

CITY OF
FOLSOM
DISTINCTIVE BY NATURE

AMENDED

PLANNING COMMISSION AGENDA
October 17, 2018
CITY COUNCIL CHAMBERS
6:30 p.m.
50 Natoma Street
Folsom, California 95630

CALL TO ORDER PLANNING COMMISSION: Kevin Mallory, Ross Jackson, Aaron Ralls, Vice Chair John Arnaz, Jennifer Lane, Kevin Duewel, Chair Justin Raithel

Any documents produced by the City and distributed to the Planning Commission regarding any item on this agenda will be made available at the Community Development Counter at City Hall located at 50 Natoma Street, Folsom, California and at the table to the left as you enter the Council Chambers. The meeting is available to view via webcast on the City's website the day after the meeting.

PLEDGE OF ALLEGIANCE

CITIZEN COMMUNICATION: The Planning Commission welcomes and encourages participation in City Planning Commission meetings, and will allow up to five minutes for expression on a non-agenda item. Matters under the jurisdiction of the Commission, and not on the posted agenda, may be addressed by the general public; however, California law prohibits the Commission from taking action on any matter which is not on the posted agenda unless it is determined to be an emergency by the Commission.

MINUTES

The minutes of October 3, 2018 will be presented for approval.

Oath of Office Administered to Kevin Duewel

NEW BUSINESS

1. **PN 18-342 Nomination of the Name Tucker to the Folsom Historic Street Name List and Determination that the Project is Exempt from the CEQA**

The applicant, Daniel Tucker, has proposed that the name "Tucker" be added to the Historic Street Name list. The project is exempt from environmental review under Section 15061(b)(3) of the CEQA Guidelines (Review for Exemption). **(Project Planner, Stephanie Henry Traylor, Senior Planner)**

2. **PN 18-314, Palladio at Broadstone Building 2100 Commercial Design Review and Determination that the Project is Exempt from CEQA**

A Public Hearing to consider a request from Broadstone Land, LLC for Commercial Design Review approval for development of a 6,282-square-foot, single-story pad building (Building 2100) on an

undeveloped .31-acre parcel within the Palladio at Broadstone Shopping Center located at 210 Palladio Parkway. The zoning classification for the site is C-3 PD and the General Plan land-use designation is RCC. The project is categorically exempt under Section 15303 (New Construction or Conversion of Small Structures) of the California Environmental Quality Act (CEQA) Guidelines. **(Project Planner: Principal Planner, Steve Banks / Applicant: Broadstone Land, LLC)**

3. PN 18-111, Courts at Russell Ranch – Residential Design Review and Determination that No Additional Environmental Review is Required

A Public Hearing to consider a request from The New Home Company for Residential Design Review Approval for 114 single-family residential units on a 13.5-acre site situated within Phase 1, Village 4 (Courts at Russell Ranch) of the Russell Ranch Subdivision located at the southwest corner of the intersection of Grand Prairie Drive and Rustic Ridge Circle. The Specific Plan land-use designation is MLD PD (FPASP) and the General Plan land-use designation is MLD. An Environmental Impact Report has previously been certified for the Russell Ranch Subdivision project on May 15, 2015 by the City Council in accordance with the requirements of California Environmental Quality Act (CEQA). **(Project Planner: Principal Planner, Steve Banks / Applicant: The New Home Company)**

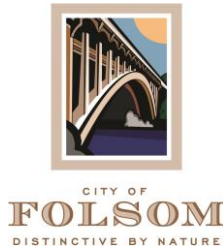
PLANNING COMMISSION / PLANNING MANAGER REPORT

The next Planning Commission meeting is scheduled for **November 7, 2018**. Additional non-public hearing items may be added to the agenda; any such additions will be posted on the bulletin board in the foyer at City Hall at least 72 hours prior to the meeting. Persons having questions on any of these items can visit the Community Development Department during normal business hours (8:00 a.m. to 5:00 p.m.) at City Hall, 2nd Floor, 50 Natoma Street, Folsom, California, prior to the meeting. The phone number is (916) 461-6203 and FAX number is (916) 355-7274.

In compliance with the Americans with Disabilities Act, if you are a disabled person and you need a disability-related modification or accommodation to participate in the meeting, please contact the Community Development Department at (916) 461-6203, (916) 355-7274 (fax) or kmullett@folsom.ca.us. Requests must be made as early as possible and at least two-full business days before the start of the meeting.

NOTICE REGARDING CHALLENGES TO DECISIONS

The appeal period for Planning Commission Action: Any appeal of a Planning Commission action must be filed, in writing with the City Clerk's Office no later than ten (10) days from the date of the action pursuant to Resolution No. 8081. Pursuant to all applicable laws and regulations, including without limitation, California Government Code Section 65009 and or California Public Resources Code Section 21177, if you wish to challenge in court any of the above decisions (regarding planning, zoning and/or environmental decisions), you may be limited to raising only those issues you or someone else raised at the public hearing(s) described in this notice/agenda, or in written correspondence delivered to the City at, or prior to, the public hearing



PLANNING COMMISSION MINUTES
October 3, 2018
CITY COUNCIL CHAMBERS
6:30 P.M.
50 Natoma Street
Folsom, CA 95630

CALL TO ORDER PLANNING COMMISSION: Ross Jackson, Aaron Ralls, Thomas Scott, Vice Chair John Arnaz, Jennifer Lane, Kevin Mallory, Chair Justin Raithel

ABSENT: Scott

CITIZEN COMMUNICATION: None

MINUTES: The minutes of September 19, 2018 were approved as submitted.

NEW BUSINESS

1. PN 18-215, AAA Automotive Repair Center – Planned Development Permit Modification and Determination that the Project is Exempt from CEQA

A Public Hearing to consider a request from Coact Designworks for approval of a Planned Development Permit Modification for development of a 6,800-square-foot automotive repair center (AAA Automotive Repair Center) situated on a 1.97-acre parcel (Pad F) within the Folsom Pointe Shopping Center located at 175 Placerville Road. The zoning classification for the site is C-3 PD and the General Plan land-use designation is RCC. The project is categorically exempt under Section 15303 (New Construction or Conversion of Small Structures) of the California Environmental Quality Act (CEQA) Guidelines. **(Project Planner: Principal Planner, Steve Banks / Applicant: Coact Designworks)**

COMMISSIONER JACKSON MOVED TO APPROVE A PLANNED DEVELOPMENT PERMIT MODIFICATION FOR THE DEVELOPMENT OF A 6,800-SQUARE-FOOT AAA AUTOMOTIVE REPAIR CENTER WITHIN THE FOLSOM POINTE SHOPPING CENTER LOCATED AT 175 PLACERVILLE ROAD AS ILLUSTRATED ON ATTACHMENT 2 WITH THE FOLLOWING FINDINGS: GENERAL FINDINGS A & B, CEQA FINDINGS C-E, PLANNED DEVELOPMENT PERMIT FINDINGS F-M, AND CONDITIONS OF APPROVAL NO. 1-49.

COMMISSIONER ARNAZ SECONDED THE MOTION, WHICH CARRIED THE FOLLOWING VOTE:

AYES: ARNAZ, LANE, MALLORY, JACKSON, RAITHEL
NOES: RALLS
ABSTAIN: NONE
ABSENT: SCOTT

PLANNING MANAGER REPORT

None

RESPECTFULLY SUBMITTED,

Kelly Mullett, SENIOR OFFICE ASSISTANT

APPROVED:

Justin Raithel, CHAIRMAN

PLANNING COMMISSION STAFF REPORT

- PROJECT TITLE:** Nomination of the Name Tucker to the Folsom Historic Street Name List
- PROPOSAL:** To consider a request to add the name Tucker to the City's Historic Street Name List
- RECOMMENDED ACTION:** Approval
- LOCATION:** Historic names are used for new streets throughout the City of Folsom
- PREVIOUS ACTION:** Continuous maintenance of the City's Historic Street Name List
- FUTURE ACTION:** Process projects that include street names from the City's Historic Street Name List
- ENVIRONMENTAL REVIEW:** The project is categorically exempt from the California Environmental Quality Act (CEQA) under Section 15061(b)(3) of the CEQA Guidelines (Review for Exemption)
- ATTACHMENTS:**
1. Folsom Historic Street Name List
 2. Tucker Street Name Nomination Letter and Related Documents
- PROJECT PLANNER:** Stephanie Traylor Henry, Senior Planner

BACKGROUND/PROPOSAL

The proposed street name Tucker has been nominated by Daniel Tucker in honor of his late father Wendell Webster Tucker, a WWII veteran who served as a Link Trainer instructor. Wendell Tucker moved to Folsom in the early 1940's when he and his father opened Tucker and Son Chevrolet. The Chevrolet dealership initially began on Sutter Street, but later relocated to the corner of Folsom-Auburn Road and Greenback Lane in the 1950's.

As an active and prominent supporter of the Folsom community, Mr. Tucker was a member of the Folsom Rotary Club, the Folsom Lions Club and the Folsom Chamber of Commerce (where he served as president from 1965-1967). Furthermore, Mr. Tucker, along with Dan Russell, was instrumental in the development of City of Folsom's Annual Pro Rodeo. As Co-Chairmen of the Folsom Chamber of Commerce Rodeo Committee, Mr. Tucker was actively involved in the actual building of the rodeo arena and he served as the rodeo chair for several years.

PROJECT ANALYSIS

The Folsom Municipal Code specifies that all new street names be considered and approved by the Planning Commission (see FMC 16.08.020[C][6]). Historic names that have been approved for listing with the City’s Historic Street Name List by the Planning Commission can be selected by project applicants and dedicated to new streets within the City.

The nominated name of Tucker was reviewed by the Folsom Fire Department and Folsom Police Department and they determined that there are not any existing street names in Folsom identical or similar to the proposed street name Tucker. As such, staff has determined that the proposed name Tucker is qualified to be added to the City’s Historic Street Name List.

ENVIRONMENTAL ANALYSIS

The project is exempt from environmental review under Section 15061(b)(3) of the CEQA Guidelines (Review for Exemption).

RECOMMENDED ACTION

Staff recommends that the Planning Commission approve the addition of the proposed street name Tucker to the City of Folsom Historic Street Name List (Attachment 1).

PLANNING COMMISSION ACTION

MOVE TO APPROVE THE ADDITION OF THE STREET NAME TUCKER TO THE FOLSOM HISTORIC STREET NAME LIST AS DOCUMENTED IN ATTACHMENT 1 WITH THE FOLLOWING FINDINGS:

GENERAL PROJECT FINDINGS

- A. NOTICE HAS BEEN GIVEN AT THE TIME AND IN THE MANNER REQUIRED BY STATE LAW AND CITY CODE.
- B. THE PROJECT IS CONSISTENT WITH THE FOLSOM MUNICIPAL CODE.

CEQA FINDING

- C. THE PROJECT IS EXEMPT FROM ENVIRONMENTAL REVIEW UNDER SECTION 150061(b)(3) OF THE CEQA GUIDELINES (REVIEW FOR EXEMPTION).

Submitted,

 Pam Johns
 Director of Community Development

ATTACHMENT 1

Folsom Historic Street Name List

**CITY OF FOLSOM
HISTORIC STREET NAME LIST**

Proposed Update 10-17-18

NAME	SIGNIFICANCE	SUBDIVISION	DATE
AGOSTINI	Planning Commissioner	Prairie Oaks, Unit P	
ALTERI	Citizen Request	Empire Ranch 40B	
ASSAY			
AULL	First warden of the prison		
AVAZEDO	Had grape vineyard in the area around Bidwell, Oak, & Mormon St.		
AZAVEDO	Planning Commissioner	The Parkway, Phase 2	2002
BALLOU	Mary and her husband sailed from New Hampshire to California and settled in Mormon Island. Mary and husband later moved to Negro Bar, where Mary cooked for a boarding house.	The Parkway, Lot A	2006
BARNHILL	Veteran, killed in Iraq 2005	The Oaks	2006
BAYER	Volunteer fireman	The Parkway, Phase 2	2002
BICKER	Worked for the Natomas Co., wife was 1 st City Treasurer	Natoma Valley	2006
BOLI	Lou Boli, City Attorney (late 1950's to early 1960's) wife Ruth	Briggs Ranch	
BONHAM	Owner of Bonham's Feed Store during 1940'S and 1950'S		
BOWEN	Planning Commissioner, worked in real estate	The Parkway, Phase 2	2002
BRADLEY	Cyrus Bradley owned an insurance business in Folsom 1859 to 1867. He built the residence at 606 Figueroa Street	Oaks at Willow Springs, Parkside	2012
BRAZIL	Well known large family, including a son John that operated a bar named "John's Hideaway". Daughter Emily married George Coval.	The Parkway, Lot A	
BRODER	Ranchers	The Parkway, Phase 2, B3	
BRYAN		The Parkway, Phase 2	2002
BUGBY	Vintner in this area and was also elected Sheriff of Sac. County	Not Available	
BULJAN	Prison Guard	Not Available	2004

BURLOND		Empire Ranch, Village 34	2005
BUSSING		The Enclaves	
CAPLES	Postmaster	ARC-Canyon Falls Village	2001
CARLSON	Planning Commissioner	Natoma Station -Bungalows	1995
CARROLL	Historic company owner	Empire Ranch, Village 34	2005
CASEY-GOMES	Fire Chief for volunteers	Prairie Oaks, Unit 3 (Gomes)	
CASTRO	Historic family, Planning Commissioner and citizen recommendation	Cobble Ridge	
CHALCEDONY		The Parkway, Phase 2	2002
CHAN	Long time Folsom family	Cresleigh Ravine	2015
CHELMSFORD		Not Available	
CLAUDD	Resident		
CLEMENSEN		The Parkway, Phase 2	2002
COLNER	Andy and Marie – Andy was gold buyer and lived in a mobile home where the old bridge is located. One night a gang looking for gold broke into his home and tortured him. The gang was from Auburn, and the leader was executed for murder.	The Island, Phase 1	2014
COOCH	Athletic/Academic/Student Officer		
COONEY	Historical “White Bear Saloon”	Prairie Oaks, Unit 10	
COX	Merchant with J&P Hardware and mining term	Prairie Oaks, Unit 10	
CRAIL	Wilsey Crail had a pool hall on Sutter St. and taught many kids the finer points of the game. Son Jim had a market in Georgetown. Younger kids were “Buck,” Beth, and Nellie.	The Parkway Village H	2017
CROW	James Crow and his wife built Folsom’s first duplexes in the 1950s.	(Crow Canyon Drive)	N/A
CROWLE	Prison Accountant	The Parkway, Phase 2	2002
CUMMINGS	1987 Honorary Citizen of the Year	Natoma Valley	2006
CURRY	Employed by the Natomas Company	The Parkway, Phase 2	2002
DALL	Folsom Hook & Ladder Company	The Parkway, Phase 2	2002
DARLING	Rancher	The Parkway, Phase 2	
DEGNAN	Prison Worker		
DEAN	Killed in WWII	Not Available	
DENTON	Prison Worker	The Parkway, Phase 2	2002

DIEFENDERFER	Contractor		
DIGGINS		Cobble Ridge	2001
DOHERTY	1989 Honorary Citizen of the Year	The Parkway, Phase 2	2002
DOLAN	Tom Dolan, City Council Member	Sierra Estates	-
DOWD		Santa Juanita Subdivision	2014
DUCHOW	Veteran killed in WWII		
DURFEE	Two brothers – both physicians who bought the second store at Negro Bar.	Natoma Valley	2006
DRULLINGER	School teacher		
EHRKEY			
ELLIS	George Ellis, Fire Commissioner, son Kenneth worked for City	Prairie Oaks, Unit 11	
ELMER KALLIS*	Elmer Kallis, Resident, Veteran WWII who survived Pearl Harbor.		
ELSWORTH	Planning Commissioner	The Parkway, Phase 2	2002
ESCHELMAN	Prison Guard	The Parkway, Phase 2	2002
FALLON	Russell Fallon owned a plumbing/electrical business in the original Wells Fargo building in the mid 1940s. His nephew Tom Russell and wife Ethel raised five children in Folsom.		
FARGO	Veteran killed in WWII	Not Available	
FARLEY	Veteran killed in WWII	Close to Blue Ravine/Riley	
FEHR		Empire Ranch, Village 34	2005
FERGUSON	Teacher	The Parkway, Phase 2	2002
FERRIER	Planning Commissioner and City Council Member	The Enclaves	2003
FERRY	Warden Larkin's son	Union Square	2004
FETTER		Broadstone 3, Village 2C	2003
FITZSIMONS	1987 Honorary Citizen of the Year	The Parkway, Phase 2	2002
FRATIS (JOHN)	First Police Judge	Prairie Oaks, Unit 8	
GALLINGER	Citizen Recommendation	Broadstone 3	
GARDNER		Prairie Oaks, Unit 8	
GAILANDER	Telephone Switchboard Operator (on Figueroa Street)		
GEORGE McADOW*	Station Master at the passenger depot		
GHILAIN	Jack Ghilain, High School coach		
GIVEN	Alice Given	The Enclaves	2003

GRAHAM	Operated American Exchange Hotel	Prairie Oaks, Unit 9	SIERRA EST.
GUZZETTI	Louie had a bar on Sutter St. and owned a grape vineyard on lower Sutter St.	The Parkway, Lot A	2006
HAKE			
HALVERSON	Planning Commissioner	The Parkway, Phase 2	2002
HAMMOND	Vice Mayor, Service Station Operator	The Parkway, Phase 2	2002
HANDY	First Council Woman (1954)	Empire Ranch, Village 21	2004
HAPTON		The Parkway, Phase 2	2002
HEILER	First Brewery	Broadstone 3	
HEINZE	Warden		
HENDERSON	Killed in WWII	Not Available	
HILDERBRAND	Worked for the Natomas Company	Empire Ranch, Village 21	2005
HILL	Jim Hill, Town Barber		
HOLLEY	Grocery Business (1889)	Sibley Square	
JUNE HOSE			
HOUX	Planning Commissioner		
HOWARD CHAN*	(Both names or only the last name)		
HULETT	City police, raised at prison	Empire Ranch, Village 22	2004
HUMBERT	Civil Engineer (1976)	The Enclaves	2003
HUSE	Secretary of Prison Warden		
HYMAN	Businessman		
ICKES			
IMHOFF	Businessman (store on Sutter Street during 1890's)		
INKS ?	City Council Member	Empire Ranch, Villages 34 and 35	2005
ISAMINGER			
JAMIE		(Off Sibley)	
JAMES	Planning Commissioner		
JENKINS			
JIM HILL		The Parkway, Phase 2	2002
KARL	Prison Guard	Natoma Valley	2006

KAVINE	Prison Guard	Empire Ranch, Village 22	2004
KEARNS	Jimmy Kearns, Prison Guard	The Parkway, Phase 2	2002
KEE	Grocery Store in China Town 1890	Empire Ranch, Village 22	2004
KEEFE	Bobby Keefe, Postmaster		
KEFER	Big League Pitcher	Prairie Oaks, Unit 3	
KIDDER		The Parkway, Phase 2	2002
KIRBY	Gene Kirby	Willow Springs Cluster	
KLUMPP	Louie Klumpp, Mortician, Mayor of Sacramento, owned bar on Sutter Street		
KOSTER			
LAHR			
LEFEVRE		Empire Ranch	
LEONARD	John Leonard Businessman and Judge	Natoma Valley	2006
LESNICK	Ed Lesnick, Academician, Pro-football player, Coach	Broadstone 2-Village 8	
LEULLA	Folsom Historian		
LEWIS	O.C. was very active in the original Hook & Ladder Co., also owned property on the 900 block of Sutter Street, along with other properties in Folsom	Parkway, Lot A	2006
LINDELOF	James Lindelof, a Folsom boy, was killed in an ambush in Afghanistan while filming action. James was a grandson of the longtime Thompson family. Two family members worked for the City.	The Oaks	2006
LONG		The Parkway, Phase 2	2002
LOOMIS	Jack Loomis killed in auto accident on the night of his senior HS prom May 18, 1962	Subdivision north of Levy Road	2005
LUNG	General Merchandise Contractor (1890)		
MADELEINE MOSELEY	A very active and caring resident who provided many years of volunteer service to the Folsom community. Madeleine served as a city sentinel and was a regular attendee and speaker at City Council meetings for more than 30 years.		
MAHAFFEY	Prison worker	The Parkway, Phase 2	2002
MANASCO	George Manasco, Volunteer Fireman	The Parkway, Phase 2	2002
MANGE	Principal of the Jr. High Charter School, Teacher and Citizen of		

	the Year (1984)			
MARSALLA	Planning Commissioner		ARC-Canyon Falls Village	2001
MARTIN	Tom Martin Realtor, Developer		Sibley Square	
McADOW	George McAdow station master at the historic passenger depot		The Parkway, Lot J	2006
McBETH	Elmer McBeth		(Not Available)	
McDONALD				
McKENNY	'Mac' owned a garage		The Parkway, Phase 2	2002
McKIERNAN	Veteran killed in WWII		Not Available	
McMETH				
McWILLIAMS				
MENDES	Frank Mendes, Worked for the Natoma Company		The Parkway, Phase 2	2002
MENDONCA	Melvin Mendonca, Worked for the Natoma Company			
MEREDITH	Store and Hotel Owner (early 1950's)		The Parkway, Phase 2	2002
METTE	Louie		Prairie Oaks	
MILINOCKET				
MINNIE OLIVE ??	Wife of George McAdow		The Parkway, Lot J	2006
MOESZINGER	Citizen of the Year (1982)			
MOON	Planning Commissioner		Madrone	
MOORE	Chuck More, Councilman, Owned gas station at the intersection of Bidwell St. and Market St.		The Enclaves	2003
MORGANITE			The Parkway, Phase 2	2002
MORRIS	Paul Morris ('P.J. '), Warden, Honorary Citizen of the Year 1983			
MUNDT	Herman Mundt, Constable, Son Albert Mundt, D.A. Sacramento County			
NEASHAM	Prison Guard			
NEEDLES	Killed in WWII		Not Available	N/A
NETTLE	John Nettle moved to Folsom in the mid-1930's. He fought in Tunisia and Italy during WWII. He was employed by the Natoma Company.			
NICHOLS	Blacksmith (1881)		Prairie Oaks	
OLIVER	Businessman		Empire Ranch, Village 31	
ORENO	Supporter/Teacher		Empire Ranch, Village 32 and 40C	2005

OSBORNE	Prison Worker		The Parkway, Phase 2	2002
OTIS	1989 Honorary Citizen of the Year			
PAAVOLA	John and Mary Paavola, Owned shoe store on Sutter St.		The Parkway, Phase 2	2002
PATRICK	1985 Honorary Citizen of the Year		Willow Springs	
PRICE	Killed in WWII		East of Sutter Middle School	
QUIGLEY	B.C. was Justice of the Peace in Granite Township in the 1850s, and had the first lumber yard in Folsom.		Natoma Valley	2006
RAMOS			Empire Ranch, Village 36	2005
REIMAN	Al Reiman, Pharmacist, Honorary Citizen of the Year 1989		The Parkway, Lot D	2005
RELVAS	Al Relvas, City Council Member, Pharmacist Abe Relvas, owned the Sutter Club		The Parkway, Phase 2	2002
RITCHIE	Stan Ritchie, Operated fruit market		Empire Ranch, Village 21 and 32	2004
RIZOR	Martin Rizor, Killed in auto accident (1930's)		Empire Ranch, Village 32	2005
RONCHI	Judge – R.J. a Swiss Italian had a grocery store on Sutter Street, call “Grocery Folks,” later went to work at the prison and after retirement was longtime Justice of the Peace – was very active in Folsom Lions Club.			
ROTARY	Citizen of the Year (1980)			
ROWLANDS			Sierra Estates	
ROY KEETER*	Retired from Navy, Electrician, Worked at Folsom Prison			
RUMSEY	Killed in WWII		Not Available	
RUSSELL	Dan Russell, Owned ranch in the east area		Empire Ranch, Village 36	2005
RYAN	Bill Ryan		Repressa	
SAUL			Natoma Valley	2006
SCHEETS				
SCHEIDEGGER	City Council Member and Planning Commissioner		The Parkway, Phase 2	2002
SEABOUGH	Editor of Folsom’s first newspaper		Willow Springs Cluster	2001
SERPA	Joe Serpa		Broadstone 3	
SETAUKET				
SIEKFIN	School Superintendent, Honorary Citizen of the Year 1981			
SIMPSON			(Simpson Court Sac County)	N/A
SKOHEGAN				
SLAUGHTER	Doctor (1898)			

SLAYBACK	Doctor, Arrived in Folsom 1882	Empire Ranch, Village 21	2004
SLICKEN	Mining term		
SMITH	Planning Commissioner	The Parkway, Phase 2	2002
SOUZA	Worked for the Natoma Company	The Parkway, Phase 2	2002
SPIVA		The Enclaves	2003
STOCKING		Empire Ranch, Village 22	2004
STONEHEDGE		Willow Springs Cluster	2001
SUNDAHL	Carl Sundahl, Dentist, Rotarian, Honorary Citizen of the Year 1984	Empire Ranch, Village 36 and 32	2005
SWINGLE	Longtime Folsom resident – 5 children, 3 still alive and living in Folsom.	Empire Ranch, Village 36	2005
THOMPSON	Edward Thompson, City Water Department	Willow Springs Cluster	2001
THURMAN	Fire Chief, Sheet metal worker	The Parkway, Phase 2	2002
TIBESSART	Earl Tibessart	Broadstone 3	
TOWNSEND	Charlie Townsend, Planning Commissioner	Empire Ranch, Village 32	2005
TRACY	Owner of a restaurant on Sutter Street (1917-1939)	Empire Ranch, Village 34	2005
TRAZIEL		Broadstone 3	2000
TUCHER	The family had two sons and one daughter and was very well liked.	Empire Ranch, Village 22	2004
Name changed to Via Barlogia – El Dorado Hills			
TUCKER	Owner of Tucker and Son Chevrolet (est. 1941) and instrumental in development of the Western Days Rodeo.		
VAN DYKE	Town Barber	The Island, Phase 1	2014
VAN VRANKIN			
VAN WICKLE	Winkle, Fire Chief	(Van Winkle is off Inwood)	
VAN WICKLIN	Peggy van Wicklin		
VAN DE VORT			
WADDILOVE	Owner of Folsom Hook & Ladder and Freight Bus		
WALES	Stephen Wales, veteran killed in WW2	South of City Hall	
WARD	Tom Ward, Episcopalian Priest, killed in Navy	The Enclaves	2003
WEBB	Bryant Webb, Insurance Business	The Enclaves	2003
WEINREICH	Worked for Natomas Company	The Parkway, Phase 2	2002

WELTY	Dan and Louise Welty, Operated a telephone company and the Gaslight Theatre, Honorary Citizen of the Year 1972	The Parkway Village H	2017
WOODHEAD	Prison Worker	Empire Ranch, Village 22	2004
ZERLANG	Margarite Zerlang	The Parkway, Phase 2	2002
ZITTEL	Roger Zittel, Lutheran Minister, Farmer, Planning Commissioner, President of Chamber of Commerce	Empire Ranch, Village 24	

- Names with an asterisk must use both first and last name to avoid sound-alikes.

C:\streetnames\historical.397

ATTACHMENT 2

Tucker Street Name Nomination Letter and Related Documents

August 7, 2018

Dear Stephanie,

I would like to submit my father's name to be considered by your "Street Naming Committee" for one of the new streets being constructed here in Folsom.

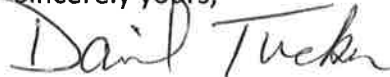
In this folder, I have enclosed documents (see Auto Dealer Info) that pertain to his Chevrolet business that he owned and operated here in Folsom for over 25 years.

The second group of documents (Rodeo Docs) detail his importance in starting the Folsom Rodeo. He, along with Dan Russell (Russell Arena) were instrumental in the development of the Western Days Rodeo over the July 4th holiday.

My father, Wendell Tucker, held the positions of the Folsom Rotary Club Chairman as well as Folsom Chamber of Commerce President.

He resided in Folsom from the early 1940's up until his death in 1977. I would like to request that his name (Tucker) be considered as a street name for the many contributions he made to the City of Folsom and to its residents.

Sincerely yours,

A handwritten signature in cursive script that reads "Daniel Tucker". The signature is written in black ink and is positioned above the printed name.

Daniel Tucker

(916)983-5247

Folsom Auto Dealers Contribute \$325,000 to Local Economy

11/26/64

Over \$325,000 is contributed to the local economy by the two auto dealers in Folsom, Tucker and Son Chevrolet and Hoxsie Ford.

This figure is derived from the amount of sales tax derived by the City of Folsom from auto sales and the payroll of the two companies.

Both auto companies had sales in 1963 totalling over \$3 million. The City of Folsom receives eight-tenths of one percent on these taxable sales which amounts to close to \$24,000. Payrolls for the two auto firms exceed \$300,000.

Although both these firms are competitors, each can say a large percentage of their sales come from the Sacramento area.

Both Hoxsie and Tucker advertise on Sacramento radio stations and draw many people from that area to Folsom, where they usually get a better deal on a car.

Last year both firms sold an average of 30 cars a month, with only about 25 per cent of those cars bought by residents in the Twin Lakes area. The rest were bought by residents in Sacramento and outlying areas, such as Auburn, Placerville, etc.

TUCKER CHEVROLET

Tucker and Son Chevrolet started business in Folsom in 1941, although the Tuckers have been in the automobile business since the early 20's.

The Tuckers started selling cars in the Sacramento Valley in Gridley. Wendall Tucker, one of the owners of the firm, said in the mid-30's, the Gridley establishment began delivering cars to Folsom, through an agent at a small gas station at the corner of Sutter and Riley.

In 1941, Tucker opened a shop on lower Sutter Street but had to close the doors during the war. Tucker, however, kept the Chevrolet franchise and in 1947, the firm was again opened.

In 1953, the corner of Greenback and Folsom-Auburn Road was purchased for a used car lot. And in 1955, Tucker built a showroom on that location, where the firm has been ever since.

Expansion has been the word at Tucker Chevrolet. A new service garage has been added since 1955, as well as the opening of a body and paint shop which boasts the only infrared paint baking ovens in this part of the county.

Tucker said that carpenters are now working on the building, adding a customer waiting room. He said in recent years, studies point out that 70 - 80 per cent of the cars brought in for service are brought in by women. So he is putting in a waiting room, complete with TV and lounges so the women will have something to do while waiting for their car to be serviced.

Tucker does some business with government agencies - namely with the Bureau of Reclamation and the Beaches and Parks. Both of these agencies have a service agreement with Tucker for their trucks and autos.

Over \$300,000 has been spilled into the local economy by these two auto firms - a sizeable sum indeed.



TUCKER CHEVROLET



Folsom - Auburn Rd. At Greenback Lane



Original "Chevy" -
1911 Model



A 1966 Chevrolet



Owner, W. W. Tucker

Your Chevrolet Dealer For 34 Years

FOLSOM was 55 years old when Louis Chevrolet made his first experimental automobile shown on this page. Today there are millions of Chevrolets in the hands of satisfied customers.

TUCKER CHEVROLET has been selling Chevrolets in this area for 34 years, first at 813 Sutter Street, and since 1953 at CHEVROLET CORNER on the Folsom Auburn road, where SERVICE is the motto of our entire staff. For your transportation needs come to Tucker Chevrolet.



Bob Pavulins, Office Mgr. Sophia Edmonds; Judy Laurin, Clerical.



Clifford McPherran, general sales manager; George West, Kenneth Edmond, Carl Schneider, Ernest Britt, salesmen.



L to R front: Robert Jackson, Arthur Ferreira, Alfred Bieker, shop Foreman, Robert Hoff. L to R standing: Leslie Jackson, John Frevert, Melvin Kelley, Tomie Crum, Sherman Kater, Service Mgr., Robert Shafer, Ass't. Parts Mgr., Patrick Crum, Parts Mgr.

Thursday, June 1, 1967

THE TELEGRAPH,



FOLSOM BOTTLENECK - The corner of Folsom-Auburn Road and Greenback Lane has long been a bottleneck in Folsom, especially on weekends and holidays. This scene was taken Tuesday and is typical of the backed up traffic scene. Several weeks ago, some of the Folsom Planning commissioners suggested a Folsom policeman be sent to the intersection to control traffic. Police Chief Bill Wilson said such

an arrangement has been tried, with not too much success. What is needed, Wilson said, is backup lanes and channelization of the intersection. However, because the needed land is within Beaches and Parks property and would take a tremendous amount of fill dirt to install, the City has not been able to complete the required work.



DAN RUSSELL



WENDELL TUCKER

A rodeo is only as good as the committee which stands behind it. Many persons have labored long and hard to make Folsom the Rodeo Capital of The West. Two who must take much credit are Dan Russell and Wendell Tucker, Folsom Chamber of Commerce Rodeo Committee Co-Chairmen. Tucker is also immediate past President of the Folsom Chamber of Commerce. He and Russell were instrumental in not only development of the Western Days Rodeo over the July 4 holiday, but played a prominent role in obtaining the Western Championship Finals Rodeo, held in October and limited to the top 15 cowboys in each event, in standings compiled by Western Approved Rodeos, the spokesman for the sport on the West Coast and in other Western states.



