

CITY OF  
**FOLSOM**  
DISTINCTIVE BY NATURE

**PLANNING COMMISSION AGENDA**  
**December 5, 2018**  
**CITY COUNCIL CHAMBERS**  
**6:30 p.m.**  
**50 Natoma Street**  
**Folsom, California 95630**

**CALL TO ORDER PLANNING COMMISSION:** Kevin Duewel, Jennifer Lane, Kevin Mallory, Ross Jackson, Aaron Ralls, Vice Chair John Arnaz, Chair Justin Raithel

*Any documents produced by the City and distributed to the Planning Commission regarding any item on this agenda will be made available at the Community Development Counter at City Hall located at 50 Natoma Street, Folsom, California and at the table to the left as you enter the Council Chambers. The meeting is available to view via webcast on the City's website the day after the meeting.*

**PLEDGE OF ALLEGIANCE**

**CITIZEN COMMUNICATION:** The Planning Commission welcomes and encourages participation in City Planning Commission meetings, and will allow up to five minutes for expression on a non-agenda item. Matters under the jurisdiction of the Commission, and not on the posted agenda, may be addressed by the general public; however, California law prohibits the Commission from taking action on any matter which is not on the posted agenda unless it is determined to be an emergency by the Commission.

**MINUTES**

The minutes of November 7, 2018 will be presented for approval.

**NEW BUSINESS**

**1. PN 18-347 Russell Ranch Clubhouse Design Review**

A Public Hearing to consider a request from The New Home Company for Design Review approval for six structures: a 2,505 square-foot, single-story clubhouse as well as a 2,858 square foot pool house, a 196 square-foot bar pavilion, and three shade structures totaling 1,500 square-feet; located on a 3.4 acre lot in the northeast area of Phase 1 of the previously approved Russell Ranch Subdivision project. The zoning classification for the site is SP, the General Plan land-use designation is P, and the Folsom Plan Area Specific Plan Land-Use designation for the site is P. An Environmental Impact Report has previously been certified for the Russell Ranch Subdivision project on May 15, 2015 by the City Council in accordance with the requirements of the California Environmental Quality Act (CEQA) Guidelines. **(Project Planner: Principal Planner, Desmond Parrington / Applicant: The New Home Company)**

**2. PN 18-363, Iron Horse Tavern Commercial Design Review and Determination that the Project is Exempt from CEQA**

A Public Hearing to consider a request from HMR Architects for Commercial Design Review approval for development of a 6,171-square-foot, single-story restaurant pad building (Building 100) on an undeveloped .26-acre parcel within the Palladio at Broadstone Shopping Center located at 100 Palladio Parkway. The zoning classification for the site is C-3 PD and the General Plan land-use designation is RCC. The project is categorically exempt under Section 15303 New Construction or Conversion of Small Structures of the California Environmental Quality Act (CEQA) Guidelines. **(Project Planner: Principal Planner, Steve Banks / Applicant: HMR Architects)**

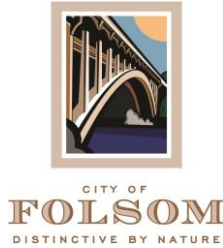
**PLANNING COMMISSION / PLANNING MANAGER REPORT**

The next Planning Commission meeting is scheduled for **December 19, 2018**. Additional non-public hearing items may be added to the agenda; any such additions will be posted on the bulletin board in the foyer at City Hall at least 72 hours prior to the meeting. Persons having questions on any of these items can visit the Community Development Department during normal business hours (8:00 a.m. to 5:00 p.m.) at City Hall, 2<sup>nd</sup> Floor, 50 Natoma Street, Folsom, California, prior to the meeting. The phone number is (916) 461-6203 and FAX number is (916) 355-7274.

In compliance with the Americans with Disabilities Act, if you are a disabled person and you need a disability-related modification or accommodation to participate in the meeting, please contact the Community Development Department at (916) 461-6203, (916) 355-7274 (fax) or [kmullett@folsom.ca.us](mailto:kmullett@folsom.ca.us). Requests must be made as early as possible and at least two-full business days before the start of the meeting.

**NOTICE REGARDING CHALLENGES TO DECISIONS**

The appeal period for Planning Commission Action: Any appeal of a Planning Commission action must be filed, in writing with the City Clerk's Office no later than ten (10) days from the date of the action pursuant to Resolution No. 8081. Pursuant to all applicable laws and regulations, including without limitation, California Government Code Section 65009 and or California Public Resources Code Section 21177, if you wish to challenge in court any of the above decisions (regarding planning, zoning and/or environmental decisions), you may be limited to raising only those issues you or someone else raised at the public hearing(s) described in this notice/agenda, or in written correspondence delivered to the City at, or prior to, the public hearing



**PLANNING COMMISSION MINUTES**  
**November 7, 2018**  
**CITY COUNCIL CHAMBERS**  
**6:30 P.M.**  
**50 Natoma Street**  
**Folsom, CA 95630**

**CALL TO ORDER PLANNING COMMISSION:** Jennifer Lane, Kevin Mallory, Ross Jackson, Aaron Ralls, Vice Chair John Arnaz, Kevin Duewel, Chair Justin Raithel

**ABSENT:** None

**CITIZEN COMMUNICATION:** None

**MINUTES:** The minutes of October 17, 2018 were approved as submitted.

**NEW BUSINESS**

**1. PN 18-348, Russell Ranch Phase 1, Villages 6 and 8 Residential Design Review**

A Public Hearing to consider a request from The New Home Company for Residential Design Review approval for 95 single-family residential units located on two sites within Phase 1, Villages 6 and 8 of the Russell Ranch Subdivision generally located east of Placerville Road and north of Grand Prairie Road. The zoning classification for the site is SFHD PD (FPASP) and the General Plan land-use designation is SFHD. An Environmental Impact Report has previously been certified for the Russell Ranch Subdivision project on May 15, 2015 by the City Council in accordance with the requirements of the California Environmental Quality Act (CEQA) Guidelines. **(Project Planner: Principal Planner, Steve Banks / Applicant: The New Home Company)**

COMMISSIONER JACKSON MOVED TO APPROVE THE DESIGN REVIEW APPLICATION FOR 95 SINGLE-FAMILY RESIDENTIAL UNITS AS ILLUSTRATED ON ATTACHMENTS 2 THROUGH 6 FOR THE RUSSELL RANCH PHASE 1, VILLAGES 6 AND 8 SUBDIVISION PROJECT WITH THE FOLLOWING FINDINGS: GENERAL FINDINGS A & B, CEQA FINDINGS C-E, DESIGN REVIEW FINDINGS F-H, AND CONDITIONS OF APPROVAL NO. 1-13.

COMMISSIONER DUEWEL SECONDED THE MOTION, WHICH CARRIED THE FOLLOWING VOTE:

AYES: LANE, MALLORY, JACKSON, ARNAZ, DUEWEL, RAITHEL  
NOES: NONE  
ABSTAIN: RALLS  
ABSENT: NONE

**2. PN 18-349, Russell Ranch Phase 1, Villages 3, 5, and 7 Residential Design Review**

A Public Hearing to consider a request from The New Home Company for Residential Design Review approval for 108 single-family residential units located on three sites within Phase 1, Villages 3, 5, and 7 of the Russell Ranch Subdivision generally located east of Placerville Road and north of Grand Prairie Road. The zoning classification for the site is SF PD and SFHD PD (FPASP) and the General Plan land-use designation is SF and SFHD. An Environmental Impact Report has previously been certified for the Russell Ranch Subdivision project on May 15, 2015 by the City Council in accordance with the requirements of the California Environmental Quality Act (CEQA) Guidelines. **(Project Planner: Principal Planner, Steve Banks / Applicant: The New Home Company)**

COMMISSIONER JACKSON MOVED TO APPROVE THE DESIGN REVIEW APPLICATION FOR 108 SINGLE-FAMILY RESIDENTIAL UNITS AS ILLUSTRATED ON ATTACHMENTS 2 THROUGH 6 FOR THE RUSSELL RANCH PHASE 1, VILLAGES 3, 5, AND 7 SUBDIVISION PROJECT WITH THE FOLLOWING FINDINGS: GENERAL FINDINGS A & B, CEQA FINDINGS C-E, DESIGN REVIEW FINDINGS F-H, AND CONDITIONS OF APPROVAL NO. 1-13.

COMMISSIONER DUEWEL SECONDED THE MOTION, WHICH CARRIED THE FOLLOWING VOTE:

AYES: LANE, MALLORY, JACKSON, ARNAZ, DUEWEL, RAITHEL  
NOES: NONE  
ABSTAIN: RALLS  
ABSENT: NONE

**3. PN 18-179, The Shops at Folsom Ranch – Vesting Tentative Parcel Map and Planned Development Permit and Determination that the Project is Exempt from CEQA**

A Public Hearing to consider a request from TK Consulting Inc. for approval of a Vesting Tentative Parcel Map and Planned Development Permit for development of a 27,900-square-foot commercial shopping center on a 5.9-acre site located at the southwest corner of the intersection of East Bidwell Street and Alder Creek Parkway within the Folsom Plan Area. The zoning classification for the site is SP-GC-PD and the General Plan land-use designation is GC. The project qualifies for the exemption and streamlined environmental review authorized by Public Resources Code section 21083.3 and CEQA Guidelines section 15183. **(Project Planner: Principal Planner, Steve Banks / Applicant: TK Consulting Inc.)**

COMMISSIONER ARNAZ MOVED TO APPROVE A VESTING TENTATIVE PARCEL MAP CREATING FIVE (5) INDIVIDUAL PARCELS AS ILLUSTRATED IN ATTACHMENT 2 FOR THE SHOPS AT FOLSOM RANCH PROJECT; AND MOVED TO APPROVE A PLANNED DEVELOPMENT PERMIT FOR THE DEVELOPMENT OF A 27,900-SQUARE-FOOT SHOPPING CENTER LOCATED AT THE SOUTHEAST CORNER OF THE INTERSECTION OF ALDER CREEK PARKWAY AND EAST BIDWELL STREET FOR THE SHOPS AT FOLSOM RANCH PROJECT AS ILLUSTRATED ON ATTACHMENTS 2 THROUGH 18 WITH THE FOLLOWING FINDINGS: GENERAL FINDINGS A & B, CEQA FINDINGS C-G, TENTATIVE PARCEL MAP FINDINGS H-O, PLANNED DEVELOPMENT PERMIT FINDINGS P-W, AND CONDITIONS OF APPROVAL NO. 1-58, MODIFYING CONDITION NUMBER 51 TO ADD "...The electric vehicle charging spaces and stations shall be centrally located within the shopping center to the satisfaction of the Community Development Department."

