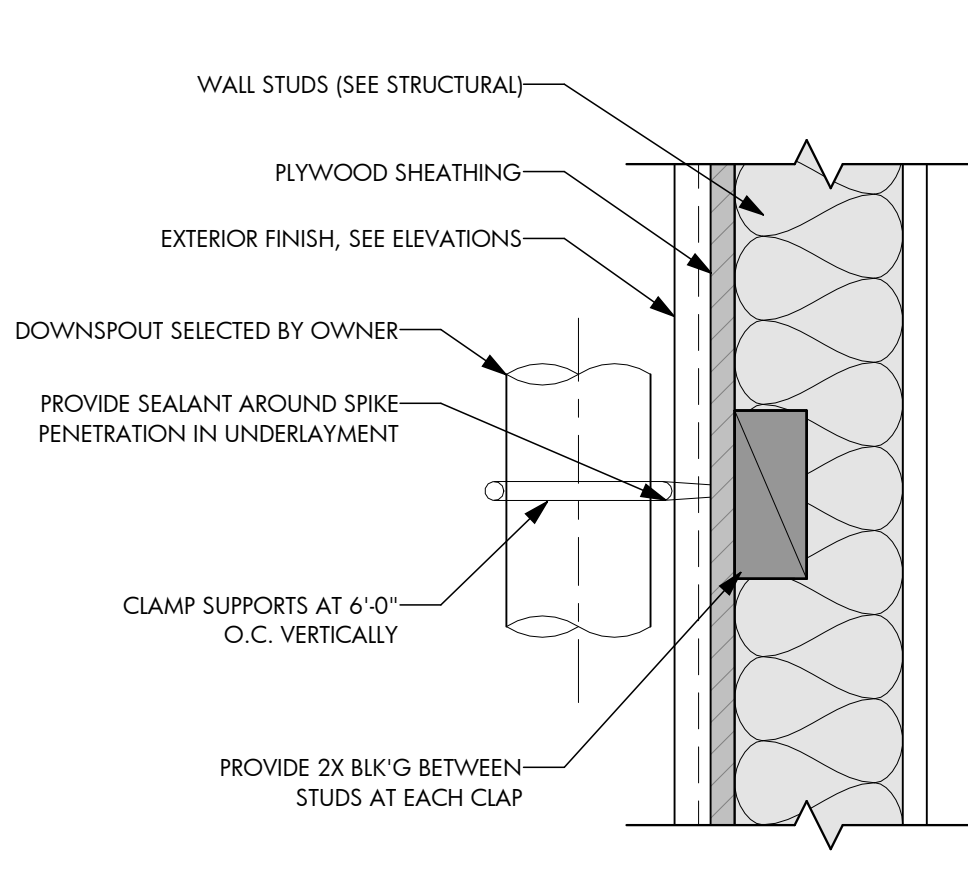
EXT - STUCCO @ EAVE W/ FASCIA
 1 1/2" = 1'-0" 10



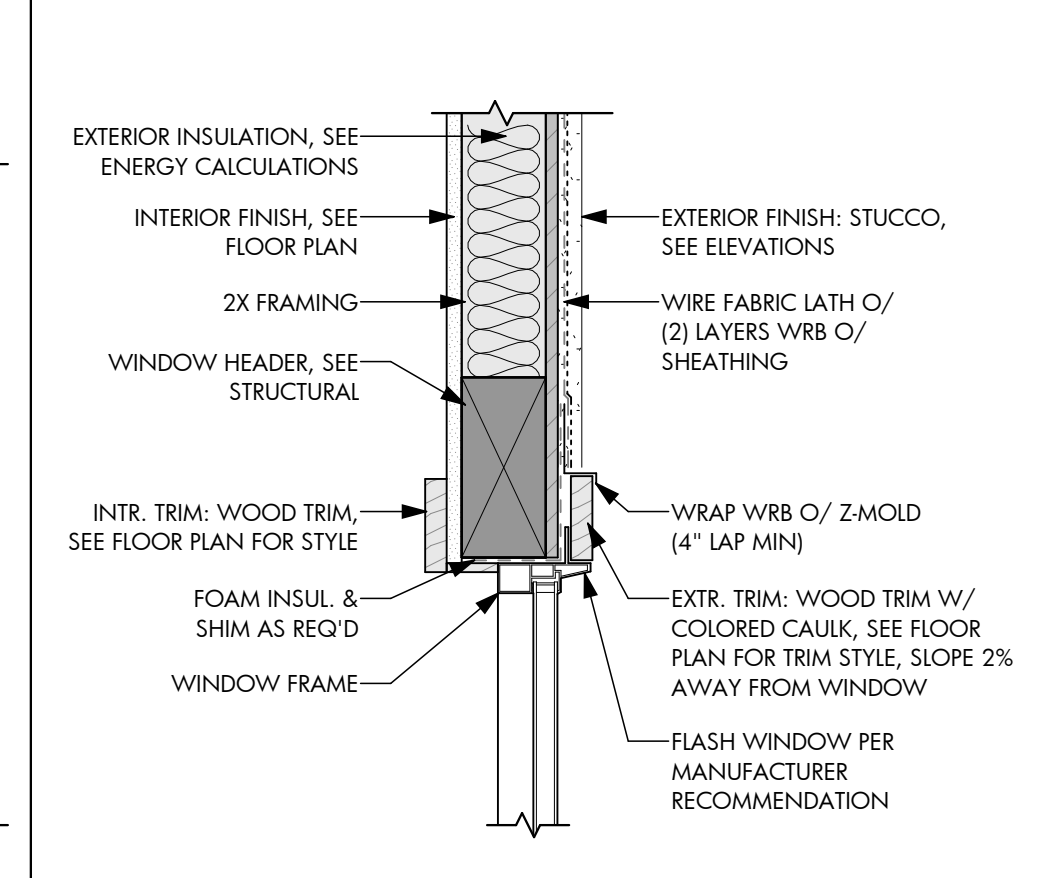
EXT - STUCCO @ DOOR HEAD1
 1 1/2" = 1'-0" 6



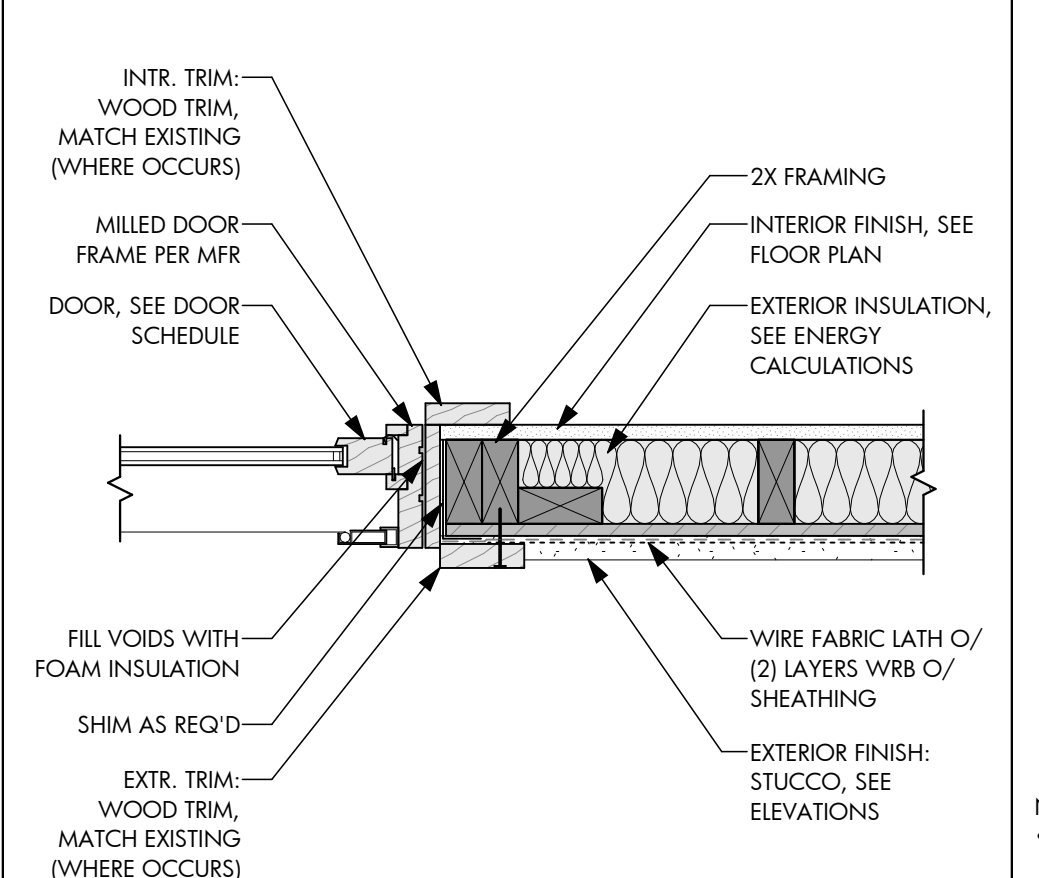
EXT - STUCCO @ HARDSCAPE
 1 1/2" = 1'-0" 2



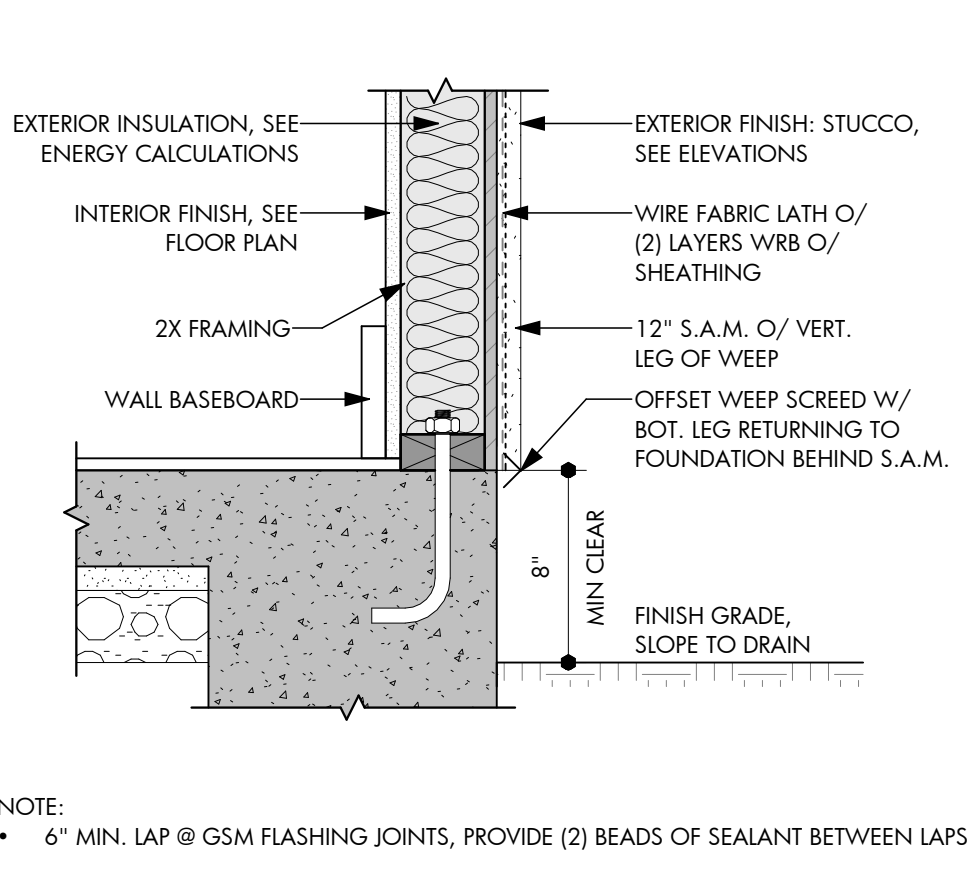
A - DOWNSPOUT MOUNTING
 3" = 1'-0" 13



EXT - STUCCO @ WINDOW HEAD
 1 1/2" = 1'-0" 9

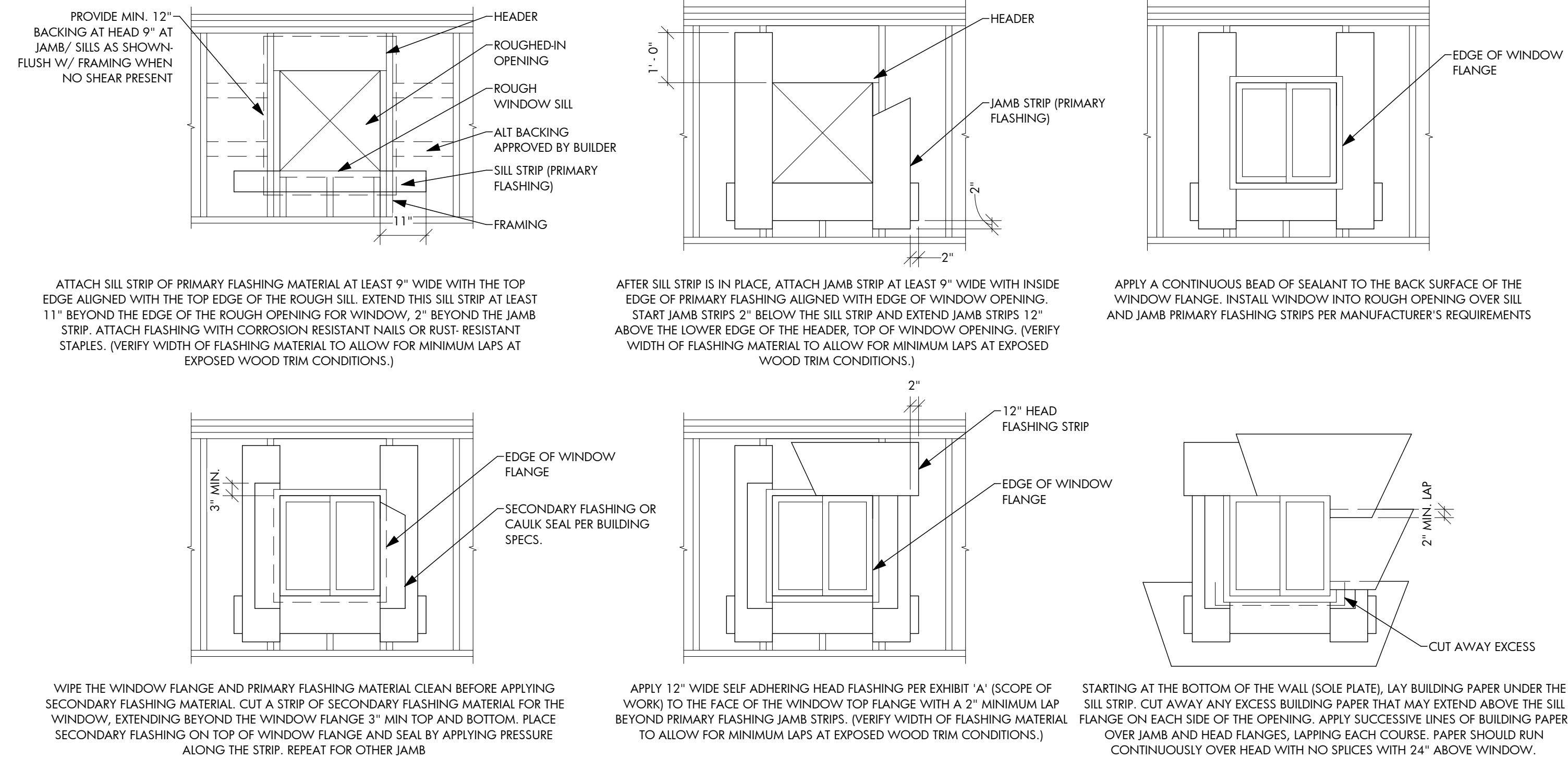


EXT - STUCCO @ DOOR JAMB1
 1 1/2" = 1'-0" 5



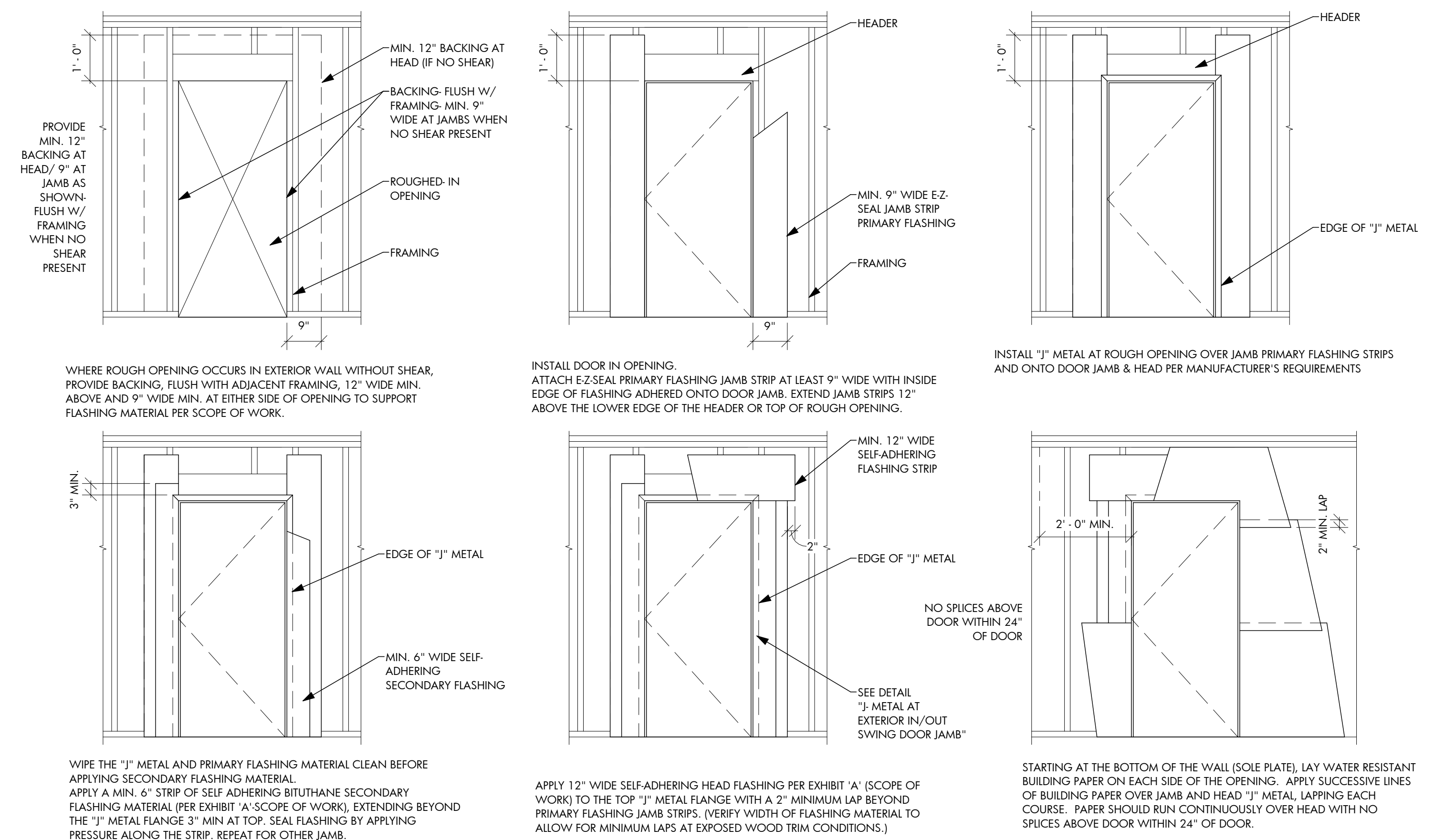
EXT - STUCCO @ GRADE
 1 1/2" = 1'-0" 1

WINDOW FLASHING

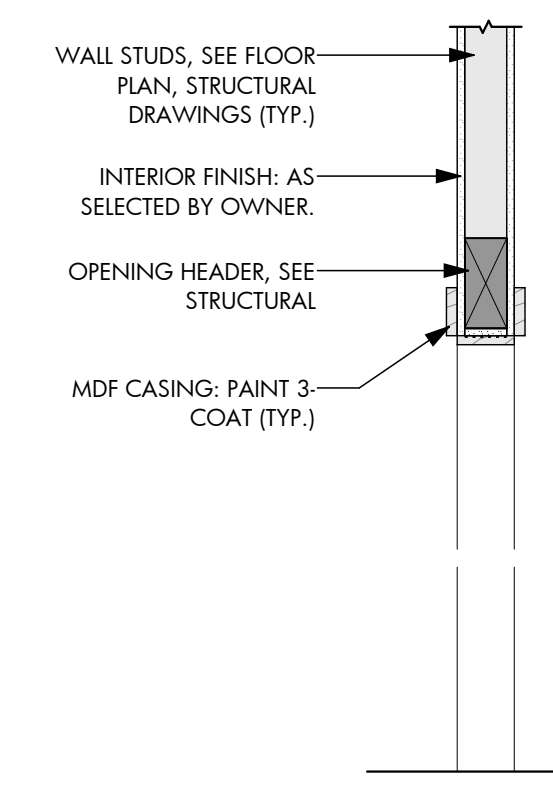


NOTE: SOLID BACKING OR SHEATHING IS REQUIRED BEHIND ALL FLASHING. FLASHING PRODUCT AND SEALANT PER EXHIBIT 'A' (SCOPE OF WORK).
 NOTES: SECTION 1402.2 UNIFORM BUILDING CODE CALLS FOR FLASHING OF ALL EXTERIOR OPENINGS EXPOSED TO WEATHER TO MAKE THEM WEATHERPROOF. THIS IS OUR RECOMMENDED PROCEDURE FOR STANDARD FLASHING AT OPENINGS IN WOOD FRAMING EXTERIOR WALLS WHERE THE EXTERIOR WALL FINISH IS APPLIED OVER BUILDING PAPER OR FELT. CAULK BACK OF WINDOW FRAMES BEFORE SETTING. USE WINDOWS THAT ARE WATERTIGHT. THE WIDTH OF FLASHING MATERIAL SHALL PROVIDE A MINIMUM LAP OF 6" AT VERTICAL AND 2" AT HORIZONTAL JOINTS AND OVERLAPS WITH OTHER WEATHER RESISTANT MATERIALS. LINE WIRE, WHEN USED AS BACKING TO SUPPORT BUILDING PAPER BENEATH WIRE LATH FOR STUCCO, SHOULD BE INSTALLED ACCORDING TO INDUSTRY STANDARDS AND PRACTICE. NO ATTACHMENT DEVICE NOR THE WIRE BACKING SHOULD COVER OR PENETRATE FLASHING MATERIAL. PERIPHERAL FLASHING AT ALL EDGES OF WALL OPENING MUST COVER THE WIRE BACKING.