THOSE WHO SADDLED UP

WESTERN FAIRS ASSOCIATION OPEN CLASS RODEO COMMITTEE

- ART CAVANAVAN, Sonoma-Marin Fair, chairman
- DON BRANDT, Butte County Fair, secretary
- TULSA SCOTT, Plumas County Fair
- MALCOLM HAMMILL, Nevada County District Fair
- JACK NICEWONGER, Silver Dollar Fair
- STUART B. WAITE, Yolo County Fair
- JOHNNIE GREEN, Chowchilla Junior Fair
- ROLAND CHRISTIANSEN, Eastern Sierra Tri County Fair
- BOB ANGEL, San Bernardino County Fair

WESTERN APPROVED RODEOS

- JOE BLENKLE, Sacramento, Co-ordinator
- ERMA MULLEN, Sacramento, secretary

CALIFORNIA COWBOYS ASSOCIATION

- BILL LANDIS, San Jose, president
- GEORGE WILLIAMS, Hilmar, vice-president
- BOB WARD, Turlock, secretary-treasurer
- JACK PHILLIPS, Turlock, chairman
- JOHNNY CLEMENTS, Chowchilla, saddle bronc
- LES VOGT, Clovis, bareback
- RAY LETOURNEAU, Salinas, bulls
- BILLY ROSE, Sebastopol, calf roping
- BUD HENSLEY, San Jose, bulldogging
- JOHN WHEATLEY, Sacramento, team roping
- SUZANNE KOCH, Stevenson, barrel racing
- TOM KELLEY, Bakersfield, contract acts

CITY OF FOLSOM

- JOHN E. KIPP, Mayor
- JOHN A. THORNE, Vice-Mayor
- TOM DOLEN, Councilman
- AL RELVIS, Councilman
- BUELL L. SLATER, Councilman
- CYRIL THOMAS, City Administrator
- H.E. JOHNSON, Public Works Superintendent
- ARTIE DAVIES, City Clerk

CONGRATULATIONS FROM



BOB CREASY-JIM CARTER-JOHN ACUFF

SERVING YOU FROM

FOLSOM LUMBER & BUILDING SUPPLY

616 EAST BIDWELL STREET, FOLSOM

FOLSOM
WHERE THE WEST
CAME AND STAYED

FOLSOM CHAMBER OF COMMERCE

As President of the Folsom Chamber of Commerce, I heartily welcome you to the fifth annual Rodeo-Fiesta.

Our Chamber's motto, "Where the West Came and Stayed," signifies our desire to maintain a bit of the Ol' West here in Folsom. We are proud of our City of Folsom and its close relationship with Western history; and we hope while you are here, you will take time to visit and become better acquainted with our Western community.



Wendell W. Tucker
President, Folsom
Chamber of Commerce

Sincerely,

Wendell W. Tucker

**CITY
OF
FOLSOM**

50 Natoma St. Folsom, California 95630
Phone 985-3661



John E. Kipp, Jr.

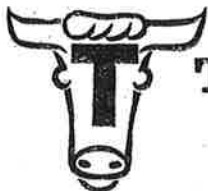
As Mayor of the City of Folsom, on behalf of the Council and citizens, I welcome you to the fifth annual Folsom Rodeo - Fiesta.

We are proud of our City and its colorful history. I hope that while you are here you will visit some of the outstanding historical monuments and other points of interest that we have to offer.

I want to extend a special welcome to the Rodeo contestants and to commend them for their courage and cowboy skills. I hope they will enjoy the facilities offered in our fine new arena.

John E. Kipp, Jr.

This Page Sponsored By ---



TOPPER'S
STEAKHOUSES

**Model Rexall
Pharmacy**



SADDLE BRONCS

This is known as the classic event of the Rodeo. The horses are ridden with an approved rodeo-type saddle. The horse wears a halter. The rider has a rope rein to the halter. He must start the horse out of the chute with his spurs high on the horse's shoulders and keep scratching fore and aft at all times. He must ride 10 seconds to qualify. Just as in bareback riding, one hand must be free and in the air at all times.

WESTERN SADDLE BRONC CHAMPIONS

1963 – Paul Templeton, San Jose

1964 – Jack Thrasher, Carmichael

1965 – Joe Sturdivant, South San Francisco

1966 – Johnny Clements, Chowchilla

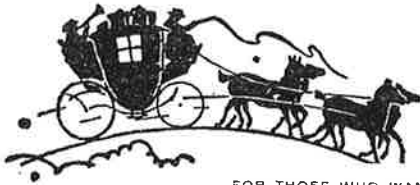
1967 – Johnny Clements, Chowchilla

"HAPPY RODEOING" FROM

Dave Thomas

MANAGER OF

**MOTHER LODGE
BANK**



FOR THOSE WHO WANT THE BEST

MOTHER LODGE BANK

(FOLSOM BRANCH)

355 EAST BIDWELL STREET

PHONE: 985-4451

"HAPPY RODEOING" FROM

**TUCKER
CHEVROLET**



"DICKER WITH TUCKER"

IN FOLSOM AT

AUBURN ROAD & GREENBACK LANE

PHONE: 988-0244



FOLSOM CHAMBER OF COMMERCE
FIFTH ANNUAL

1966

RODEO - FIESTA

JULY 1-2-3-4



DAN RUSSELL

ARENA 8 p. m.

25¢

This Page Sponsored By

Tucker Chevrolet



See your nearest authorized Chevrolet dealer

JAN 24
1957
FOL. TELEG.

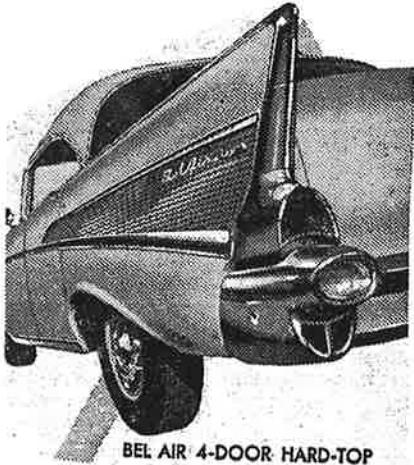
TUCKER & SON CHEVROLET

Greenback at old Auburn Road

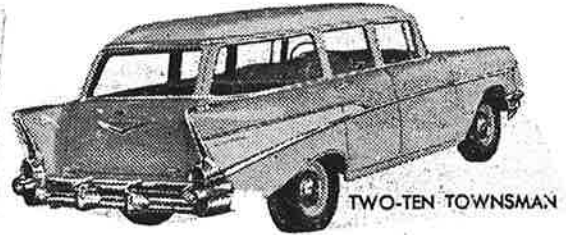
Folsom

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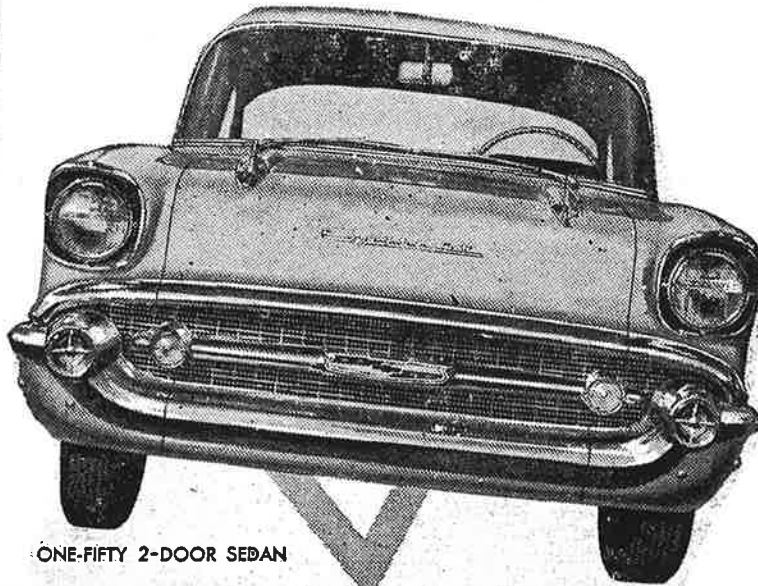
From Every Angle



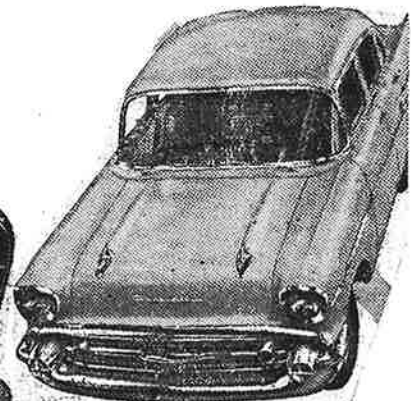
BEL AIR 4-DOOR HARD-TOP



TWO-TEN TOWNSMAN



ONE-FIFTY 2-DOOR SEDAN



TWO-TEN 4-DOOR SEDAN

the '57

CHEVROLET

is the most for your money!



Check the **HIGH** trade-in
...the **LOW** net cost.
It's the **CASH DIFFERENCE**
that counts!

Outsmarts... Outperforms...
Outsells them all!
Take a drive...
and you'll see why!

**LOW PRICE is
standard equipment
on the new '57 Chevy**

Obituaries

Ward Joseph Koepenick

Services are pending for Ward Joseph Koepenick. Interment is private.

Mr. Koepenick died in Folsom, May 20 at the age of 79. He was a native of Cloverdale, Ill.

Mr. Koepenick was involved with Serve Our Seniors in Folsom. He had been a Folsom resident for 12 years.

He was the beloved husband of Betty L. Koepenick of Folsom. He was survived by daughters Marie Lucas, Diane Tellesen and Melodye Bricker and son Ward Koepenick Jr.,

He was also the father-in-law of Robert Tellesen and Gary Bricker. He was the grandfather of Stephanie, David, Christine, Brook, Dylan, Nicole and Dawn and great-grandfather of Rachael, Carl and Alexandria.

Remembrances may be made to your favorite charity. Arrangements are by Miller Funeral Home in Folsom

Wendell Webster Tucker

Private memorial services will be conducted at Miller Funeral Home for former Folsom Chevrolet owner Wendell Webster Tucker. Interment is private.

Tucker's father owned Tucker Chevrolet in Gridley. Wendell bought the Folsom dealership after WWII. He served in the Navy.

Friend Jack Kipp said any time a festival happened, Tucker donated a good raffle prize.

He was instrumental in building the rodeo arena, working many afternoons to put it together. He was rodeo chair for several years

He raced boats and was an avid fisherman, hunter and outdoorsman. He and town barber Jim Hill fished together often.

Mr. Tucker died in Folsom May 21 at the age of 77. He was a native of Baypoint. He was the past Folsom Rotary Club Chairman and former President of the Folsom Chamber of Commerce. During his tenure, the first paid chamber manager was hired.

Mr. Tucker was the beloved husband of Lorraine Tucker of Folsom, father of Daniel Webster Tucker of Folsom and Wendy Jean Tucker of Sacramento and the brother of the late Kenneth Tucker. He is also survived by one grandchild. Donations can be made to the American Lung Association of Sacramento, 909 12th St., Sacramento, CA 95814.

FOLSOM TRAVEL

- ★ Vacation Packages
- ★ Cruises
- ★ Corporate Travel
- ★ Airline Tickets
- ★ Amtrak Tickets
- ★ Eurail Passes
- ★ Group Incentive Tours

Prov

Chevy dealer retired to sportsman's life

By Walt Wiley
Bee Staff Writer

Wendell Webster "Wendy" Tucker sold Chevrolets in Gridley, then for 34 years in Folsom before he retired in 1972 and began a new life for himself, recalled his son-in-law, Charles "Hap" May.

"He was a success in the car business, but as soon as the business was sold he became a duck hunter and fisherman extraordinaire," May said. "He'd always enjoyed hunting and fishing, but he really went at them seriously."

Mr. Tucker died Wednesday at Mercy Hospital of Folsom of pulmonary fibrosis. He was 77.

Mr. Tucker was born in Baypoint, a Contra Costa County community that no longer exists, May said.

When he was a young man the family moved to Gridley, where

Mr. Tucker went to work with his father, Daniel Boone Tucker, in a Chevrolet agency. They kept Tucker Chevrolet in Gridley and added Tucker Chevrolet in Folsom in 1938. 1947

After service as a Link Trainer instructor with the Army Air Forces in World War II, Mr. Tucker returned to Folsom to rejoin the family business and to attend Sacramento Junior College, now City College.

During the years Mr. Tucker operated the dealership, first on Sutter Street and then at the corner of Folsom-Auburn Road and Greenback Lane, he was active in the Folsom Chamber of Commerce, the Folsom Rotary Club and the Folsom Lions Club.

He was Chamber of Commerce president from 1965 to 1967 and a founder of the Folsom Rodeo.

Once he sold the business, how-

ever, Mr. Tucker retired completely to enjoy his fishing and hunting pursuits, May said.

He and his wife spent half the year at their Folsom home and half at a home they built at San Carlos, near Guaymas, Mexico, where Mr. Tucker enjoyed fishing in the Sea of Cortez.

"But he would fish anywhere," May said. "He fished at Lake Tahoe and right here in the river and in Lake Natoma."

Mr. Tucker is survived by his wife, Lorraine; a son, Daniel Webster Tucker of Folsom; a daughter, Wendy Jean Tucker of Sacramento; and one grandchild.

A memorial service will be at 1:30 p.m. Tuesday at Miller Funeral Home in Folsom.

The family requests any memorial contributions be made to the American Lung Association, 909 12th St., Sacramento, 95814.

► METRO/REGIONAL

Nauman: California link unmentioned

Continued from page B1

Humboldt County

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PLANNING COMMISSION STAFF REPORT

PROJECT TITLE	Palladio at Broadstone Building 2100 Commercial Design Review
PROPOSAL	Request for Commercial Design Review approval for development of a 6,282-square-foot, single-story pad building (Building 2100) on an undeveloped .31-acre parcel within the Palladio at Broadstone Shopping Center
RECOMMENDED ACTION	Approve, based upon findings and subject to conditions
OWNER/APPLICANT	Broadstone Land, LLC
LOCATION	210 Palladio Parkway, Suite 2105 (Palladio at Broadstone Shopping Center)
SITE CHARACTERISTICS	The .31-acre project site has previously been rough graded and is partially improved with frontage improvements including curbs, gutters, sidewalks, landscaping, and site lighting. The areas surrounding the project site are developed with site improvements intended to serve the project site including driveways, drive aisles, parking spaces, sidewalks, site lighting, site landscaping, and signage
GENERAL PLAN DESIGNATION	RCC (Regional Commercial)
ZONING	C-3 PD (General Commercial, Planned Development District)
ADJACENT LAND USES/ZONING	North: Commercial Development (C-3 PD) with East Bidwell Street Beyond South: Iron Point Road with Commercial Development (C-3 PD) Beyond East: Commercial Development (C-3 PD) with East Bidwell Street Beyond

West: Commercial Development (C-3 PD)
with Palladio Parkway Beyond

PREVIOUS ACTION

Planning Commission approval of a Planned Development Permit and Conditional Use Permit in 2004 (PN 04-260) for Palladio at Broadstone

Planning Commission approval of a Tentative Parcel Map and Planned Development Permit Modification in 2007 (PN 06-498) for Palladio at Broadstone

Planning Commission approval of a Planned Development Permit Modification in 2007 (PN 07-136) for Palladio at Broadstone

Architectural Review Commission approval of multiple Design Review Applications in 2007 (PN 07-467 to 07-469)

Planning Commission approval of a Design Review Application (PN 16-271) for Lazy Dog Restaurant in 2016

FUTURE ACTION

Issuance of a Building Permit

APPLICABLE CODES

FMC 17.06, Design Review
FMC 17.22, Commercial Land Use Zones
FMC 17.38, Planned Development District
Palladio at Broadstone Design Guidelines

ENVIRONMENTAL REVIEW

The project is categorically exempt under Section 15303 New Construction or Conversion of Small Structures of the California Environmental Quality Act (CEQA)

ATTACHED REFERENCE MATERIAL

1. Vicinity Map
2. Overall Site Plan for Palladio at Broadstone, dated April 26, 2018
3. Preliminary Site Plan, dated August 29, 2018
4. Detailed Landscape Plan, August 8, 2018
5. Building Elevations, dated August 8, 2018
6. Color Building Rendering, dated August 8, 2018
7. Preliminary Floor Plan, dated August 8, 2018
8. Site Photographs

BACKGROUND

On December 15, 2004, the Planning Commission approved a Planned Development Permit and Conditional Use Permit for development of the 930,000-square-foot Palladio at Broadstone Shopping Center and the Kaiser Permanente Medical Center. On February 7, 2007, the Planning Commission approved a Tentative Parcel Map and Planned Development Permit Modification for Palladio at Broadstone, which included minor modifications to the previously approved site plan and building elevations. In 2007, the Architectural Review Commission approved multiple Commercial Design Review Applications for Palladio at Broadstone including a movie theater (Palladio 16 Cinemas), a bookstore (former Sports Authority building), a supermarket (Whole Foods), and a number of inline tenant buildings. On October 5, 2016, the Planning Commission approved a Commercial Design Review Application for development of the Lazy Dog Restaurant within Palladio at Broadstone. The subject .31-acre parcel, which is one of the last two remaining parcels to be developed within Palladio at Broadstone, was originally anticipated to be developed with a 7,300-square-foot freestanding pad building.

APPLICANT'S PROPOSAL

The applicant, Broadstone Land, LLC, is requesting Commercial Design Review approval for development of a 6,282-square-foot, single-story retail pad building on an undeveloped .31-acre parcel within the Palladio at Broadstone Shopping Center located at 210 Palladio Parkway. The 6,282-square foot building will be divided internally to accommodate a 4,400-square-foot retail use and a 1,882-square-foot restaurant/food use. The design of the proposed commercial building reflects an Italianate style of architecture with many high-quality elements that are typical of this style of architecture and found throughout Palladio at Broadstone. Proposed building materials include textured stone tiles, smooth stone tiles, cement plaster, ceramic tiles, steel canopies, fabric awnings, metal light fixtures, and clay roof tiles. The primary building colors are predominately light in tone, accentuated with brighter accent colors. Minor site improvements are proposed including pedestrian walkways around the perimeter of the building and an equipment enclosure at the rear of the building.

GENERAL PLAN AND ZONING CONSISTENCY

The General Plan land use designation for the project site is RCC (Regional Commercial Center) and the zoning classification is C-3 PD (General Business, Planned Development District). The zoning district corresponds with the General Plan land use designation. The proposed project is consistent with both the General Plan land use and zoning designations, as retail and restaurant uses are identified as a permitted land uses for this site. The proposed project also meets all applicable development standards (lot coverage, building setbacks, building height, and parking) established for the Palladio at Broadstone Shopping Center. In addition, the proposed project will not conflict with any known applicable plans or policies by agencies with jurisdiction over the project.

ARCHITECTURE/DESIGN

As described previously within this report, the applicant is proposing to develop a 6,282-square-foot, single-story retail pad building on an undeveloped parcel within the Palladio at Broadstone Shopping Center. The architecture of the proposed building, which could best be characterized as "Contemporary Italian", includes many high-quality design elements (altered building massing, varied roof forms, tall building openings, and well distinguished entry features) commonly found in other buildings within Palladio at Broadstone. In terms of building materials, the proposed project

features building materials that are Italianate in nature including large textured ceramic tiles, smooth ceramic tiles, decorative ceramic tiles, cement plaster, and clay roof tiles. The color scheme for the proposed building is primarily earth tone in nature, focusing on the use of lighter tones typical of the Italianate design. Vibrant colors are proposed at the building entrances and on the rooftop to compliment the primary earth tone colors found elsewhere on the building.

As discussed earlier with this report, the proposed project includes development of a freestanding commercial pad building within the Palladio at Broadstone Shopping Center. When Palladio at Broadstone was approved by the Planning Commission in 2004, architectural guidelines (Palladio/Kaiser Planned Development and Design Guidelines) were established to ensure high quality design, materials, and colors throughout the development over time. The primary design principles created to guide development within Palladio at Broadstone include the following:

- Ordered and rational layouts of buildings and spaces achieved through a symmetry which can be subtly distorted to accommodate local conditions;
- Harmony achieved through the application of a set of carefully-considered proportional relationships in plan, section and elevation;
- The use of major and minor axes to organize the placement of buildings and rooms, emphasized by hierarchical groupings and sub-groupings of elements to reinforce the whole composition;
- Integration of supporting buildings by locating them in a manner which complements and enhances the whole composition;
- Exploiting the incorporation of supporting buildings to create a prolonged sequence of arrival with a rich spatial experience;
- The extensive use of a 'kit of parts' to create variety within a unified whole by developing a vocabulary of architectural elements which can be combined in multiple ways;
- Buildings broken down into parts, which respond to the human scale and invite exploration.

In reviewing the architecture and design of the proposed building, City staff determined that the proposed project incorporates a significant number of the unique design elements as recommended by the Design Guidelines including; the use of different building forms and shapes to define individual tenant spaces, distinguished entry features designed at a human scale to encourage interaction, large building openings that create visual interest, and the use of multiple roof styles to break up the mass of the building. Staff also determined that the proposed project will create significant visual interest through the use of multiple building materials that are clearly Italianate in nature. Lastly, staff determined that the proposed color scheme, which creates a natural appearance with colorful highlights, blends well with the color scheme of existing buildings within Palladio at Broadstone. Overall, staff has determined that the proposed project will be compatible with existing buildings within the shopping center through the use of common design elements, similar building materials, and a complimentary color scheme. As a result, staff recommends approval of the applicants building design with the following conditions:

1. This approval is for a 6,282-square-foot, single-story retail pad to be located within the Palladio at Broadstone Shopping Center (210 Palladio Parkway, Suite 2105). The applicant shall submit building plans that comply with this approval and the attached building elevations and color rendering dated August 8, 2018.
2. The design, materials, and colors of the proposed building shall be consistent with the submitted building elevations, color rendering, materials sample, and color scheme to the satisfaction of the Community Development Department.
3. Roof-mounted mechanical equipment, including satellite dish antennas, shall not extend above the height of the parapet walls. Ground-mounted mechanical equipment shall be shielded by landscaping or trellis type features.
4. The final design of the building-attached light fixtures shall be subject to review and approval by the Community Development Department to ensure architectural consistency with the overall building design.

These recommendations are included in the conditions of approval (Condition No. 19) presented for consideration by the Planning Commission.

EXISTING LANDSCAPING

The Palladio at Broadstone Shopping Center includes a variety of landscaping along the street frontages including East Bidwell Street, Broadstone Parkway, Iron Point Road, and Palladio Parkway, as well as within landscape medians located throughout the entire development. Existing landscaping includes a variety of trees, shrubs, and groundcover. The applicant is not proposing to install any new landscaping with development of the proposed project. However, the applicant has indicated that they will replace any existing landscaping that is damaged or destroyed during construction of the proposed project. Staff recommends that the owner/applicant replace any existing landscaping that is damaged or destroyed during construction activities to the satisfaction of the Community Development Department. Condition No. 20 is included to reflect this requirement.

SIGNAGE

The applicant has not submitted signage details for the proposed project as the specific tenants for the retail pad building have not been formalized. Signage is subject to the sign criteria established for the Palladio at Broadstone Shopping Center to ensure uniformity and consistency of signage for the entire development. Staff recommends that all future signs for the project comply with the FMC and the Sign Criteria established for the Palladio at Broadstone Shopping Center. In addition, staff recommends that the applicant obtain a sign permit for all future wall signs. Condition No. 31 is included to reflect these requirements.

ENVIRONMENTAL REVIEW

The project is categorically exempt under Section 15303 New Construction or Conversion of Small Structures of the California Environmental Quality Act (CEQA). Based on staff's analysis of this project, none of the exceptions in Section 15300.2 of the CEQA Guidelines apply to the use of the categorical exemption(s) in this case.

RECOMMENDATION/PLANNING COMMISSION ACTION

MOVE TO APPROVE COMMERCIAL DESIGN REVIEW FOR DEVELOPMENT OF A 6,282-SQUARE-FOOT, SINGLE-STORY RETAIL PAD BUILDING (BUILDING 2100) WITHIN THE PALLADIO AT BROADSTONE SHOPPING CENTER AS ILLUSTRATED ON ATTACHMENTS 2 THROUGH 7 WITH THE FOLLOWING FINDINGS AND CONDITIONS OF APPROVAL (NO. 1-31).

GENERAL FINDINGS

- A. NOTICE OF HEARING HAS BEEN GIVEN AT THE TIME AND IN THE MANNER REQUIRED BY STATE LAW AND CITY CODE.
- B. THE PROJECT IS CONSISTENT WITH THE GENERAL PLAN, THE ZONING CODE OF THE CITY, AND THE PALLADIO AT BROADSTONE DESIGN GUIDELINES.

CEQA FINDING

- C. THE PROJECT IS CATEGORICALLY EXEMPT UNDER SECTION 15303 NEW CONSTRUCTION OR CONVERSION OF SMALL STRUCTURES OF THE CALIFORNIA ENVIRONMENTAL QUALITY ACT (CEQA) GUIDELINES.
- D. THE CUMULATIVE IMPACT OF SUCCESSIVE PROJECTS OF THE SAME TYPE IN THE SAME PLACE, OVER TIME IS NOT SIGNIFICANT IN THIS CASE.
- E. NO UNUSUAL CIRCUMSTANCES EXIST TO DISTINGUISH THE PROPOSED PROJECT FROM OTHERS IN THE EXEMPT CLASS.

DESIGN REVIEW FINDINGS

- F. THE PROJECT IS IN COMPLIANCE WITH THE GENERAL PLAN.
- G. THE PROJECT CONFORMS TO THE PALLADIO AT BROADSTONE SHOPPING CENTER DESIGN GUIDELINES AND ALL APPLICABLE STANDARDS APPROVED THROUGH THE PLANNED DEVELOPMENT PERMIT PROCESS.
- H. THE PROJECT PROVIDES COMPATIBILITY OF BUILDING MATERIALS, TEXTURES AND COLORS WITH SURROUNDING DEVELOPMENT AND CONSISTENCY WITH THE GENERAL DESIGN THEME OF THE NEIGHBORHOOD.

Submitted,



PAM JOHNS
Community Development Director

CONDITIONS

See attached tables of conditions for which the following legend applies.

RESPONSIBLE DEPARTMENT		WHEN REQUIRED	
CD	Community Development Department	I	Prior to approval of Improvement Plans
NS	Neighborhood Services Department	M	Prior to approval of Final Map
(P)	Planning Division	B	Prior to issuance of first Building Permit
(E)	Engineering Division	O	Prior to approval of Occupancy Permit
(B)	Building Division	G	Prior to issuance of Grading Permit
(F)	Fire Division		
PW	Public Works Department	DC	During construction
PR	Park and Recreation Department	OG	On-going requirement
PD	Police Department		

**CONDITIONS OF APPROVAL FOR PALLADIO AT BROADSTONE BUILDING 2100
COMMERCIAL DESIGN REVIEW (PN 18-314)**

Mitigation Measure		When Required	Responsible Department
1.	<p align="center">GENERAL REQUIREMENTS</p> <p>The applicant shall submit final site development plans to the Community Development Department that shall substantially conform to the exhibits referenced below:</p> <ul style="list-style-type: none"> • Preliminary Site Plan, dated August 29, 2018 • Detailed Landscape Plan, August 8, 2018 • Building Elevations, dated August 8, 2018 • Color Building Rendering, dated August 8, 2018 • Preliminary Floor Plan, dated August 8, 2018 <p>This Commercial Design Review Application is approved for the development of a 6,282-square-foot, single-story retail pad building. Modifications may be made to the above-referenced plans to respond to site-specific conditions of approval as set forth herein.</p>	B	CD (P)(E)
2.	<p>All civil engineering and landscape plans, shall be submitted to the Community Development Department for review and approval to ensure conformance with this approval and with relevant codes, policies, standards and other requirements of the City of Folsom.</p>	I, B	CD (P)(E)(B)
3.	<p>This project approval granted under this staff report shall remain in effect for two years from final date of approval (October 17, 2020). Failure to obtain the relevant permits within this time period, without the subsequent extension of this approval, shall result in the termination of this approval.</p>	B	CD (P)

**CONDITIONS OF APPROVAL FOR PALLADIO AT BROADSTONE BUILDING 2100
COMMERCIAL DESIGN REVIEW (PN 18-314)**

Mitigation Measure		When Required	Responsible Department
4.	<p>The owner/applicant shall defend, indemnify, and hold harmless the City and its agents, officers and employees from any claim, action or proceeding against the City or its agents, officers or employees to attack, set aside, void, or annul any approval by the City or any of its agencies, departments, commissions, agents, officers, employees, or legislative body concerning the project. The City will promptly notify the owner/applicant of any such claim, action or proceeding, and will cooperate fully in the defense. The City may, within its unlimited discretion, participate in the defense of any such claim, action or proceeding if both of the following occur:</p> <ul style="list-style-type: none"> • The City bears its own attorney’s fees and costs; and • The City defends the claim, action or proceeding in good faith <p>The owner/applicant shall not be required to pay or perform any settlement of such claim, action or proceeding unless the settlement is approved by the owner/applicant.</p>	OG	CD (P)(E)(B) PW, PR, FD, PD
DEVELOPMENT COSTS AND FEE REQUIREMENTS			
5.	The owner/applicant shall pay all applicable taxes, fees and charges at the rate and amount in effect at the time such taxes, fees and charges become due and payable.	I, B	CD (P)(E)
6.	If applicable, the owner/applicant shall pay off any existing assessments against the property, or file necessary segregation request and pay applicable fees.	B	CD (E)
7.	If the City utilizes the services of consultants to prepare special studies or provide specialized design review or inspection services for the project, the applicant shall reimburse the City for actual costs it incurs in utilizing these services, including administrative costs for City personnel. A deposit for these services shall be provided prior to initiating review of the building plans, improvement plans, or beginning inspection, whichever is applicable.	B, I	CD (P)(E)

**CONDITIONS OF APPROVAL FOR PALLADIO AT BROADSTONE BUILDING 2100
COMMERCIAL DESIGN REVIEW (PN 18-314)**

	Mitigation Measure	When Required	Responsible Department
8.	This project shall be subject to all City-wide development impact fees, unless exempt by previous agreement. This project shall be subject to all City-wide development impact fees in effect at such time that a building permit is issued. These fees may include, but are not limited to, fees for fire protection, park facilities, park equipment, Humbug-Willow Creek Parkway, Light Rail, TSM, capital facilities and traffic impacts. The 90-day protest period for all fees, dedications, reservations or other exactions imposed on this project will begin on the date of final approval (October 17, 2018). The fees shall be calculated at the fee rate in effect at the time of building permit issuance.	B	CD (P)(E), PW, PK
9.	The City, at its sole discretion, may utilize the services of outside legal counsel to assist in the implementation of this project, including, but not limited to, drafting, reviewing and/or revising agreements and/or other documentation for the project. If the City utilizes the services of such outside legal counsel, the applicant shall reimburse the City for all outside legal fees and costs incurred by the City for such services. The applicant may be required, at the sole discretion of the City Attorney, to submit a deposit to the City for these services prior to initiation of the services. The applicant shall be responsible for reimbursement to the City for the services regardless of whether a deposit is required.	I	CD (P)(E)
10.	The owner/applicant agrees to pay to the Folsom-Cordova Unified School District the maximum fee authorized by law for the construction and/or reconstruction of school facilities. The applicable fee shall be the fee established by the School District that is in effect at the time of the issuance of a building permit. Specifically, the owner/applicant agrees to pay any and all fees and charges and comply with any and all dedications or other requirements authorized under Section 17620 of the Education Code; Chapter 4.7 (commencing with Section 65970) of the Government Code; and Sections 65995, 65995.5 and 65995.7 of the Government Code.	B	CD (P)
11.	The project is subject to the Housing Trust Fund Ordinance, unless exempt by a previous agreement.	B	CD (P)

SITE DEVELOPMENT REQUIREMENTS

12.		Public and private improvements, including roadways, curbs, gutters, sidewalks, bicycle lanes and trails, streetlights, underground infrastructure and all other improvements shall be provided in accordance with the current edition of the City of Folsom <u>Standard Construction Specifications</u> and the <u>Design and Procedures Manual and Improvement Standards</u> .	I, B	CD (P)(E)
13.		The owner/applicant shall be responsible for replacing any and all damaged or hazardous public sidewalk, curb and gutter, and/or bicycle trail facilities along the site frontage and/or boundaries, including pre-existing conditions and construction damage, to the satisfaction of the Community Development Department.	O	CD (E)
14.		For any improvements constructed on private property that is not under ownership or control of the owner/applicant, a right-of-entry, and if necessary, a permanent easement shall be obtained and provided to the City prior to issuance of a grading permit and/or approval of improvement plans.	G, I	CD (E)
15.		The owner/applicant shall coordinate the planning, development and completion of this project with the various utility agencies (i.e., SMUD, PG&E, etc.).	I	CD (P)(E)
16.		Final exterior building and site lighting plans shall be submitted for review and approval by Community Development Department for location, height, aesthetics, level of illumination, glare and trespass prior to the issuance of any building permits. Lighting shall be designed to be shielded and directed downward onto the project site and away from adjacent properties and public rights-of-way. Lighting shall be equipped with a timer or photo condenser.	I, B	CD (P)
STORM WATER POLLUTION/CLEAN WATER ACT REQUIREMENTS				
17.		The owner/applicant shall be responsible for litter control and sweeping of all paved surfaces in accordance with City standards. All on-site storm drains shall be cleaned immediately before the commencement of the rainy season (October 15).	G, I, B	CD (E)
18.		Erosion and sedimentation control measures shall be incorporated into construction plans. These measures shall conform to the City of Folsom requirements and the County of Sacramento <u>Erosion and Sedimentation Control Standards and Specifications</u> -current edition and as directed by the Community Development Department.	G, I	CD (E)