COMMISSIONER JACKSON SECONDED THE MOTION, WHICH CARRIED THE FOLLOWING VOTE:

AYES: LANE, MALLORY, JACKSON, RALLS, ARNAZ, DUEWEL, RAITHEL  
NOES: NONE



ABSTAIN: NONE  
ABSENT: NONE

**PLANNING MANAGER REPORT**

None

RESPECTFULLY SUBMITTED,

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Kelly Mullett, SENIOR OFFICE ASSISTANT

**APPROVED:**

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Justin Raithel, CHAIRMAN

## PLANNING COMMISSION STAFF REPORT

<b>PROJECT TITLE</b>	Russell Ranch Clubhouse Design Review
<b>PROPOSAL</b>	Request for Design Review Approval for the Russell Ranch Clubhouse located on the Private Park site of the Russell Ranch Subdivision
<b>RECOMMENDED ACTION</b>	Approve, based upon findings and subject to conditions
<b>OWNER/APPLICANT</b>	The New Home Company
<b>LOCATION</b>	The 3.4-acre project site is located at the northeast corner of the intersection of Alder Creek Parkway and Russell Ranch Road within the Russell Ranch Subdivision
<b>SITE CHARACTERISTICS</b>	The project site is currently in the process of being rough-graded, with grading work expected to be completed by late November 2018
<b>GENERAL PLAN DESIGNATION</b>	P (Park)
<b>ZONING DESIGNATION</b>	FPASP (Folsom Plan Area Specific Plan) with an underlying zoning designation of P (Park).
<b>ADJACENT LAND USES/ZONING</b>	North: Undeveloped Residential Property (SF PD) South: Alder Creek Parkway with Undeveloped Residential Property (SF PD) Beyond East: Developed Public/Quasi-Public Land (PQP) with Cell Tower and Booster Pump Station West: Russell Ranch Road with Undeveloped Residential Property (SF PD and SFHD PD) Beyond
<b>PREVIOUS ACTION</b>	City Council approval of a General Plan Amendment, Specific Plan Amendment, Large-Lot Vesting Tentative Subdivision Map, Small-Lot Vesting Tentative Subdivision Map, Planned

Development Permit, Design Guidelines, Inclusionary Housing Plan, and Amended and Restated Development Agreement Amendment for development of an 879-unit single-family residential subdivision (Russell Ranch Subdivision) on May 15, 2015

City Council approval of an Amended Large-Lot Vesting Tentative Subdivision Map and Small-Lot Vesting Tentative Subdivision Map for development of an 852-unit single-family residential subdivision (Russell Ranch Subdivision) on June 28, 2016

City Council approval of a General Plan Amendment, Specific Plan Amendment, Design Guidelines Amendment, Large-Lot Vesting Tentative Subdivision Map, Small-Lot Vesting Tentative Subdivision Map, and Development Agreement Amendment for the development of a 389 unit residential subdivision (Russell Ranch Lots 24-32 Subdivision) on March 27, 2018

**FUTURE ACTION**

Approval of a Final Map and Issuance of Building Permits

**APPLICABLE CODES**

FPASP (Folsom Plan Area Specific Plan)  
FMC Chapter 17.06, Design Review  
Russell Ranch Design Guidelines

**ENVIRONMENTAL REVIEW**

An Environmental Impact Report has previously been certified for the Russell Ranch Subdivision project on May 15, 2015 by the City Council in accordance with the requirements of the California Environmental Quality Act (CEQA) Guidelines

**ATTACHED REFERENCE MATERIAL**

1. Vicinity Map
2. Russell Ranch Architectural Site Plan
3. Russell Ranch Clubhouse Building Elevations and Floor Plans, dated November 15, 2018
4. Project Renderings, dated November 15, 2018
5. Color and Material Palette, dated September 26, 2018
6. Clubhouse Color Planting (Landscape) Plan and Details
7. Russell Ranch Clubhouse Access and Circulation Diagram
8. Russell Ranch Design Guidelines

**PROJECT PLANNER**

Desmond Parrington, AICP, Principal Planner

## **BACKGROUND**

On May 15, 2015, the City Council approved the first entitlements for the Russell Ranch project, which included a General Plan Amendment, Specific Plan Amendment, Large-Lot Vesting Tentative Subdivision Map, Small-Lot Vesting Tentative Subdivision Map, Planned Development Permit, Design Guidelines, Inclusionary Housing Plan, and Amended and Restated Development Agreement Amendment for development of an 879-unit single-family residential subdivision known as the Russell Ranch Subdivision within the eastern portion of the Folsom Plan Area. As part of the aforementioned approvals, the Russell Ranch Design Guidelines (refer to Attachment 8) were established to act as an implementation tool for development within the Russell Ranch Subdivision.

On June 28, 2016, the City Council approved an Amended Large-Lot Vesting Tentative Subdivision Map and an Amended Small-Lot Vesting Tentative Subdivision Map for development of an 852-unit single-family residential subdivision (Russell Ranch Subdivision). On March 13, 2018, the City Council approved a General Plan Amendment, Specific Plan Amendment, Design Guidelines Amendment, Large-Lot Vesting Tentative Subdivision Map, Small-Lot Vesting Tentative Subdivision Map, and Development Agreement Amendment for the development of a 389-unit residential subdivision (Russell Ranch Lots 24-32 Subdivision). The Design Guidelines Amendment provided additional direction in terms of the architecture and design of the active-adult community, the community center, and the townhome portions of the Russell Ranch Subdivision. The amended Design Guidelines apply to this project.

## **APPLICANT'S PROPOSAL**

The applicant, The New Home Company, is requesting design review approval for a 7,059 square foot (sq. ft.) Russell Ranch Clubhouse Project located within Phase 1 of the previously approved Russell Ranch Subdivision project. Specifically, the applicant is requesting design review approval for six structures: a 2,505 sq. ft., single-story clubhouse as well as a 2,858 sq. ft. pool house, a 196 sq. ft. exterior pavilion, and three shade structures totaling 1,500 sq. ft. All structures are one story with a maximum height for the clubhouse of approximately 17' 2".

The Russell Ranch Clubhouse Project is located on a 3.4-acre site north of Alder Creek Parkway, at the upper northeast corner of Russell Ranch (refer to Attachment 1). This site is located adjacent to the open space within the neighborhood, and provides views of Downtown Sacramento. The Clubhouse Project is designed to provide residents of the Russell Ranch neighborhood access to accommodations for private recreation with convenient parking. This private park site was part of the Russell Ranch project and was evaluated in the EIR. The project is designed to provide amenities to Russell Ranch residents in addition to the public parks and trails that are part of the overall project. Though this park area and clubhouse project are private, the Russell Ranch development contains a 5.3 acre neighborhood park available to the public as well as approximately 155 acres of open space and trails.

The Clubhouse portion of the project includes an interior lounge area, a kitchen, storage, electrical/audio-visual room, and office space. The pool house includes a kid's game room, restrooms, shower room, mechanical equipment room, and the pool equipment room. There is one exterior pavilion located near the clubhouse which will serve as an open-air serving area for residents. (Please note that if this area is used as a bar which serves alcohol then an ABC license will be required in the future). There are also three shade structures – two pavilions located on the south side of the pool and a third pavilion located at the far south end of the turf area, which is

envisioned to be the anchor for the grass area and a spot for events like outdoor movies. There is also a pool, spa, kids' play lawn, BBQ area, and a bocce ball court. In addition, the Clubhouse Project is near and accessible to the Class I bike trail on Alder Creek Parkway that connects with the sidewalk on Russell Ranch Road that leads directly to the Clubhouse. Its accessibility to the villages of the neighborhood create a walkable and bikeable amenity destination for the residents of Russell Ranch. There is also an accessible path of travel from the disabled parking spaces to the facility.

The Clubhouse will be operated by the Russell Ranch homeowner's association (HOA), which will have an on-site manager. The manager will be located in the office attached to the Clubhouse building and that person will be responsible for the day-to-day operation and management of the facility. All activity there will need to comply with the City's regulations related to noise and as noted later in this report, staff has added a condition to address issues related to occasional large events that could be held at the facility.

### **Architecture/Design**

The proposed project is described by the architect, JZMK Partners, as a rural wine country farmhouse that blends the features of a historic farmhouse but in a contemporary style. The proposed project, which is located within the northeastern portion of the Folsom Plan Area, is subject to the Russell Ranch Design Guidelines, which were originally approved by the City Council in 2015 and modified on March 13, 2018. The Design Guidelines are a complementary document to the Folsom Plan Area Specific Plan and the Folsom Plan Area Specific Plan Community Guidelines. The Design Guidelines, which are intended to act as an implementation tool for development within the Russell Ranch Subdivision, provide the design framework for architecture, streetscene, and landscaping to convey a unique identity for the Russell Ranch development. The following are the general architectural principles applicable to the Clubhouse Project:

- Provide an elegant and diverse streetscape
- Building massing must be appropriate and authentic to the architectural style
- Horizontal and vertical articulation is required
- Include varied roof shapes and forms
- Avoid repetition of identical architectural styles
- Ensure four-sided architecture is provided
- Highly visible lots require additional architectural enhancements

In addition to the general architectural principles referenced above, Section 4.7 of the Design Guidelines provides specific direction regarding the architectural features for recreation centers including the Clubhouse Project. The following are examples of required and enhanced style elements that are relevant to the proposed project:

- Casual, asymmetrical form with a combination of gable and shed roof forms.
- Overgrouted stone as a significant wall material, utilized to present full massing elements. For example, an entire central mass of the structure may feature stone, with wings of a complementary material, such as stucco. This design solution gives the appearance of an original structure with wings added on over time.
- Wall materials may be overgrouted stone or brick, smooth or imperfect smooth stucco or plaster, and glass.
- Accent materials include heavy beams, rusted metal, wrought iron, copper, and precast concrete.
- The contemporary portion of the building may feature a metal standing seam roof.
- Windows may be recessed and void of trim, or feature full window surrounds, which may be precast concrete or wood.
- Exposed beams and structural connections should be celebrated as part of the design statement.
- Site structures, such as restrooms, cabanas, pool equipment rooms, and trash enclosures must complement the design of the primary structure.
- Mechanical and pool equipment must be screened from sight through integrated walls, landscaping, or a combination of both.

In reviewing the architecture and design of the project, staff determined that the design accurately reflects the level and type of high quality design features recommended by the Russell Ranch Design Guidelines. Specifically, all the structures that are part of the Russell Ranch Clubhouse feature a variety of unique architectural elements. These include: gable and shed roof forms; overgrouted stone complimented by natural colored wood and earthy stucco colors; a side wing with a shed roof form and neutral toned accent siding styled to look like a contemporary addition; a metal standing seam roof that offers a contemporary look while staying within the rural vernacular; and wood beams and posts with metal cap and base details. The pool house, outdoor bar pavilion, and shade structures have all been designed to complement the design of the primary structure. The mechanical and pool equipment will be housed inside the pool building to mitigate undesirable noise and visual clutter. Similarly, the trash enclosure, located north of the circular drive-aisle, will be designed to be consistent with the Clubhouse.

The proposed building materials (stucco, stone, wood trim board, multi-paned windows, and metal roofing) are consistent with the materials recommended by the Russell Ranch Design Guidelines for recreation centers. In addition, the proposed color scheme uses a variety of natural tones that complement the surrounding residential development and reflect the natural landscape. Given the aforementioned architectural details, materials, and colors, staff has determined that the project is consistent with the design principles established by the Russell Ranch Design Guidelines. Staff forwards the following design recommendations to the Commission for consideration:

- A. This approval is for the Russell Ranch Clubhouse Project including the clubhouse, pool house, exterior bar pavilion, and three shade structures. The applicant shall submit building

plans that comply with this approval, the attached building elevations dated November 15, 2018.

- B. The design, materials, and colors of the proposed Russell Ranch Clubhouse Project shall be consistent with the submitted building elevations, materials samples, and color scheme to the satisfaction of the Community Development Department.
- C. All mechanical equipment shall be ground-mounted and concealed from view of public streets, neighboring properties and nearby higher buildings.
- D. Lighting shall be designed to be directed downward onto the project site and away from adjacent properties and public rights-of-way. In addition, final exterior building and site lighting plans shall be submitted for review and approval by Community Development Department for aesthetics, level of illumination, glare and trespass prior to the issuance of any building permits.
- E. A minimum of 52 vehicle parking spaces shall be provided for the project including 4 electric vehicle charging spaces and stations. In addition, bicycle racks sufficient to accommodate 16 bicycles shall be provided.
- F. Bicycle parking rack design shall be submitted to the Community Development Department for review and approval of aesthetics and placement.

These recommendations listed above are included in the conditions of approval presented for consideration by the Planning Commission (Condition No. 11).

