APN:071-0760-050

BUILDING LOT COVERAGE

(E) SF (N) SF CHANGE (E) SF (E) % (N) SF (N) % (SF) CHANGE (%)

1263 SF | 11263 SF | 0 SF | 1436 SF | 12.75% | 1524 SF | 13.53% | 88 SF

PROJECT LOCATION:

FOLSOM, CA 95630

142 Casselman street,

<u>LEDGESTONE</u>

TRUE NORTH (BLACK)
PROJECT NORTH (GREY)

Name ____

ELEVATION DATUM

ELEV: #"

SPOT ELEVATION

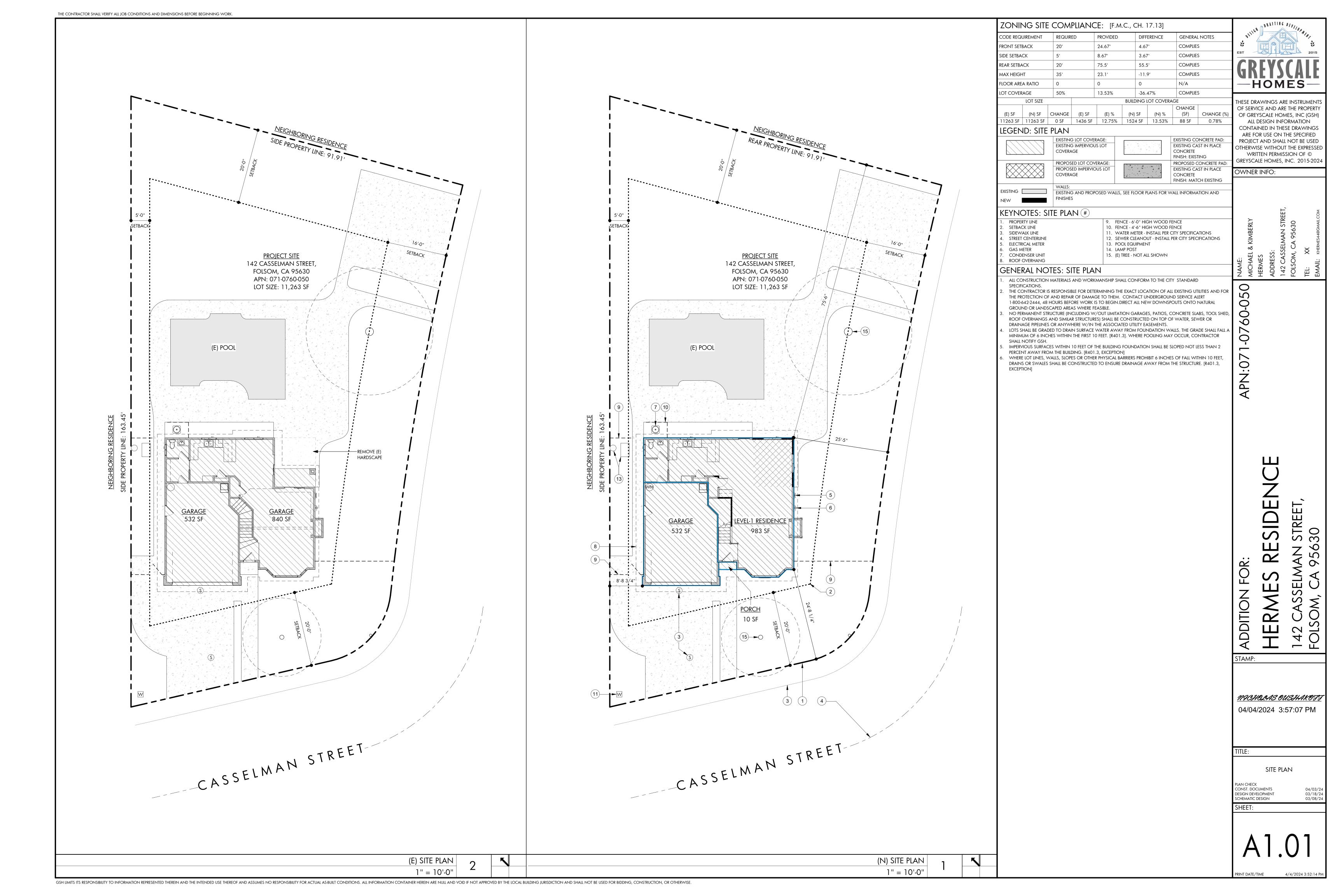
AIA 2022 CALIFORNIA GREEN BUILDING STANDARD CODE - RESIDENTIAL MANDATORY MEASURES, SHEET 1 (JAN 2023) N/A RESP. CHAPTER 3 PARTY GREEN BUILDING RESP. 4.106.4.2.1 MULTIFAMILY DEVELOPMENT PROJECTS WITH LESS THAN 20 DWELLING UNITS; AND HOTELS AND MOTELS WITH RESP. 4.106.4.2.4 IDENTIFICATION. RESP. 4.304 OUTDOOR WATER USE $^{\mathsf{ARTY}}$ Less than 20 sleeping units or guest rooms. PARTY THE SERVICE PANEL OR SUBPANEL CIRCUIT DIRECTORY SHALL IDENTIFY THE OVERCURRENT PROTECTIVE DEVICE SPACE(S) RESERVED PARTY 4.304.1 OUTDOOR POTABLE WATER USE IN LANDSCAPE AREAS . RESIDENTIAL DEVELOPMENTS SHALL COMPLY WITH A LOCAL the number of dwelling units, sleeping units or guest rooms shall be based on all buildings on a project site vater efficient landscape ordinance or the current california department of water resources' model water SECTION 301 GENERAL FOR FUTURE EV CHARGING PURPOSES AS "EV CAPABLE" IN ACCORDANCE WITH THE CALIFORNIA ELECTRICAL CODE. EFFICIENT LANDSCAPE ORDINANCE (MWELO), WHICHEVER IS MORE STRINGENT. SUBJECT TO THIS SECTION. 301.1 SCOPE. BUILDINGS SHALL BE DESIGNED TO INCLUDE THE GREEN BUILDING MEASURES SPECIFIED AS MANDATORY IN THE 4.106.4.2.5 ELECTRIC VEHICLE READY SPACE SIGNAGE APPLICATION CHECKLISTS CONTAINED IN THIS CODE. VOLUNTARY GREEN BUILDING MEASURES ARE ALSO INCLUDED IN THE 1.EV CAPABLE. TEN (10) PERCENT OF THE TOTAL NUMBER OF PARKING SPACES ON A BUILDING SITE, PROVIDED FOR ALL TYPES OF ELECTRIC VEHICLE READY SPACES SHALL BE IDENTIFIED BY SIGNAGE OR PAVEMENT MARKINGS, IN COMPLIANCE WITH CALTRANS APPLICATION CHECKLISTS AND MAY BE INCLUDED IN THE DESIGN AND CONSTRUCTION OF STRUCTURES COVERED BY THIS PARKING FACILITIES, SHALL BE ELECTRIC VEHICLE CHARGING SPACES (EV SPACES) CAPABLE OF SUPPORTING FUTURE LEVEL 2 EVSE. TRAFFIC OPERATIONS POLICY DIRECTIVE 13-01 (ZERO EMISSION VEHICLE SIGNS AND PAVEMENT MARKINGS) OR ITS CODE, BUT ARE NOT REQUIRED UNLESS ADOPTED BY A CITY, COUNTY, OR CITY AND COUNTY AS SPECIFIED IN SECTION 101.7. electrical load calculations shall demonstrate that the electrical panel service capacity and electrical system, THE MODEL WATER EFFICIENT LANDSCAPE ORDINANCE (MWELO) IS LOCATED IN THE CALIFORNIA CODE REGULATIONS, INCLUDING ANY ON-SITE DISTRIBUTION TRANSFORMER(S), HAVE SUFFICIENT CAPACITY TO SIMULTANEOUSLY CHARGE ALL EVS AT title 23, chapter 2.7, division 2. mwelo and supporting documents, including water budget calculator, are 301.1.1 ADDITIONS AND ALTERATIONS. [HCD] THE MANDATORY PROVISIONS OF CHAPTER 4 SHALL BE APPLIED TO 4.106.4.3 ELECTRIC VEHICLE CHARGING FOR ADDITIONS AND ALTERATIONS OF PARKING FACILITIES SERVING EXISTING AVAILABLE AT: HTTPS://WWW.WATER.CA.GOV/ ALL REQUIRED EV SPACES AT A MINIMUM OF 40 AMPERES. ADDITIONS OR ALTERATIONS OF EXISTING RESIDENTIAL BUILDINGS WHERE THE ADDITION OR ALTERATION INCREASES THE MULTIFAMILY BUILDINGS. BUILDING'S CONDITIONED AREA, VOLUME, OR SIZE. THE REQUIREMENTS SHALL APPLY ONLY TO AND/OR WITHIN THE SPECIFIC THE SERVICE PANEL OR SUBPANEL CIRCUIT DIRECTORY SHALL IDENTIFY THE OVERCURRENT PROTECTIVE DEVICE SPACE(S) RESERVED WHEN NEW PARKING FACILITIES ARE ADDED, OR ELECTRICAL SYSTEMS OR LIGHTING OF EXISTING PARKING FACILITIES ARE ADDED DIVISION 4.4 MATERIAL CONSERVATION AND RESOURCE EFFICIENCY AREA OF THE ADDITION OR ALTERATION. FOR FUTURE EV CHARGING PURPOSES AS "EV CAPABLE" IN ACCORDANCE WITH THE CALIFORNIA ELECTRICAL CODE. OR ALTERED AND THE WORK REQUIRES A BUILDING PERMIT, TEN (10) PERCENT OF THE TOTAL NUMBER OF PARKING SPACES 4.406 ENHANCED DURABILITY AND REDUCED MAINTENANCE ADDED OR ALTERED SHALL BE ELECTRIC VEHICLE CHARGING SPACES (EV SPACES) CAPABLE OF SUPPORTING FUTURE LEVEL 2 EVSE. 4.406.1 RODENT PROOFING. ANNULAR SPACES AROUND PIPES, ELECTRIC CABLES, CONDUITS OR OTHER OPENINGS IN the mandatory provision of Section 4.106.4.2 may apply to additions or alterations of existing parking SOLE/BOTTOM PLATES AT EXTERIOR WALLS SHALL BE PROTECTED AGAINST THE PASSAGE OF RODENTS BY CLOSING SUCH ALL DESIGN INFORMATION OPENINGS WITH CEMENT MORTAR, CONCRETE MASONRY OR A SIMILAR METHOD ACCEPTABLE TO THE ENFORCING AGENCY. FACILITIES OR THE ADDITION OF NEW PARKING FACILITIES SERVING EXISTING MULTIFAMILY BUILDINGS. SEE SECTION 4.106.4.3 .When ev chargers (level 2 evse) are installed in a number equal to or greater than the required number of ev 1.CONSTRUCTION DOCUMENTS ARE INTENDED TO DEMONSTRATE THE PROJECT'S CAPABILITY AND CAPACITY FOR FACILITATING ARE FOR USE ON THE SPECIFIED 4.408 CONSTRUCTION WASTE REDUCTION, DISPOSAL AND RECYCLING PROJECT AND SHALL NOT BE USED NOTE: REPAIRS INCLUDING, BUT NOT LIMITED TO, RESURFACING, RESTRIPING AND REPAIRING OR MAINTAINING EXISTING 2.THERE IS NO REQUIREMENT FOR EV SPACES TO BE CONSTRUCTED OR AVAILABLE UNTIL EV CHARGERS ARE INSTALLED FOR USE. 4.408.1 CONSTRUCTION WASTE MANAGEMENT. RECYCLE AND/OR SALVAGE FOR REUSE A MINIMUM OF 65 PERCENT OF THE LIGHTING FIXTURES ARE NOT CONSIDERED ALTERATIONS FOR THE PURPOSE OF THIS SECTION. 2.When ev Chargers (level 2 evse) are installed in a number less than the required number of ev capable spaces, non-hazardous construction and demolition waste in accordance with either section 4.408.2, 4.408.3 or OTHERWISE WITHOUT THE EXPRESSED THE NUMBER OF EV CAPABLE SPACES REQUIRED MAY BE REDUCED BY A NUMBER EQUAL TO THE NUMBER OF EV CHARGERS 4.408.4, OR MEET A MORE STRINGENT LOCAL CONSTRUCTION AND DEMOLITION WASTE MANAGEMENT ORDINANCE. DIVISION 4.2 ENERGY EFFICIENCY WRITTEN PERMISSION OF © NOTE: ON AND AFTER JANUARY 1, 2014, RESIDENTIAL BUILDINGS UNDERGOING PERMITTED ALTERATIONS, ADDITIONS, OR Greyscale Homes, Inc. 2015-2024 4.201.1 SCOPE. FOR THE PURPOSES OF MANDATORY ENERGY EFFICIENCY STANDARDS IN THIS CODE, THE CALIFORNIA ENERGY IMPROVEMENTS SHALL REPLACE NONCOMPLIANT PLUMBING FIXTURES WITH WATER-CONSERVING PLUMBING FIXTURES. EXCEPTIONS: PLUMBING FIXTURE REPLACEMENT IS REQUIRED PRIOR TO ISSUANCE OF A CERTIFICATE OF FINAL COMPLETION, CERTIFICATE OF NOTES: COMMISSION WILL CONTINUE TO ADOPT MANDATORY STANDARDS. DWNER INFO: EXCAVATED SOIL AND LAND-CLEARING DEBRIS. OCCUPANCY OR FINAL PERMIT APPROVAL BY THE LOCAL BUILDING DEPARTMENT, SEE CIVIL CODE SECTION 1101.1. ET SEQ. FOR THE DEFINITION OF A NONCOMPLIANT PLUMBING FIXTURE, TYPES OF RESIDENTIAL BUILDINGS AFFECTED AND OTHER A.CONSTRUCTION DOCUMENTS ARE INTENDED TO DEMONSTRATE THE PROJECT'S CAPABILITY AND CAPACITY FOR FACILITATING DIVISION 4.3 WATER EFFICIENCY AND CONSERVATION ALTERNATE WASTE REDUCTION METHODS DEVELOPED BY WORKING WITH LOCAL AGENCIES IF DIVERSION OR RECYCLE IMPORTANT ENACTMENT DATES. 4.303 INDOOR WATER USE facilities capable of compliance with this item do not exist or are not located reasonably close to the jobsite. 4.303.1 WATER CONSERVING PLUMBING FIXTURES AND FITTINGS. PLUMBING FIXTURES (WATER CLOSETS AND URINALS) AND . The enforcing agency may make exceptions to the requirements of this section when isolated iobsites are 301.2 LOW-RISE AND HIGH-RISE RESIDENTIAL BUILDINGS. [HCD] THE PROVISIONS OF INDIVIDUAL SECTIONS OF CALGREEN B.THERE IS NO REQUIREMENT FOR EV SPACES TO BE CONSTRUCTED OR AVAILABLE UNTIL RECEPTACLES FOR EV CHARGING OR EV FITTINGS (FAUCETS AND SHOWERHEADS) SHALL COMPLY WITH THE SECTIONS 4.303.1.1, 4.303.1.2, 4.303.1.3, AND 4.303.4.4. LOCATED IN AREAS BEYOND THE HAUL BOUNDARIES OF THE DIVERSION FACILITY. MAY APPLY TO EITHER LOW-RISE RESIDENTIAL BUILDINGS HIGH-RISE RESIDENTIAL BUILDINGS, OR BOTH. INDIVIDUAL SECTIONS CHARGERS ARE INSTALLED FOR USE will be designated by Banners to Indicate where the section applies specifically to low-rise only (LR) or high-NOTE: ALL NONCOMPLIANT PLUMBING FIXTURES IN ANY RESIDENTIAL REAL PROPERTY SHALL BE REPLACED WITH WATER-4.408.2 CONSTRUCTION WASTE MANAGEMENT PLAN . SUBMIT A CONSTRUCTION WASTE MANAGEMENT PLAN IN CONSERVING PLUMBING FIXTURES. PLUMBING FIXTURE REPLACEMENT IS REQUIRED PRIOR TO ISSUANCE OF A CERTIFICATE OF 2.EV READY . TWENTY-FIVE (25) PERCENT OF THE TOTAL NUMBER OF PARKING SPACES SHALL BE EQUIPPED WITH LOW POWER LEVEL RISE ONLY (HR). WHEN THE SECTION APPLIES TO BOTH LOW-RISE AND HIGH-RISE BUILDINGS, NO BANNER WILL BE USED. CONFORMANCE WITH ITEMS 1 THROUGH 5. THE CONSTRUCTION WASTE MANAGEMENT PLAN SHALL BE UPDATED AS 2 EV CHARGING RECEPTACLES, FOR MULTIFAMILY PARKING FACILITIES, NO MORE THAN ONE RECEPTACLE IS REQUIRED PER FINAL COMPLETION, CERTIFICATE OF OCCUPANCY, OR FINAL PERMIT APPROVAL BY THE LOCAL BUILDING DEPARTMENT. SEE CIVIL NECESSARY AND SHALL BE AVAILABLE DURING CONSTRUCTION FOR EXAMINATION BY THE ENFORCING AGENCY. SECTION 302 MIXED OCCUPANCY BUILDINGS DWELLING UNIT WHEN MORE THAN ONE PARKING SPACE IS PROVIDED FOR USE BY A SINGLE DWELLING UNIT. CODE SECTION 1101.1, ET SEQ., FOR THE DEFINITION OF A NONCOMPLIANT PLUMBING FIXTURE, TYPES OF RESIDENTIAL BUILDINGS AFFECTED AND OTHER IMPORTANT ENACTMENT DATES. IDENTIFY THE CONSTRUCTION AND DEMOLITION WASTE MATERIALS TO BE DIVERTED FROM DISPOSAL BY RECYCLING, 302.1 MIXED OCCUPANCY BUILDINGS. IN MIXED OCCUPANCY BUILDINGS, EACH PORTION OF A BUILDING SHALL COMPLY EXCEPTION: AREAS OF PARKING FACILITIES SERVED BY PARKING LIFTS. REUSE ON THE PROJECT OR SALVAGE FOR FUTURE USE OR SALE. 4.303.1.1 WATER CLOSETS. THE EFFECTIVE FLUSH VOLUME OF ALL WATER CLOSETS SHALL NOT EXCEED 1.28 GALLONS PER ... Specify if construction and demolition waste materials will be sorted on-site (source separated) or WITH THE SPECIFIC GREEN BUILDING MEASURES APPLICABLE TO EACH SPECIFIC OCCUPANCY. 4.106.4.2.2 MULTIFAMILY DEVELOPMENT PROJECTS WITH 20 OR MORE DWELLING UNITS, HOTELS AND MOTELS WITH 20 OR FLUSH. TANK-TYPE WATER CLOSETS SHALL BE CERTIFIED TO THE PERFORMANCE CRITERIA OF THE U.S. EPA WATERSENSE BULK MIXED (SINGLE STREAM) I. [HCD] ACCESSORY STRUCTURES AND ACCESSORY OCCUPANCIES SERVING RESIDENTIAL BUILDINGS SHALL COMPLY WITH 3. Identify diversion facilities where the construction and demolition waste material collected will be MORE SLEEPING UNITS OR GUEST ROOMS SPECIFICATION FOR TANK-TYPE TOILETS. CHAPTER 4 AND APPENDIX A4, AS APPLICABLE. THE NUMBER OF DWELLING UNITS, SLEEPING UNITS OR GUEST ROOMS SHALL BE BASED ON ALL BUILDINGS ON A PROJECT SITE 2. [HCD] FOR PURPOSES OF *CALI*GREEN, LIVE/WORK UNITS, COMPLYING WITH SECTION 419 OF THE *CALIFORNIA BUILDING* NOTE: THE EFFECTIVE FLUSH VOLUME OF DUAL FLUSH TOILETS IS DEFINED AS THE COMPOSITE, AVERAGE FLUSH VOLUME OF TWO SUBJECT TO THIS SECTION. 4. IDENTIFY CONSTRUCTION METHODS EMPLOYED TO REDUCE THE AMOUNT OF CONSTRUCTION AND DEMOLITION WASTE CODE, SHALL NOT BE CONSIDERED MIXED OCCUPANCIES. LIVE/WORK UNITS SHALL COMPLY WITH CHAPTER 4 AND APPENDIX REDUCED FLUSHES AND ONE FULL FLUSH. 1.EV CAPABLE . TEN (10) PERCENT OF THE TOTAL NUMBER OF PARKING SPACES ON A BUILDING SITE, PROVIDED FOR ALL TYPES OF A4, AS APPLICABLE. SPECIFY THAT THE AMOUNT OF CONSTRUCTION AND DEMOLITION WASTE MATERIALS DIVERTED SHALL BE CALCULATED PARKING FACILITIES, SHALL BE ELECTRIC VEHICLE CHARGING SPACES (EV SPACES) CAPABLE OF SUPPORTING FUTURE LEVEL 2 EVSE. 4.303.1.2 URINALS. THE EFFECTIVE FLUSH VOLUME OF WALL MOUNTED URINALS SHALL NOT EXCEED 0.125 GALLONS PER FLUSH. BY WEIGHT OR VOLUME, BUT NOT BY BOTH. DIVISION 4.1 PLANNING AND DESIGN ELECTRICAL LOAD CALCULATIONS SHALL DEMONSTRATE THAT THE ELECTRICAL PANEL SERVICE CAPACITY AND ELECTRICAL SYSTEM, THE EFFECTIVE FLUSH VOLUME OF ALL OTHER URINALS SHALL NOT EXCEED 0.5 GALLONS PER FLUSH. INCLUDING ANY ON-SITE DISTRIBUTION TRANSFORMER(S), HAVE SUFFICIENT CAPACITY TO SIMULTANEOUSLY CHARGE ALL EVS AT 4.408.3 WASTE MANAGEMENT COMPANY. UTILIZE A WASTE MANAGEMENT COMPANY, APPROVED BY THE ENFORCING ABBREVIATION DEFINITIONS: 5 DEPARTMENT OF HOUSING AND COMMUNITY DEVELOPMENT ALL REQUIRED EV SPACES AT A MINIMUM OF 40 AMPERES. 4.303.1.3 SHOWERHEADS. AGENCY, WHICH CAN PROVIDE VERIFIABLE DOCUMENTATION THAT THE PERCENTAGE OF CONSTRUCTION AND DEMOLITION 0 CALIFORNIA BUILDING STANDARDS COMMISSION WASTE MATERIAL DIVERTED FROM THE LANDFILL COMPLIES WITH SECTION 4.408.1. THE SERVICE PANEL OR SUBPANEL CIRCUIT DIRECTORY SHALL IDENTIFY THE OVERCURRENT PROTECTIVE DEVICE SPACE(S) RESERVED DSA-SS DIVISION OF THE STATE ARCHITECT, STRUCTURAL SAFETY 4.303.1.3.1 SINGLE SHOWERHEAD. SHOWERHEADS SHALL HAVE A MAXIMUM FLOW RATE OF NOT MORE THAN 1.8 GALLONS Ó OSHPD OFFICE OF STATEWIDE HEALTH PLANNING AND DEVELOPMENT FOR FUTURE EV CHARGING PURPOSES AS "EV CAPABLE" IN ACCORDANCE WITH THE CALIFORNIA ELECTRICAL CODE. PER MINUTE AT 80 PSI. SHOWERHEADS SHALL BE CERTIFIED TO THE PERFORMANCE CRITERIA OF THE U.S. EPA WATERSENSE NOTE: THE OWNER OR CONTRACTOR MAY MAKE THE DETERMINATION IF THE CONSTRUCTION AND DEMOLITION WASTE SPECIFICATION FOR SHOWERHEADS. MATERIALS WILL BE DIVERTED BY A WASTE MANAGEMENT COMPANY. IOW RISE EXCEPTION: WHEN EV CHARGERS (LEVEL 2 EVSE) ARE INSTALLED IN A NUMBER GREATER THAN FIVE (5) PERCENT OF PARKING HIGH RISE 4.303.1.3.2 MULTIPLE SHOWERHEADS SERVING ONE SHOWER . WHEN A SHOWER IS SERVED BY MORE THAN ONE ADDITIONS AND ALTERATIONS SPACES REQUIRED BY SECTION 4.106.4.2.2, ITEM 3, THE NUMBER OF EV CAPABLE SPACES REQUIRED MAY BE REDUCED BY A 4.408.4 WASTE STREAM REDUCTION ALTERNATIVE [LR]. PROJECTS THAT GENERATE A TOTAL COMBINED WEIGHT OF AA number equal to the number of ev chargers installed over the five (5) percent required. SHOWERHEAD, THE COMBINED FLOW RATE OF ALL THE SHOWERHEADS AND/OR OTHER SHOWER OUTLETS CONTROLLED BY A Construction and demolition waste disposed of in landfills, which do not exceed 3.4 lbs./sq.ft. of the 0 SINGLE VALVE SHALL NOT EXCEED 1.8 GALLONS PER MINUTE AT 80 PSI, OR THE SHOWER SHALL BE DESIGNED TO ONLY ALLOW BUILDING AREA SHALL MEET THE MINIMUM 65% CONSTRUCTION WASTE REDUCTION REQUIREMENT IN SECTION 4.408.1 CHAPTER 4 ONE SHOWER OUTLET TO BE IN OPERATION AT A TIME. RESIDENTIAL MANDATORY MEASURES 4.408.4.1 WASTE STREAM REDUCTION ALTERNATIVE. PROJECTS THAT GENERATE A TOTAL COMBINED WEIGHT OF A.CONSTRUCTION DOCUMENTS SHALL SHOW LOCATIONS OF FUTURE EV SPACES. NOTE: A HAND-HELD SHOWER SHALL BE CONSIDERED A SHOWERHEAD. Construction and demolition waste disposed of in landfills, which do not exceed 2 pounds per square foot 0 SECTION 4.102 DEFINITIONS OF THE BUILDING AREA, SHALL MEET THE MINIMUM 65% CONSTRUCTION WASTE REDUCTION REQUIREMENT IN SECTION 4.408.1 b.there is no requirement for ev spaces to be constructed or available until receptacles for ev charging or ev 4.102.1 DEFINITIONS 4.303.1.4 FAUCETS. THE FOLLOWING TERMS ARE DEFINED IN CHAPTER 2 (AND ARE INCLUDED HERE FOR REFERENCE) CHARGERS ARE INSTALLED FOR USE 4.408.5 DOCUMENTATION . DOCUMENTATION SHALL BE PROVIDED TO THE ENFORCING AGENCY WHICH DEMONSTRATES 4.303.1.4.1 RESIDENTIAL LAVATORY FAUCETS. THE MAXIMUM FLOW RATE OF RESIDENTIAL LAVATORY FAUCETS SHALL NOT COMPLIANCE WITH SECTION 4.408.2. ITEMS 1 THROUGH 5. SECTION 4.408.3 OR SECTION 4.408.4. 2.ev ready. Twenty-five (25) percent of the total number of parking spaces shall be equipped with low power level FRENCH DRAIN. A TRENCH, HOLE OR OTHER DEPRESSED AREA LOOSELY FILLED WITH ROCK, GRAVEL, FRAGMENTS OF BRICK OR EXCEED 1.2 GALLONS PER MINUTE AT 60 PSI. THE MINIMUM FLOW RATE OF RESIDENTIAL LAVATORY FAUCETS SHALL NOT BE LESS 2 ev charging receptacles. For multifamily parking facilities, no more than one receptacle is required per SIMILAR PERVIOUS MATERIAL USED TO COLLECT OR CHANNEL DRAINAGE OR RUNOFF WATER. THAN 0.8 GALLONS PER MINUTE AT 20 PSI. DWELLING UNIT WHEN MORE THAN ONE PARKING SPACE IS PROVIDED FOR USE BY A SINGLE DWELLING UNIT. 4.303.1.4.2 LAVATORY FAUCETS IN COMMON AND PUBLIC USE AREAS. THE MAXIMUM FLOW RATE OF LAVATORY FAUCETS SAMPLE FORMS FOUND IN "A GUIDE TO THE CALIFORNIA GREEN BUILDING STANDARDS CODE (RESIDENTIAL)" LOCATED AT WATTLES. WATTLES ARE USED TO REDUCE SEDIMENT IN RUNOFF. WATTLES ARE OFTEN CONSTRUCTED OF NATURAL PLANT MATERIALS SUCH AS HAY, STRAW OR SIMILAR MATERIAL SHAPED IN THE FORM OF TUBES AND PLACED ON A DOWNFLOW WWW.HCD.CA.GOV/CALGREEN.HTML MAY BE USED TO ASSIST IN DOCUMENTING COMPLIANCE WITH THIS SECTION. EXCEPTION: AREAS OF PARKING FACILITIES SERVED BY PARKING LIFTS. INSTALLED IN COMMON AND PUBLIC USE AREAS (OUTSIDE OF DWELLINGS OR SLEEPING UNITS) IN RESIDENTIAL BUILDINGS SHALL SLOPE. WATTLES ARE ALSO USED FOR PERIMETER AND INLET CONTROLS. NOT EXCEED 0.5 GALLONS PER MINUTE AT 60 PSI. MIXED CONSTRUCTION AND DEMOLITION DEBRIS (C & D) PROCESSORS CAN BE LOCATED AT THE CALIFORNIA DEPARTMENT OF RESOURCES RECYCLING AND RECOVERY (CALRECYCLE). 