ARCHITECTURE/DESIGN REQUIREMENTS

19.	<p>The project shall comply with the following architecture and design requirements:</p> <ol style="list-style-type: none"> This approval is for a 6,282-square-foot, single-story retail pad to be located within the Palladio at Broadstone Shopping Center (210 Palladio Parkway, Suite 2105). The applicant shall submit building plans that comply with this approval and the attached building elevations and color rendering dated August 8, 2018. The design, materials, and colors of the proposed building shall be consistent with the submitted building elevations, color rendering, materials sample, and color scheme to the satisfaction of the Community Development Department. Roof-mounted mechanical equipment, including satellite dish antennas, shall not extend above the height of the parapet walls. Ground-mounted mechanical equipment shall be shielded by landscaping or trellis type features. The final design of the building-attached light fixtures shall be subject to review and approval by the Community Development Department to ensure architectural consistency with the overall building design. 	I, B	CD (P)
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LANDSCAPE/LIGHTING REQUIREMENTS

20.	<p>The owner/applicant shall replace any existing landscaping that is damaged or destroyed during construction activities to the satisfaction of the Community Development Department. In addition, the owner/applicant shall be responsible for on-site landscape maintenance throughout the life of the project to the satisfaction of the Community Development Department.</p>	B	CD (P)(E)
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AIR QUALITY REQUIREMENT

21.	<p>Dust generated on the project site shall be controlled by selective watering of exposed areas, especially during clearing and grading operations. All unpaved areas of the project site that are being graded, excavated or used as construction haul roadways shall be sprayed with water as often as is necessary to assure that fugitive dust does not impact nearby properties. Stockpiles of soil or other fine materials being left for periods in excess of one day during site construction shall be sprayed and track walked after stockpiling is complete.</p>	I, B	CD (P)(E)(B)
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22.	Paving shall be completed as soon as is practicable to reduce the time that bare surfaces and soils are exposed. In areas where construction is delayed for an extended period of time, the ground shall be revegetated to minimize the generation of dust.	I, B	CD (P)(E)(B)
23.	Street sweeping shall be conducted to control dust and dirt tracked from the project site onto any of the surrounding roadways. Construction equipment access shall be restricted to defined entry and exit points to control the amount of soil deposition.	I, B	CD (P)(E)(B)
NOISE REQUIREMENTS			
24.	Compliance with Noise Control Ordinance and General Plan Noise Element shall be required. Hours of construction operation shall be limited from 7:00 a.m. to 6:00 p.m. on weekdays and 8:00 a.m. to 5:00 p.m. on Saturdays with no Sunday or Holiday construction allowed (except interior tenant improvements). Construction equipment shall be muffled and shrouded to minimize noise levels.	G, I, B	CD (P)(E)
GRADING REQUIREMENTS			
25.	The owner/applicant shall locate and remediate all antiquated mine shafts, drifts, open cuts, tunnels and water conveyance or impoundment structures existing on the project site, with specific recommendations for the sealing, filling or removal of each that meet all applicable health, safety, and engineering standards. Recommendations shall be prepared by an appropriately licensed engineer or geologist. All remedial plans shall be reviewed and approved by the City.	G, I	CD (E)
CULTURAL RESOURCE REQUIREMENT			
26.	If any archaeological, cultural, or historical resources or artifacts, or other features are discovered during the course of construction anywhere on the project site, work shall be suspended in that location until a qualified professional archaeologist assesses the significance of the discovery and provides consultation with the Folsom Historical Society, City staff, and the Historic Preservation League. Appropriate mitigation as recommended by the archaeologist and the Historical Society representative shall be implemented. If agreement cannot be met, the Planning Commission shall determine the appropriate implementation method.	G, I	CD (E)
OTHER AGENCY REQUIREMENT			
27.	The owner/applicant shall obtain all required State and Federal permits and provide evidence that said permits have been obtained, or that the permit is not required, subject to staff review and approval of any grading or improvement plan.	G, I	CD (P)(E)

FIRE DEPARTMENT REQUIREMENTS

28.	Prior to the issuance of any improvement plans, the Community Development and Fire Departments shall review and approve all detailed design plans for accessibility of emergency fire equipment, fire hydrant flow location, and other construction features.	I, B	FD
29.	The building shall have illuminated addresses visible from the street or drive fronting the property. Size and location of address identification shall be reviewed and improved by the Fire Marshal.	I	FD

POLICE/SECURITY REQUIREMENTS

30.	The owner/applicant shall consult with the Police Department in order to incorporate all reasonable crime prevention measures. The following security/safety measures shall be required:		
	<ul style="list-style-type: none"> ● A security guard shall be on-duty at all times at the site or a six-foot security fence shall be constructed around the perimeter of construction areas. (This requirement shall be included on the approved construction drawings). ● Security measures for the safety of all construction equipment and unit appliances shall be employed. ● Landscaping shall not cover exterior doors or windows, block line-of-sight at intersections or screen overhead lighting. 	B	PD

MISCELLANEOUS REQUIREMENTS

31.	All future signs for the project shall comply with the FMC and the Sign Criteria established for the Palladio at Broadstone Shopping Center. In addition, the owner/applicant shall obtain a sign permit for all future wall signs.	B	CD (P)
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Attachment 1

Vicinity Map

Attachment 2

**Overall Site Plan for Palladio at Broadstone
Dated April 26, 2018**

Attachment 3

Preliminary Site Plan, dated August 29, 2018

Attachment 4

Detailed Landscape Plan, dated August 8, 2018

Attachment 5

Building Elevations, dated August 8, 2018

Attachment 6

Color Building Rendering, dated August 8, 2018

Attachment 7

Preliminary Floor Plan, dated August 8, 2018

FLOOR PLAN SHEET NOTES

1. THIS DRAWING IS TO BE USED FOR CONSTRUCTION ONLY. NO OTHER USES SHALL BE MADE OF THIS DRAWING WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT.
2. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED. DIMENSIONS TO WALL CENTERLINE ARE TO FACE UNLESS OTHERWISE NOTED.
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Elliott Homes
A NATIONAL AFFILIATE OF PALLADIO

PALLADIO
ARCHITECTS



CONSTRUCTION DOCUMENTS
PROJECT SET
DATE: 08/12/2018



BUILDING 2100
FLOOR PLAN

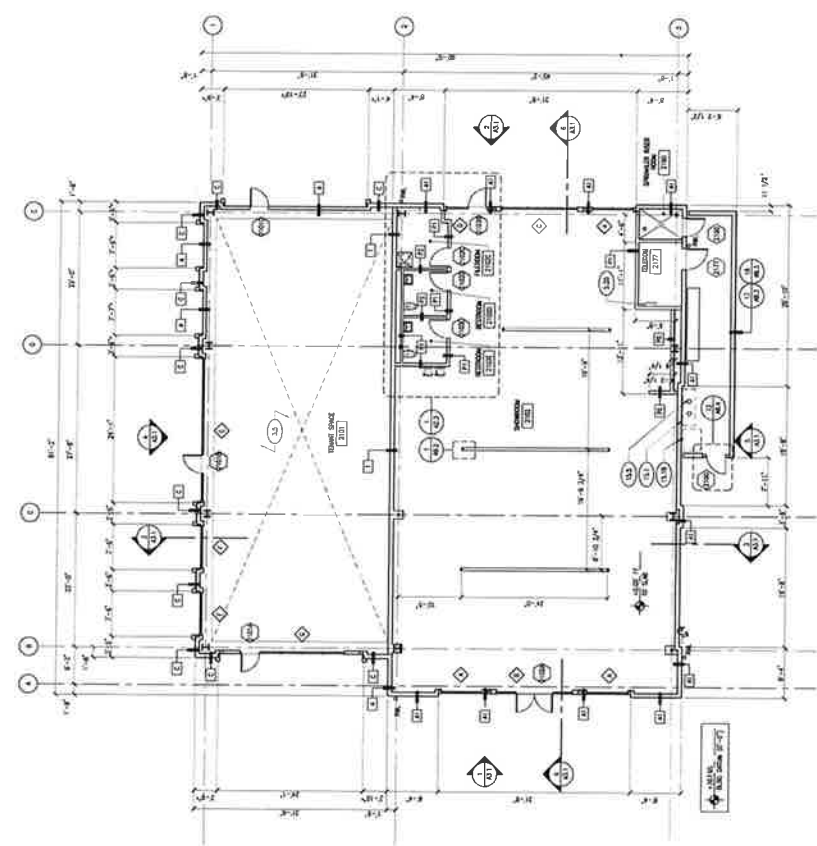
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All drawings and specifications are the property of the Architect. No part of these drawings or specifications may be reproduced, stored in a retrieval system, or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the prior written consent of the Architect.

REFERENCE KEYNOTE LEGEND

1. ARCHITECT SHALL PROVIDE THE SPECIFICATIONS FOR THE FINISHES AND MATERIALS TO BE USED IN THIS PROJECT.
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BUILDING 2100 FLOOR PLAN

Attachment 7
Site Photographs





PLANNING COMMISSION STAFF REPORT

PROJECT TITLE	Courts at Russell Ranch Residential Design Review
PROPOSAL	Request for Residential Design Review Approval for 114 single-family residential units located within Phase 1, Village 4 (Courts at Russell Ranch) of the Russell Ranch Subdivision
RECOMMENDED ACTION	Approve, based upon findings and subject to conditions
OWNER/APPLICANT	The New Home Company
LOCATION	The 13.5-acre project site is located at the southwest corner of the intersection of Grand Prairie Drive and Rustic Ridge Circle within the Russell Ranch Subdivision
SITE CHARACTERISTICS	The project site is currently in the process of being rough-graded, with grading work expected to be completed by late November
GENERAL PLAN DESIGNATION	MLD (Multi-Family Low Density)
ZONING DESIGNATION	FPASP (Folsom Plan Area Specific Plan) with an underlying zoning designation of MLD PD (Multi-Family Low Density, Planned Development District)
ADJACENT LAND USES/ZONING	North: Rustic Ridge Circle with Undeveloped Residential Property (SF PD) Beyond South: Rustic Ridge Circle with Undeveloped Residential Property (SFHD PD) Beyond East: Grand Prairie Road with Open Space (OS2) Beyond West: Open Space (OS2) with Undeveloped Residential Property Beyond

PREVIOUS ACTION

City Council approval of a General Plan Amendment, Specific Plan Amendment, Large-Lot Vesting Tentative Subdivision Map, Small-Lot Vesting Tentative Subdivision Map, Planned Development Permit, Design Guidelines, Inclusionary Housing Plan, and Amended and Restated Development Agreement Amendment for development of an 879-unit single-family residential subdivision (Russell Ranch Subdivision) on May 15, 2015

City Council approval of an Amended Large-Lot Vesting Tentative Subdivision Map and Small-Lot Vesting Tentative Subdivision Map for development of an 852-unit single-family residential subdivision (Russell Ranch Subdivision) on June 28, 2016

City Council approval of a General Plan Amendment, Specific Plan Amendment, Design Guidelines Amendment, Large-Lot Vesting Tentative Subdivision Map, Small-Lot Vesting Tentative Subdivision Map, and Development Agreement Amendment for the development of a 389 unit residential subdivision (Russell Ranch Lots 24-32 Subdivision) on March 27, 2018

FUTURE ACTION

Approval of a Final Map and Issuance of Building Permits

APPLICABLE CODES

FPASP (Folsom Plan Area Specific Plan)
Russell Ranch Design Guidelines

ENVIRONMENTAL REVIEW

An Environmental Impact Report has previously been certified for the Russell Ranch Subdivision project on May 15, 2015 by the City Council in accordance with the requirements of the California Environmental Quality Act (CEQA) Guidelines

ATTACHED REFERENCE MATERIAL

1. Vicinity Map
2. Russell Ranch Phase 1 Lot Mix Exhibit
3. Previously Approved Russell Ranch Subdivision Village 4 Site Plan
4. Previously Approved Russell Ranch Subdivision Village 4 Landscape Plan and Details
5. Color Street Scene, dated September 10, 2018
6. Building Elevations and Floor Plans, dated September 10, 2018
7. Color and Material Palette, dated March 7, 2018
8. Russell Ranch Design Guidelines

BACKGROUND

On May 15, 2018, the City Council approved a General Plan Amendment, Specific Plan Amendment, Large-Lot Vesting Tentative Subdivision Map, Small-Lot Vesting Tentative Subdivision Map, Planned Development Permit, Design Guidelines, Inclusionary Housing Plan, and Amended and Restated Development Agreement Amendment for development of an 879-unit single-family residential subdivision known as the Russell Ranch Subdivision within the eastern portion of the Folsom Plan Area. As part of the aforementioned approvals, the Russell Ranch Design Guidelines were established to act as an implementation tool for residential development within the Russell Ranch Subdivision.

On June 28, 2016, the City Council approved an Amended Large-Lot Vesting Tentative Subdivision Map and an Amended Small-Lot Vesting Tentative Subdivision Map for development of an 852-unit single-family residential subdivision (Russell Ranch Subdivision). On March 27, 2018, the City Council approval of a General Plan Amendment, Specific Plan Amendment, Design Guidelines Amendment, Large-Lot Vesting Tentative Subdivision Map, Small-Lot Vesting Tentative Subdivision Map, and Development Agreement Amendment for the development of an 389-unit residential subdivision (Russell Ranch Lots 24-32 Subdivision). The Design Guidelines Amendment provided additional direction in terms of the architecture and design of the active-adult community, the community center, and the townhome portions of the Russell Ranch Subdivision.

APPLICANT'S PROPOSAL

The applicant, The New Home Company, is requesting residential design review approval for 114 single-family "court-style" (Village 4 features a court-style design in which groups of six homes are located on private courts) residential units located within Phase 1, Village 4 (Courts at Russell Ranch) of the previously approved Russell Ranch Subdivision project. Specifically, the applicant is requesting design review approval for three (3) individual master plans within Village 4. The master plans include three (3) distinct California heritage-themed architectural styles (Bungalow, California Cottage, and Craftsman) and nine (9) color and material alternatives. The proposed master plans, which are all two-stories tall, range in size from 1,789 to 2,147 square feet (3BR/2.5BA to 4BR/2.75BA) and include an attached two-car garage. The three classic design themes are characterized by a variety of unique architectural elements including varied roof shapes and forms, covered entries, prominent window design, and enhanced decorative elements. Proposed building materials include stucco, vertical and horizontal board and batten siding, brick veneer, decorative wood outlookers and rafter tails, wood dormers, wood trim board, multi-paned windows, themed garage doors, decorative light fixtures, and composition shingle roofing. In addition, there are 9 distinct color and material alternatives available for each of the master plans resulting in 81 different visual expressions.

Architecture/Design

As described previously, the proposed project features three distinct architectural themes that have been chosen from the traditional heritage of California home styles including Bungalow, California Cottage, and Craftsman. The following is a description of each of the aforementioned architectural styles proposed for Village 4 within the Russell Ranch Subdivision:

Bungalow

The American version of the Bungalow style home did not appear until around the turn of the century. First built in southern California, where most landmark examples of the Bungalow style are found, it was the dominant style of home in the United States between 1905 and 1930. The Bungalow style, which is defined by its simplicity in form and design, is relatively easy to construct and can be adapted to almost any taste or geographic region. Stylistically, the Bungalow style is known for its simple roof forms, low-shed front porches, and exposed rafter tails. Other common design elements found in Bungalow style homes include natural building materials, low-pitched roof elements, roof overhangs, and casement windows.

Craftsman

Influenced by the English Arts and Crafts movement of the late 19th century and stylized by California architects Charles and Henry Greene in the early 1900's, the Craftsman style focused on exterior elements with tasteful and artful attention to detail. Originating in California, Craftsman architecture relied on the simple house tradition, combining hip and gable roof forms with wide, livable porches, and broad overhanging eaves. Extensive built-in elements define this style, treating details such as windows and porches as if they were furniture. The horizontal nature is emphasized by exposed rafter tails and knee braces below broad overhanging eaves constructed in rustic-textured building materials. The overall effect is the creation of a natural, warm, and livable home of artful and expressive character.

California Cottage

The California Cottage is a style that evolved out of medieval Tudor and Normandy architecture. This evolving character that eventually resulted in the English and French "Cottage" became extremely popular when the addition of stone and brick veneer details was developed in the 1920's. Although the cottage is looked upon as small and unpretentious, the style was quickly recognized as one of the most popular in America. Designs for the homes typically reflected the rural setting in which they evolved. Many established older neighborhoods across the United States contain homes with the charm and character of this unpretentious style. Roof pitches for these homes are steeper than traditional homes, and are comprised of gables, hips, and half-hip forms. The primary material is stucco with heavy use of stone and brick at bases, chimneys, and entry elements. Some of the most recognizable features for this style are the accent details in gable ends, sculptured swooping walls at the front elevation, and tower or alcove elements at the entry.

The proposed project, which is located within the eastern portion of the Folsom Plan Area, is subject to the Russell Ranch Design Guidelines, which were originally approved by the City Council in 2015 and modified on March 27, 2018. The Design Guidelines are a complementary document to the Folsom Plan Area Specific Plan and the Folsom Plan Area Specific Plan Community Guidelines. The Design Guidelines, which are intended to act as an implementation tool for residential development within the Russell Ranch Subdivision, provide the design framework for architecture, streetscene, and landscaping to convey a master plan identity. The Design Guidelines also establish the pattern and intensity of development for the Russell Ranch Subdivision to ensure a high quality and aesthetically cohesive environment. While these Design Guidelines establish the quality of architectural and landscape development for the overall subdivision, they are not intended to prevent alternative designs and/or concepts that are compatible with the overall project theme.

As a regulatory tool, the Design Guidelines are intended to assist applicants in creating single-family residential neighborhoods that reflect the City's rich history, reinforce the sense of community, and utilize sustainable best practices. The Design Guidelines also provide the framework for design review approval of residential projects within the Russell Ranch Subdivision. In addition, the Design Guidelines are intended to be used by builders and developers when designing their Master Plot Plans. Any development project that is submitted to the City must be reviewed for consistency with these Design Guidelines. The following are the general architectural principles intended to guide the design of the Russell Ranch Subdivision to ensure quality development:

- Master Home Plan series must include a minimum of three unique building elevations
- Provide an elegant and diverse streetscape
- Building massing must be appropriate and authentic to the architectural style
- Horizontal and vertical articulation is required
- Include varied roof shapes and forms
- Avoid repetition of identical architectural styles
- Ensure four-sided architecture is provided
- Highly visible lots require additional architectural enhancements

In addition to the general architectural principles referenced above, the Design Guidelines also provide specific direction regarding a number of architectural situations and features including: building forms, roof details, wall materials, window and door designs, and decorative details. Each of the architectural styles is required to include a specific set of style elements (form, roof, walls, windows/doors, and details) based on the particular design theme. Based on the highly visible nature of the residential lots within the Russell Ranch Subdivision, the Design Guidelines also require that corner lots and lots adjacent to open space provide additional enhanced elements above and beyond the minimum required style elements for the building elevations facing the street(s) and open space areas respectively. The following are examples of required and enhanced style elements that are relevant to the proposed project:

- Provide symmetrical or asymmetrical form
- Utilize simple massing, front or side gabled
- Include a deep front entry porch
- Provide low-pitched roofs with large over-hanging eaves
- Wall materials should include stucco, lap siding, wood shingles, and masonry/brick

- Use windows individually or in groups
- Provide head and sill window trim or full window surrounds
- Utilize two stories with combination of one and two-story elements (enhanced element)
- Include steep pitched accent gable (enhanced element)
- Provide smooth or imperfect smooth stucco (enhanced element)
- Utilize casement windows (enhanced element)
- Feature entry porch columns with single or multiple posts (enhanced element)
- Include exposed rafter tails or eaves (enhanced element)

In reviewing the architecture and design of the project, staff determined that the design of the three proposed master plans (which also include 3 elevation plans, 9 color and material alternatives, and 81 architectural and visual expressions) accurately reflect the level and type of high quality design features recommended by the Russell Ranch Design Guidelines. Specifically, the master plans are responsive to views on all four building elevations and include a variety of unique architectural elements that create an interesting streetscape scene including: off-set building massing, gable roof forms, architectural projections, recessed second-story elements, covered front porches, decorative enhancements, and varied garage door designs. In addition, each of the proposed master plans meet or exceed the minimum and enhanced style element requirements as articulated in the Design Guidelines.

The proposed building materials (stucco, vertical and horizontal board and batten siding, brick veneer, decorative wood rafter tails, wood dormers, wood trim board, multi-paned windows, themed garage doors, decorative light fixtures, and composition shingle roofing) are consistent with the materials recommended by the Russell Ranch Design Guidelines. In addition, the proposed project includes distinct color schemes, which are consistent with each of the architectural styles, thus enhancing the visual interest of each of the master plans. Taking into consideration the aforementioned architectural details, materials, and colors, staff has determined that the master plans are consistent with the design principles established by the Russell Ranch Design Guidelines. Staff forwards the following design recommendations to the Commission for consideration:

- A. This approval is for three, two-story master plans (3 building elevations with 9 color and material options and 81 visual expressions) for the Russell Ranch Village 4 Subdivision (Courts at Russell Ranch). The applicant shall submit building plans that comply with this approval, the attached building elevations dated September 10, 2018.
- B. The design, materials, and colors of the proposed Russell Ranch Village 4 Subdivision (Courts at Russell Ranch) single-family residential units shall be consistent with the submitted building elevations, materials samples, and color scheme to the satisfaction of the Community Development Department.

- C. The Community Development Department shall approve the individual lot permits to assure no duplication or repetition of the same house, same roof-line, same elevation style, side-by-side, or across the street from each other.
- D. All mechanical equipment shall be ground-mounted and concealed from view of public streets, neighboring properties and nearby higher buildings. For lots abutting the open space areas, mechanical equipment shall be located out of view from open space areas.
- E. Lighting shall be designed to be directed downward onto the project site and away from adjacent properties and public rights-of-way. In addition, final exterior building and site lighting plans shall be submitted for review and approval by Community Development Department for aesthetics, level of illumination, glare and trespass prior to the issuance of any building permits.

These recommendations listed above are included in the conditions of approval presented for consideration by the Planning Commission (Condition No. 11).

ENERGY CONSERVATION

To reduce impacts in terms of energy and water consumption, the proposed project is required to meet the 2017 Title 24 Building Envelope Energy Efficiency Standards. The project will be allowed to achieve this performance standard through a combination of measures to reduce energy use for heating, cooling, water heating and ventilation. Because energy use for each different system type (i.e., heating, cooling, water heating, and ventilation) as well as appliances is defined, this method will also easily allow for application of individual measures aimed at reducing the energy use of these devices in a prescriptive manner.

ENVIRONMENTAL REVIEW

An Environmental Impact Report has previously been certified for the Russell Ranch Subdivision project on May 15, 2015 by the City Council in accordance with the requirements of the California Environmental Quality Act (CEQA) Guidelines. Staff has determined that no new impacts will result from development of the subject project that was not already considered with the previous approval. No further environmental review is required.

RECOMMENDATION/PLANNING COMMISSION ACTION

MOVE TO APPROVE THE DESIGN REVIEW APPLICATION FOR 114 SINGLE-FAMILY RESIDENTIAL UNITS AS ILLUSTRATED ON ATTACHMENTS 2 THROUGH 7 FOR THE RUSSELL RANCH PHASE 1, VILLAGE 4 SUBDIVISION (COURTS AT RUSSELL RANCH) PROJECT WITH THE FOLLOWING FINDINGS AND CONDITIONS (NO. 1-13).

GENERAL FINDINGS

- A. NOTICE OF HEARING HAS BEEN GIVEN AT THE TIME AND IN THE MANNER REQUIRED BY STATE LAW AND CITY CODE.
- B. THE PROJECT IS CONSISTENT WITH THE GENERAL PLAN, THE FOLSOM PLAN AREA SPECIFIC PLAN, AND THE RUSSELL RANCH SUBDIVISION DESIGN GUIDELINES.

CEQA FINDING

- C. AN ENVIRONMENTAL IMPACT REPORT HAS PREVIOUSLY BEEN CERTIFIED FOR THE RUSSELL RANCH SUBDIVISION PROJECT ON MAY 15, 2015 BY THE CITY COUNCIL IN ACCORDANCE WITH THE REQUIREMENTS OF THE CALIFORNIA ENVIRONMENTAL QUALITY ACT (CEQA).
- D. NO NEW IMPACTS WILL RESULT FROM DEVELOPMENT OF THE SUBJECT PROJECT THAT WERE NOT ALREADY CONSIDERED WITH THE PREVIOUS APPROVAL.
- E. NO FURTHER ENVIRONMENTAL REVIEW IS REQUIRED.

DESIGN REVIEW FINDING

- F. THE PROJECT IS IN COMPLIANCE WITH THE GENERAL PLAN, THE FOLSOM PLAN AREA SPECIFIC PLAN, AND THE APPLICABLE ZONING ORDINANCES.
- G. THE PROJECT IS IN CONFORMANCE WITH THE RUSSELL RANCH DESIGN GUIDELINES.
- H. THE BUILDING MATERIALS, TEXTURES, AND COLORS OF THE PROJECT WILL BE COMPATIBLE WITH SURROUNDING DEVELOPMENT AND CONSISTENT WITH THE GENERAL DESIGN THEME OF THE NEIGHBORHOOD.

Submitted,

PAM JOHNS
Community Development Director

CONDITIONS

See attached tables of conditions for which the following legend applies.

RESPONSIBLE DEPARTMENT		WHEN REQUIRED	
CD	Community Development	I	Prior to approval of Improvement Plans
(P)	Planning Division	M	Prior to approval of Final Map
(E)	Engineering Division	B	Prior to issuance of first Building Permit
(B)	Building Division	O	Prior to approval of Occupancy Permit
(F)	Fire Division	G	Prior to issuance of Grading Permit
PW	Public Works Department	DC	During construction
PR	Park and Recreation Department	OG	On-going requirement
PD	Police Department		

**CONDITIONS OF APPROVAL FOR THE RUSSELL RANCH VILLAGE 4 SUBDIVISION PROJECT (PN 17-322)
SOUTHWEST CORNER OF THE INTERSECTION OF GRAND PRAIRIE DRIVE AND RUSTIC RIDGE CIRCLE
RESIDENTIAL DESIGN REVIEW**

Mitigation Measure	Condition/Mitigation Measure	When Required	Responsible Department
1.	<p>The applicant shall submit final site development plans to the Community Development Department that shall substantially conform to the exhibits referenced below:</p> <ul style="list-style-type: none"> • Previously Approved Russell Ranch Subdivision Village 4 Site Plan • Previously Approved Russell Ranch Subdivision Village 4 Landscape Plan • Color Street Scene, dated September 10, 2018 • Building Elevations and Floor Plans, dated September 10, 2018 • Color and Material Palette, dated March 7, 2018 <p>This project approval is for Russell Ranch Village 4 Subdivision (Courts at Russell Ranch) Residential Design Review, which includes architectural and design details for 114 single-family residential units situated within Village 4 of the Russell Ranch Subdivision project. Implementation of the project shall be consistent with the above-referenced items as modified by these conditions of approval.</p>	B	CD (P)(E)
2.	<p>Building plans shall be submitted to the Community Development Department for review and approval to ensure conformance with this approval and with relevant codes, policies, standards and other requirements of the City of Folsom.</p>	B	CD (P)(E)(B)
3.	<p>The project approvals granted under this staff report (Residential Design Review) shall remain in effect for two years from final date of approval (October 17, 2020). Failure to obtain the relevant building (or other) permits within this time period, without the subsequent extension of this approval, shall result in the termination of this approval.</p>	B	CD (P)

**CONDITIONS OF APPROVAL FOR THE RUSSELL RANCH VILLAGE 4 SUBDIVISION PROJECT (PN 17-322)
SOUTHWEST CORNER OF THE INTERSECTION OF GRAND PRAIRIE DRIVE AND RUSTIC RIDGE CIRCLE
RESIDENTIAL DESIGN REVIEW**

Mitigation Measure	Condition/Mitigation Measure	When Required	Responsible Department
4.	<p>The owner/applicant shall defend, indemnify, and hold harmless the City and its agents, officers and employees from any claim, action or proceeding against the City or its agents, officers or employees to attack, set aside, void, or annul any approval by the City or any of its agencies, departments, commissions, agents, officers, employees, or legislative body concerning the project. The City will promptly notify the owner/applicant of any such claim, action or proceeding, and will cooperate fully in the defense. The City may, within its unlimited discretion, participate in the defense of any such claim, action or proceeding if both of the following occur:</p> <ul style="list-style-type: none"> • The City bears its own attorney's fees and costs; and • The City defends the claim, action or proceeding in good faith <p>The owner/applicant shall not be required to pay or perform any settlement of such claim, action or proceeding unless the settlement is approved by the owner/applicant.</p>	OG	CD (P)(E)(B) PW, PR, FD, PD, NS
DEVELOPMENT COSTS AND FEE REQUIREMENTS			
5.	The owner/applicant shall pay all applicable taxes, fees and charges at the rate and amount in effect at the time such taxes, fees and charges become due and payable.	B	CD (P)(E)
6.	If applicable, the owner/applicant shall pay off any existing assessments against the property, or file necessary segregation request and pay applicable fees.	B	CD (E)
7.	The City, at its sole discretion, may utilize the services of outside legal counsel to assist in the implementation of this project, including, but not limited to, drafting, reviewing and/or revising agreements and/or other documentation for the project. If the City utilizes the services of such outside legal counsel, the applicant shall reimburse the City for all outside legal fees and costs incurred by the City for such services. The applicant may be required, at the sole discretion of the City Attorney, to submit a deposit to the City for these services prior to initiation of the services. The applicant shall be responsible for reimbursement to the City for the services regardless of whether a deposit is required.	B	CD (P)(E)

**CONDITIONS OF APPROVAL FOR THE RUSSELL RANCH VILLAGE 4 SUBDIVISION PROJECT (PN 17-322)
SOUTHWEST CORNER OF THE INTERSECTION OF GRAND PRAIRIE DRIVE AND RUSTIC RIDGE CIRCLE
RESIDENTIAL DESIGN REVIEW**

	Mitigation Measure	Condition/Mitigation Measure	When Required	Responsible Department
8.		<p>If the City utilizes the services of consultants to prepare special studies or provide specialized design review or inspection services for the project, the applicant shall reimburse the City for actual costs it incurs in utilizing these services, including administrative costs for City personnel. A deposit for these services shall be provided prior to initiating review of the Final Map, improvement plans, or beginning inspection, whichever is applicable.</p>	B	CD (P)(E)
9.		<p>This project shall be subject to all City-wide development impact fees, unless exempt by previous agreement. This project shall be subject to all City-wide development impact fees in effect at such time that a building permit is issued. These fees may include, but are not limited to, fees for fire protection, park facilities, park equipment, Humbug-Willow Creek Parkway, Light Rail, TSM, capital facilities and traffic impacts. The 90-day protest period for all fees, dedications, reservations or other exactions imposed on this project will begin on the date of final approval (October 17, 2018). The fees shall be calculated at the fee rate in effect at the time of building permit issuance.</p>	B	CD (P)(E), PW, PK
10.		<p>The owner/applicant agrees to pay to the Folsom-Cordova Unified School District the maximum fee authorized by law for the construction and/or reconstruction of school facilities. The applicable fee shall be the fee established by the School District that is in effect at the time of the issuance of a building permit. Specifically, the owner/applicant agrees to pay any and all fees and charges and comply with any and all dedications or other requirements authorized under Section 17620 of the Education Code; Chapter 4.7 (commencing with Section 65970) of the Government Code; and Sections 65995, 65995.5 and 65995.7 of the Government Code.</p>	B	CD (P)

ARCHITECTURE/SITE DESIGN REQUIREMENTS

11.	<p>The project shall comply with the following architecture and design requirements:</p> <ol style="list-style-type: none">1. This approval is for three, two-story master plans (three building elevations with Nine color and material options and 81 visual expressions) for the Russell Ranch Village 4 Subdivision (Courts at Russell Ranch). The applicant shall submit building plans that comply with this approval, the attached building elevations dated September 10, 2018.2. The design, materials, and colors of the proposed Russell Ranch Village 4 Subdivision (Courts at Russell Ranch) single-family residential units shall be consistent with the submitted building elevations, materials samples, and color scheme to the satisfaction of the Community Development Department.3. The Community Development Department shall approve the individual lot permits to assure no duplication or repetition of the same house, same roof-line, same elevation style, side-by-side, or across the street from each other.4. All mechanical equipment shall be ground-mounted and concealed from view of public streets, neighboring properties and nearby higher buildings. For lots abutting the open space areas, mechanical equipment shall be located out of view from open space areas.5. Lighting shall be designed to be directed downward onto the project site and away from adjacent properties and public rights-of-way. In addition, final exterior building and site lighting plans shall be submitted for review and approval by Community Development Department for aesthetics, level of illumination, glare and trespass prior to the issuance of any building permits.	B CD (P) (B)
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FIRE DEPARTMENT REQUIREMENT