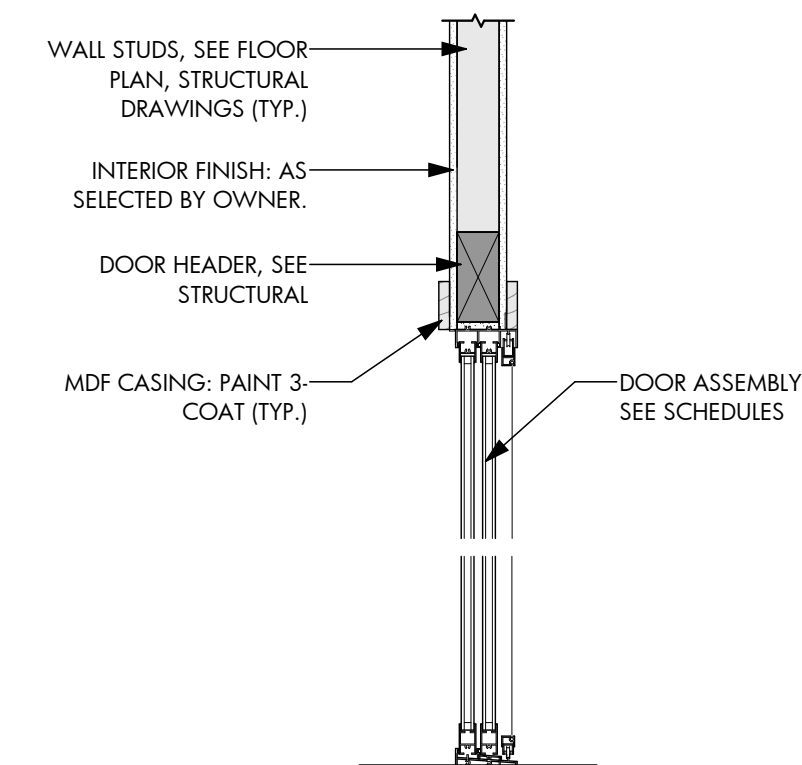
DOOR FLASHING



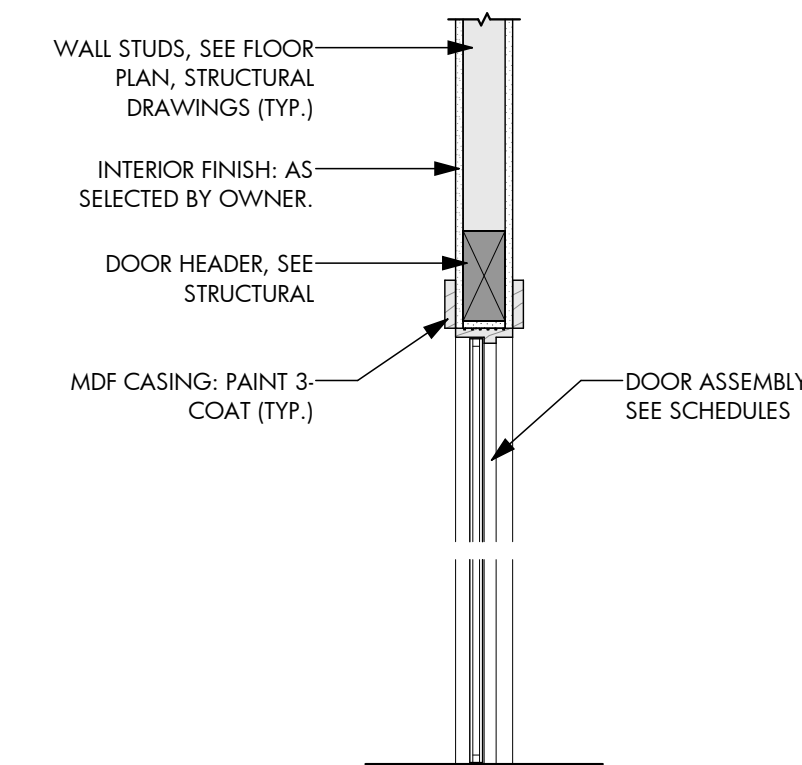
NOTE: SOLID BACKING OR SHEATHING IS REQUIRED BEHIND ALL FLASHING. FLASHING PRODUCTS AND SEALANTS TO BE PER EXHIBIT 'A' (SCOPE OF WORK). CURRENT RESIDENTIAL BUILDING CODES CALL FOR FLASHING OF ALL EXTERIOR OPENINGS EXPOSED TO WEATHER TO MAKE THEM WEATHERPROOF. THIS IS OUR RECOMMENDED PROCEDURE FOR STANDARD FLASHING AT OPENINGS IN WOOD FRAMED EXTERIOR WALLS WHERE THE EXTERIOR WALL FINISH IS APPLIED OVER BUILDING PAPER. THE WIDTH OF FLASHING MATERIAL SHALL PROVIDE FOR A MINIMUM LAP OF 6" AT VERTICAL AND 2" AT HORIZONTAL JOINTS AND OVERLAPS WITH OTHER WEATHER RESISTANT MATERIALS. LINE WIRE, WHEN USED AS BACKING TO SUPPORT BUILDING PAPER BENEATH WIRE LATH, SHOULD BE INSTALLED ACCORDING TO INDUSTRY STANDARDS. NO PORTION OF THE WIRE BACKING OR ANY ATTACHMENT DEVICE SHOULD COVER OR PENETRATE ANY FLASHING MATERIAL. PERIPHERAL FLASHING AT ALL EDGES OF WALL OPENINGS MUST COVER THE WIRE BACKING.



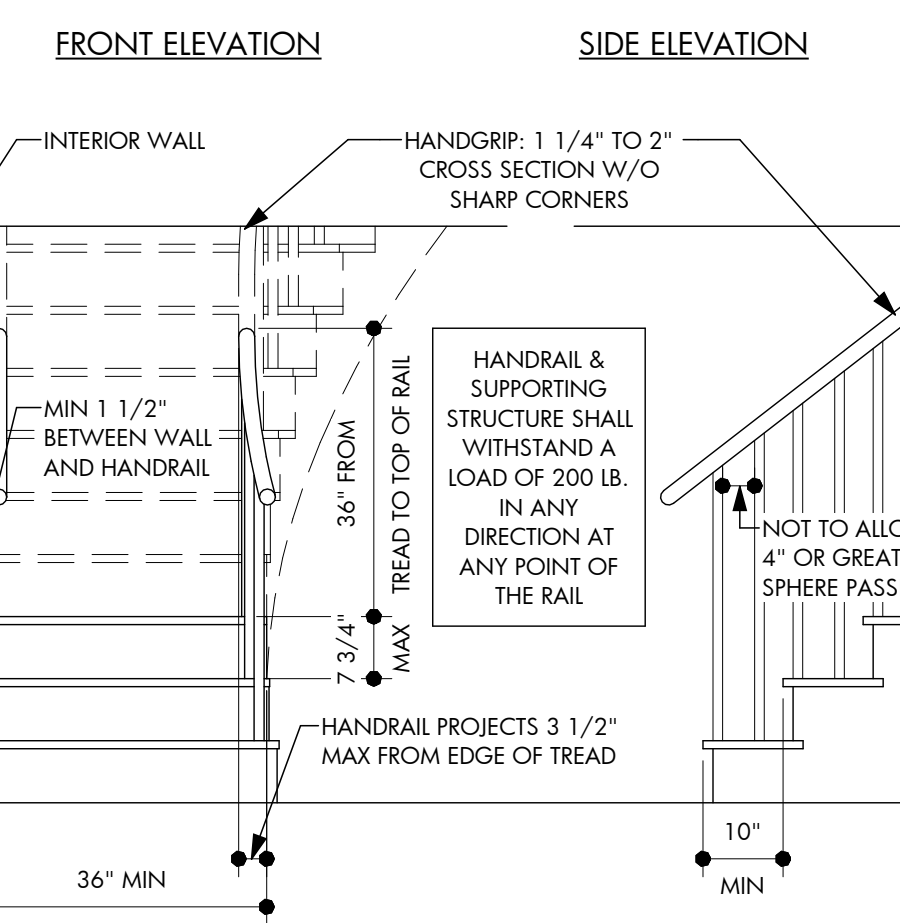
A - DOOR - INT OPENING
 3/4" = 1'-0" 4



A - DOOR - INT BYPASS
 3/4" = 1'-0" 3



A - DOOR - INT
 3/4" = 1'-0" 2



A - STAIR
 1/2" = 1'-0" 1



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APN: 071-0760-050

ADDITION FOR:
HERMES RESIDENCE
 142 CASSELMAN STREET,
 FOLSOM, CA 95630

STAMP:

MICHAEL OUSHAKOFF
 04/04/2024 3:55:25 PM

TITLE:
 TYPICAL DETAILS

PLAN CHECK 04/03/24
 CONST. DOCUMENTS 03/18/24
 SCHEMATIC DESIGN 03/08/24

SHEET:
A8.12

CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD

Project Name: Hermes Ex Plus Add Calculation Date/Time: 2024-04-02T20:21:59-07:00 (Page 7 of 13)

Calculation Description: Title 24 Analysis Input File Name: Hermes Ex Plus Add 142 Casselman St Folsom.ribd22x

01	02	03	04	05	06	07	08	09	10	11	12	13	14	15	16
Name	Type	Surface	Orientation	Azimuth	Width (ft)	Height (ft)	Mult.	Area (ft²)	U-factor	U-factor Source	SHGC	SHGC Source	Exterior Shading	Status	Verified Existing Condition
R1 W206	Window	Right Wall 4	Right	180			1	8	0.4	NFRC	0.35	NFRC	Bug Screen	New	NA
R2 W205	Window	Right Wall 4	Right	180			1	8	0.4	NFRC	0.35	NFRC	Bug Screen	New	NA

01	02	03	04	05	06
Name	Side of Building	Area (ft²)	U-factor	Status	Verified Existing Condition
Door	Front Wall	20	0.5	Existing	No
Door 2	Walls To Garage	17	0.5	Existing	No
Car Door	GarageFront	112	1	Existing	No

01	02	03	04	05	06	07	08	09	10
Name	Zone	Area (ft²)	Perimeter (ft)	Edge Insul. R-value and Depth	Edge Insul. R-value and Depth	Carpeted Fraction	Heated	Status	Verified Existing Condition
Slab-on-Grade	Ex 1st Flr	840	80	none	0	80%	No	Existing	No
Slab-on-Grade 2	1st Flr Add	71	12	none	0	80%	No	New	n/a
Slab-on-Grade 3	1st Flr Add	72	12	none	0	80%	No	New	n/a
Slab-on-Grade 4	__Garage__	532	53	none	0	0%	No	Existing	No

Registration Number: CA Building Energy Efficiency Standards - 2022 Residential Compliance
 Report Version: 2022.0.000
 Schema Version: rev 20220901
 Registration Date/Time: 2024-04-02 20:22:26
 Report Generated: 2024-04-02 20:22:26
 HERS Provider:

CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD

Project Name: Hermes Ex Plus Add Calculation Date/Time: 2024-04-02T20:21:59-07:00 (Page 10 of 13)

Calculation Description: Title 24 Analysis Input File Name: Hermes Ex Plus Add 142 Casselman St Folsom.ribd22x

01	02	03	04	05	06	07	08	09	10	11	12	13	14	15
Name	Heating Element Type	Tank Type	# of Units	Tank Vol. (gal)	Heating Efficiency Type	Efficiency	Rated Input Type	Input Rating or Pilot	Tank Insulation R-value (Int/Ext)	Standby Loss or Recovery Eff	1st Hr. Rating or Flow Rate	Tank Location	Status	Verified Existing Condition
DHW Heater 1	Gas	Small Storage	1	50	EF	0.6	Btu/Hr	75000	0	76	n/a		Existing	No

01	02	03	04	05	06	07
Name	Pipe Insulation	Parallel Piping	Compact Distribution	Compact Distribution Type	Recirculation Control	Shower Drain Water Heat Recovery
DHW Sys 1 - 1/1	Not Required	Not Required	Not Required	None	Not Required	Not Required

01	02	03	04	05	06	07	08	09	10	11	12
Name	System Type	Heating Unit Name	Heating Equipment Count	Cooling Unit Name	Cooling Equipment Count	Fan Name	Distribution Name	Required Thermostat Type	Status	Verified Existing Condition	Existing HVAC System
Res HVAC1	Heating and cooling system other	Heating Component 1	1	Cooling Component 1	1	HVAC Fan 1	Air Distribution System 1	n/a	Existing	No	

01	02	03	04	05
Name	System Type	Number of Units	Heating Efficiency	Heating Unit Brand
Heating Component 1	Central gas furnace	1	AFUE - 80	n/a

Registration Number: CA Building Energy Efficiency Standards - 2022 Residential Compliance
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CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD

Project Name: Hermes Ex Plus Add Calculation Date/Time: 2024-04-02T20:21:59-07:00 (Page 8 of 13)

Calculation Description: Title 24 Analysis Input File Name: Hermes Ex Plus Add 142 Casselman St Folsom.ribd22x

01	02	03	04	05	06	07	08
Construction Name	Surface Type	Construction Type	Framing	Total Cavity R-value	Interior / Exterior Continuous R-value	U-factor	Assembly Layers
Garage Exterior Wall	Exterior Walls	Wood Framed Wall	2x4 @ 16 in. O. C.	R-0	None / None	0.357	Inside Finish: Gypsum Board Cavity / Frame: no insul. / 2x4 Exterior Finish: All Other Siding
Existing Walls	Exterior Walls	Wood Framed Wall	2x4 @ 16 in. O. C.	R-0	None / None	0.357	Inside Finish: Gypsum Board Cavity / Frame: no insul. / 2x4 Exterior Finish: All Other Siding
Addition Wall	Exterior Walls	Wood Framed Wall	2x4 @ 16 in. O. C.	R-15	None / None	0.095	Inside Finish: Gypsum Board Cavity / Frame: R-15 / 2x4 Exterior Finish: All Other Siding
Interior Wall to Gar or A	Interior Walls	Wood Framed Wall	2x4 @ 16 in. O. C.	R-0	None / None	0.277	Inside Finish: Gypsum Board Cavity / Frame: no insul. / 2x4 Other Side Finish: Gypsum Board
Attic Garage Roof Cons	Attic Roofs	Wood Framed Ceiling	2x4 @ 24 in. O. C.	R-0	None / 0	0.644	Roofing: Light Roof (Asphalt Shingle) Roof Deck: Wood Siding/sheathing/decking Cavity / Frame: no insul. / 2x4
Attic RoofEx 1st Flr	Attic Roofs	Wood Framed Ceiling	2x4 @ 24 in. O. C.	R-0	None / 0	0.644	Roofing: Light Roof (Asphalt Shingle) Roof Deck: Wood Siding/sheathing/decking Cavity / Frame: no insul. / 2x4
Attic RoofEx 2nd Flr	Attic Roofs	Wood Framed Ceiling	2x4 @ 24 in. O. C.	R-0	None / 0	0.644	Roofing: Light Roof (Asphalt Shingle) Roof Deck: Wood Siding/sheathing/decking Cavity / Frame: no insul. / 2x4
Attic Roof2nd Flr Add	Attic Roofs	Wood Framed Ceiling	2x4 @ 24 in. O. C.	R-0	None / 0	0.644	Roofing: Light Roof (Asphalt Shingle) Roof Deck: Wood Siding/sheathing/decking Cavity / Frame: no insul. / 2x4

Registration Number: CA Building Energy Efficiency Standards - 2022 Residential Compliance
 Report Version: 2022.0.000
 Schema Version: rev 20220901
 Registration Date/Time: 2024-04-02 20:22:26
 Report Generated: 2024-04-02 20:22:26
 HERS Provider:

CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD

Project Name: Hermes Ex Plus Add Calculation Date/Time: 2024-04-02T20:21:59-07:00 (Page 11 of 13)

Calculation Description: Title 24 Analysis Input File Name: Hermes Ex Plus Add 142 Casselman St Folsom.ribd22x

01	02	03	04	05	06	07	08	09
Name	System Type	Number of Units	Efficiency Metric	Efficiency EER/EER2/CEER	Efficiency SEER/SEER2	Zonally Controlled	Multi-speed Compressor	HERS Verification
Cooling Component 1	Central split AC	1	EER/SEER	12.2	14	Not Zonal	Single Speed	Cooling Component 1-hers-cool

01	02	03	04	05	06	07	08	09	10	11	12	13	14	15	16	
Name	Type	Design Type	Duct Ins. R-value	Suppl y	Retur n	Duct Location	Surface Area	Suppl y	Retur n	Bypass Duct	Duct Leakage	HERS Verification	Status	Verified Existing Condition	Existing Distribution system	New Ducts >= 25 ft
Air Distribution System 1	Unconditioned attic	Non-Verified	R-8	R-8	Attic	Attic	n/a	n/a	n/a	No Bypass Duct	Existing (not specified)	Air Distribution System 1-hers-dist	Existing + New	No		No

01	02	03	04
Name	Type	Fan Power (Watts/CFM)	Name
HVAC Fan 1	HVAC Fan	0.58	HVAC Fan 1-hers-fan

01	02	03
Name	Verified Fan Watt Draw	Required Fan Efficacy (Watts/CFM)
HVAC Fan 1-hers-fan	Not Required	0

Registration Number: CA Building Energy Efficiency Standards - 2022 Residential Compliance
 Report Version: 2022.0.000
 Schema Version: rev 20220901
 Registration Date/Time: 2024-04-02 20:22:26
 Report Generated: 2024-04-02 20:22:26
 HERS Provider:

CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD

Project Name: Hermes Ex Plus Add Calculation Date/Time: 2024-04-02T20:21:59-07:00 (Page 9 of 13)

Calculation Description: Title 24 Analysis Input File Name: Hermes Ex Plus Add 142 Casselman St Folsom.ribd22x

01	02	03	04	05	06	07	08
Construction Name	Surface Type	Construction Type	Framing	Total Cavity R-value	Interior / Exterior Continuous R-value	U-factor	Assembly Layers
Garage Roof	Ceilings (below attic)	Wood Framed Ceiling	2x4 @ 24 in. O. C.	R-0	None / None	0.481	Cavity / Frame: no insul. / 2x4 Inside Finish: Gypsum Board
Existing Attic	Ceilings (below attic)	Wood Framed Ceiling	2x4 @ 24 in. O. C.	R-19	None / None	0.049	Over Ceiling Joists: R-9.9 insul. Cavity / Frame: R-9.1 / 2x4 Inside Finish: Gypsum Board
Addition Attic	Ceilings (below attic)	Wood Framed Ceiling	2x4 @ 16 in. O. C.	R-22	None / None	0.043	Over Ceiling Joists: R-12.9 insul. Cavity / Frame: R-9.1 / 2x4 Inside Finish: Gypsum Board
Interior Flr o Lwr	Interior Floors	Wood Framed Floor	2x12 @ 16 in. O. C.	R-0	None / None	0.196	Floor Surface: Carpeted Floor Deck: Wood Siding/sheathing/decking Cavity / Frame: no insul. / 2x12 Ceiling Below Finish: Gypsum Board

01	02	03	04	05
Quality Insulation Installation (QII)	High R-value Spray Foam Insulation	Building Envelope Air Leakage	CFM50	CFM50
Not Required	Not Required	N/A	n/a	n/a

01	02	03	04	05	06	07	08	09	10	11	12
Name	System Type	Distribution Type	Water Heater Name	Number of Units	Solar Heating System	Compact Distribution	HERS Verification	Water Heater Name (#)	Status	Verified Existing Condition	Existing Water Heating System
DHW Sys 1	Domestic Hot Water (DHW)	Standard	DHW Heater 1	1	n/a	None	n/a	DHW Heater 1 (1)	Existing	No	

Registration Number: CA Building Energy Efficiency Standards - 2022 Residential Compliance
 Report Version: 2022.0.000
 Schema Version: rev 20220901
 Registration Date/Time: 2024-04-02 20:22:26
 Report Generated: 2024-04-02 20:22:26
 HERS Provider:

CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD

Project Name: Hermes Ex Plus Add Calculation Date/Time: 2024-04-02T20:21:59-07:00 (Page 12 of 13)

Calculation Description: Title 24 Analysis Input File Name: Hermes Ex Plus Add 142 Casselman St Folsom.ribd22x

If it is determined by a licensed HVAC contractor that the existing system is not sized to allow for this additional living space, a new HVAC system will be required. The installing HVAC contractor will prepare a CF-1R for the HVAC change-out and follow Title 24 Part 6 Prescriptive Measures.

This compliance report models the existing HVAC and/or Hot Water Heater system using 2022 mandatory energy efficiency ratings per Appendix B Energy Standards Table 150.1-A Component Package A so as not to take a penalty for the HVAC and/or Hot Water Heater equipment in the compliance calculation. See Energy Use Summary Area of CF-1R that shows no credit or detriment to the energy budget. This is also supported by the Residential ACM Manual on pages 75 & 76. Call the CEC at 916-654-5106 for more information.

Registration Number: CA Building Energy Efficiency Standards - 2022 Residential Compliance
 Report Version: 2022.0.000
 Schema Version: rev 20220901
 Registration Date/Time: 2024-04-02 20:22:26
 Report Generated: 2024-04-02 20:22:26
 HERS Provider:

compuCalc@title24energyreports.com
 title24energyreports.com
 (530) 268-8722

CompuCalc
 Title 24 Compliance
 Jeff Travis
 Certified Energy Analyst

2022 Title 24 Part 6
 Energy Code

Sheet:
 T24-2



2022 Single-Family Residential Mandatory Requirements Summary

NOTE: Single-family residential buildings subject to the Energy Codes must comply with all applicable mandatory measures, regardless of the compliance approach used. Review the respective section for more information. (04/2022)

Building Envelope:

Table of building envelope requirements including Air Leakage, Labeling, Field fabricated exterior doors and fenestration products, Air Leakage, Insulation Certification by Manufacturers, Insulation Requirements for Heated Slab Floors, Roofing Products Solar Reflectance and Thermal Emittance, Radiant Barrier, Roof Deck, Ceiling and Rafter Roof Insulation, Slab Edge Insulation, Loose-fill Insulation, Wall Insulation, Masonry walls must meet Tables 150.1-A & B, R-rated floor insulation, Slab Edge Insulation, Vapor Retarder, Vapor Retarder, Fenestration Products, and Fenestration Products.

Fireplaces, Decorative Gas Appliances, and Gas Log:

Table of fireplace and gas appliance requirements including Pilot Light, Combustion Doors, Combustion Intake, and Flue Damper.

Space Conditioning, Water Heating, and Plumbing System:

Table of space conditioning, water heating, and plumbing system requirements including Certification, HVAC Efficiency, Controls for Heat Pumps with Supplementary Electric Resistance Heaters, Thermostats, Insulation, and Isolation Valves.

5/6/22



2022 Single-Family Residential Mandatory Requirements Summary

Table of mandatory requirements including Pilot Lights, Building Cooling and Heating Loads, Clearances, Liquid Line Drift, Water Piping, Solar Water-heating System Piping, and Space Conditioning System Line Insulation, Insulation Protection, Gas or Propane Water Heating Systems, Solar Water-heating Systems, and Solar Water-heating Systems.