3.EV CHARGERS. FIVE (5) PERCENT OF THE TOTAL NUMBER OF PARKING SPACES SHALL BE EQUIPPED WITH LEVEL 2 EVSE. WHERE 4.106 SITE DEVELOPMENT COMMON USE PARKING IS PROVIDED, AT LEAST ONE EV CHARGER SHALL BE LOCATED IN THE COMMON USE PARKING AREA AND 4.303.1.4.3 METERING FAUCETS. METERING FAUCETS WHEN INSTALLED IN RESIDENTIAL BUILDINGS SHALL NOT DELIVER MORE 4.106.1 GENERAL. PRESERVATION AND USE OF AVAILABLE NATURAL RESOURCES SHALL BE ACCOMPLISHED THROUGH 4.410 BUILDING MAINTENANCE AND OPERATION SHALL BE AVAILABLE FOR USE BY ALL RESIDENTS OR GUESTS. THAN 0.2 GALLONS PER CYCLE. evaluation and careful planning to minimize negative effects on the site and adiacent areas. Preservation 4.410.1 OPERATION AND MAINTENANCE MANUAL. AT THE TIME OF FINAL INSPECTION, A MANUAL, COMPACT DISC, WEB-BASED REFERENCE OR OTHER MEDIA ACCEPTABLE TO THE ENFORCING AGENCY WHICH INCLUDES ALL OF THE FOLLOWING SHALL OF SLOPES, MANAGEMENT OF STORM WATER DRAINAGE AND EROSION CONTROLS SHALL COMPLY WITH THIS SECTION. when low power level 2 ev charging receptacles or level 2 evse are installed beyond the minimum required, an 4.303.1.4.4 KITCHEN FAUCETS. THE MAXIMUM FLOW RATE OF KITCHEN FAUCETS SHALL NOT EXCEED 1.8 GALLONS PER MINUTE AUTOMATIC LOAD MANAGEMENT SYSTEM (AIMS) MAY BE USED TO REDUCE THE MAXIMUM REQUIRED ELECTRICAL CAPACITY TO AT 60 PSI. KITCHEN FAUCETS MAY TEMPORARILY INCREASE THE FLOW ABOVE THE MAXIMUM RATE. BUT NOT TO EXCEED 2.2 BE PLACED IN THE BUILDING EACH SPACE SERVED BY THE ALMS. THE ELECTRICAL SYSTEM AND ANY ON-SITE DISTRIBUTION TRANSFORMERS SHALL HAVE GALLONS PER MINUTE AT 60 PSI. AND MUST DEFAULT TO A MAXIMUM FLOW RATE OF 1.8 GALLONS PER MINUTE AT 60 PSI. 4.106.2 STORM WATER DRAINAGE AND RETENTION DURING CONSTRUCTION. PROJECTS WHICH DISTURB LESS THAN ONE ACRE OF SOIL AND ARE NOT PART OF A LARGER COMMON PLAN OF DEVELOPMENT WHICH IN TOTAL DISTURBS ONE ACRE OR DIRECTIONS TO THE OWNER OR OCCUPANT THAT THE MANUAL SHALL REMAIN WITH THE BUILDING THROUGHOUT THE SUFFICIENT CAPACITY TO DELIVER AT LEAST 3.3 KW SIMULTANEOUSLY TO EACH EV CHARGING STATION (EVCS) SERVED BY THE ALMS. THE BRANCH CIRCUIT SHALL HAVE A MINIMUM CAPACITY OF 40 AMPERES, AND INSTALLED EVSE SHALL HAVE A CAPACITY NOTE: WHERE COMPLYING FAUCETS ARE UNAVAILABLE, AERATORS OR OTHER MEANS MAY BE USED TO ACHIEVE REDUCTION. MORE, SHALL MANAGE STORM WATER DRAINAGE DURING CONSTRUCTION. IN ORDER TO MANAGE STORM WATER OF NOT LESS THAN 30 AMPERES. ALMS SHALL NOT BE USED TO REDUCE THE MINIMUM REQUIRED ELECTRICAL CAPACITY TO THE DRAINAGE DURING CONSTRUCTION, ONE OR MORE OF THE FOLLOWING MEASURES SHALL BE IMPLEMENTED TO PREVENT OPERATION AND MAINTENANCE INSTRUCTIONS FOR THE FOLLOWING: 4.303.1.4.5 PRE-RINSE SPRAY VALVES. FLOODING OF ADJACENT PROPERTY, PREVENT EROSION AND RETAIN SOIL RUNOFF ON THE SITE. REQUIRED EV CAPABLE SPACES. . EQUIPMENT AND APPLIANCES. INCLUDING WATER-SAVING DEVICES AND SYSTEMS. HVAC SYSTEMS. PHOTOVOLTAIC WHEN INSTALLED, SHALL MEET THE REQUIREMENTS IN THE CALIFORNIA CODE OF REGULATIONS, TITLE 20 (APPLIANCE EFFICIENCY Systems, electric vehicle chargers, water-heating systems and other major appliances and equipment. . RETENTION BASINS OF SUFFICIENT SIZE SHALL BE UTILIZED TO RETAIN STORM WATER ON THE SITE. 4.106.4.2.2.1 ELECTRIC VEHICLE CHARGING STATIONS (EVCS). REGULATIONS), SECTIONS 1605.1 (H)(4) TABLE H-2, SECTION 1605.3 (H)(4)(A), AND SECTION 1607 (D)(7) AND SHALL BE EQUIPPED B. ROOF AND YARD DRAINAGE, INCLUDING GUTTERS AND DOWNSPOUTS. 2. Where Storm Water is conveyed to a public drainage system, collection point, gutter or similar disposal ELECTRIC VEHICLE CHARGING STATIONS REQUIRED BY SECTION 4.106.4.2.2, ITEM 3, SHALL COMPLY WITH SECTION 4.106.4.2.2.1 WITH AN INTEGRAL AUTOMATIC SHUTOFF. C. Space conditioning systems, including condensers and air filters. METHOD, WATER SHALL BE FILTERED BY USE OF A BARRIER SYSTEM, WATTLE OR OTHER METHOD APPROVED BY THE ENFORCING D. LANDSCAPE IRRIGATION SYSTEMS. EXCEPTION: ELECTRIC VEHICLE CHARGING STATIONS SERVING PUBLIC ACCOMMODATIONS, PUBLIC HOUSING, MOTELS AND FOR REFERENCE ONLY: THE FOLLOWING TABLE AND CODE SECTION HAVE BEEN REPRINTED FROM THE CALIFORNIA CODE OF E. WATER REUSE SYSTEMS INFORMATION FROM LOCAL UTILITY, WATER AND WASTE RECOVERY PROVIDERS ON METHODS TO FURTHER REDUCE 3. COMPLIANCE WITH A LAWFULLY ENACTED STORM WATER MANAGEMENT ORDINANCE. HOTELS SHALL NOT BE REQUIRED TO COMPLY WITH THIS SECTION. SEE CALIFORNIA BUILDING CODE, CHAPTER 11B, FOR REGULATIONS, TITLE 20 (APPLIANCE EFFICIENCY REGULATIONS), SECTION 1605.1 (H)(4) AND SECTION 1605.3 (H)(4)(A). RESOURCE CONSUMPTION, INCLUDING RECYCLE PROGRAMS AND LOCATIONS. APPLICABLE REQUIREMENTS. NOTE: REFER TO THE STATE WATER RESOURCES CONTROL BOARD FOR PROJECTS WHICH DISTURB ONE ACRE OR MORE OF . Public transportation and/or carpool options available in the area. SOIL, OR ARE PART OF A LARGER COMMON PLAN OF DEVELOPMENT WHICH IN TOTAL DISTURBS ONE ACRE OR MORE OF SOIL. 4 106 4 2 2 1 1 IOCATION EDUCATIONAL MATERIAL ON THE POSITIVE IMPACTS OF AN INTERIOR RELATIVE HUMIDITY BETWEEN 30-60 PERCENT AND STANDARDS FOR COMMERCIAL PRE-RINSE SPRAY VALUES MANUFACTURED ON OR AFTER JAN. 28, 2019 EVCS SHALL COMPLY WITH AT LEAST ONE OF THE FOLLOWING OPTIONS: WHAT METHODS AN OCCUPANT MAY USE TO MAINTAIN THE RELATIVE HUMIDITY LEVEL IN THAT RANGE. (WEBSITE:HTTPS://WWW.WATERBOARDS.CA.GOV/WATER_ISSUES/PROGRAMS/STORMWATER/CONSTRUCTION.HTML) INFORMATION ABOUT WATER-CONSERVING LANDSCAPE AND IRRIGATION DESIGN AND CONTROLLERS WHICH CONSERVE PRODUCT CLASS [SPRAY FORCE IN OUNCE FORCE (OZF)] MAXIMUM FLOW RATE (GPM) .THE CHARGING SPACE SHALL BE LOCATED ADJACENT TO AN ACCESSIBLE PARKING SPACE MEETING THE REQUIREMENTS OF THE 7. Instructions for maintaining gutters and downspouts and the importance of diverting water at least 5 PRODUCT CLASS 1 (≤ 5.0 OZF) 4.106.3 GRADING AND PAVING. CONSTRUCTION PLANS SHALL INDICATE HOW THE SITE GRADING OR DRAINAGE SYSTEM CALIFORNIA BUILDING CODE, CHAPTER 11A, TO ALLOW USE OF THE EV CHARGER FROM THE ACCESSIBLE PARKING SPACE. WILL MANAGE ALL SURFACE WATER FLOWS TO KEEP WATER FROM ENTERING BUILDINGS. EXAMPLES OF METHODS TO FEET AWAY FROM THE FOUNDATION. PRODUCT CLASS 2 (> 5.0 OZF AND \leq 8.0 OZF) 1.20 2.THE CHARGING SPACE SHALL BE LOCATED ON AN ACCESSIBLE ROUTE, AS DEFINED IN THE CALIFORNIA BUILDING CODE, . INFORMATION ON REQUIRED ROUTINE MAINTENANCE MEASURES, INCLUDING, BUT NOT LIMITED TO, CAULKING, MANAGE SURFACE WATER INCLUDE, BUT ARE NOT LIMITED TO, THE FOLLOWING: I. SWALES CHAPTER 2, TO THE BUILDING. PAINTING, GRADING AROUND THE BUILDING, ETC. PRODUCT CLASS 3 (> 8.0 OZF) 1.28 INFORMATION ABOUT STATE SOLAR ENERGY AND INCENTIVE PROGRAMS AVAILABLE 2. WATER COLLECTION AND DISPOSAL SYSTEMS EXCEPTION: ELECTRIC VEHICLE CHARGING STATIONS DESIGNED AND CONSTRUCTED IN COMPLIANCE WITH THE CALIFORNIA TITLE 20 SECTION 1605.3 (H)(4)(A): COMMERCIAL PRERINSE SPRAY VALUES MANUFACTURED ON OR AFTER JANUARY 1, 2006, 10. A COPY OF ALL SPECIAL INSPECTIONS VERIFICATIONS REQUIRED BY THE ENFORCING AGENCY OR THIS CODE. 3. FRENCH DRAINS 4. WATER RETENTION GARDENS BUILDING CODE, CHAPTER 11B, ARE NOT REQUIRED TO COMPLY WITH SECTION 4.106.4.2.2.1.1 AND SECTION 4.106.4.2.2.1.2, SHALL HAVE A MINIMUM SPRAY FORCE OF NOT LESS THAN 4.0 OUNCES-FORCE (OZF)[113 GRAMS-FORCE(GF)] 1. INFORMATION FROM THE DEPARTMENT OF FORESTRY AND FIRE PROTECTION ON MAINTENANCE OF DEFENSIBLE SPACE 5. OTHER WATER MEASURES WHICH KEEP SURFACE WATER AWAY FROM BUILDINGS AND AID IN GROUNDWATER RECHARGE. AROUND RESIDENTIAL STRUCTURES 12. INFORMATION AND/OR DRAWINGS IDENTIFYING THE LOCATION OF GRAB BAR REINFORCEMENTS. 4.303.2 SUBMETERS FOR MULTIFAMILY BUILDINGS AND DWELLING UNITS IN MIXED-USED RESIDENTIAL/COMMERCIAL 4.106.4.2.2.1.2 ELECTRIC VEHICLE CHARGING STATIONS (EVCS) DIMENSIONS. **EXCEPTION:** ADDITIONS AND ALTERATIONS NOT ALTERING THE DRAINAGE PATH. THE CHARGING SPACES SHALL BE DESIGNED TO COMPLY WITH THE FOLLOWING: Submeters shall be installed to measure water usage of individual rental dwelling units in accordance with the 📙 4.410.2 RECYCLING BY OCCUPANTS. WHERE 5 OR MORE MULTIFAMILY DWELLING UNITS ARE CONSTRUCTED ON A BUILDING 4.106.4 ELECTRIC VEHICLE (EV) CHARGING FOR NEW CONSTRUCTION. NEW CONSTRUCTION SHALL COMPLY WITH CALIFORNIA PLUMBING CODE. SITE, PROVIDE READILY ACCESSIBLE AREA(S) THAT SERVES ALL BUILDINGS ON THE SITE AND ARE IDENTIFIED FOR THE DEPOSITING, SECTIONS 4.106.4.1 OR 4.106.4.2 TO FACILITATE FUTURE INSTALLATION AND USE OF EV CHARGERS. ELECTRIC VEHICLE SUPPLY 1.THE MINIMUM LENGTH OF EACH EV SPACE SHALL BE 18 FEET (5486 MM). Storage and collection of non-hazardous materials for recycling, including (at a minimum) paper, EQUIPMENT (EVSE) SHALL BE INSTALLED IN ACCORDANCE WITH THE CALIFORNIA ELECTRICAL CODE, ARTICLE 625. 4.303.3 STANDARDS FOR PLUMBING FIXTURES AND FITTINGS. PLUMBING FIXTURES AND FITTINGS SHALL BE INSTALLED IN Corrugated Cardboard, Glass, Plastics, Organic Waster, and Metals, or Meet a lawfully enacted local ACCORDANCE WITH THE CALIFORNIA PLUMBING CODE, AND SHALL MEET THE APPLICABLE STANDARDS REFERENCED IN TABLE 2.THE MINIMUM WIDTH OF EACH EV SPACE SHALL BE 9 FEET (2743 MM). RECYCLING ORDINANCE, IF MORE RESTRICTIVE. 1701.1 OF THE CALIFORNIA PLUMBING CODE. I. ON A CASE-BY-CASE BASIS, WHERE THE LOCAL ENFORCING AGENCY HAS DETERMINED EV CHARGING AND EXCEPTION: RURAL JURISDICTIONS THAT MEET AND APPLY FOR THE EXEMPTION IN PUBLIC RESOURCES CODE SECTION 42649.82 3.ONE IN EVERY 25 CHARGING SPACES, BUT NOT LESS THAN ONE, SHALL ALSO HAVE AN 8-FOOT (2438 MM) WIDE MINIMUM INFRASTRUCTURE ARE NOT FEASIBLE BASED UPON ONE OR MORE OF THE FOLLOWING CONDITIONS: AISLE. A 5-FOOT (1524 MM) WIDE MINIMUM AISLE SHALL BE PERMITTED PROVIDED THE MINIMUM WIDTH OF THE EV SPACE IS 12 (A)(2)(A) ET SEQ. ARE NOTE REQUIRED TO COMPLY WITH THE ORGANIC WASTE PORTION OF THIS SECTION. .1 WHERE THERE IS NO LOCAL UTILITY POWER SUPPLY OR THE LOCAL UTILITY IS UNABLE TO SUPPLY ADEQUATE POWER. NOTE: THIS TABLE COMPILES THE DATA IN SECTION 4.303.1, AND IS INCLUDED AS A CONVENIENCE FOR THE USER 1.2 Where there is evidence suitable to the local enforcing agency substantiating that additional local DIVISION 4.5 ENVIRONMENTAL QUALITY UTILITY INFRASTRUCTURE DESIGN REQUIREMENTS, DIRECTLY RELATED TO THE IMPLEMENTATION OF SECTION 4.106.4, MAY A.SURFACE SLOPE FOR THIS EV SPACE AND THE AISLE SHALL NOT EXCEED 1 UNIT VERTICAL IN 48 UNITS HORIZONTAL (2.083 SECTION 4.501 GENERAL STAMP: TABLE - MAXIMUM FIXTURE WATER USE ADVERSELY IMPACT THE CONSTRUCTION COST OF THE PROJECT. PERCENT SLOPE) IN ANY DIRECTION. 14 501 1 SCOPE FIXTURE TYPE FLOW RATE 2. ACCESSORY DWELLING UNITS (ADU) AND JUNIOR ACCESSORY DWELLING UNITS (JADU) WITHOUT ADDITIONAL PARKING The provisions of this chapter shall outline means of reducing the quality of air contaminants that are ODOROUS, IRRITATING AND/OR HARMFUL TO THE COMFORT AND WELL BEING OF A BUILDING'S INSTALLERS, OCCUPANTS AND FACILITIES. 1.8 GMP @ 80 PSI SHOWER HEADS (RESIDENTIAL) IN ADDITION TO THE REQUIREMENTS IN SECTIONS 4.106.4.2.2.1.1 AND 4.106.4.2.2.1.2, ALL EVSE, WHEN INSTALLED, SHALL 4.106.4.1 NEW ONE- AND TWO-FAMILY DWELLINGS AND TOWNHOUSES WITH ATTACHED PRIVATE GARAGES. FOR EACH COMPLY WITH THE ACCESSIBILITY PROVISIONS FOR EV CHARGERS IN THE CALIFORNIA BUILDING CODE, CHAPTER 11B. EV READY LAVATORY FAUCETS (RESIDENTIAL) MAX 1.2 GPM @ 60 PSI MIN. 0.8 GPM @ 20 PSI DWELLING UNIT, INSTALL A LISTED RACEWAY TO ACCOMMODATE A DEDICATED 208/240-VOLT BRANCH CIRCUIT. THE SPACES AND EVCS IN MULTIFAMILY DEVELOPMENTS SHALL COMPLY WITH CALIFORNIA BUILDING CODE, CHAPTER 11A, SECTION SECTION 4.502 DEFINITIONS 0.5 GPM @ 60 PSI LAVATORY FAUCETS IN COMMON & PUBLIC USE AREAS RACEWAY SHALL NOT BE LESS THAN TRADE SIZE 1 (NOMINAL 1-INCH INSIDE DIAMETER). THE RACEWAY SHALL ORIGINATE AT 5.102.1 DEFINITIONS THE MAIN SERVICE OR SUBPANEL AND SHALL TERMINATE INTO A LISTED CABINET, BOX OR OTHER ENCLOSURE IN CLOSE THE FOLLOWING TERMS ARE DEFINED IN CHAPTER 2 (AND ARE INCLUDED HERE FOR REFERENCE) KITCHEN FAUCETS 1.8 GPM @ 60 PSI PROXIMITY TO THE PROPOSED LOCATION OF AN EV CHARGER. RACEWAYS ARE REQUIRED TO BE CONTINUOUS AT ENCLOSED, 4.106.4.2.3 EV SPACE REQUIREMENTS. AGRIFIBER PRODUCTS. AGRIFIBER PRODUCTS INCLUDE WHEATBOARD, STRAWBOARD, PANEL SUBSTRATES AND DOOR CORES, INACCESSIBLE OR CONCEALED AREAS AND SPACES. THE SERVICE PANEL AND/OR SUBPANEL SHALL PROVIDE CAPACITY TO 1.SINGLE EV SPACE REQUIRED. INSTALL A LISTED RACEWAY CAPABLE OF ACCOMMODATING A 208/240-VOLT DEDICATED BRANCH METERING FAUCETS 0.2 GAL/CYCLE INSTALL A 40-AMPERE 208/240-VOLT MINIMUM DEDICATED BRANCH CIRCUIT AND SPACE(S) RESERVED TO PERMIT INSTALLATION CIRCUIT. THE RACEWAY SHALL NOT BE LESS THAN TRADE SIZE 1 (NOMINAL 1-INCH INSIDE DIAMETER). THE RACEWAY SHALL NOT INCLUDING FURNITURE, FIXTURES AND EQUIPMENT (FF&E) NOT CONSIDERED BASE BUILDING ELEMENTS. WATER CLOSET 1.28 GAL/FLUSH OF A BRANCH CIRCUIT OVERCURRENT PROTECTIVE DEVICE. ORIGINATE AT THE MAIN SERVICE OR SUBPANEL AND SHALL TERMINATE INTO A LISTED CABINET, BOX OR ENCLOSURE IN CLOSE PROXIMITY TO THE LOCATION OR THE PROPOSED LOCATION OF THE EV SPACE. CONSTRUCTION DOCUMENTS SHALL IDENTIFY THE COMPOSITE WOOD PRODUCTS. COMPOSITE WOOD PRODUCTS INCLUDE HARDWOOD PLYWOOD, PARTICLEBOARD AND 0.125 GAL/FLUSH URINALS EXEMPTION: A RACEWAY IS NOT REQUIRED IF A MINIMUM 40-AMPERE 208/240-VOLT DEDICATED EV BRANCH CIRCUIT IS RACEWAY TERMINATION POINT, RECEPTACLE OR CHARGER LOCATION, AS APPLICABLE. THE SERVICE PANEL AND/ OR SUBPANEL MEDIUM DENSITY FIBERBOARD. "COMPOSITE WOOD PRODUCTS" DOES NOT INCLUDE HARDBOARD, STRUCTURAL PLYWOOD, SHALL HAVE A 40-AMPERE MINIMUM DEDICATED BRANCH CIRCUIT, INCLUDING BRANCH CIRCUIT OVERCURRENT PROTECTIVE INSTALLED IN CLOSE PROXIMITY TO THE PROPOSED LOCATION OF AN EV CHARGER AT THE TIME OF ORIGINAL CONSTRUCTION STRUCTURAL PANELS, STRUCTURAL COMPOSITE LUMBER, ORIENTED STRAND BOARD, GLUED LAMINATED TIMBER, PREFABRICATED DEVICE INSTALLED, OR SPACE(S) RESERVED TO PERMIT INSTALLATION OF A BRANCH CIRCUIT OVERCURRENT PROTECTIVE DEVICE. wood ijoists or finger-jointed lumber, all as specified in California code of regulations (CCR), title 17, section IN ACCORDANCE WITH THE CALIFORNIA ELECTRICAL CODE. 4.106.4.1.1 IDENTIFICATION. THE SERVICE PANEL OR SUBPANEL CIRCUIT DIRECTORY SHALL IDENTIFY THE OVERCURRENT EXCEPTION: A RACEWAY IS NOT REQUIRED IF A MINIMUM 40-AMPERE 208/240-VOLT DEDICATED EV BRANCH CIRCUIT IS INSTALLED PROTECTIVE DEVICE SPACE(S) RESERVED FOR FUTURE EV CHARGING AS "EV CAPABLE". THE RACEWAY TERMINATION LOCATION DIRECT-VENT APPLIANCE. A FUEL-BURNING APPLIANCE WITH A SEALED COMBUSTION SYSTEM THAT DRAWS ALL AIR FOR IN CLOSE PROXIMITY TO THE LOCATION OR THE PROPOSED LOCATION OF THE EV SPACE, AT THE TIME OF ORIGINAL SHALL BE PERMANENTLY AND VISIBLY MARKED AS "EV CAPABLE" CONSTRUCTION IN ACCORDANCE WITH THE CALIFORNIA ELECTRICAL CODE. COMBUSTION FROM THE OUTSIDE ATMOSPHERE AND DISCHARGES ALL FLUE GASES TO THE OUTSIDE ATMOSPHERE. CAL GREEN 4.106.4.2 NEW MULTIFAMILY DWELLINGS, HOTELS AND MOTELS AND NEW RESIDENTIAL PARKING FACILITIES. 2.MULTIPLE EV SPACES REQUIRED. CONSTRUCTION DOCUMENTS SHALL INDICATE THE RACEWAY TERMINATION POINT AND THE LAN CHECK WHEN PARKING IS PROVIDED, PARKING SPACES FOR NEW MULTIFAMILY DWELLINGS, HOTELS AND MOTELS SHALL MEET THE LOCATION OF INSTALLED OR FUTURE EV SPACES, RECEPTACLES OR EV CHARGERS. CONSTRUCTION DOCUMENTS SHALL ALSO CONST. DOCUMENTS REQUIREMENTS OF SECTIONS 4.106.4.2.1 AND 4.106.4.2.2. CALCULATIONS FOR SPACES SHALL BE ROUNDED UP TO THE PROVIDE INFORMATION ON AMPERAGE OF INSTALLED OR FUTURE RECEPTACLES OR EVSE, RACEWAY METHOD(S), WIRING DESIGN DEVELOPMENT Schematics and electrical load calculations. Plan design shall be based upon a 40-ampere minimum branch NEAREST WHOLE NUMBER. A PARKING SPACE SERVED BY ELECTRIC VEHICLE SUPPLY EQUIPMENT OR DESIGNED AS A FUTURE EV SCHEMATIC DESIGN 03/08/24 CHARGING SPACE SHALL COUNT AS AT LEAST ONE STANDARD AUTOMOBILE PARKING SPACE ONLY FOR THE PURPOSE OF CIRCUIT. REQUIRED RACEWAYS AND RELATED COMPONENTS THAT ARE PLANNED TO BE INSTALLED UNDERGROUND, ENCLOSED, COMPLYING WITH ANY APPLICABLE MINIMUM PARKING SPACE REQUIREMENTS ESTABLISHED BY A LOCAL JURISDICTION. SEE INACCESSIBLE OR IN CONCEALED AREAS AND SPACES SHALL BE INSTALLED AT THE TIME OF ORIGINAL CONSTRUCTION. SHEET: VEHICLE CODE SECTION 22511.2 FOR FURTHER DETAILS. EXCEPTION: A RACEWAY IS NOT REQUIRED IF A MINIMUM 40-AMPERE 208/240-VOLT DEDICATED EV BRANCH CIRCUIT IS INSTALLED IN CLOSE PROXIMITY TO THE LOCATION OR THE PROPOSED LOCATION OF THE EV SPACE AT THE TIME OF ORIGINAL CONSTRUCTION IN ACCORDANCE WITH THE CALIFORNIA ELECTRICAL CODE