12.	The building shall have illuminated addresses visible from the street or drive fronting the property. Size and location of address identification shall be reviewed and improved by the Fire Marshal.	B	FD
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POLICE/SECURITY REQUIREMENT

13.	<p>The owner/applicant shall consult with the Police Department in order to incorporate all reasonable crime prevention measures. The following security/safety measures shall be required:</p> <ul style="list-style-type: none"> • A security guard shall be on-duty at all times at the site or another approved security measure shall be in place including but not limited to a six-foot security fence shall be constructed around the perimeter of construction areas. (This requirement shall be included on the approved construction drawings). • Security measures for the safety of all construction equipment and unit appliances shall be employed. • Landscaping shall not cover exterior doors or windows, block line-of-sight at intersections or screen overhead lighting. 	B	PD
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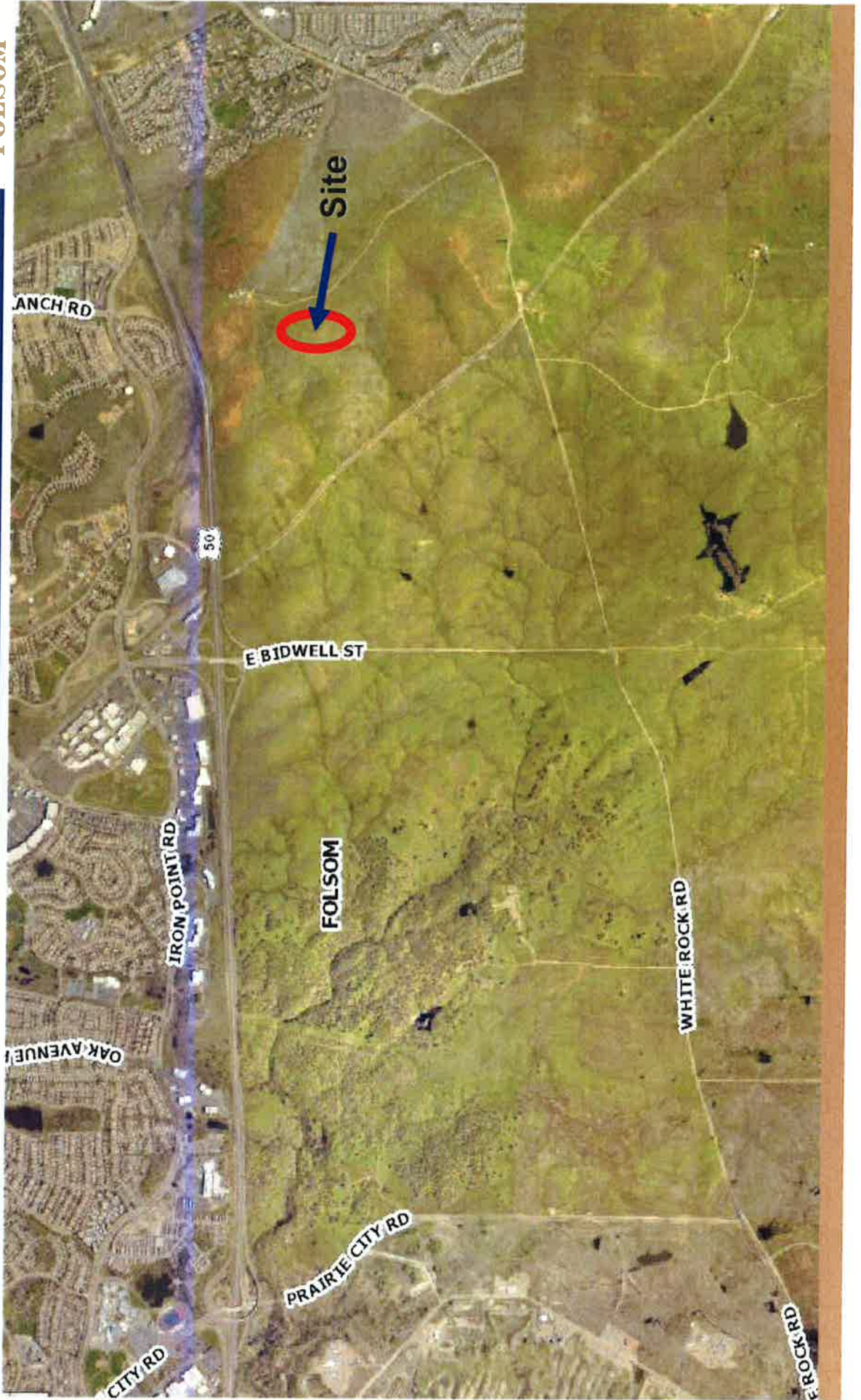
Attachment 1

Vicinity Map

Vicinity Map

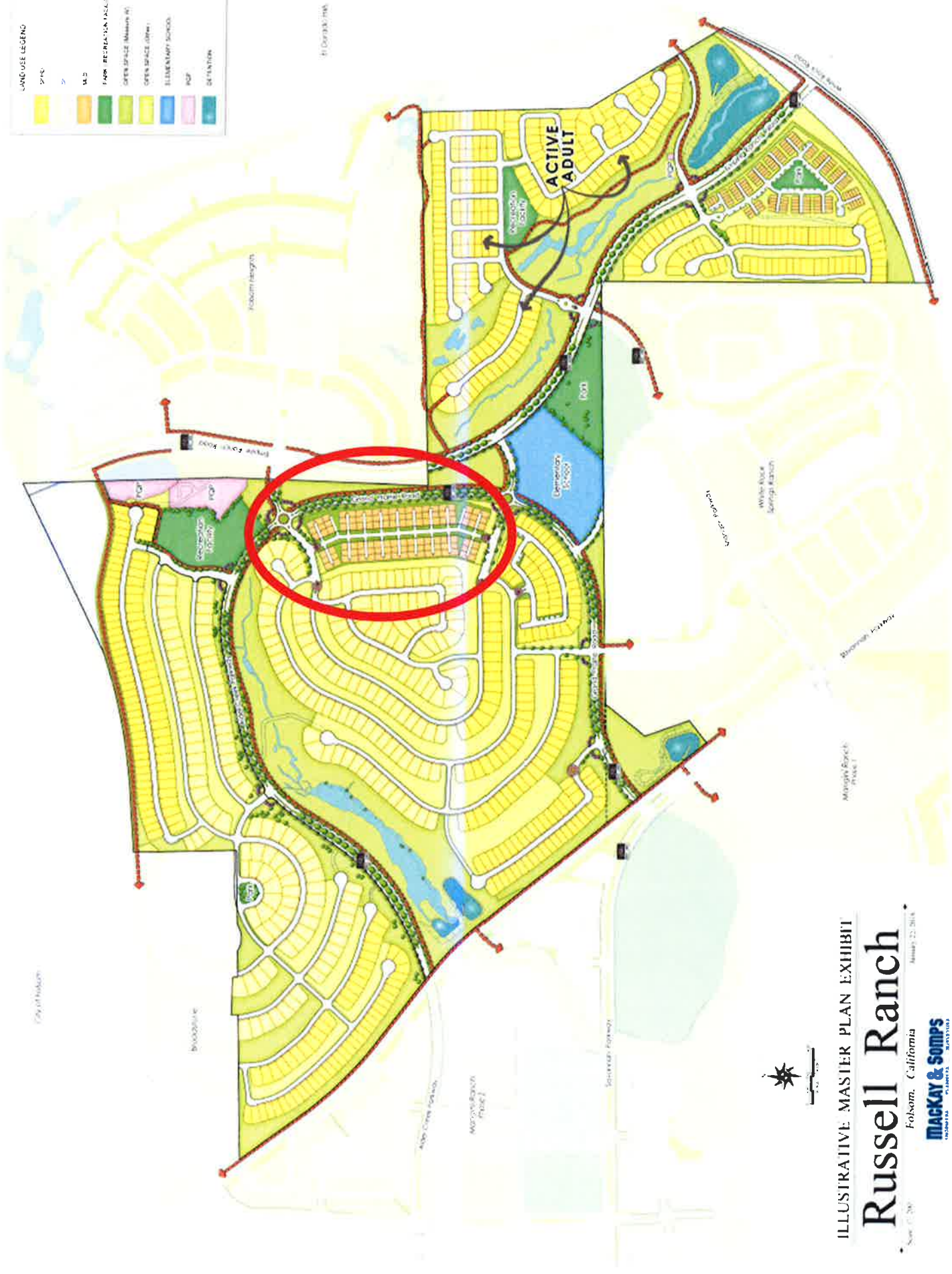


CITY OF
FOLSOM



LAND USE LEGEND

[Yellow]	SPC
[Light Green]	S
[Orange]	M-2
[Dark Green]	PARK RECREATION FACILITY
[Light Blue]	OPEN SPACE (MEDIUM)
[Light Green]	OPEN SPACE (LOW)
[Light Blue]	OPEN SPACE (HIGH)
[Light Blue]	ELEMENTARY SCHOOL
[Pink]	POP
[Light Blue]	DEFINITION



ILLUSTRATIVE MASTER PLAN EXHIBIT

Russell Ranch

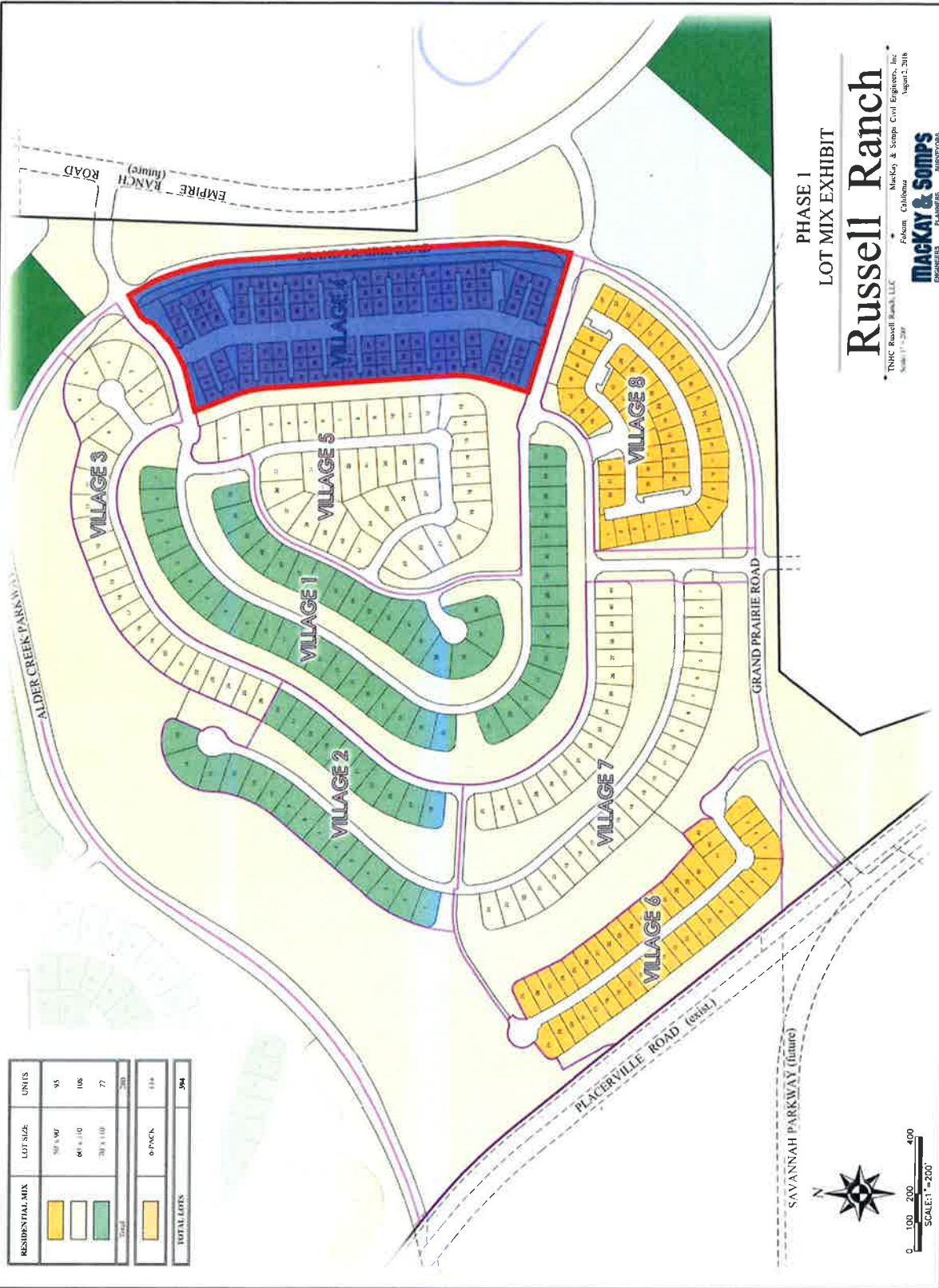
Folsom, California January 22, 2018



Scale: 1" = 50'

Attachment 2

Russell Ranch Phase 1 Lot Mix Exhibit



RESIDENTIAL MIX	LOT SIZE	UNITS
	50' x 90'	95
	64' x 110'	108
	70' x 110'	72
Total		275
	0-PACN.	114
TOTAL LOTS		389

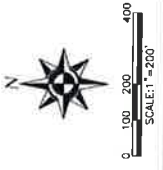
PHASE 1
 LOT MIX EXHIBIT

Russell Ranch

THRC Russell Ranch, LLC
 Scale: 1" = 200'

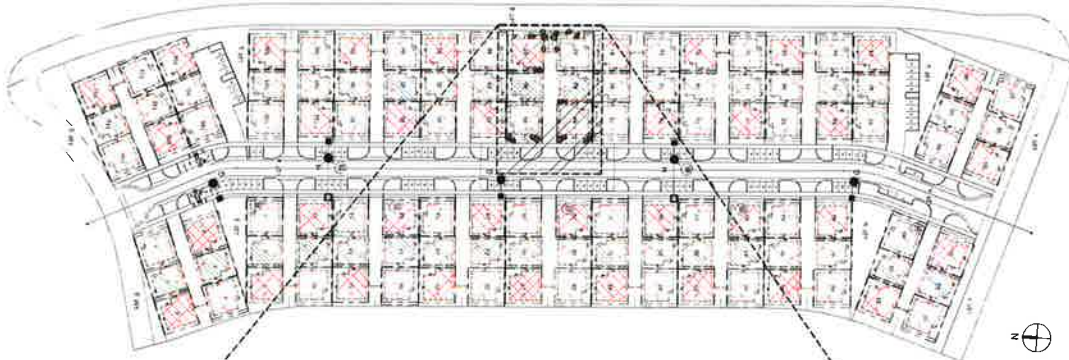
Mackay & Somp's Civil Engineers, Inc.
 Auburn, California
 August 2, 2018

Mackay & Somp's
 ENGINEERS ARCHITECTS



Attachment 3

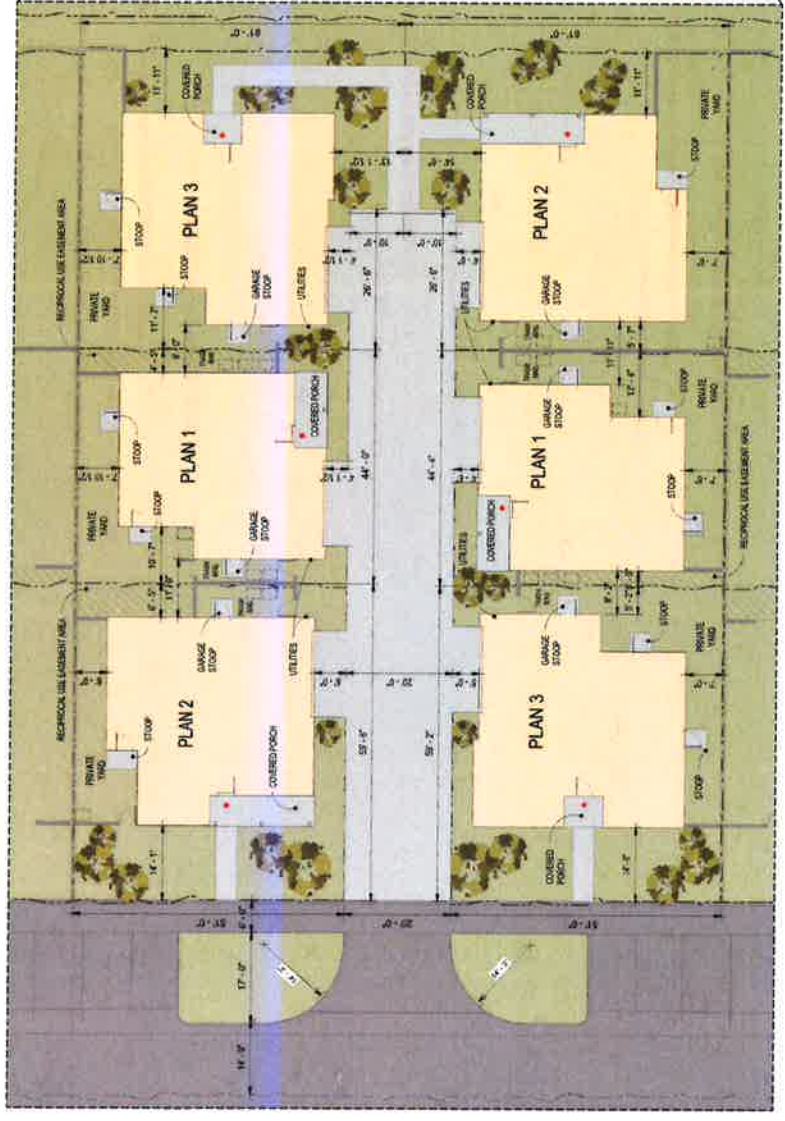
Previously Approved Russell Ranch Village 4 Site Plan



LEGEND



PLAN 1: 38
 PLAN 2: 38
 PLAN 3: 38
 TOTAL: 114 LOTS



SITE PLAN

THE COURTS AT RUSSELL RANCH

FOLSOM, CA



J Z M K

P A R T N E R S
 JOB # 1706 2016-03-10

A-01

Attachment 4

**Previously Approved Russell Ranch Subdivision
Village 4 Landscape Plan and Details**

REPRESENTATIVE PLANT SELECTIONS

Shade Trees



Ulex, Acacia
Tilia cordata, Gorse tree

Accent Trees



Cercis canadensis, Quercus
Cornus

Alley Identification Trees



Albicorymbium, Nandina
Ligustrum

PLANT SELECTION NOTE
NOT ALL PLANTS SHOWN ARE AVAILABLE IN ALL AREAS. ADDITIONAL PLANTS SHOWN TO THESE SHOWN MAY BE USED. PLANT SELECTIONS ARE BASED ON CURRENT MARKET AVAILABILITY AND INTENT TO BE USED IN THE COURSE OF THE PROJECT. PLANT SELECTIONS AND INTENT SHALL CONFORM TO THE CITY OF FOLSOM SPECIFICATIONS AND REQUIREMENTS WITHIN THE RUSSELL RANCH DESIGN GUIDELINES.

IRRIGATION DESIGN STATEMENT
IRRIGATION SYSTEM SHALL CONFORM TO THE LOCAL ADAPTED WATERS USE ORDINANCE. IRRIGATION SYSTEM SHALL BE SEPARATE FROM THE SANITARY SYSTEM. IRRIGATION SYSTEM SHALL BE DESIGNED TO PROVIDE SUFFICIENT WATER TO ALL PLANTS AND SHALL BE CONTROLLED BY AN AUTOMATIC IRRIGATION SYSTEM. IRRIGATION SYSTEM SHALL BE DESIGNED TO PROVIDE SUFFICIENT WATER TO ALL PLANTS AND SHALL BE CONTROLLED BY AN AUTOMATIC IRRIGATION SYSTEM. IRRIGATION SYSTEM SHALL BE DESIGNED TO PROVIDE SUFFICIENT WATER TO ALL PLANTS AND SHALL BE CONTROLLED BY AN AUTOMATIC IRRIGATION SYSTEM.

Mid-Ground Shrubs



Eriogonum, Ligustrum, Ceanothus



Picea, Juniper, Yucca



Phlox, Dianthus, Geranium



Spiraea, Buddleja, Nandina



Nandina

Vertical Screening Shrubs



Ligustrum



Agave americana



Yucca



Argemone



Rosa



Rhamnus



Thuja

Accent Plants



Agapanthus



Dianthus



Phlox



Yucca

Ornamental Grasses



Carex



Pennisetum



Festuca



Carex

Vertical Accent



Cupressus sempervirens

Native and Adapted Planting (may be used in additional common areas not shown on L1.1)



Agave americana



Agave americana



Agave americana



Agave americana



Agave americana



Agave americana



Agave americana



Agave americana



September, 2018
Folsom, California
The New Home Company

The Courts at Russell Ranch

Preliminary Landscape Materials

Attachment 5

Color Street Scene, dated September 10, 2018

THE COURTS AT RUSSELL RANCH

ENTITLEMENT SET

A08	COVER SHEET
A09	SITE PLAN
A10	PRELIMINARY LANDSCAPE PLAN
A11	GATED ENTRIES
A12	DEFINITION OF ARCHITECTURAL STYLES-CRAFTSMAN
A13	DEFINITION OF ARCHITECTURAL STYLES-BUNGALOW
A14	DEFINITION OF ARCHITECTURAL STYLES-COTTAGE
A15	DEFINITION OF ARCHITECTURAL STYLES-PERPECTIVE
A16	PLAN 1 CALIFORNIA COTTAGE - ELEVATIONS
A17	PLAN 1 TRANSITIONAL BUNGALOW - ELEVATIONS
A18	PLAN 1 CALIFORNIA COTTAGE - SCHEME 1 - PERSPECTIVE
A19	PLAN 1 TRANSITIONAL BUNGALOW - SCHEME 1 - PERSPECTIVE
A20	PLAN 1 CALIFORNIA COTTAGE - SCHEME 1 - PERSPECTIVE
A21	PLAN 1 CALIFORNIA COTTAGE - ELEVATIONS
A22	PLAN 1 FLOOR PLANS
A23	PLAN 1 ROOF PLAN
A24	PLAN 1 COLOR BOARD
A25	PLAN 2 CALIFORNIA COTTAGE - ELEVATIONS
A26	PLAN 2 TRANSITIONAL BUNGALOW - SCHEME 2 - PERSPECTIVE
A27	PLAN 2 TRANSITIONAL BUNGALOW - SCHEME 2 - PERSPECTIVE
A28	PLAN 2 CALIFORNIA COTTAGE - SCHEME 2 - PERSPECTIVE
A29	PLAN 2 CALIFORNIA COTTAGE - ELEVATIONS
A30	PLAN 2 FLOOR PLANS
A31	PLAN 2 ROOF PLAN
A32	PLAN 2 COLOR BOARD
A33	PLAN 3 CALIFORNIA COTTAGE - ELEVATIONS
A34	PLAN 3 TRANSITIONAL BUNGALOW - SCHEME 3 - PERSPECTIVE
A35	PLAN 3 TRANSITIONAL BUNGALOW - SCHEME 3 - PERSPECTIVE
A36	PLAN 3 CALIFORNIA COTTAGE - SCHEME 3 - PERSPECTIVE
A37	PLAN 3 CALIFORNIA COTTAGE - ELEVATIONS
A38	PLAN 3 FLOOR PLANS
A39	PLAN 3 ROOF PLAN
A40	PLAN 3 COLOR BOARD
A41	MATERIALS & COLOR BOARD

PROPOSED GENERAL STATISTICS

HOME COUNT:	14 TOTAL UNITS (8 SINGLE FAMILY DETACHED)
PROJECT SIZE:	APPROXIMATELY 65,140 S.F.
PROPOSED DENSITY:	APPROXIMATELY 7.55 UNITS/ACRE
CONCEPTUAL UTILITIES:	
SD PLAN 1:	3 BR, 3.5 BA, 1788 S.F.
SD PLAN 2:	4 BR, 3.5 BA, 2110 S.F.
SD PLAN 3:	4 BR, 2.75 BA, 2110 S.F.
SD PLAN AVERAGE:	1,870 S.F. AVERAGE
BUILDING HEIGHT:	APPROXIMATELY 28'-0"
CONSTRUCTION TYPE:	TYPE IV, 2-STORY DETACHED SINGLE FAMILY HOMES
OFF-STREET PARKING:	2-CAR ATTACHED/DIRECT ACCESS DRIVE BY SIDE GARAGES FOR ALL HOMES
ON-STREET PARKING:	18 PARKING SPACES (566 GUEST SPACES HOME)

JOB # 17048
REVISED 09/10/2018



PLAN 1 - TRANSITIONAL BUNGALOW
COLOR SCHEME 1

PLAN 2 - CALIFORNIA CRAFTSMAN
COLOR SCHEME 2

PERSPECTIVE VIEW



SITE CONTEXT/ VICINITY MAP
LOCATION: FOLSOM, CA

J Z M K
P A R T N E R S

ARCHITECT:

JZMK PARTNERS
CONTACT: ERIC ZUZIAK
3080 BRISTOL STREET,
SUITE 650
COSTA MESA, CA 92626

TEL: 714.426.6960
FAX: 714.426.8901

THE NEW HOME COMPANY

APPLICANT:

THE NEW HOME COMPANY
CONTACT: BONNIE CHIU
2220 DOUGLAS BOULEVARD, SUITE 240
ROSEVILLE, CALIFORNIA 95661

TEL: 916.771.2223
FAX: 916.771.4199

Attachment 6

Building Elevations and Floor Plans,
Dated September 10, 2018

Definition of Architectural Styles

Elevation style | Craftsman



Narrative:

The Craftsman style originated in the early 1900's, inspired by Charles and Henry Greene, who practiced together in Pasadena.

The style is defined by simple low-pitched roof forms with wide, unenclosed roof forms. Structural components are often visible, especially around the corners of the home and the gables, which often feature trim.

Elements of Design:

- Decorative, Exposed Roof Beams under Gable
- Low pitched gable roofs with unenclosed roof overhangs
- Multiple Roof Planes
- Porches with roof supported by short, square columns
- Mixed Materials throughout structure
- Symmetrical look

ARCHITECTURAL STYLE

THE COURTS AT RUSSELL RANCH

FOLSOM, CA



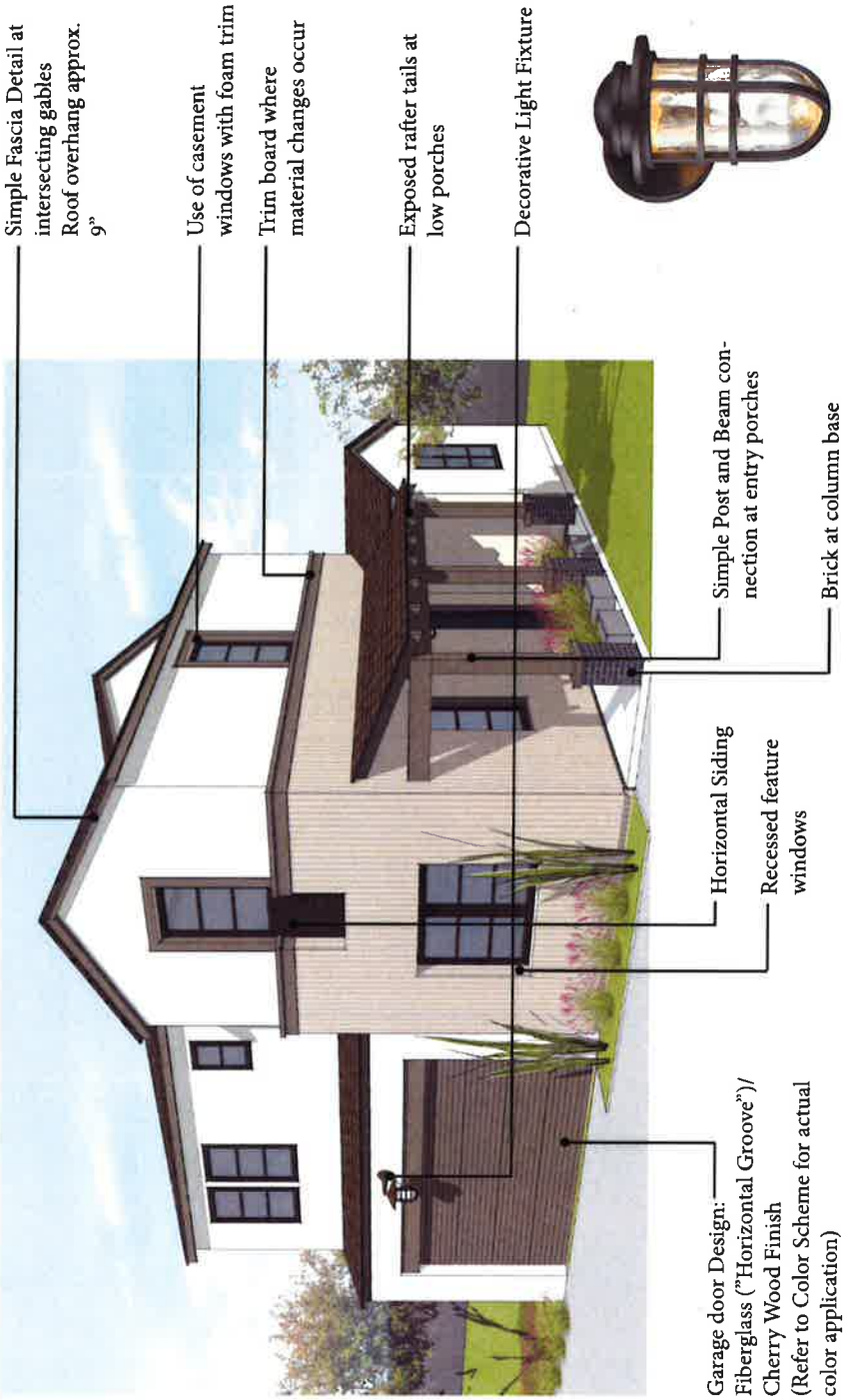
J Z M K

PARTNERS
JZM 1/15/08 2018-2019

A-1.1

Definition of Architectural Styles

Elevation style | Bungalow



Narrative:

The Bungalow style is defined by its simplicity in Form and Design. Easy to build, Bungalow homes can be adapted to almost any taste or region.

Stylistically, the Bungalow is defined by simple roof forms, low-shed front porches with exposed rafter tails.

Elements of Design:

- Simple Design
- Use of Natural Materials
- Use of Front porches
- Low pitched roof with moderate eave overhangs
- Use of Casement windows



ARCHITECTURAL STYLE

THE COURTS AT RUSSELL RANCH

FOLSOM, CA

Definition of Architectural Styles

Elevation style | Cottage



Narrative:

The Cottage elevation style is typically a small house with the connotation of being an old-fashioned, rurally found building. Steeply pitched roof lines featuring low-profile asphalt shingles and are broken by the occasionally used Dormer.

In modern usage, it can be best described as a small home with great curb appeal that feature arched entryways and an exterior color palette that pulls from nature.