### **Access, Circulation and Parking**

The Clubhouse project is a private facility designed to meet the recreational needs of Russell Ranch residents. As such, the project is designed to address the access and circulation needs of those residents including those traveling by foot, wheelchair, bicycle and automobile. As shown in Attachment 7, the site can be accessed by sidewalks from the surrounding residential development as there will be sidewalks on both the east and west side of Alder Creek Parkway and there is a six-foot sidewalk on the east side of Russell Ranch Road leading from Alder Creek Parkway to the Clubhouse Project. The project will be built to comply with ADA and Building Code regulations to ensure that the facility is accessible to those with mobility challenges. In addition, the site is served by an off-street, Class I bike trail, which runs along Alder Creek Parkway on the north side connecting the Folsom Heights area and the Empire Ranch Area via the trail on Empire Ranch Road. At Russell Ranch Road the bike trail splits with a northern connection to the sidewalk that provides direct access to the Clubhouse and on the southern side it crosses to the southern side of Alder Creek Parkway and continues along the length of Alder Creek Parkway connecting to the bike trail on Placerville Road to the west.

Neither the FPASP nor the Folsom Municipal Code (FMC) have a parking requirement for recreational facilities or clubhouses. As a result, staff evaluated the project based on its uses, which was one of the most conservative approaches that could have been used. Since the project includes an exterior pavilion as well as interior lounge and play areas in the clubhouse and pool house buildings, staff used the parking requirements for commercial, office and public assembly areas. In the FPASP, public assembly uses require 1 parking space per 35 square feet (sq. ft.) of net floor

area. Office and commercial uses require 3 spaces per 1,000 sq. ft. of gross floor area. In the clubhouse and pool house buildings, the assembly uses include a kid's area which is 667 net square feet and the lounge area, which is 1,163 net square feet, for a total of 1,830 net square feet of assembly uses. The rest of the building area in both structures is comprised of a kitchen, restrooms, shower room, mechanical rooms, and storage rooms, which support the public assembly spaces and those uses do not have parking requirements. Based on the net square footage area, the public assembly designation results in a requirement of 52 spaces. The total amount of office space in the project is 150 sq. ft. and the bar pavilion is 196 sq. ft. Based on this small amount of area, neither area would require parking.

The project meets and exceeds this standard by providing 53 parking spaces along with a circular drive aisle and drop-off area. Given that the Clubhouse Project is designed to serve Russell Ranch residents rather than the general public and is served by sidewalks and a bike trail with bike parking, staff believes that many users may come by foot or bike reducing the parking demand. As part of the 53 parking spaces, two are reserved for disabled parking, in accordance with Section 17.57.050(B) of the Folsom Municipal Code. The 53 spaces also includes four (4) that are for electric vehicles (EV) and EV charging stations as required by the City's 2035 General Plan and the State's CALGreen Code. Based on the square footage of the building, it is not required to have dedicated truck loading spaces per Table A.14 of the FPASP.

While the Clubhouse project is designed to address the recreational needs of Russell Ranch residents, there may be events that occur from time to time at the site. These include events such as outdoor movie night, receptions, weddings, and parties. While the project meets the parking requirements for its regular use, larger events may require the operator to work with the user or event organizer to develop a parking plan so that the surrounding neighborhood is not negatively impacted. Staff has added a condition specifying that the manager of the facility must work with a user or renter to develop a parking plan if there are any large events held there that are likely to need more parking than the 53 spaces currently on site. This must be prepared so that parking does not negatively impact the surrounding neighborhood (Refer to Condition #15 in the Conditions of Approval).

Similar to automobile parking, there is not a specific standard for bicycle parking in the FPASP or the FMC for clubhouses or recreational facilities. In the FPASP, there are bicycle parking standards for multi-family units, office and retail commercial, mixed-use development, public facilities, and schools. Based on the type of activity associated with the Clubhouse, staff determined that it was most similar to a public facility and has applied that requirement. The requirements is that there must be short-term parking in the form of bicycle racks that can accommodate 30% of the parking, which results in a need for racks that can accommodate 16 bicycles. The bicycle parking area is located north of the pool house off of the sidewalk near the circular drive-aisle. There is sufficient area for racks that will accommodate 16 bicycles as shown in Attachment 7.

### **General Plan, Folsom Plan Area Specific Plan, and Zoning Code Consistency**

In August 2018, the City Council adopted the new 2035 General Plan which includes goals, policies and programs for existing and future development. Based on staff's review, the Clubhouse Project is consistent with the General Plan. It helps to preserve important viewsheds in the design (Policy LU 1.1.8), has bicycle parking as well as bicycle and pedestrian linkages (Policies M 2.1.3 and M 2.1.10). The project includes native and drought tolerant landscaping, new open space, and extensive planting (Policies NCR 1.1.4, NCR 1.1.5 and NCR 1.1.8). In particular it complies with



the sustainability policies of the General Plan because the project includes electric vehicle charging stations, solar panels, and drought-tolerant landscaping (Policies M 4.2.4, PFS 8.1.3, and PFS 3.1.3).

The Clubhouse Project is also consistent with the principles of the FPASP including Planning Principle #2-Enhancing the Natural Environment and Planning Principle #6–Sustainable Design. Principle 2 talks not only about preserving the natural environment but also creating opportunities for recreation and enjoyment. With the pool, spa, event lawn, kid’s play area, and bocce ball courts, the Clubhouse Project creates an attractive recreational facility surrounded by open space. The project also achieves the aim of Principle #6 by incorporating solar panels, electric vehicle charging stations and drought tolerant landscaping around the facility. It also provides a variety of routes to get to the facility beyond traveling by automobile. The project site is accessible on foot by sidewalk and by bike via the Class I bike trail that travels along Alder Creek Parkway.

Even though recreational facilities are an allowed use in areas designated for Parks (P), the FPASP does not contain specific development standards for those facilities. In addition to evaluating the project’s consistency with the General Plan and FPASP goals, policies and principles, staff also evaluated the project based on Section 17.06.080 of the Folsom Municipal Code (FMC), which sets forth the criteria for design review of development projects. Staff reviewed the project site, landscaping, fencing, building design, circulation, parking, lighting, disabled access, and the project’s conformance with the Russell Ranch Design Guidelines. Based on staff’s review, the project provides an attractive design that complements and enhances the rest of the Russell Ranch development. Through its use of a variety of materials, the recreational amenities provided, the site layout and design, and the sustainable features included, the project fully addresses the criteria set forth in the FMC.

### **ENERGY CONSERVATION**

To reduce impacts in terms of energy and water consumption, the proposed project is required to meet the 2017 Title 24 Building Envelope Energy Efficiency Standards. The project will be allowed to achieve this performance standard through a combination of measures to reduce energy use for heating, cooling, water heating and ventilation. Because energy use for each different system type (i.e., heating, cooling, water heating, and ventilation) as well as appliances is defined, this method will also easily allow for application of individual measures aimed at reducing the energy use of these devices in a prescriptive manner. As noted above, the project will include solar photovoltaic (PV) panels on the roof necessary to off-set the buildings’ energy use.

### **ENVIRONMENTAL REVIEW**

An Environmental Impact Report has previously been certified for the Russell Ranch Subdivision project on May 15, 2015 by the City Council in accordance with the requirements of the California Environmental Quality Act (CEQA) and the CEQA Guidelines. The private recreation center facility and private park were included in the project and were analyzed as part of that EIR. Staff has determined that no new impacts will result from development of the subject project that were not already considered with the previous approval. No further environmental review is required.

**RECOMMENDATION/PLANNING COMMISSION ACTION**

MOVE TO APPROVE THE DESIGN REVIEW APPLICATION FOR THE RUSSELL RANCH CLUBHOUSE PROJECT AS ILLUSTRATED ON ATTACHMENTS 2 THROUGH 8 WITH THE FOLLOWING FINDINGS AND CONDITIONS (NO. 1-15).

**GENERAL FINDINGS**

- A. NOTICE OF HEARING HAS BEEN GIVEN AT THE TIME AND IN THE MANNER REQUIRED BY STATE LAW AND CITY CODE.
- B. THE PROJECT IS CONSISTENT WITH THE GENERAL PLAN, THE FOLSOM PLAN AREA SPECIFIC PLAN, AND THE RUSSELL RANCH SUBDIVISION DESIGN GUIDELINES.

**CEQA FINDINGS**

- C. AN ENVIRONMENTAL IMPACT REPORT HAS PREVIOUSLY BEEN CERTIFIED FOR THE RUSSELL RANCH SUBDIVISION PROJECT ON MAY 15, 2015 BY THE CITY COUNCIL IN ACCORDANCE WITH THE REQUIREMENTS OF THE CALIFORNIA ENVIRONMENTAL QUALITY ACT (CEQA).
- D. NO NEW IMPACTS WILL RESULT FROM DEVELOPMENT OF THE SUBJECT PROJECT THAT WERE NOT ALREADY CONSIDERED WITH THE PREVIOUS APPROVAL.
- E. NO FURTHER ENVIRONMENTAL REVIEW IS REQUIRED.

**DESIGN REVIEW FINDINGS**

- F. THE PROJECT IS IN COMPLIANCE WITH THE GENERAL PLAN AND THE FOLSOM PLAN AREA SPECIFIC PLAN.
- G. THE PROJECT IS IN CONFORMANCE WITH THE RUSSELL RANCH DESIGN GUIDELINES.
- H. THE BUILDING MATERIALS, TEXTURES, AND COLORS OF THE PROJECT WILL BE COMPATIBLE WITH SURROUNDING DEVELOPMENT AND CONSISTENT WITH THE GENERAL DESIGN THEME OF THE SURROUNDING NEIGHBORHOOD.

Submitted,  
  
\_\_\_\_\_  
PAM JOHNS  
Community Development Director

## CONDITIONS

See attached tables of conditions for which the following legend applies.

RESPONSIBLE DEPARTMENT		WHEN REQUIRED	
CD	Community Development	I	Prior to approval of Improvement Plans
(P)	Planning Division	M	Prior to approval of Final Map
(E)	Engineering Division	B	Prior to issuance of first Building Permit
(B)	Building Division	O	Prior to approval of Occupancy Permit
(F)	Fire Division	G	Prior to issuance of Grading Permit
PW	Public Works Department	DC	During construction
PR	Park and Recreation Department	OG	On-going requirement
PD	Police Department		

**CONDITIONS OF APPROVAL FOR THE RUSSELL RANCH CLUBHOUSE PROJECT (PN 18-347)  
NORTHEAST CORNER OF THE INTERSECTION OF ALDER CREEK PARKWAY AND RUSSELL RANCH ROAD  
DESIGN REVIEW**

Mitigation Measure	Condition/Mitigation Measure	When Required	Responsible Department
1.	<p>The applicant shall submit final site development plans to the Community Development Department that shall substantially conform to the exhibits referenced below:</p> <ul style="list-style-type: none"> <li>• Russell Ranch Clubhouse Exhibits</li> <li>• Previously Approved Russell Ranch Site Plan</li> <li>• Clubhouse Color Planting (Landscape) Plan and Details</li> <li>• Building Elevations and Floor Plans, dated November 15, 2018</li> <li>• Color and Material Palette, dated September 26, 2018</li> </ul> <p>This project approval is for the Russell Ranch Clubhouse Design Review, which includes architectural and design details for the clubhouse, pool house, exterior bar pavilion and 3 shade structures in the Russell Ranch Subdivision. Implementation of the project shall be consistent with the above-referenced items as modified by these conditions of approval.</p>	B	CD (P)(E)
2.	<p>Building plans shall be submitted to the Community Development Department for review and approval to ensure conformance with this approval and with relevant codes, policies, standards and other requirements of the City of Folsom.</p>	B	CD (P)(E)(B)
3.	<p>The project approvals granted under this staff report (Design Review) shall remain in effect for two years from final date of approval (December 5, 2020). Failure to obtain the relevant building (or other) permits within this time period, without the subsequent extension of this approval, shall result in the termination of this approval.</p>	B	CD (P)