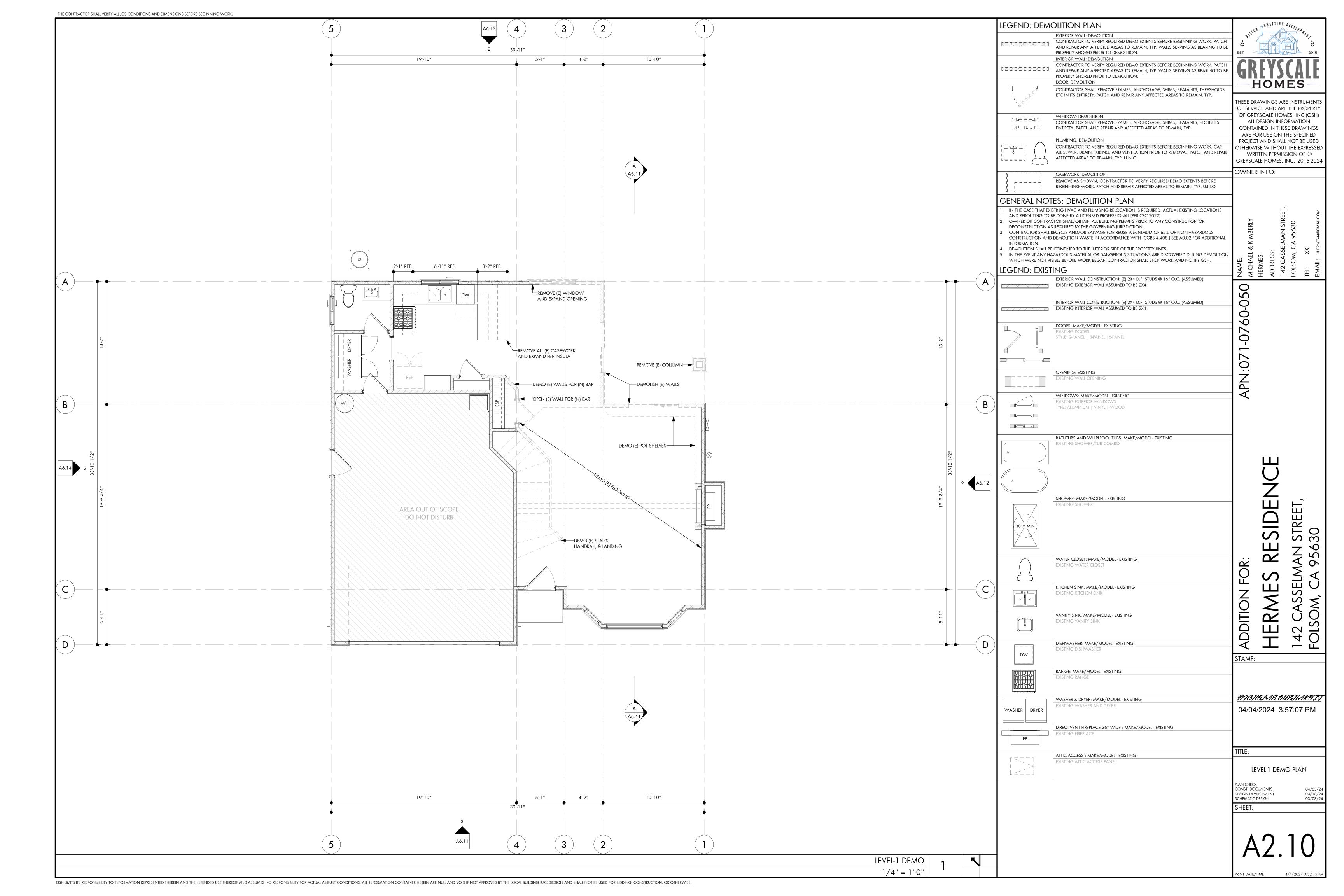
HESE DRAWINGS ARE INSTRUMENTS

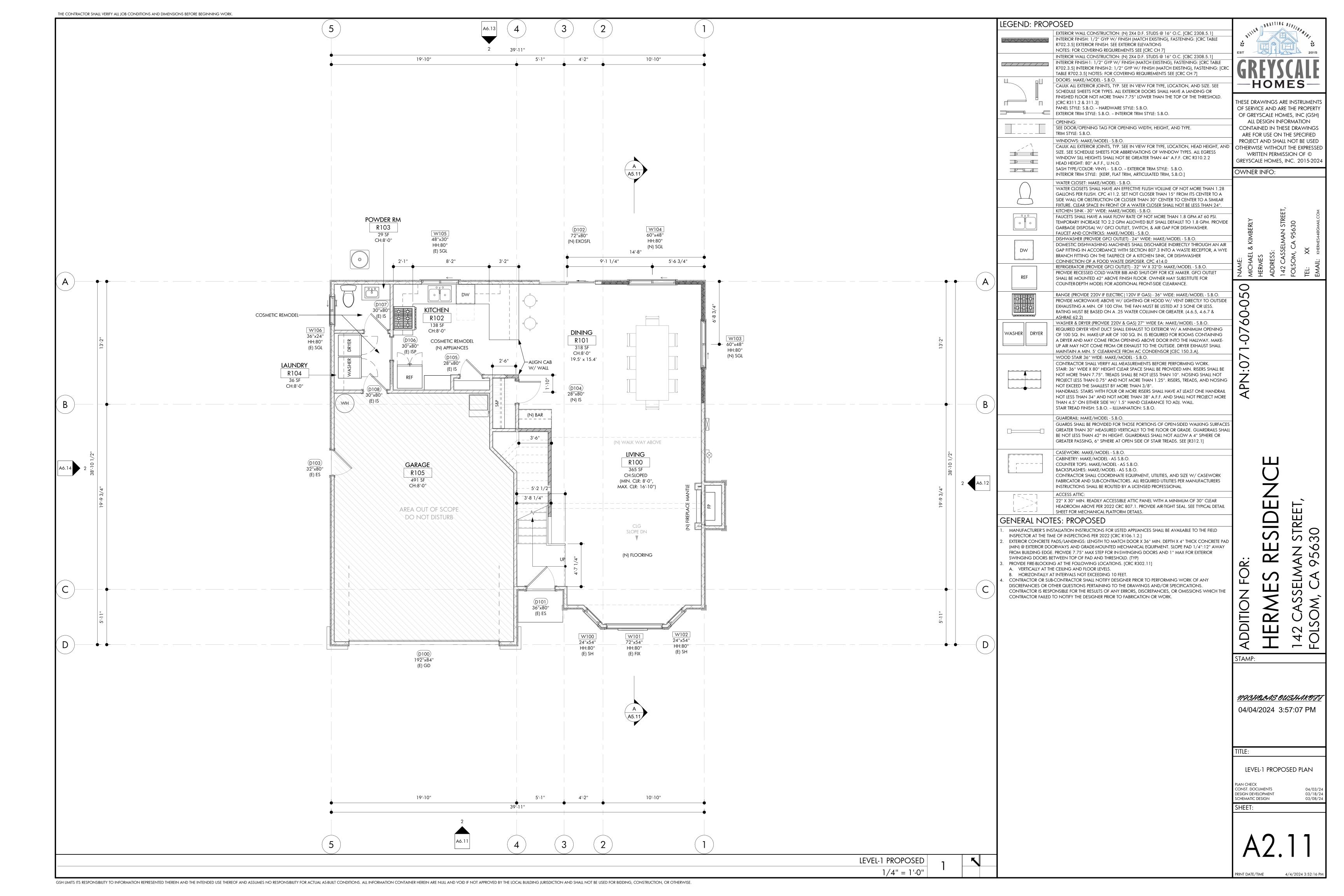
OF SERVICE AND ARE THE PROPERTY OF GREYSCALE HOMES, INC (GSH) CONTAINED IN THESE DRAWINGS