Elements of Design:

- Main body: Stucco
- Use of Dormers
- Steeply pitched roofs
- Roofing material: Asphalt Shingles
- Low-pitched dormers
- Colorful Window frames
- Shutters used as accent material



ARCHITECTURAL STYLE

THE COURTS AT RUSSELL RANCH

FOLSOM, CA



PLAN 1 CALIFORNIA CRAFTSMAN-SCHEME 1 - PERSPECTIVE
THE COURTS AT RUSSELL RANCH

FOLSOM, CA



NOTE: REFER TO ACTUAL COLOR
AND MATERIAL SAMPLES FOR
ACTUAL COLOR SCHEMES

J Z M K

P A R T N E R S
JOB # 17046

2011-05-19
A-2.1



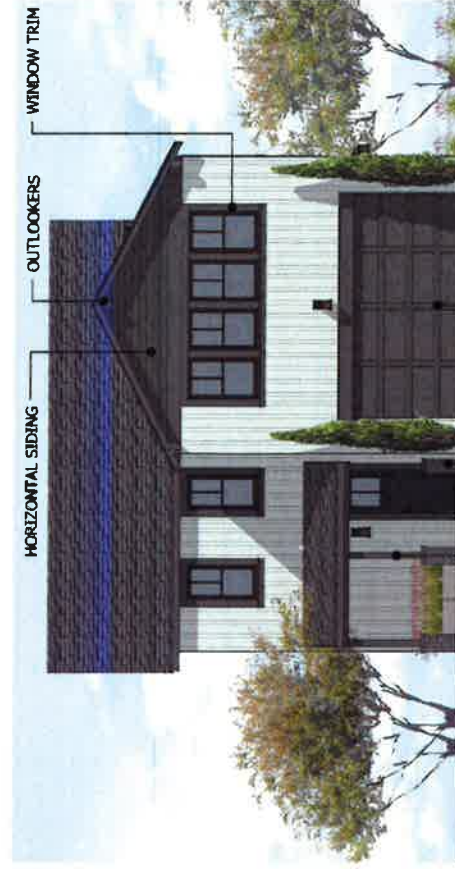
RIGHT ELEVATION



REAR ELEVATION



LEFT ELEVATION



FRONT ELEVATION

CALIFORNIA CRAFTSMAN
 PLAN 1 ELEVATIONS - SCHEME 1



THE COURTS AT RUSSELL RANCH

J Z M K

P A R T N E R S
 4241 DASH
 2018.09.19

FOLSOM, CA



NOTE: REFER TO ACTUAL COLOR AND MATERIAL SAMPLES FOR ACTUAL COLOR SCHEMES

PLAN 1 TRANSITIONAL BUNGALOW-SCHEME 1- PERSPECTIVE

THE COURTS AT RUSSELL RANCH

FOLSOM, CA

J Z M K

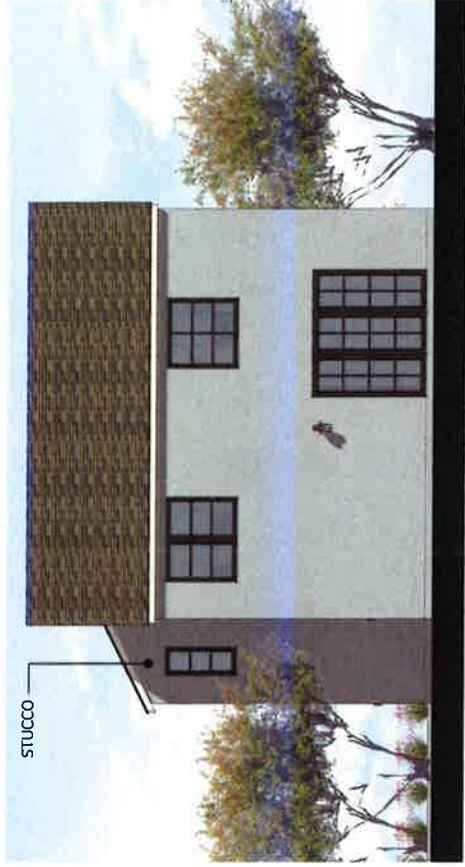
P A R T N E R S
JOB # 1704 2019-20 19

A-2.3





RIGHT ELEVATION



REAR ELEVATION



LEFT ELEVATION

DASHED LINE INDICATES
FENCED/INACTIVE AREA



FRONT ELEVATION

STONE AT BASE
OF POST

ASPHALT SHINGLES

VERTICAL SIDING

WOOD TRIM

GARAGE DOOR DESIGN UNIQUE TO
IT'S STYLE

NOTE: REFER TO ACTUAL COLOR AND
MATERIAL SAMPLES FOR ACTUAL
COLOR SCHEMES

TRANSITIONAL BUNGALOW
PLAN 1 ELEVATIONS-SCHEME 1

THE COURTS AT RUSSELL RANCH

FOLSOM, CA



J Z M K

ARCHITECTS
2018.09.13



NOTE: REFER TO ACTUAL COLOR
AND MATERIAL SAMPLES FOR
ACTUAL COLOR SCHEMES

PLAN 1 CALIFORNIA COTTAGE-SCHEME 1- PERSPECTIVE
THE COURTS AT RUSSELL RANCH

FOLSOM, CA

J Z M K

P A R T N E R S
JOS & TINA

2018-2019
A-2.5

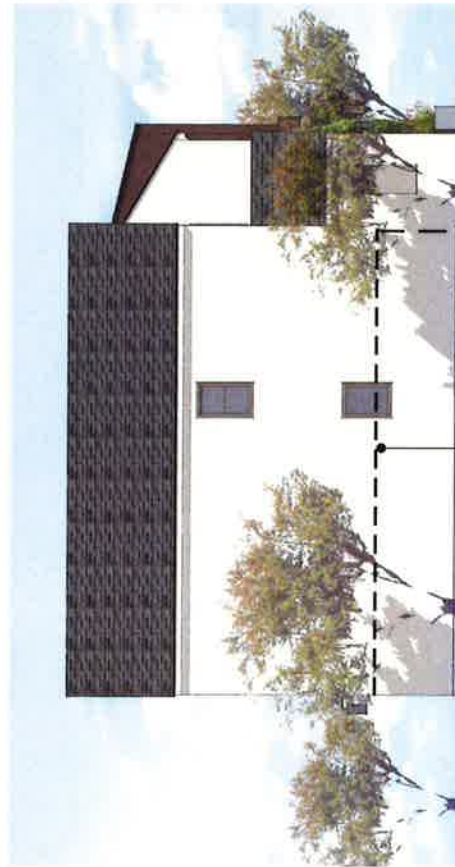




RIGHT ELEVATION

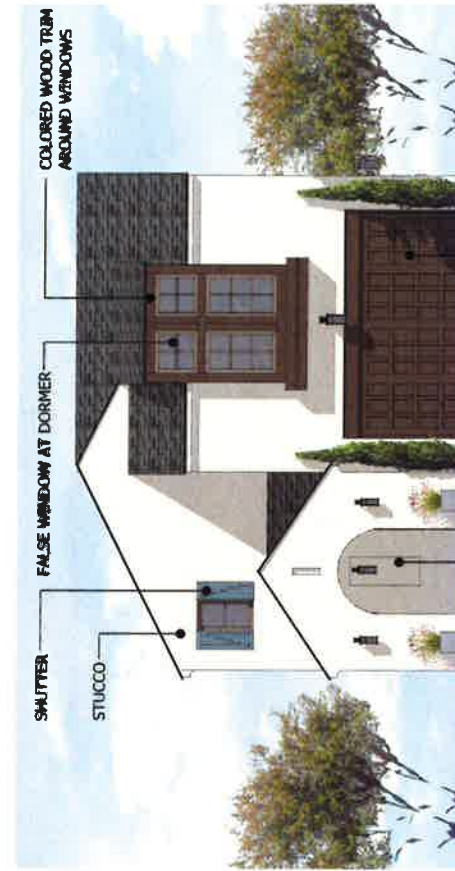


REAR ELEVATION



LEFT ELEVATION

DASHED LINE INDICATES
FENCED/INACTIVE AREA



FRONT ELEVATION

NOTE: REFER TO ACTUAL COLOR AND MATERIAL SAMPLES FOR ACTUAL COLOR SCHEMES

CALIFORNIA COTTAGE
PLAN 1 ELEVATIONS-SCHEME 1
THE COURTS AT RUSSELL RANCH



FOLSOM, CA

J Z M K
P A R T N E R S
ARCHITECTS
2018.04.12



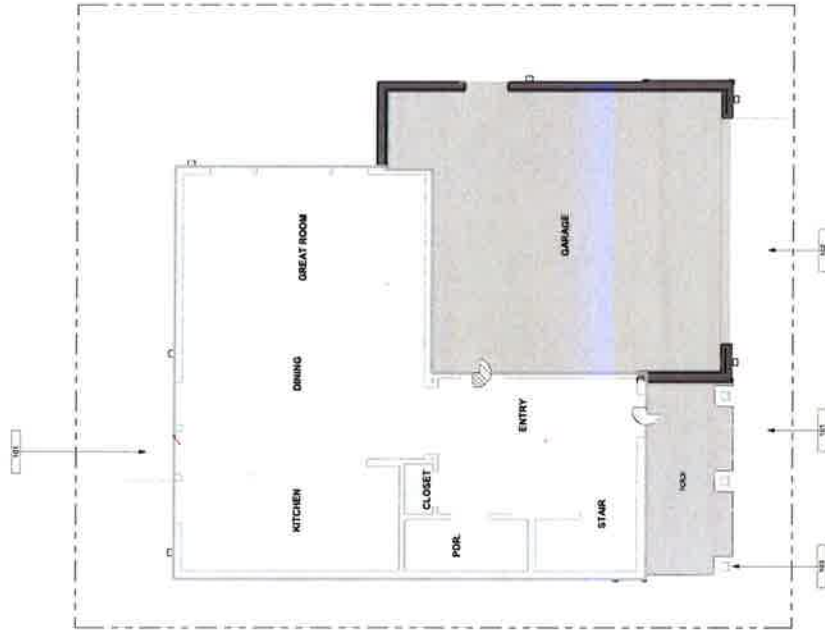
PLAN 1 FLOOR PLANS
 3 BR, 2.5 BA, APPROX 1,789 SF

THE COURTS AT RUSSELL RANCH

FOLSOM, CA



J Z M K
 PARTNERS
 JOB # 1786 2016.09.10
A-2.7



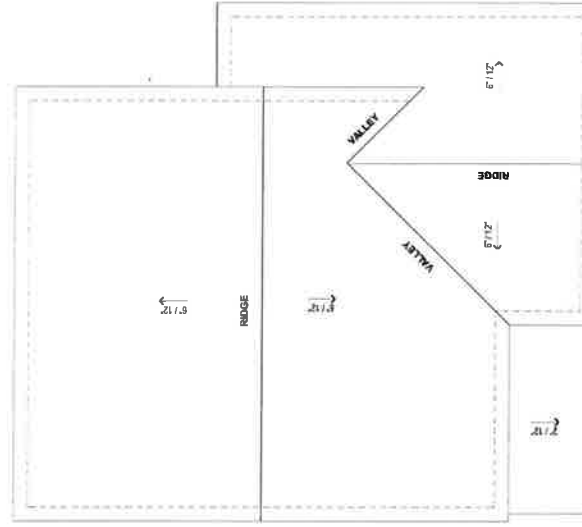
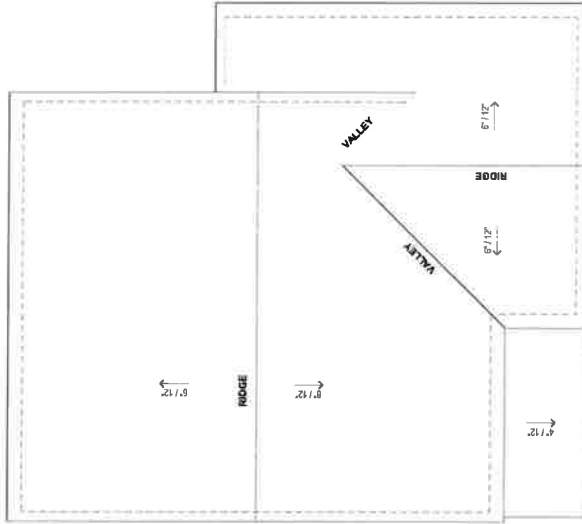
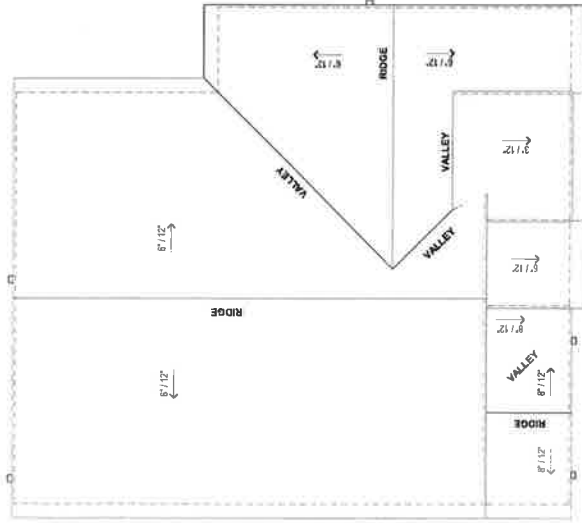
- EXTERIOR FINISH LOGGING
- 1/4" 4" x 4" STOOD LANDING
- 1/2" CONCRETE ANCHOR AT GARAGE
- 1/8" COLUMN BASE WITH WOOD FINISH
- SLAB LOGGING
- CONCRETE SLAB ON POST/POVIL
- CURB



J Z M K
 PARTNERS
 JOB #1704 2011-08-10
 A-2.8

PLAN 1 SLAB PLAN
 THE COURTS AT RUSSELL RANCH
 FOLSOM, CA





CALIFORNIA COTTAGE

TRANSITIONAL BUNGALOW

CALIFORNIA CRAFTSMAN

PLAN 1 ROOF PLAN

THE COURTS AT RUSSELL RANCH

FOLSOM, CA



SCALE: 1/4" = 1'-0"

J Z M K

PARTNERS

2015-09-10
JOB # 17043

A-2.9



NOTE: REFER TO ACTUAL COLOR
AND MATERIAL SAMPLES FOR
ACTUAL COLOR SCHEMES

PLAN 2 CALIFORNIA CRAFTSMAN-SCHEME 2-PERSPECTIVE

THE COURTS AT RUSSELL RANCH

FOLSOM, CA

THE NEW
HOME
COMPANY

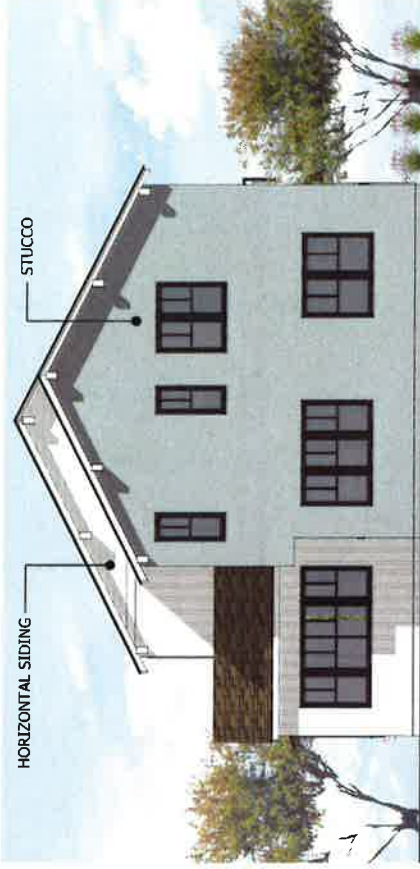
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P A R T N E R S
JOB # 1706 2018-09-10

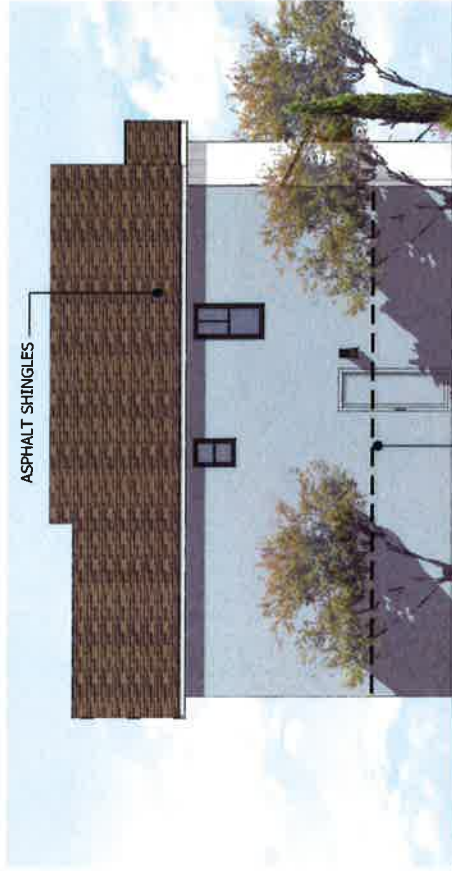
A-3.1



RIGHT ELEVATION



REAR ELEVATION



LEFT ELEVATION

DASHED LINE INDICATES
FENCED/INACTIVE AREA



FRONT ELEVATION

GARAGE DESIGN
SPECIFIC TO
ELEVATION STYLE

BRICK BASE

NOTE: REFER TO ACTUAL COLOR AND
MATERIAL SAMPLES FOR ACTUAL
COLOR SCHEMES



CALIFORNIA CRAFTSMAN
PLAN 2 ELEVATIONS - SCHEME 2
THE COURTS AT RUSSELL RANCH

FOLSOM, CA

J Z M K

PARTNERS
ARCHITECTURE ZEPHYRUS



NOTE: REFER TO ACTUAL COLOR
AND MATERIAL SAMPLES FOR
ACTUAL COLOR SCHEMES

PLAN 2 TRANSITIONAL BUNGALOW-SCHEME 2- PERSPECTIVE

THE COURTS AT RUSSELL RANCH

FOLSOM, CA



J Z M K

ARCHITECTS
2014.05.12

A-3.3



RIGHT ELEVATION

STONE BASE



REAR ELEVATION



LEFT ELEVATION

DASHED LINE INDICATES
FENCED/INACTIVE AREA



FRONT ELEVATION

GARAGE DOOR DESIGN
UNIQUE TO ITS STYLE

RECESSED WINDOWS
WITH WOOD TRIM

ASPHALT SHINGLES

STUCCO

HARDI-PLANK

WOOD TRIM

VERTICAL SIDING

NOTE: REFER TO ACTUAL COLOR AND
MATERIAL SAMPLES FOR ACTUAL
COLOR SCHEMES

TRANSITIONAL BUNGALOW
PLAN 2 ELEVATIONS - SCHEME 2
THE COURTS AT RUSSELL RANCH



FOLSOM, CA

J Z M K

PARTNERS
2024.12.06 2:18:00 PM



NOTE: REFER TO ACTUAL COLOR
AND MATERIAL SAMPLES FOR
ACTUAL COLOR SCHEMES

PLAN 2 CALIFORNIA COTTAGE-SCHEME 2- PERSPECTIVE
THE COURTS AT RUSSELL RANCH

FOLSOM, CA



J Z M K

P A R T N E R S
JOB # 1706 2019-05-19

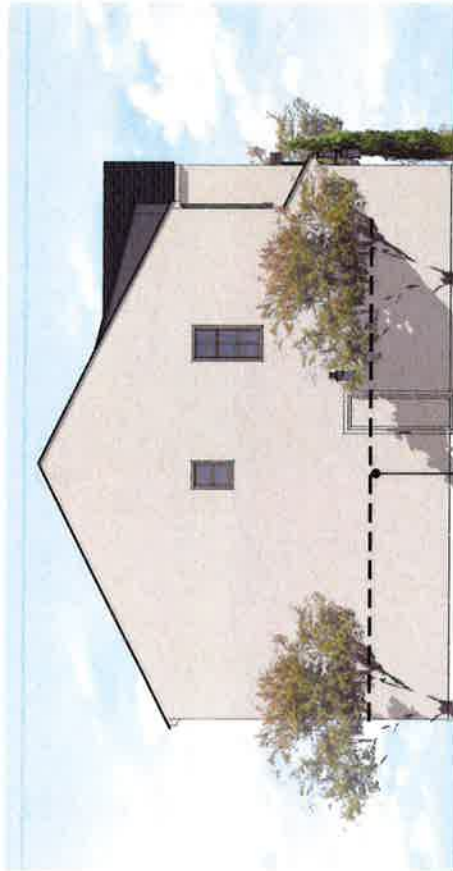
A-3.5



RIGHT ELEVATION



REAR ELEVATION



LEFT ELEVATION

DASHED LINE INDICATES
FENCED/INACTIVE AREA



FRONT ELEVATION

STYLE OF GARAGE DOOR
UNIQUE TO ELEVATION STYLE

DORMER
SHUTTER
RECESSED WINDOW WITH
FLOWER BOX

NOTE: REFER TO ACTUAL COLOR AND
MATERIAL SAMPLES FOR ACTUAL
COLOR SCHEMES

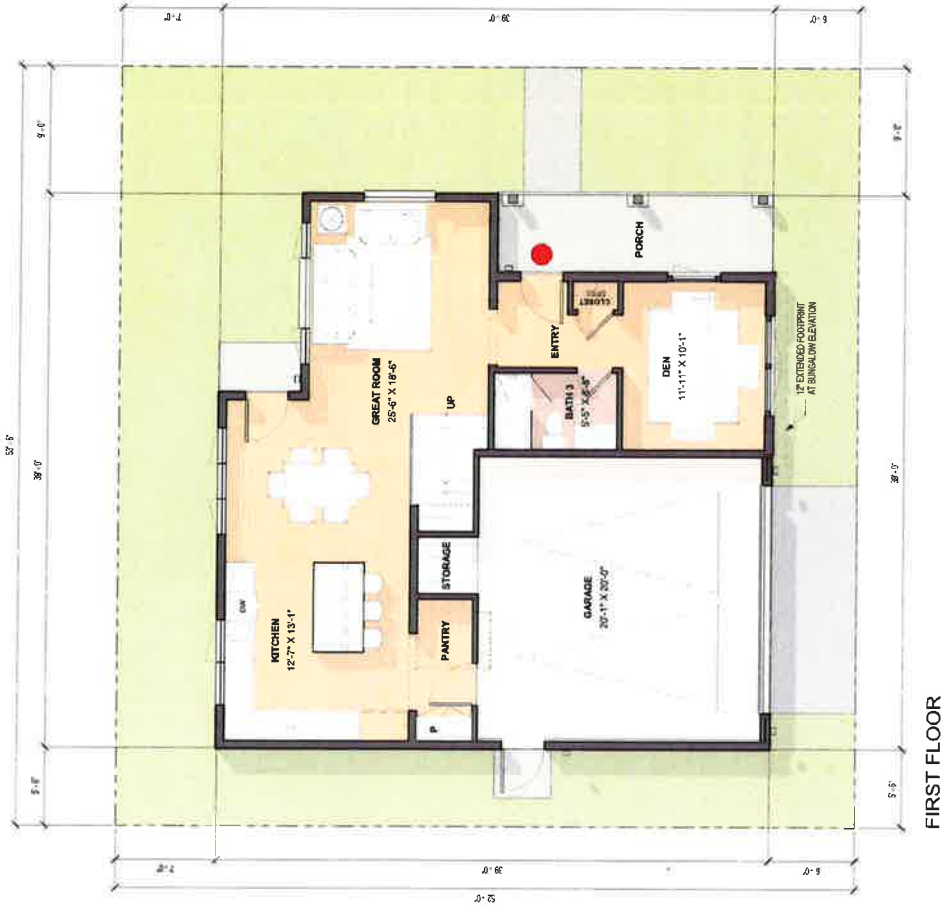
CALIFORNIA COTTAGE
PLAN 2 ELEVATIONS-SCHEME 2
THE COURTS AT RUSSELL RANCH



FOLSOM, CA

J Z M K

PARLINE'S
2014.17246 2018.08.19



PLAN 2 FLOOR PLANS
 3 BR, 2,75 BA, APPROX 1,976 SF

THE COURTS AT RUSSELL RANCH

FOLSOM, CA

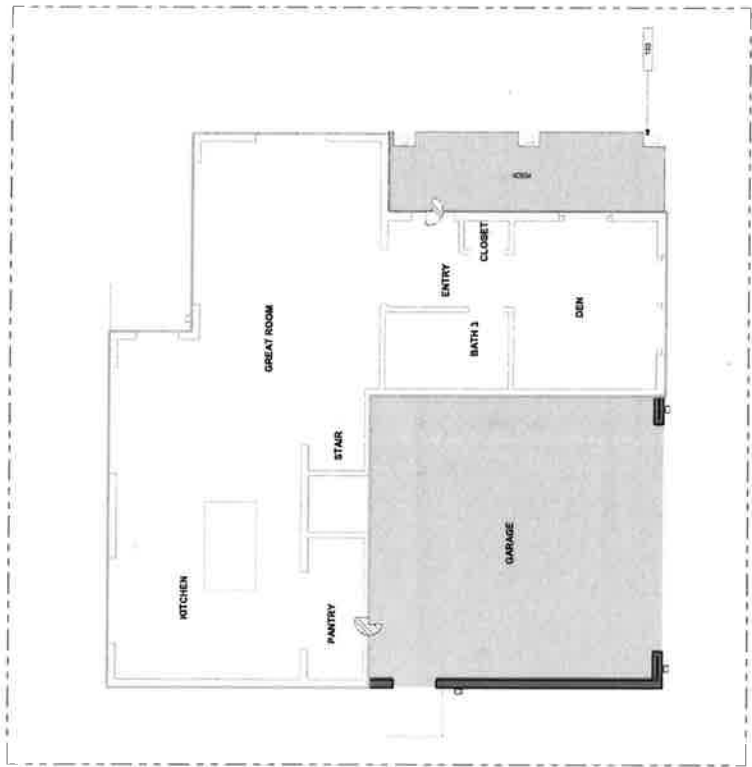


J Z M K

ARCHITECTS
 2018-2019

A-3.7





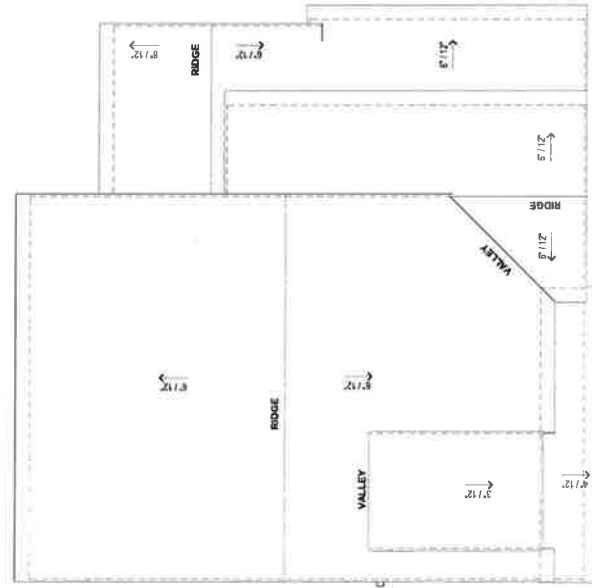
- EXPANDED FINISH LEGEND
- NO COLUMN/PAVE WITH WOOD POST
- SLAB LEGEND
- CONCRETE SLAB (REF PER DWG)
- CRS



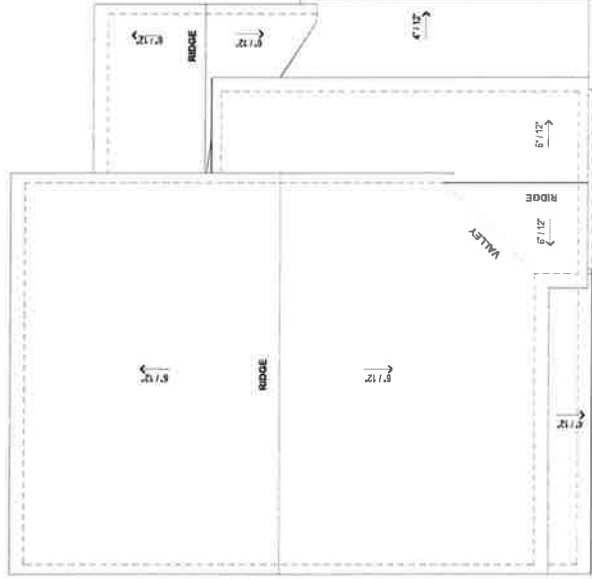
J Z M K
 PARTNER S
 JOB # 17048 2018-09-10
 A-3.8

PLAN 2 SLAB PLAN
 THE COURTS AT RUSSELL RANCH
 FOLSOM, CA

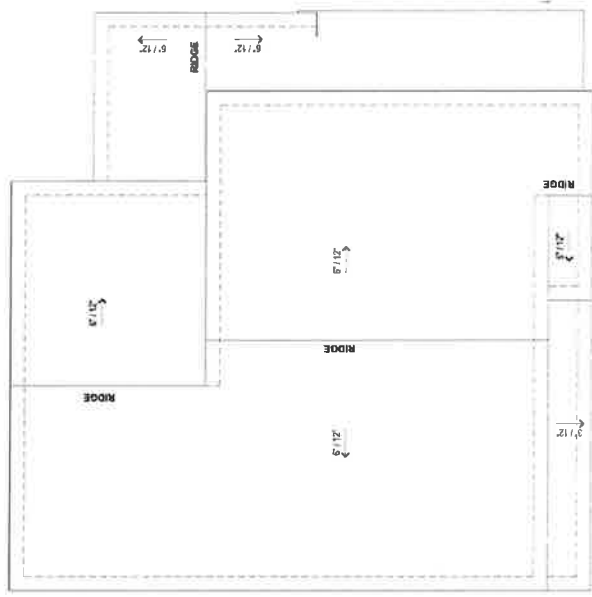




CALIFORNIA COTTAGE



TRANSITIONAL BUNGALOW



CALIFORNIA CRAFTSMAN

PLAN 2 ROOF PLAN

THE COURTS AT RUSSELL RANCH

FOLSOM, CA



SCALE: 1/4" = 1'-0"