**CONDITIONS OF APPROVAL FOR THE RUSSELL RANCH CLUBHOUSE PROJECT (PN 18-347)  
NORTHEAST CORNER OF THE INTERSECTION OF ALDER CREEK PARKWAY AND RUSSELL RANCH ROAD  
DESIGN REVIEW**

Mitigation Measure	Condition/Mitigation Measure	When Required	Responsible Department
4.	<p>The owner/applicant shall defend, indemnify, and hold harmless the City and its agents, officers and employees from any claim, action or proceeding against the City or its agents, officers or employees to attack, set aside, void, or annul any approval by the City or any of its agencies, departments, commissions, agents, officers, employees, or legislative body concerning the project. The City will promptly notify the owner/applicant of any such claim, action or proceeding, and will cooperate fully in the defense. The City may, within its unlimited discretion, participate in the defense of any such claim, action or proceeding if both of the following occur:</p> <ul style="list-style-type: none"> <li>• The City bears its own attorney's fees and costs; and</li> <li>• The City defends the claim, action or proceeding in good faith</li> </ul> <p>The owner/applicant shall not be required to pay or perform any settlement of such claim, action or proceeding unless the settlement is approved by the owner/applicant.</p>	OG	CD (P)(E)(B) PW, PR, FD, PD
<b>DEVELOPMENT COSTS AND FEE REQUIREMENTS</b>			
5.	<p>The owner/applicant shall pay all applicable taxes, fees and charges at the rate and amount in effect at the time such taxes, fees and charges become due and payable. This includes all fees and fair-share funding contributions as set forth in the Mitigation Monitoring and Reporting Program in the Russell Ranch Final EIR (SCH #2014062018).</p>	B	CD (P)(E)
6.	<p>If applicable, the owner/applicant shall pay off any existing assessments against the property, or file necessary segregation request and pay applicable fees.</p>	B	CD (E)

**CONDITIONS OF APPROVAL FOR THE RUSSELL RANCH CLUBHOUSE PROJECT (PN 18-347)  
NORTHEAST CORNER OF THE INTERSECTION OF ALDER CREEK PARKWAY AND RUSSELL RANCH ROAD  
DESIGN REVIEW**

	<b>Mitigation Measure</b>	<b>Condition/Mitigation Measure</b>	<b>When Required</b>	<b>Responsible Department</b>
7.		<p>The City, at its sole discretion, may utilize the services of outside legal counsel to assist in the implementation of this project, including, but not limited to, drafting, reviewing and/or revising agreements and/or other documentation for the project. If the City utilizes the services of such outside legal counsel, the applicant shall reimburse the City for all outside legal fees and costs incurred by the City for such services. The applicant may be required, at the sole discretion of the City Attorney, to submit a deposit to the City for these services prior to initiation of the services. The applicant shall be responsible for reimbursement to the City for the services regardless of whether a deposit is required.</p>	B	CD (P)(E)
8.		<p>If the City utilizes the services of consultants to prepare special studies or provide specialized design review or inspection services for the project, the applicant shall reimburse the City for actual costs it incurs in utilizing these services, including administrative costs for City personnel. A deposit for these services shall be provided prior to initiating review of the Final Map, improvement plans, or beginning inspection, whichever is applicable.</p>	B	CD (P)(E)
9.		<p>This project shall be subject to all City-wide development impact fees, unless exempt by previous agreement. This project shall be subject to all City-wide development impact fees in effect at such time that a building permit is issued. These fees may include, but are not limited to, fees for fire protection, park facilities, park equipment, libraries, affordable housing, light rail, transportation management, capital facilities and traffic impacts. The 90-day protest period for all fees, dedications, reservations or other exactions imposed on this project will begin on the date of final approval (December 5, 2018). The fees shall be calculated at the fee rate in effect at the time of building permit issuance.</p>	B	CD (P)(E), PW, PR

**CONDITIONS OF APPROVAL FOR THE RUSSELL RANCH CLUBHOUSE PROJECT (PN 18-347)  
 NORTHEAST CORNER OF THE INTERSECTION OF ALDER CREEK PARKWAY AND RUSSELL RANCH ROAD  
 DESIGN REVIEW**

	<b>Mitigation Measure</b>	<b>Condition/Mitigation Measure</b>	<b>When Required</b>	<b>Responsible Department</b>
10.		<p>The owner/applicant agrees to pay to the Folsom-Cordova Unified School District the maximum fee authorized by law for the construction and/or reconstruction of school facilities. The applicable fee shall be the fee established by the School District that is in effect at the time of the issuance of a building permit. Specifically, the owner/applicant agrees to pay any and all fees and charges and comply with any and all dedications or other requirements authorized under Section 17620 of the Education Code; Chapter 4.7 (commencing with Section 65970) of the Government Code; and Sections 65995, 65995.5 and 65995.7 of the Government Code.</p>	B	CD (P)

**CONDITIONS OF APPROVAL FOR THE RUSSELL RANCH CLUBHOUSE PROJECT (PN 18-347)  
NORTHEAST CORNER OF THE INTERSECTION OF ALDER CREEK PARKWAY AND RUSSELL RANCH ROAD  
DESIGN REVIEW**

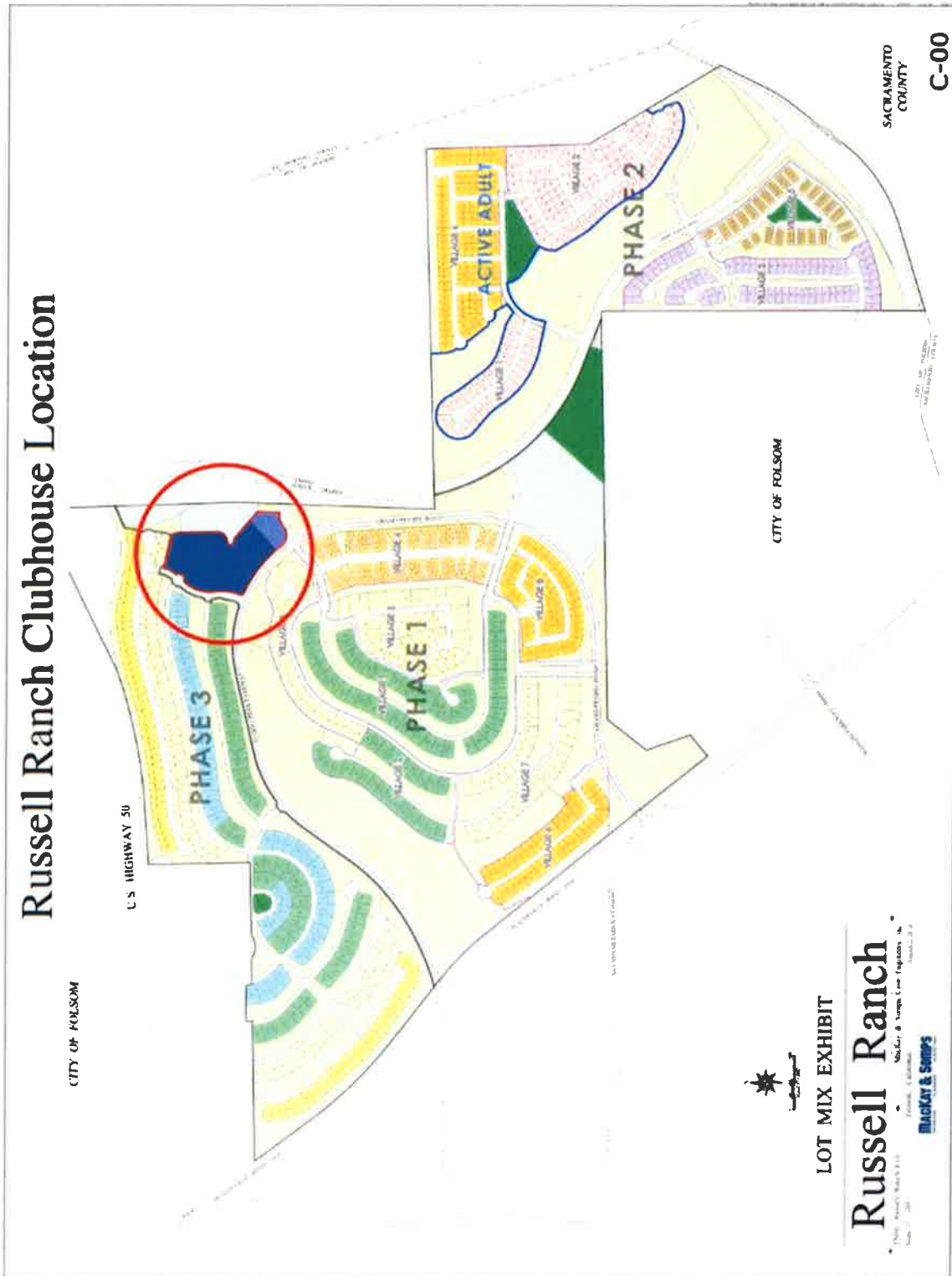
Mitigation Measure	Condition/Mitigation Measure	When Required	Responsible Department
11.	<p align="center"><b>ARCHITECTURE/SITE DESIGN REQUIREMENTS</b></p> <p>The project shall comply with the following architecture and design requirements:</p> <ol style="list-style-type: none"> <li>This approval is for the single-story clubhouse, pool house, exterior bar pavilion and three shade structures for Russell Ranch. The applicant shall submit building plans that comply with this approval, the attached building elevations dated November 15, 2018.</li> <li>The design, materials, and colors of the proposed Russell Ranch Clubhouse Project shall be consistent with the submitted building elevations, materials samples, and color scheme to the satisfaction of the Community Development Department.</li> <li>All mechanical equipment shall be ground-mounted and concealed from view of public streets, neighboring properties and nearby higher buildings. The mechanical equipment shall be located out of view from open space areas.</li> <li>Lighting shall be designed to be directed downward onto the project site and away from adjacent properties and public rights-of-way. In addition, final exterior building and site lighting plans shall be submitted for review and approval by Community Development Department for aesthetics, level of illumination, glare and trespass prior to the issuance of any building permits.</li> <li>A minimum of 52 vehicle parking spaces shall be provided for the project including 4 electric vehicle charging spaces and stations. In addition, bicycle racks sufficient to accommodate 16 bicycles shall be provided.</li> <li>Bicycle parking rack design shall be submitted to the Community Development Department for review and approval of aesthetics and placement.</li> </ol>	B	CD (P) (B)



**CONDITIONS OF APPROVAL FOR THE RUSSELL RANCH CLUBHOUSE PROJECT (PN 18-347)  
NORTHEAST CORNER OF THE INTERSECTION OF ALDER CREEK PARKWAY AND RUSSELL RANCH ROAD  
DESIGN REVIEW**

Mitigation Measure	Condition/Mitigation Measure	When Required	Responsible Department
12.	The project shall comply with all applicable mitigation measures as set forth in the Russell Ranch EIR (SCH #2014062018).	B	CD (P) (B)
<b>FIRE DEPARTMENT REQUIREMENT</b>			
13.	The building shall have illuminated addresses visible from the street or drive fronting the property. Size and location of address identification shall be reviewed and improved by the Fire Marshal.	B	FD
<b>POLICE/SECURITY REQUIREMENT</b>			
14.	<p>The owner/applicant shall consult with the Police Department in order to incorporate all reasonable crime prevention measures. The following security/safety measures shall be required:</p> <ul style="list-style-type: none"> <li>• A security guard shall be on-duty at all times at the site or another approved security measure shall be in place including but not limited to a six-foot security fence shall be constructed around the perimeter of construction areas. (This requirement shall be included on the approved construction drawings).</li> <li>• Security measures for the safety of all construction equipment and unit appliances shall be employed.</li> <li>• Landscaping shall not cover exterior doors or windows, block line-of-sight at intersections or screen overhead lighting.</li> </ul>	B	PD
<b>OPERATIONS</b>			
15.	For large events such as weddings, large parties, or receptions that are likely to need more than the 53 parking spaces provided on the site, the applicant shall require the Clubhouse operator/manager to work with any user or renter to prepare a parking plan for the event so that it does not negatively impact the surrounding neighborhood.	OG	CD(P)