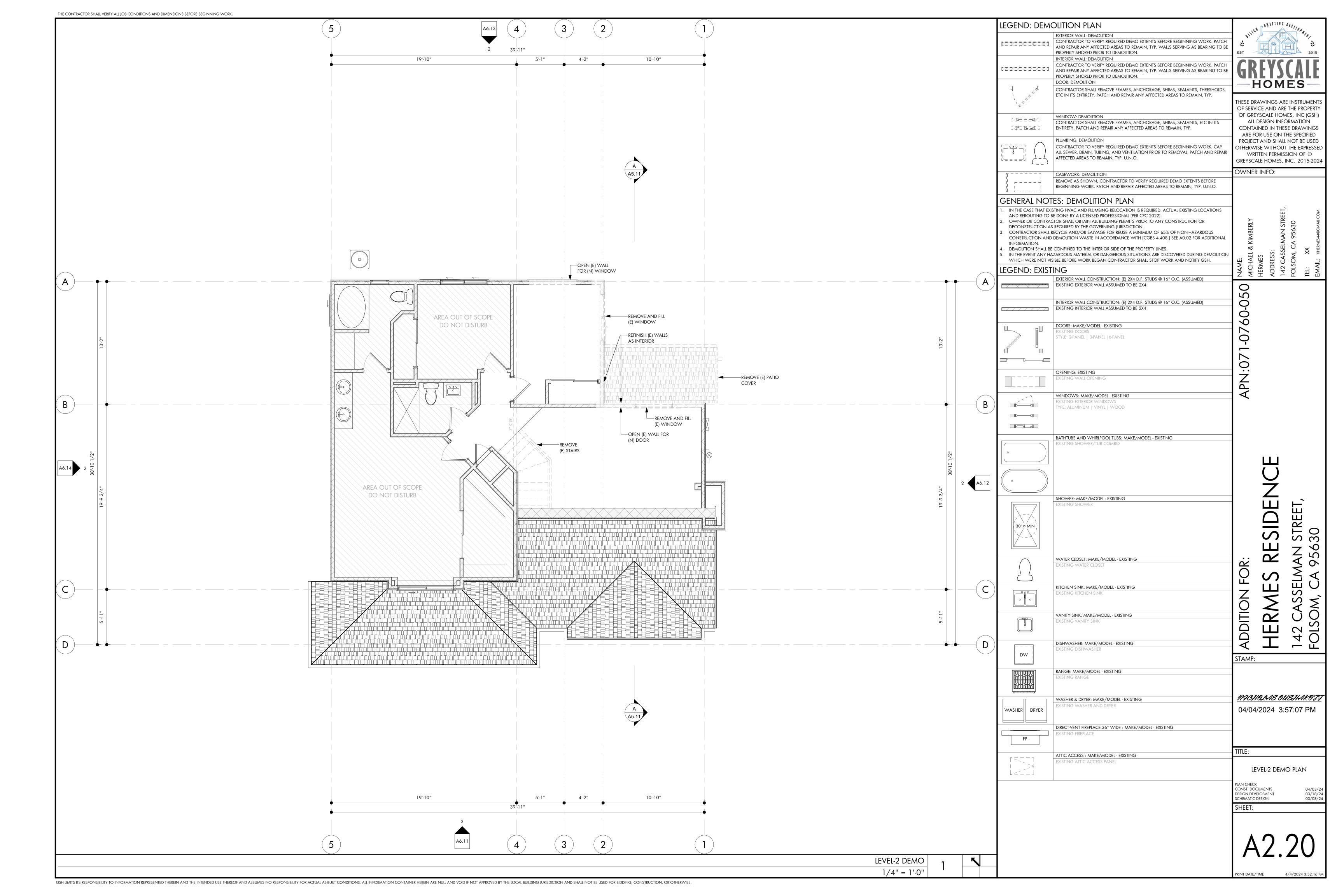
GSH LIMITS ITS RESPONSIBILITY TO INFORMATION REPRESENTED THEREIN AND THE INTENDED USE THEREOF AND ASSUMES NO RESPONSIBILITY FOR ACTUAL AS-BUILT CONDITIONS. ALL INFORMATION CONTAINER HEREIN ARE NULL AND VOID IF NOT APPROVED BY THE LOCAL BUILDING JURISDICTION AND SHALL NOT BE USED FOR BIDDING, CONSTRUCTION, OR OTHERWISE

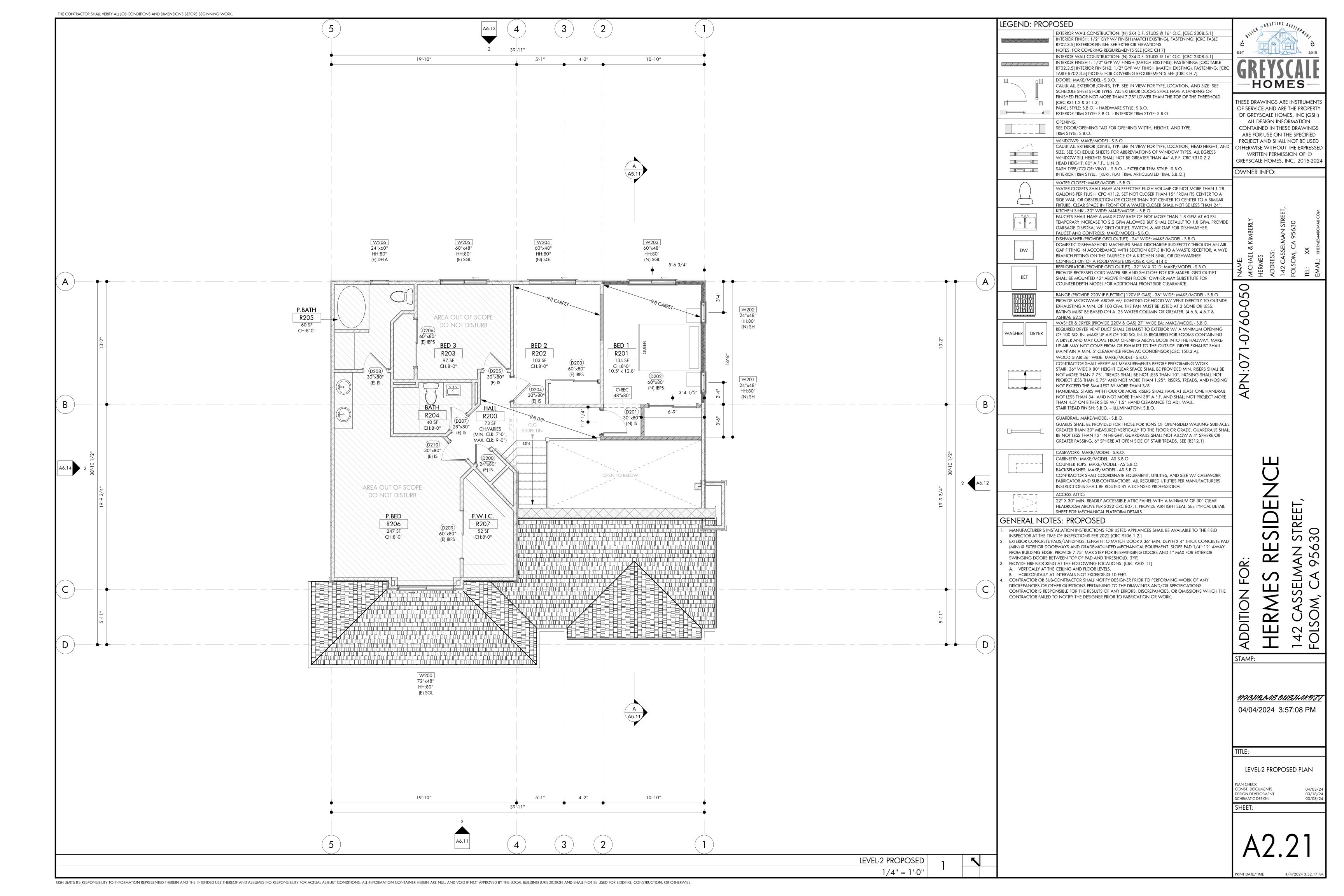
AIA 2022 CALIFORNIA GREEN BUILDING STANDARD CODE - RESIDENTIAL MANDATORY MEASURES, SHEET 2 (JAN 2023) **GENERAL NOTES** DIVISION 4.5 ENVIRONMENTAL QUALITY (CONTINUED) MAXIMUM INCREMENTAL REACTIVITY (MIR). THE MAXIMUM CHANGE IN WEIGHT OF OZONE FORMED BY ADDING A COMPOUND TO THE "BASE REACTIVE ORGANIC GAS (ROG) MIXTURE" PER WEIGHT OF COMPOUND ADDED, EXPRESSED TO **INSTALLER & SPECIAL INSPECTOR QUALIFICATIONS** THE CONSTRUCTION CONTRACT RELATED TO THE WORK OF THIS PROJECT IS HEREBY MADE A PART OF THESE DRAWINGS 4.504.3 CARPET SYSTEMS. ALL CARPET INSTALLED IN THE BUILDING INTERIOR SHALL MEET THE REQUIREMENTS OF THE CALIFORNIA HUNDREDTHS OF A GRAM (G O³/G ROC). 702 QUALIFICATIONS AS THOUGH FULLY CONTAINED THEREIN. NOTE: MIR VALUES FOR INDIVIDUAL COMPOUNDS AND HYDROCARBON SOLVENTS ARE SPECIFIED IN CCR. TITLE 17, SECTIONS DEPARTMENT OF PUBLIC HEALTH, "STANDARD METHOD FOR THE TESTING AND EVALUATION OF VOLATILE ORGANIC CHEMICAL 702.1 INSTALLER TRAINING. HVAC SYSTEM INSTALLERS SHALL BE TRAINED AND CERTIFIED IN THE PROPER INSTALLATION OF 94700 AND 94701. EMISSIONS FROM INDOOR SOURCES USING ENVIRONMENTAL CHAMBERS," VERSION 1.2, JANUARY 2017 (EMISSION TESTING HVAC SYSTEMS INCLUDING DUCTS AND EQUIPMENT BY A NATIONALLY OR REGIONALLY RECOGNIZED TRAINING OR THE GENERAL ENGINEERING CONTRACTOR, GENERAL CONTRACTOR AND SUBCONTRACTORS SHALL COMPLETE ALL METHOD FOR CALIFORNIA SPECIFICATION 01350) CERTIFICATION PROGRAM. UNCERTIFIED PERSONS MAY PERFORM HVAC INSTALLATIONS WHEN UNDER THE DIRECT SUPERVISION WORK REQUIRED TO RECEIVE A CERTIFICATE OF OCCUPANCY FROM THE BUILDING OFFICIAL HAVING IURISDICTION OVER MOISTURE CONTENT. THE WEIGHT OF THE WATER IN WOOD EXPRESSED IN PERCENTAGE OF THE WEIGHT OF THE OVEN-DRY and responsibility of a person trained and certified to install hvac systems or contractor licensed to install THIS PROJECT. THE SCOPE OF PERMIT COMPLIANCE WORK IS INCLUDED IN THE GENERAL CONTRACT FOR SEE CALIFORNIA DEPARTMENT OF PUBLIC HEALTH'S WEBSITE FOR CERTIFICATION PROGRAMS AND TESTING LABS. HVAC SYSTEMS. EXAMPLES OF ACCEPTABLE HVAC TRAINING AND CERTIFICATION PROGRAMS INCLUDE BUT ARE NOT LIMITED TO CONSTRUCTION OF THIS PROJECT. THE GENERAL ENGINEERING CONTRACTOR, GENERAL CONTRACTOR AND SUBCONTRACTORS SHALL BE RESPONSIBLE FOR AND GOVERNED BY ALL OF THE REQUIREMENTS THEREUNDER. PRODUCT-WEIGHTED MIR (PWMIR). THE SUM OF ALL WEIGHTED-MIR FOR ALL INGREDIENTS IN A PRODUCT SUBJECT TO THIS HTTPS://WWW.CDPH.CA.GOV/PROGRAMS/CCDPHP/DEODC/EHLB/IAQ/PAGES/VOC.ASPX. ARTICLE. THE PWMIR IS THE TOTAL PRODUCT REACTIVITY EXPRESSED TO HUNDREDTHS OF A GRAM OF OZONE FORMED PER I. STATE CERTIFIED APPRENTICESHIP PROGRAMS. THESE DRAWINGS ARE INSTRUMENTS PRIOR TO CONTRACT APPROVAL, THE GENERAL ENGINEERING CONTRACTOR, GENERAL CONTRACTOR AND GRAM OF PRODUCT (EXCLUDING CONTAINER AND PACKAGING). PUBLIC LITHITY TRAINING PROGRAMS 4.504.3.1 CARPET CUSHION. ALL CARPET CUSHION INSTALLED IN THE BUILDING INTERIOR SHALL MEET THE REQUIREMENTS SUBCONTRACTORS SHALL VISIT THE PROJECT SITE, AND BY THEIR OWN INVESTIGATION, DETERMINE EXISTING SITE OF SERVICE AND ARE THE PROPERTY OF THE CALIFORNIA DEPARTMENT OF PUBLIC HEALTH, "STANDARD METHOD FOR THE TESTING AND EVALUATION OF VOLATILE 3. TRAINING PROGRAMS SPONSORED BY TRADE, LABOR OR STATEWIDE ENERGY CONSULTING OR VERIFICATION NOTE: PWMIR IS CALCULATED ACCORDING TO EQUATIONS FOUND IN CCR, TITLE 17, SECTION 94521 (A). CONDITIONS AS TO THE QUANTITIES OF MATERIALS, LABOR HOURS, AND ANY OTHER COST ASSOCIATED WITH WORK OF GREYSCALE HOMES, INC (GSH) ORGANIC CHEMICAL EMISSIONS FROM INDOOR SOURCES USING ENVIRONMENTAL CHAMBERS," VERSION 1.2, JANUARY 2017 **ORGANIZATIONS** THAT IS TO BE DONE UNDER THEIR CONTRACT AND AS REQUIRED TO PASS ALL BUILDING PERMIT INSPECTIONS. ALL REACTIVE ORGANIC COMPOUND (ROC). ANY COMPOUND THAT HAS THE POTENTIAL, ONCE EMITTED, TO CONTRIBUTE TO (EMISSION TESTING METHOD FOR CALIFORNIA SPECIFICATION 01350) ALL DESIGN INFORMATION 4. PROGRAMS SPONSORED BY MANUFACTURING ORGANIZATIONS. MODIFICATIONS REQUIRED BY THE INSPECTION AUTHORITY SHALL BE MADE BY EACH SUBCONTRACTOR AT THEIR 5. OTHER PROGRAMS ACCEPTABLE TO THE ENFORCING AGENCY. OZONE FORMATION IN THE TROPOSPHERE CONTAINED IN THESE DRAWINGS SEE CALIFORNIA DEPARTMENT OF PUBLIC HEALTH'S WEBSITE FOR CERTIFICATION PROGRAMS AND TESTING LABS. ARE FOR USE ON THE SPECIFIED VOC. A VOLATILE ORGANIC COMPOUND (VOC) BROADLY DEFINED AS A CHEMICAL COMPOUND BASED ON CARBON CHAINS 702.2 SPECIAL INSPECTION [HCD]. WHEN REQUIRED BY THE ENFORCING AGENCY, THE OWNER OR THE RESPONSIBLE ENTITY PROJECT AND SHALL NOT BE USED PRIOR TO CONTRACT APPROVAL, THE GENERAL ENGINEERING CONTRACTOR, GENERAL CONTRACTOR AND acting as the owner's agent shall employ one or more special inspectors to provide inspection or other OR RINGS WITH VAPOR PRESSURES GREATER THAN 0.1 MILLIMETERS OF MERCURY AT ROOM TEMPERATURE. THESE COMPOUNDS HTTPS://WWW.CDPH.CA.GOV/PROGRAMS/CCDPHP/DEODC/EHLB/IAQ/PAGES/VOC.ASPX. SUBCONTRACTORS SHALL VERIFY AND CONFIRM THE DESIGN REQUIREMENTS OF ALL NEW AND EXISTING DESIGN, OTHERWISE WITHOUT THE EXPRESSED typically contain hydrogen and may contain oxygen. Nitrogen and other elements. See ccr title 17. Section DUTIES NECESSARY TO SUBSTANTIATE COMPLIANCE WITH THIS CODE. SPECIAL INSPECTORS SHALL DEMONSTRATE COMPETENCE. STRUCTURAL, PLUMBING, MECHANICAL, AND ELECTRICAL SYSTEMS AND REPORT ANY AMBIGUITIES OR DISCREPANCIES WRITTEN PERMISSION OF © 4.504.3.2 CARPET ADHESIVE. ALL CARPET ADHESIVE SHALL MEET THE REQUIREMENTS OF TABLE 4.504.1 TO THE SATISFACTION OF THE ENFORCING AGENCY FOR THE PARTICULAR TYPE OF INSPECTION OR TASK TO BE PERFORMED. IN CONTAINED IN THE CONTRACT TO THE OWNER IN WRITING. ALL MODIFICATIONS REQUIRED TO COMPLETE THE GREYSCALE HOMES, INC. 2015-2024 ADDITION TO OTHER CERTIFICATIONS OR QUALIFICATIONS ACCEPTABLE TO THE ENFORCING AGENCY, THE FOLLOWING CONTRACT RESULTING FROM AMBIGUITIES OR DISCREPANCIES NOT REPORTED PRIOR TO CONTRACT APPROVAL SHALL BE 4.503 FIREPLACES 4.504.4 RESILIENT FLOORING SYSTEMS. WHERE RESILIENT FLOORING IS INSTALLED, AT LEAST 80% OF FLOOR AREA RECEIVING CERTIFICATIONS OR EDUCATION MAY BE CONSIDERED BY THE ENFORCING AGENCY WHEN EVALUATING THE QUALIFICATIONS MADE BY EACH SUBCONTRACTOR AT THEIR EXPENSE. RESILIENT FLOORING SHALL MEET THE REQUIREMENTS OF THE CALIFORNIA DEPARTMENT OF PUBLIC HEALTH, "STANDARD METHOD OWNER INFO: 4.503.1 GENERAL . ANY INSTALLED GAS FIREPLACE SHALL BE A DIRECT-VENT SEALED-COMBUSTION TYPE. ANY INSTALLED OF A SPECIAL INSPECTOR: FOR THE TESTING AND EVALUATION OF VOLATILE ORGANIC CHEMICAL EMISSIONS FROM INDOOR SOURCES USING woodstove or pellet stove shall comply with u.s. epa new source performance standards (nsps) emission APPLICABLE LAWS, ORDINANCES, REGULATIONS AND STANDARDS: 1. CERTIFICATION BY A NATIONAL OR REGIONAL GREEN BUILDING PROGRAM OR STANDARD PUBLISHER. LIMITS AS APPLICABLE, AND SHALL HAVE A PERMANENT LABEL INDICATING THEY ARE CERTIFIED TO MEET THE EMISSION LIMITS. ENVIRONMENTAL CHAMBERS," VERSION 1.2, JANUARY 2017 (EMISSION TESTING METHOD FOR CALIFORNIA SPECIFICATION WOODSTOVES, PELLET STOVES AND FIREPLACES SHALL ALSO COMPLY WITH APPLICABLE LOCAL ORDINANCES. CERTIFICATION BY A STATEWIDE ENERGY CONSULTING OR VERIFICATION ORGANIZATION, SUCH AS HERS RATERS, THE GENERAL ENGINEERING CONTRACTOR, GENERAL CONTRACTOR AND SUBCONTRACTORS SHALL CONFORM TO THE BUILDING PERFORMANCE CONTRACTORS, AND HOME ENERGY AUDITORS. LATEST APPLICABLE, ADOPTED EDITION OF THE CALIFORNIA CODE OF REGULATIONS, TITLE-24, CALIFORNIA BUILDING SEE CALIFORNIA DEPARTMENT OF PUBLIC HEALTH'S WEBSITE FOR CERTIFICATION PROGRAMS AND TESTING LABS. 3. SUCCESSFUL COMPLETION OF A THIRD PARTY APPRENTICE TRAINING PROGRAM IN THE APPROPRIATE TRADE. 4.504 POHUTANT CONTROL CODE, CALIFORNIA PLUMBING CODE, CALIFORNIA MECHANICAL CODE, CALIFORNIA ELECTRICAL CODE, AND ALL LOCAL 4.504.1 COVERING OF DUCT OPENINGS & PROTECTION OF MECHANICAL EQUIPMENT DURING CONSTRUCTION. AT THE 4. OTHER PROGRAMS ACCEPTABLE TO THE ENFORCING AGENCY. CODES AND ORDINANCES REQUIRED TO RECEIVE A CERTIFICATE OF OCCUPANCY FROM THE BUILDING OFFICIAL HAVING TIME OF ROUGH INSTALLATION, DURING STORAGE ON THE CONSTRUCTION SITE AND UNTIL FINAL STARTUP OF THE HEATING, HHTPS://WWW.CDPH.CA.GOV/PROGRAMS/CCDPHP/DEODC/EHLB/IAQ/PAGES/VOC.ASPX. **JURISDICTION OVER THE PROJECT.** COOLING AND VENTILATING EQUIPMENT, ALL DUCT AND OTHER RELATED AIR DISTRIBUTION COMPONENT OPENINGS SHALL BE COVERED WITH TAPE, PLASTIC, SHEET METAL OR OTHER METHODS ACCEPTABLE TO THE ENFORCING AGENCY TO REDUCE THE 1. SPECIAL INSPECTORS SHALL BE INDEPENDENT ENTITIES WITH NO FINANCIAL INTEREST IN THE MATERIALS OR THE THE GENERAL ENGINEERING CONTRACTOR, GENERAL CONTRACTOR AND SUBCONTRACTORS SHALL PERFORM ALL WORK AMOUNT OF WATER, DUST OR DEBRIS WHICH MAY ENTER THE SYSTEM. 4.504.5 COMPOSITE WOOD PRODUCTS. HARDWOOD PLYWOOD, PARTICLEBOARD AND MEDIUM DENSITY FIBERBOARD PROJECT THEY ARE INSPECTING FOR COMPLIANCE WITH THIS CODE. REQUIRED BY APPLICABLE BUILDING CODES AND REGULATIONS TO PASS ALL REQUIRED BUILDING INSPECTIONS. COMPOSITE WOOD PRODUCTS USED ON THE INTERIOR OR EXTERIOR OF THE BUILDINGS SHALL MEET THE REQUIREMENTS FOR 2. HERS RATERS ARE SPECIAL INSPECTORS CERTIFIED BY THE CALIFORNIA ENERGY COMMISSION (CEC) TO RATE 4.504.2 FINISH MATERIAL POLLUTANT CONTROL. FINISH MATERIALS SHALL COMPLY WITH THIS SECTION. FORMALDEHYDE AS SPECIFIED IN ARB'S AIR TOXICS CONTROL MEASURE FOR COMPOSITE WOOD (17 CCR 93120 ET HOMES IN CALIFORNIA ACCORDING TO THE HOME ENERGY RATING SYSTEM (HERS). EACH SUBCONTRACTOR MUST BE A SPECIALIST IN THEIR FIELD. EACH SUBCONTRACTOR SHALL, PRIOR TO THE SUBMISSION SEQ.), BY OR BEFORE THE DATES SPECIFIED IN THOSE SECTIONS, AS SHOWN IN TABLE 4.504.5 OF HIS BID OR PERFORMANCE OF WORK, NOTIFY THE GENERAL CONTRACTOR OF ANY WORK CALLED OUT IN THE 4.504.2.1 ADHESIVES, SEALANTS AND CAULKS. ADHESIVES, SEALANT AND CAULKS USED ON THE PROJECT SHALL MEET [BSC] WHEN REQUIRED BY THE ENFORCING AGENCY, THE OWNER OR THE RESPONSIBLE ENTITY ACTING AS THE OWNER'S DRAWINGS OR PROJECT MANUAL IN HIS TRADE THAT CANNOT BE FULLY GUARANTEED OR CONSTRUCTED ACCORDING 4.504.5.1 DOCUMENTATION. VERIFICATION OF COMPLIANCE WITH THIS SECTION SHALL BE PROVIDED AS REQUESTED agent shall employ one or more special inspectors to provide inspection or other duties necessary to he requirements of the following standards unless more stringent local or regional air pollution or air TO THE DESIGN INTENT. SUBSTANTIATE COMPLIANCE WITH THIS CODE. SPECIAL INSPECTORS SHALL DEMONSTRATE COMPETENCE TO THE SATISFACTION QUALITY MANAGEMENT DISTRICT RULES APPLY: BY THE ENFORCING AGENCY. DOCUMENTATION SHALL INCLUDE AT LEAST ONE OF THE FOLLOWING: OF THE ENFORCING AGENCY FOR THE PARTICULAR TYPE OF INSPECTION OR TASK TO BE PERFORMED. IN ADDITION, THE SPECIAL PERMITS, LICENSES, INSPECTIONS, AND FEES: ADHESIVES, ADHESIVE BONDING PRIMERS, ADHESIVE PRIMERS, SEALANTS, SEALANT PRIMERS AND CAULKS . PRODUCT CERTIFICATIONS AND SPECIFICATIONS. INSPECTOR SHALL HAVE A CERTIFICATION FROM A RECOGNIZED STATE, NATIONAL OR INTERNATIONAL ASSOCIATION, AS DETERMINED BY THE LOCAL AGENCY. THE AREA OF CERTIFICATION SHALL BE CLOSELY RELATED TO THE PRIMARY IOB FUNCTION. Shall comply with local or regional air pollution control or air quality management district CHAIN OF CUSTODY CERTIFICATIONS. THE OWNER SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED PLAN REVIEW, PERMIT, LICENSE, AND INSPECTION PRODUCT LABELED AND INVOICED AS MEETING THE COMPOSITE WOOD PRODUCTS REGULATION (SEE RULES WHERE APPLICABLE OR SCAQMD RULE 1168 VOC LIMITS, AS SHOWN IN TABLE 4.504.1 OR 4.504.2, AS AS DETERMINED BY THE LOCAL AGENCY. APPROVALS. ALL FEES REQUIRED FOR APPROVAL SHALL BE PAID BY THE OWNER. 0 APPLICABLE. SUCH PRODUCTS ALSO SHALL COMPLY WITH THE RULE 1168 PROHIBITION ON THE USE OF CERTAIN CCR. TITLE 17. SECTION 93120, ET SEQ.). TOXIC COMPOUNDS (CHLOROFORM, ETHYLENE DICHLORIDE, METHYLENE CHLORIDE, PERCHLOROETHYLENE AND 4. EXTERIOR GRADE PRODUCTS MARKED AS MEETING THE PS-1 OR PS-2 STANDARDS OF THE ENGINEERED NOTE: SPECIAL INSPECTORS SHALL BE INDEPENDENT ENTITIES WITH NO FINANCIAL INTEREST IN THE MATERIALS OR THE 2 **GUARANTEE:** TRICLOROETHYLENE), EXCEPT FOR AEROSOL PRODUCTS, AS SPECIFIED IN SUBSECTION 2 BELOW. WOOD ASSOCIATION, THE AUSTRALIAN AS/NZS 2269, EUROPEAN 636 3S STANDARDS, AND CANADIAN CSA PROJECT THEY ARE INSPECTING FOR COMPLIANCE WITH THIS CODE. 0 0121, CSA 0151, CSA 0153 AND CSA 0325 STANDARDS. THE GENERAL ENGINEERING CONTRACTOR, GENERAL CONTRACTOR AND SUBCONTRACTORS SHALL GUARANTEE THAT AEROSOL ADHESIVES, AND SMALLER UNIT SIZES OF ADHESIVES, AND SEALANT OR CAULKING COMPOUNDS (IN 5. OTHER METHODS ACCEPTABLE TO THE ENFORCING AGENCY. Ó ALL WORK REQUIRED TO CONSTRUCT THE PROJECT BE A COMPLETE WORKING SYSTEM AND SHALL OPERATE FREE FROM UNITS OF PRODUCT, LESS PACKAGING, WHICH DO NOT WEIGH MORE THAN 1 POUND AND DO NOT CONSIST 4.505 INTERIOR MOISTURE CONTROL 703 VERIFICATIONS DEFECTS IN WORKMANSHIP AND MATERIALS. THE CONTRACTOR AGREES TO REPLACE, WITHOUT EXPENSE TO THE OF MORE THAN 16 FLUID OUNCES) SHALL COMPLY WITH STATEWIDE VOC STANDARDS AND OTHER 4.505.1 GENERAL. BUILDINGS SHALL MEET OR EXCEED THE PROVISIONS OF THE CALIFORNIA BUILDING STANDARDS CODE. 703.1 DOCUMENTATION. DOCUMENTATION USED TO SHOW COMPLIANCE WITH THIS CODE SHALL INCLUDE BUT IS NOT OWNER, ANY PROJECT COMPONENTS WHICH THE OWNER DETERMINES TO BE DEFECTIVE WITHIN ONE (1) CALENDAR REQUIREMENTS, INCLUDING PROHIBITIONS ON USE OF CERTAIN TOXIC COMPOUNDS, OF CALIFORNIA CODE OF LIMITED TO, CONSTRUCTION DOCUMENTS, PLANS, SPECIFICATIONS, BUILDER OR INSTALLER CERTIFICATION, INSPECTION REPORTS YEAR FROM THE DATE OF FINAL CONTRACT ACCEPTANCE REGULATIONS, TITLE 17, COMMENCING WITH SECTION 94507. 4.505.2 CONCRETE SLAB FOUNDATIONS. CONCRETE SLAB FOUNDATIONS REQUIRED TO HAVE A VAPOR RETARDER BY OR OTHER METHODS ACCEPTABLE TO THE ENFORCING AGENCY WHICH DEMONSTRATE SUBSTANTIAL CONFORMANCE. WHEN 0 CALIFORNIA BUILDING CODE, CHAPTER 19, OR CONCRETE SLAB-ON-GROUND FLOORS REQUIRED TO HAVE A VAPOR RETARDER BY SPECIFIC DOCUMENTATION OR SPECIAL INSPECTION IS NECESSARY TO VERIFY COMPLIANCE, THAT METHOD OF COMPLIANCE DATA AND MEASUREMENTS 4.504.2.2 PAINTS AND COATINGS. ARCHITECTURAL PAINTS AND COATINGS SHALL COMPLY WITH VOC LIMITS IN TABLE 1 THE CALIFORNIA RESIDENTIAL CODE, CHAPTER 5, SHALL ALSO COMPLY WITH THIS SECTION. WILL BE SPECIFIED IN THE APPROPRIATE SECTION OR IDENTIFIED APPLICABLE CHECKLIST. OF THE ARB ARCHITECTURAL SUGGESTED CONTROL MEASURE, AS SHOWN IN TABLE 4.504.3, UNLESS MORE STRINGENT LOCAL DRAWING DATA CONTAINED HEREIN IS AS EXACT AS COULD BE DETERMINED WITHIN THE PROJECT DESIGNER'S DESIGN LIMITS APPLY. THE VOC CONTENT LIMIT FOR COATINGS THAT DO NOT MEET THE DEFINITIONS FOR THE SPECIALTY COATINGS 4.505.2.1 CAPILLARY BREAK. A CAPILLARY BREAK SHALL BE INSTALLED IN COMPLIANCE WITH AT LEAST ONE OF THE SCOPE OF SERVICES RENDERED. AS SUCH THE ABSOLUTE ACCURACY OF THE DESIGN DATA IS NOT GUARANTEED. THE CATEGORIES LISTED IN TABLE 4.504.3 SHALL BE DETERMINED BY CLASSIFYING THE COATING AS A FLAT, NONFLAT OR NONFLAT-FOLLOWING: GENERAL ENGINEERING CONTRACTOR, GENERAL CONTRACTOR AND SUBCONTRACTORS SHALL ENDEAVOR TO OBTAIN, 0 HIGH GLOSS COATING, BASED ON ITS GLOSS, AS DEFINED IN SUBSECTIONS 4.21, 4.36, AND 4.37 OF THE 2007 CALIFORNIA VERIFY AND CONFIRM EXACT DESIGN DATA ON SITE AND SUITABLY ADAPT THE WORK TO CONFORM TO EXACT AIR RESOURCES BOARD, SUGGESTED CONTROL MEASURE, AND THE CORRESPONDING FLAT, NONFLAT OR NONFLAT-HIGH 1. A 4-INCH (101.6 MM) THICK BASE OF 1/2 INCH (12.7MM) OR LARGER CLEAN AGGREGATE SHALL BE PROVIDED WITH CONDITIONS ON SITE. THE CONTRACTOR SHALL REPORT ANY DESIGN DATA AMBIGUITIES OR DISCREPANCIES A VAPOR BARRIER IN DIRECT CONTACT WITH CONCRETE AND A CONCRETE MIX DESIGN, WHICH WILL ADDRESS GLOSS VOC LIMIT IN TABLE 4.504.3 SHALL APPLY. CONTAINED IN THE CONTRACT TO THE OWNER IN WRITING. ALL MODIFICATIONS REQUIRED TO ADAPT THE WORK SHALL BLEEDING, SHRINKAGE, AND CURLING, SHALL BE USED. FOR ADDITIONAL INFORMATION, SEE AMERICAN BE MADE BY THE CONTRACTOR AT THE CONTRACTOR'S EXPENSE. 4.504.2.3 AEROSOL PAINTS AND COATINGS. AEROSOL PAINTS AND COATINGS SHALL MEET THE PRODUCT-WEIGHTED CONCRETE INSTITUTE, ACI 302,2R-06 MIR LIMITS FOR ROC IN SECTION 94522(A)(2) AND OTHER REQUIREMENTS, INCLUDING PROHIBITIONS ON USE OF CERTAIN OTHER EQUIVALENT METHODS APPROVED BY THE ENFORCING AGENCY. DO NOT SCALE THE DRAWINGS. WRITTEN DIMENSIONS AND ACTUAL BUILDING MEASUREMENTS TAKE PRECEDENCE TOXIC COMPOUNDS AND OZONE DEPLETING SUBSTANCES, IN SECTIONS 94522(E)(1) AND (F)(1) OF CALIFORNIA CODE OF A SLAB DESIGN SPECIFIED BY A LICENSED DESIGN PROFESSIONAL. OVER SCALED DRAWING INFORMATION. REGULATIONS, TITLE 17, COMMENCING WITH SECTION 94520; AND IN AREAS UNDER THE JURISDICTION OF THE BAY AREA AIR QUALITY MANAGEMENT DISTRICT ADDITIONALLY COMPLY WITH THE PERCENT VOC BY WEIGHT OF PRODUCT LIMITS OF 4.505.3 MOISTURE CONTENT OF BUILDING MATERIALS. BUILDING MATERIALS WITH VISIBLE SIGNS OF WATER DAMAGE SHALL DIMENSIONS TO DOORS, WINDOWS, AND OPENINGS ARE NOMINAL WIDTHS. REFER TO THE MANUFACTURER FOR NOT BE INSTALLED. WALL AND FLOOR FRAMING SHALL NOT BE ENCLOSED WHEN THE FRAMING MEMBERS EXCEED 19 PERCENT REGULATION 8, RULE 49. **ACTUAL ROUGH OPENINGS** MOISTURE CONTENT. MOISTURE CONTENT SHALL BE VERIFIED IN COMPLIANCE WITH THE FOLLOWING: 4.504.2.4 VERIFICATION. VERIFICATION OF COMPLIANCE WITH THIS SECTION SHALL BE PROVIDED AT THE REQUEST OF . ALL WALL DIMENSIONS ARE ACTUAL, FACE OF STUD TO FACE OF STUD. WALL FINISH DIMENSIONS ARE NOT TAKEN INTO THE ENFORCING AGENCY. DOCUMENTATION MAY INCLUDE, BUT IS NOT LIMITED TO, THE FOLLOWING: MOISTURE CONTENT SHALL BE DETERMINED WITH EITHER A PROBE-TYPE OR CONTACT-TYPE MOISTURE METER. ACCOUNT AND ARE THE RESPONSIBILITY OF THE CONTRACTOR AND SUBCONTRACTORS TO DETERMINE PROPER EQUIVALENT MOISTURE VERIFICATION METHODS MAY BE APPROVED BY THE ENFORCING AGENCY AND SHALL SATISFY MANUFACTURER'S PRODUCT SPECIFICATION. REQUIREMENTS FOUND IN SECTION 101.8 OF THIS CODE. 2. FIELD VERIFICATION OF ON-SITE PRODUCT CONTAINERS. 2. MOISTURE READINGS SHALL BE TAKEN AT A POINT 2 FEET (610 MM) TO 4 FEET (1219 MM) FROM THE GRADE STAMPED NOTES ARE AN AID TO THE CONTRACTOR IN UNDERSTANDING THE WORK AND SHOULD NOT BE CONSTRUED AS BEING END OF FACH PIECE VERIFIED COMPLETE IN EVERY DETAIL. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO BECOME THOROUGHLY FAMILIAR WITH 3. AT LEAST THREE RANDOM MOISTURE READINGS SHALL BE PERFORMED ON WALL AND FLOOR FRAMING WITH THE WORK, AND REPORT ALL DISCREPANCIES BETWEEN THE DRAWINGS AND THE ACTUAL CONDITIONS TO THE DESIGNER. WALL AND FLOOR FRAMING. 6. DIMENSIONS MARKED AS "V.I.F." SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR. INSULATION PRODUCTS WHICH ARE VISIBLY WET OR HAVE A HIGH MOISTURE CONTENT SHALL BE REPLACED OR ALLOWED TO DRY PRIOR TO ENCLOSURE IN WALL OR FLOOR CAVITIES. WET-APPLIED INSULATION PRODUCTS SHALL FOLLOW THE MANUFACTURERS' 7. DIMENSIONS ARE NOT ADJUSTABLE WITHOUT APPROVAL OF THE DESIGNER, UNLESS NOTED AS +/-. DRYING RECOMMENDATIONS PRIOR TO ENCLOSURE SUBSTITUTIONS FOR SPECIFIED MATERIALS: 4.506 INDOOR AIR QUALITY AND EXHAUST 4.506.1 BATHROOM EXHAUST FANS. EACH BATHROOM SHALL BE MECHANICALLY VENTILATED AND SHALL COMPLY WITH THE SPECIFIC TRADE NAMES MENTIONED IN THE DRAWINGS ARE FOR THE PURPOSES OF ESTABLISHING MINIMUM FOLLOWING: STANDARDS OF QUALITY, STYLE OR TYPE, AND SHALL NOT BE CONSTRUED TO RESTRICT SUBSTITUTIONS. ALL SUBSTITUTIONS SHALL BE SUBMITTED TO AND APPROVED BY THE OWNER IN WRITING WITHIN A SUFFICIENT TIME FRAME 1. FANS SHALL BE ENERGY STAR COMPLIANT AND BE DUCTED TO TERMINATE OUTSIDE THE BUILDING. AS NOT TO DELAY PROJECT COMPLETION. 2. UNLESS FUNCTIONING AS A COMPONENT OF A WHOLE HOUSE VENTILATION SYSTEM, FANS MUST BE CONTROLLED BY SUBSTITUTIONS SHALL NOT BE ALLOWED WITHOUT PRIOR APPROVAL FROM BOTH THE DESIGNER AND THE OWNER CONSIDERATION WILL BE GIVEN TO LIFE SAFETY, FIRE RATING. A. HUMIDITY CONTROLS SHALL BE CAPABLE OF ADJUSTMENT BETWEEN A RELATIVE HUMIDITY RANGE LESS THAN OR ACOUSTICS, WATERPROOFING, STRUCTURAL INTEGRITY, HANDICAPPED ACCESSIBILITY AND AESTHETICS WHEN EQUAL TO 50% TO A MAXIMUM OF 80%. A HUMIDITY CONTROL MAY UTILIZE MANUAL OR AUTOMATIC MEANS OF ASSESSING PROPOSED SUBSTITUTIONS. B. A HUMIDITY CONTROL MAY BE A SEPARATE COMPONENT TO THE EXHAUST FAN AND IS NOT REQUIRED TO BE INTEGRAL (I.E., BUILT-IN) **CLEAN UP AND START UP RESPONSIBILITIES:** AFTER COMPLETION OF THE WORK DESCRIBED IN THEIR RESPECTIVE CONTRACTS AND PRIOR TO ACCEPTANCE, THE GENERAL ENGINEERING CONTRACTOR, GENERAL CONTRACTOR AND SUBCONTRACTORS SHALL THOROUGHLY CLEAN 1. FOR THE PURPOSES OF THIS SECTION, A BATHROOM IS A ROOM WHICH CONTAINS A BATHTUB, SHOWER OR ALL EXPOSED SURFACES OF THEIR RESPECTIVE WORK COMPLETED. TUB/SHOWER COMBINATION. 2. LIGHTING INTEGRAL TO BATHROOM EXHAUST FANS SHALL COMPLY WITH THE CALIFORNIA ENERGY CODE. AFTER COMPLETION OF THE WORK DESCRIBED IN THEIR RESPECTIVE CONTRACTS AND PRIOR TO PROJECT ACCEPTANCE, THE GENERAL ENGINEERING CONTRACTOR, GENERAL CONTRACTOR AND SUBCONTRACTORS SHALL THOROUGHLY TEST AND PROPERLY START UP ALL PROJECT EQUIPMENT AS REQUIRED TO SECURE AND MAINTAIN SPECIFIED EQUIPMENT 4.507.2 HEATING AND AIR-CONDITIONING SYSTEM DESIGN. HEATING AND AIR CONDITIONING SYSTEMS SHALL BE SIZED, WARRANTIES. THE GENERAL ENGINEERING CONTRACTOR, GENERAL CONTRACTOR AND SUBCONTRACTORS SHALL DESIGNED AND HAVE THEIR EQUIPMENT SELECTED USING THE FOLLOWING METHODS: REVIEW ALL MANUFACTURER'S RECOMMENDED OPERATIONS PROCEDURE WITH THE OWNER PRIOR TO PROJECT 1. THE HEAT LOSS AND HEAT GAIN IS ESTABLISHED ACCORDING TO ANSI/ACCA 2 MANUAL J - 2011 (RESIDENTIAL LOAD CALCULATION), ASHRAE HANDBOOKS OR OTHER EQUIVALENT DESIGN SOFTWARE OR METHODS. THE GENERAL ENGINEERING CONTRACTOR, GENERAL CONTRACTOR AND SUBCONTRACTORS SHALL TAKE REASONABLE 2. DUCT SYSTEMS ARE SIZED ACCORDING TO ANSI/ACCA 1 MANUAL D - 2014 (RESIDENTIAL DUCT SYSTEMS), MEASURES TO ENSURE THAT SITE IS PREPPED AND MAINTAINED SO THAT NO EROSION TO STREET, NEIGHBORS, AND ASHRAE HANDBOOKS OR OTHER EQUIVALENT DESIGN SOFTWARE OR METHODS. REAR LOT DRAIN OCCURS. STAMP: 3. SELECT HEATING AND COOLING EQUIPMENT ACCORDING TO ANSI/ACCA 3 MANUAL S - 2014 (RESIDENTIAL EQUIPMENT SELECTION), OR OTHER EQUIVALENT DESIGN SOFTWARE OR METHODS. COORDINATE ALL WORK AS REQUIRED BY THE CONTRACT DOCUMENTS WITH THE OWNER, INCLUDING TEMPORARY STORAGE, LOADING, KEYING SYSTEMS, ETC., AND PROVIDE NECESSARY BARRICADES, SIGNS, BARRIERS, AND EXCEPTION: USE OF ALTERNATE DESIGN TEMPERATURES NECESSARY TO ENSURE THE SYSTEM FUNCTIONS ARE ACCEPTABLE. AREA OF WORK: THE GENERAL ENGINEERING CONTRACTOR SHALL REMOVE ALL EXISTING LANDSCAPE MATERIAL NOT PROTECTED, CONCRETE PATIOS/WALKWAYS, YARD FENCING AND POST FOOTINGS, GARAGE STRUCTURE AND FOUNDATION, AND 04/04/2024 3:57:07 PM ALL ABANDONED UTILITIES. THE CONTRACTOR SHALL REMOVE EXISTING SITE LIGHTING AND IRRIGATION SYSTEM WITHIN THE AREA OF WORK, TERMINATE/CAP-OFF DISCONNECTION POINTS, AND TURN OVER ALL EXISTING SYSTEM COMPONENTS TO THE OWNER FOR FUTURE USE. ALL TOP SOIL SHALL BE REMOVED AND STORED FOR USE IN FINISH HAZARDOUS MATERIALS: IN THE EVENT THAT HAZARDOUS MATERIALS ARE ENCOUNTERED IN THE PREMISES DURING THE EXECUTION OF THE WORK, NOTIFY THE OWNER IMMEDIATELY AND DO NOT PROCEED UNTIL DIRECTED. FOLLOW ALL CAL OSHA REQUIREMENTS. **HOURS OF CONSTRUCTION:** CAL GREEN & GEN. NOTES NORMAL AND CUSTOMARY CONSTRUCTION ACTIVITY SHALL INCLUDE ANY CONSTRUCTION ACTIVITY CONDUCTED MONDAY THROUGH FRIDAY, 7:00 A.M. TO 6:00 P.M., AND WEEKENDS 8:00 A.M. TO 5:00 P.M., EXCLUDING FEDERAL HOLIDAYS PER CCR 6.14B. CONST. DOCUMENTS DESIGN DEVELOPMENT 03/18/24 SCHEMATIC DESIGN 03/08/24 SHEET:

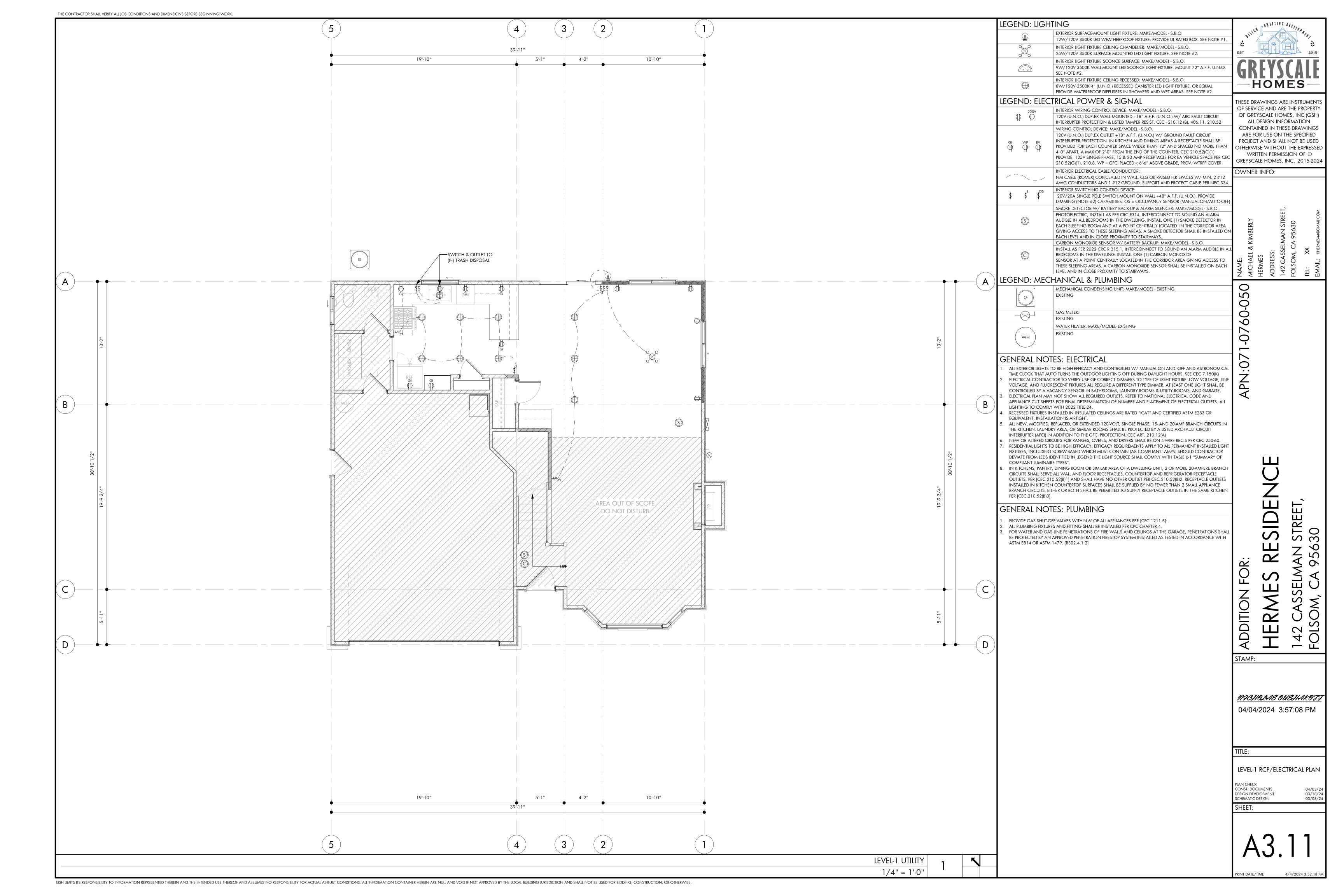


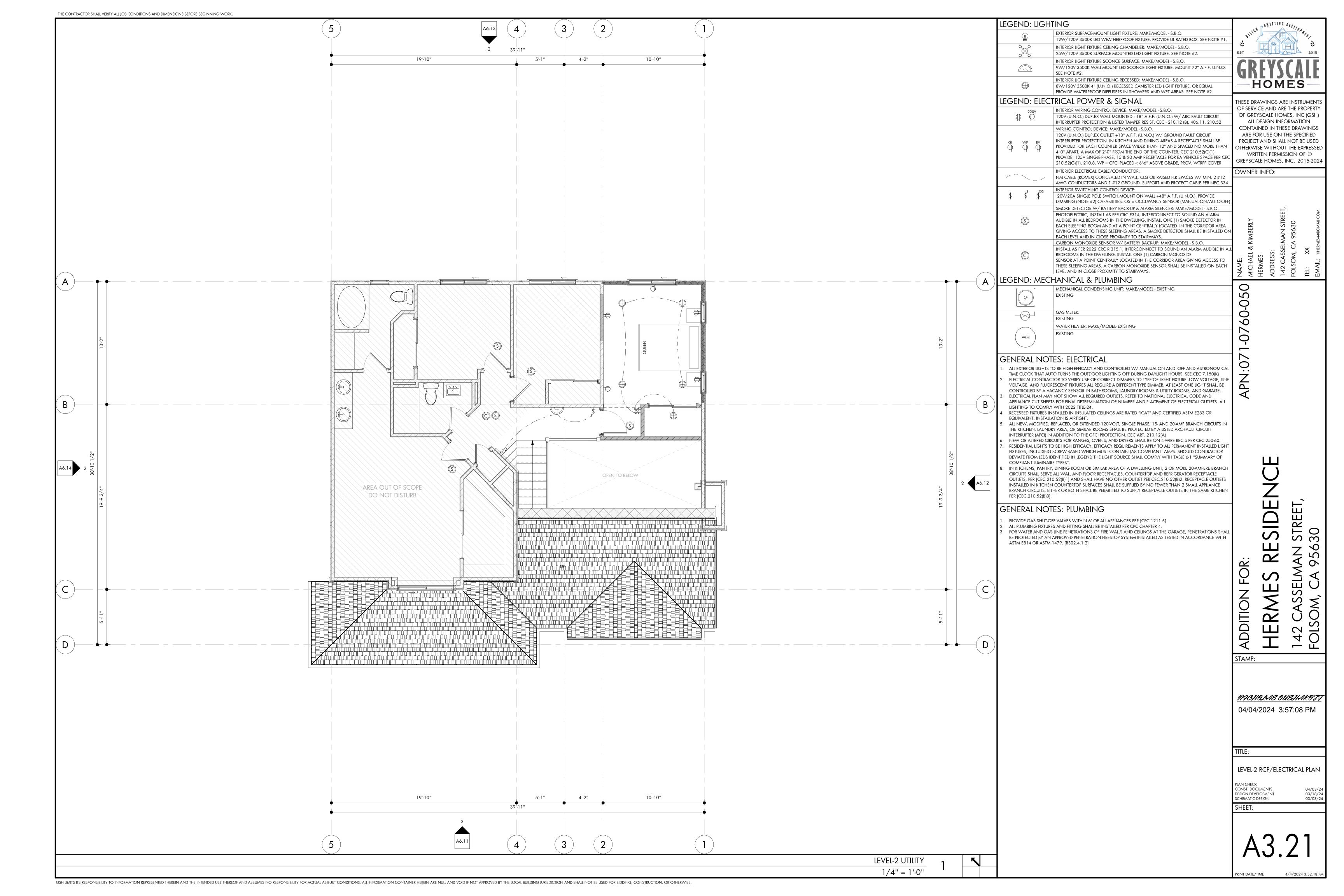


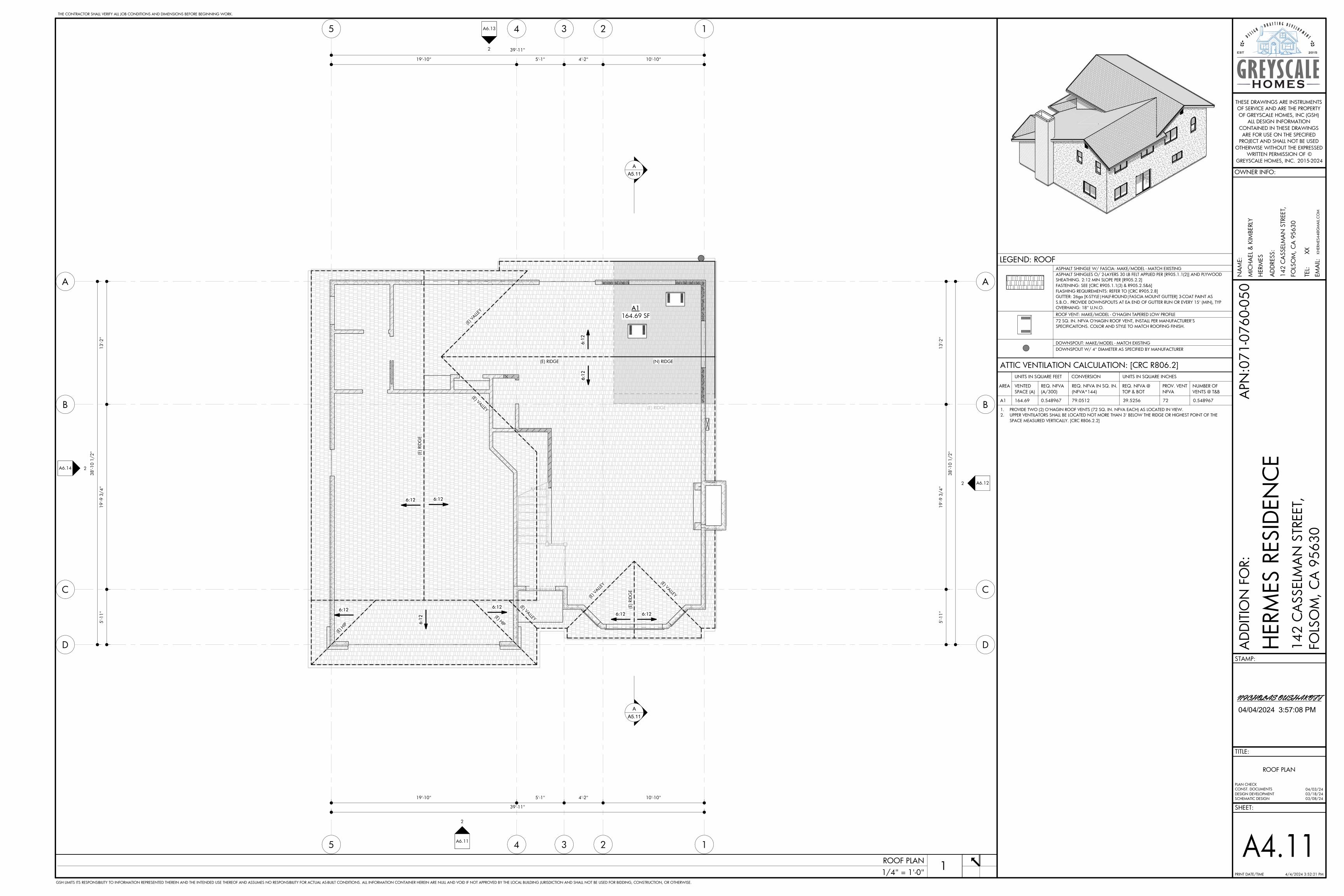


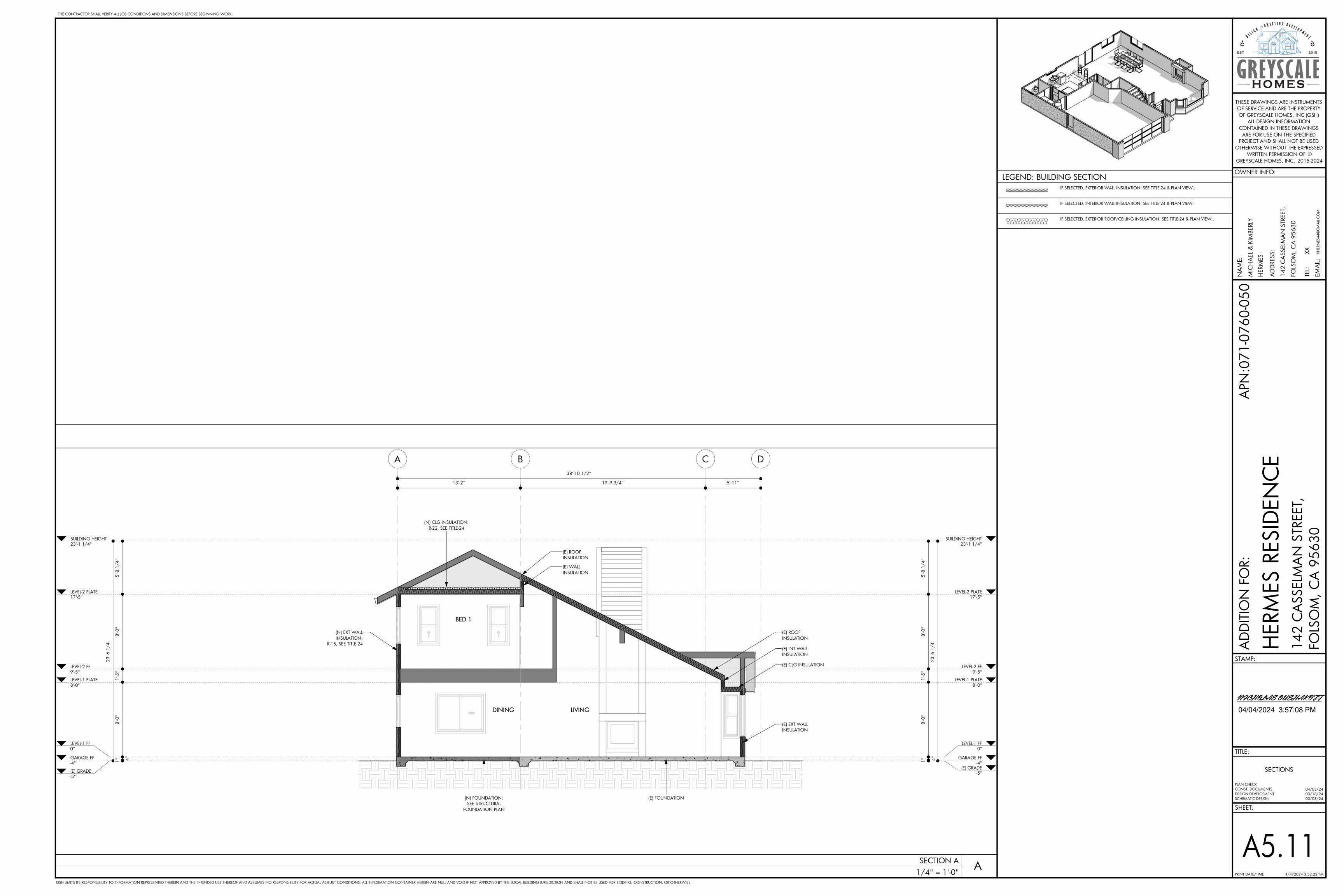




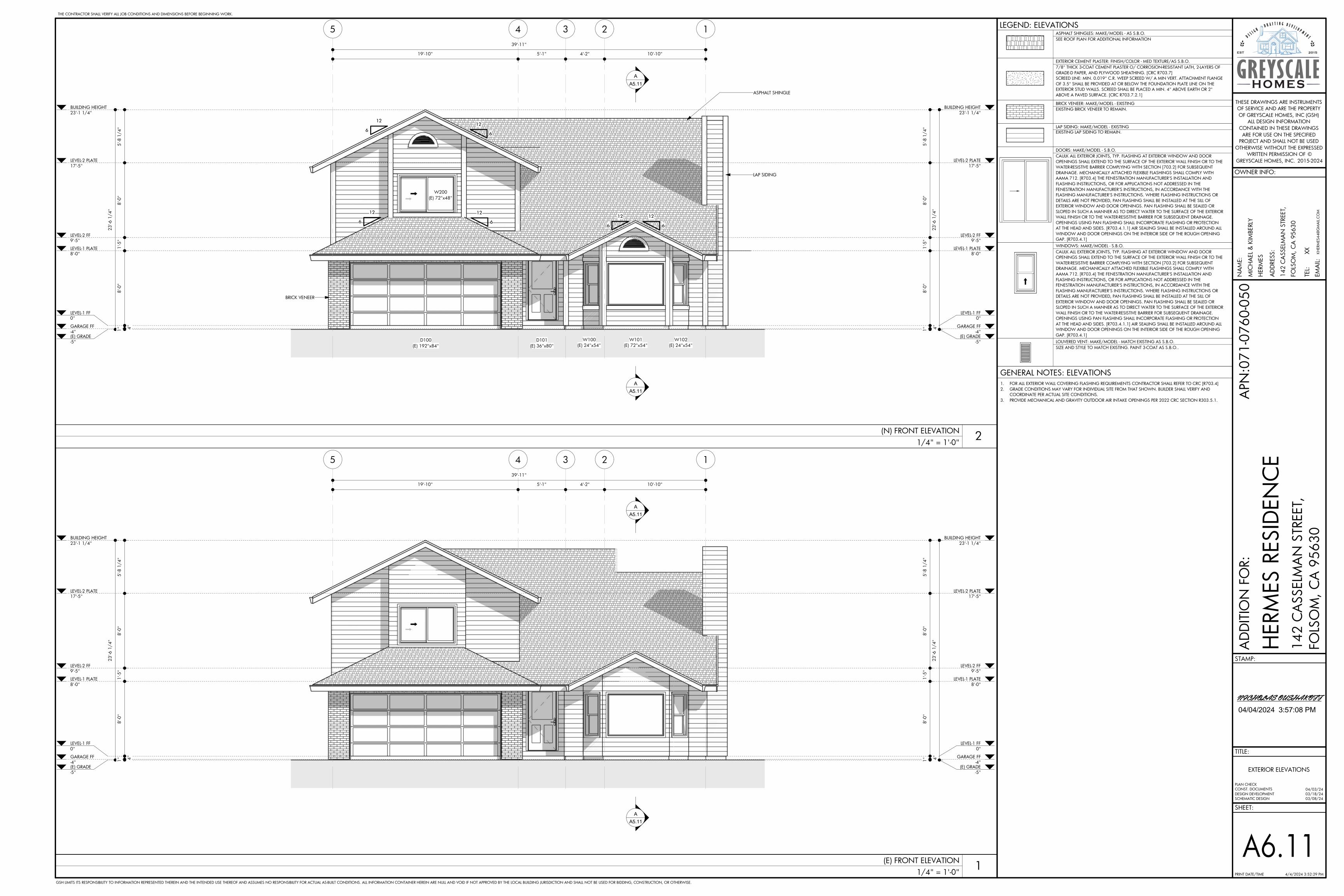




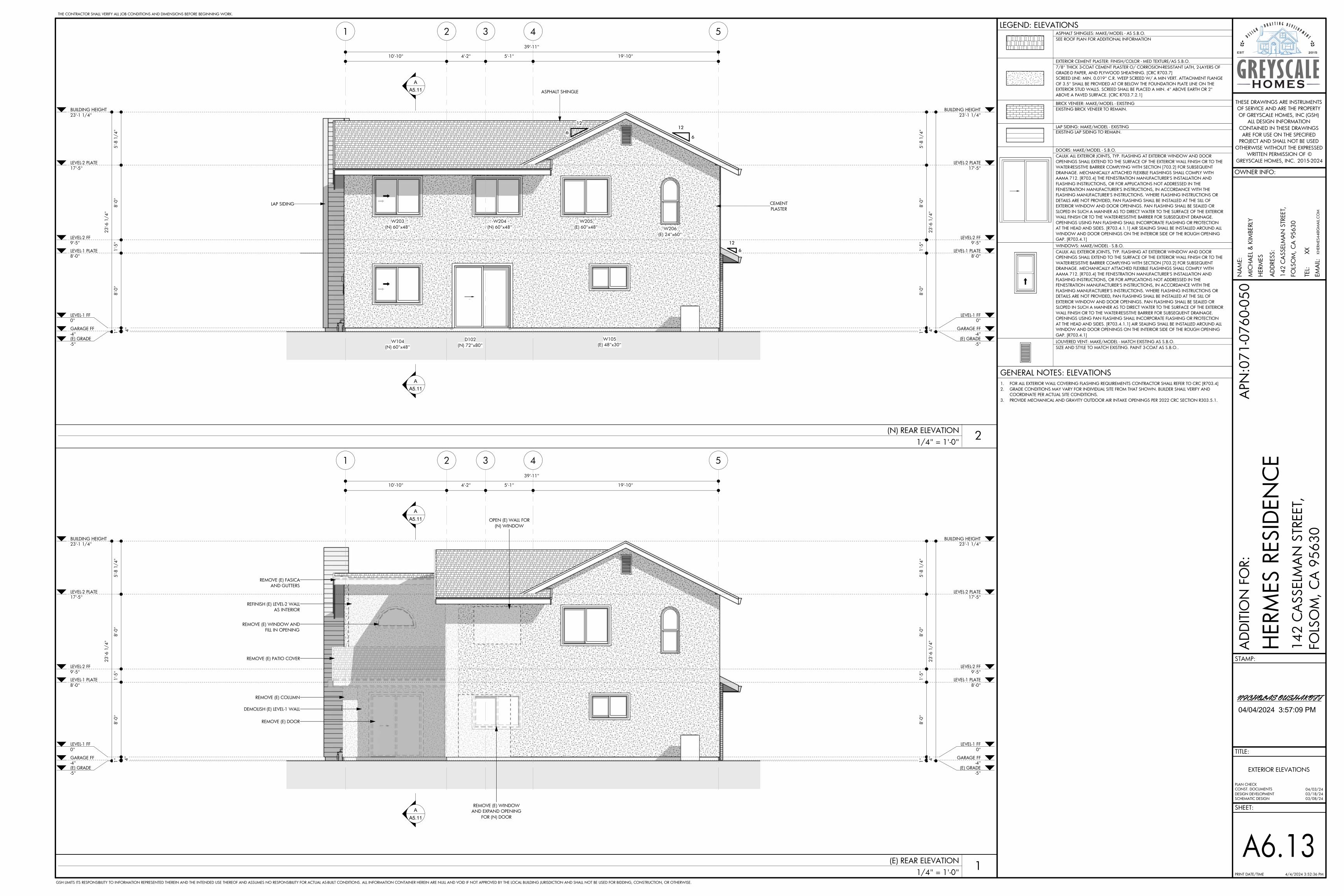


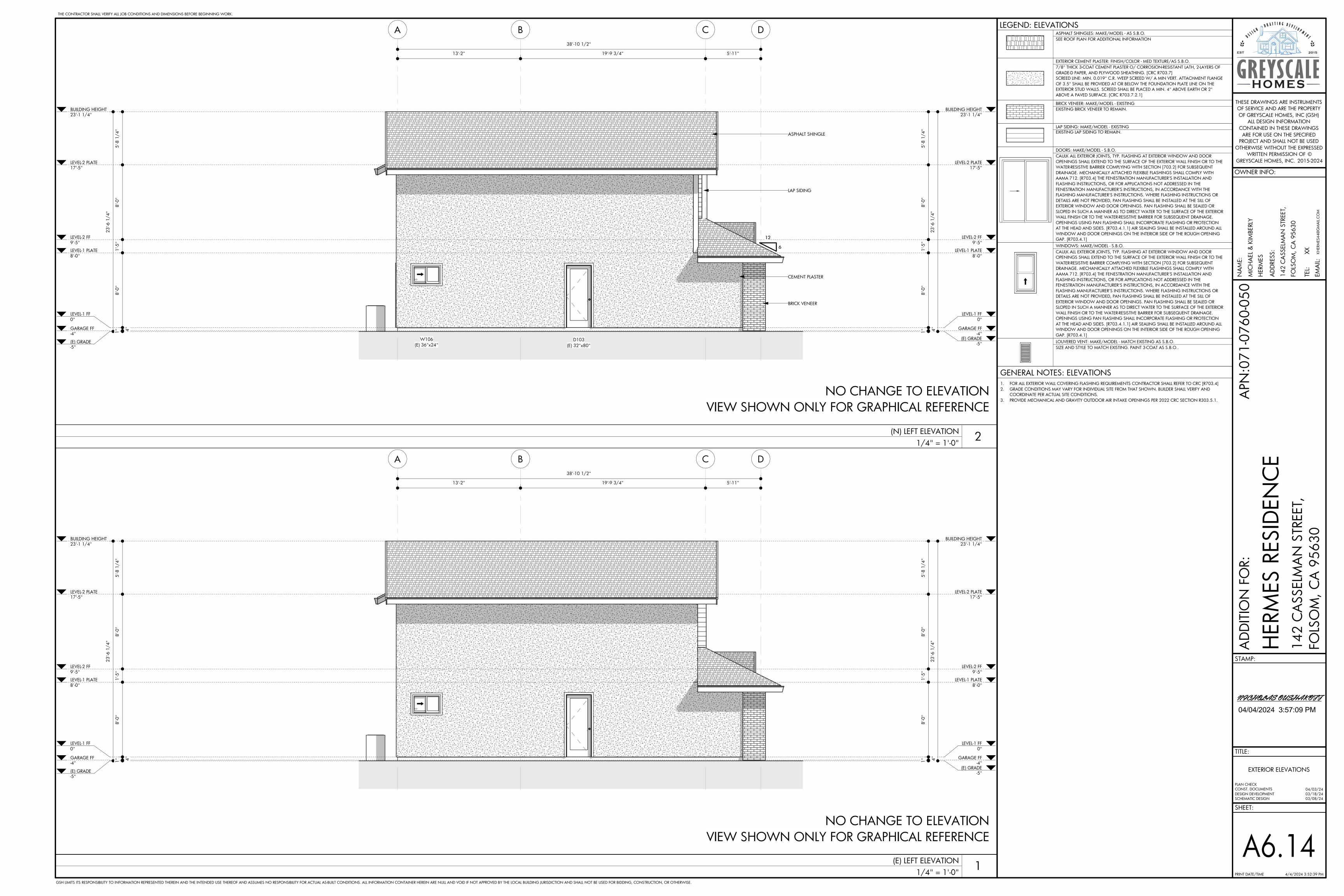


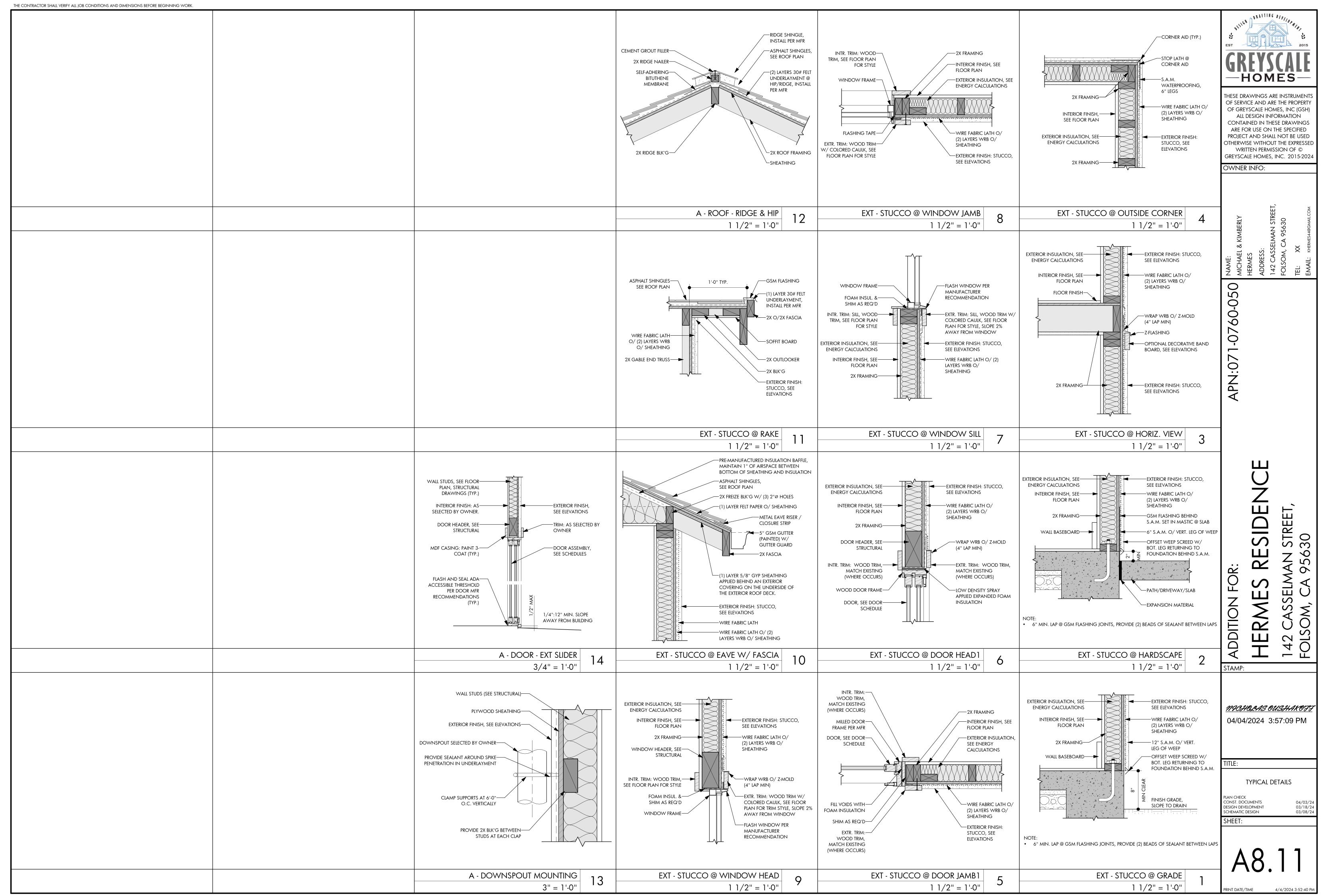


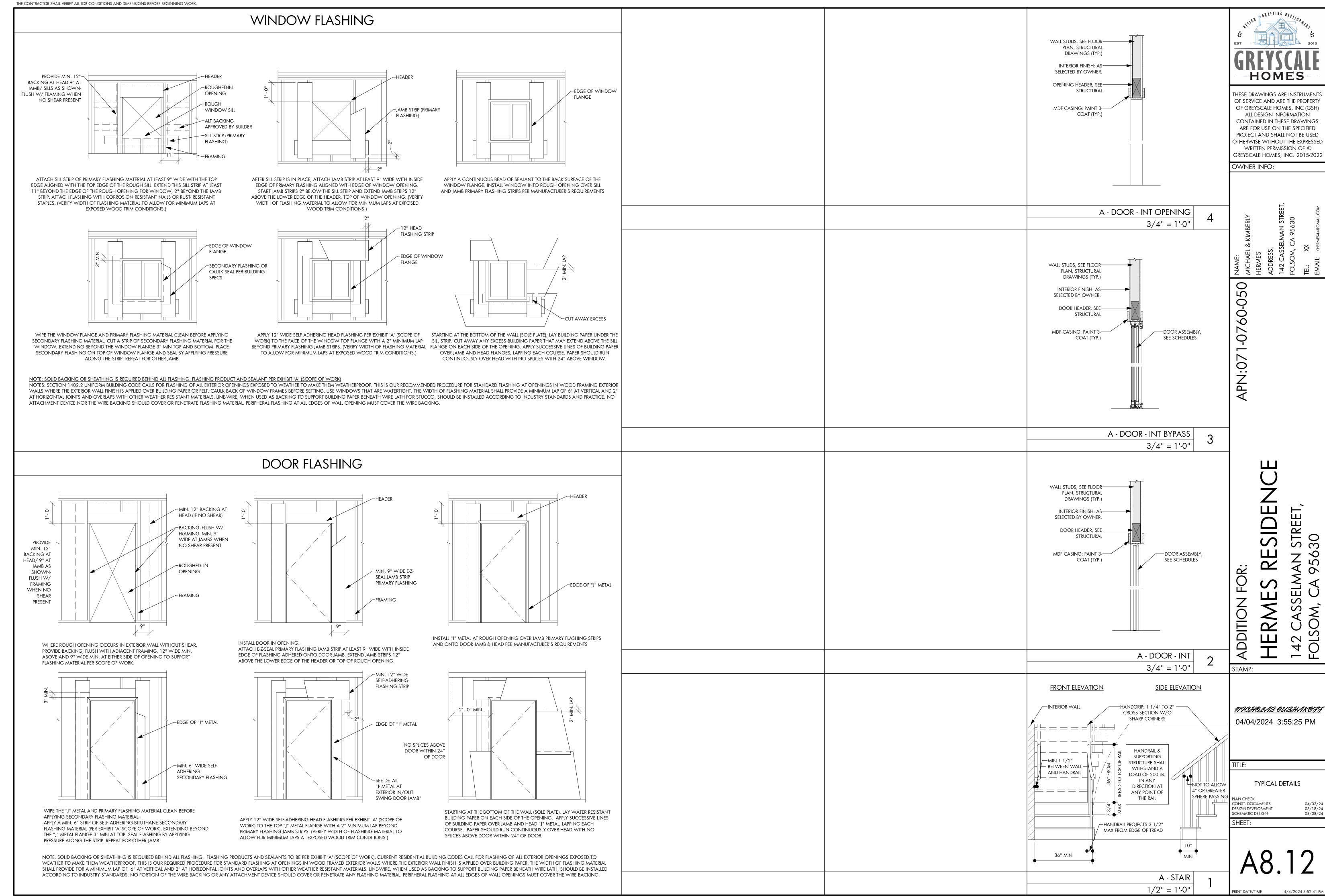












CF1R-PRF-01-E Project Name: Hermes Ex Plus Add Calculation Date/Time: 2024-04-02T20:21:59-07:00 (Page 1 of 13) Input File Name: Hermes Ex Plus Add 142 Casselman St Folsom.ribd22x Calculation Description: Title 24 Analysis

| GENER | AL INFORMATION | | | | | | | | | | |
|-------|--|----------------------------|----------------|-----------------------------------|---------------|--|--|--|--|--|--|
| 01 | Project Name | Hermes Ex Plus Add | es Ex Plus Add | | | | | | | | |
| 02 | Run Title | Title 24 Analysis | 24 Analysis | | | | | | | | |
| 03 | Project Location | 142 Casselman St | Casselman St | | | | | | | | |
| 04 | City | Folsom | 05 | Standards Version | 2022 | | | | | | |
| 06 | Zip code | 95630 | 07 | Software Version | EnergyPro 9.2 | | | | | | |
| 08 | Climate Zone | 12 | 09 | Front Orientation (deg/ Cardinal) | 270 | | | | | | |
| 10 | Building Type | Single family | 11 | Number of Dwelling Units | 1 | | | | | | |
| 12 | Project Scope | Addition and/or Alteration | 13 | Number of Bedrooms | 4 | | | | | | |
| 14 | Addition Cond. Floor Area (ft ²) | 343 | 15 | Number of Stories | 2 | | | | | | |
| 16 | Existing Cond. Floor Area (ft ²) | 1628 | 17 | Fenestration Average U-factor | 0.4 | | | | | | |
| 18 | Total Cond. Floor Area (ft ²) | 1971 | 19 | Glazing Percentage (%) | 12.81% | | | | | | |
| 20 | ADU Bedroom Count | n/a | 21 | ADU Conditioned Floor Area | n/a | | | | | | |
| 22 | Fuel Type | Natural gas | 23 | No Dwelling Unit: | No | | | | | | |
| | | | | | | | | | | | |

| COMPLIANCE RES | SULTS |
|----------------|---|
| 01 | Building Complies with Computer Performance |
| 02 | Building does not require field testing or HERS verification |
| 03 | This building incorporates one or more Special Features shown below |

Registration Number: HERS Provider: Registration Date/Time:

CA Building Energy Efficiency Standards - 2022 Residential Compliance Report Generated: 2024-04-02 20:22:26 Report Version: 2022.0.000 Schema Version: rev 20220901

CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD

Registration Number:

CF1R-PRF-01-E Project Name: Hermes Ex Plus Add Calculation Date/Time: 2024-04-02T20:21:59-07:00 (Page 4 of 13) Input File Name: Hermes Ex Plus Add 142 Casselman St Folsom.ribd22x Calculation Description: Title 24 Analysis

| calculation Description. | Title 24 Allulysis | | input i iic ivi | aine: Herrics Ex Flas Add | 142 00330111011 301 0130111 | III IDUZZX |
|--------------------------|--------------------|------------------|------------------------------------|---------------------------|-----------------------------|------------|
| ZONE INFORMATION | | | | | | |
| 01 | 02 | 03 | 04 | 05 | 06 | 07 |
| Zone Name | Zone Type | HVAC System Name | Zone Floor Area (ft ²) | Avg. Ceiling Height | Water Heating System 1 | Status |
| 2nd Flr Add | Conditioned | Res HVAC1 | 200 | 8 | DHW Sys 1 | New |

| 01 | 02 | 03 | 04 | 05 | 06 | 07 | 08 | 09 | 10 | 11 |
|------------------------|-----------------------------|------------------------------|---------|-------------|-------------------------------|-------------------------------|------------|-----------------|----------|--------------------------------|
| Name | Zone | Construction | Azimuth | Orientation | Gross Area (ft ²) | Window and Door Area (ft2) | Tilt (deg) | Wall Exceptions | Status | Verified Existing Condition |
| Front Wall | Ex 1st Flr | Existing Walls | 270 | Front | 71 | 47 | 90 | none | Existing | No |
| Back Wall | Ex 1st Flr | Existing Walls | 90 | Back | 234 | 50 | 90 | none | Existing | No |
| Right Wall | Ex 1st Flr | Existing Walls | 180 | Right | 175 | 0 | 90 | none | Existing | No |
| Left Wall | Ex 1st Flr | Existing Walls | 0 | Left | 111 | 6 | 90 | none | Existing | No |
| 315 Wall | Ex 1st Flr | Existing Walls | 315 | n/a | 24 | 9 | 90 | none | Existing | No |
| 225 Wall | Ex 1st Flr | Existing Walls | 225 | n/a | 24 | 9 | 90 | none | Existing | No |
| Back Wall 2 | 1st Flr Add | Addition Wall | 90 | Back | 88 | 17.5 | 90 | Extension | New | n/a |
| Right Wall 2 | 1st Flr Add | Addition Wall | 180 | Right | 106 | 24 | 90 | Extension | New | n/a |
| Front Wall 2 | Ex 2nd Flr | Existing Walls | 270 | Front | 161 | 24 | 90 | none | Existing | No |
| Back Wall 3 | Ex 2nd Flr | Existing Walls | 90 | Back | 235 | 50 | 90 | none | Existing | No |
| Right Wall 3 | Ex 2nd Flr | Existing Walls | 180 | Right | 151 | 0 | 90 | none | Existing | No |
| Left Wall 2 | Ex 2nd Flr | Existing Walls | 0 | Left | 265 | 0 | 90 | none | Existing | No |
| Back Wall 4 | 2nd Flr Add | Addition Wall | 90 | Back | 89 | 20 | 90 | Extension | New | n/a |
| Right Wall 4 | 2nd Flr Add | Addition Wall | 180 | Right | 133 | 16 | 90 | Extension | New | n/a |
| Walls To Addition | Ex 1st Flr>>1st Flr Add | Interior Wall to Gar or A | n/a | n/a | 8 | 0 | n/a | | Existing | No |
| Walls To Garage | Ex 1st Flr>>Garage_ _ | Interior Wall to Gar or A | n/a | n/a | 320 | 17 | n/a | | Existing | No |
| Walls To Addition 2 | Ex 2nd Flr>>2nd Flr Add | Interior Wall to Gar or A | n/a | n/a | 8 | 0 | n/a | | Existing | No |
| Ex Roof | Ex 1st Flr | Existing Attic | n/a | n/a | 232 | n/a | n/a | | Existing | No |

CA Building Energy Efficiency Standards - 2022 Residential Compliance Report Generated: 2024-04-02 20:22:26 Report Version: 2022.0.000

Registration Date/Time:

Schema Version: rev 20220901

HERS Provider:

CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD CF1R-PRF-01-E Project Name: Hermes Ex Plus Add Calculation Date/Time: 2024-04-02T20:21:59-07:00 (Page 2 of 13) Calculation Description: Title 24 Analysis Input File Name: Hermes Ex Plus Add 142 Casselman St Folsom.ribd22x

| Energy Use | Standard Design Source Energy (EDR1) (kBtu/ft ² -yr) | Standard Design TDV Energy (EDR2) (kTDV/ft ² -yr) | Proposed Design Source Energy (EDR1) (kBtu/ft ² -yr) | Proposed Design TDV Energy (EDR2) (kTDV/ft ² -yr) | Compliance Margin (EDR1) | Compliance Margin (EDR2) |
|---|--|---|--|---|-----------------------------|-----------------------------|
| Space Heating | 0 | 80.74 | 0 | 78.77 | 0 | 1.97 |
| Space Cooling | 0 | 68.17 | 0 | 66.92 | 0 | 1.25 |
| IAQ Ventilation | 0 | 0 | 0 | 0 | 0 | 0 |
| Water Heating | 0 | 30.98 | 0 | 30.98 | 0 | 0 |
| Self Utilization/Flexibility Credit | | | | | | |
| Efficiency Compliance Total | 0 | 179.89 | 0 | 176.67 | 0 | 3.22 |
| Photovoltaics | | 0 | | 0 | | |
| Battery | | | | 0 | | |
| Flexibility | | | | | | |
| Indoor Lighting | 0 | 7.55 | 0 | 7.55 | | |
| Appl. & Cooking | 0 | 17.26 | 0 | 17.28 | | |
| Plug Loads | 0 | 33.74 | 0 | 33.74 | | |
| Outdoor Lighting | 0 | 1.72 | 0 | 1.72 | | |
| TOTAL COMPLIANCE | 0 | 240.16 | 0 | 236.96 | | |

Registration Number: Registration Date/Time: HERS Provider: CA Building Energy Efficiency Standards - 2022 Residential Compliance Report Generated: 2024-04-02 20:22:26 Report Version: 2022.0.000

Schema Version: rev 20220901

CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD

CF1R-PRF-01-E Project Name: Hermes Ex Plus Add Calculation Date/Time: 2024-04-02T20:21:59-07:00 (Page 5 of 13) Input File Name: Hermes Ex Plus Add 142 Casselman St Folsom.ribd22x Calculation Description: Title 24 Analysis

| 01 | 02 | 03 | 04 | 05 | 06 | 07 | 08 | 09 | 10 | 11 |
|------------------------|-------------|----------------------|---------|-------------|-------------------------------|-------------------------------|------------|-----------------|----------|--------------------------------|
| Name | Zone | Construction | Azimuth | Orientation | Gross Area (ft ²) | Window and Door Area (ft2) | Tilt (deg) | Wall Exceptions | Status | Verified Existing Condition |
| Ex Roof 2 | Ex 2nd Flr | Existing Attic | n/a | n/a | 788 | n/a | n/a | | Existing | No |
| Attic | 2nd Flr Add | Addition Attic | n/a | n/a | 200 | n/a | n/a | | New | n/a |
| GarRoof | Garage | Garage Roof | n/a | n/a | 295 | n/a | n/a | | Existing | No |
| Floor o Ex 1st | Ex 2nd Flr | Interior Flr o Lwr | n/a | n/a | 551 | n/a | n/a | | Existing | No |
| Floor o Garage | Ex 2nd Flr | Interior Flr o Lwr | n/a | n/a | 237 | n/a | n/a | | Existing | No |
| (n) Floor o Ex 1st | 2nd Flr Add | Interior Flr o Lwr | n/a | n/a | 57 | n/a | n/a | | New | No |
| Floor o 1st Flr Add | 2nd Flr Add | Interior Flr o Lwr | n/a | n/a | 143 | n/a | n/a | | New | No |
| GarageFront | Garage | Garage Exterior Wall | 90 | Back | 161 | 112 | 90 | none | Existing | No |
| GarageRight | Garage | Garage Exterior Wall | 180 | Right | 47 | 0 | 90 | none | Existing | No |
| GarageLeft | Garage | Garage Exterior Wall | 0 | Left | 216 | 0 | 90 | none | Existing | No |

| ATTIC | | | | | | | | | |
|-------------------|------------------------|------------|------------------------|---------------------|-------------------|--------------------|-----------|----------|------------------|
| 01 | 02 | 03 | 04 | 05 | 06 | 07 | 08 | 09 | 10 |
| Name | e Construction | | Roof Rise (x in 12) | Roof Reflectance | Roof Emittance | Radiant Barrier | Cool Roof | Status | Verified Existin |
| AtticGarage | Attic Garage Roof Cons | Ventilated | 4 | 0.1 | 0.85 | No | No | Existing | No |
| Attic Ex 1st Flr | Attic RoofEx 1st Flr | Ventilated | 4 | 0.1 | 0.85 | No | No | Existing | No |
| Attic Ex 2nd Flr | Attic RoofEx 2nd Flr | Ventilated | 4 | 0.1 | 0.85 | No | No | Existing | No |
| Attic 2nd Flr Add | Attic Roof2nd Flr Add | Ventilated | 4 | 0.1 | 0.85 | No | No | New | n/a |

Registration Number: Registration Date/Time: HERS Provider: CA Building Energy Efficiency Standards - 2022 Residential Compliance Report Version: 2022.0.000 Report Generated: 2024-04-02 20:22:26 Schema Version: rev 20220901

CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD

CF1R-PRF-01-E (Page 3 of 13) Project Name: Hermes Ex Plus Add Calculation Date/Time: 2024-04-02T20:21:59-07:00 Calculation Description: Title 24 Analysis Input File Name: Hermes Ex Plus Add 142 Casselman St Folsom.ribd22x

| ERGY USE INTENSITY | | | | |
|------------------------------|----------------------------------|--|--|-------------------|
| | Standard Design (kBtu/ft² - yr) | Proposed Design (kBtu/ft ² - yr) | Compliance Margin (kBtu/ft ² - yr) | Margin Percentage |
| Gross EUI ¹ 40.43 | | 39.96 | 0.47 | 1.16 |
| Net EUI ² | 40.43 | 39.96 | 0.47 | 1.16 |

Gross EUI is Energy Use Total (not including PV) / Total Building Area.
 Net EUI is Energy Use Total (including PV) / Total Building Area.