Ducts and Fans:

Table of duct and fan requirements including Ducts, CMV Compliance, Field-Fabricated Duct Systems, Backdraft Damper, Gravity Ventilation Dampers, Protection of Insulation, Porous Inner Core Flex Duct, Duct System Sealing and Leakage Test, and Air Filtration.

5/6/22



2022 Single-Family Residential Mandatory Requirements Summary

Table of space conditioning system airflow rate and fan efficacy requirements.

Ventilation and Indoor Air Quality:

Table of ventilation and indoor air quality requirements including Requirements for Ventilation and Indoor Air Quality, Central Fan Integrated (CFI) Ventilation Systems, Whole-Dwelling Unit Mechanical Ventilation for Single-Family Detached and townhouses, Local Mechanical Exhaust, Airflow Measurement and Sound Ratings of Whole-Dwelling Unit Ventilation Systems, and Field Verification and Diagnostic Testing.

Pool and Spa Systems and Equipment:

Table of pool and spa system and equipment requirements including Certification by Manufacturers, Piping, Directions, Ductwork, and Pool Systems and Equipment Installation.

Lighting:

Table of lighting requirements including Lighting Controls and Components, Luminaire Efficacy, Screw based luminaires, Recessed Downlight Luminaires in Ceilings, Light Sources in Enclosed or Recessed Luminaires, Blank Electrical Boxes, and Lighting Integral to Exhaust Fans.

5/6/22

CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD

Project Name: Hermes Ex Plus Add, Calculation Date/Time: 2024-04-02T20:21:59-07:00, CF1R-PRF-01-E, Calculation Description: Title 24 Analysis, Input File Name: Hermes Ex Plus Add 142 Casselman St Folsom.rfb22xx

DOCUMENTATION AUTHOR'S DECLARATION STATEMENT

Table for documentation author's declaration statement including name (Jeff Travis), signature, date (4/2/2024), address (5201 Coventry Dr), and phone (530-268-8722).

RESPONSIBLE PERSON'S DECLARATION STATEMENT

Table for responsible person's declaration statement including name (Jarod Heath), signature, date signed, address (735 Sunrise Ave), and phone (916-384-0595).

Registration Number, Registration Date/Time, Registration Provider, CA Building Energy Efficiency Standards - 2022 Residential Compliance, Report Version: 2022.0.000, Schema Version: rev 20220901, Report Generated: 2024-04-02 20:22:26



2022 Single-Family Residential Mandatory Requirements Summary

Table of mandatory requirements including Screw based luminaires, Light Sources in Enclosed or Recessed Luminaires, Light Sources in Drawers, Cabinets, and Linen Closets, Interior Switches and Controls, Accessible Controls, Multiple Controls, Mandatory Requirements, Energy Management Control Systems, Automatic Shutoff Controls, Dimmers, Independent controls, Residential Outdoor Lighting, Internally Illuminated address signs, and Residential Garages for Eight or More Vehicles.

Solar Readiness:

Table of solar readiness requirements including Single-Family Residences, Minimum Solar Zone Area, Azimuth, Shading, Shading, Structural Design Loads on Construction Documents, Interconnection Pathways, Documentation, Main Electrical Service Panel, and Main Electrical Service Panel.

5/6/22



2022 Single-Family Residential Mandatory Requirements Summary

Table of mandatory requirements including Energy Storage System (ESS) Ready, Heat Pump Space Heater Ready, Electric Cooktop Ready, and Electric Clothes Dryer Ready.

*Exceptions may apply.

5/6/22

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CompuCalc

Title 24 Compliance

Jeff Travis

Certified Energy Analyst

2022 Title 24 Part 6

Energy Code

Sheet: T24-3

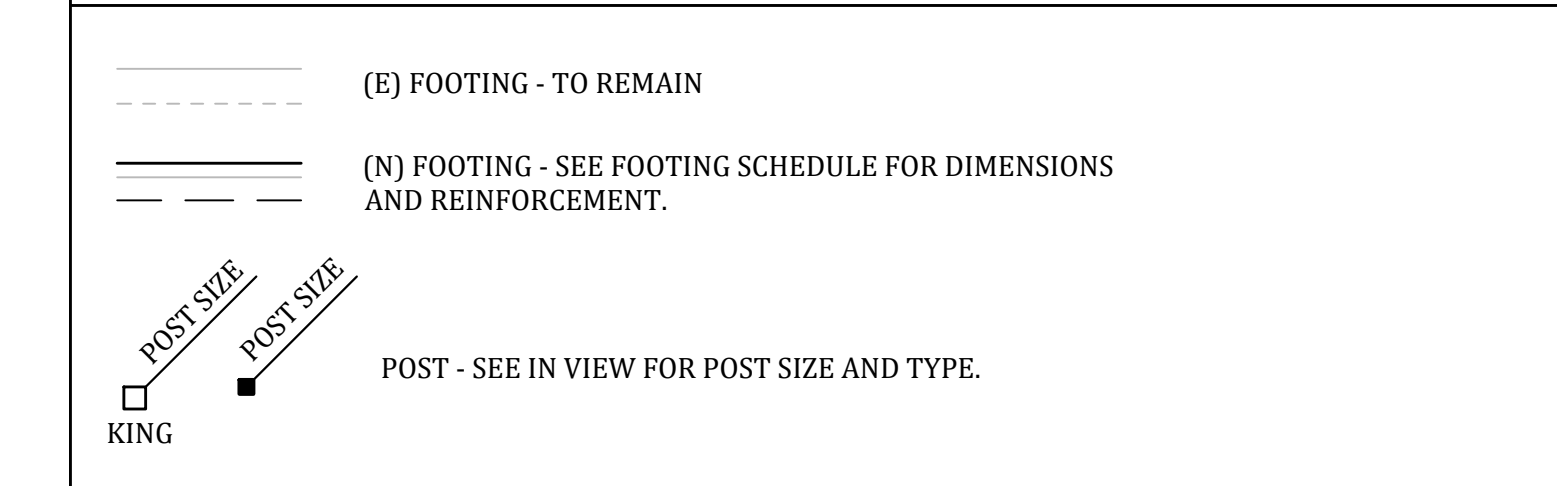
FOOTING SCHEDULE

TYPE	DIMENSIONS			REINFORCEMENT				MAX. CAPACITY	NOTES		
	LENGTH	WIDTH	DEPTH	NO.	SIZE	LENGTH	NO.			SIZE	LENGTH
FT1	CONT.	12"	12"	2	#4	CONT.	-	-	-	1,500 PLF	(1) TOP, (1) BOT
FT2	CONT.	15"	18"	2	#4	CONT.	-	-	-	1,875 PLF	(1) TOP, (1) BOT
FT3		18"	18"	12"	3	#4	12"	3	#4	3,375 LBS	
FT4		24"	24"	18"	4	#4	18"	4	#4	6,000 LBS	
FT5		30"	30"	18"	5	#4	24"	5	#4	9,375 LBS	
FT6		36"	36"	18"	6	#4	30"	6	#4	13,500 LBS	
FT7		42"	42"	24"	7	#4	36"	7	#4	18,375 LBS	
FT8		48"	48"	24"	8	#4	42"	8	#4	24,000 LBS	

GENERAL FOUNDATION NOTES

- THE CONTRACTOR IS RESPONSIBLE FOR REFERRING TO THE PLANS TO VERIFY HOLDOWN LOCATIONS, STRUCTURAL PLYWOOD SHEATHING SPECIFICATIONS AND NAILING SCHEDULE.
- POSTS SHOWN ON THE FOUNDATION PLAN ARE THOSE DIRECTLY CONNECTED TO THE FOUNDATION WITH A HOLDOWN OR POST BASE CONNECTOR.
- TYPICAL ONE STORY FOUNDATION, U.N.O. - 12" WIDE X 12" DEEP FOOTING WITH (1) #4 REBAR TOP AND BOTTOM (TOT. 2).
- PROVIDE 3/8"x10" ANCHOR BOLTS @ 4'-0" O.C. AND 12" FROM ALL EDGES AT THE BEARING WALLS AND EXTERIOR NON-SHEAR WALLS W/ 7" MIN. EMBEDMENT. FASTEN TO BOTTOM PLATE USING 3"x3"x1/4" STEEL WASHERS.
- PROVIDE 2X PTDF SLEEPER EMBEDDED IN SLAB AT DOORS LEADING TO EXTERIOR AND GARAGE. EXTEND 6" PAST DOOR CASING. (2) 20d @ EA END & 24" O.C.
- ALL FOOTINGS, FOUNDATIONS, EXCAVATIONS, GRADING, AND FILL SHALL COMPLY TO THE PROVISIONS OF THE CALIFORNIA BUILDING CODE.
- SLAB REINFORCEMENT SHALL BE PROVIDED EACH WAY, AS INDICATED ON THE PLANS, IN THE MIDDLE THIRD OF SLAB. WHERE VAPOR BARRIER IS REQUIRED, VAPOR RETARD BARRIER SHALL BE SEALED AT ALL PENETRATIONS AND SHALL CONFORM TO CLASS A VAPOR RETARDER IN ACCORDANCE WITH THE MOST CURRENT VERSION OF ASTM E 1745, "STANDARD SPECIFICATIONS FOR PLASTIC WATER VAPOR BARRIER USED IN CONTACT WITH SOIL OR GRANULAR FILL UNDER CONCRETE SLABS". VAPOR BARRIER SHALL BE UNDERLAIN WITH 4" DEEP 3/4" CRUSHED ROCK WITH 100% PASSING THE #10 SIEVE AND LESS THAN 5% PASSING THE NO. 4 SIEVE.
- CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL MEASUREMENTS AGAINST THE ARCHITECTURAL PLAN SET. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE EOR AND DESIGNER BEFORE FORMING AND/OR POURING CONCRETE.

FOUNDATION LEGEND



SHEARWALL SCHEDULE

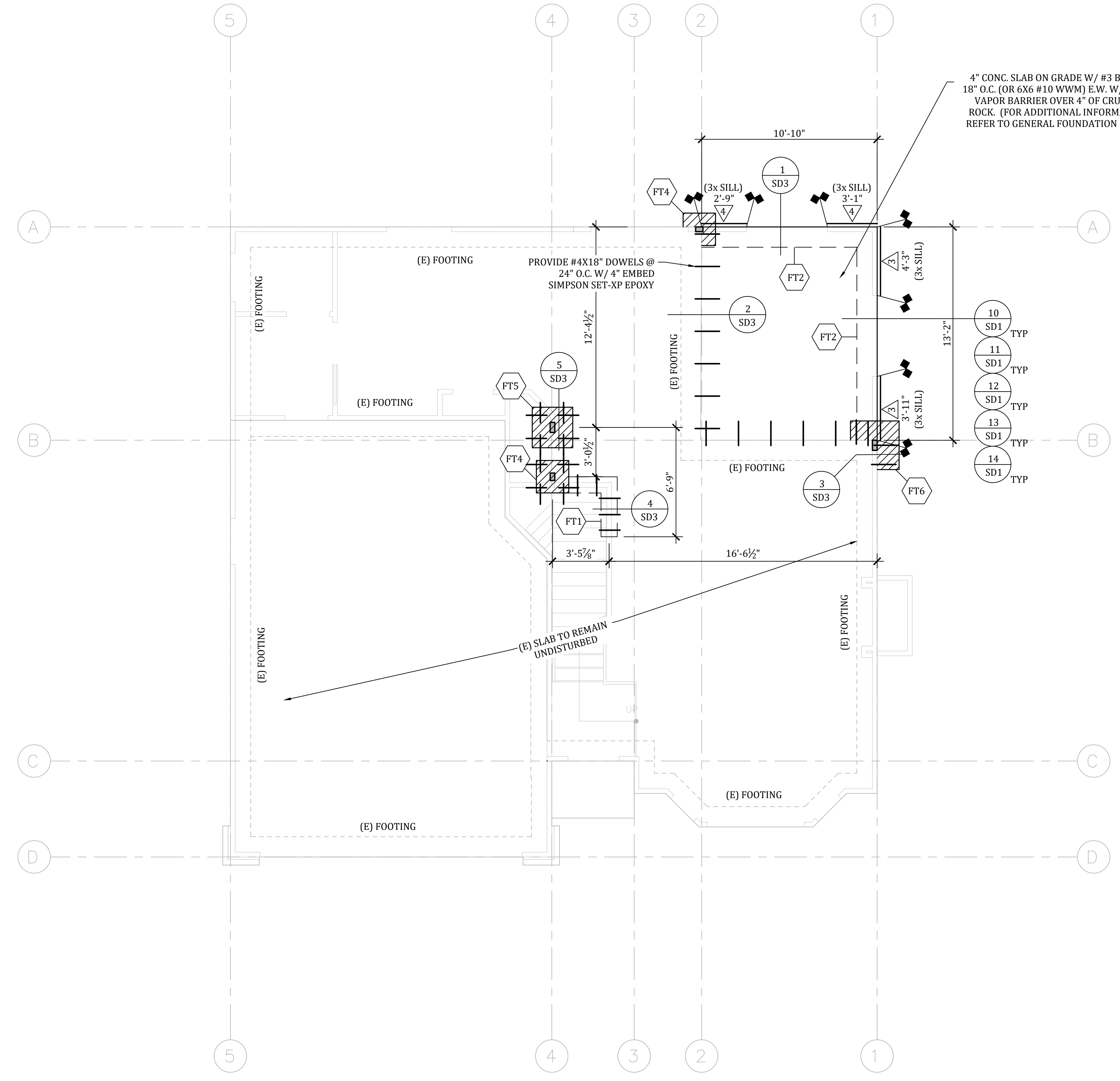
#	PLF	SHEATHING/NAILING	MUD SILL	ANCHOR BOLTS	VERT. MEMBER @ ADJ. PANEL EDGES	SOLE PLATE TO RIM	RIM TO SILL PLATE (A35 CLIPS)
3	490 PLF	3/8" APA RATED ONE FACE w/8d COMMONS @ 3" O.C. EDGE	3x	5/8" @ 36" O.C.	3x OR (2) 2x w/(36) 16d's	SDWS22500DB @ 8" O.C.	@ 12" C.C.
4	590 PLF	3/8" APA RATED ONE FACE w/8d COMMONS @ 2" O.C. EDGE	3x	5/8" @ 30" O.C.	3x	SDWS22500DB @ 6" O.C.	@ 12" C.C.

- REFER TO "SHEARWALL NOTES" ON SHEET SM1 FOR ADDITIONAL INFORMATION.

HOLDOWN SCHEDULE

6,970 LBS	HDU8 HOLDOWN INSTALL PER DETAIL 18/SD2 & 22/SD2
-----------	--

- ALL HOLDOWN CONNECTORS SHALL BE RE-TIGHTENED JUST PRIOR TO ENCLOSURE.
- CONTRACTOR SHALL PLACE ALL HOLDOWNS IN THE CORRECT LOCATION TO THE INTO HD POST.
- REFER TO DETAIL 18/SD2 FOR HD PLACEMENT AT WINDOW OR DOOR OPENING.



FOUNDATION AND SHEARWALL PLAN

SCALE: 3/4" = 1'-0"



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FOUNDATION AND SHEARWALL PLAN

142 CASSELMAN STREET,
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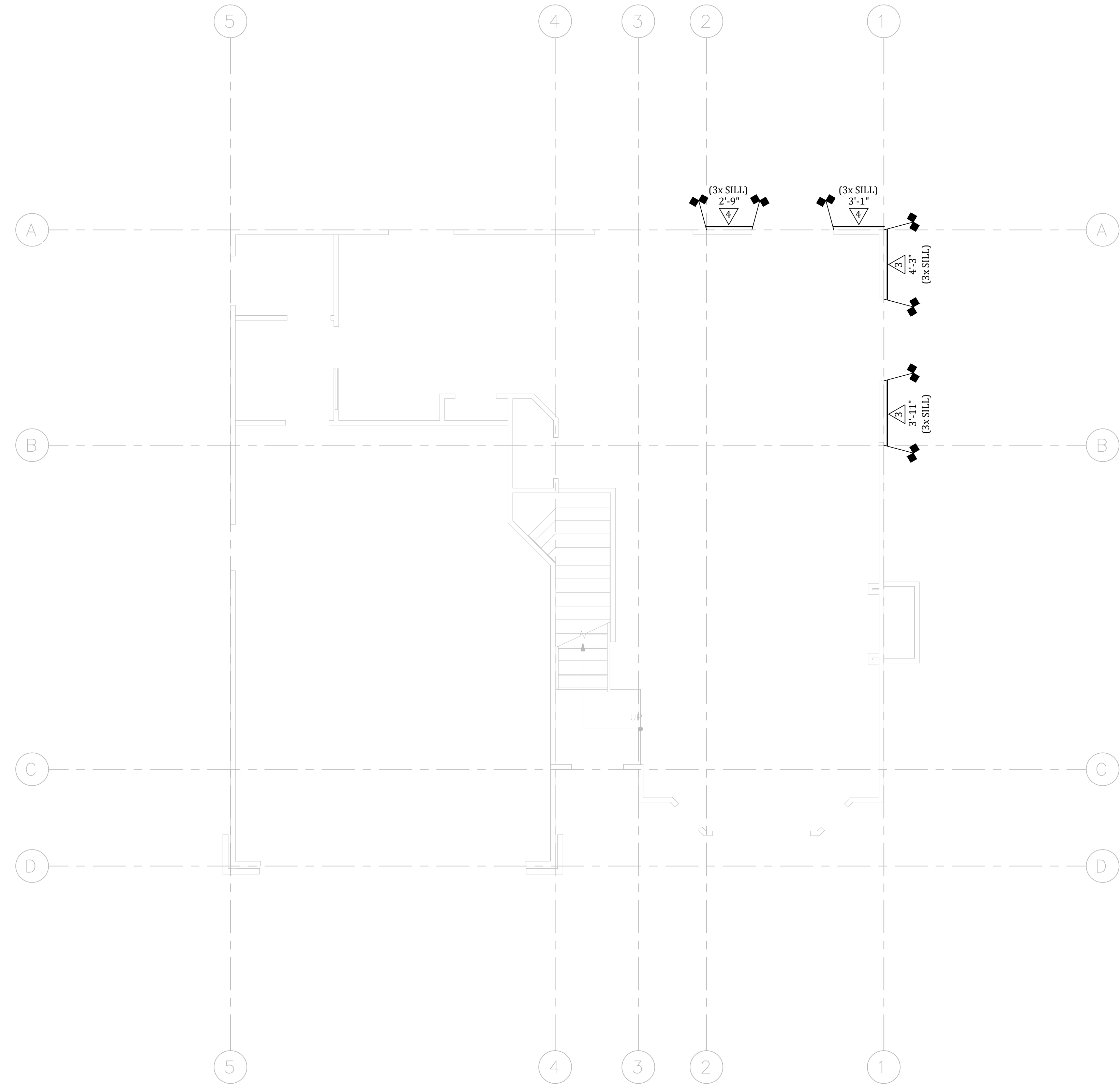
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ADDRESS:



NO.	REVISIONS

SCALE: AS NOTED
DATE: 4/3/2024
DESIGNED BY: C.DILWORTH
DRAWN BY: D.ELLSWORTH
REVIEWED BY: C.DILWORTH
JOB NO: RR031924
SHEET NO.

S1.0



LEVEL 1 - SHEARWALL PLAN
SCALE: 1/4" = 1'-0"

SHEARWALL SCHEDULE

# ### PLF	SHEATHING/NAILING	MUD SILL	ANCHOR BOLTS	VERT. MEMBER @ ADJ. PANEL EDGES	SOLE PLATE TO RIM	RIM TO SILL PLATE (A35 CLIPS)
3 490 PLF	3/8" APA RATED ONE FACE w/8d COMMONS @ 3" O.C. EDGE	3x	3/8" @ 36" O.C.	3x OR (2) 2x w/(36) 16d's	SDWS22500DB @ 8" O.C.	@ 12" C.C.
4 590 PLF	3/8" APA RATED ONE FACE w/8d COMMONS @ 2" O.C. EDGE	3x	3/8" @ 30" O.C.	3x	SDWS22500DB @ 6" O.C.	@ 12" C.C.

1. REFER TO "SHEARWALL NOTES" ON SHEET SN1 FOR ADDITIONAL INFORMATION.

HOLDOWN SCHEDULE

	HDU8 HOLDOWN INSTALL PER DETAIL 18/SD2 & 22/SD2
--	--

- ALL HOLDOWN CONNECTORS SHALL BE RE-TIGHTENED JUST PRIOR TO ENCLOSURE.
- CONTRACTOR SHALL PLACE ALL HOLDOWNS IN THE CORRECT LOCATION TO TIE INTO HD POST.
- REFER TO DETAIL 18/SD2 FOR HD PLACEMENT AT WINDOW OR DOOR OPENING.



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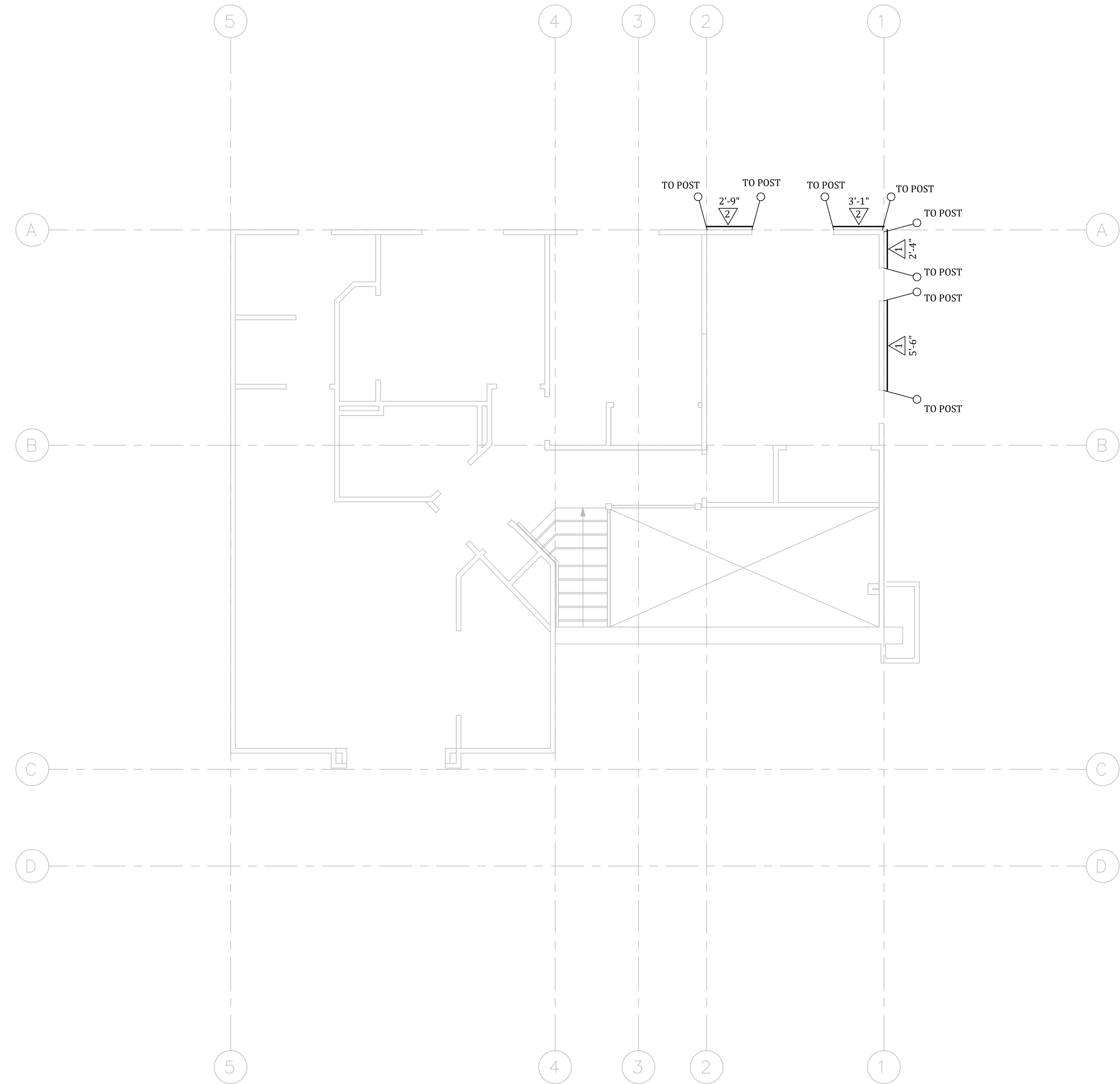
TITLE: **LEVEL 1 - SHEARWALL PLAN**
ADDRESS: **142 CASSELMAN STREET, FOLSOM, CA 95630**



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REVIEWED BY: C.DILWORTH
JOB NO: RR031924
SHEET NO.