# ATTACHMENT 1 - VICINITY MAP



# ATTACHMENT 2 - RUSSELL RANCH ARCHITECTURAL SITE PLAN



THE NEW HOME COMPANY

A-01 ARCHITECTURAL SITE PLAN

**RUSSELL RANCH CLUBHOUSE**  
FOLSOM, CALIFORNIA



J Z M K  
2/8 • 1/24 • 1/13/2018

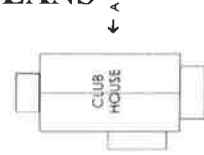
# ATTACHMENT 3 - RUSSELL RANCH CLUBHOUSE PROJECT ELEVATIONS AND FLOOR PLANS



A) SOUTH (POOL) ELEVATION



B) NORTH ELEVATION



NOTE: REFER TO COLOR AND MATERIAL SAMPLE BOARDS FOR ACTUAL COLORS AND MATERIALS

J Z M K  
208 • 1144 • 1/13/2014

THE NEW HOME COMPANY

A-13 CLUBHOUSE ELEVATIONS

**RUSSELL RANCH CLUBHOUSE**  
FOLSOM, CALIFORNIA

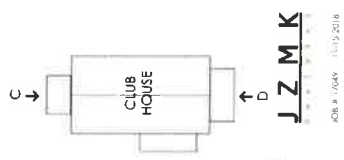




C) EAST ELEVATION



D) WEST (VIEW) ELEVATION



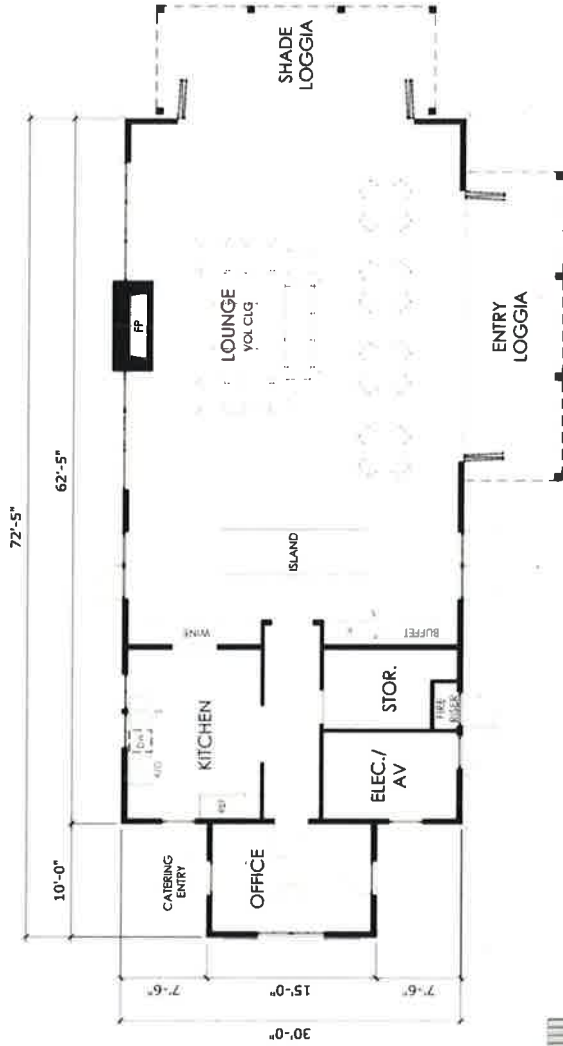
THE NEW HOME COMPANY  
A-12 CLUBHOUSE ELEVATIONS

**RUSSELL RANCH CLUBHOUSE**  
FOLSOM, CALIFORNIA

NOTE: REFER TO COLOR AND MATERIAL SAMPLE BOOKS FOR ACTUAL COLORS AND MATERIALS

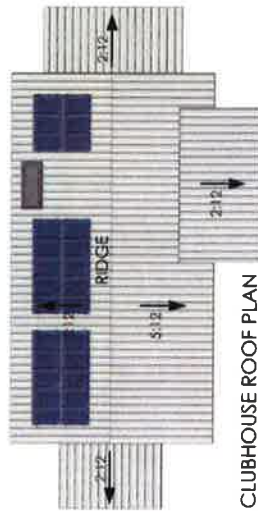


JZMK  
JOB # 10649 11.19.2018



**BUILDING A - CLUBHOUSE**

2023 SF GROSS AREA  
 2346 SF COVERED ENTRY LOGGIA  
 2446 SF COVERED SHADE LOGGIA  
 2505 SF UNDER ROOF



CLUBHOUSE ROOF PLAN  
 SCALE: 1/8"=1'-0"

NEW  
 HOME  
 COMPANY

**RUSSELL RANCH CLUBHOUSE**  
 FOLSOM CALIFORNIA

**A-14 CLUBHOUSE FLOOR PLAN**



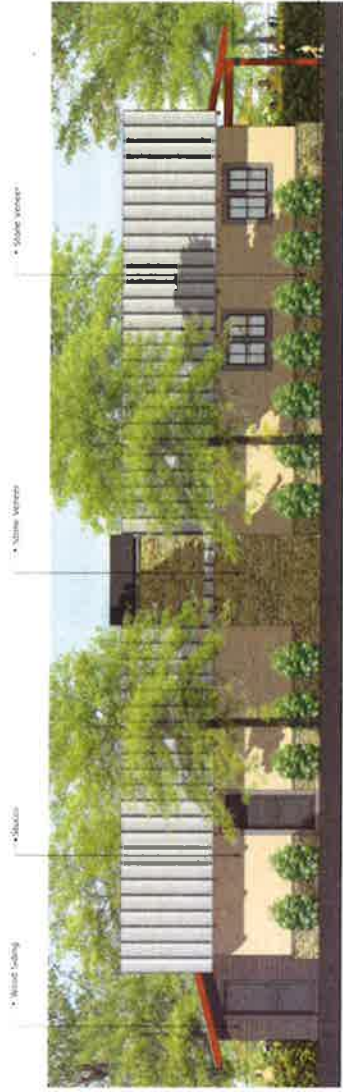
JZMK  
 ARCHITECTS  
 JOB # 2009 11-15-2016

\*Wood Beams and Posts  
 \*Pool House Steel Cap and Base Unit

\*Staining Swim House Roof



A) WEST (POOL) ELEVATION

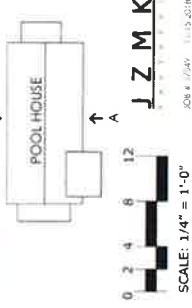


B) EAST ELEVATION

NEW  
 HOME  
 COMPANY

A-16 POOL HOUSE ELEVATIONS

**RUSSELL RANCH CLUBHOUSE**  
 FOLSOM, CALIFORNIA



NOTE REFER TO COLOR AND MATERIAL  
 SAMPLE BOARDS FOR ACTUAL COLORS  
 AND MATERIALS

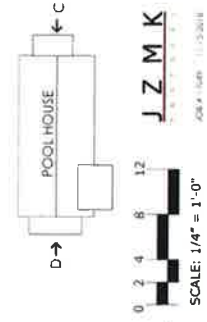
J Z M K  
 2018.07.14  
 11.19.2018



C) SOUTH ELEVATION



D) NORTH ELEVATION

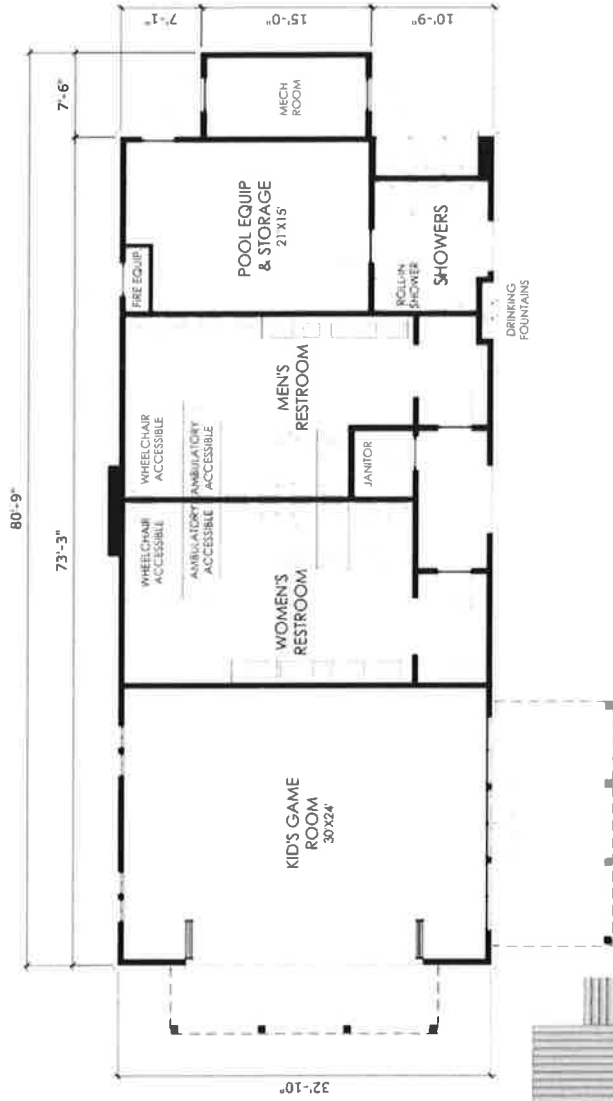


THE NEW HOME COMPANY

A-15 POOL HOUSE ELEVATIONS

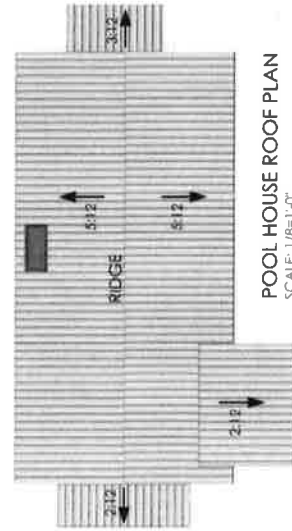
**RUSSELL RANCH CLUBHOUSE**  
FOLSOM, CALIFORNIA





**BUILDING B - POOL HOUSE**

2533 SF GROSS AREA  
 325 SF COVERED LOGGIA  
 2858 SF UNDER ROOF



POOL HOUSE ROOF PLAN  
 SCALE: 1/8"=1'-0"