REQUIRED SPECIAL FEATURES The following are features that must be installed as condition for meeting the modeled energy performance for this computer analysis. New ductwork added is less than 25 ft. in length

HERS FEATURE SUMMARY The following is a summary of the features that must be field-verified by a certified HERS Rater as a condition for meeting the modeled energy performance for this computer analysis. Additional detail is provided in the building tables below. Registered CF2Rs and CF3Rs are required to be completed in the HERS Registry

| BUILDING - FEATURES INFORMATION | | | | | | | | | | | | |
|---------------------------------|---|-----------------------------|--------------------|-----------------|--|------------------------------------|--|--|--|--|--|--|
| 01 | 02 | 03 | 04 | 05 | 06 | 07 | | | | | | |
| Project Name | Conditioned Floor Area (ft ²) | Number of Dwelling Units | Number of Bedrooms | Number of Zones | Number of Ventilation Cooling Systems | Number of Water Heating Systems | | | | | | |
| Hermes Ex Plus Add | 1971 | 1 | 4 | 4 | 0 | 1 | | | | | | |

| ZONE INFORMATION | | | | | | |
|------------------|-------------|------------------|------------------------------------|---------------------|------------------------|--------------------|
| 01 | 02 | 03 | 04 | 05 | 06 | 07 |
| Zone Name | Zone Type | HVAC System Name | Zone Floor Area (ft ²) | Avg. Ceiling Height | Water Heating System 1 | Status |
| Ex 1st Flr | Conditioned | Res HVAC1 | 840 | 8 | DHW Sys 1 | Existing Unchanged |
| 1st Flr Add | Conditioned | Res HVAC1 | 143 | 8 | DHW Sys 1 | New |
| Ex 2nd Flr | Conditioned | Res HVAC1 | 788 | 8 | DHW Sys 1 | Existing Unchanged |

Registration Number: Registration Date/Time: HERS Provider:

CA Building Energy Efficiency Standards - 2022 Residential Compliance Report Generated: 2024-04-02 20:22:26 Report Version: 2022.0.000 Schema Version: rev 20220901

CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD CF1R-PRF-01-E Project Name: Hermes Ex Plus Add Calculation Date/Time: 2024-04-02T20:21:59-07:00 (Page 6 of 13) Input File Name: Hermes Ex Plus Add 142 Casselman St Folsom.ribd22x Calculation Description: Title 24 Analysis

| 01 | 02 | 03 | 04 | 05 | 06 | 07 | 08 | 09 | 10 | 11 | 12 | 13 | 14 | 15 | 16 |
|------------|--------|--------------|-----------------|---------|---------------|-----------------|-------|----------------------------|----------|--------------------|------|------------------|---------------------|----------|------------------------|
| Name | Туре | Surface | Orientatio n | Azimuth | Width (ft) | Heigh t (ft) | Mult. | Area (ft ²) | U-factor | U-factor Source | SHGC | SHGC Source | Exterior Shading | Status | Verif Exist Cond |
| F1 6046 | Window | Front Wall | Front | 270 | | | 1 | 27 | 0.58 | Table 110.6-A | 0.65 | Table 110.6-B | Bug Screen | Existing | N |
| B1 4026 | Window | Back Wall | Back | 90 | | | 1 | 10 | 0.58 | Table 110.6-A | 0.65 | Table 110.6-B | Bug Screen | Existing | N |
| B2/a D102 | Window | Back Wall | Back | 90 | | | 1 | 40 | 0.4 | NFRC | 0.35 | NFRC | Bug Screen | Altered | N |
| L1 3020 | Window | Left Wall | Left | 0 | | | 1 | 6 | 0.58 | Table 110.6-A | 0.65 | Table 110.6-B | Bug Screen | Existing | N |
| 315-1 2046 | Window | 315 Wall | | 315 | | | 1 | 9 | 0.58 | Table 110.6-A | 0.65 | Table 110.6-B | Bug Screen | Existing | N |
| 225-1 2046 | Window | 225 Wall | | 225 | | | 1 | 9 | 0.58 | Table 110.6-A | 0.65 | Table 110.6-B | Bug Screen | Existing | N |
| B1 W104 | Window | Back Wall 2 | Back | 90 | | | 1 | 17.5 | 0.4 | NFRC | 0.35 | NFRC | Bug Screen | New | N |
| R1 W103 | Window | Right Wall 2 | Right | 180 | | | 1 | 24 | 0.4 | NFRC | 0.35 | NFRC | Bug Screen | New | N |
| F1 6040 | Window | Front Wall 2 | Front | 270 | | | 1 | 24 | 0.58 | Table 110.6-A | 0.65 | Table 110.6-B | Bug Screen | Existing | N |
| B1 2050 | Window | Back Wall 3 | Back | 90 | | | 1 | 10 | 0.58 | Table 110.6-A | 0.65 | Table 110.6-B | Bug Screen | Existing | N |
| B2 5040 | Window | Back Wall 3 | Back | 90 | | | 1 | 20 | 0.58 | Table 110.6-A | 0.65 | Table 110.6-B | Bug Screen | Existing | N |
| B3 5040 | Window | Back Wall 3 | Back | 90 | | | 1 | 20 | 0.58 | Table 110.6-A | 0.65 | Table 110.6-B | Bug Screen | Existing | N |
| B1 W200 | Window | Back Wall 4 | Back | 90 | | | 1 | 20 | 0.4 | NFRC | 0.35 | NFRC | Bug Screen | New | N |

Registration Number: Registration Date/Time: HERS Provider:

CA Building Energy Efficiency Standards - 2022 Residential Compliance Report Version: 2022.0.000 Report Generated: 2024-04-02 20:22:26 Schema Version: rev 20220901

Sheet:

Code nergy Title 7

N

T24-1

Project Name: Hermes Ex Plus Add

CF1R-PRF-01-E

Report Generated: 2024-04-02 20:22:26

(Page 7 of 13) Calculation Date/Time: 2024-04-02T20:21:59-07:00

Calculation Description: Title 24 Analysis Input File Name: Hermes Ex Plus Add 142 Casselman St Folsom.ribd22x FENESTRATION / GLAZING SHGC Type **U-factor** SHGC Source Existing Condition R1 W206 0.35 NFRC NA Right Wall 4 Right NFRC Bug Screen Right Wall 4 Right 0.4 NFRC 0.35 NFRC Bug Screen

| OPAQUE DOORS | | | | | |
|--------------|------------------|-------------------------|----------|----------|-----------------------------|
| 01 | 02 | 03 | 04 | 05 | 06 |
| Name | Side of Building | Area (ft ²) | U-factor | Status | Verified Existing Condition |
| Door | Front Wall | 20 | 0.5 | Existing | No |
| Door 2 | Walls To Garage | 17 | 0.5 | Existing | No |
| Car Door | GarageFront | 112 | 1 | Existing | No |

SLAB FLOORS 01 erified Existing Perimeter (ft) R-value and Area (ft²) R-value and Ex 1st Flr 840 Slab-on-Grade none 80% Slab-on-Grade 2 1st Flr Add 71 12 n/a n/a Slab-on-Grade 3 1st Flr Add 72 12 none 80% 532 Slab-on-Grade 4

Registration Number: Registration Date/Time: **HERS Provider:**

Report Version: 2022.0.000 CA Building Energy Efficiency Standards - 2022 Residential Compliance Schema Version: rev 20220901 CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD

Project Name: Hermes Ex Plus Add Calculation Date/Time: 2024-04-02T20:21:59-07:00 (Page 8 of 13) Input File Name: Hermes Ex Plus Add 142 Casselman St Folsom.ribd22x Calculation Description: Title 24 Analysis

OPAQUE SURFACE CONSTRUCTIONS 02 03 07 01 04 05 06 80 nterior / Exterior **Total Cavity Construction Name** Surface Type **Construction Type** Continuous Assembly Layers R-value R-value Inside Finish: Gypsum Board Garage Exterior Wall Exterior Walls Wood Framed Wall 2x4 @ 16 in. O. C. R-0 None / None 0.357 Cavity / Frame: no insul. / 2x4 Exterior Finish: All Other Siding Inside Finish: Gypsum Board 2x4 @ 16 in. O. C. 0.357 Cavity / Frame: no insul. / 2x4 Exterior Walls Wood Framed Wall None / None Existing Walls Exterior Finish: All Other Siding Inside Finish: Gypsum Board 2x4 @ 16 in. O. C. R-15 0.095 Cavity / Frame: R-15 / 2x4 Addition Wall Exterior Walls Wood Framed Wall None / None Exterior Finish: All Other Siding Inside Finish: Gypsum Board 2x4 @ 16 in. O. C. None / None 0.277 Cavity / Frame: no insul. / 2x4 Interior Wall to Gar or A Interior Walls Wood Framed Wall Other Side Finish: Gypsum Board Roofing: Light Roof (Asphalt Shingle) Roof Deck: Wood Wood Framed 0.644 2x4 @ 24 in. O. C. R-0 None / 0 Attic Roofs Attic Garage Roof Cons Siding/sheathing/decking Cavity / Frame: no insul. / 2x4 Roofing: Light Roof (Asphalt Shingle) Roof Deck: Wood Wood Framed Attic RoofEx 1st Flr 2x4 @ 24 in. O. C. R-0 None / 0 0.644 Attic Roofs Siding/sheathing/decking Cavity / Frame: no insul. / 2x4 Roofing: Light Roof (Asphalt Shingle) Roof Deck: Wood Attic RoofEx 2nd Flr 2x4 @ 24 in. O. C. R-0 None / 0 0.644 Attic Roofs Siding/sheathing/decking Cavity / Frame: no insul. / 2x4 Roofing: Light Roof (Asphalt Shingle) Wood Framed Roof Deck: Wood Attic Roof2nd Flr Add Attic Roofs R-0 None / 0 0.644 2x4 @ 24 in. O. C. Siding/sheathing/decking Cavity / Frame: no insul. / 2x4

Registration Number: CA Building Energy Efficiency Standards - 2022 Residential Compliance Registration Date/Time:

Report Version: 2022.0.000 Report Generated: 2024-04-02 20:22:26 Schema Version: rev 20220901

HERS Provider:

CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD

CF1R-PRF-01-E Project Name: Hermes Ex Plus Add Calculation Date/Time: 2024-04-02T20:21:59-07:00 (Page 10 of 13) Calculation Description: Title 24 Analysis Input File Name: Hermes Ex Plus Add 142 Casselman St Folsom.ribd22x

WATER HEATERS Tank Insulation Loss or R-value (Int/Ext) Eff Ist Hr. Rating or Flow Rate Rated Tank Vol. Efficiency Input Type Name Element Rating or Pilot Efficiency Rating or Tank Location Type Condition 75000 Small Storage Btu/Hr Existing Gas 0.6 Heater 1

| WATER HEATING - HERS VE | RIFICATION | | | | | |
|-------------------------|-----------------|-----------------|----------------------|------------------------------|-----------------------|------------------------------------|
| 01 | 02 | 03 | 04 | 05 | 06 | 07 |
| Name | Pipe Insulation | Parallel Piping | Compact Distribution | Compact Distribution Type | Recirculation Control | Shower Drain Water Hea Recovery |
| DHW Sys 1 - 1/1 | Not Required | Not Required | Not Required | None | Not Required | Not Required |

| _ | | | | | | | | | | | | |
|---|---------------|----------------------------------|---------------------------|-------------------------------|---------------------------|-------------------------------|------------|---------------------------------|--------------------------------|----------|-----------------------------------|------------------------|
| | SPACE CONDITI | ONING SYSTEMS | 5 | | | | | | | | | |
| | 01 | 02 | 03 | 04 | 05 | 06 | 07 | 08 | 09 | 10 | 11 | 12 |
| | Name | System Type | Heating Unit Name | Heating Equipment Count | Cooling Unit Name | Cooling Equipment Count | Fan Name | Distribution Name | Required Thermostat Type | Status | Verified Existing Condition | Existing HVA System |
| | Res HVAC1 | Heating and cooling system other | Heating Component 1 | 1 | Cooling Component 1 | 1 | HVAC Fan 1 | Air Distribution System 1 | n/a | Existing | No | |

| HVAC - HEATING UNIT TYPES | | | | |
|---------------------------|---------------------|-----------------|--------------------|--------------------|
| 01 | 02 | 03 | 04 | 05 |
| Name | System Type | Number of Units | Heating Efficiency | Heating Unit Brand |
| Heating Component 1 | Central gas furnace | 1 | AFUE - 80 | n/a |

HERS Provider: Registration Number: Registration Date/Time:

CA Building Energy Efficiency Standards - 2022 Residential Compliance Report Generated: 2024-04-02 20:22:26 Report Version: 2022.0.000 Schema Version: rev 20220901

CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD Project Name: Hermes Ex Plus Add

Calculation Date/Time: 2024-04-02T20:21:59-07:00 (Page 11 of 13) Input File Name: Hermes Ex Plus Add 142 Casselman St Folsom.ribd22x Calculation Description: Title 24 Analysis

| Н | VAC - COOLING UN | IT TYPES | | | | | | | |
|---|------------------------|------------------|-----------------|-------------------|-----------------------------|--------------------------|--------------------|---------------------------|-------------------------------------|
| | 01 | 02 | 03 | 04 | 05 | 06 | 07 | 08 | 09 |
| | Name | System Type | Number of Units | Efficiency Metric | Efficiency EER/EER2/CEER | Efficiency SEER/SEER2 | Zonally Controlled | Mulit-speed Compressor | HERS Verification |
| | Cooling Component 1 | Central split AC | 1 | EER/SEER | 12.2 | 14 | Not Zonal | Single Speed | Cooling Component 1-hers-cool |

| HVAC - DISTRII | BUTION SYSTE | VIS | | | | | | | | | | | | | |
|---------------------------------|-------------------------|------------------|--------------|------------|-----------|--------------|--------|------------|-------------------|--------------------------------|--|-------------------|----------------------|--------------------------|-----------|
| 01 | 02 | 03 | 04 | 05 | 06 | 07 | 08 | 09 | 10 | 11 | 12 | 13 | 14 | 15 | 16 |
| Name | Tymo | Design Tyme | Duct R-va | | | uct Ition | Surfac | e Area | Pymoga Duet | Dust Lankage | HERS | Status | Verified Existing | Existing Distribution | New Ducts |
| Name | Type | Design Type | Suppl | Retur n | Suppl | Retur n | Suppl | Retur n | Bypass Duct | Duct Leakage | Verification | Status | Condition | system | >= 25 ft |
| | | | , | | , | -"- | , | | | | | | | | |
| Air Distribution System 1 | Unconditio ned attic | Non- Verified | R-8 | R-8 | Atti c | Atti c | n/a | n/a | No Bypass Duct | Existing (not specified) | Air Distribution System 1-hers-dist | Existing + New | No | | No |

| HVAC - FAN SYSTEMS | | | | | |
|--------------------|----------|-----------------------|---------------------|--|--|
| | | | | | |
| 01 | 02 | 03 | 04 | | |
| Name | Туре | Fan Power (Watts/CFM) | Name | | |
| HVAC Fan 1 | HVAC Fan | 0.58 | HVAC Fan 1-hers-fan | | |

| HVAC FAN SYSTEMS - HERS VERIFICATION | | | | | | | |
|--------------------------------------|------------------------|-----------------------------------|--|--|--|--|--|
| 01 02 03 | | | | | | | |
| Name | Verified Fan Watt Draw | Required Fan Efficacy (Watts/CFM) | | | | | |
| HVAC Fan 1-hers-fan | Not Required | 0 | | | | | |
| | | | | | | | |

PROJECT NOTES

Registration Number: Registration Date/Time: HERS Provider:

CA Building Energy Efficiency Standards - 2022 Residential Compliance Report Generated: 2024-04-02 20:22:26 Report Version: 2022.0.000 Schema Version: rev 20220901

CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD

CF1R-PRF-01-E

CF1R-PRF-01-E

CF1R-PRF-01-E Project Name: Hermes Ex Plus Add Calculation Date/Time: 2024-04-02T20:21:59-07:00 (Page 9 of 13) Calculation Description: Title 24 Analysis Input File Name: Hermes Ex Plus Add 142 Casselman St Folsom.ribd22x

| OPAQUE SURFACE CONSTR | RUCTIONS | | | | | | |
|-----------------------|---------------------------|------------------------|---------------------|-------------------------|--|----------|---|
| 01 | 02 | 03 | 04 | 05 | 06 | 07 | 08 |
| Construction Name | Surface Type | Construction Type | Framing | Total Cavity R-value | Interior / Exterior Continuous R-value | U-factor | Assembly Layers |
| Garage Roof | Ceilings (below attic) | Wood Framed Ceiling | 2x4 @ 24 in. O. C. | R-O | None / None | 0.481 | Cavity / Frame: no insul. / 2x4 Inside Finish: Gypsum Board |
| Existing Attic | Ceilings (below attic) | Wood Framed Ceiling | 2x4 @ 24 in. O. C. | R-19 | None / None | 0.049 | Over Ceiling Joists: R-9.9 insul. Cavity / Frame: R-9.1 / 2x4 Inside Finish: Gypsum Board |
| Addition Attic | Ceilings (below attic) | Wood Framed Ceiling | 2x4 @ 16 in. O. C. | R-22 | None / None | 0.043 | Over Ceiling Joists: R-12.9 insul. Cavity / Frame: R-9.1 / 2x4 Inside Finish: Gypsum Board |
| Interior Flr o Lwr | Interior Floors | Wood Framed Floor | 2x12 @ 16 in. O. C. | R-0 | None / None | 0.196 | Floor Surface: Carpeted Floor Deck: Wood Siding/sheathing/decking Cavity / Frame: no insul. / 2x12 Ceiling Below Finish: Gypsum Board |

| BUILDING ENVELOPE - HERS VERIFICA | TION | | | |
|---------------------------------------|------------------------------------|-------------------------------|-------|-------|
| 01 | 02 | 03 | 04 | 05 |
| Quality Insulation Installation (QII) | High R-value Spray Foam Insulation | Building Envelope Air Leakage | CFM50 | CFM50 |
| Not Required | Not Required | N/A | n/a | n/a |

| WATER HEATIN | VATER HEATING SYSTEMS | | | | | | | | | | |
|--------------|-----------------------------|----------------------|----------------------|--------------------|-------------------------|-------------------------|----------------------|--------------------------|----------|-----------------------------------|-------------------------------------|
| 01 | 02 | 03 | 04 | 05 | 06 | 07 | 08 | 09 | 10 | 11 | 12 |
| Name | System Type | Distribution Type | Water Heater Name | Number of Units | Solar Heating System | Compact Distribution | HERS Verification | Water Heater Name (#) | Status | Verified Existing Condition | Existing Water Heating System |
| DHW Sys 1 | Domestic Hot Water (DHW) | Standard | DHW Heater | 1 | n/a | None | n/a | DHW Heater 1 (1) | Existing | No | |

Registration Date/Time: HERS Provider: Registration Number:

CA Building Energy Efficiency Standards - 2022 Residential Compliance Report Version: 2022.0.000 Report Generated: 2024-04-02 20:22:26 Schema Version: rev 20220901

CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD

prepare a CF-1R for the HVAC change-out and follow Title 24 Part 6 Prescriptive Measures.

CF1R-PRF-01-E Calculation Date/Time: 2024-04-02T20:21:59-07:00 Project Name: Hermes Ex Plus Add (Page 12 of 13)

Calculation Description: Title 24 Analysis Input File Name: Hermes Ex Plus Add 142 Casselman St Folsom.ribd22x it is determined by a licensed HVAC contractor that the existing system is not sized to allow for this additional living space, a new HVAC system will be required. The installing HVAC contractor will

This compliance report models the existing HVAC and/or Hot Water Heater system using 2022 mandatory energy efficiency ratings per Appendix B Energy Standards Table 150.1-A Component Package A so as not to take a penalty for the HVAC and/or Hot Water Heater equipment in the compliance calculation. See Energy Use Summary Area of CF-1R that shows no credit or detriment to the energy budget. This is also supported by the Residential ACM Manual on pages 75 & 76. Call the CEC at 916-654-5106 for more information.

Registration Number:

CA Building Energy Efficiency Standards - 2022 Residential Compliance

Registration Date/Time:

Report Version: 2022.0.000 Schema Version: rev 20220901 Report Generated: 2024-04-02 20:22:26

HERS Provider:

Sheet: T24-2

Code nergy Title

7



2022 Single-Family Residential Mandatory Requirements Summary

NOTE: Single-family residential buildings subject to the Energy Codes must comply with all applicable mandatory measures, regardless of the compliance approach used. Review the respective section for more information.

Building Envelope: Air Leakage. Manufactured fenestration, exterior doors, and exterior pet doors must limit air leakage to 0.3 CFM per square foot or less when tested per NFRC-400, ASTM E283, or AAMA/WDMA/CSA 101/I.S.2/A440-2011. * Labeling. Fenestration products and exterior doors must have a label meeting the requirements of § 10-111(a). Field fabricated exterior doors and fenestration products must use U-factors and solar heat gain coefficient (SHGC) values from Tables 110.6-A, 110.6-B, or JA4.5 for exterior doors. They must be caulked and/or weather-stripped Air Leakage. All joints, penetrations, and other openings in the building envelope that are potential sources of air leakage must be caulked, gasketed, or weather stripped. Insulation Certification by Manufacturers. Insulation must be certified by the Department of Consumer Affairs, Bureau of Household § 110.8(a): Insulation Requirements for Heated Slab Floors. Heated slab floors must be insulated per the requirements of § 110.8(g). Roofing Products Solar Reflectance and Thermal Emittance. The thermal emittance and aged solar reflectance values of the roofing material must meet the requirements of § 110.8(i) and be labeled per §10-113 when the installation of a cool roof is specified Radiant Barrier. When required, radiant barriers must have an emittance of 0.05 or less and be certified to the Department of Consumer Roof Deck, Ceiling and Rafter Roof Insulation. Roof decks in newly constructed attics in climate zones 4 and 8-16 area-weighted average U-factor not exceeding U-0.184. Ceiling and rafter roofs minimum R-22 insulation in wood-frame ceiling; or area-weighted average U-factor must not exceed 0.043. Rafter roof alterations minimum R-19 or area-weighted average U-factor of 0.054 or less. Attic access doors must have permanently attached insulation using adhesive or mechanical fasteners. The attic access must be gasketed to prevent air leakage. Insulation must be installed in direct contact with a roof or ceiling which is sealed to limit infiltration and exfiltration. as specified in § 110.7, including but not limited to placing insulation either above or below the roof deck or on top of a drywall ceiling. * Loose-fill Insulation. Loose fill insulation must meet the manufacturer's required density for the labeled R-value. Wall Insulation. Minimum R-13 insulation in 2x4 inch wood framing wall or have a U-factor of 0.102 or less, or R-20 in 2x6 inch wood framing or have a U-factor of 0.071 or less. Opaque non-framed assemblies must have an overall assembly U-factor not exceeding 0.102 Raised-floor Insulation. Minimum R-19 insulation in raised wood framed floor or 0.037 maximum U-factor.* Slab Edge Insulation. Slab edge insulation must meet all of the following: have a water absorption rate, for the insulation material alone without facings, no greater than 0.3 percent; have a water vapor permeance no greater than 2.0 perm per inch; be protected from physical damage and UV light deterioration; and, when installed as part of a heated slab floor, meet the requirements of § 110.8(g). Vapor Retarder. In climate zones 1 through 16, the earth floor of unvented crawl space must be covered with a Class I or Class II vapor retarder. This requirement also applies to controlled ventilation crawl space for buildings complying with the exception to Vapor Retarder. In climate zones 14 and 16, a Class I or Class II vapor retarder must be installed on the conditioned space side of all insulation in all exterior walls, vented attics, and unvented attics with air-permeable insulation. Fenestration Products. Fenestration, including skylights, separating conditioned space from unconditioned space or outdoors must have a maximum U-factor of 0.45; or area-weighted average U-factor of all fenestration must not exceed 0.45. Fireplaces, Decorative Gas Appliances, and Gas Log: Pilot Light. Continuously burning pilot lights are not allowed for indoor and outdoor fireplaces. Closable Doors. Masonry or factory-built fireplaces must have a closable metal or glass door covering the entire opening of the firebox. Combustion Intake. Masonry or factory-built fireplaces must have a combustion outside air intake, which is at least six square inches in

area and is equipped with a readily accessible, operable, and tight-fitting damper or combustion-air control device. Flue Damper. Masonry or factory-built fireplaces must have a flue damper with a readily accessible control.* Space Conditioning, Water Heating, and Plumbing System: Certification. Heating, ventilation, and air conditioning (HVAC) equipment, water heaters, showerheads, faucets, and all other regulated appliances must be certified by the manufacturer to the California Energy Commission.

State of the condition of the conditi Controls for Heat Pumps with Supplementary Electric Resistance Heaters. Heat pumps with supplementary electric resistance heaters must have controls that prevent supplementary heater operation when the heating load can be met by the heat pump alone; and in which the cut-on temperature for compression heating is higher than the cut-on temperature for supplementary heating, and the cut-off temperature for compression heating is higher than the cut-off temperature for supplementary heating. Thermostats. All heating or cooling systems not controlled by a central energy management control system (EMCS) must have a § 110.2(c):

Insulation. Unfired service water heater storage tanks and solar water-heating backup tanks must have adequate insulation, or tank

Isolation Valves. Instantaneous water heaters with an input rating greater than 6.8 kBtu per hour (2 kW) must have isolation valves with hose bibbs or other fittings on both cold and hot water lines to allow for flushing the water heater when the valves are closed.