S2.0



LEVEL 2 - SHEARWALL PLAN
SCALE: 1/4" = 1'-0"

SHEARWALL SCHEDULE

### PLF	SHEATHING/NAILING	MUD SILL	ANCHOR BOLTS	VERT. MEMBER @ ADJ. PANEL EDGES	SOLE PLATE TO RIM	RIM TO SILL PLATE (A35 CLIPS)
260 PLF	3/8" APA RATED ONE FACE w/8d COMMONS @ 6" O.C. EDGE	2x	3/8" @ 48" O.C.	2x	SDWS22500DB @ 12" O.C.	@ 24" C.C.
350 PLF	3/8" APA RATED ONE FACE w/8d COMMONS @ 4" O.C. EDGE	2x	3/8" @ 48" O.C.	(2) 2x	SDWS22500DB @ 8" O.C.	@ 20" C.C.

1. REFER TO "SHEARWALL NOTES" ON SHEET SN1 FOR ADDITIONAL INFORMATION.

STRAP SCHEDULE

2,710 LBS	MST37 STRAP INSTALL PER DETAIL 16/SD2
-----------	--

1. CONTRACTOR SHALL PLACE ALL STRAPS IN THE CORRECT LOCATION TO TIE INTO HD POST.



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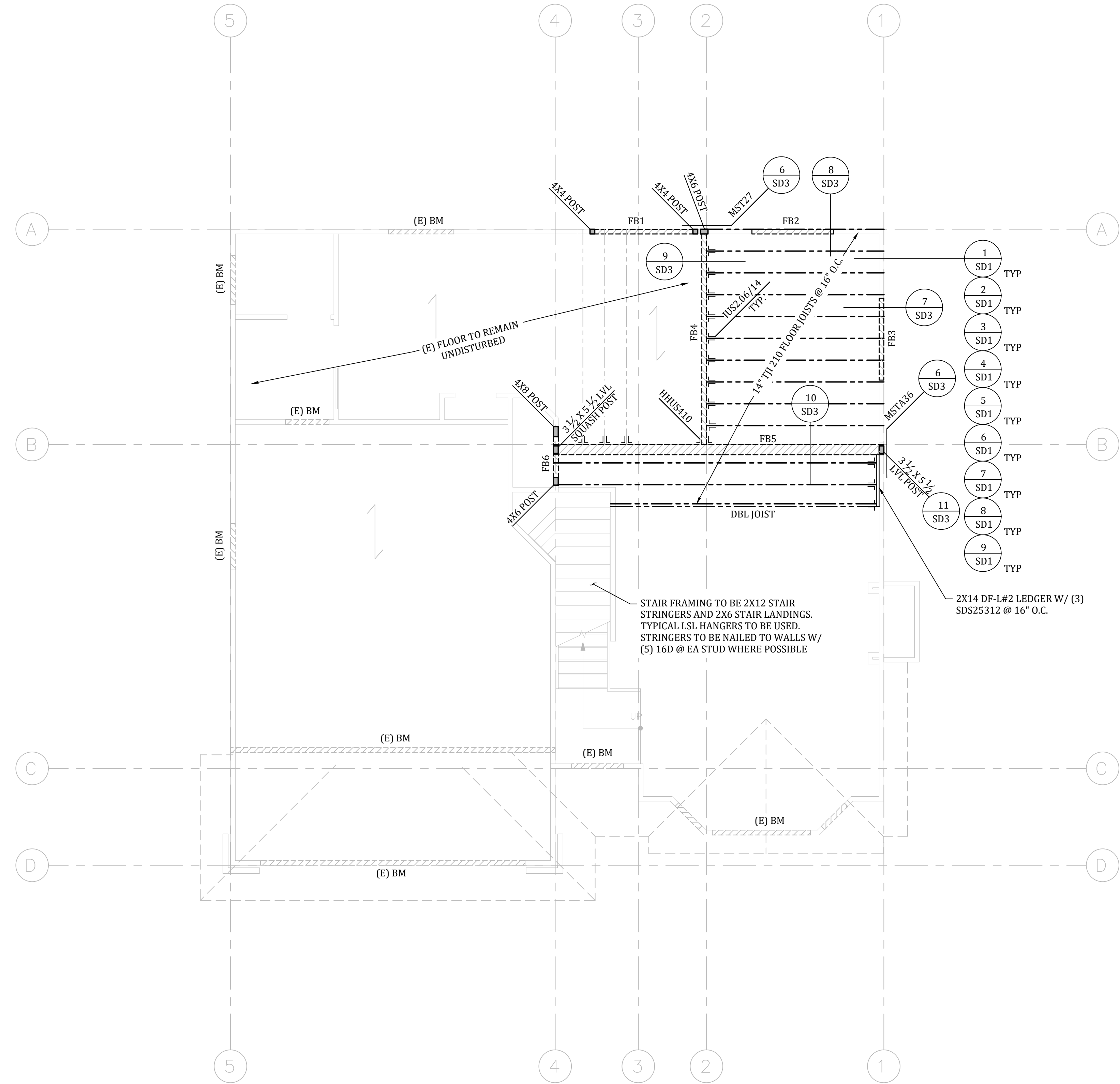
TITLE: **LEVEL 2 - SHEARWALL PLAN**
ADDRESS: **142 CASSELMAN STREET, FOLSOM, CA 95630**



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DRAWN BY: D.ELLSWORTH
REVIEWED BY: C.DILWORTH
JOB NO: RR031924
SHEET NO.

S3.0



FLOOR AND LOWER ROOF FRAMING PLAN
SCALE: 3/4" = 1'-0"

FLOOR BEAM SCHEDULE				
NAME	PLY	SIZE	TYPE	LOCATION
FB1	1	4 X 10	DF-L#2	HEADER
FB2	1	4 X 6	DF-L#2	HEADER
FB3	1	4 X 8	DF-L#2	HEADER
FB4	1	3 1/2 X 14	LSL	FLUSH
FB5	1	W 12 X 26	STEEL	FLUSH
FB6	1	3 1/2 X 9 1/2	LSL	HEADER

- BEAMS SPECIFICATIONS:**
- PSL 2900Fb, 290Fv, 2.2E
 - LVL 2600Fb, 285Fv, 1.8E
 - LSL 2300Fb, 285Fv, 1.55E
 - GLB 2400Fb, 265Fv, 1.9E

- FLOOR FRAMING NOTES**
- SEE SHEET SD1 AND SD2 FOR ADDITIONAL FRAMING DETAILS
 - SEE "WOOD NOTES" ON SHEET SNI.
 - ALL BEAM SUPPORTING POSTS ARE TO BE AT LEAST THE WIDTH OF THE BEAM BEING SUPPORTED.
 - FLOOR SHEATHING SHALL BE 3/4" T&G CDX/OSB WITH 10d @ 6" O.C. EDGE NAILING & 12" O.C. FIELD NAILING, U.N.O.
 - TOP PLATE SPLICE AT INTERIOR AND EXTERIOR WALLS SHALL BE 48" MIN. LENGTH AND NAILED WITH (16) 16d NAILS.
 - FLOOR SHEATHING SHALL BE NAILED AT ALL DRAG LOCATIONS WITH 10d @ 6" O.C. U.N.O.
 - BEAMS MAY BE SUBSTITUTED FOR LARGER WIDTHS AND/OR DEPTH OF EQUAL SPECIFICATIONS TO ACCOMMODATE WALL FRAMING. POSTS SHALL BE EQUAL OR LARGER SIZE THAN BEAM WIDTH.
 - EXTERIOR STUD WALLS SHALL BE 2X4 DF-L#2 @ 16" O.C. U.N.O. WALL SIZES SHALL BE VERIFIED TO MATCH THE ARCHITECTURAL PLAN SET.
 - ALL WOOD EXPOSED TO WATER FROM DIRECT OR BLOWING RAIN, SNOW, OR IRRIGATION TO BE PRESSURE TREATED.

FLOOR AND LOWER ROOF LEGEND

BEAM PER BEAM SCHEDULE
 INTERIOR BEARING WALL
 INTERIOR NON-BEARING WALL
 DBL JOIST

*NOTE: ALL EXTERIOR WALLS SHALL BE BEARING WALLS

POST SIZE
 KING
 POST - SEE IN VIEW FOR POST SIZE AND TYPE.

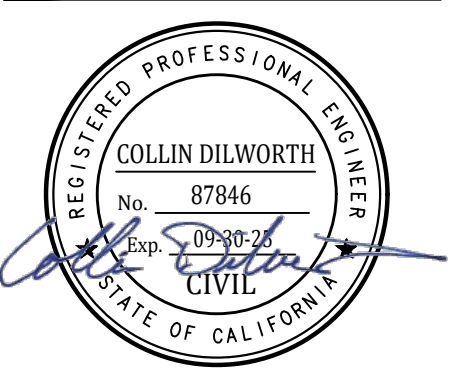


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FLOOR AND LOWER ROOF FRAMING PLAN

**142 CASSELMAN STREET,
FOLSOM, CA 95630**

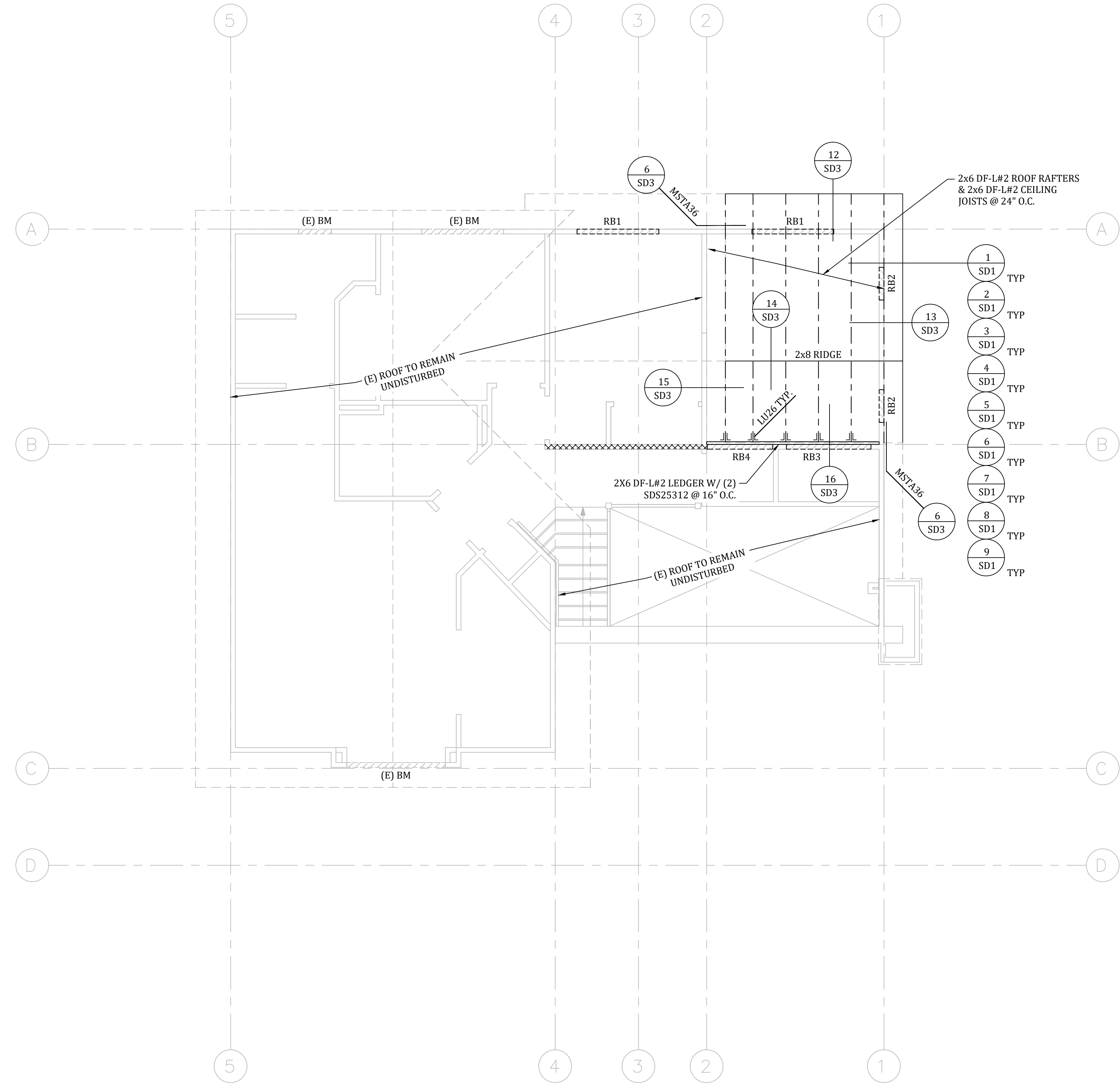
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 DATE: 4/3/2024
 DESIGNED BY: C.DILWORTH
 DRAWN BY: D.ELLSWORTH
 REVIEWED BY: C.DILWORTH
 JOB NO: RR031924
 SHEET NO.

S4.0



ROOF FRAMING PLAN
SCALE: 1/4" = 1'-0"

ROOF BEAM SCHEDULE

NAME	PLY	SIZE	TYPE	LOCATION
RB1	1	4 X 8	DF-L#2	HEADER
RB2	1	4 X 6	DF-L#2	HEADER
RB3	1	4 X 8	DF-L#2	HEADER
RB4	1	4 X 8	DF-L#2	FLUSH

- BEAMS SPECIFICATIONS:**
- PSL 2900Fb, 290Fv, 2.2E
 - LVL 2600Fb, 285Fv, 1.8E
 - LSL 2300Fb, 285Fv, 1.55E
 - GLB 2400Fb, 265Fv, 1.9E

ROOF FRAMING NOTES

- SEE SHEET SD1 AND SD2 FOR ADDITIONAL FRAMING DETAILS.
- SEE "WOOD NOTES" ON SHEET SN1.
- ALL BEAM SUPPORTING POSTS ARE TO BE AT LEAST THE WIDTH OF THE BEAM BEING SUPPORTED.
- ROOF SHEATHING SHALL BE 1/2" CDX/OSB WITH 8d @ 6" O.C. EDGE NAILING & 12" O.C. FIELD NAILING, U.N.O.
- NO EDGE BLOCKING REQUIRED, U.N.O.
- TOP PLATE SPLICE AT INTERIOR AND EXTERIOR WALLS SHALL BE 48" MIN. LENGTH AND NAILED WITH (16) 16d NAILS.
- FOR BUILT-UP COLUMNS, PROVIDE (2) 10d NAILS @ 8" O.C. TO PROVIDE SOLID CONNECTION.
- EXTERIOR STUD WALLS SHALL BE 2X4 DF-L#2 @ 16" O.C. U.N.O. WALL SIZES SHALL BE VERIFIED TO MATCH THE ARCHITECTURAL PLAN SET.
- BEAMS MAY BE SUBSTITUTED FOR LARGER WIDTHS AND/OR DEPTH OF EQUAL SPECIFICATIONS TO ACCOMMODATE WALL FRAMING. POSTS SHALL BE EQUAL OR LARGE SIZE THAN BEAM WIDTH.
- ALL WOOD EXPOSED TO WATER FROM DIRECT OR BLOWING RAIN, SNOW, OR IRRIGATION TO BE PRESSURE TREATED.

ROOF LEGEND

BEAM PER BEAM SCHEDULE
 INTERIOR BEARING WALL
 INTERIOR NON-BEARING WALL
 *NOTE: ALL EXTERIOR WALLS SHALL BE BEARING WALLS
 POST SIZE
 POST SIZE
 KING
 POST - SEE IN VIEW FOR POST SIZE AND TYPE.



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ROOF FRAMING PLAN

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TITLE:

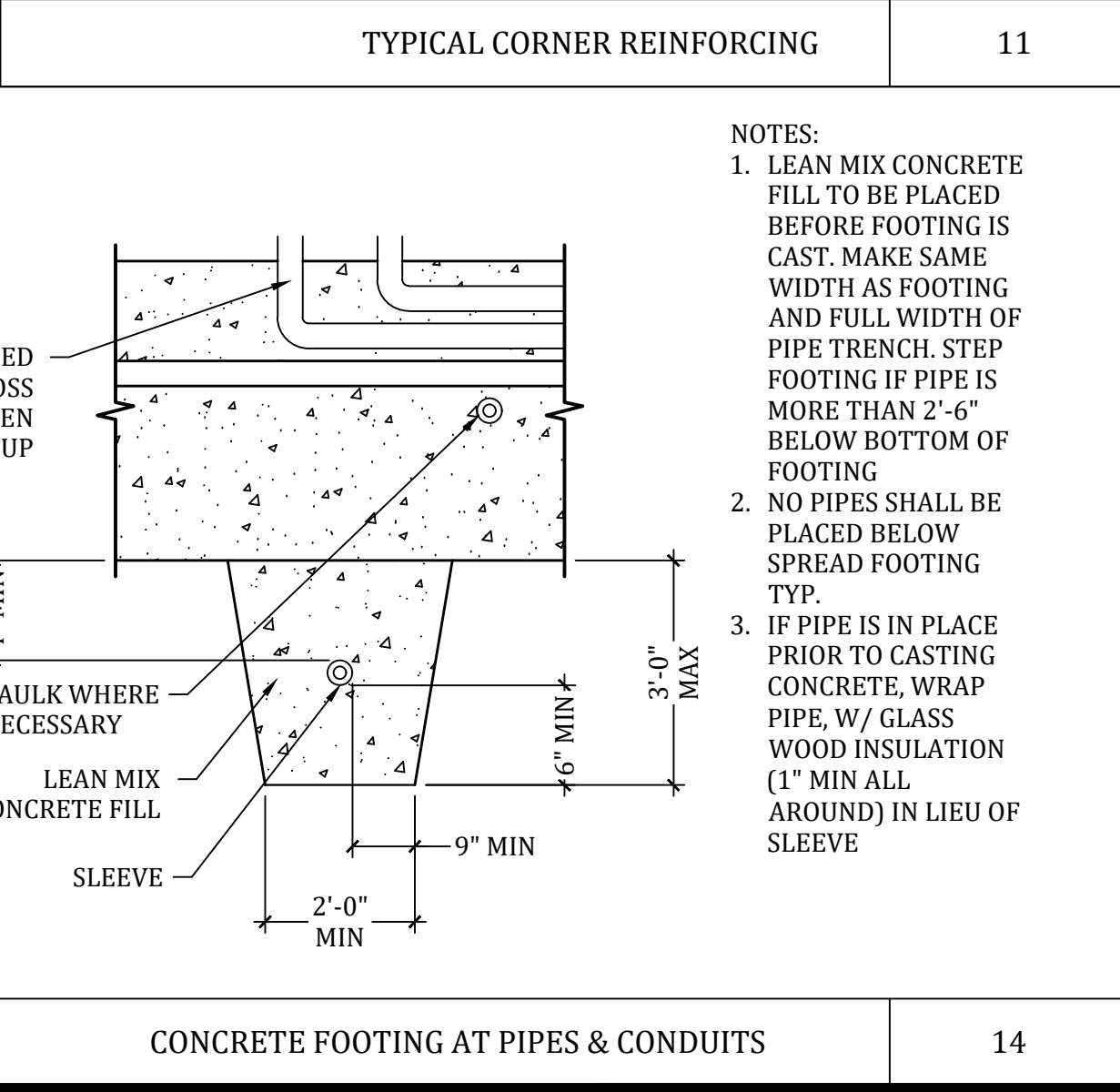
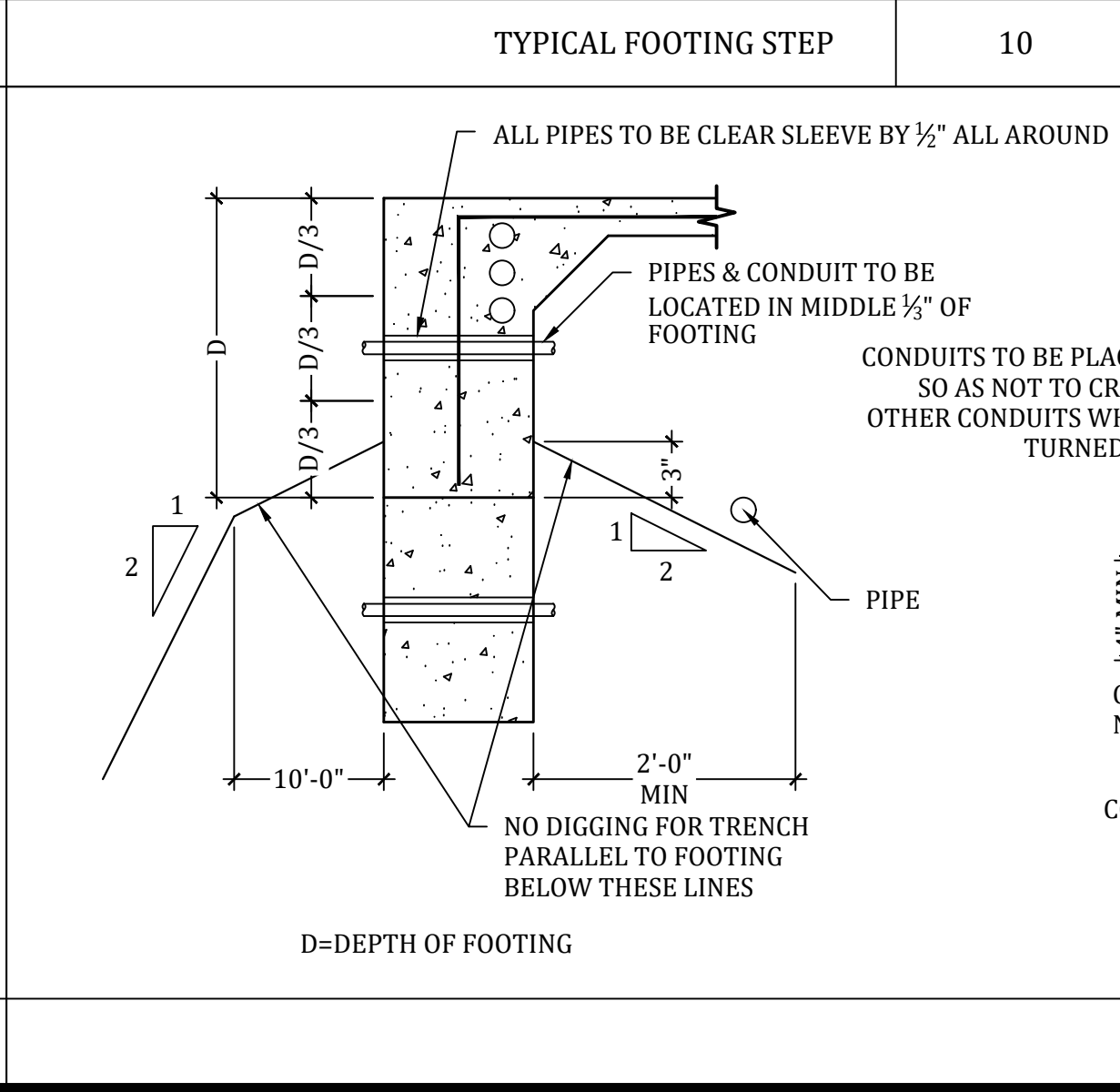
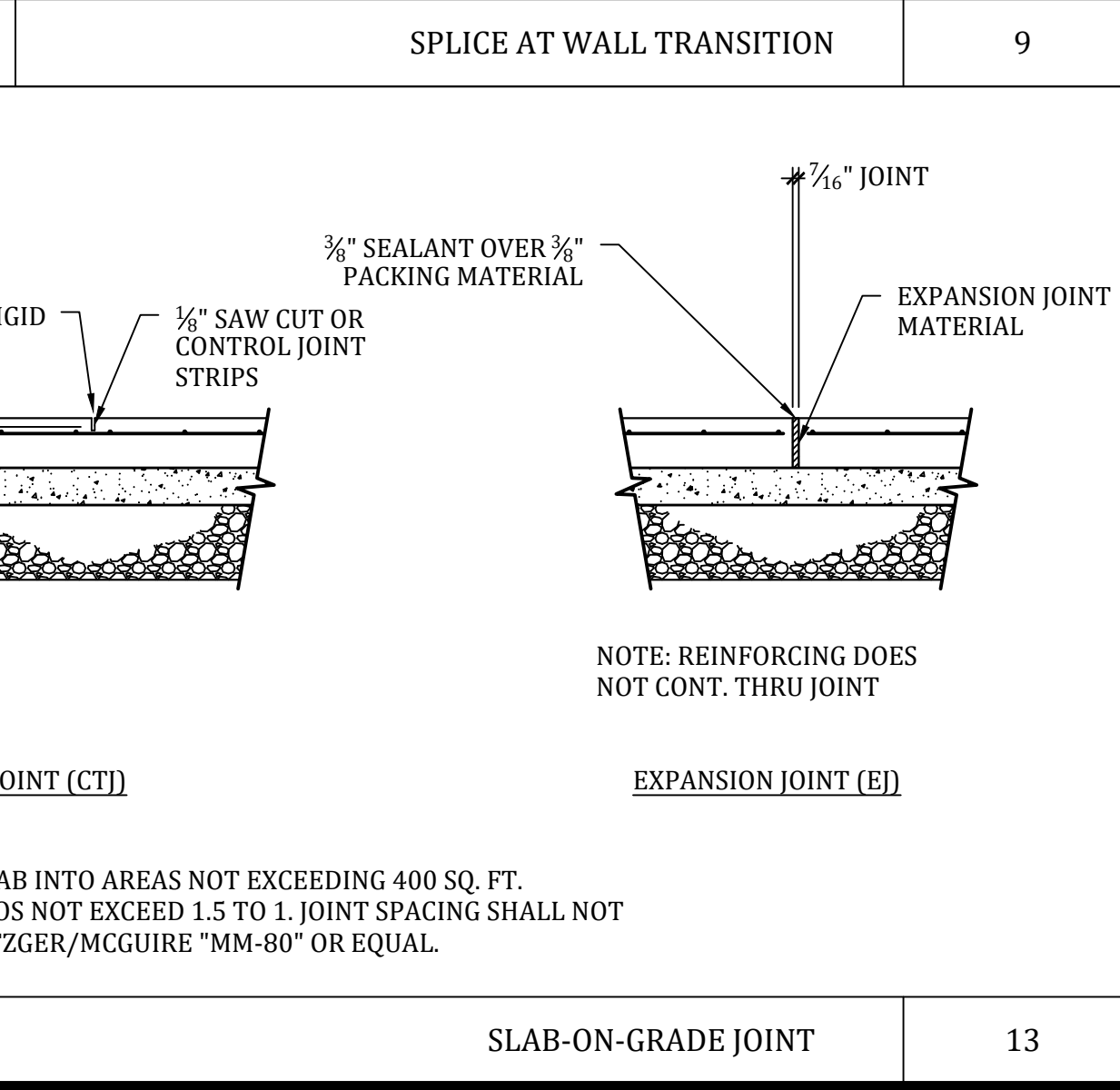
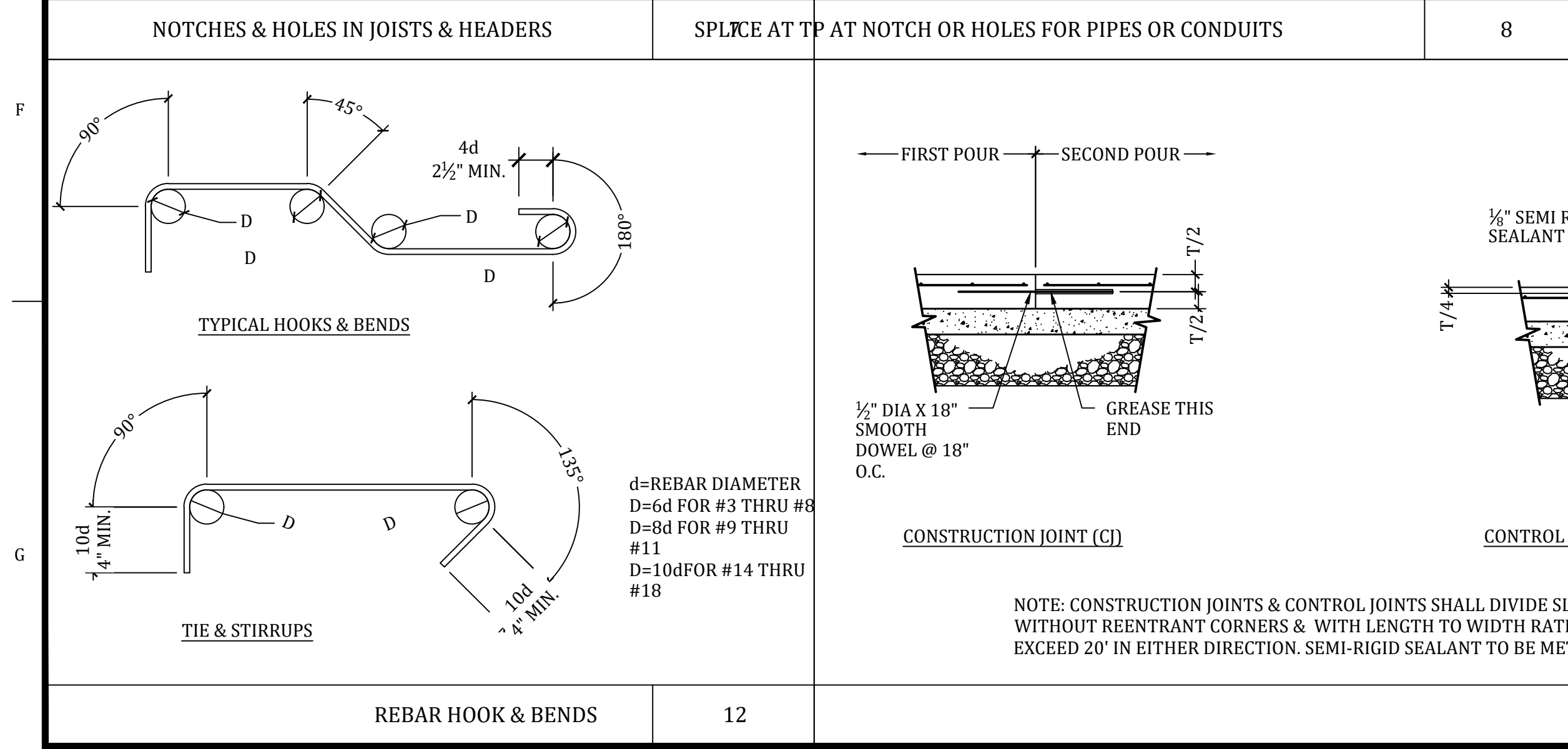
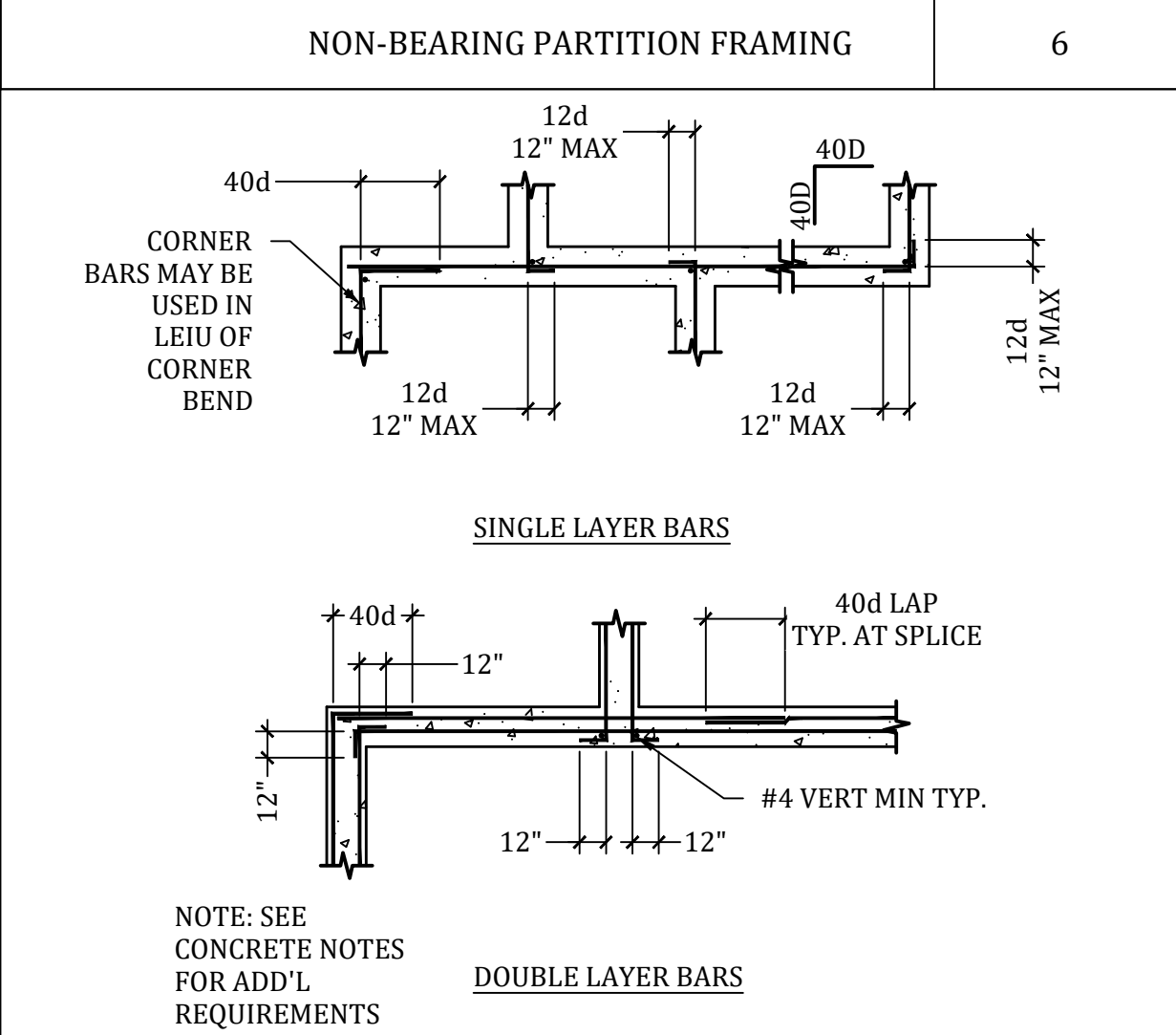
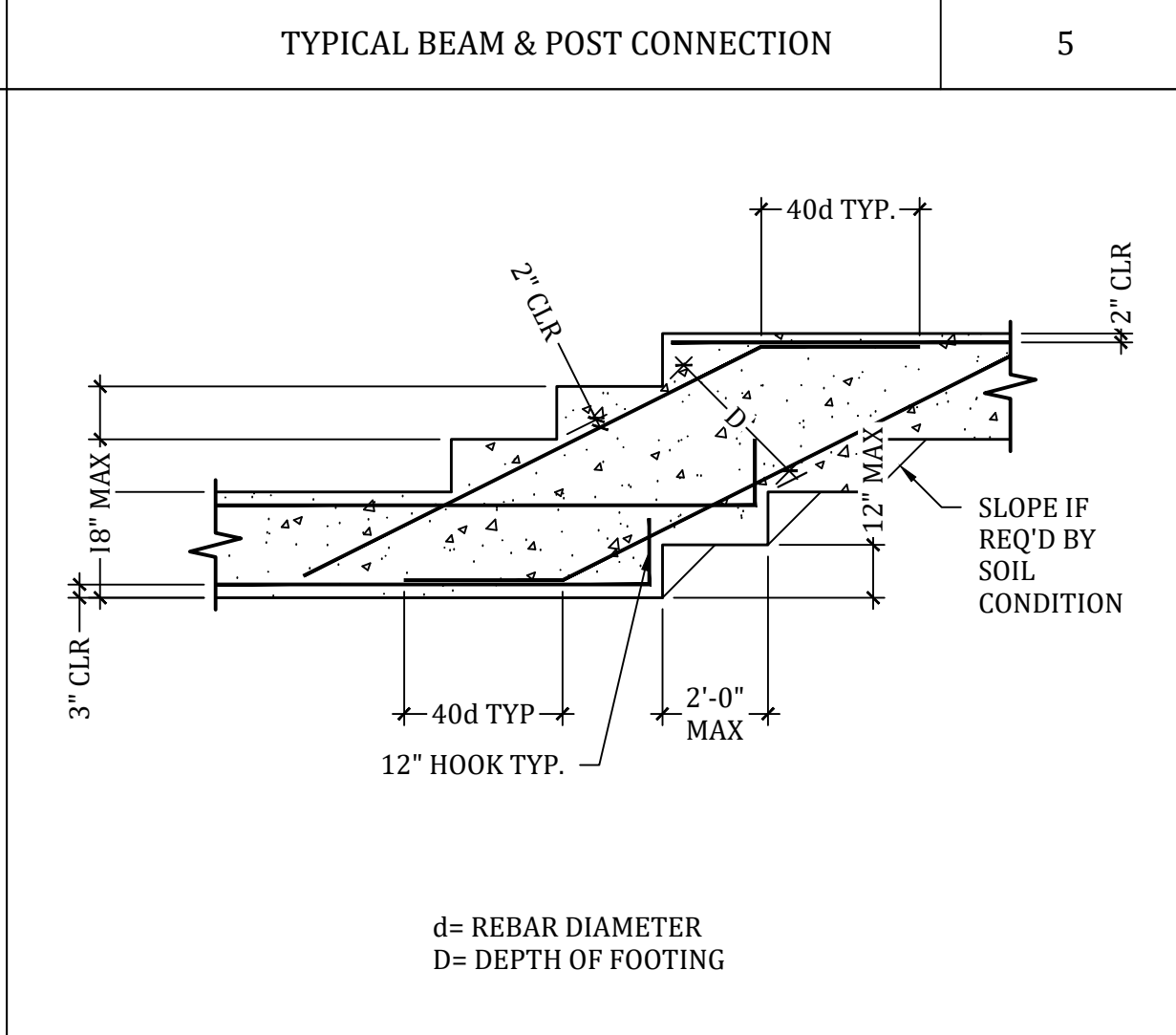
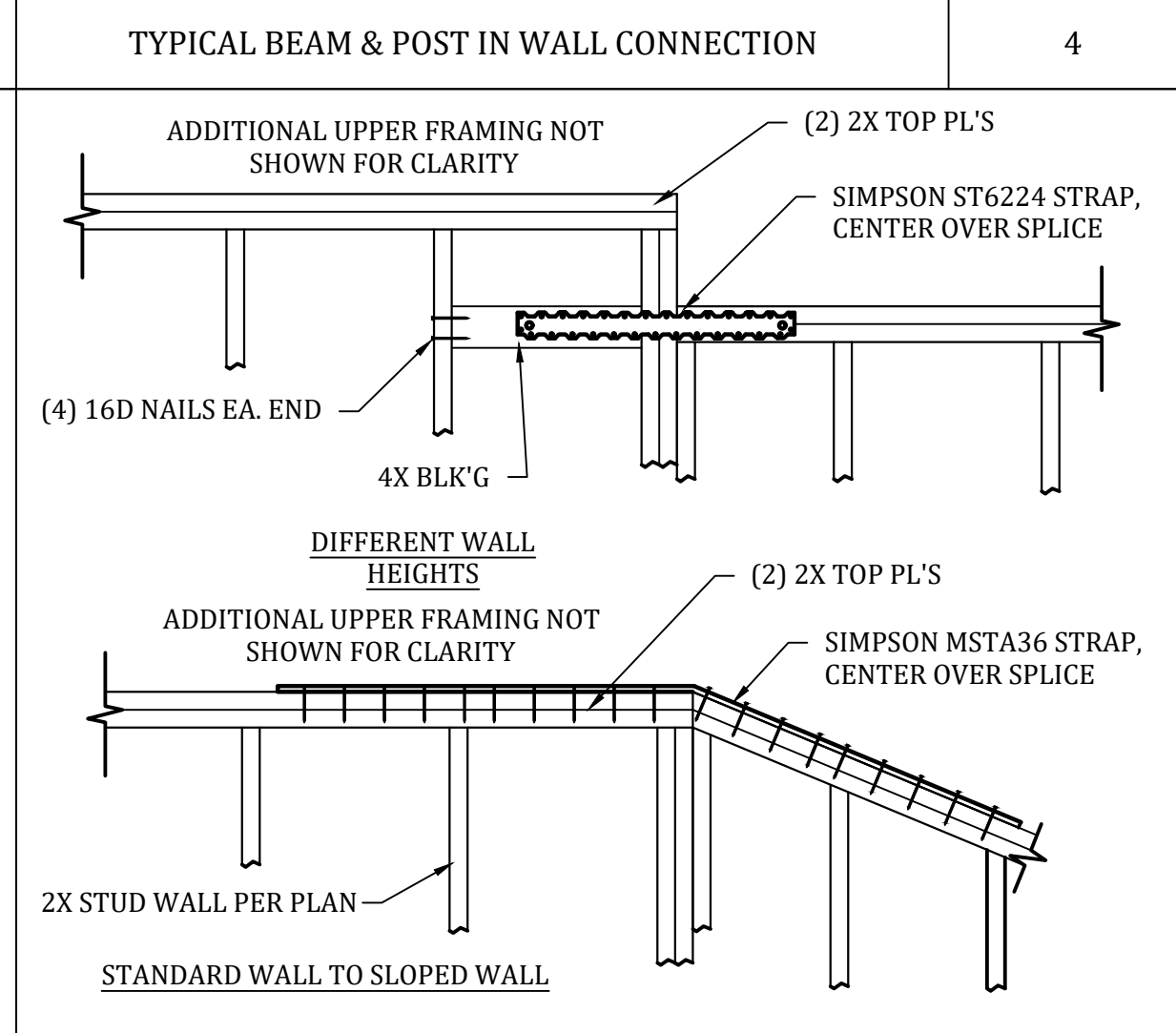
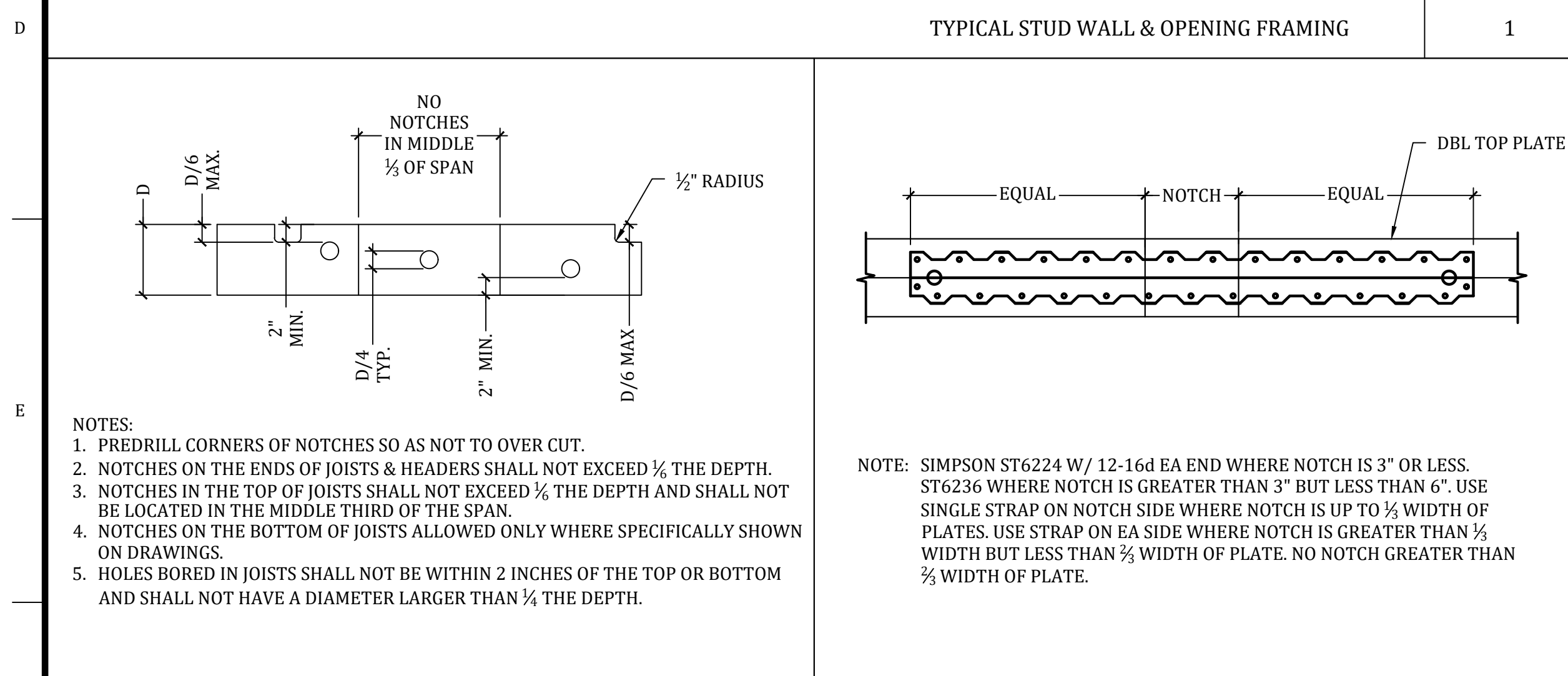
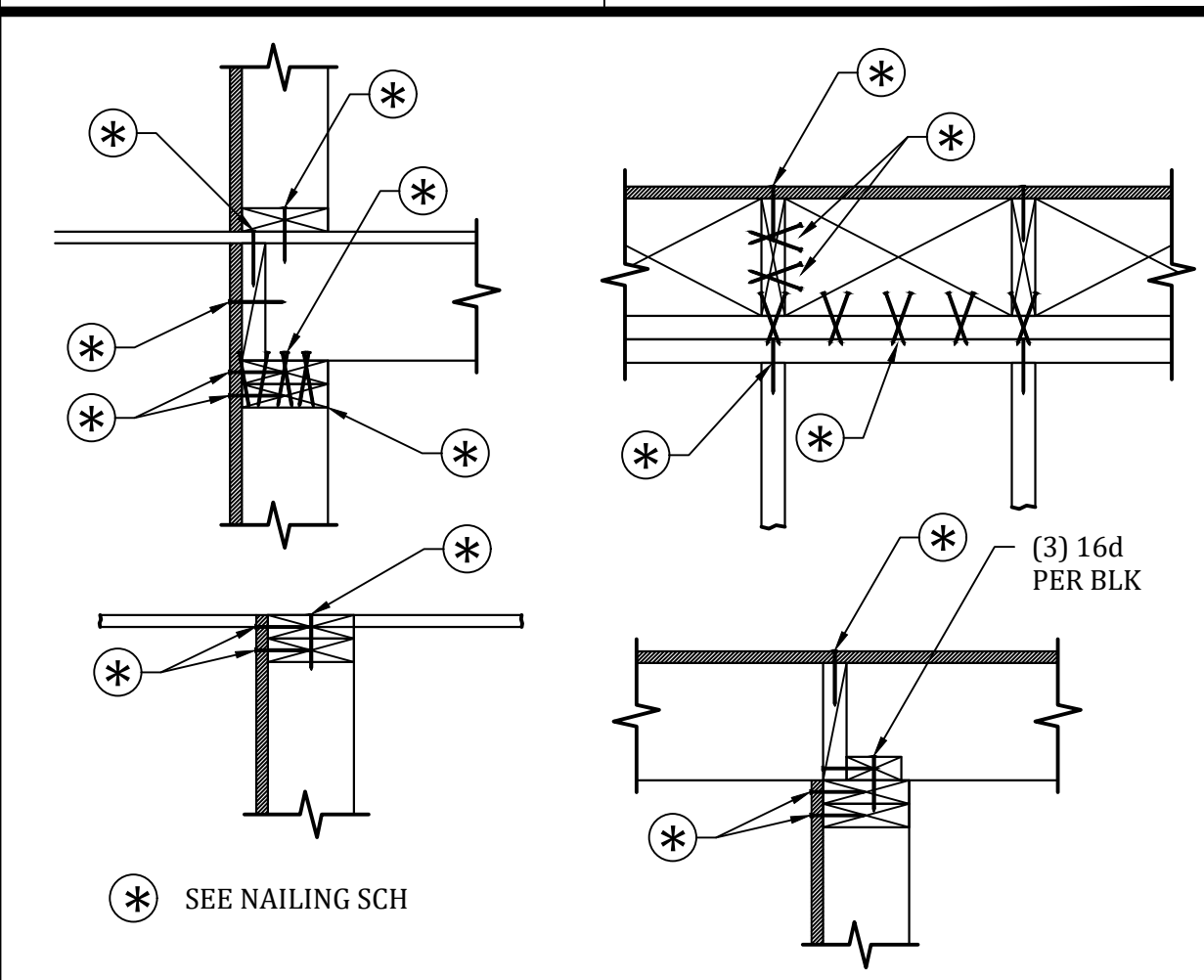
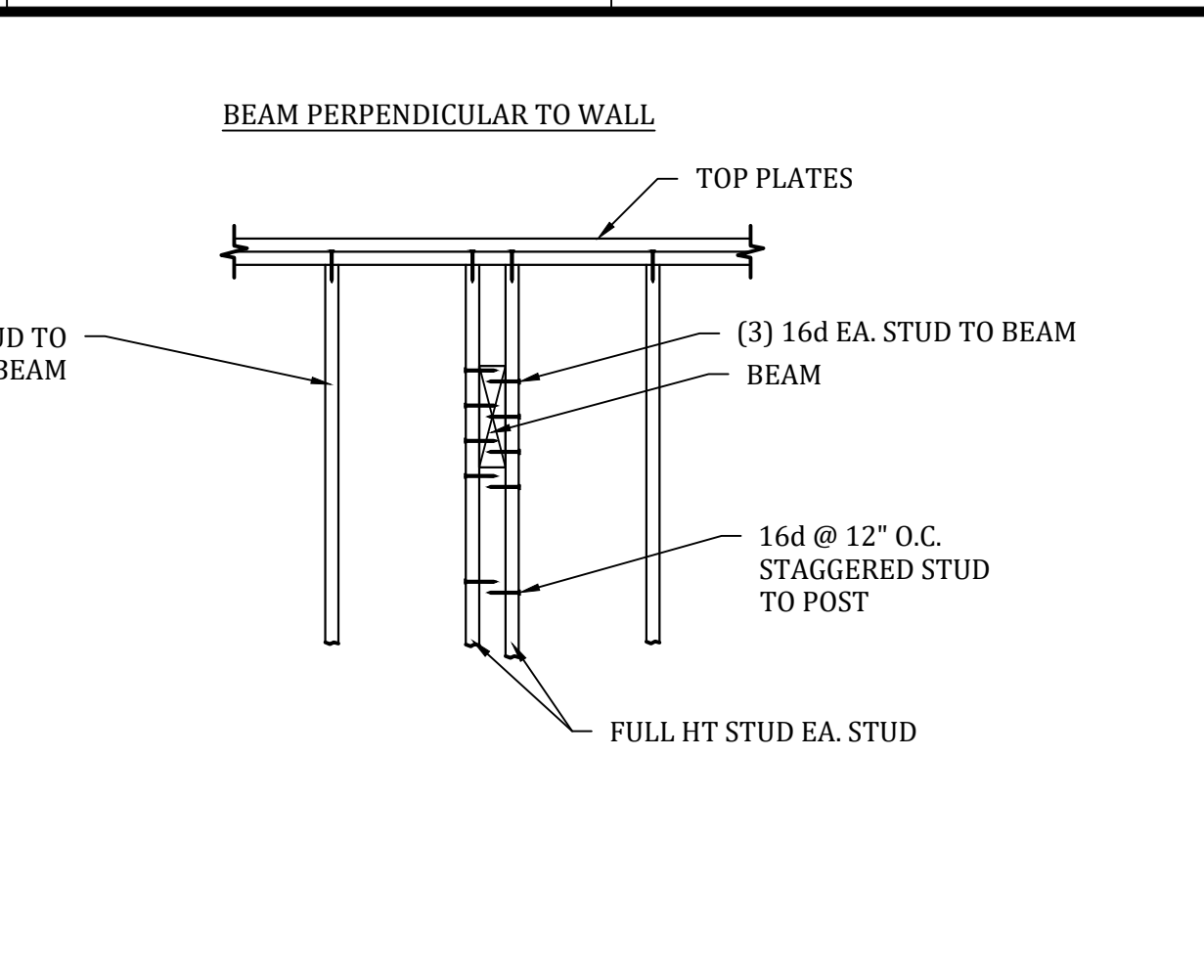
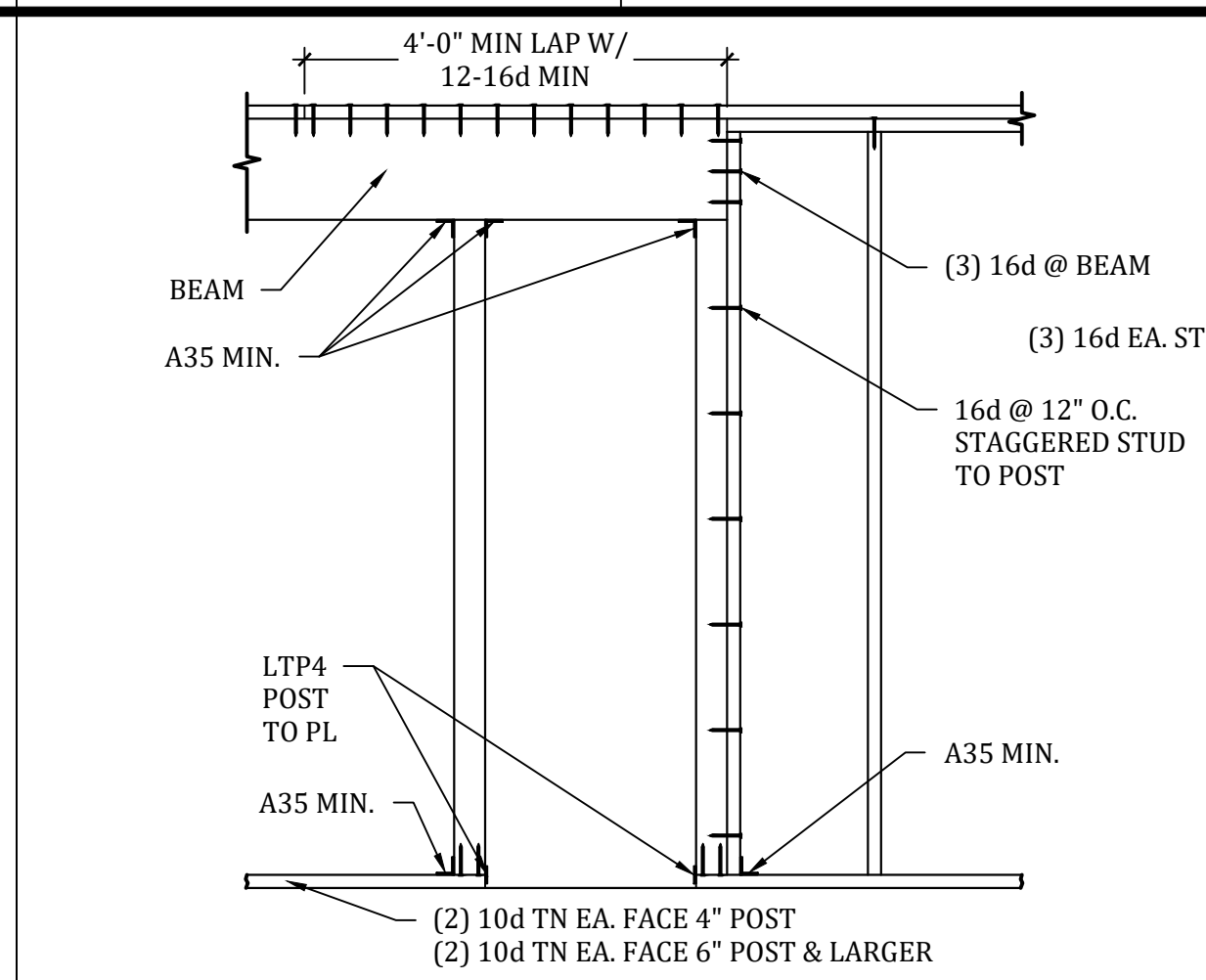
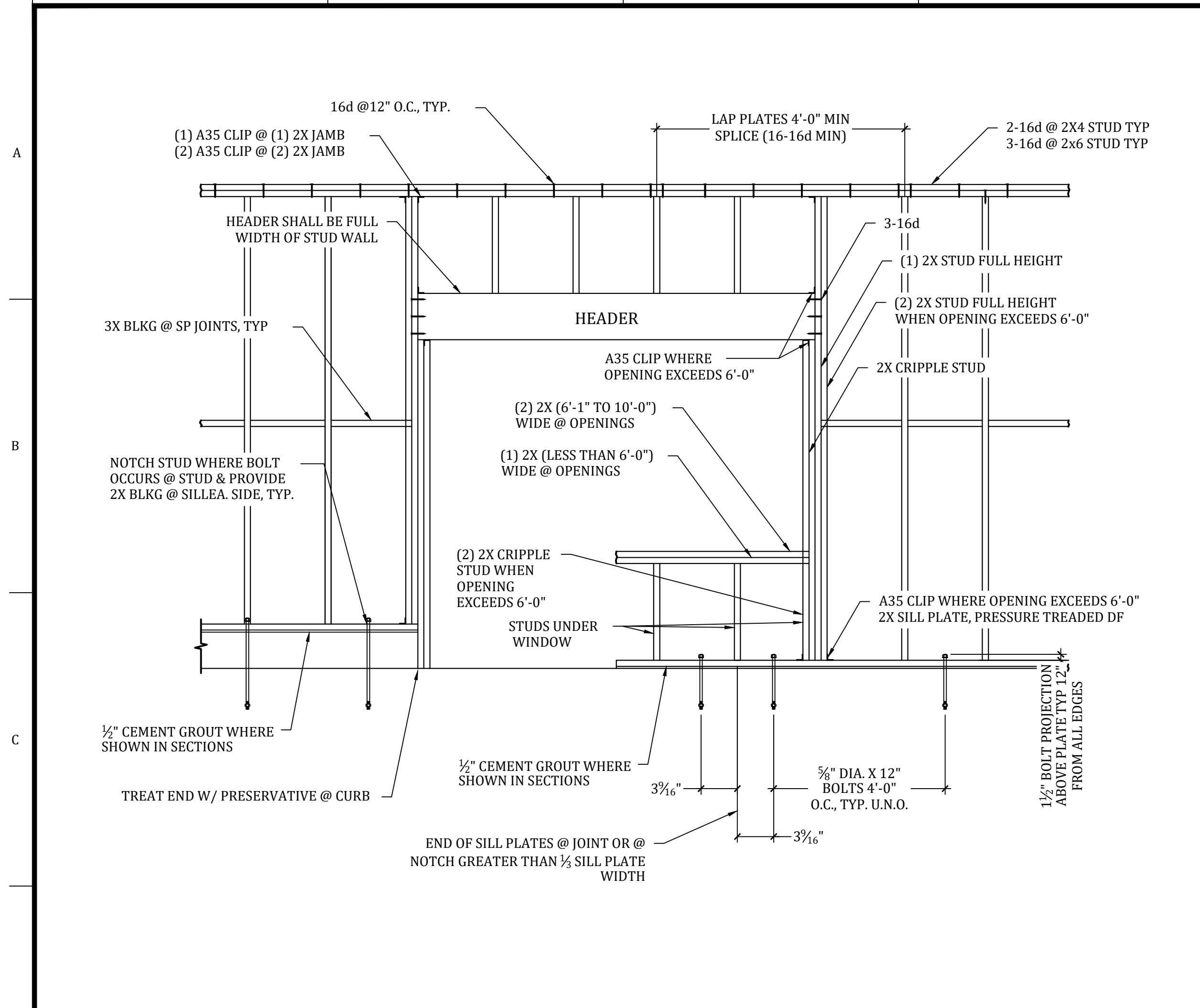
ADDRESS:



NO.	REVISIONS

SCALE: AS NOTED
 DATE: 4/3/2024
 DESIGNED BY: C.DILWORTH
 DRAWN BY: D.ELLSWORTH
 REVIEWED BY: C.DILWORTH
 JOB NO: RR031924
 SHEET NO.

S5.0



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STANDARD STRUCTURAL DETAILS

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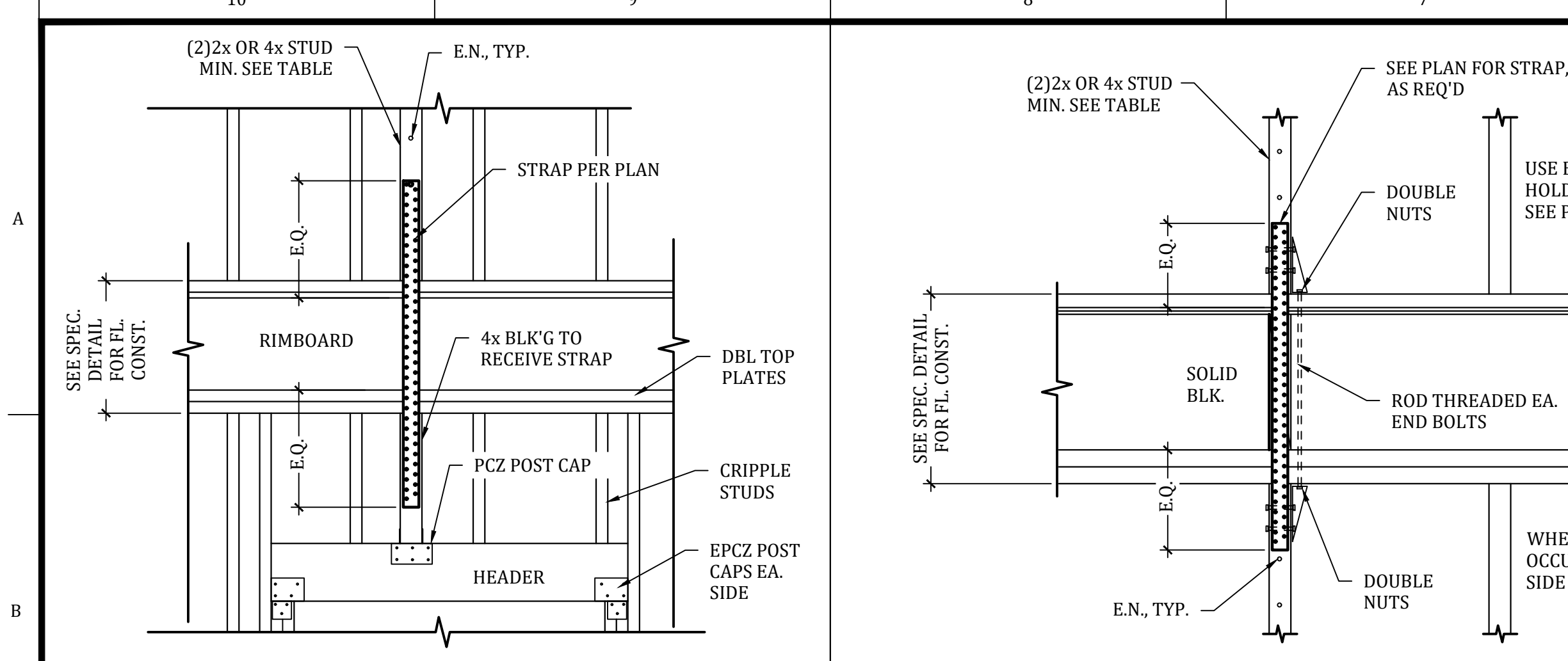
TITLE: _____ ADDRESS: _____

REGISTERED PROFESSIONAL ENGINEER
COLLIN DILWORTH
No. 87846
Exp. 07-30-25
CIVIL
STATE OF CALIFORNIA

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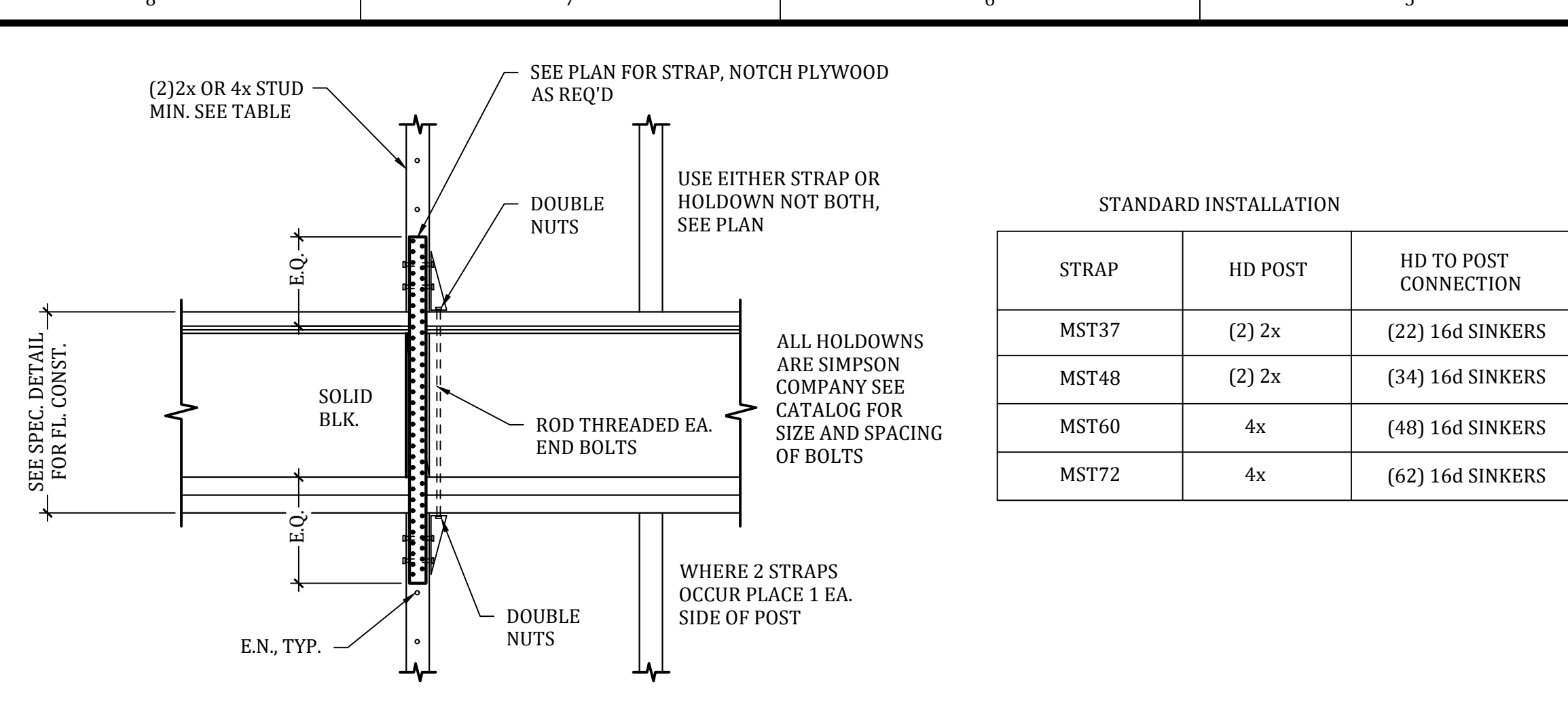
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SD1