NEW  
 HOME  
 COMPANY

**RUSSELL RANCH CLUBHOUSE**  
 FOLSOM, CALIFORNIA

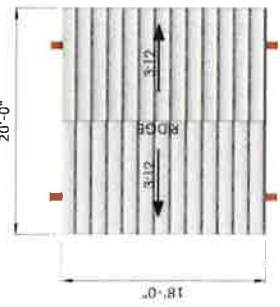
**A-17 POOL HOUSE FLOOR PLAN**



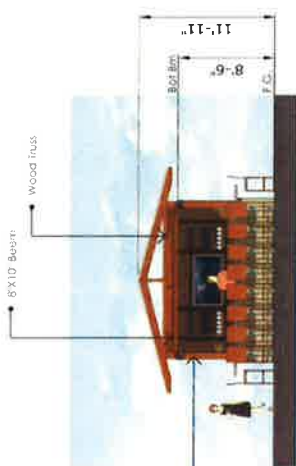
J Z M K  
05 9 1566 11 12 2018



FLOOR PLAN



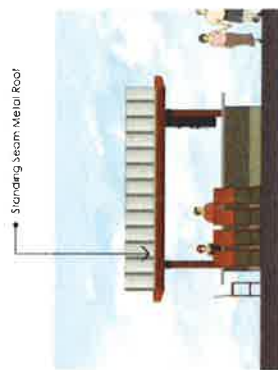
ROOF PLAN



FRONT ELEVATION



REAR ELEVATION



RIGHT ELEVATION



LEFT ELEVATION

NEW HOME COMPANY

A-18 BAR FLOOR PLAN

RUSSELL RANCH CLUBHOUSE  
FOLSOM, CALIFORNIA

NOTE: REFER TO COLOR AND MATERIAL SAMPLE BOARDS FOR ACTUAL COLORS AND MATERIALS



J Z M K ARCHITECTS  
208 N. 10th St. - 1st Floor - Folsom, CA 95630



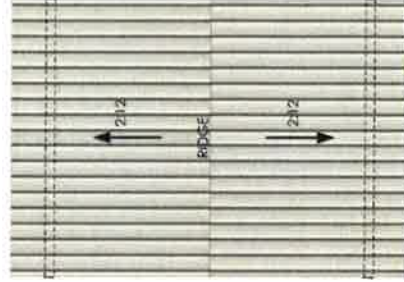
FRONT/BACK ELEVATION



SIDE ELEVATION



CONCEPTUAL RENDERING



ROOF PLAN

NOTE: REFER TO COLOR AND MATERIAL SAMPLE BOARDS FOR ACTUAL COLORS AND MATERIALS



J Z M K  
ARCHITECTS  
1115 24th St  
FOLSOM, CA 95630  
916.439.1111

**RUSSELL RANCH CLUBHOUSE**  
FOLSOM, CALIFORNIA

**A-19 SHADE STRUCTURE ELEVATIONS**

THE NEW HOME COMPANY

ATTACHMENT 4 - PROJECT RENDERINGS



ENTRY VIEW

NEW  
HOME  
COMPANY

A-03 PERSPECTIVE RENDERING

RUSSELL RANCH CLUBHOUSE  
FOLSOM, CALIFORNIA

J Z M K  
ARCHITECTS  
200 N. 10TH ST. SUITE 100  
DALLAS, TX 75201  
TEL: 214.760.1000





CLUBHOUSE COURTYARD AERIAL

THE NEW HOME COMPANY

**RUSSELL RANCH CLUBHOUSE**  
FOLSOM, CALIFORNIA

**J Z M K**  
ARCHITECTS

A-04 PERSPECTIVE RENDERING



CLUBHOUSE AND POOL OVERALL VIEW

THE NEW  
HOME  
COMPANY

A-05 PERSPECTIVE RENDERING

RUSSELL RANCH CLUBHOUSE  
FOLSOM, CALIFORNIA

J Z M K  
ARCHITECTS  
1004 10th St. | Folsom, CA 95630





CLUBHOUSE AND POOL OVERALL VIEW

THE NEW  
HOME  
COMPANY

A-06 PERSPECTIVE RENDERING

**RUSSELL RANCH CLUBHOUSE**  
FOLSOM, CALIFORNIA

**J Z M K**  
ARCHITECTS  
3084 N. HALEY AVE. SUITE 100  
FOLSOM, CA 95630  
TEL: 916.452.1000  
WWW.JZMKARCHITECTS.COM



CLUBHOUSE AND POOL HOUSE RENDERINGS

**RUSSELL RANCH CLUBHOUSE**  
FOLSOM, CALIFORNIA

**J Z M K**  
ARCHITECTS

POS # 17049 11-15-2018





KID'S GAME ROOM AND LAWN

THE NEW HOME COMPANY

A-08 PERSPECTIVE RENDERING

RUSSELL RANCH CLUBHOUSE  
FOLSOM, CALIFORNIA

JZMK  
ARCHITECTS  
508 W. 12TH ST. SUITE 1115  
FOLSOM, CA 95630



THE NEW  
HOME  
COMPANY

A-11 PERSPECTIVE RENDERING

CLUBHOUSE SEATING AREA

**RUSSELL RANCH CLUBHOUSE**  
FOLSOM, CALIFORNIA

**JZMK**  
ARCHITECTURE  
500 W. 12TH ST. FOLSOM, CA 95630  
916.438.1100





BAR AND SEATING AREA

THE NEW  
HOME  
COMPANY

**RUSSELL RANCH CLUBHOUSE**  
FOLSOM, CALIFORNIA

**J Z M K**  
ARCHITECTS  
JZMK.COM 916.450.1100

A-09 PERSPECTIVE RENDERING



BAR PAVILLION

NEW  
HOME  
COMPANY

RUSSELL RANCH CLUBHOUSE  
FOLSOM, CALIFORNIA

J Z M K  
ARCHITECTURE  
JOB # 106 11/13/08

A-10 PERSPECTIVE RENDERING





**POOL AREA SHADE STRUCTURE**

**THE NEW HOME COMPANY**

**RUSSELL RANCH CLUBHOUSE**  
FOLSOM, CALIFORNIA

**A-07 PERSPECTIVE RENDERING**

**J Z M K**  
ARCHITECTS  
208 N. 15th St. | Ft. Worth, TX 76102 | 817.332.1234

# ATTACHMENT 5 - COLOR AND MATERIAL PALETTE

Russell Ranch Clubhouse  
 Folsom, California  
 The New Home Company

Color and Material Palette prepared by Ann Matteson, Consulting, Inc.  
 (Ann@annmatteson.com) 4/28/19

Color Scheme	Sherwin-Williams Paint Company		Stained Trim <small>Timberline®</small>	RIB	Creative Finishes	Custom-Bit Metals Standing Seam Metal Roofing
	Painted Trim <small>Color Guard®</small>	Wood Staining/ Painted Doors <small>Timberline®</small>				
Clubhouse	SW7042 Snail White	SW7050 Egg Gray	SW7048 Urban Bronze	SW3318 Hawthorne	Stone <small>201-204-1042</small>	Preweathered Galvalume
				Windows Manufacturers Bronze	Black Truffle Cran Spar Modular	

**Shower Tile:**

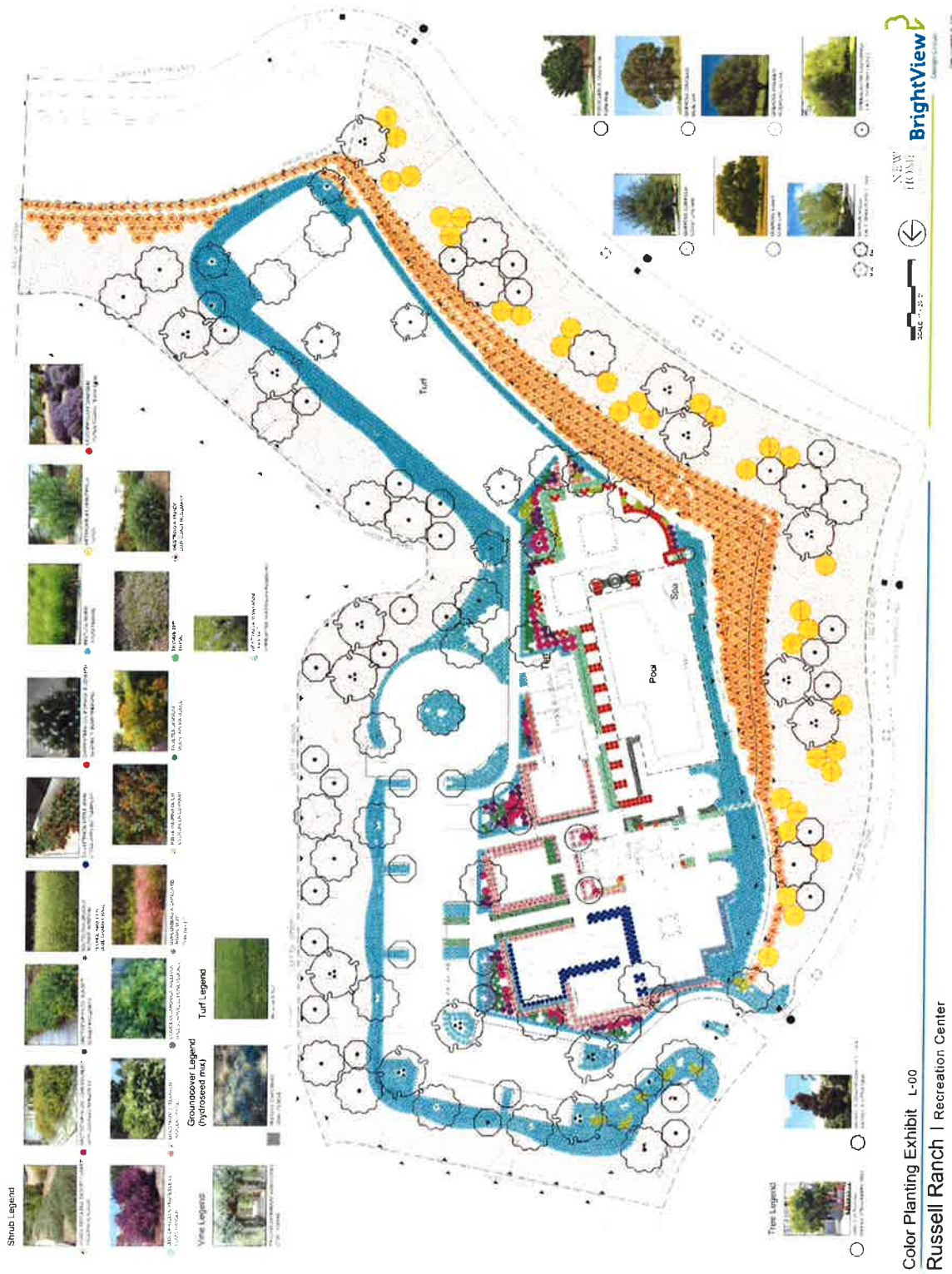
- Shower tile is to be Daltile Suede Gray D1527 12" x 18" Field tile - Vertical Running Bond
- Grout for Shower tile is to be Custom Building Products #19 Pewter

**General Notes:**

- All paint & Sherwin-Williams Paint Company & other manufacturers to be used, lab matches must be prepared and approved by Ann Matteson, Consulting
- All wrought iron, metal brackets and metal chimney caps are to be painted SW7048 Urban Bronze / Flat Finish
- All exterior or drive items such as metal doors, non-decorative vents etc. are to be painted the same color and finish as the surrounding field color
- All floor metal is to be painted to match the roofing material
- Rain Gutters and Downspouts are to be RGS Color Master or equal