5/6/22

| CERTIFICATE OF COMPLIANCE - RES | DENTIAL PERFORMANCE COMPLIANCE METHOD | CF1R-PF | RF-01-I |
|--|---|--|---------|
| Project Name: Hermes Ex Plus Add | | Calculation Date/Time: 2024-04-02T20:21:59-07:00 (Page 13 | |
| Calculation Description: Title 24 Ana | alysis | Input File Name: Hermes Ex Plus Add 142 Casselman St Folsom.ribd22x | |
| DOCUMENTATION AUTHOR'S DECLARA | TION STATEMENT | | |
| 1. I certify that this Certificate of Compli | ance documentation is accurate and complete. | | |
| Documentation Author Name: | | Documentation Author Signature: | |
| Jeff Travis | | · · · · · · · · · · · · · · · · · · · | |
| Company: CompuCalc | | Signature Date: 4/2/2024 | |
| Address: | | CEA/ HERS Certification Identification (If applicable): | |
| 5201 Coventry Dr | | R19-22-30127 | |
| City/State/Zip: | | Phone: | • |
| Riverside, Ca 92506 | | 530-268-8722 | |
| RESPONSIBLE PERSON'S DECLARATION S | STATEMENT | | |
| I certify that the energy features a The building design features or sy | he Business and Professions Code to accept responsibility for the and performance specifications identified on this Certificate of C | Compliance conform to the requirements of Title 24, Part 1 and Part 6 of the California Code of Regulatic e are consistent with the information provided on other applicable compliance documents, worksheets, | |
| Responsible Designer Name: Jarod Heath | | Responsible Designer Signature: | |
| Company: Greyscale Homes | | Date Signed: | |
| Address: 735 Sunrise Ave | | License: | |
| City/State/Zip: Roseville, CA 95661 | | Phone: 916-384-0595 | |

Registration Number: CA Building Energy Efficiency Standards - 2022 Residential Compliance Registration Date/Time: Report Version: 2022.0.000

Schema Version: rev 20220901

Report Generated: 2024-04-02 20:22:26

HERS Provider:

2022 Single-Family Residential Mandatory Requirements Summary

| ENERGY COMHISSION | 2022 Single-Failing Residential Mandatory Requirements Summary |
|-------------------|---|
| § 110.5: | Pilot Lights. Continuously burning pilot lights are prohibited for natural gas: fan-type central furnaces; household cooking appliances (except appliances without an electrical supply voltage connection with pilot lights that consume less than 150 Btu per hour); and pool spa heaters.* |
| § 150.0(h)1: | Building Cooling and Heating Loads. Heating and/or cooling loads are calculated in accordance with the ASHRAE Handbook, Equipment Volume, Applications Volume, and Fundamentals Volume; the SMACNA Residential Comfort System Installation Standards Manual; or the ACCA Manual Jusing design conditions specified in § 150.0(h)2. |
| § 150.0(h)3A: | Clearances. Air conditioner and heat pump outdoor condensing units must have a clearance of at least five feet from the outlet of any dryer. |
| § 150.0(h)3B: | Liquid Line Drier . Air conditioners and heat pump systems must be equipped with liquid line filter driers if required, as specified by the manufacturer's instructions. |
| § 150.0(j) 1: | Water Piping, Solar Water-heating System Piping, and Space Conditioning System Line Insulation. All domestic hot water piping must be insulated as specified in § 609.11 of the California Plumbing Code.* |
| § 150.0(j)2: | Insulation Protection. Piping insulation must be protected from damage, including that due to sunlight, moisture, equipment' maintenance, and wind as required by §120.3(b). Insulation exposed to weather must be water retardant and protected from UV light adhesive tapes). Insulation covering chilled water piping and refrigerant suction piping located outside the conditioned space must include, or be protected by, a Class I or Class II vapor retarder. Pipe insulation buried below grade must be installed in a waterproof a non-crushable casing or sleeve. |
| § 150.0(n)1: | Gas or Propane Water Heating Systems. Systems using gas or propane water heaters to serve individual dwelling units must designate a space at least 2.5' × 2.5' × 7' suitable for the future installation of a heat pump water heater, and meet electrical and plumbing requirements, based on the distance between this designated space and the water heater location; and a condensate drain more than 2" higher than the base of the water heater |
| § 150.0(n)3: | Solar Water-heating Systems. Solar water-heating systems and collectors must be certified and rated by the Solar Rating and Certification Corporation (SRCC), the International Association of Plumbing and Mechanical Officials, Research and Testing (IAPMO R&T), or by a listing agency that is approved by the executive director. |
| ucts and Fans: | |
| § 110.8(d)3: | Ducts . Insulation installed on an existing space-conditioning duct must comply with § 604.0 of the California Mechanical Code (CMC) contractor installs the insulation, the contractor must certify to the customer, in writing, that the insulation meets this requirement. |
| § 150.0(m) 1: | CMC Compliance. All air-distribution system ducts and plenums must meet CMC §§ 601.0-605.0 and ANSI/SMACNA-006-2006 HVAD Duct Construction Standards Metal and Flexible 3rd Edition. Portions of supply-air and return-air ducts and plenums must be insulated R-6.0 or higher; ducts located entirely in conditioned space as confirmed through field verification and diagnostic testing (RA3.1.4.3.8) do not require insulation. Connections of metal ducts and inner core of flexible ducts must be mechanically fastened. Openings must be sealed with mastic, tape, or other duct-closure system that meets the applicable UL requirements, or aerosol sealant that meets UL 7. The combination of mastic and either mesh or tape must be used to seal openings greater than 1/4", If mastic or tape is used. Building cavities, air handler support platforms, and plenums designed or constructed with materials other than sealed sheet metal, duct board flexible duct must not be used to convey conditioned air. Building cavities and support platforms may contain ducts; ducts installed in these spaces must not be compressed. * |
| § 150.0(m)2: | Factory-Fabricated Duct Systems. Factory-fabricated duct systems must comply with applicable requirements for duct construction connections, and closures; joints and seams of duct systems and their components must not be sealed with cloth back rubber adhesive duct tapes unless such tape is used in combination with mastic and draw bands. |
| § 150.0(m)3: | Field-Fabricated Duct Systems. Field-fabricated duct systems must comply with applicable requirements for: pressure-sensitive tape mastics, sealants, and other requirements specified for duct construction. |
| § 150.0(m)7: | Backdraft Damper. Fan systems that exchange air between the conditioned space and outdoors must have backdraft or automatic dampers. |
| § 150.0(m)8: | Gravity Ventilation Dampers. Gravity ventilating systems serving conditioned space must have either automatic or readily accessible manually operated dampers in all openings to the outside, except combustion inlet and outlet air openings and elevator shaft vents. |
| § 150.0(m)9: | Protection of Insulation. Insulation must be protected from damage due tosunlight, moisture, equipment maintenance, and wind. Insulation exposed to weather must be suitable for outdoor service (e.g., protected by aluminum, sheet metal, painted canvas, or plas cover). Cellular foam insulation must be protected as above or painted with a water retardant and solar radiation-resistant coating. |
| § 150.0(m)10: | Porous Inner Core Flex Duct. Porous inner cores of flex ducts must have a non-porous layer or air barrier between the inner core an outer vapor barrier. |
| § 150.0(m) 11: | Duct System Sealing and Leakage Test. When space conditioning systems use forced air duct systems to supply conditioned air to occupiable space, the ducts must be sealed and duct leakage tested, as confirmed through field verification and diagnostic testing, in accordance with Reference Residential Appendix RA3.1. |
| § 150.0(m) 12: | Air Filtration. Space conditioning systems with ducts exceeding 10 feet and the supply side of ventilation systems must have MERV or equivalent filters. Filters for space conditioning systems must have a two inch depth or can be one inch if sized per Equation 150.0-Clean-filter pressure drop and labeling must meet the requirements in §150.0(m)12. Filters must be accessible for regular service. Filters or grilles must use gaskets, sealing, or other means to close gaps around the inserted filters to and prevents air from bypassing filter. * |



2022 Single-Family Residential Mandatory Requirements Summary

| ENERGY COMMISSION | 2022 Single-Family Residential Mandatory Requirements Summary |
|-------------------------------|---|
| § 150.0(k) 1G: | Screw based luminaires. Screw based luminaires must contain lamps that comply with Reference Joint Appendix JA8.* |
| § 150.0(k) 1H: | Light Sources in Enclosed or Recessed Luminaires. Lamps and other separable light sources that are not compliant with the JA8 elevated temperature requirements, including marking requirements, must not be installed in enclosed or recessed luminaires. |
| § 150.0(k) 11: | Light Sources in Drawers, Cabinets, and Linen Closets. Light sources internal to drawers, cabinetry or linen closets are not required to comply with Table 150.0-A or be controlled by vacancy sensors provided that they are rated to consume no more than 5 watts of power, emit no more than 150 lumens, and are equipped with controls that automatically turn the lighting off when the drawer, cabinet clinen closet is closed. |
| § 150.0(k)2A: | Interior Switches and Controls. All forward phase cut dimmers used with LED light sources must comply with NEMA SSL 7A. |
| § 150.0(k)2B: | Interior Switches and Controls. Exhaust fans must be controlled separately from lighting systems. * |
| § 150.0(k)2A: | Accessible Controls. Lighting must have readily accessible wall-mounted controls that allow the lighting to be manually turned on and off. * |
| § 150.0(k)2B: | Multiple Controls. Controls must not bypass a dimmer, occupant sensor, or vacancy sensor function if the dimmer or sensor is installed to comply with § 150.0(k). |
| § 150.0(k)20: | Mandatory Requirements. Lighting controls must comply with the applicable requirements of § 110.9. |
| § 150.0(k)2D: | Energy Management Control Systems. An energy management control system (EMCS) may be used to comply with dimming, occupancy, and control requirements if it provides the functionality of the specified control per § 110.9 and the physical controls specified in § 150.0(k)2A. |
| § 150.0(k)2E: | Automatic Shutoff Controls. In bathrooms, garages, laundry rooms, utility rooms and walk-in closets, at least one installed luminaire must be controlled by an occupancy or vacancy sensor providing automatic-off functionality. Lighting inside drawers and cabinets with opaque fronts or doors must have controls that turn the light off when the drawer or door is closed. |
| § 150.0(k)2F: | Dimmers. Lighting in habitable spaces (e.g., living rooms, dining rooms, kitchens, and bedrooms) must have readily accessible wall-mounted dimming controls that allow the lighting to be manually adjusted up and down. Forward phase cut dimmers controlling LED ligh sources in these spaces must comply with NEMA SSL 7A. |
| § 150.0(k)2K: | Independent controls. Integrated lighting of exhaust fans shall be controlled independently from the fans. Lighting under cabinets or shelves, lighting in display cabinets, and switched outlets must be controlled separately from ceiling installed lighting. |
| § 150.0(k)3A: | Residential Outdoor Lighting. For single-family residential buildings, outdoor lighting permanently mounted to a residential building, or other buildings on the same lot, must have a manual on/off switch and either a photocell and motion sensor or automatic time switch control) or an astronomical time clock. An energy management control system that provides the specified control functionality and meets applicable requirements may be used to meet these requirements. |
| § 150.0(k)4: | Internally illuminated address signs. Internally illuminated address signs must either comply with § 140.8 or consume no more than 5 watts of power. |
| § 150.0(k)5: | Residential Garages for Eight or More Vehicles. Lighting for residential parking garages for eight or more vehicles must comply with the applicable requirements for nonresidential garages in §§ 110.9, 130.0, 130.1, 130.4, 140.6, and 141.0. |
| Solar Readiness: | |
| § 110.10(a)1: | Single-family Residences. Single-family residences located in subdivisions with 10 or more single-family residences and where the application for a tentative subdivision map for the residences has been deemed complete and approved by the enforcement agency, which do not have a photovoltaic system installed, must comply with the requirements of § 110.10(b)-(e). |
| §110.10(b)1A: | Minimum Solar Zone Area. The solar zone must have a minimum total area as described below. The solar zone must comply with access, pathway, smoke ventilation, and spacing requirements as specified in Title 24, Part 9 or other parts of Title 24 or in any requirements adopted by a local jurisdiction. The solar zone total area must be comprised of areas that have no dimension less than 5 feet and are no less than 80 square feet each for buildings with roof areas less than or equal to 10,000 square feet or no less than 160 square feet each for buildings with roof areas greater than 10,000 square feet. For single-family residences, the solar zone must be located on the roof or overhang of the building and have a total area no less than 250 square feet. |
| § 110.10(b)2: | Azimuth. All sections of the solar zone located on steep-sloped roofs must have an azimuth between 90-300° of true north. |
| § 110.10(b)3A: | Shading. The solar zone must not contain any obstructions, including but not limited to: vents, chimneys, architectural features, and roof mounted equipment.* |
| § 110.10(b)3B: | Shading. Any obstruction located on the roof or any other part of the building that projects above a solar zone must be located at least twice the horizontal distance of the height difference between the highest point of the obstruction and the horizontal projection of the nearest point of the solar zone, measured in the vertical plane. * |
| § 110.10(b)4: | Structural Design Loads on Construction Documents. For areas of the roof designated as a solar zone, the structural design loads for roof dead load and roof live load must be clearly indicated on the construction documents. |
| § 110.10(c): | Interconnection Pathways. The construction documents must indicate: a location reserved for inverters and metering equipment and a pathway reserved for routing of conduit from the solar zone to the point of interconnection with the electrical service; and for single-family residences and central water-heating systems, a pathway reserved for routing plumbing from the solar zone to the water-heating system. |
| | Documentation. A copy of the construction documents or a comparable document indicating the information from § 110.10(b)-(c) must be |
| § 110.10(d): | provided to the occupant. |
| § 110.10(d): § 110.10(e)1: | |

Electric and Energy Storage Ready:



2022 Single-Family Residential Mandatory Requirements Summary

Space Conditioning System Airflow Rate and Fan Efficacy. Space conditioning systems that use ducts to supply cooling must have a hole for the placement of a static pressure probe, or a permanently installed static pressure probe in the supply plenum. Airflow must § 150.0(m)13: be ≥ 350 CFM per ton of nominal cooling capacity, and an air-handling unit fan efficacy ≤ 0.45 watts per CFM for gas furnace air handlers and ≤ 0.58 watts per CFM for all others. Small duct high velocity systems must provide an airflow ≥ 250 CFM per ton of nominal cooling capacity, and an air-handling unit fan efficacy≤ 0.62 watts per CÉM. Field verification testing is required in accordance with Reference Residential Appendix RA3.3. *

| § 150.0(o) 1: | Requirements for Ventilation and Indoor Air Quality. All dwelling units must meet the requirements of ASHRAE Standard 62.2, Ventilation and Acceptable Indoor Air Quality in Residential Buildings subject to the amendments specified in § 150.0(o) 1. * |
|-----------------|---|
| § 150.0(o) 1B: | Central Fan Integrated (CFI) Ventilation Systems. Continuous operation of CFI air handlers is not allowed to provide the whole-dwelling unit ventilation airflow required per §150.0(o) 1C. A motorized damper(s) must be installed on the ventilation duct(s) that prevents all airflow through the space conditioning duct system when the damper(s) is closed and controlled per §150.0(o) 1Biii&iv. CFI ventilation systems must have controls that track outdoor air ventilation run time, and either open or close the motorized damper(s) for compliance with §150.0(o) 1C. |
| § 150.0(o)1C: | Whole-Dwelling Unit Mechanical Ventilation for Single-Family Detached and townhouses. Single-family detached dwelling units, and attached dwelling units not sharing ceilings or floors with other dwelling units, occupiable spaces, public garages, or commercial spaces must have mechanical ventilation airflow specified in § 150.0(o)1Ci-iii. |
| § 150.0(o)1G: | Local Mechanical Exhaust. Kitchens and bathrooms must have local mechanical exhaust; nonenclosed kitchens must have demand-controlled exhaust system meeting requirements of §150.0(o)1Giii,enclosed kitchens and bathrooms can use demand-controlled or continuous exhaust meeting §150.0(o)1Giii-iv. Airflow must be measured by the installer per §150.0(o)1Gv, and rated for sound per §150.0(o)1Gvi.* |
| § 150.0(o)1H&I: | Airflow Measurement and Sound Ratings of Whole-Dwelling Unit Ventilation Systems. The airflow required per § 150.0(o) 1C must be measured by using a flow hood, flow grid, or other airflow measuring device at the fan's inlet or outlet terminals/grilles per Reference Residential Appendix RA3.7. Whole-Dwelling unit ventilation systems must be rated for sound per ASHRAE 62.2 §7.2 at no less than the minimum airflow rate required by §150.0(o) 1C. |
| § 150.0(o)2: | Field Verification and Diagnostic Testing. Whole-Dwelling Unit ventilation airflow, vented range hood airflow and sound rating, and HRV and ERV fan efficacy must be verified in accordance with Reference Residential Appendix RA3.7. Vented range hoods must be verified per Reference Residential Appendix RA3.7.4.3 to confirm if it is rated by HVI or AHAM to comply with the airflow rates and sound requirements per §150.0(o) 1G |
| ool and Spa Sys | stems and Equipment: |
| § 110.4(a): | Certification by Manufacturers. Any pool or spa heating system or equipment must be certified to have all of the following: compliance with the Appliance Efficiency Regulations and listing in MAEDbS; an on-off switch mounted outside of the heater that allows shutting off the heater without adjusting the thermostat setting, a permanent weatherproof plate or card with operating instructions; and must not use electric resistance heating.* |
| § 110.4(b) 1: | Piping. Any pool or spa heating system or equipment must be installed with at least 36 inches of pipe between the filter and the heater, o dedicated suction and return lines, or built-in or built-up connections to allow for future solar heating. |
| § 110.4(b)2: | Covers. Outdoor pools or spas that have a heat pump or gas heater must have a cover. |
| § 110.4(b)3: | Directional Inlets and Time Switches for Pools. Pools must have directional inlets that adequately mix the pool water, and a time switch that will allow all pumps to be set or programmed to run only during off-peak electric demand periods. |
| § 110.5: | Pilot Light. Natural gas pool and spa heaters must not have a continuously burning pilot light. |
| § 150.0(p): | Pool Systems and Equipment Installation. Residential pool systems or equipment must meet the specified requirements for pump sizing, flow rate, piping, filters, and valves.* |
| ighting: | |
| § 110.9: | Lighting Controls and Components. All lighting control devices and systems, ballasts, and luminaires must meet the applicable requirements of § 110.9. |
| § 150.0(k) 1A: | Luminaire Efficacy. All installed luminaires must meet the requirements in Table 150.0-A, except lighting integral to exhaust fans, kitchen range hoods, bath vanity mirrors, and garage door openers; navigation lighting less than 5 watts; and lighting internal to drawers, cabinets, and line closets with an efficacy of at least 45 lumens per watt. |
| | STATE OF THE CONTROL OF THE POST OF THE CONTROL OF |

Screw based luminaires. Screw based luminaires must contain lamps that comply with Reference Joint Appendix JA8.

and must be sealed with a gasket or caulk. California Electrical Code § 410.116 must also be met.

Recessed Downlight Luminaires in Ceilings. Luminaires recessed into ceilings must not contain screw based sockets, must be airtight,

Light Sources in Enclosed or Recessed Luminaires. Lamps and other separable light sources that are not compliant with the JA8 elevated temperature requirements, including marking requirements, must not be installed in enclosed or recessed luminaires.

Blank Electrical Boxes. The number of electrical boxes that are more than five feet above the finished floor and do not contain a

luminaire or other device shall be no more than the number of bedrooms. These boxes must be served by a dimmer, vacancy sensor

Lighting Integral to Exhaust Fans. Lighting integral to exhaust fans (except when installed by the manufacturer in kitchen exhaust hoods) must meet the applicable requirements of § 150.0(k). *

§ 150.0(k) 1C:



2022 Single-Family Residential Mandatory Requirements Summary

| ENERGY COMMISSION | , |
|-------------------|--|
| § 150.0(s) | Energy Storage System (ESS) Ready. All single-family residences must meet all of the following: Either ESS-ready interconnection equipment with backed up capacity of 60 amps or more and four or more ESS supplied branch circuits, or a dedicated raceway from the main service to a subpanel that supplies the branch circuits in § 150.0(s); at least four branch circuits must be identified and have their source collocated at a single panelboard suitable to be supplied by the ESS, with one circuit supplying the refrigerator, one lighting circuit near the primary exit, and one circuit supplying a sleeping room receptacle outlet; main panelboard must have a minimum busbar rating of 225 amps; sufficient space must be reserved to allow future installation of a system isolation equipment/transfer switch within 3' of the main panelboard, with raceways installed between the panelboard and the switch location to allow the connection of backup power source. |
| § 150.0(t) | Heat Pump Space Heater Ready. Systems using gas or propane furnaces to serve individual dwelling units must include: A dedicated unobstructed 240V branch circuit wiring installed within 3' of the furnace with circuit conductors rated at least 30 amps with the blank cover identified as "240V ready," and a reserved main electrical service panel space to allow for the installation of a double pole circuit breaker permanently marked as "For Future 240V use." |
| § 150.0(u) | Electric Cooktop Ready. Systems using gas or propane cooktop to serve individual dwelling units must include: A dedicated unobstructed 240V branch circuit wiring installed within 3' of the cooktop with circuit conductors rated at least 50 amps with the blank cover identified as "240V ready," and a reserved main electrical service panel space to allow for the installation of a double pole circuit breaker permanently marked as "For Future 240V use." |
| § 150.0(v) | Electric Clothes Dryer Ready. Clothes dryer locations with gas or propane plumbing to serve individual dwelling units must include: A dedicated unobstructed 240V branch circuit wiring installed within 3' of the dryer location with circuit conductors rated at least 30 amps with the blank cover identified as "240V ready," and a reserved main electrical service panel space to allow for the installation of a double pole circuit breaker permanently marked as "For Future 240V use." |

*Exceptions may apply

Code nergy

Sheet: T24-3

5/6/22

16. ALL WOOD FRAMING SHALL HAVE LESS THAN 19% MOISTURE CONTENT AT TIME OF INSTALLATION.

THIS DOCUMENT CONTAINS INFORMATION THAT IS PROPRIETARY TO VALOR ENGINEERING AND IS FURNISHED FOR THE PURPOSES OF REVIEW. BIDDING OR CONSTRUCTION OF THE PROJECT LISTED IN THE JOB TITLE BOX BELOW, AND SHALL NOT BE USED FOR ANY OTHER PURPOSE OR RELEASED TO ANY OTHER PARTY WITHOUT THE WRITTEN CONSENT OF VALOR ENGINEERING. INFORMATION CONTAINED HEREIN IS AN INSTRUMENT OF PROFESSIONAL SERVICES AND SHALL REMAIN THE PROPERTY OF VALOR ENGINEERING ALL RIGHTS RESERVED COPYRIGHT 2024.

0

S L

- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT ALL WORK AND CONSTRUCTION MEETS ALL CURRENT FEDERAL, STATE, COUNTY, AND LOCAL CODES, ORDINANCES, REGULATIONS, ETC. THESE CODES ARE TO BE CONSIDERED PART OF THE SPECIFICATIONS FOR THIS BUILDING AND
- THE ENGINEER HAS NOT BEEN ENGAGED FOR CONSTANT CONSTRUCTION SUPERVISION AND ASSUMES NO RESPONSIBILITY FOR CONSTRUCTION COORDINATING WITH THESE PLANS, NOR RESPONSIBILITY FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCE, OR PROCEDURES, OR FOR SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK. THERE ARE NO WARRANTIES FOR
- 4. REFER TO ARCHITECTURAL SHEETS FOR FLOOR PLANS, EXTERIOR ELEVATIONS, AND WINDOW AND

| SEISMIC CRITERIA | | | GRAVITY LOADING | |
|-----------------------------|------------|-----------------|------------------------------|--------------|
| SDC | | D | ROOF LIVE | 20psf |
| SITE CLASS | | D | ROOF DEAD | 15psf |
| RISK CATEGORY | | II | FLOOR LIVE | 40psf |
| SEISMIC IMPORTANCE FACTO | R | 1.00 | FLOOR DEAD | 15psf |
| RESPONSE MODIFICATION FAC | CTOR | 6.5 | WALL DEAD | 17psf |
| SEISMIC FORCE RESISTING SYS | STEM: | | | |
| LIGHT FRAME WOOD SHEAR V | VALL | | WIND CRITERIA | |
| | | | ULTIMATE WIND, Vult | 94mph |
| S_s | 0.413g | | BASIC WIND, Vasd | 76mph |
| S_1 | 0.212g | | WIND EXPOSURE | С |
| $S_{ m DS}$ | 0.405g | | INTERNAL PRESSURE COEFF | +1-0.18 |
| S_{D1} | 0.308g | | Iw | 1.0 |
| C_s | 0.062g | | | |
| $\Omega_{ m o}$ | 3.0 | | SOIL BEARING | 1500psf |
| C_D | 3.5 | | | |
| ANALYSIS PROCESS | EQUIVALEN' | Γ LATERAL FORCE | CODES | |
| | | | ASCE 7-16, CBC 2022, ACI318- | 19, 2018 NDS |
| | | | | |

REVISIONS SCALE: AS NOTED DATE: 4/3/2024 C.DILWORTH **DESIGNED BY:** DRAWN BY: D.ELLSWORTH C.DILWORTH **REVIEWED BY:** RR031924 SHEET NO.

FOOTING SCHEDULE

| | DIMENSIONS | | | REINFORCEMENT | | | | | MAX. | | | | | | | | | | | |
|------|-----------------------|---------|----------|---------------|---------|---------------|---------|---------|----------|------------|------------------|--|-----|------|--------|-----|------|--------|----------|--|
| TYPE | PE LENGTH WIDTH DEPTH | | PARALLEL | | | PERPENDICULAR | | | CAPACITY | NOTES | | | | | | | | | | |
| | LENGIII | VVIDIII | ווועוייי | ווועוייי | VVIDIII | ווועוייי | VVIDIII | VV 1111 | ווועוייי | ווועוייי | ווועוייי | | NO. | SIZE | LENGTH | NO. | SIZE | LENGTH | CALACITI | |
| FT1 | CONT. | 12" | 12" | 2 | #4 | CONT. | - | - | - | 1,500 PLF | (1) TOP, (1) BOT | | | | | | | | | |
| FT2 | CONT. | 15" | 18" | 2 | #4 | CONT. | - | - | - | 1,875 PLF | (1) TOP, (1) BOT | | | | | | | | | |
| FT3 | 18" | 18" | 12" | 3 | #4 | 12" | 3 | #4 | 12" | 3,375 LBS | | | | | | | | | | |
| FT4 | 24" | 24" | 18" | 4 | #4 | 18" | 4 | #4 | 18" | 6,000 LBS | | | | | | | | | | |
| FT5 | 30" | 30" | 18" | 5 | #4 | 24" | 5 | #4 | 24" | 9,375 LBS | | | | | | | | | | |
| FT6 | 36" | 36" | 18" | 6 | #4 | 30" | 6 | #4 | 30" | 13,500 LBS | | | | | | | | | | |
| FT7 | 42" | 42" | 24" | 7 | #4 | 36" | 7 | #4 | 36" | 18,375 LBS | | | | | | | | | | |
| FT8 | 48" | 48" | 24" | 8 | #4 | 42" | 8 | #4 | 42" | 24,000 LBS | | | | | | | | | | |

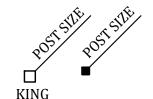
GENERAL FOUNDATION NOTES

- 1. THE CONTRACTOR IS RESPONSIBLE FOR REFERRING TO THE PLANS TO VERIFY HOLDOWN LOCATIONS, STRUCTURAL PLYWOOD SHEATHING SPECIFICATIONS AND NAILING SCHEDULE.
- 2. POSTS SHOWN ON THE FOUNDATION PLAN ARE THOSE DIRECTLY CONNECTED TO THE FOUNDATION WITH A HOLDOWN OR POST BASE CONNECTOR.
- 3. TYPICAL ONE STORY FOUNDATION, U.N.O. 12" WIDE X 12" DEEP FOOTING WITH (1) #4 REBAR TOP AND BOTTOM (TOT. 2).
- 4. PROVIDE \(\frac{5}{8} \) "X10" ANCHOR BOLTS \(\text{@ 4'-0" O.C. AND 12" FROM ALL EDGES AT THE BEARING WALLS AND \(\text{AND AND 12" FROM ALL EDGES AT THE BEARING WALLS AND \(\text{AND AND 12" FROM ALL EDGES AT THE BEARING WALLS AND \(\text{AND 12" FROM ALL EDGES AT THE BEARING WALLS AND \) \(\text{AND 12" FROM 12" FROM 12" FROM ALL EDGES AT THE BEARING WALLS AND \(\text{AND 12" FROM EXTERIOR NON-SHEAR WALLS W/7" MIN. EMBEDMENT. FASTEN TO BOTTOM PLATE USING 3"X3"X1/4"
- 5. PROVIDE 2X PTDF SLEEPER EMBEDDED IN SLAB AT DOORS LEADING TO EXTERIOR AND GARAGE. EXTEND 6" PAST DOOR CASING. (2) 20d @ EA END & 24" O.C.
- 6. ALL FOOTINGS, FOUNDATIONS, EXCAVATIONS, GRADING, AND FILL SHALL COMPLY TO THE PROVISIONS
- SLAB REINFORCEMENT SHALL BE PROVIDED EACH WAY, AS INDICATED ON THE PLANS, IN THE MIDDLE ALL PENETRATIONS AND SHALL CONFORM TO CLASS A VAPOR RETARDER IN ACCORDANCE WITH THE MOST CURRENT VERSION OF ASTM E 1745, "STANDARD SPECIFICATIONS FOR PLASTIC WATER VAPOR RETARDERS USED IN CONTACT WITH SOIL OR GRANULAR FILL UNDER CONCRETE SLABS". VAPOR BARRIER SHALL BE UNDERLAIN WITH 4" DEEP ¾" CRUSHED ROCK WITH 100% PASSING THE ¾" SIEVE
- CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL MEASUREMENTS AGAINST THE ARCHITECTURAL PLAN SET. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE EOR AND DESIGNER BEFORE FORMING AND/OR POURING CONCRETE.

FOUNDATION LEGEND

(E) FOOTING - TO REMAIN

(N) FOOTING - SEE FOOTING SCHEDULE FOR DIMENSIONS AND REINFORCEMENT.