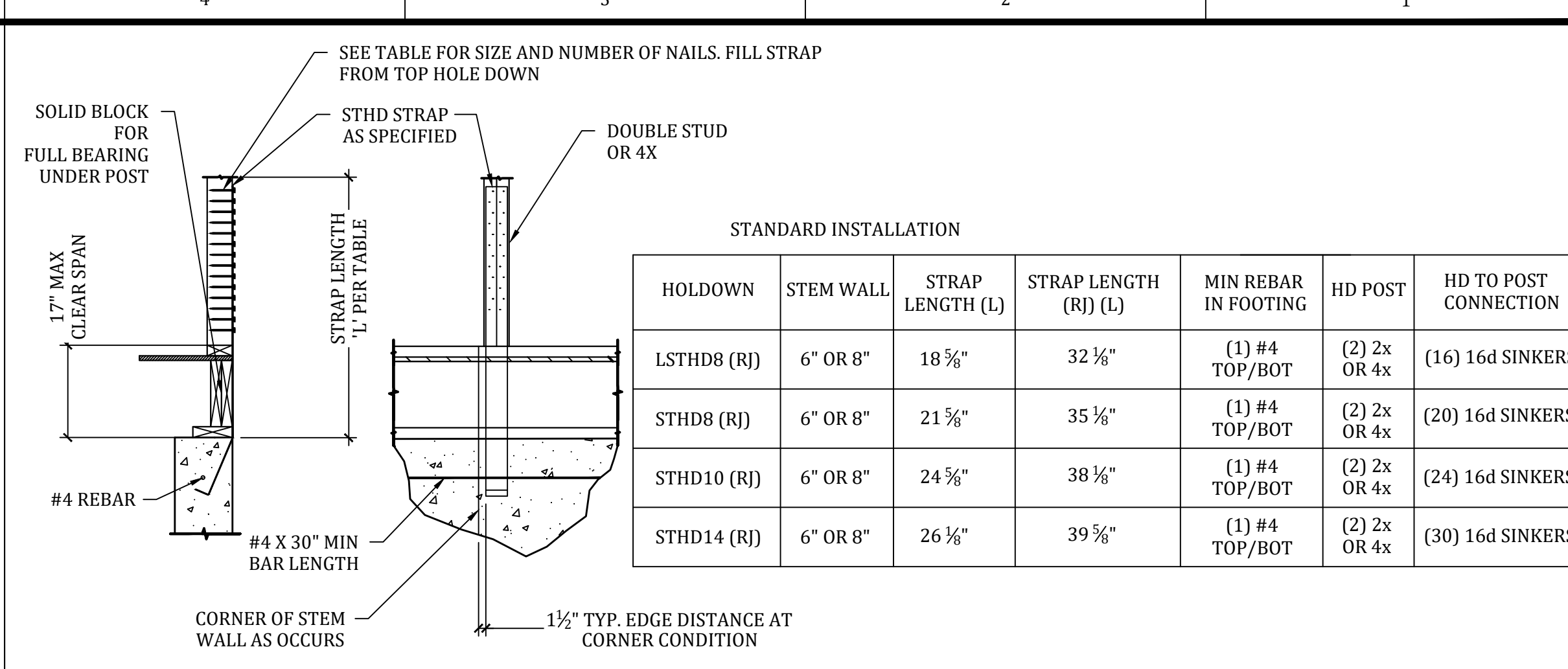
STRAP TO HEADER

15



TYPICAL STRAP AT FLOOR FRAMING

16

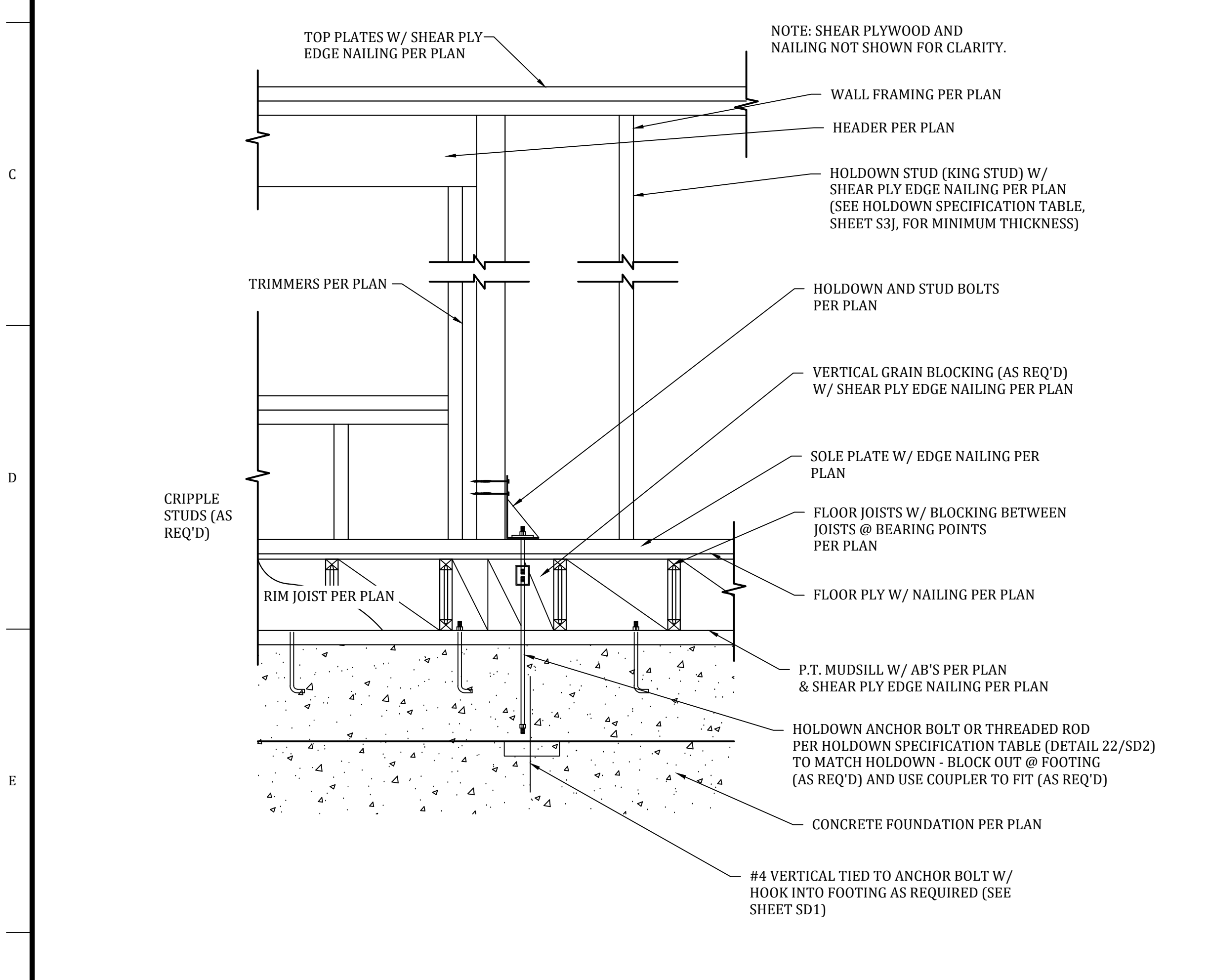


STHD INSTALLATION & DETAILS

17

STANDARD INSTALLATION		
STRAP	HD POST	HD TO POST CONNECTION
MST37	(2) 2x	(22) 16d SINKERS
MST48	(2) 2x	(34) 16d SINKERS
MST60	4x	(48) 16d SINKERS
MST72	4x	(62) 16d SINKERS

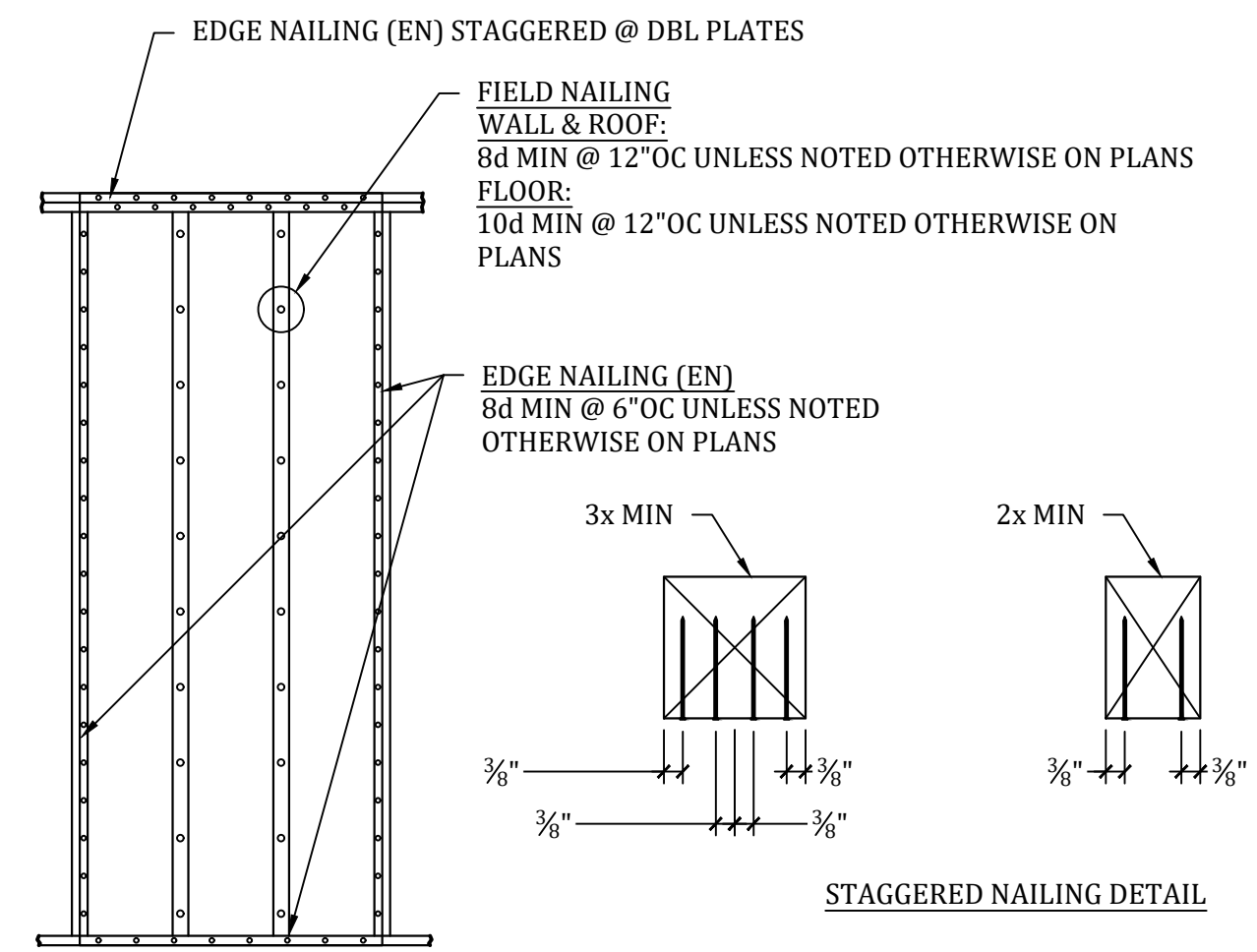
STANDARD INSTALLATION						
HOLDOWN	STEM WALL	STRAP LENGTH (L)	STRAP LENGTH (RJ) (L)	MIN REBAR IN FOOTING	HD POST	HD TO POST CONNECTION
LSTHD8 (RJ)	6" OR 8"	18 3/8"	32 1/2"	(1) #4 TOP/BOT	(2) 2x OR 4x	(16) 16d SINKERS
SHTD8 (RJ)	6" OR 8"	21 3/8"	35 1/2"	(1) #4 TOP/BOT	(2) 2x OR 4x	(20) 16d SINKERS
SHTD10 (RJ)	6" OR 8"	24 3/8"	38 1/2"	(1) #4 TOP/BOT	(2) 2x OR 4x	(24) 16d SINKERS
SHTD14 (RJ)	6" OR 8"	26 3/8"	39 3/4"	(1) #4 TOP/BOT	(2) 2x OR 4x	(30) 16d SINKERS



TYPICAL HOLDOWN AT WINDOW/DOOR

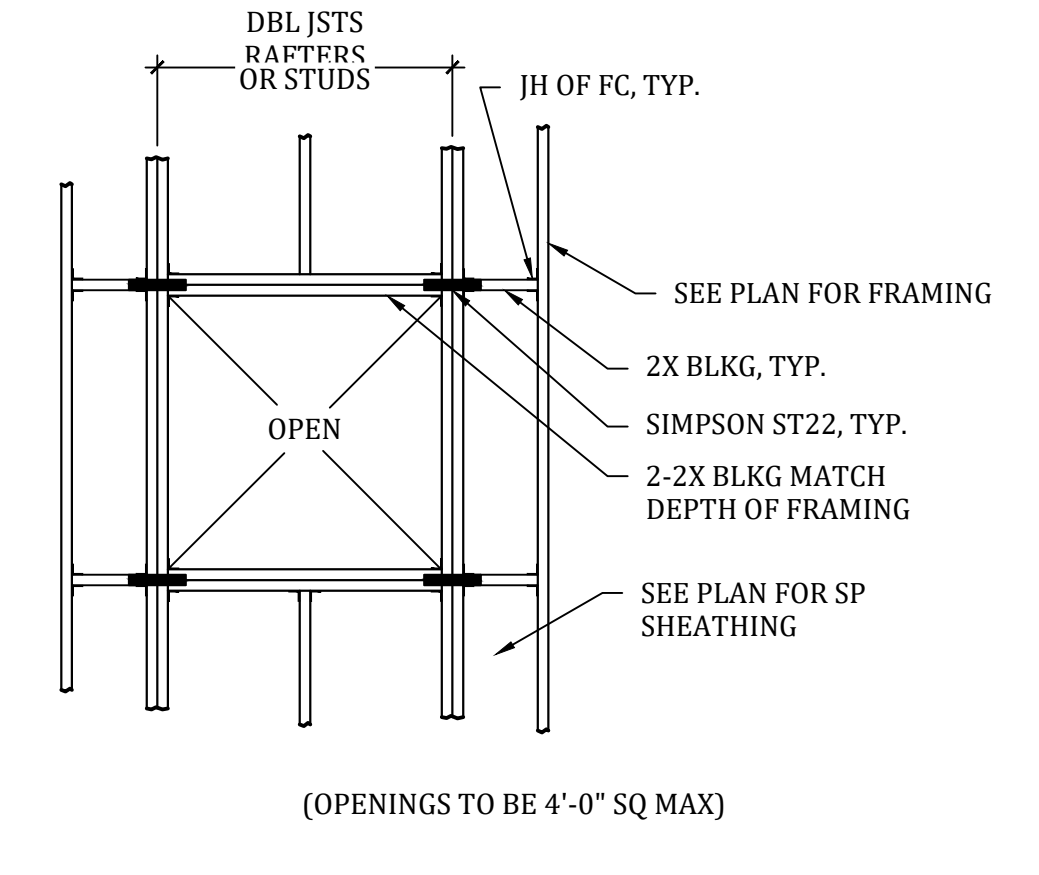
18

- EDGE NAILING (EN) AS CALLED FOR ON PLANS & SECTIONS APPLIES TO EDGES OF ALL SHEETS & AT ALL INTERIOR LINES AS FOLLOWS:
- AT SHEAR WALLS
- WHERE SP CONTACTS WALL PLATES & SOLID BLOCKING OVER WALL CONSTRUCTION. SEE DETAILS ON THIS SHEET.
 - AT 4X STUD ADJACENT TO HOLD-DOWN STRAP SEE DETAIL ON THIS SHEET.
- AT ROOF & FLOOR - DIAPHRAGMS
- AT BLOCKING OR TOP P'S OVER SHEAR WALLS.
 - AT TIES & BEAM IN LINE WITH SHEAR WALLS.
 - ADDITIONAL NAILINGS AS NOTED ON DRAWINGS.
- NOTES:
- WHERE 8d NAILS ARE SPACED @ 2 1/2" OC OR LESS OR 10d NAILS @ 3" OC OR LESS, NAILS SHALL BE STAGGERED & FRAMING SP JOINTS SHALL BE 3X OR LARGER. SEE DETAIL AT RIGHT.
 - WHERE 10d NAILS ARE SPACED @ 3" OC OR LESS, NAILS SHALL BE 10d SHORTS. SEE TYP NAILING SCHEDULE.
 - STAGGER SP JOINTS WHERE SHEAR WALL IS MORE THAN ONE VERTICAL PANEL IN HEIGHT.



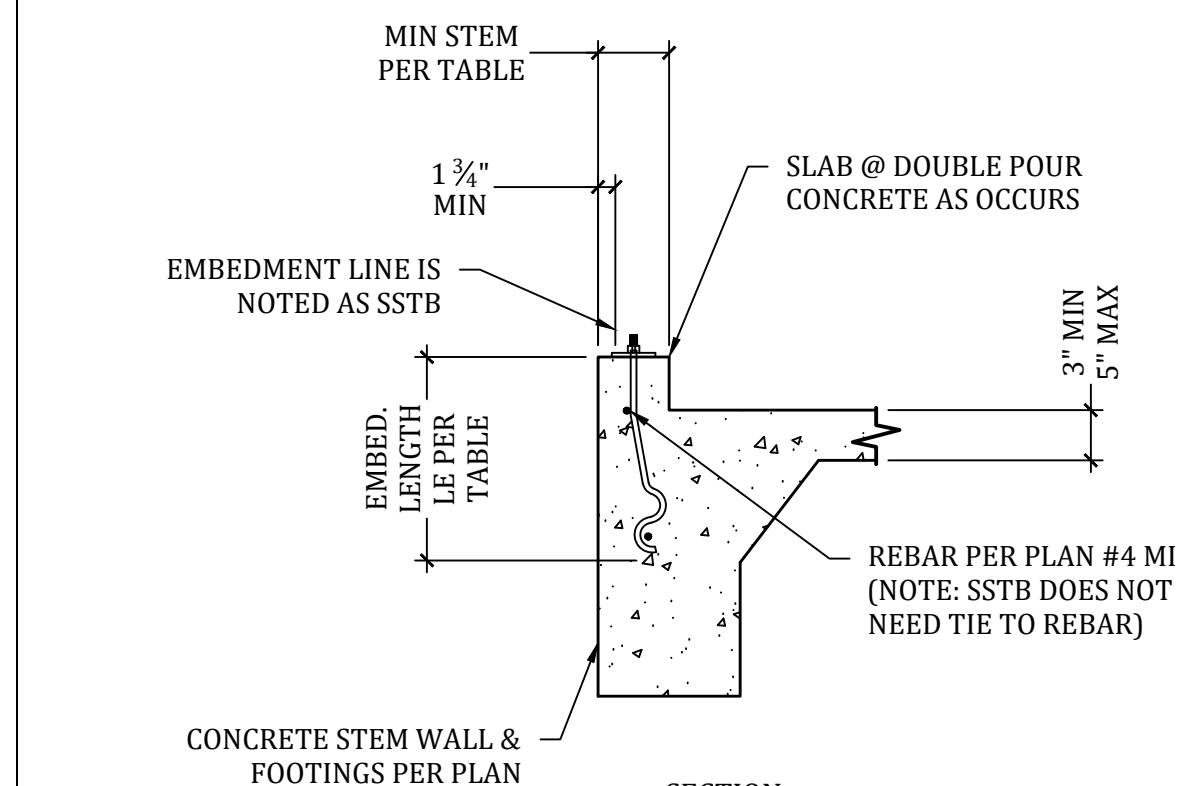
STRUCTURAL PLYWOOD & PLYWOOD SIDING NAILING