# ATTACHMENT 6 - CLUBHOUSE PLANTING (LANDSCAPE) PLAN AND DETAILS







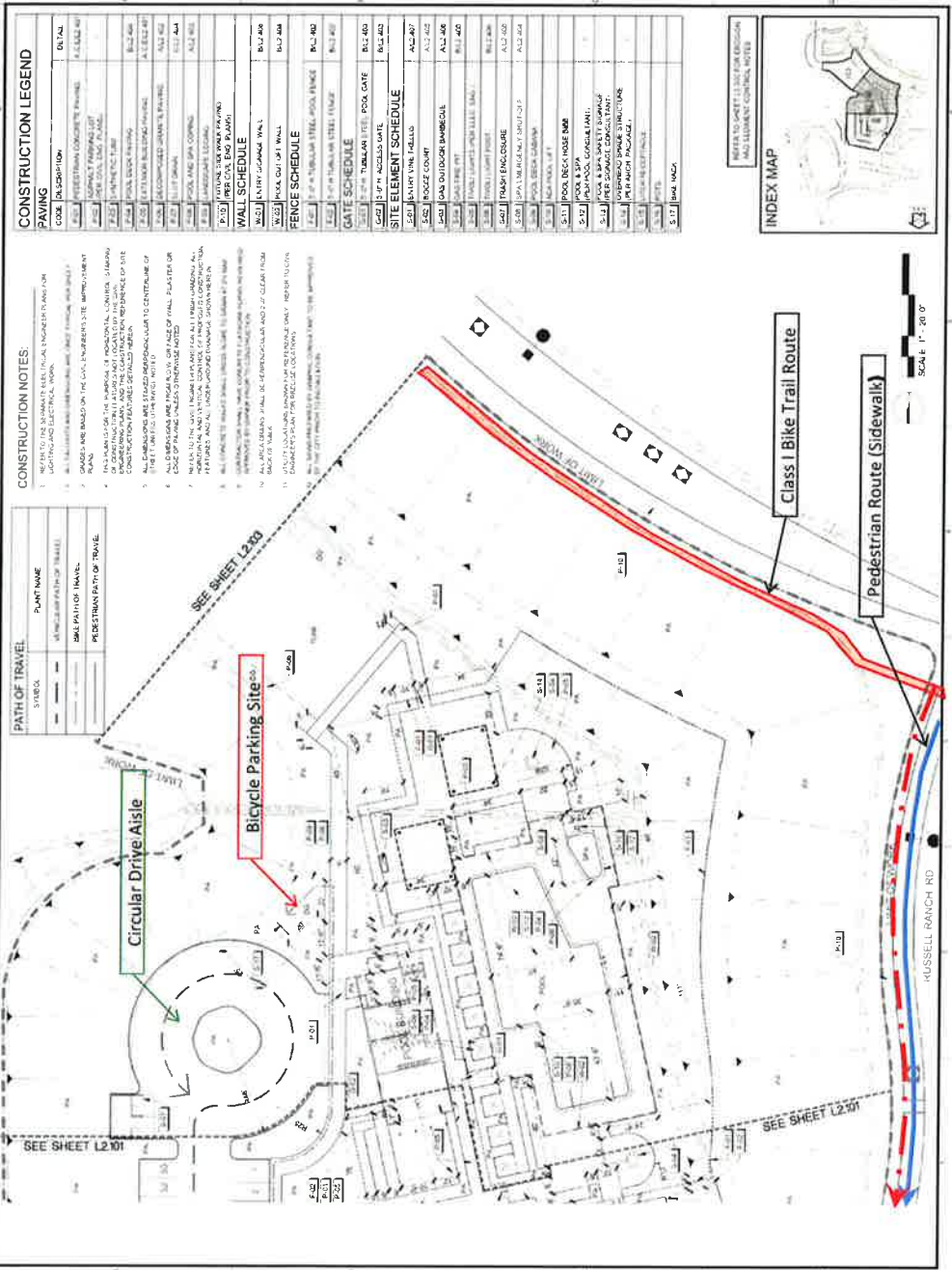


**RUSSELL RANCH REC CENTER**  
DESIGN DEVELOPMENT PLANS

**DESIGN REVIEW SET**

DATE	
BY	
FOR	
PROJECT NO.	
SHEET NO.	
TITLE	

**CONSTRUCTION PLAN**  
L-09



**CONSTRUCTION LEGEND**

CODE	DESCRIPTION	DETAIL
P-1.01	PERIMETER FENCE	P.1.01
P-1.02	PERIMETER FENCE WITH GATE	P.1.02
P-1.03	PERIMETER FENCE WITH WALL	P.1.03
P-1.04	PERIMETER FENCE WITH WALL AND GATE	P.1.04
P-1.05	PERIMETER FENCE WITH WALL AND GATE WITH WALL	P.1.05
P-1.06	PERIMETER FENCE WITH WALL AND GATE WITH WALL AND GATE WITH WALL	P.1.06
P-1.07	PERIMETER FENCE WITH WALL AND GATE WITH WALL AND GATE WITH WALL AND GATE WITH WALL	P.1.07
P-1.08	PERIMETER FENCE WITH WALL AND GATE WITH WALL AND GATE WITH WALL AND GATE WITH WALL AND GATE WITH WALL	P-1.08
P-1.09	PERIMETER FENCE WITH WALL AND GATE WITH WALL AND GATE WITH WALL AND GATE WITH WALL AND GATE WITH WALL AND GATE WITH WALL	P-1.09
P-1.10	PERIMETER FENCE WITH WALL AND GATE WITH WALL AND GATE WITH WALL AND GATE WITH WALL AND GATE WITH WALL AND GATE WITH WALL AND GATE WITH WALL	P-1.10
P-1.11	PERIMETER FENCE WITH WALL AND GATE WITH WALL AND GATE WITH WALL AND GATE WITH WALL AND GATE WITH WALL AND GATE WITH WALL AND GATE WITH WALL AND GATE WITH WALL	P-1.11
P-1.12	PERIMETER FENCE WITH WALL AND GATE WITH WALL AND GATE WITH WALL AND GATE WITH WALL AND GATE WITH WALL AND GATE WITH WALL AND GATE WITH WALL AND GATE WITH WALL AND GATE WITH WALL	P-1.12
P-1.13	PERIMETER FENCE WITH WALL AND GATE WITH WALL AND GATE WITH WALL AND GATE WITH WALL AND GATE WITH WALL AND GATE WITH WALL AND GATE WITH WALL AND GATE WITH WALL AND GATE WITH WALL AND GATE WITH WALL	P-1.13
P-1.14	PERIMETER FENCE WITH WALL AND GATE WITH WALL AND GATE WITH WALL AND GATE WITH WALL AND GATE WITH WALL AND GATE WITH WALL AND GATE WITH WALL AND GATE WITH WALL AND GATE WITH WALL AND GATE WITH WALL AND GATE WITH WALL	P-1.14
P-1.15	PERIMETER FENCE WITH WALL AND GATE WITH WALL AND GATE WITH WALL AND GATE WITH WALL AND GATE WITH WALL AND GATE WITH WALL AND GATE WITH WALL AND GATE WITH WALL AND GATE WITH WALL AND GATE WITH WALL AND GATE WITH WALL AND GATE WITH WALL	P-1.15
P-1.16	PERIMETER FENCE WITH WALL AND GATE WITH WALL AND GATE WITH WALL AND GATE WITH WALL AND GATE WITH WALL AND GATE WITH WALL AND GATE WITH WALL AND GATE WITH WALL AND GATE WITH WALL AND GATE WITH WALL AND GATE WITH WALL AND GATE WITH WALL AND GATE WITH WALL	P-1.16
P-1.17	PERIMETER FENCE WITH WALL AND GATE WITH WALL AND GATE WITH WALL AND GATE WITH WALL AND GATE WITH WALL AND GATE WITH WALL AND GATE WITH WALL AND GATE WITH WALL AND GATE WITH WALL AND GATE WITH WALL AND GATE WITH WALL AND GATE WITH WALL AND GATE WITH WALL AND GATE WITH WALL	P-1.17
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**CONSTRUCTION NOTES:**

1. VERIFY THE EXISTING AND PROPOSED UTILITY LOCATIONS AND DEPTHS PRIOR TO CONSTRUCTION.
2. VERIFY THE EXISTING AND PROPOSED SURFACE ELEVATIONS AND FINISH GRADES PRIOR TO CONSTRUCTION.
3. VERIFY THE EXISTING AND PROPOSED CONSTRUCTION MATERIALS AND METHODS PRIOR TO CONSTRUCTION.
4. VERIFY THE EXISTING AND PROPOSED CONSTRUCTION SCHEDULE AND SEQUENCING PRIOR TO CONSTRUCTION.
5. VERIFY THE EXISTING AND PROPOSED CONSTRUCTION SAFETY AND ACCESS PRIOR TO CONSTRUCTION.
6. VERIFY THE EXISTING AND PROPOSED CONSTRUCTION ENVIRONMENTAL PROTECTION PRIOR TO CONSTRUCTION.
7. VERIFY THE EXISTING AND PROPOSED CONSTRUCTION COMMUNITY RELATIONS PRIOR TO CONSTRUCTION.
8. VERIFY THE EXISTING AND PROPOSED CONSTRUCTION DOCUMENTS PRIOR TO CONSTRUCTION.
9. VERIFY THE EXISTING AND PROPOSED CONSTRUCTION PERMITS PRIOR TO CONSTRUCTION.
10. VERIFY THE EXISTING AND PROPOSED CONSTRUCTION INSURANCE PRIOR TO CONSTRUCTION.
11. VERIFY THE EXISTING AND PROPOSED CONSTRUCTION BIDDING PRIOR TO CONSTRUCTION.
12. VERIFY THE EXISTING AND PROPOSED CONSTRUCTION CONTRACT PRIOR TO CONSTRUCTION.
13. VERIFY THE EXISTING AND PROPOSED CONSTRUCTION PAYMENT PRIOR TO CONSTRUCTION.
14. VERIFY THE EXISTING AND PROPOSED CONSTRUCTION SCHEDULE PRIOR TO CONSTRUCTION.
15. VERIFY THE EXISTING AND PROPOSED CONSTRUCTION SAFETY PRIOR TO CONSTRUCTION.
16. VERIFY THE EXISTING AND PROPOSED CONSTRUCTION ENVIRONMENTAL PROTECTION PRIOR TO CONSTRUCTION.
17. VERIFY THE EXISTING AND PROPOSED CONSTRUCTION COMMUNITY RELATIONS PRIOR TO CONSTRUCTION.
18. VERIFY THE EXISTING AND PROPOSED CONSTRUCTION DOCUMENTS PRIOR TO CONSTRUCTION.
19. VERIFY THE EXISTING AND PROPOSED CONSTRUCTION PERMITS PRIOR TO CONSTRUCTION.
20. VERIFY THE EXISTING AND PROPOSED CONSTRUCTION INSURANCE PRIOR TO CONSTRUCTION.
21. VERIFY THE EXISTING AND PROPOSED CONSTRUCTION BIDDING PRIOR TO CONSTRUCTION.
22. VERIFY THE EXISTING AND PROPOSED CONSTRUCTION CONTRACT PRIOR TO CONSTRUCTION.
23. VERIFY THE EXISTING AND PROPOSED CONSTRUCTION PAYMENT PRIOR TO CONSTRUCTION.

**PATH OF TRAVEL**

SYMBOL	PLANT NAME
(Symbol)	VEHICULAR PATH OF TRAVEL
(Symbol)	BICYCLE PATH OF TRAVEL
(Symbol)	PEDESTRIAN PATH OF TRAVEL

**INDEX MAP**

SEE SHEET L2301

SEE SHEET L2302

SEE SHEET L2301

**CLASS I BIKE TRAIL ROUTE**

**PEDESTRIAN ROUTE (SIDEWALKS)**

**Circular Drive Aisle**

**Bicycle Parking Site**

RUSSELL RANCH RD

SCALE: 1" = 80' 0"