POST - SEE IN VIEW FOR POST SIZE AND TYPE.

SHEARWALL SCHEDULE

| #### PLF | SHEATHING/NAILING | MUD SILL | ANCHOR BOLTS | VERT. MEMBER @ ADJ. PANEL EDGES | SOLE PLATE TO RIM | RIM TO SILL PLATE (A35 CLIPS) |
|----------|---|-------------|-------------------|---------------------------------------|--------------------------|-------------------------------------|
| 490 PLF | 3/8" APA RATED ONE FACE w/8d COMMONS @ 3" O.C. EDGE | 3x | 5%" @ 36" O.C. | 3x OR (2) 2x w/(36) 16d's | SDWS22500DB @ 8" O.C. | @ 12" C.C. |
| 590 PLF | 3/8" APA RATED ONE FACE w/8d COMMONS @ 2" O.C. EDGE | 3x | ⅓" @ 30" O.C. | 3x | SDWS22500DB @ 6" O.C. | @ 12" C.C. |

1. REFER TO "SHEARWALL NOTES" ON SHEET SN1 FOR ADDITIONAL INFORMATION.

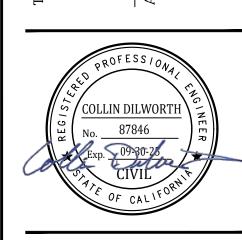
HOLDOWN SCHEDULE

6,970 LBS

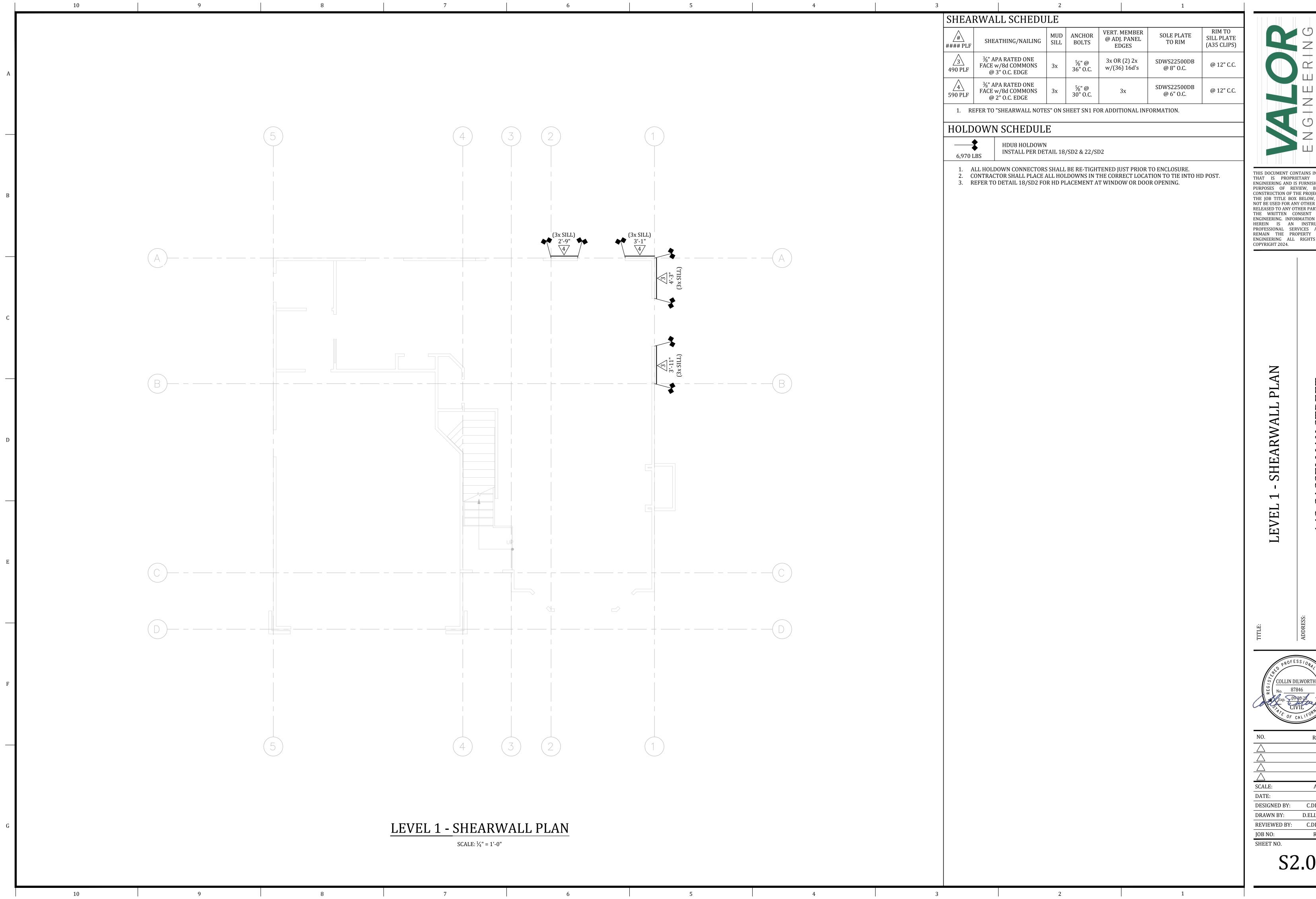
HDU8 HOLDOWN INSTALL PER DETAIL 18/SD2 & 22/SD2

THIS DOCUMENT CONTAINS INFORMATION THAT IS PROPRIETARY TO VALOR ENGINEERING AND IS FURNISHED FOR THE PURPOSES OF REVIEW, BIDDING OR CONSTRUCTION OF THE PROJECT LISTED IN THE JOB TITLE BOX BELOW, AND SHALL NOT BE USED FOR ANY OTHER PURPOSE OR RELEASED TO ANY OTHER PARTY WITHOUT THE WRITTEN CONSENT OF VALOR ENGINEERING. INFORMATION CONTAINED HEREIN IS AN INSTRUMENT OF PROFESSIONAL SERVICES AND SHALL REMAIN THE PROPERTY OF VALOR ENGINEERING ALL RIGHTS RESERVED COPYRIGHT 2024.

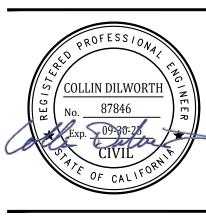
PLAN

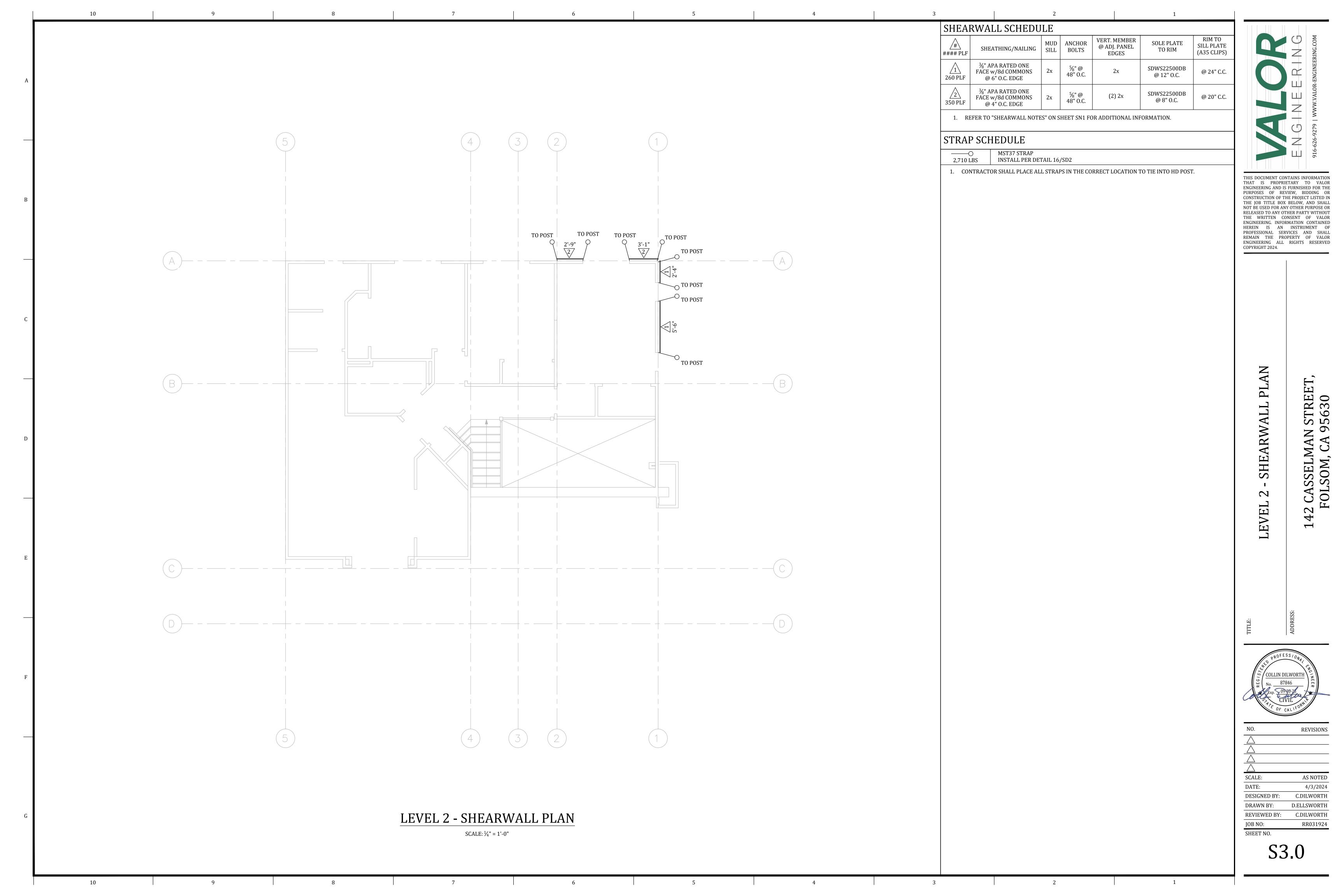


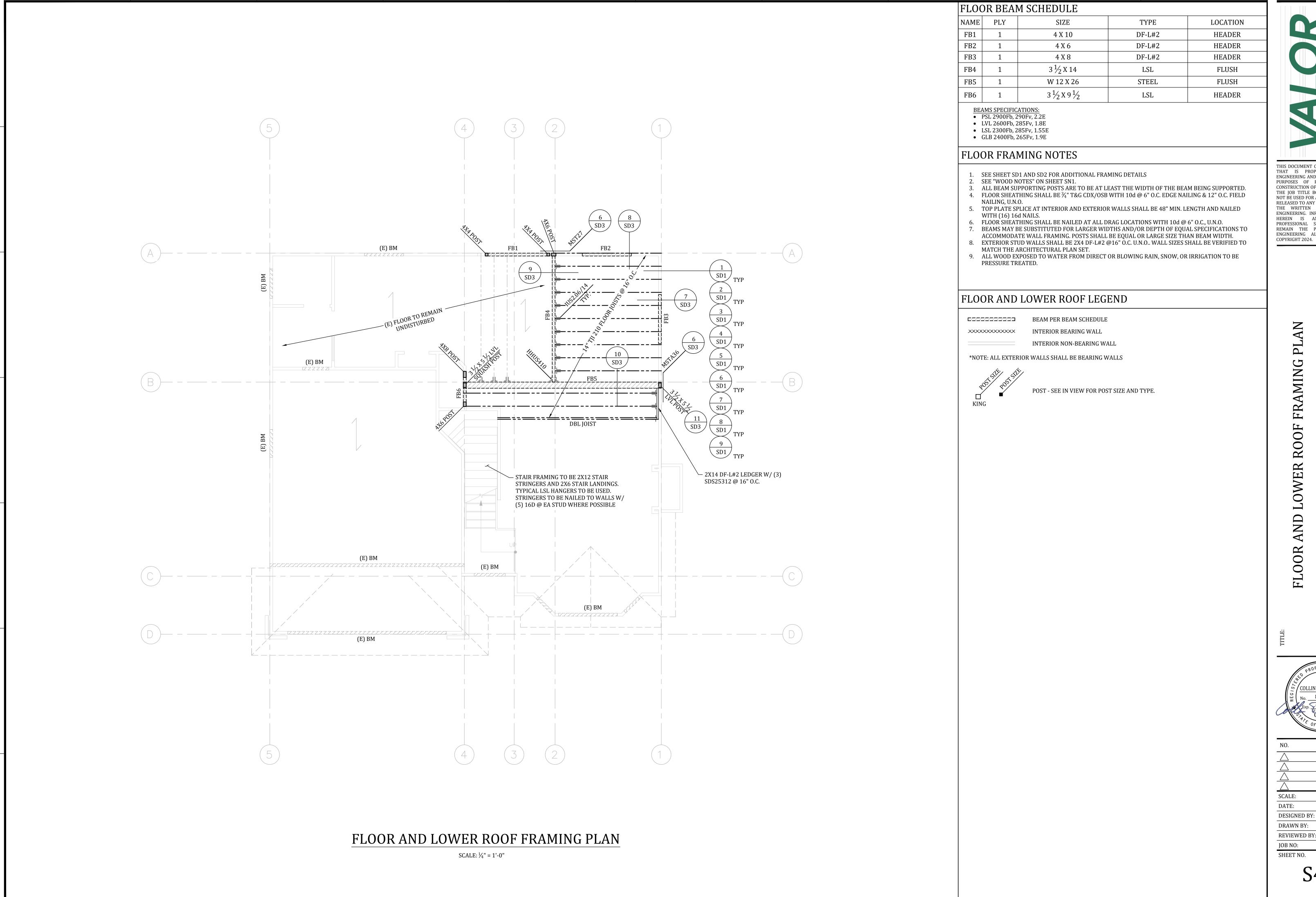
| NO. | REVISIONS |
|--------------|-------------|
| \triangle | |
| \triangle | |
| \triangle | |
| \triangle | |
| SCALE: | AS NOTED |
| DATE: | 4/3/2024 |
| DESIGNED BY: | C.DILWORTH |
| DRAWN BY: | D.ELLSWORTH |
| REVIEWED BY: | C.DILWORTH |
| JOB NO: | RR031924 |
| SHEET NO. | |
| | |



THIS DOCUMENT CONTAINS INFORMATION THAT IS PROPRIETARY TO VALOR ENGINEERING AND IS FURNISHED FOR THE PURPOSES OF REVIEW, BIDDING OR CONSTRUCTION OF THE PROJECT LISTED IN THE JOB TITLE BOX BELOW, AND SHALL NOT BE USED FOR ANY OTHER PURPOSE OR RELEASED TO ANY OTHER PARTY WITHOUT THE WRITTEN CONSENT OF VALOR ENGINEERING. INFORMATION CONTAINED HEREIN IS AN INSTRUMENT OF PROFESSIONAL SERVICES AND SHALL REMAIN THE PROPERTY OF VALOR ENGINEERING ALL RIGHTS RESERVED







ENGINEERING.COM

THIS DOCUMENT CONTAINS INFORMATION THAT IS PROPRIETARY TO VALOR ENGINEERING AND IS FURNISHED FOR THE PURPOSES OF REVIEW, BIDDING OR CONSTRUCTION OF THE PROJECT LISTED IN THE JOB TITLE BOX BELOW, AND SHALL NOT BE USED FOR ANY OTHER PURPOSE OR RELEASED TO ANY OTHER PARTY WITHOUT THE WRITTEN CONSENT OF VALOR ENGINEERING. INFORMATION CONTAINED HEREIN IS AN INSTRUMENT OF PROFESSIONAL SERVICES AND SHALL REMAIN THE PROPERTY OF VALOR ENGINEERING ALL RIGHTS RESERVED COPYRIGHT 2024.

42 CASSELMAN STREET,

RSS:



SCALE: AS NOTED

DATE: 4/3/2024

DESIGNED BY: C.DILWORTH

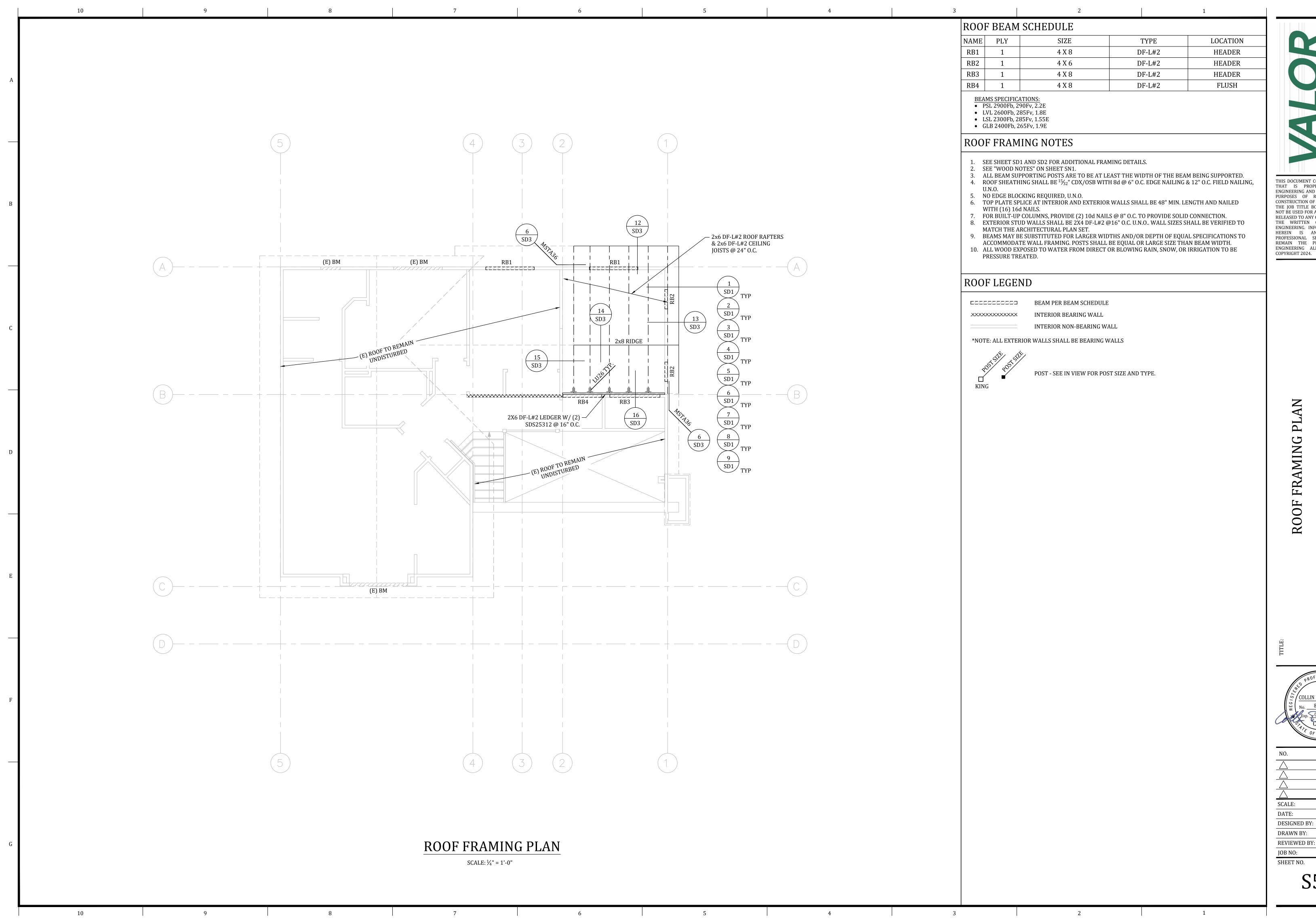
DRAWN BY: D.ELLSWORTH

REVIEWED BY: C.DILWORTH

JOB NO: RR031924

REVISIONS

S4.0

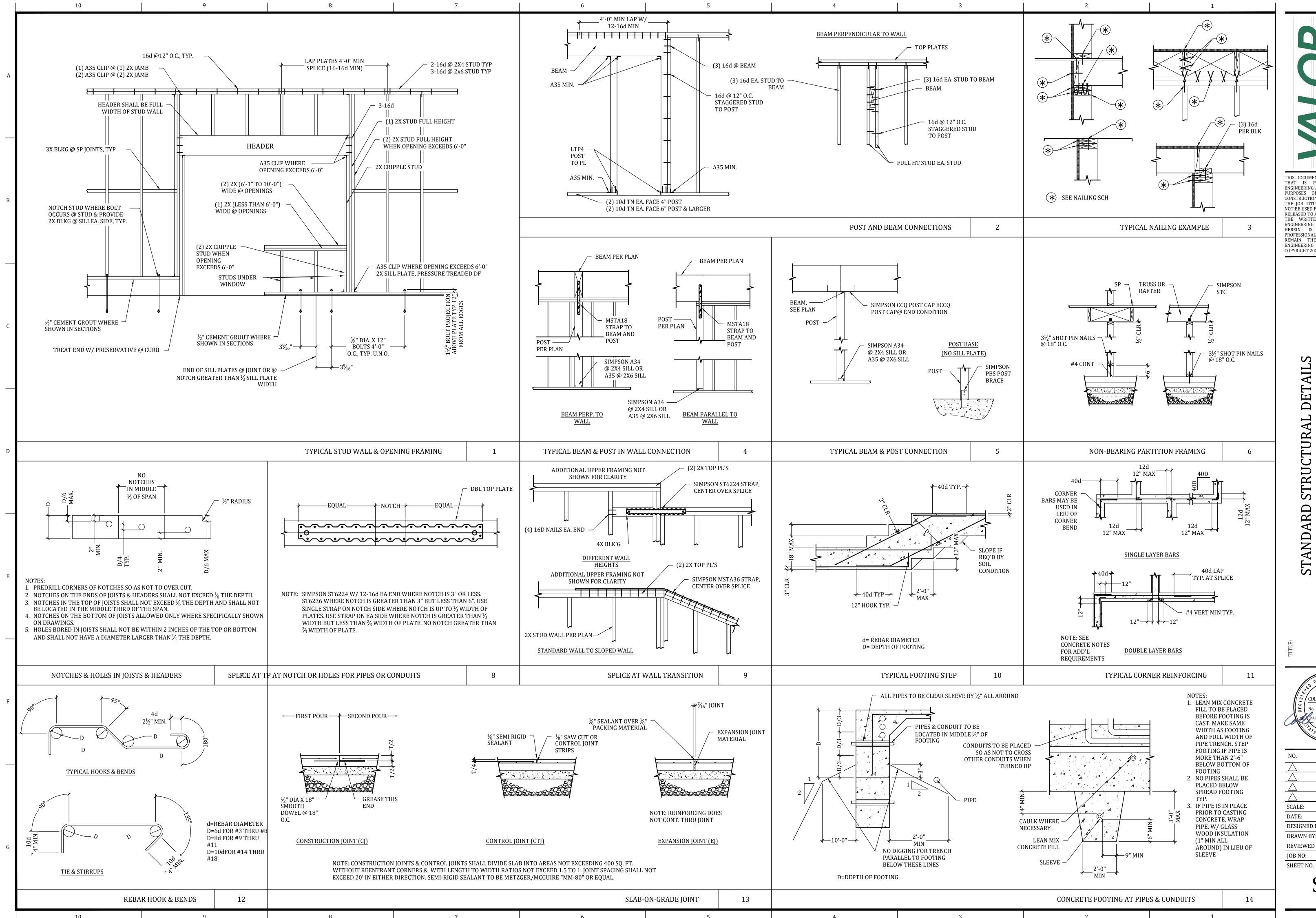


THIS DOCUMENT CONTAINS INFORMATION THAT IS PROPRIETARY TO VALOR ENGINEERING AND IS FURNISHED FOR THE PURPOSES OF REVIEW, BIDDING OR CONSTRUCTION OF THE PROJECT LISTED IN THE JOB TITLE BOX BELOW, AND SHALL NOT BE USED FOR ANY OTHER PURPOSE OR RELEASED TO ANY OTHER PARTY WITHOUT THE WRITTEN CONSENT OF VALOR ENGINEERING. INFORMATION CONTAINED HEREIN IS AN INSTRUMENT OF PROFESSIONAL SERVICES AND SHALL REMAIN THE PROPERTY OF VALOR ENGINEERING ALL RIGHTS RESERVED



REVIEWED BY:

S5.0



ENGINERING.COM

THIS DOCUMENT CONTAINS INFORMATION THAT IS PROPRIETARY TO VALOR ENGINEERING AND IS FURNISHED FOR THE PURPOSES OF REVIEW, BIDDING OR CONSTRUCTION OF THE PROJECT LISTED IN THE JOB TITLE BOX BELOW, AND SHALL NOT BE USED FOR ANY OTHER PURPOSE OR RELEASED TO ANY OTHER PARTY WITHOUT THE WRITTEN CONSENT OF VALOR ENGINEERING. INFORMATION CONTAINED HEREIN IS AN INSTRUMENT OF PROFESSIONAL SERVICES AND SHALL REMAIN THE PROPERTY OF VALOR ENGINEERING ALL RIGHTS RESERVED COPYRIGHT 2024.

UCTURAL DETAILS

142 CASSELMAN ST FOLSOM, CA 956

COLLIN DILWORTH

No. 87846

Exp. 09-30-20

CIVIL

OF CALIFORN

OF CALI

NO. REVISIONS

AS NOTED

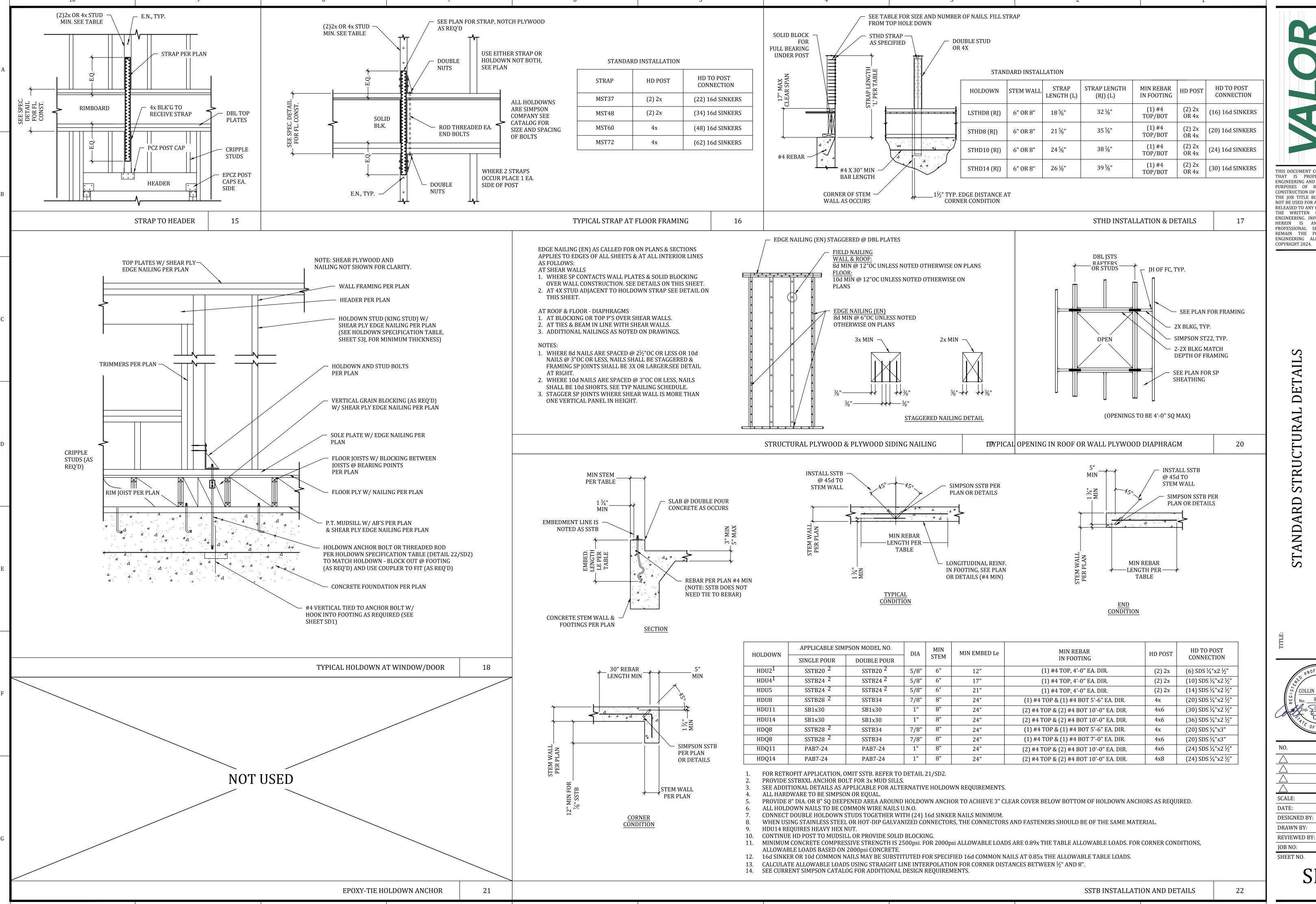
DATE: 4/3/2024

DESIGNED BY: C.DILWORTH

DRAWN BY: D.ELLSWORTH

REVIEWED BY: C.DILWORTH

SD1



THIS DOCUMENT CONTAINS INFORMATION THAT IS PROPRIETARY TO VALOR ENGINEERING AND IS FURNISHED FOR THE PURPOSES OF REVIEW, BIDDING OR CONSTRUCTION OF THE PROJECT LISTED IN THE JOB TITLE BOX BELOW, AND SHALL NOT BE USED FOR ANY OTHER PURPOSE OR RELEASED TO ANY OTHER PARTY WITHOUT THE WRITTEN CONSENT OF VALOR ENGINEERING. INFORMATION CONTAINED HEREIN IS AN INSTRUMENT OF PROFESSIONAL SERVICES AND SHALL REMAIN THE PROPERTY OF VALOR ENGINEERING ALL RIGHTS RESERVED

 Q

2 CASSE) FOLSON

COLLIN DILWORTH

REVISIONS

AS NOTED 4/3/2024 C.DILWORTH **DESIGNED BY:** D.ELLSWORTH C.DILWORTH