19

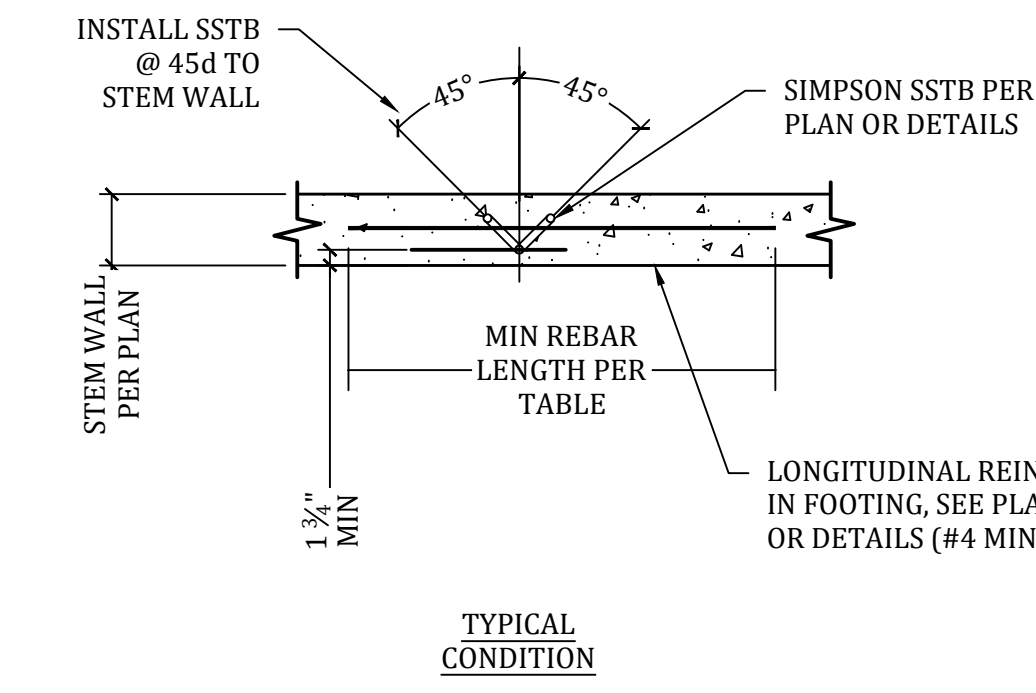


TYPICAL OPENING IN ROOF OR WALL PLYWOOD DIAPHRAGM

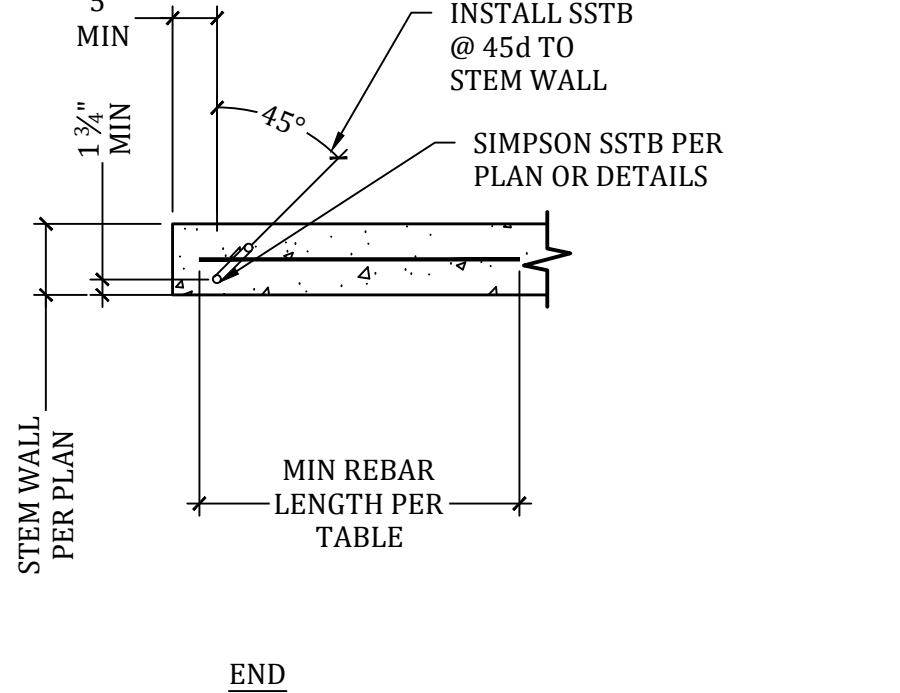
20



SECTION



TYPICAL CONDITION



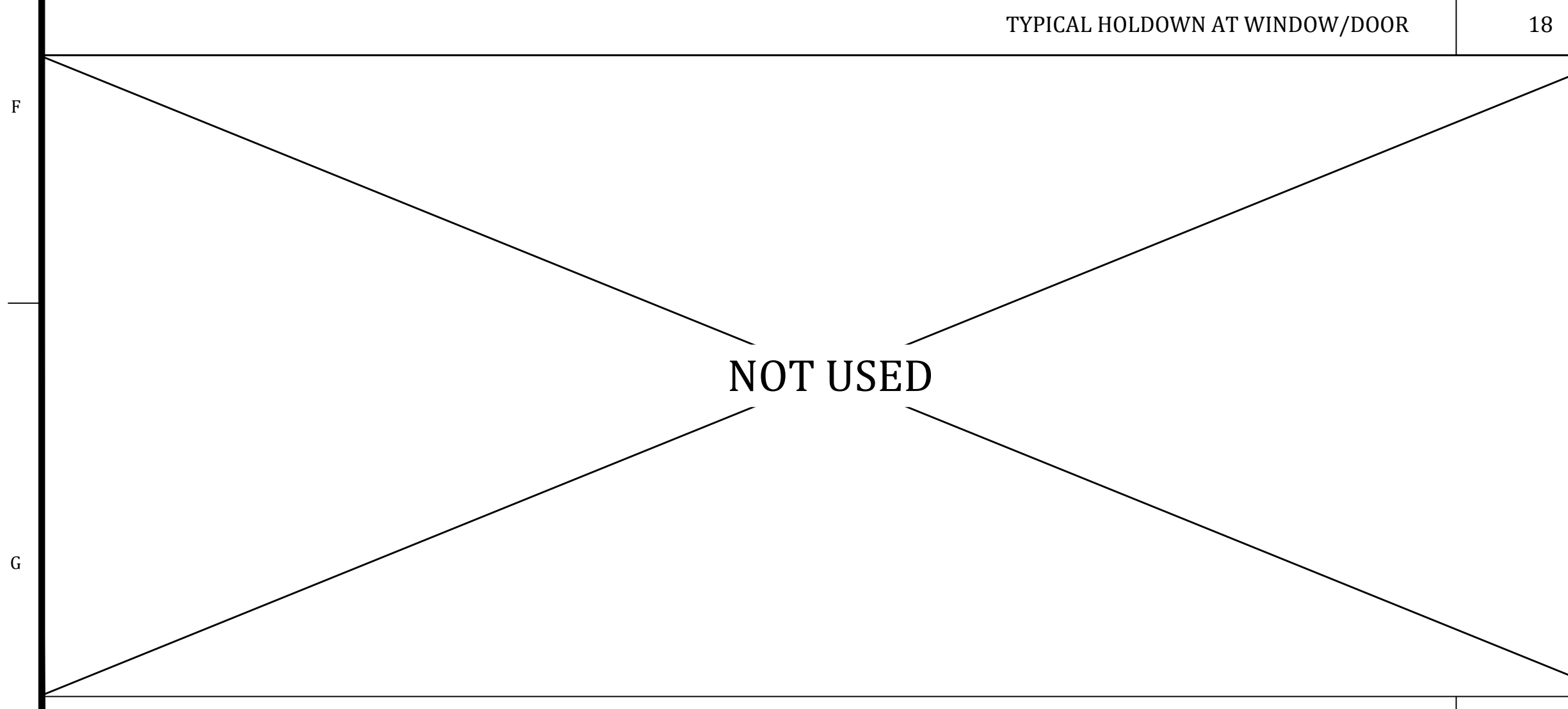
END CONDITION

HOLDOWN	APPLICABLE SIMPSON MODEL NO.		DIA	MIN STEM	MIN EMBED L _e	MIN REBAR IN FOOTING	HD POST	HD TO POST CONNECTION
	SINGLE POUR	DOUBLE POUR						
HDU2 ¹	SSTB20 ²	SSTB20 ²	5/8"	6"	12"	(1) #4 TOP, 4'-0" EA. DIR.	(2) 2x	(6) SDS 3/4"x2 1/2"
HDU4 ¹	SSTB24 ²	SSTB24 ²	5/8"	6"	17"	(1) #4 TOP, 4'-0" EA. DIR.	(2) 2x	(10) SDS 3/4"x2 1/2"
HDU5	SSTB24 ²	SSTB24 ²	5/8"	6"	21"	(1) #4 TOP, 4'-0" EA. DIR.	(2) 2x	(14) SDS 3/4"x2 1/2"
HDU8	SSTB28 ²	SSTB34	7/8"	8"	24"	(1) #4 TOP & (1) #4 BOT 5'-6" EA. DIR.	4x	(20) SDS 3/4"x2 1/2"
HDU11	SB1x30	SB1x30	1"	8"	24"	(2) #4 TOP & (2) #4 BOT 10'-0" EA. DIR.	4x6	(30) SDS 3/4"x2 1/2"
HDU14	SB1x30	SB1x30	1"	8"	24"	(2) #4 TOP & (2) #4 BOT 10'-0" EA. DIR.	4x6	(36) SDS 3/4"x2 1/2"
HDQ8	SSTB28 ²	SSTB34	7/8"	8"	24"	(1) #4 TOP & (1) #4 BOT 5'-6" EA. DIR.	4x	(20) SDS 3/4"x3"
HDQ8	SSTB28 ²	SSTB34	7/8"	8"	24"	(1) #4 TOP & (1) #4 BOT 7'-0" EA. DIR.	4x6	(20) SDS 3/4"x3"
HDQ11	PAB7-24	PAB7-24	1"	8"	24"	(2) #4 TOP & (2) #4 BOT 10'-0" EA. DIR.	4x6	(24) SDS 3/4"x2 1/2"
HDQ14	PAB7-24	PAB7-24	1"	8"	24"	(2) #4 TOP & (2) #4 BOT 10'-0" EA. DIR.	4x8	(24) SDS 3/4"x2 1/2"

- FOR RETROFIT APPLICATION, OMIT SSTB. REFER TO DETAIL 21/SD2.
- PROVIDE SSTBXL ANCHOR BOLT FOR 3x MUD SILLS.
- SEE ADDITIONAL DETAILS AS APPLICABLE FOR ALTERNATIVE HOLD-DOWN REQUIREMENTS.
- ALL HARDWARE TO BE SIMPSON OR EQUAL.
- PROVIDE 8" DIA. OR 8" SQ DEEPENED AREA AROUND HOLD-DOWN ANCHOR TO ACHIEVE 3" CLEAR COVER BELOW BOTTOM OF HOLD-DOWN ANCHORS AS REQUIRED.
- ALL HOLD-DOWN NAILS TO BE COMMON WIRE NAILS U.N.O.
- CONNECT DOUBLE HOLD-DOWN STUDS TOGETHER WITH (24) 16d SINKER NAILS MINIMUM.
- WHEN USING STAINLESS STEEL OR HOT-DIP GALVANIZED CONNECTORS, THE CONNECTORS AND FASTENERS SHOULD BE OF THE SAME MATERIAL.
- HDU14 REQUIRES HEAVY HEX NUT.
- CONTINUE HD POST TO MUDSILL OR PROVIDE SOLID BLOCKING.
- MINIMUM CONCRETE COMPRESSIVE STRENGTH IS 2500psi. FOR 2000psi ALLOWABLE LOADS ARE 0.89x THE TABLE ALLOWABLE LOADS. FOR CORNER CONDITIONS, ALLOWABLE LOADS BASED ON 2000psi CONCRETE.
- 16d SINKER OR 10d COMMON NAILS MAY BE SUBSTITUTED FOR SPECIFIED 16d COMMON NAILS AT 0.85x THE ALLOWABLE TABLE LOADS.
- CALCULATE ALLOWABLE LOADS USING STRAIGHT LINE INTERPOLATION FOR CORNER DISTANCES BETWEEN 1/2" AND 8".
- SEE CURRENT SIMPSON CATALOG FOR ADDITIONAL DESIGN REQUIREMENTS.

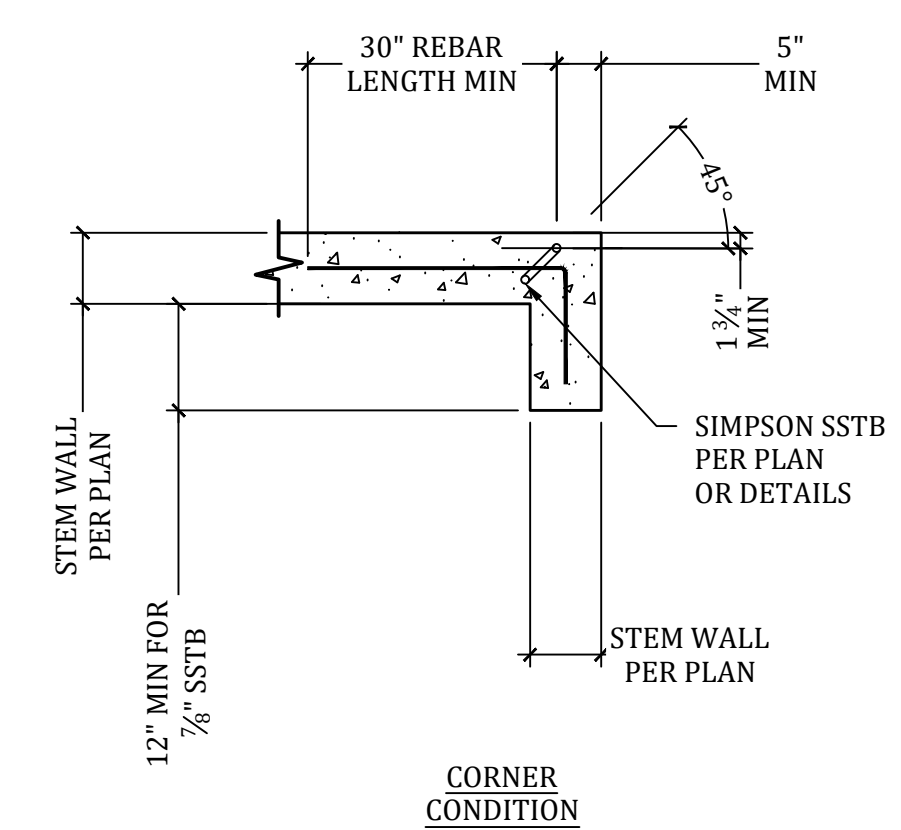
SSTB INSTALLATION AND DETAILS

22



EPOXY-TIE HOLD-DOWN ANCHOR

21



CORNER CONDITION

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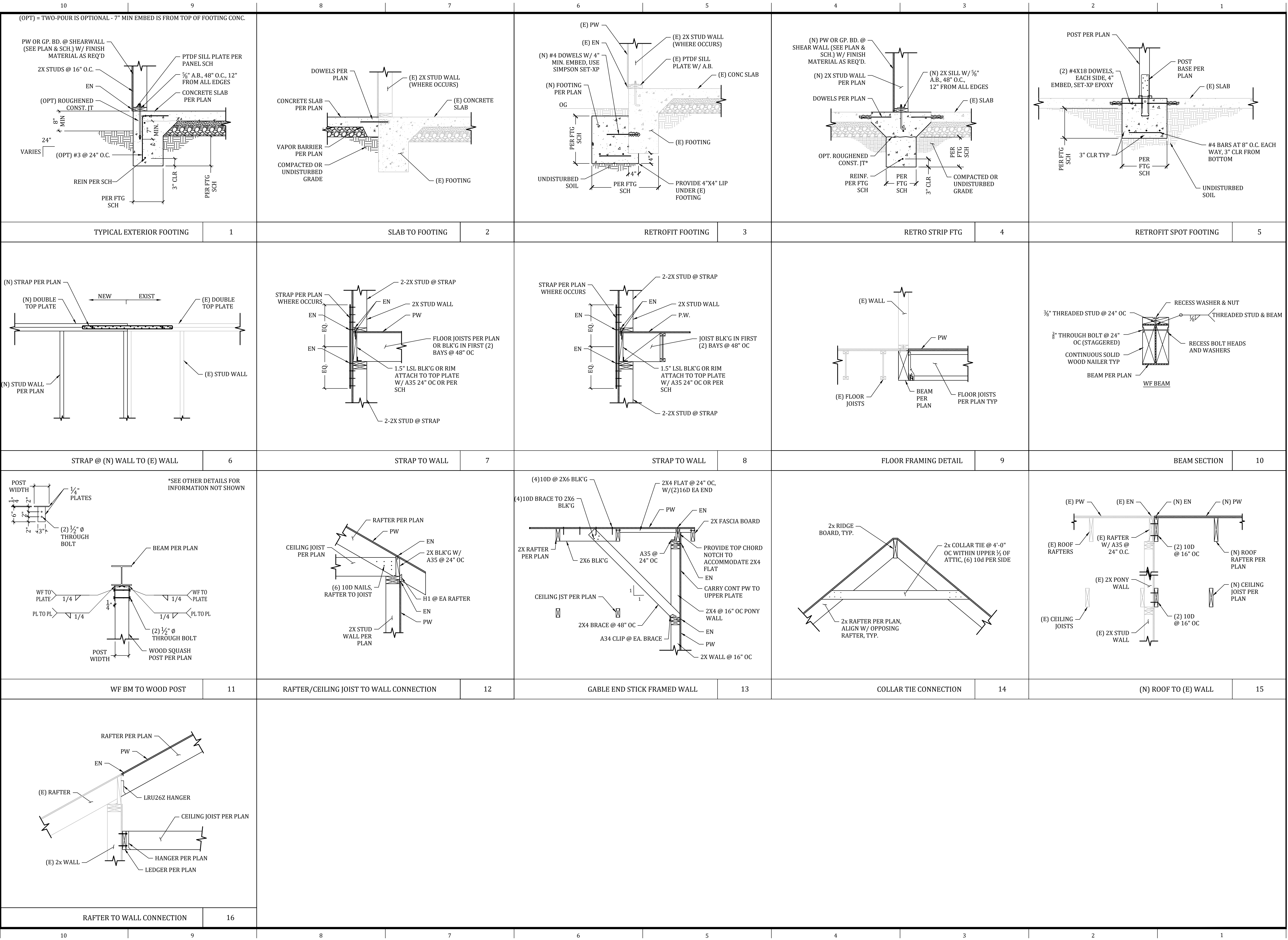
TITLE:

ADDRESS:

REGISTERED PROFESSIONAL ENGINEER
COLLIN DILWORTH
No. 87846
DATE: 07/30/24
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SD2



(OPT) = TWO-POUR IS OPTIONAL - 7" MIN EMBED IS FROM TOP OF FOOTING CONC.
 PW OR GP. BD. @ SHEARWALL (SEE PLAN & SCH.) W/ FINISH MATERIAL AS REQ'D
 PTDF SILL PLATE PER PANEL SCH
 3/8" A.B., 48" O.C., 12" FROM ALL EDGES
 CONCRETE SLAB PER PLAN
 2X STUDS @ 16" O.C.
 EN
 (OPT) ROUGHENED CONST. JT
 24"
 VARIES
 (OPT) #3 @ 24" O.C.
 REIN PER SCH
 PER FTG SCH
 3" CLR

DOWELS PER PLAN
 (E) 2X STUD WALL (WHERE OCCURS)
 CONCRETE SLAB PER PLAN
 VAPOR BARRIER PER PLAN
 COMPACTED OR UNDISTURBED GRADE
 (E) FOOTING
 (E) CONCRETE SLAB

(E) PW
 (E) EN
 (N) #4 DOWELS W/ 4" MIN. EMBED, USE SIMPSON SET-XP
 (N) FOOTING PER PLAN
 OG
 PER FTG SCH
 UNDISTURBED SOIL
 (E) 2X STUD WALL (WHERE OCCURS)
 (E) PTDF SILL PLATE W/ A.B.
 (E) CONC SLAB
 (E) FOOTING
 PROVIDE 4"x4" LIP UNDER (E) FOOTING

(N) PW OR GP. BD. @ SHEAR WALL (SEE PLAN & SCH.) W/ FINISH MATERIAL AS REQ'D.
 (N) 2X STUD WALL PER PLAN
 DOWELS PER PLAN
 OPT. ROUGHENED CONST. JT
 REIN. PER FTG SCH
 PER FTG SCH
 3" CLR
 (N) 2X SILL W/ 3/8" A.B., 48" O.C., 12" FROM ALL EDGES
 (E) SLAB
 COMPACTED OR UNDISTURBED GRADE

POST PER PLAN
 POST BASE PER PLAN
 (E) SLAB
 UNDISTURBED SOIL
 (2) #4X18 DOWELS, EACH SIDE, 4" EMBED, SET-XP EPOXY
 #4 BARS AT 8" O.C. EACH WAY, 3" CLR FROM BOTTOM

TYPICAL EXTERIOR FOOTING
 1
 (N) STRAP PER PLAN
 (N) DOUBLE TOP PLATE
 NEW
 EXIST
 (E) DOUBLE TOP PLATE
 (E) STUD WALL
 (N) STUD WALL PER PLAN

SLAB TO FOOTING
 2
 STRAP PER PLAN WHERE OCCURS
 EN
 PW
 FLOOR JOISTS PER PLAN OR BLK'G IN FIRST (2) BAYS @ 48" OC
 1.5" LSL BLK'G OR RIM ATTACH TO TOP PLATE W/ A35 24" OC OR PER SCH
 2-2X STUD @ STRAP

RETROFIT FOOTING
 3
 STRAP PER PLAN WHERE OCCURS
 EN
 PW
 JOIST BLK'G IN FIRST (2) BAYS @ 48" OC
 1.5" LSL BLK'G OR RIM ATTACH TO TOP PLATE W/ A35 24" OC OR PER SCH
 2-2X STUD @ STRAP

RETRO STRIP FTG
 4
 (E) WALL
 PW
 (E) FLOOR JOISTS
 BEAM PER PLAN
 FLOOR JOISTS PER PLAN TYP

RETROFIT SPOT FOOTING
 5
 RECESS WASHER & NUT
 3/8" THROUGH BOLT @ 24" OC (STAGGERED)
 CONTINUOUS SOLID WOOD NAILER TYP
 BEAM PER PLAN
 WF BEAM
 RECESS BOLT HEADS AND WASHERS

STRAP @ (N) WALL TO (E) WALL
 6
 POST WIDTH
 1/4" PLATES
 (2) 1/2" THROUGH BOLT
 BEAM PER PLAN
 WF TO PLATE
 PL TO PL
 POST WIDTH
 WOOD SQUASH POST PER PLAN
 *SEE OTHER DETAILS FOR INFORMATION NOT SHOWN

STRAP TO WALL
 7
 STRAP PER PLAN
 EN
 PW
 RAFTER PER PLAN
 CEILING JOIST PER PLAN
 (6) 10D NAILS, RAFTER TO JOIST
 2X STUD WALL PER PLAN

STRAP TO WALL
 8
 (4)10D @ 2X6 BLK'G
 (4)10D BRACE TO 2X6 BLK'G
 2X4 FLAT @ 24" OC, W/(2)16D EA END
 PW
 EN
 2X FASCIA BOARD
 CEILING JST PER PLAN
 2X4 BRACE @ 48" OC
 A34 CLIP @ EA. BRACE

FLOOR FRAMING DETAIL
 9
 2x RIDGE BOARD, TYP.
 2x RAFTER PER PLAN, ALIGN W/ OPPOSING RAFTER, TYP.

BEAM SECTION
 10
 (E) PW
 (E) EN
 (N) EN
 (N) PW
 (E) ROOF RAFTERS
 (E) RAFTER W/ A35 @ 24" O.C.
 (2) 10D @ 16" OC
 (N) ROOF RAFTER PER PLAN
 (E) 2X PONY WALL
 (E) 2X STUD WALL
 (2) 10D @ 16" OC
 (N) CEILING JOIST PER PLAN

WF BM TO WOOD POST
 11
 RAFTER PER PLAN
 PW
 EN
 (E) RAFTER
 LRU26Z HANGER
 CEILING JOIST PER PLAN
 HANGER PER PLAN
 LEDGER PER PLAN
 (E) 2x WALL

RAFTER/CEILING JOIST TO WALL CONNECTION
 12
 RAFTER PER PLAN
 PW
 EN
 CEILING JOIST PER PLAN

GABLE END STICK FRAMED WALL
 13
 (4)10D @ 2X6 BLK'G
 2X4 FLAT @ 24" OC, W/(2)16D EA END
 PW
 EN
 2X FASCIA BOARD
 CEILING JST PER PLAN
 2X4 BRACE @ 48" OC
 A34 CLIP @ EA. BRACE

COLLAR TIE CONNECTION
 14
 2x RIDGE BOARD, TYP.
 2x RAFTER PER PLAN, ALIGN W/ OPPOSING RAFTER, TYP.

(N) ROOF TO (E) WALL
 15
 (E) PW
 (E) EN
 (N) EN
 (N) PW
 (E) ROOF RAFTERS
 (E) RAFTER W/ A35 @ 24" O.C.
 (2) 10D @ 16" OC
 (N) ROOF RAFTER PER PLAN
 (E) 2X PONY WALL
 (E) 2X STUD WALL
 (2) 10D @ 16" OC
 (N) CEILING JOIST PER PLAN

RAFTER TO WALL CONNECTION
 16
 RAFTER PER PLAN
 PW
 EN
 (E) RAFTER
 LRU26Z HANGER
 CEILING JOIST PER PLAN
 HANGER PER PLAN
 LEDGER PER PLAN
 (E) 2x WALL

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