J Z M K

P A R T N E R S

2018.05.19

A-3.9



PLAN 3 CALIFORNIA CRAFTSMAN-SCHEME 3 - PERSPECTIVE
THE COURTS AT RUSSELL RANCH

FOLSOM, CA

NEW
HOME
COMPANY

NOTE: REFER TO ACTUAL COLOR
AND MATERIAL SAMPLES FOR
ACTUAL COLOR SCHEMES

J Z M K

P A R T N E R S

JOB # 1706 2018-09-19

A-4.1



RIGHT ELEVATION

DASHED LINE INDICATES
FENCED/INACTIVE AREA



REAR ELEVATION

STUCCO



LEFT ELEVATION

WOOD SHUTTERS

BRICK BASE



FRONT ELEVATION

ASPHALT SHINGLES

BOARD AND BATTEN

OUTLOOKERS

WINDOW TRIM

GARAGE DESIGN SPECIFIC TO
ELEVATION STYLE

NOTE: REFER TO ACTUAL COLOR AND
MATERIAL SAMPLES FOR ACTUAL
COLOR SCHEMES

CALIFORNIA CRAFTSMAN
PLAN 3 ELEVATIONS - SCHEME 3



THE COURTS AT RUSSELL RANCH

FOLSOM, CA

J Z M K

ARCHITECT

A-4.2



PLAN 3 TRANSITIONAL BUNGALOW - SCHEME 3 - PERSPECTIVE

THE COURTS AT RUSSELL RANCH

FOLSOM, CA

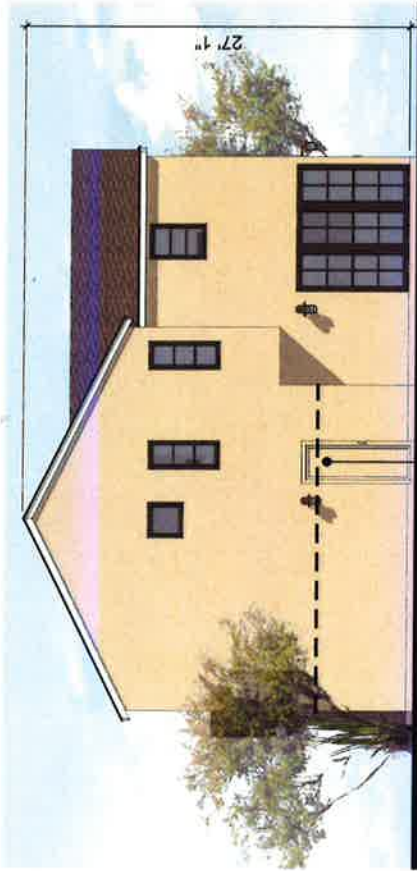
THE NEW
HOME
COMPANY

NOTE: REFER TO ACTUAL COLOR
AND MATERIAL SAMPLES FOR
ACTUAL COLOR SCHEMES

J Z M K

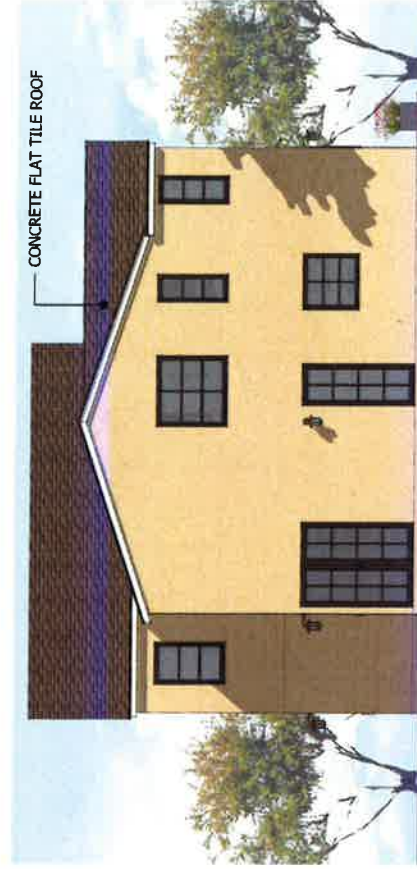
P A R T N E R S
JOB # 17048 2018.09.18

A-4.3



RIGHT ELEVATION

DASHED LINE INDICATES
FENCED/INACTIVE AREA



REAR ELEVATION

CONCRETE FLAT TILE ROOF



LEFT ELEVATION

WOOD TRIM AROUND
MAIN ENTRY

ASPALT SHINGLES



FRONT ELEVATION

RECESSED WINDOWS WITH
WOOD TRIM BOARD

VERTICAL SIDING

STUCCO

GARAGE DOOR DESIGN
UNIQUE TO ITS STYLE

NOTE: REFER TO ACTUAL COLOR AND
MATERIAL SAMPLES FOR ACTUAL
COLOR SCHEMES

TRANSITIONAL BUNGALOW
PLAN 3 ELEVATIONS - SCHEME 3
THE COURTS AT RUSSELL RANCH



FOLSOM, CA

J Z M K

PARTNERS
JOSH TOSK 2018.05.19

A-4.4



NOTE: REFER TO ACTUAL COLOR
AND MATERIAL SAMPLES FOR
ACTUAL COLOR SCHEMES

PLAN 3 CALIFORNIA COTTAGE-SCHEME 3- PERSPECTIVE

THE COURTS AT RUSSELL RANCH

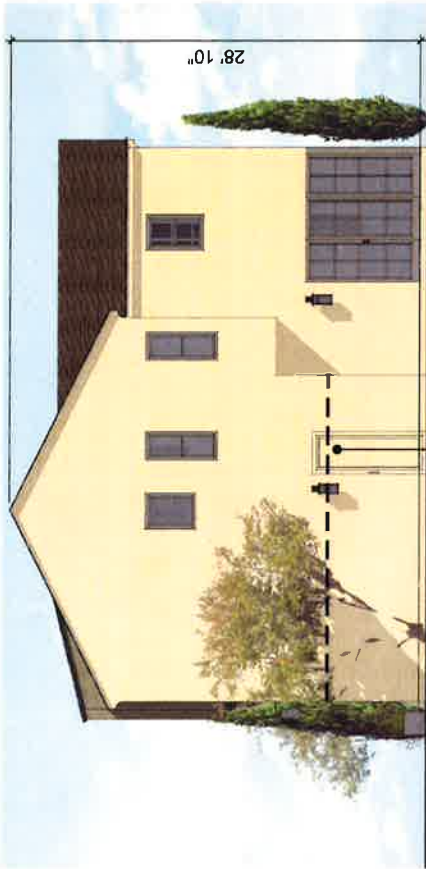
FOLSOM, CA

NEW
HOME
COMPANY

J Z M K

P A R T N E R S
JOS 117048 2018-05-19

A-4.5



RIGHT ELEVATION

DASHED LINE INDICATES
FENCED/INACTIVE AREA



REAR ELEVATION



LEFT ELEVATION

SHUTTER



FRONT ELEVATION

GARAGE DOOR DESIGN
UNIQUE TO ITS STYLE

NOTE: REFER TO ACTUAL COLOR AND
MATERIAL SAMPLES FOR ACTUAL
COLOR SCHEMES

CALIFORNIA COTTAGE
PLAN 3 ELEVATIONS - SCHEME 3
THE COURTS AT RUSSELL RANCH

FOLSOM, CA



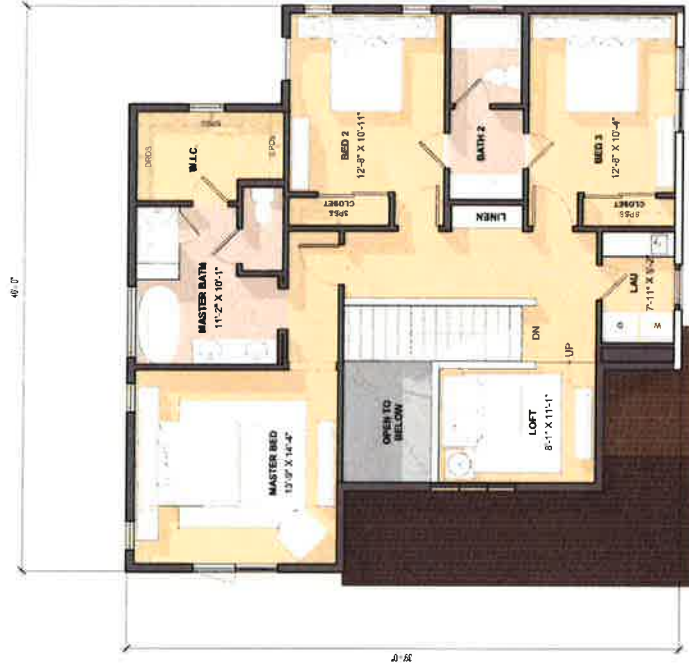
J Z M K

ARCHITECTS
2024/17/24

A-4.6



FIRST FLOOR



SECOND FLOOR

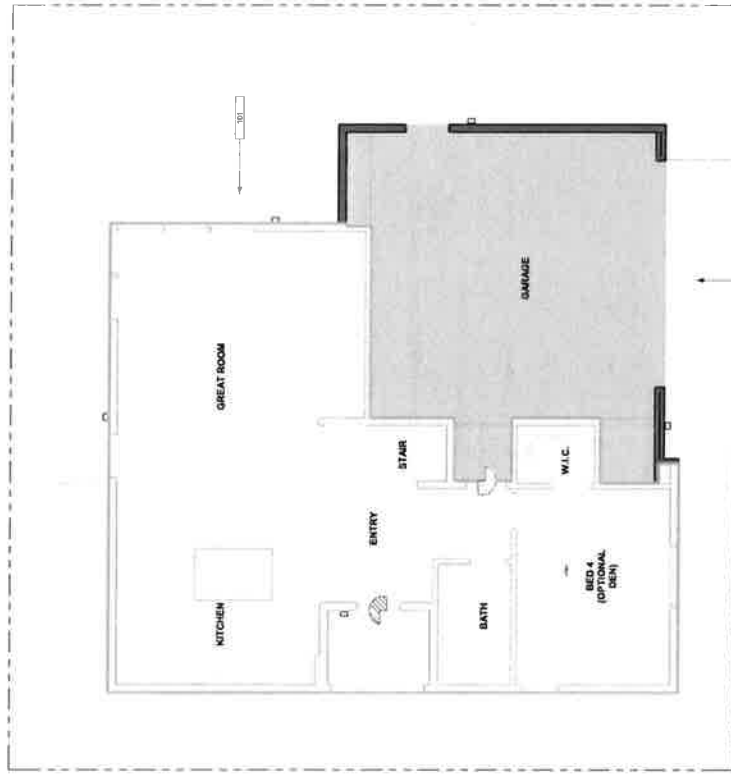
PLAN 3 FLOOR PLANS
4 BR, 2,75 BA, APPROX 2,147 SF

THE COURTS AT RUSSELL RANCH

FOLSOM, CA



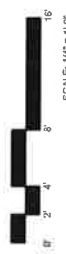
0' 2' 4' 8' 16'
SCALE: 1/4" = 1'-0"
J Z M K
JOB # 11041 2018.09.10
A-4.7



EXTERIOR FINISH LEADS
 1/4" OF STOP LAMING
 CONCRETE JAPAN IN GARAGE

1/4"
 1/2"

SLAB LEADER
 CONCRETE SLAB STEP PER CIVIL
 CURB



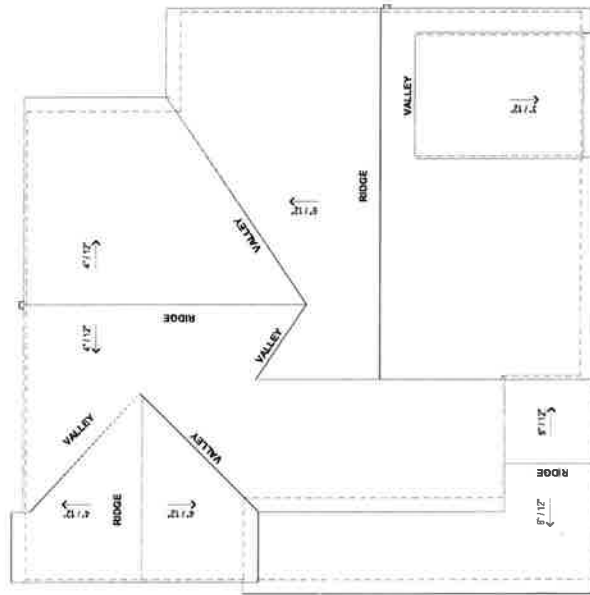
J Z M K

P A H N E R S
 JOB # 1704 2018-05-10

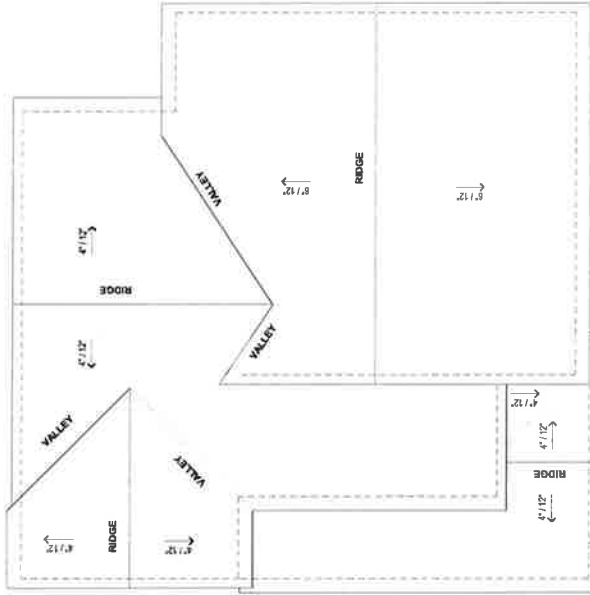
A-4.8

PLAN 3 SLAB PLAN
 THE COURTS AT RUSSELL RANCH
 FOLSOM, CA

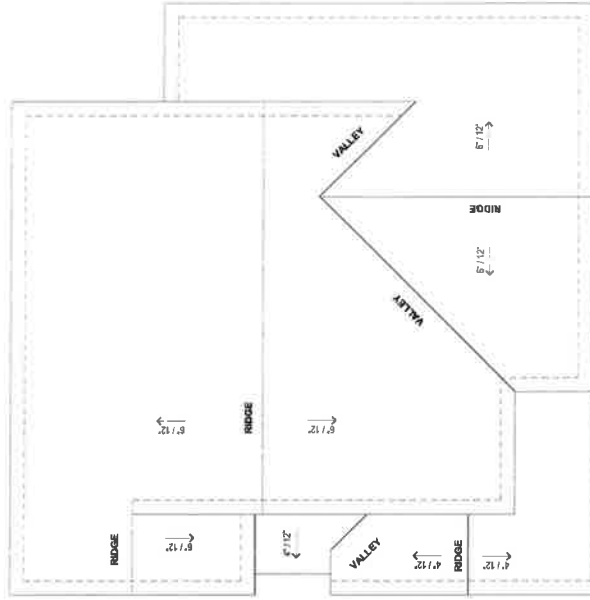




CALIFORNIA COTTAGE



TRANSITIONAL BUNGALOW



CALIFORNIA CRAFTSMAN

PLAN 3 ROOF PLAN

THE COURTS AT RUSSELL RANCH
FOLSOM, CA



SCALE: 1/4" = 1'-0"

J Z M K

P A R T N E R S
JOS LITVAK 2016-05-10

Attachment 7

Color and Materials Palette

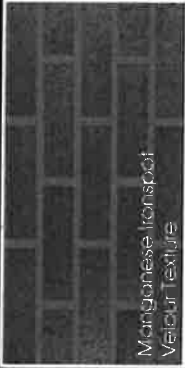
Craftsman Elevations						
Color Scheme	Omega Integral Stucco Color 1/6/20 Sand Finish	Sherwin Williams Paint Company			Andersen Windows 100 Series	GAF Composition Shingle Roofing Timberline HD Series
		Paint Match to Stucco Color Flat Finish	Siding Color Eggshell Finish	Trim Color Eggshell Finish on wood and metal Flat Finish on stucco		
CR1	TBD	SW 7008 Alabaster	SW 7651 Front Porch	SW 7061 Night Owl	Bronze	Charcoal
CR2	TBD	SW 7652 Mineral Deposit	SW 7009 Pearly White	SW 7009 Pearly White	Bronze	Weathered Wood
CR3	TBD	SW 7052 Gray Area	SW 7565 Oyster Bar	SW 7047 Porpoise	Bronze	Barkwood

Transitional Bungalow Elevations						
Color Scheme	Omega Integral Stucco Color 1/6/20 Sand Finish	Sherwin Williams Paint Company			Andersen Windows 100 Series	GAF Composition Shingle Roofing Timberline HD Series
		Paint Match to Stucco Color Flat Finish	Siding Color Eggshell Finish	Trim Color Eggshell Finish on wood and metal Flat Finish on stucco		
BU1	TBD	SW 7650 Ellie Gray	SW 7060 Altitude Gray	SW 6071 Popular Gray	Cocoa Bean	Weathered Wood
BU2	TBD	SW 7005 Pure White	SW 2844 Roycroft Mist Gray	SW 7046 Anonymous	Cocoa Bean	Barkwood
BU3	TBD	SW 6150 Universal Khaki	SW 7046 Anonymous	SW 9165 Gossamer Veil	Cocoa Bean	Mission Brown

Cottage Elevations						
Color Scheme	Omega Integral Stucco Color 1/6/20 Sand Finish	Sherwin Williams Paint Company			Andersen Windows 100 Series	GAF Composition Shingle Roofing Timberline HD Series
		Paint Match to Stucco Color Flat Finish	Trim Color Eggshell Finish on wood and metal Flat Finish on stucco	Entry Door Color Eggshell Finish		
CO1	TBD	SW 9166 Drift Of Mist	SW 7026 Griffin	SW 9134 Delft	Slate	
CO2	TBD	SW 7015 Repose Gray	SW 7060 Altitude Gray	SW 9154 Petite Noir	Charcoal	
CO3	TBD	SW 6148 Wool Skein	SW 6165 Connected Gray	SW 9182 Rajo Marron	Barkwood	

General Notes:

- All paint is to be Sherwin Williams Paint Company.
- All non-decorative items such as meter doors, non-decorative vents etc. are to be painted the same color and finish as the surrounding field color.
- All non-decorative roof metal is to be painted to match the darkest color from the roofing blend.
- Metal Roofing is to be Custom-Bilt Metals. Color: "Pre-Weathered Galvalume"
- Rain gutters and downspouts are TBD

Endicott
Brick
at California Craftsmen and Transitional Bungalow Elevations
Mortar is to be Orco Blended Products MAC Mortar. Color: "Orco MAC Midnight Sky". Mortar joints are to be raked.

Mahogany Ironsides Vapor Texture

Attachment 8

Russell Ranch Design Guidelines



RUSSELL RANCH
AND BROADSTONE ESTATES AT RUSSELL RANCH
PLANNED DEVELOPMENT DESIGN GUIDELINES

CHAPTER 4: ARCHITECTURE

“Home is a name, a word, it’s a strong one; stronger than magician ever spoke, or spirit ever answered to, in the strongest conjuration.”

–Charles Dickens

4.1 INTRODUCTION

By employing an authentic architectural palette and creative site planning techniques, Russell Ranch will be a neighborhood with a strong architectural identity and distinctive character within the City of Folsom.

Chapter 4 defines the design principles and development standards that apply to all residential development within Russell Ranch. These guidelines and standards articulate the lot characteristics, setbacks, garage type and orientation, and building massing.

Further, Chapter 4 includes a detailed architectural design guidelines section, which identifies, defines, and articulates the architectural styles appropriate for Russell Ranch.

4.2 DESIGN PRINCIPLES

4.2.1 Diversity of Streetscape

An elegant and diverse streetscape is a defining characteristic of enduring landmark neighborhoods. Simple and elegant planning and design elements can change the essence of a community while maintaining an overall unified theme. The intent of this section is to articulate the standards and unique defining elements by which Russell Ranch shall be built in order to create a cohesive and animated streetscape with a diverse character.

A. MASTER HOME PLAN REQUIREMENTS

To achieve streetscape variation, a master home plan series must comprise master home plans with a minimum of three (3) associated elevations per plan (each elevation must be a different architectural style) per each collection of home offerings, based upon the number of lots to be built upon by one builder as an individual project within the neighborhood. Further, a certain number of architectural styles is required, which will be applied based on appropriate massing (i.e., every floor plan will not have every architectural style applied. Certain home collections will benefit from a greater number of elevations per floor plan and architectural styles, whereas others may benefit from a more cohesive palette (such as the court homes, which provide an opportunity for a unified architectural statement based upon a singular style). This selective architectural style application will enhance the eclectic nature and variety of the streetscape. Master home plans are defined as unique floor plans with a distinct footprint with regard to placement and relationship of garage, front door, and building massing.

B. MASSING AND ROOF FORM

Proportion and placement of architectural forms and elements must be appropriately and authentically applied in a manner consistent with the historical architectural style being represented. Roof articulation in the form of proper roof pitches and forms also plays a significant role in the authenticity and diversity of the streetscape.

- Massing must be appropriate and authentic to the architectural style (e.g., the Monterey style has a cantilevered second story balcony as a signature defining element; it would be inauthentic to design a single story Monterey home).
- One out of every three homes must have a significantly different roof form than its neighbors (e.g., forward-facing gable versus side-facing gable).
- Horizontal and vertical articulation is required on all homes, as appropriate to each architectural style, and can be achieved through differing roof forms, combinations of one and two story elements, architectural projections, porches, etc.
- Front porches, when appropriate to the building style, must have a minimum depth of six (6) feet.

D. REPETITION

Avoiding repetition of identical floor plans or architectural styles is important to create a sense that a neighborhood has been built over time.

- In the areas of the neighborhood with a traditional home-to-street relationship, the same floor plan with the same architectural style shall be no less than three (3) lots away in any direction (on the same side of the street as well as the opposite side of the street).

- It is appropriate to exhibit a cohesive architectural theme within the court homes to create a village concept, as such, deviation to the repetition requirement is allowable within this enclave.

4.2.2 Four-Sided Architecture

The continuation of style-specific architectural elements from the front façade around to the side and rear elevations creates an authentic architectural statement. As defined in the Architectural Guidelines section found in Section 4.4, there is a minimum level of enhancement required on all homes based on architectural style.

Russell Ranch features single-loaded streets with highly visible front and rear elevations and side elevations that are less prominent. The approach should be a hierarchy of treatment based on location. Blank, unadorned building faces are never permitted; a certain minimum amount of detail is required to reflect a unified architectural treatment. The front elevation should be the most highly detailed; the rear elevation should exhibit a specific number of style-specific architectural elements; typical side elevations may exhibit fewer style-specific architectural elements, while corner lots will feature a consistent level of detail on both the side and rear elevations.

The following section identifies enhanced lot situations as well as the four-sided elements that are required on these lots.

Figure 4.1 identifies home sites that are visible from multiple angles, public ways, open space, community edges, and major arterials. Home sites identified as enhanced lots are subject to the requirements in the following section.

A. ENHANCED LOTS

Home sites that are highly visible warrant special attention to any visible building faces to present an authentic and cohesive appearance. The following standards apply to highly visible lots within the neighborhood in addition to the standard requirements and enhancements for all homes described in section 4.4.

- o All corner lots (those with two adjacent streets), identified in blue on Figure 4.1, must employ at least three enhancements from the enhanced elements portion of the corresponding architectural style matrix (found in Section 4.4) on all street adjacent building faces (in addition to the minimum enhancements required for all homes).
- o All other highly visible home sites (such as those adjacent to open space corridors), identified in red on Figure 4.1, must employ at least two enhancements from the enhanced elements portion of the corresponding architectural style matrix (found in Section 4.4) on all building faces adjacent to public ways, open space, community edges, and/or major arterials (in addition to the minimum enhancements required for all homes).



Figure 4.1: Enhanced Lots

This illustration is a conceptual plan intended to guide the determination of highly visible lots. Actual determination of enhanced lots will be based on final lotting of subdivisions.

4.2.3 Reciprocal Use Easements

Reciprocal use easements are an innovative way to increase the usable yard area for a small lot home (reciprocal use easements are permitted on The Courts Homes only). By allowing one home to utilize the side yard of an adjacent home, side yard space effectively doubles. When reciprocal use easements are used, the following factors apply:

- The resident of the home relinquishing its side yard has the right to access the adjacent home's side yard for home maintenance and painting.
- Reciprocal use easements are required to be detailed on individual plot plans as part of the project construction phasing. Traditional setbacks shall not apply to reciprocal use easement areas, for landscape related features.
- Landscape structures, such as fountains, pergolas, etc. are permitted within the use easement and must be 3' from the face of the adjacent structure, consistent with building and fire code.

4.2.4 Garages

Reducing garage dominance on the streetscape and bringing living space closer to the street creates streetscenes that are inviting and safe with an "eyes on the street" environment. Using design techniques that enhance a home's architectural style and relegating the garage to a less visible position promotes a more pedestrian-oriented neighborhood. The following section describes the permitted garage mitigation measures for Russell Ranch.

- Garages must be recessed a minimum of 5' from living space or porches when accessed from a traditional street configuration. Garages that are located along

alleys or motor courts shall not be required to meet the 5' requirement.

- Garages accommodating more than two cars are allowable only in a split or tandem configuration. Three car front-loaded garages are not permitted.

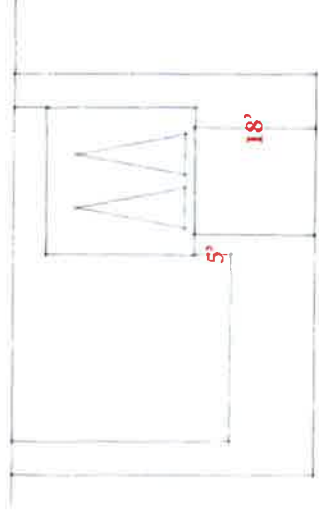


Figure 4.2: Garage Recess

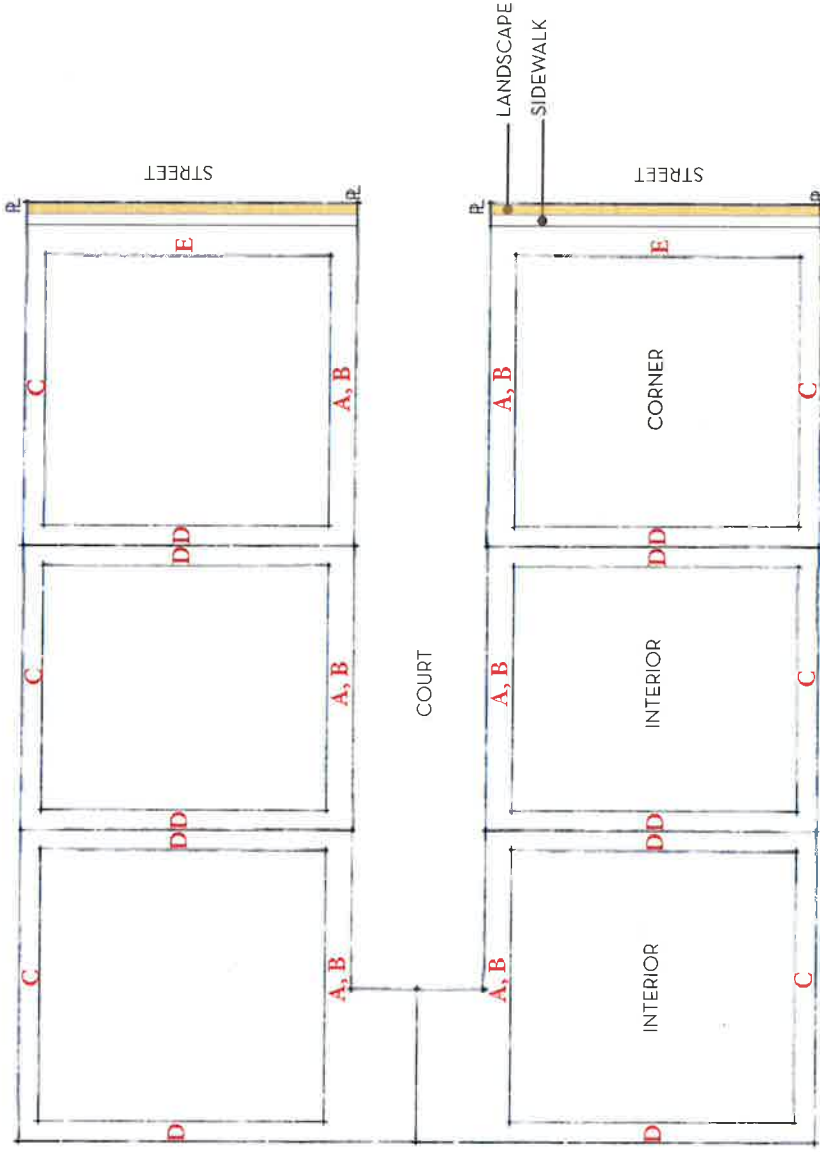


Figure 4.3: View Lots (Easement)

This illustration is a conceptual plan intended to guide the determination of highly visible lots. Actual determination of view lots will be based on final lotting of subdivisions.

4.3 DEVELOPMENT STANDARDS

4.3.1 The Court Homes

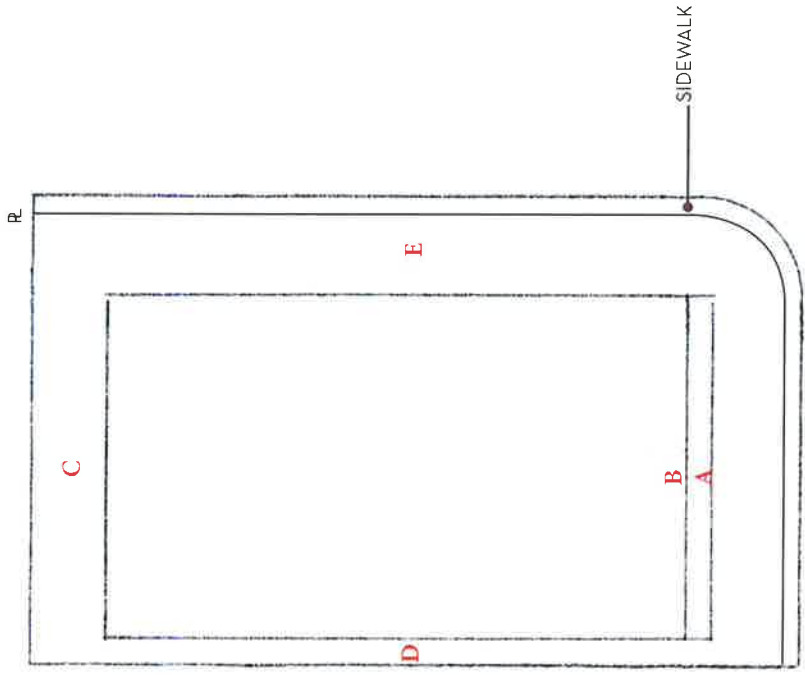


DESCRIPTION:	Court SFD	CATEGORY:	MLD
Minimum lot area:	2,150 Square Feet	A. Minimum front setback at court (to living or covered outdoor space):	4'
Minimum lot width:	43'	B. Minimum garage setback:	4'
Minimum lot depth:	50'	C. Minimum rear setback:	3'
Maximum lot coverage (single story / 2-story): ¹	60% / 60%	D. Minimum interior side setback:	3'
Maximum height (single story / 2-story):	28' / 35'	E. Minimum street side setback:	8'
Minimum parking requirement:	2 covered spaces/unit & 0.8 uncovered guest spaces/unit		

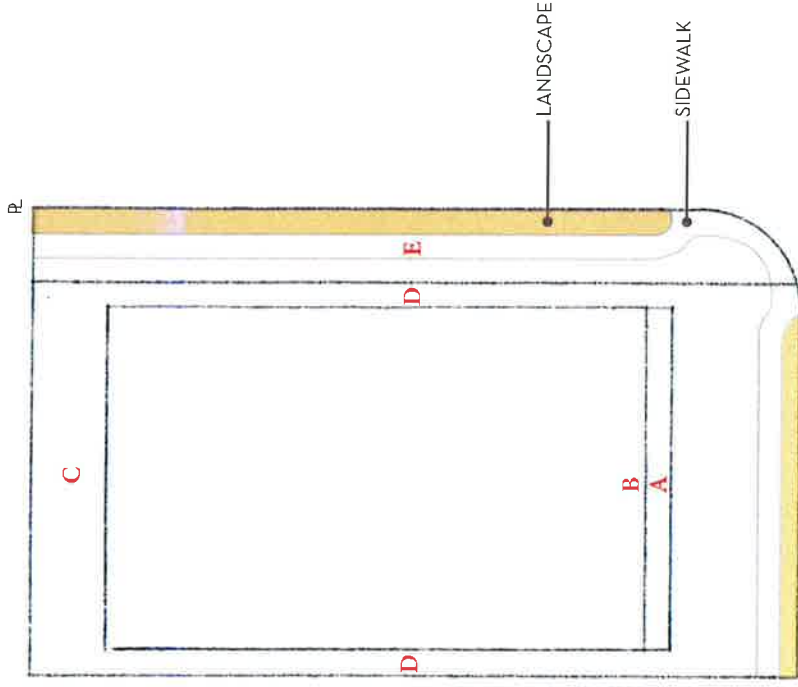
Note: Setbacks are measured from property line (P.L.).

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4.3.2 Single Family High Density (SFHD)



Attached Sidewalk Condition



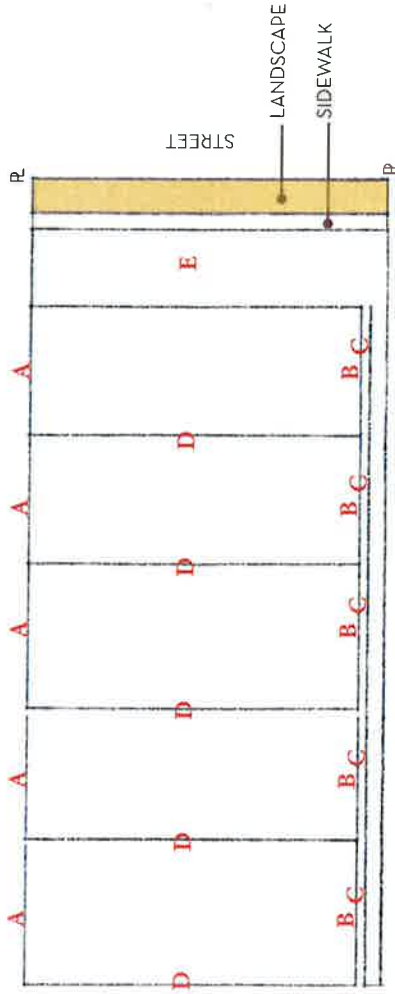
Detached Sidewalk Condition

DESCRIPTION:	SFD traditional lot	CATEGORY:	SFHD
Minimum lot area:	4,500 Square Feet	A. Minimum front setback to living space or covered outdoor space (attached sidewalk/detached sidewalk).²	12.5' / 24.5'
Minimum lot width:	50'	B. Minimum garage setback (attached sidewalk/detached sidewalk).²	18' / 30'
Minimum lot depth:	90'	C. Minimum rear setback:^{2,3}	15'
Maximum lot coverage: ^{1,5}	50%	D. Minimum interior side setback:²	5'
Maximum height (single story / 2-story):	28' / 35'	E. Minimum street side setback:^{2,4}	10'

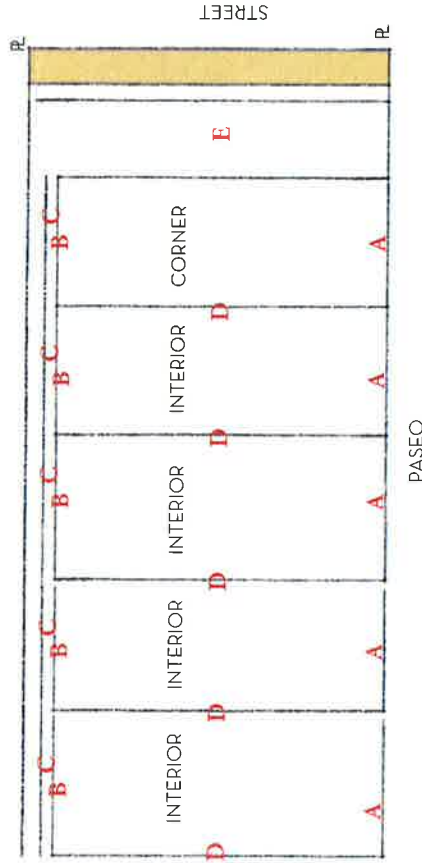
Note: Setbacks are measured from property line (R).

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4.3.3 Townhomes (MLD)



ALLEY



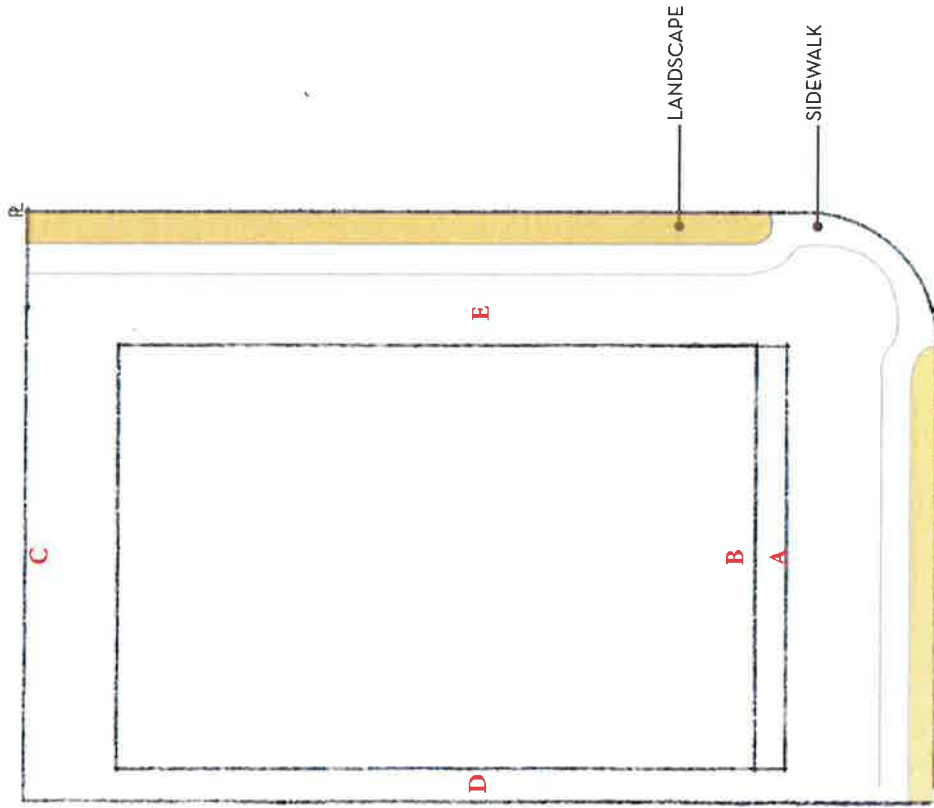
PASEO

DESCRIPTION:	MLD lot	CATEGORY:	SFHD
Minimum lot area:	1,188.8 Square Feet	A. Minimum front setback at landscape/paseo to living space or covered outdoor space:²	0'
Minimum lot width:	21.42'	B. Minimum rear garage setback at alley:²	5'
/ 3' Minimum lot depth:	55.5'	C. Minimum rear setback at alley (lower floor/upper floor):^{2,3}	5'/3'
Maximum lot coverage: ^{1,6}	90%	D. Minimum interior side setback:²	0'
Maximum height (single story / 2-story):	35'	E. Minimum street side setback:^{2,4}	12.5'
Minimum parking requirement:	2 covered spaces / unit & 0.8 uncovered guest spaces / unit		

Note: Setbacks are measured from property line (R).

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4.3.4 Single Family (SF)



Detached Sidewalk Condition

DESCRIPTION:	SFD traditional lot	CATEGORY:	SF
Minimum lot area:	6,600 Square Feet	A. Minimum front setback to living space or covered outdoor space: ²	24.5'
Minimum lot width:	60'	B. Minimum garage setback: ²	30'
Minimum lot depth:	110'	C. Minimum rear setback: ^{2,3}	15'
Maximum lot coverage: ^{1,6}	50%	D. Minimum interior side setback: ²	5'
Maximum height (single story / 2-story):	28' / 35'	E. Minimum street side setback: ^{2,4}	22'

Note: Setbacks are measured from property line (R.).

4.3.5 Development Standards Footnotes

1. MLD lot coverage shall be calculated as the percentage of lot area covered by the roof, including covered porches and patios. SFHD and SF lot coverage shall be calculated as the percentage of lot area covered by the roof, including covered porches but excluding outdoor covered unconditioned spaces (i.e., patios) and guest house/pool house/casita (i.e., detached habitable structure with only sleeping, living, and bathroom).
2. Accessory structures shall be consistent with the FPASP standards of 5' side yard (interior lot lines) and 5' rear yard setbacks, notwithstanding provision 3a below.
3. Minimum rear setback (view lots)
 - a. View lots, as identified in Figure 4.3, shall have a rear yard setback measured from the top of slope of the lot (as opposed to the downslope property line).
 - b. A View Lot Easement shall be recorded over the sloping portion of the lot (from the hinge point to the rear property line, see page 25, Rear Yard View Fencing section).
 - c. The easement area landscape shall conform to the slope area landscape treatments described in Chapter 3.
 - d. Monitoring and compliance with slope area requirements shall be the responsibility of Russell Ranch Homeowners Association. Any violations observed by the City of Folsom shall be referred to the Russell Ranch Homeowners Association.

4. Street side setback shall be 5' (measured from back of sidewalk) when adjacent to an open space lot 5' or greater in width.
5. A 5% lot coverage bonus for 3-sided outdoor covered unconditioned spaces (except with fireplace option, then 2-sided permitted) and/or guest house/pool house/casita (i.e., detached habitable structure with only sleeping, living and bathroom) shall be granted. In no case shall the total lot coverage exceed 55%.
6. A 10% lot coverage bonus for 3-sided outdoor covered unconditioned spaces (except with fireplace option, then 2-sided permitted) and/or guest house/pool house/casita (i.e., detached habitable structure with only sleeping, living and bathroom) shall be granted. In no case shall the total lot coverage exceed 60%.
7. For SF and SFHD lots, front yard setbacks shall be measured from property lines. Property lines shall be located as depicted in Figure 4.3. The Public Utility Easement (PUE) shall be located continuous with the front property line and extend into the lots as shown in yellow in Figure 4.3.

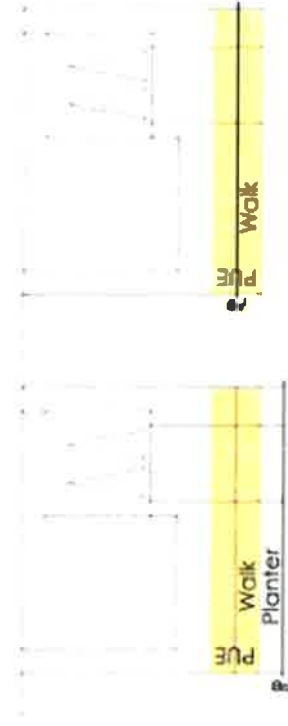


Figure 4.3: SF and SFHD PUE Location

4.4 ARCHITECTURAL GUIDELINES

The concept, inspiration, and vision for Russell Ranch is one of a distinctively California village with a unique and compelling design character derived from successful landmark neighborhoods throughout California.

Russell Ranch presents a cohesive collection of nine architectural styles, which will create a diverse and eclectic streetscape through massing and form, material and color, and detailing. The variety of styles will animate and activate the streetscape, creating a dynamic and vibrant community palette. Additional architectural styles that are consistent with the neighborhood vision will be reviewed and approved by the RRDRRC on a case by case basis.

ARCHITECTURAL PALETTE

- The California Wine Country
- The Monterey
- The Spanish Eclectic
- The California Cottage
- The Transitional Bungalow
- The California Prairie
- The Spanish Colonial Revival
- The California Craftsman
- The California Villa



Streetscape Example

HOW TO USE THESE GUIDELINES

The guidelines found in this section are formatted into individual style spreads, with each architectural style being defined and articulated over the course of three pages. The first page of the style spread defines the history and intent of the style; the second page provides a matrix that identifies the minimum elements for each style along with applicable enhanced elements and the third page identifies key style elements.

The core requirements for home design within the Russell Ranch neighborhood are concentrated in each style matrix (the second page of each spread), with the remaining pages intended as supporting and inspirational material. The sketches, key style elements, and details are intended to be an overview of the defining characteristics of the style and are not intended to be exhaustive, nor to represent all of the appropriate details inherent to each style.

With the intent of creating authentic representations of these architectural styles, all of the minimum elements outlined on the style specific matrix are required along with three enhanced elements.

To further define and emphasize the architecture of Russell Ranch, the following statements apply to all styles:

- Masonry must be applied authentically, wrapping outside corners and terminating at inside corners.
- Stone or brick scattered over stucco to mimic building age is not appropriate.
- Heavy knock down or “Spanish Lace” stucco is not permitted. Stucco finish options may include light lace, sand, smooth, imperfect smooth, cat face, or similar.

- All material changes must occur at an inside corner or other defined terminus (i.e., a fence line).
- No fascia gutter (gutter that serves as fascia) is permitted.
- No concrete rake tiles are permitted.
- Where wood is specified, cementitious material is acceptable to promote longevity and ease of maintenance.
- Grooved plywood siding and vinyl siding are not permitted.
- Garage doors shall complement the architectural style.
- House lights shall complement the architectural style.
- When shutters are used, each shutter shall be sized to one-half of the entire adjacent window width, such that if the shutters were closed, they would completely cover the window.

THE CALIFORNIA WINE COUNTRY

Reflective of the rolling terrain of the California Wine Country, this casual and rustic architectural style borrows European accents and reinterprets them to be authentically California. Asymmetrical forms are layered to create casual massing and the use of rustic accent materials, such as overgrouted stone or brick, wrought iron, and heavy beams add to the charm of this style.

The California Wine Country style will add a rustic element to the streetscape, offering a casual and lower profile complement to the more formal vertical styles.



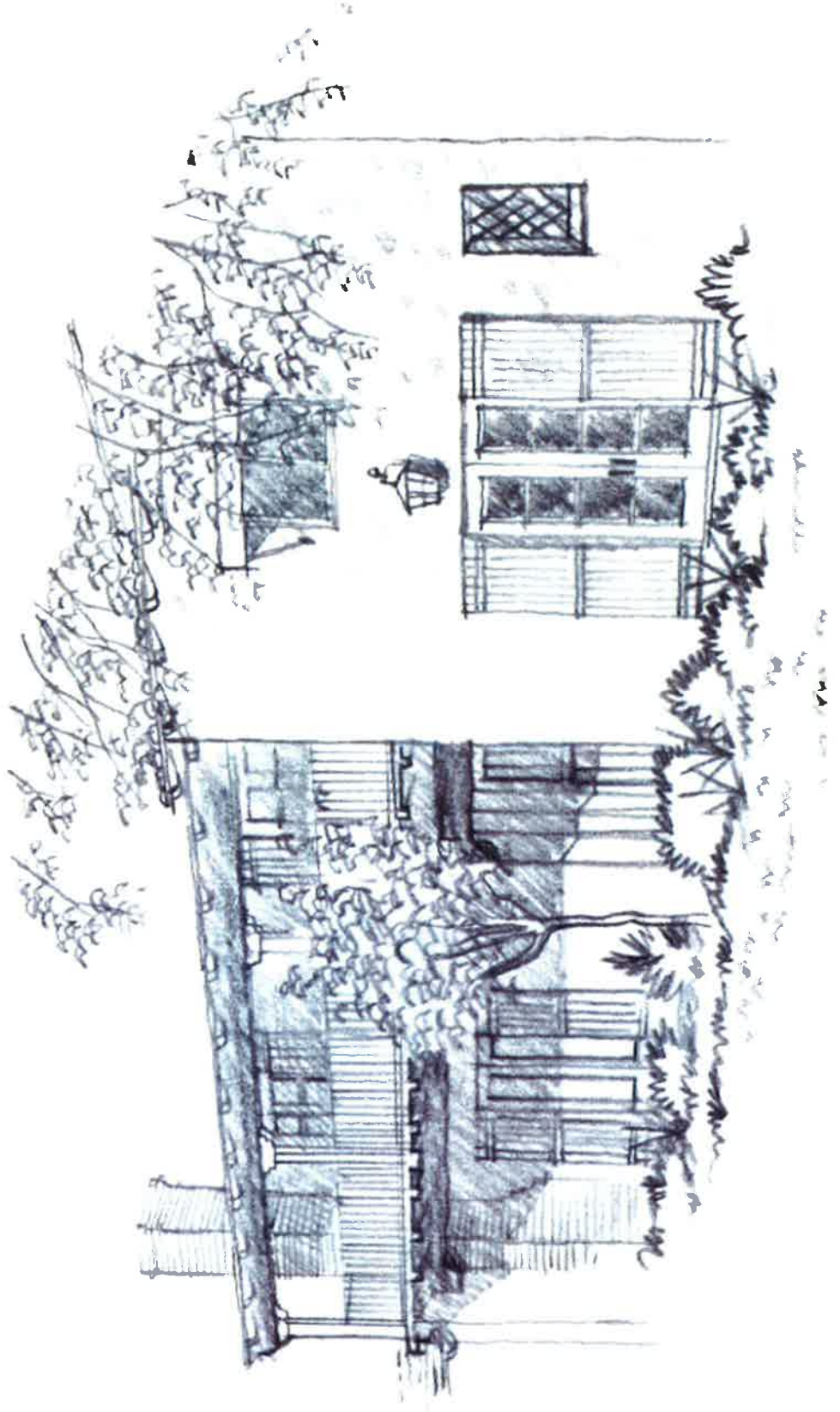
Style Elements	Minimum Elements (All Required on All Homes)	Enhanced Elements ^{1, 2} (Minimum of 3 Required on All Homes)
Form	<ul style="list-style-type: none"> Simple rectangular massing in one, one-and-a-half, full two-story, or a combination thereof. 	
Roof	<ul style="list-style-type: none"> Low-pitched gabled primary roofs (3:12 to 5:12). Shed porches. Tight rake at gables (0" to 6"). 12" to 16" eaves. Barrel or S-tile roof. 	<ul style="list-style-type: none"> Exposed rafter tails. Boosted roof tiles.
Walls	<ul style="list-style-type: none"> Stucco is the primary wall material. 	<ul style="list-style-type: none"> Overgrouted stone or brick as entire massing element. Smooth or imperfect smooth stucco finish.
Windows & Doors	<ul style="list-style-type: none"> Head and sill window trim or full window surrounds. Simple wood panel doors with vertical panels. Divided light windows. 	<ul style="list-style-type: none"> Front elevation with all windows inset 2" or one feature window recessed 12". Shutters (plank or diagonal brace). Colored window frames (e.g. cranberry, sage green, dark brown, etc.)
Details	<ul style="list-style-type: none"> Rustic wood railing and column posts. 	<ul style="list-style-type: none"> Massive chimney (may be battered or tapered) clad in stucco, stone, or brick. Wood trellises, applied sheds over windows, or Bermuda shutters. Carriage style garage doors with hardware. Typical downspouts replaced with "rain chains" or round metal downspouts.

1. An additional 2 enhancements required on visible lots shown on Figure 4.1 for a total of 5 Enhanced Elements.
2. An additional 3 enhancements required on corner visible lots shown on Figure 4.1 for a total of 6 Enhanced Elements.

THE MONTEREY

The historic Monterey style blends the Spanish cultures of original California residents with the influences brought to the west by the first European settlers. These homes are a juxtaposition of local indigenous materials with colonial detailing applied. The dominant feature of the Monterey style is the always-present upper-story balcony element, which is contained within the principal roof form and cantilevered. The balcony is of heavy timbered construction, defining the structure.

The Monterey style is a direct link to the colonial heritage of California. Only appropriate for two-story homes, this style will enhance the animation of the streetscape, both vertically and horizontally, through height, recess, and significant shadow play.



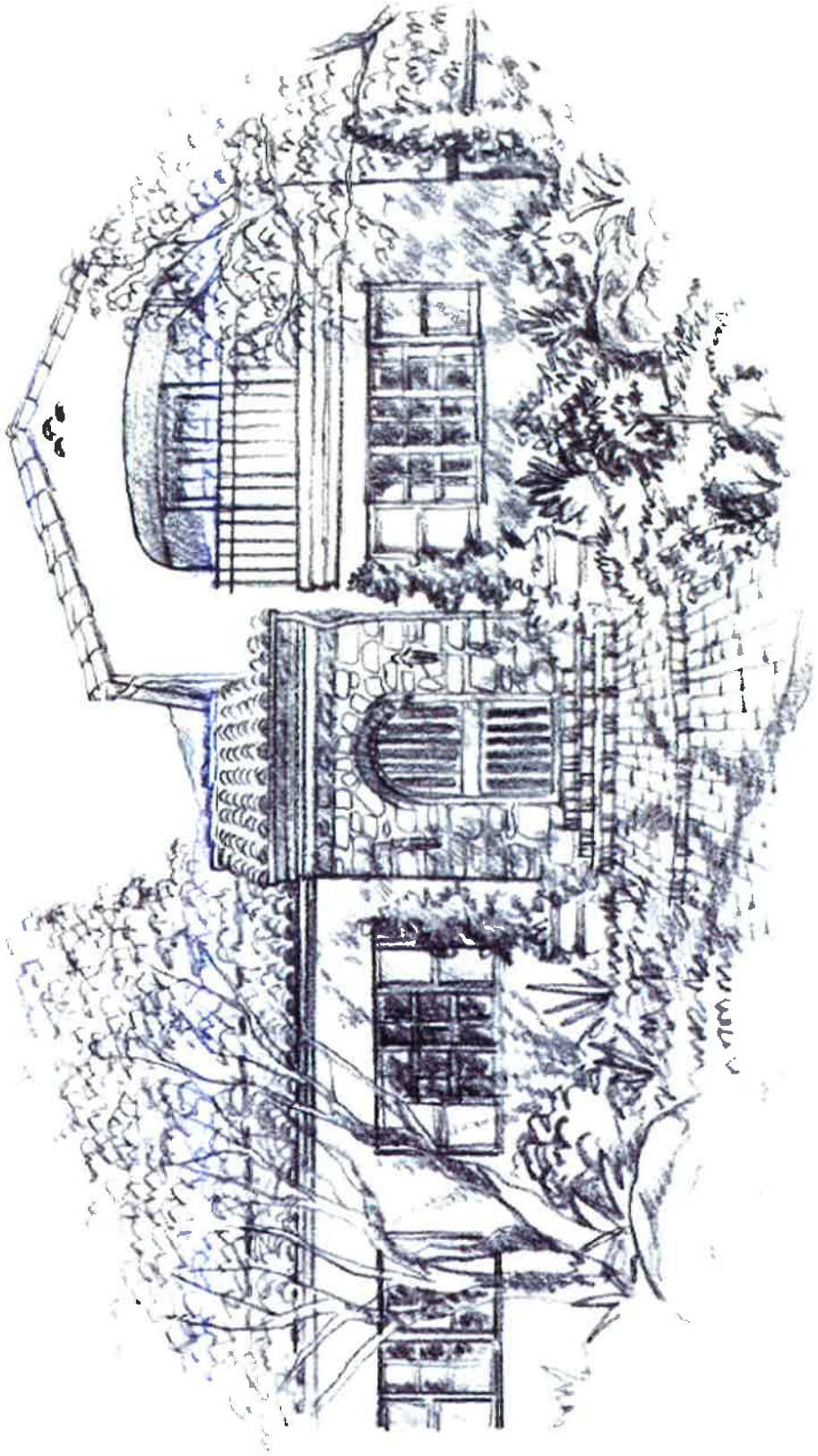
Style Elements	Minimum Elements (All Required on All Homes)	Enhanced Elements ^{1,2} (Minimum of 3 Required on All Homes)
Form	<ul style="list-style-type: none"> • Two-story, rectangular form. • Principal side gabled roof. • Cantilevered second story balcony covered by principal roof. 	<ul style="list-style-type: none"> • L-shaped form with front facing cross gable. • Hipped roof elements.
Roof	<ul style="list-style-type: none"> • Low-pitched gabled roofs (4:12 to 5:12). • Flat tile roof with barrel ridge and hip tiles. • 12" to 16" overhangs. • Thin eaves with either a half-round or ogee gutter. 	<ul style="list-style-type: none"> • Full S-tile roof. • Applied shed roof elements over windows • Exposed rafter tails..
Walls	<ul style="list-style-type: none"> • Stucco is the dominant exterior finish. 	<ul style="list-style-type: none"> • Brick at first floor, which may be painted. • Horizontal wood siding at upper floor. • Thickened walls.
Windows & Doors	<ul style="list-style-type: none"> • Paired windows in groups of twos or threes. • Tall vertical windows. • Rustic plank entry door. 	<ul style="list-style-type: none"> • First floor arched picture window at cross gable. • Bermuda shutters. • At least one pair of French doors accessing the balcony.
Details	<ul style="list-style-type: none"> • Fixed panel or louvered wood shutters. • Wood railing at balcony to match posts and beams. 	<ul style="list-style-type: none"> • Exposed decorative wood elements at balconies. • Ornate wrought iron railing at balcony.

1. An additional 2 enhancements required on visible lots shown on Figure 4.1 for a total of 5 Enhanced Elements.
2. An additional 3 enhancements required on corner visible lots shown on Figure 4.1 for a total of 6 Enhanced Elements.

THE SPANISH ECLECTIC

The Spanish Eclectic architectural style in California gained in popularity and sophistication in surface design after the 1915 Panama-California Exposition in San Diego. The Spanish Eclectic house is popular in many historic neighborhoods due to its adaptability of formal and casual, playful character. Historic precedence can be drawn from a wide and diverse range of influences; region, chronology, and function all contribute to the evolution of the Spanish Eclectic style. Truly one of the most diverse architectural styles, the Spanish Eclectic can vary from playful to exotic, bungalow to hacienda.

The Spanish Eclectic style will add to the intrinsic character and rich diversity of the streetscape. Offering an opportunity for bold color statement and whimsical forms, the style will add a playful element to the neighborhood.



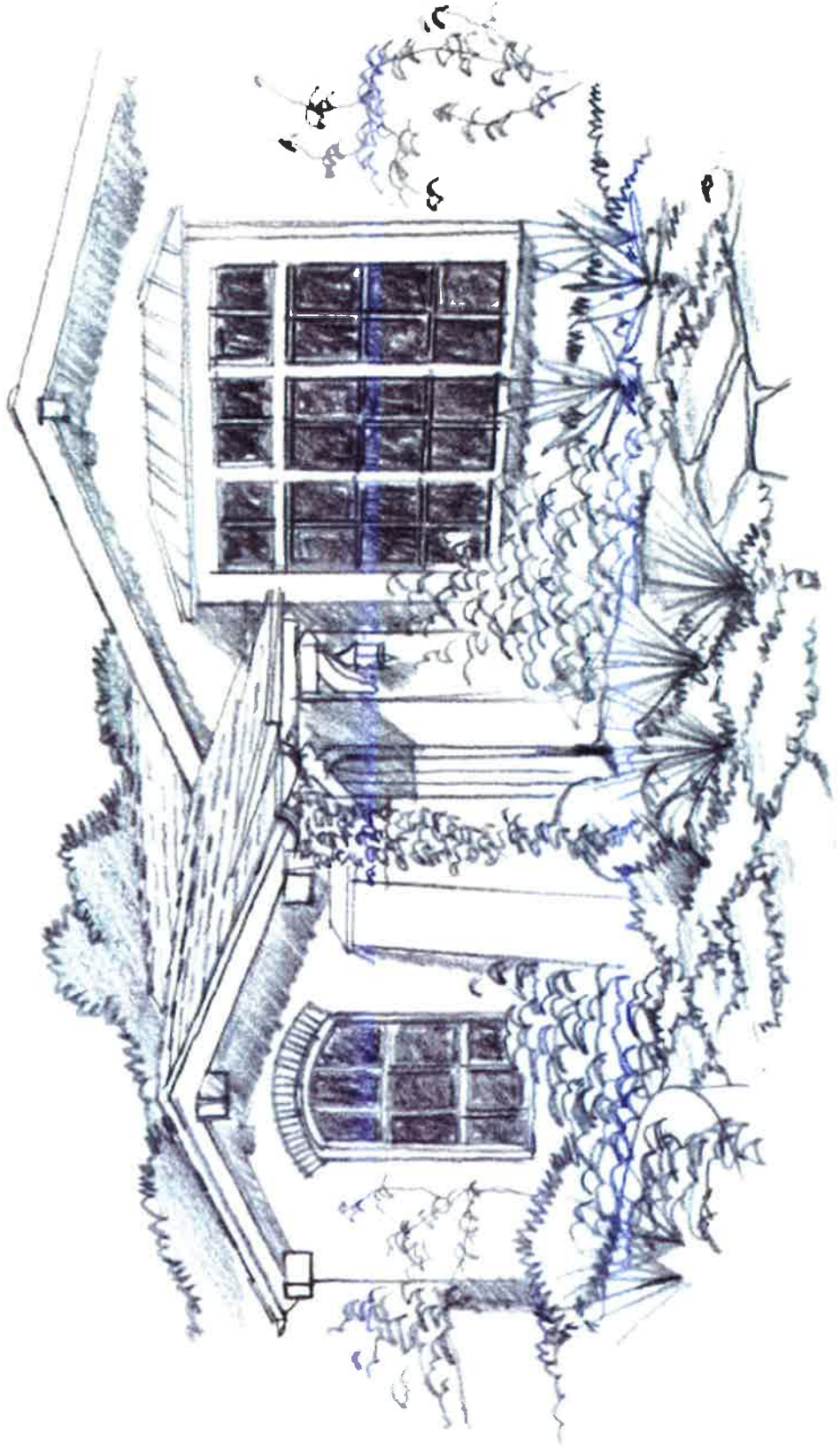
Style Elements	Minimum Elements (All Required on All Homes)	Enhanced Elements ^{1,2} (Minimum of 3 Required on All Homes)
Form	<ul style="list-style-type: none"> One, one-and-a-half (with strong one-story element and stepped back second story), or full two-story massing. (The form is not rigidly defined; this style can be applied to a wide variety of asymmetrical building mass configurations.) Roof form is predominately pitched, hipped or gabled, but may also be parapeted. 	<ul style="list-style-type: none"> Massive chimney with buttressed form and elaborate cap with arched opening and small tiled roof. Massive battered (tapered) chimney with finial chimney cap. Recessed arcade along front elevation. Arcaded wing wall. Balconies.
Roof	<ul style="list-style-type: none"> Low pitched roof (3:12 to 5:12). Simple flat, hip, or gable roof with one intersecting gable roof. Overhangs are typically tight, but can be up to 18". Fascia is either tight to the building (6" max) or nonexistent with rake tile providing the transition from wall to roof. S-shaped concrete tiles. Thin eaves with either a half-round or egee gutter. 	<ul style="list-style-type: none"> "Boosted" or raised tiles (may be all or a percentage of the roof field). Applied shed roof elements over windows. Exposed rafter tails.
Walls	<ul style="list-style-type: none"> Stucco is the dominant exterior finish. 	<ul style="list-style-type: none"> Overgrouted stone, brick, or adobe expressed as a single massing element.
Windows & Doors	<ul style="list-style-type: none"> Feature recessed arched picture window or three grouped arched windows. Vertical multi-paned windows or inserts at front elevations. Window head and jamb trim is absent. Modest (4" max) window sill trim. 	<ul style="list-style-type: none"> Accent beveled glass recessed window. Single or grouped arched windows. Decorative precast concrete door and window surrounds. Heavy wood head trim at windows. Thickened walls. Juliet balconies. Bermuda shutters.
Details	<ul style="list-style-type: none"> Masonry vents. Canales. 	<ul style="list-style-type: none"> Shaped rafter tails at feature areas. Wrought iron balconies and accent details. Arched stucco column porches. Vibrant and colorful glazed Spanish tile accents.

1. An additional 2 enhancements required on visible lots shown on Figure 4.1 for a total of 5 Enhanced Elements.
2. An additional 3 enhancements required on corner visible lots shown on Figure 4.1 for a total of 6 Enhanced Elements.

THE CALIFORNIA COTTAGE

The California Cottage introduces a quaint and picturesque element to the eclectic Russell Ranch streetscape. The Cottage typically has a steeply pitched roof, with the principal roof being side gabled, and multiple asymmetric cross gables. The Cottage is a popular style throughout historic California neighborhoods, with French and English European influences.

Homes may have applied half-timbering, and may feature face brick, which can be painted. Gabled dormers are common, with only modest eave extension. Details such as eyebrow dormers, bell-cast eaves, and arched windows add charm and whimsy to the storybook architectural style. Windows tend to be vertically oriented, and often with casements, and often with square gridded or diamond-pane leaded muntins. Cottage houses generally have prominent chimneys.



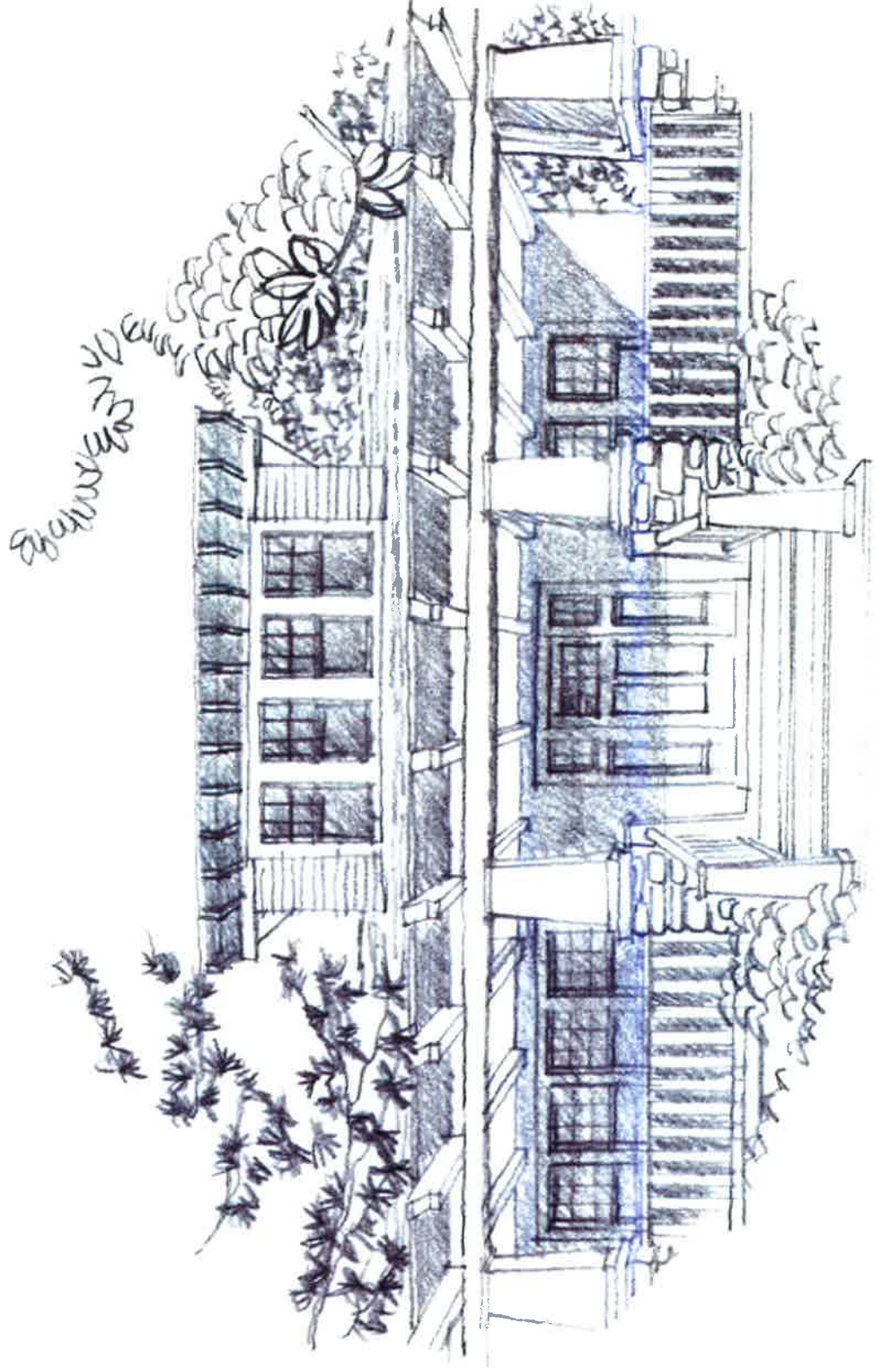
Style Elements	Minimum Elements (All Required on All Homes)	Enhanced Elements ^{1, 2} (Minimum of 3 Required on All Homes)
Form	<ul style="list-style-type: none"> • One, one-and-a-half, or full two-story massing. • Asymmetrical massing and proportions. • Gable roof form (either front-to-back, side-to-side, or cross-gable). 	<ul style="list-style-type: none"> • Single eyebrow dormer. • Multiple (two or three) gable dormers. • Massive chimney, usually integrated with the dominant gable.
Roof	<ul style="list-style-type: none"> • Low pitched main roof (3:12 to 6:12). • Asphalt composition shingles preferred, concrete tile allowed with raised bargeboard. • Rake at gables up to 12". 	<ul style="list-style-type: none"> • Steeply pitched accent gable (6:12 to 9:12). • Standing seam metal accent roof at dormers or bay windows. • Up to 16" eaves.
Walls	<ul style="list-style-type: none"> • Stucco, lap siding, masonry/brick, stone, or any combination thereof. 	<ul style="list-style-type: none"> • Smooth or imperfect smooth stucco. • Stone or brick wainscot. • Horizontal siding accents at gables and single massing elements. • Masonry as an entire massing element (e.g., chimney, gable end, etc.) • Painted brick.
Windows & Doors	<ul style="list-style-type: none"> • Divided lights common on all windows. • Vertical windows in groupings of two and three. • Head and sill window trim or full window surrounds. • Entry doors accented by trim surrounds. 	<ul style="list-style-type: none"> • Front elevation with all windows inset 2" or one feature window recessed 12". • Round accent window or arched accent window flanked with arched shutters. • Soft arch or radius top windows. • Casement windows. • Mull window groupings. • Arched entry door. • Brick or stone window and/or door surrounds at key locations. • Bay window. • Deep recessed entry door.
Details	<ul style="list-style-type: none"> • Shutters 	<ul style="list-style-type: none"> • Exposed accent wood timbers and beams. • Cast concrete door surrounds, window trim accents, and/or lentils. • Balcony or windows with decorative metal railings and French doors. • Recessed gable vents. • Leader heads at downspouts. • Brick window and/or door headers at key locations.

1. An additional 2 enhancements required on visible lots shown on Figure 4.1 for a total of 5 Enhanced Elements.
2. An additional 3 enhancements required on corner visible lots shown on Figure 4.1 for a total of 6 Enhanced Elements.

THE TRANSITIONAL BUNGALOW

The Craftsman bungalow was the first truly American vernacular style and became a very popular and beloved addition to historic California streetscapes. The Craftsman plan form broke with earlier formal Victorian spatial arrangements and changed the way that families lived in and related to their houses.

Russell Ranch's Transitional Bungalow reinterprets the traditional Craftsman style through a reduction in ornamentation and delicacy, bold material placement emphasizing major architectural elements, and prominent strong architectural forms. Focused on the blending of structure with nature, window walls and clerestory forms effectively bring the outdoors in to the home.



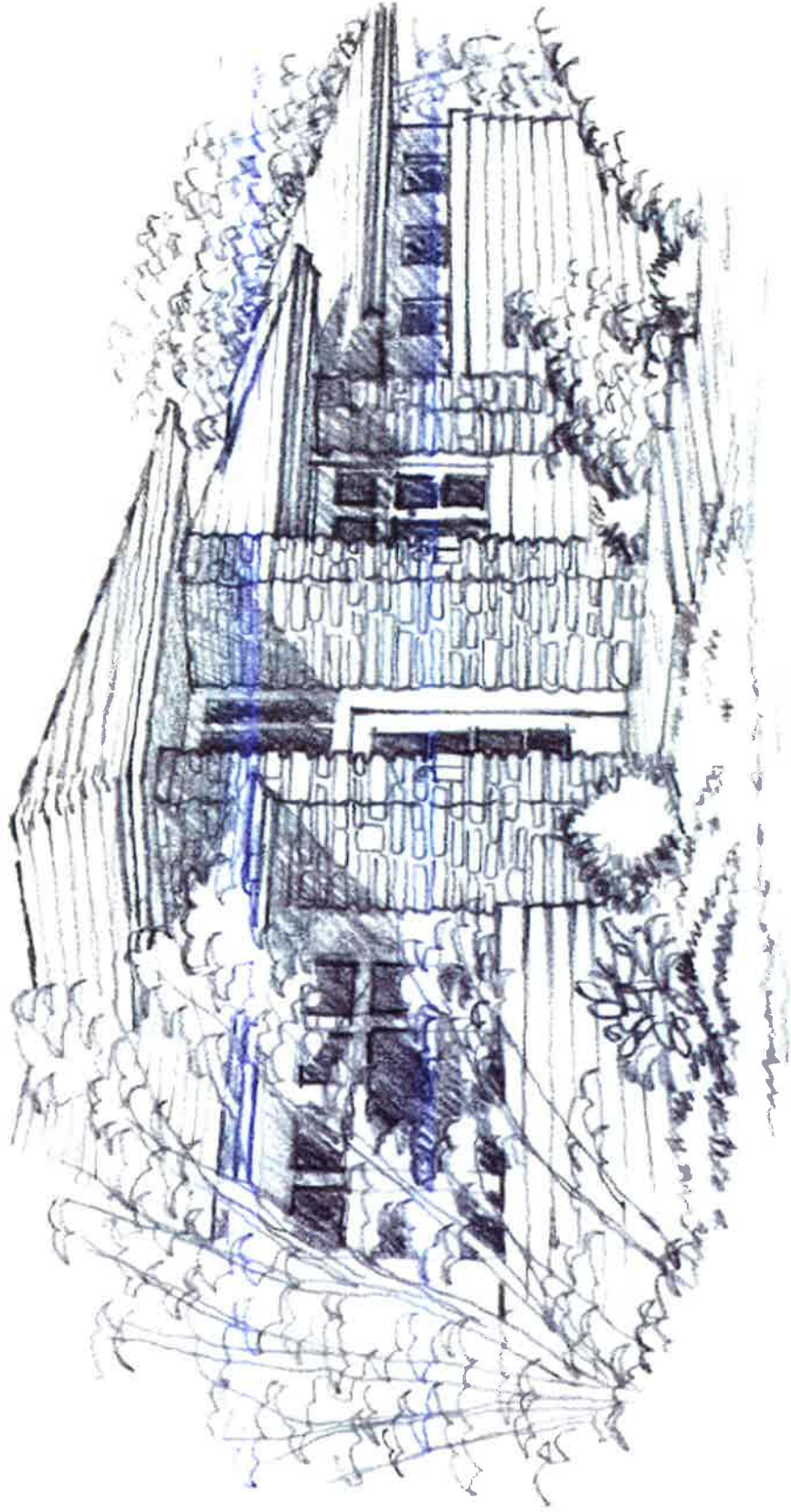
Style Elements	Minimum Elements (All Required on All Homes)	Enhanced Elements ^{1,2} (Minimum of 3 Required on All Homes)
Form	<ul style="list-style-type: none"> Simple massing, front or side gabled, typically one- to one-and-a-half-story massing. Symmetrical or asymmetrical form. Deep front entry porch. Stylized column and beam detailing at porches 	<ul style="list-style-type: none"> Cross-gabled massing. Two stories with a combination of one and two-story elements. 6' minimum full width, deep porch at entry.
Roof	<ul style="list-style-type: none"> Low-pitched roofs with large over-hanging eaves, emphasizing horizontal planes. 4:12 to 6:12 roof pitch. 12" to 18" overhangs. Asphalt composition shingles 	<ul style="list-style-type: none"> Concrete roof tile with raised bargeboard. Varied porch roofs; shed or gabled. Metal roof at porch (standing seam or corrugated). Cascading (multiple) gables. Single large shed dormer. 18" to 36" overhangs. Extended and shaped barge rafters. Exposed rafter tails at eaves.
Walls	<ul style="list-style-type: none"> Exterior wall materials with combinations of materials, such as wood shingles, horizontal siding, board and batten, and stucco. 	<ul style="list-style-type: none"> Brick chimneys. Battered (tapered) stone foundation or wainscot. Foundation or wainscot using brick.
Windows & Doors	<ul style="list-style-type: none"> Single hung windows at front elevations. Use windows individually or in groups (typically two or three). Doors with full surrounds. Windows with full surrounds and a projected sill/apron. 	<ul style="list-style-type: none"> Casement windows. Three or more windows in a "ribbon." Grouped windows with a high transom. Large feature picture window flanked by two narrow vertical windows. Wide wood entry door with integrated glass. Wood door and window surrounds.
Details	<ul style="list-style-type: none"> Entry porches with columns resting on larger piers or bases. Porch rails of repeated vertical elements. 	<ul style="list-style-type: none"> Entry porch columns consisting of single or multiple wood posts with rectangular or battered brick or stone piers or bases. Wood brackets or knee braces. Porch rails comprised of decoratively cut boards that create a horizontal pattern. Typical downspouts replaced with "rain chains" or round metal downspouts. Open eave overhangs with plumb or square cut rafter tails. Exposed square cut ridge beams, outlookers, and purlins. Porte-cochère, pergola, or trellis that continues, or is integrated with, the front porch.

1. An additional 2 enhancements required on visible lots shown on Figure 4.1 for a total of 5 Enhanced Elements.
 2. An additional 3 enhancements required on corner visible lots shown on Figure 4.1 for a total of 6 Enhanced Elements.

THE CALIFORNIA PRAIRIE

The Prairie style was borne of the Chicago Prairie School movement. The style is organic in nature, integrated with the land, using natural materials and abstracted nature forms. The Prairie emphasizes the integration of indoor and outdoor spaces with its trademark wide overhangs, appropriate for the regional climate, identifying the style. Although not as prevalent in the area as the Craftsman style, Prairie homes are very distinctive and add a strong horizontal presence to the community.

The California Prairie at Russell Ranch is a slightly abstracted version of the traditional Prairie style with simplicity in form and detail. A commitment to strong orthogonal forms and linear arrangements tie the California Prairie to its Midwestern roots.



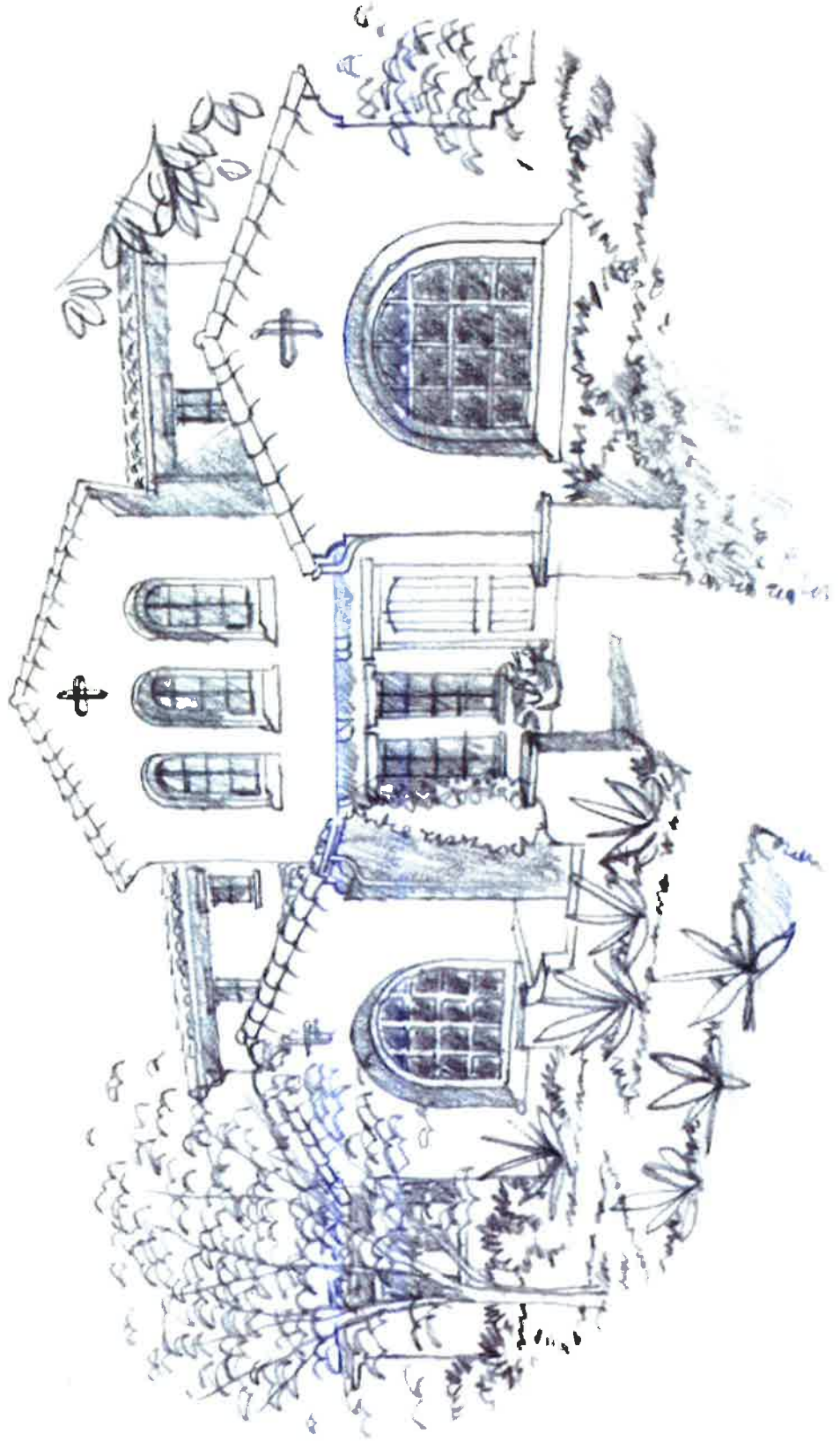
Style Elements	Minimum Elements (All Required on All Homes)	Enhanced Elements ^{1, 2} (Minimum of 3 Required on All Homes)
Form	<ul style="list-style-type: none"> • One or two-story with strongly horizontal massing. • Secondary masses perpendicular to the primary forms. 	<ul style="list-style-type: none"> • Porte-cocheres (where applicable) and raised porches extending out from the entry of the home. • Accentuated horizontal base extending out as a site or planter wall.
Roof	<ul style="list-style-type: none"> • Long, horizontal low-pitched hip roofs with large over-hanging eaves, emphasizing horizontal planes (3.5:12 to 4:12 roof pitch). • 36" minimum overhangs. • Gable roof forms are also appropriate. • Flat concrete tile with a shingle appearance or asphalt composition shingles. 	<ul style="list-style-type: none"> • Terraces covered by primary roof form with massive rectilinear stone piers for roof support. • 12" - 18" overhangs
Walls	<ul style="list-style-type: none"> • Stucco in combination with ledge stone or masonry wainscot base. • Ledge stone used as post bases and fireplaces only. 	<ul style="list-style-type: none"> • Extensive use of brick or ledge stone, used to emphasize the horizontal planes, with struck horizontal grout joints. • Cement plank lap siding is found in some examples.
Windows & Doors	<ul style="list-style-type: none"> • Square or rectangular windows • Grouping and arrangement of windows should emphasize the geometry of the elevation. • Ribbons of windows under deep roof overhangs. • Wood window and door trim. 	<ul style="list-style-type: none"> • Clerestory windows. • Leaded glass inserts at entry. • Accent colored window frames. • Style-specific divided lights
Details	<ul style="list-style-type: none"> • Ornamental railings and gates. • Wood beams and brackets. 	<ul style="list-style-type: none"> • Metal or wood fascia. • Carpenter detailing³. • Style-specific unique lighting fixtures. • Low garden walls to enclose and frame outdoor living spaces. • Massive chimney forms, wrapped in stone or brick.

1. An additional 2 enhancements required on visible lots shown on Figure 4.1 for a total of 5 Enhanced Elements.
2. An additional 3 enhancements required on corner visible lots shown on Figure 4.1 for a total of 6 Enhanced Elements.
3. Wood trim details (e.g., at doors, windows, eaves, terraces and pergola style porte-cocheres).

THE SPANISH COLONIAL REVIVAL

The 1915 Panama-California Exposition, designed by Spanish Colonial architecture expert Bertram Grosvenor Goodhue, ended the precedent of free adaptations of the Mission style and brought the emergence of precise imitations of more elaborate Spanish prototypes. Goodhue wanted to go beyond the then prevalent Mission interpretations and emphasize the richness of Spanish precedents found throughout Latin America. Fashionable architects of the time began to look directly to Spain for source material, finding a long and rich sequence of architectural traditions, which became melded into a style that became the Spanish Colonial Revival.

The Spanish Colonial Revival introduces a more formal and symmetrical counterpart to the playful Spanish Eclectic style, adding diversity to the Russell Ranch streetscape.



Style Elements	Minimum Elements (All Required on All Homes)	Enhanced Elements ^{1, 2} (Minimum of 3 Required on All Homes)
Form	<ul style="list-style-type: none"> • One, one-and-a-half (with strong one-story elements), or full two-story massing. • Roof form is predominantly pitched, hipped or gabled, but may also have a parapeted accent, which may be shaped in a traditional mission form. • Primarily symmetrical form. 	<ul style="list-style-type: none"> • Massive chimney with buttressed form and elaborate cap with arched opening and small tiled roof. • Massive battered (tapered) chimney with finial chimney cap. • Recessed arcade along front elevation. • Arcaded wing wall. • Balconies. • Cantilevered second story elements with brackets.
Roof	<ul style="list-style-type: none"> • Low pitched roof (3:12 to 5:12). • Overhangs are typically tight, but can be up to 18". • Fascia is either tight to the building (6" max) or nonexistent with rake tile providing the transition from wall to roof. • S-shaped concrete tiles. • Thin eaves with either a half-round or ogee gutter. 	<ul style="list-style-type: none"> • "Boasted" or raised tiles (may be all or a percentage of the roof field). • Exposed rafter tails.
Walls	<ul style="list-style-type: none"> • Stucco is the dominant exterior finish. 	
Windows & Doors	<ul style="list-style-type: none"> • Feature recessed arched picture windows or three grouped arched windows. • Vertical multi-paned windows or inserts at front elevations. • Window head and jamb trim is absent. • Modest (4" max) window sill trim. • Oversized wood entry door. 	<ul style="list-style-type: none"> • Multiple feature recessed arched windows. • Accent beveled glass recessed window. • Single or grouped arched windows. • Decorative precast concrete door and window surrounds. • Heavy wood head trim at windows. • Thickened walls. • Juliet balconies. • Bermuda shutters.
Details	<ul style="list-style-type: none"> • Masonry vents. • Canales. 	<ul style="list-style-type: none"> • Scalloped eaves. • Shaped rafter tails at feature areas. • Wrought iron balconies and accent details. • Arched stucco column porches. • Vibrant and colorful glazed Spanish tile accents.

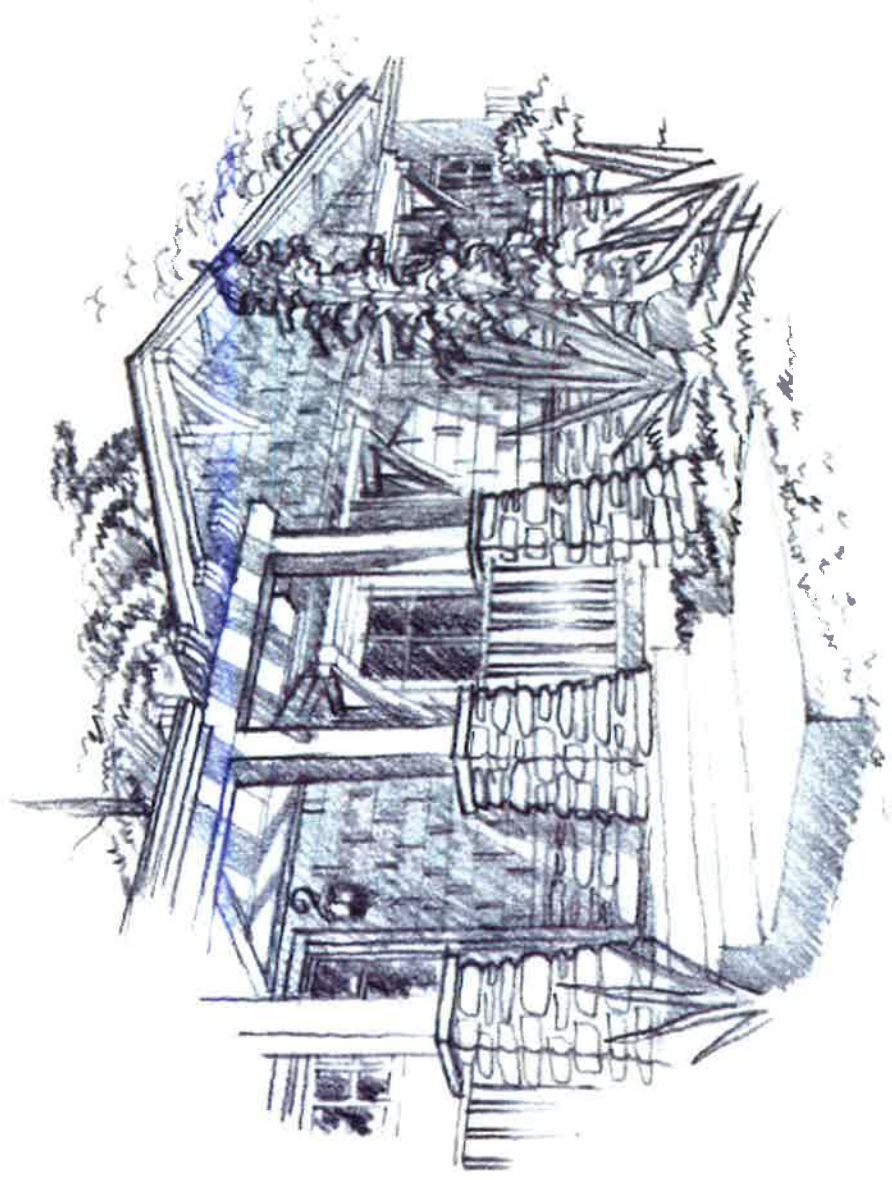
1. An additional 2 enhancements required on visible lots shown on Figure 4.1 for a total of 5 Enhanced Elements.
2. An additional 3 enhancements required on corner visible lots shown on Figure 4.1 for a total of 6 Enhanced Elements.

THE CALIFORNIA CRAFTSMAN

The Craftsman bungalow was an enormously influential form and style of architecture in America between 1906 and 1918, the first truly American vernacular style. The Craftsman plan form broke with earlier formal Victorian spatial arrangements and changed the way that families lived in and related to their houses.

Architecturally, the Craftsman bungalow was designed to achieve harmony between the house and its landscape, to get as close as possible to nature. A Craftsman bungalow has many of the hallmarks of the Arts and Crafts aesthetic: clinker brick, carved rafter tails, a mixture of cladding (brick, clapboard, tile, and shingle), and oversized eave brackets painted in colors of nature.

The California Craftsman recalls the comfortable and welcoming nature of the much-loved historic Craftsman bungalows with a uniquely California flair with large windows and an emphasis on the blending of indoor and outdoor spaces. These homes reflect a sense of permanence that only artisanship and careful design can convey.



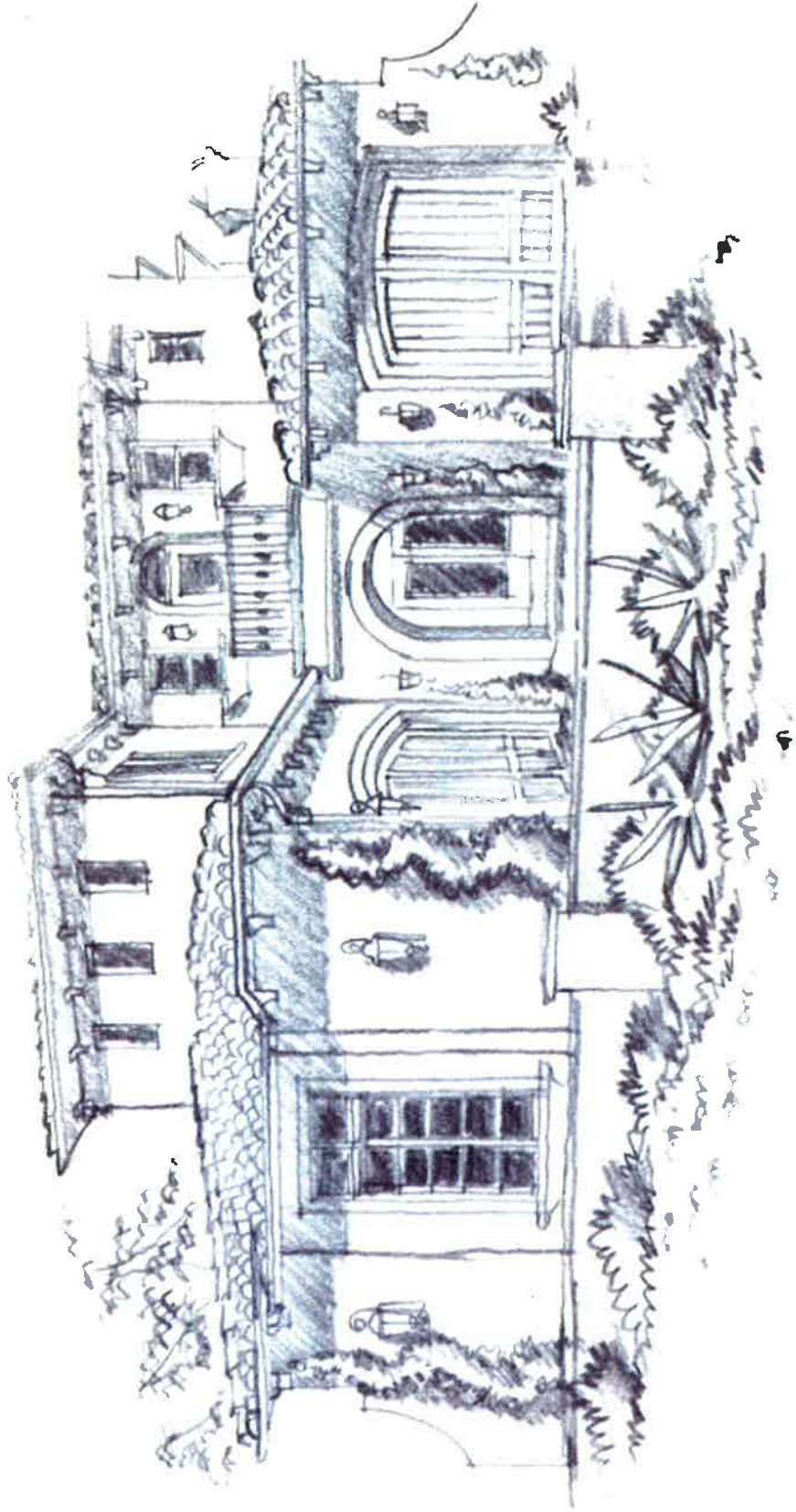
Style Elements	Minimum Elements (All Required on All Homes)	Enhanced Elements ^{1, 2} (Minimum of 3 Required on All Homes)
Form	<ul style="list-style-type: none"> Simple massing, front or side gabled, typically one- to one-and-a-half-story massing. Symmetrical or asymmetrical form. 6' minimum deep front entry porch. Stylized column and beam detailing at porches 	<ul style="list-style-type: none"> Cross-gabled massing. Two stories with a combination of one and two-story elements. Full width, deep porch at entry.
Roof	<ul style="list-style-type: none"> Low-pitched roofs with large over-hanging eaves, emphasizing horizontal planes. 4:12 to 6:12 roof pitch. 12" to 18" overhangs. Asphalt composition shingles preferred. 	<ul style="list-style-type: none"> Concrete roof tile with raised bargeboard. Varied porch roofs; shed or gabled. Cascading (multiple) gables. Roof dormers (shed or gable form). 18" to 36" overhangs. Extended and shaped barge rafters. Exposed rafter tails at eaves.
Walls	<ul style="list-style-type: none"> Exterior wall materials with combinations of materials, such as wood shingles, horizontal siding, board and batten, and stucco. 	<ul style="list-style-type: none"> Stone, brick or combination chimneys. Eliminate stucco as a wall treatment. Foundation or wainscot using brick, stone, or a combination. Battered (tapered) stone foundation or wainscot.
Windows & Doors	<ul style="list-style-type: none"> Single hung windows at front elevations. Use windows individually or in groups (typically two or three). Doors with full surrounds. Windows with full surrounds and a projected sill/apron. 	<ul style="list-style-type: none"> Casement windows. Divided light windows. Three or more windows in a "ribbon." Grouped windows with a high transom. Wide wood entry door with integrated glass. Wood door and window surrounds.
Details	<ul style="list-style-type: none"> Entry porches with columns resting on larger piers or bases. Porch rails of repeated vertical elements. 	<ul style="list-style-type: none"> Wood brackets or knee braces. Entry porch columns consisting of single or multiple wood posts with rectangular or battered brick or stone piers or bases. Porch rails comprised of decoratively cut boards that create a pattern. Additional "stick-work" in gable ends. Typical downsputs replaced with "rain chains." Open eave overhangs with shaped rafter tails. Decorative ridge beams, outlookers, and purlins. Porte-cochère, pergola, or trellis that continues, or is integrated with, the front porch.

1. An additional 2 enhancements required on visible lots shown on Figure 4.1 for a total of 5 Enhanced Elements.
2. An additional 3 enhancements required on corner visible lots shown on Figure 4.1 for a total of 6 Enhanced Elements.

THE CALIFORNIA VILLA

The Villa pays homage to Italian Renaissance architecture while introducing elements of California style. Simple, symmetrical, unornamented facades with decorative elements focused to high-visibility areas, such as doors and windows. Small details concentrated in high impact locations work to create a highly ordered style with classical elegance and restrained formality.

Being more formal and vertical in nature, the Villa adds an attractive contrast to some of the casual and eclectic styles within the neighborhood.



Style Elements	Minimum Elements (All Required on All Homes)	Enhanced Elements ^{1,2} (Minimum of 3 Required on All Homes)
Form	<ul style="list-style-type: none"> • Two-story form. • Simple hipped roof with a flat, symmetrical facade. 	<ul style="list-style-type: none"> • Full-width loggia with a formal and elegantly detailed colonnade.
Roof	<ul style="list-style-type: none"> • Low pitched roof (4:12 to 5:12). • Simple hipped roof. • Broadly overhanging (24" min) boxed eaves. • Barrel or S-shaped concrete tiles. 	<ul style="list-style-type: none"> • Decorative brackets of eaves. • Hipped roof with single-story projecting wings (i.e., porte-cochere or surround). • Decorative frieze.
Walls	<ul style="list-style-type: none"> • Stucco is the dominant exterior finish. 	<ul style="list-style-type: none"> • Yellow brick walls. • Horizontal rusticated base of stone or masonry.
Windows & Doors	<ul style="list-style-type: none"> • Formal window arrangement across full facade. • Symmetrical placement of windows. • Smaller windows on upper floors. • Classical door surrounds. 	<ul style="list-style-type: none"> • Full-length first-story windows with arches above. • Palladian window arrangements. • Precast concrete door and window surrounds. • Pedimented door surround with columns. • Arched entry door. • Pedimented windows.
Details	<ul style="list-style-type: none"> • Belt-course to accent second floor plate or window sills. 	<ul style="list-style-type: none"> • Roof-line balustrades. • Molded cornices. • Bracketed window cornices. • Molded precast concrete belt-course to accent second floor plate or window sills. • Shutters (louvered).

1. An additional 2 enhancements required on visible lots shown on Figure 4.1 for a total of 5 Enhanced Elements.
2. An additional 3 enhancements required on corner visible lots shown on Figure 4.1 for a total of 6 Enhanced Elements.

4.5 ACTIVE ADULT

Russell Ranch will feature an active adult neighborhood within the community for residents seeking a living experience designed specifically for residents 55 and better. The active adult neighborhood will feature a private, gated entrance, its own private clubhouse amenity and will share access to the Russell Ranch trail system.

The Active Adult neighborhood will comply with the SFHD guidelines set forth in the Architecture section of this document.

4.6 THE TOWNHOMES

The Townhomes provide an opportunity to create an eclectic urban micro-neighborhood environment within Russell Ranch and there are certain defining elements that the Townhomes must exhibit. When designing townhomes, which are typically distinguished as being narrow in nature, the quantity, scale, and placement of architectural detail must be judicious to not overwhelm the scale of the building.

- The architectural style must be selected from the permitted architectural styles described in this chapter.
- To avoid dominant unbroken planes and create shadow lines, The Townhomes must provide vertical articulation at the front elevation.
- Varied setbacks for different portions of the home, such as garages, second floors, balconies, etc., are encouraged.
- Massing of forms must be established using the fundamental characteristics of the selected architectural style.

- Contemporary interpretations of the architectural styles permitted for The Townhomes are encouraged through the use of eclectic materials, such as metals (must be anti-reflective) and variations on traditional siding, asymmetrical roof pitches, and playful massing and use of color.



Townhome Concept Imagery

4.7 THE RECREATION CENTER

Russell Ranch will feature two recreation centers: one for the multigenerational portion of the neighborhood and one for the active adult portion of the neighborhood. The recreation centers will provide an opportunity for residents of the neighborhood to gather and enjoy a beautiful indoor-outdoor environment. The Recreation Centers will feature architecture that blends historic with contemporary to create a truly iconic neighborhood building that residents and visitors alike will admire. The design intent is to convey the impression of an historic structure with a contemporary addition.

The following defining characteristics are intended as a kit of parts and set of rules to influence the design of the Recreation Centers. A combination of these elements should be used to inform the design of the building (all of the elements are not required).

- Casual, asymmetrical form with a combination of gable and shed roof forms.

- o Overgrouted stone as a significant wall material, utilized to present full massing elements. For example, an entire central mass of the structure may feature stone, with wings of a complementary material, such as stucco. This design solution gives the appearance of an original structure with wings added on over time.
- o A clerestory roof form in the central portion of the structure is appropriate.
- o Wall materials may be overgrouted stone or brick, smooth or imperfect smooth stucco or plaster, and glass.
- o Accent materials include heavy beams, rusted metal, wrought iron, copper, and precast concrete.
- o The primary roof should be barrel or S-tile, which may be boosted.
- o The contemporary portion of the building may feature a metal standing seam roof.
- o Rain chains should be used in place of traditional downspouts.
- o Windows may be recessed and void of trim, or feature full window surrounds, which may be precast concrete or wood.
- o Arched windows are appropriate as feature or accent windows.
- o Exposed beams and structural connections should be celebrated as part of the design statement.
- o Site structures, such as restrooms, cabanas, pool equipment rooms, and trash enclosures must complement the design of the primary structure.
- o Mechanical and pool equipment must be screened from sight through integrated walls, landscaping, or a combination of both.



Recreation Center Concept Imagery



4.8 THE SCHOOL

Although it is recognized that school architecture is governed by functionality and a specialized kit of parts and set of rules, the elementary school located at Russell Ranch is encouraged to complement the surrounding neighborhood in its design. The following recommendations are encouraged for consideration in design of the school:

- The school is encouraged to draw inspiration from the approved architectural styles found in these Guidelines.
- A simplified interpretation of the selected architectural style is appropriate.
- Earth tone colors are encouraged in rich hues.
- Recommended wall materials include stucco, brick, horizontal siding, and board and batten siding.
- Standing seam metal is the recommended material for the roof in dark earth tone colors.



School Concept Imagery