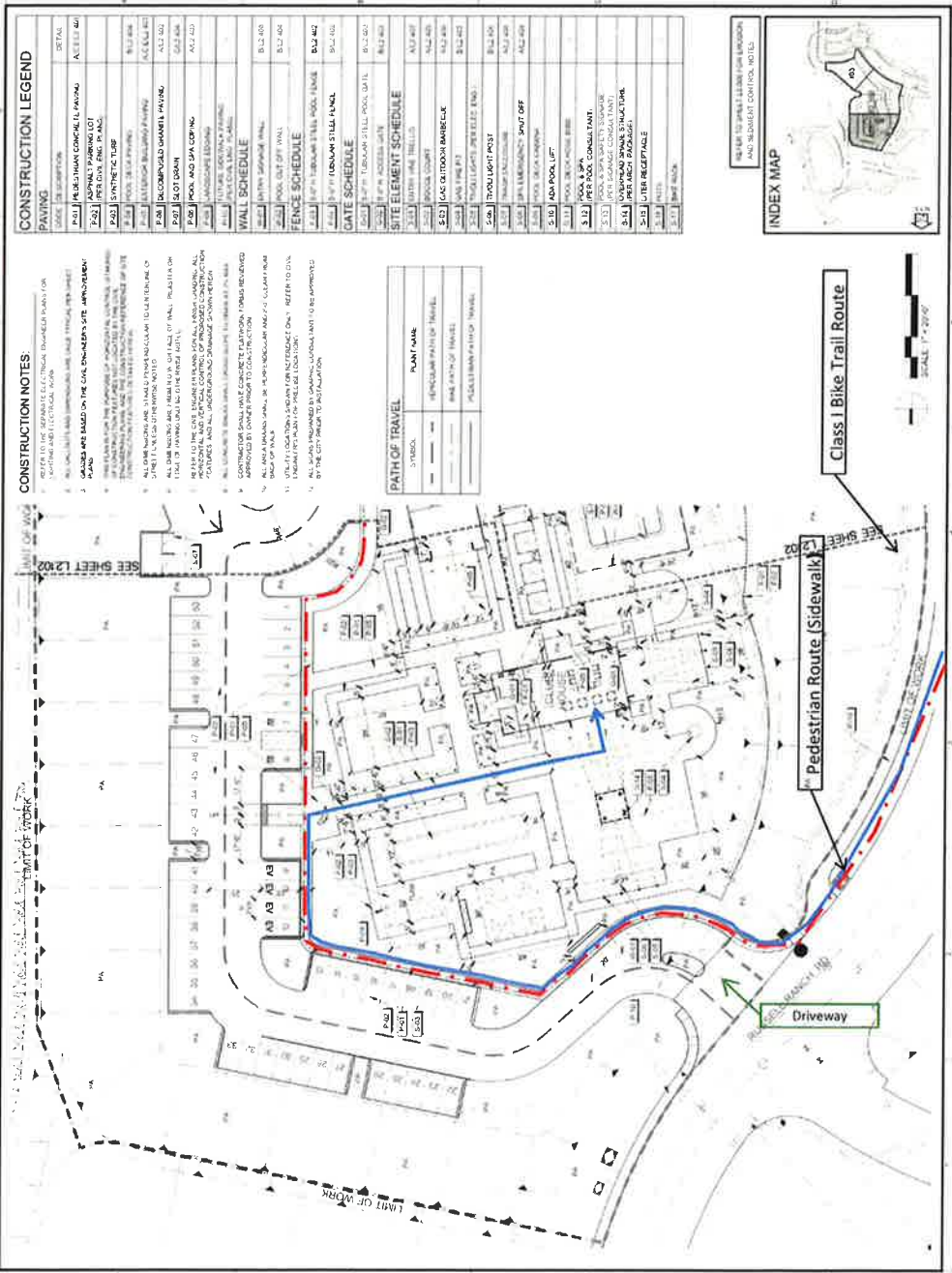


DESIGN DEVELOPMENT PLANS  
RUSSELL RANCH  
REC CENTER  
THE NEW HOME COMPANY

DESIGN REVIEW SET

DATE	DESCRIPTION

CONSTRUCTION PLAN  
L-08



**ATTACHMENT 8 - RUSSELL RANCH DESIGN GUIDELINES**





# RUSSELL RANCH

AND BROADSTONE ESTATES AT RUSSELL RANCH

PLANNED DEVELOPMENT DESIGN GUIDELINES

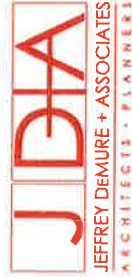
# RUSSELL RANCH

AND BROADSTONE ESTATES AT RUSSELL RANCH

## PLANNED DEVELOPMENT DESIGN GUIDELINES

DRAFT

FEBRUARY 2018



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# CHAPTER ONE: INTRODUCTION

*“A city is not an accident but the result of coherent visions and aims.”*

*-Leon Krier, The Architecture of Community*

## 1.1 HISTORY

The Russell name in Folsom dates back to just after the Civil War, when a Union Cavalry General named D.A. Russell, came to the region from Illinois to find opportunity. General Russell established Folsom as his home and started the family that would become an area legacy. Upon his death, General D.A. Russell was buried at what is now Folsom Lake, being moved to Mormon Island prior to the lake being filled. General Russell's sons, D.A. and Jack participated in what would eventually become known as rodeo, riding bucking horses and taking bets (a foreshadowing of what would become a family - and Folsom - legacy). Through the years, D.A. and Jack became successful businessmen and continued to prosper in the area. D.A.'s son Melvin became a significant cattle rancher, developing what was known as the Home Ranch, off of Scott Road and eventually buying up the land all the way north to Highway 50. Melvin's son, Dan H. Russell, continued the legacy and eventually expanded what became known as the Russell Ranch to be one of the largest cattle operations in the country. Dan H. Russell further contributed to local Folsom history by entering the rodeo business in the 1960's and designing the Dan Russell Arena, which was considered to be one of the best in the nation and propelled the city to be known as the Rodeo Cowboy Capital of the Western States in 1976.

Today, Russell Ranch reflects its history as grazing land through minimal natural vegetation, presenting a prime opportunity to introduce a new neighborhood with a localized landscape palette that respects the natural terrain and topography. The rolling hills of Russell Ranch present breath-

taking views of the Sacramento valley and city lights, and will become a trademark of the new neighborhood.

## 1.2 LOCATION AND SETTING

Russell Ranch and Broadstone Estates are located in the City of Folsom, approximately 25 miles east of Sacramento in the foothills of the Sierra Nevada Mountains. Used through the years as cattle grazing pastures, the land features rolling topography and minimal native vegetation. The site is bordered on the west by Placerville Road and the Sacramento-Placerville Transportation Corridor (old Southern Pacific railroad right-of-way) to the north

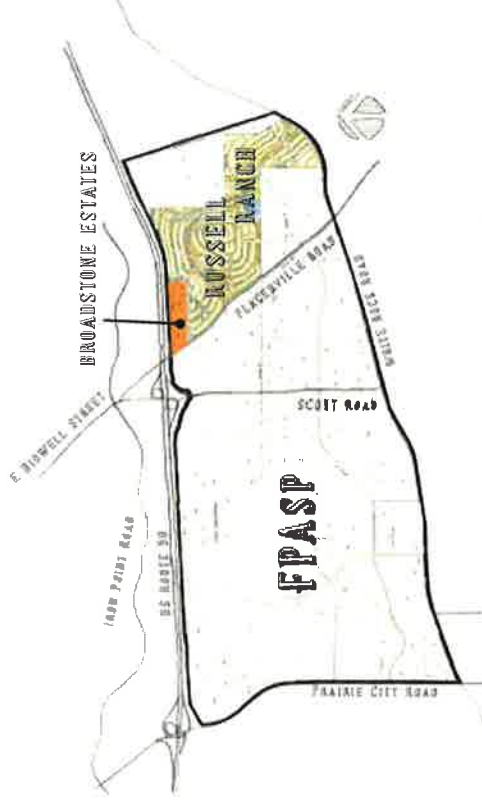


Figure 1.1: Vicinity Map

by US Highway 50, to the south by White Rock Road, and to the east by a parcel within the City of Folsom, with the Sacramento County/ El Dorado County line beyond. Adjacent land to the south across White Rock Road is within Sacramento County outside of the Folsom Plan Area Specific Plan (FPASP or Plan Area).

As part of the FPASP, Russell Ranch will be part of a holistic, interconnected community featuring a network of both on-street and off-street bicycle and pedestrian connections. The Plan Area will also feature residential neighborhoods with a variety of densities to appeal to a broad diversity of residents, community-serving retail, services, a town center, office and industrial uses, schools, parks, and significant preserved open space. All of these components work together to create an integrated community intended to respect and complement the City of Folsom’s commitment to a high quality of life for its residents.

The FPASP zoning for the approximately ±437 acre site is Single Family (SP-SF-PD), Single Family High Density (SP-SF-HD-PD), Multi-Family Low Density (SP-MLD-PD), Open Space (SP-OS-PD), Park (SP-P-PD), and Public-Quasi Public (SP-P-QP-PD). The neighborhood will include residential home sites, a gathering Recreation Center, and an open space network of walking trails and a neighborhood park.

### 1.3 PURPOSE

The purpose of this document is to work in concert with the Planned Development Zoning Ordinance, consistent with Chapter 17.38 PLANNED DEVELOPMENT DISTRICT of Title 17 of the City of Folsom Municipal Code and Chapter 17.06 DESIGN REVIEW, also of Title 17 of the Folsom Municipal Code, to guide the planning and design of the neighborhood. These Guidelines provide a comprehensive overview of the design criteria required to implement the desired physical

form of the community and its key features. The Guidelines address land use, site design, circulation, landscaping, architectural character, and other components to create a distinguished community comprised of high quality design and interconnected open spaces.

These Guidelines function to:

1. Implement the City of Folsom General Plan goals for the Plan Area.
2. Implement the Folsom Plan Area Specific Plan.
3. Complement the design guidelines for “Public Realm” space set forth in the Community Design Guidelines that apply to the entire Plan Area with project-level design standards.
4. Establish a design framework within which developers, builders, and architects/designers can conceive and produce high-quality design and construction within the development.
5. Create a design review framework by which to evaluate, critique, and approve development projects on individual sites within the Plan Area.

The FPASP (and amendments to the FPASP) and the Planned Development Permits provide the zoning and development standards for the project, with further project-level refinements included in these Design Guidelines. The FPASP provides that in the event of conflict between the FPASP and the Folsom Municipal Code, the provisions of the FPASP will take precedence. The project-level Design Guidelines are required by the FPASP and approved as part of the Planned Development Permits. Therefore, the project-level Design Guidelines also take precedence over any conflicting provision in the Folsom Municipal Code. The Community Design Guidelines, also required by the FPASP, apply to the entire Plan Area, and govern design features for the “Public Realm” space (as defined in the Community Design Guidelines). Pursuant to

development agreements in place on most properties within the FPASP, the Community Design Guidelines (referenced in the development agreements as “Design Guidelines”) cannot be amended without the consent of all “Participating Landowners,” which is generally defined as those owners with approved, executed and recorded development agreements.

## 1.4 DOCUMENT AUTHORITY

The Plan Area consists of property within the city limits of the City of Folsom and is subject to the land use and jurisdictional authority of the City’s relevant ordinances and codes. The Plan Area, and the Russell Ranch project in particular, are within the FPASP (including those amendments to the FPASP approved for the Russell Ranch project). The Russell Ranch project (including Broadstone Estates) also is subject to First Amended and Restated Development Agreements by and between the City of Folsom and TNHC Russell Ranch, LLC and separately between the City of Folsom and Elliott Homes, Inc. relative to the Folsom South Specific Plan (“Amended and Restated Development Agreement”). Both the FPASP and the Amended and Restated Development Agreements require preparation and approval of both community-wide and project-level design guidelines.

The Folsom City Council approved Community Design Guidelines to govern the Public Realm portions of the FPASP. These project-level design guidelines will satisfy the second requirement of the FPASP and the Amended and Restated Development Agreement. Pursuant to the Amended and Restated Development Agreement approved by the City Council, the provisions of the Community Design Guidelines and the project-level Design Guidelines shall be vested for the term of that agreement.

Environmental review for the Russell Ranch project (including these Design Guidelines) was completed by certification of the Final Environmental Impact Report in 2015 and for Broadstone Estates in 2016; by approval of these Design Guidelines, the Folsom City Council also made a finding of consistency with the General Plan and the FPASP.

The General Plan provides the overall guidance for the City’s physical development by setting forth general goals, objectives, policies, and programs for the entire City planning area. The Planned Development Zoning Ordinance adopted for the property, consistent with Chapter 17.38 PLANNED DEVELOPMENT DISTRICT of Title 17 of the City of Folsom Municipal Code, along with these Guidelines, implement the City General Plan and the FPASP with specific development standards and design guidelines for this Project, governing individual project applications and construction. This set of guidelines establishes a link between the General Plan, FPASP and future individual project level development proposals.

## 1.5 ADMINISTRATION OVERVIEW

### 1.5.1 Compliance

The FPASP (and approved amendments to the FPASP) and the Planned Development Permits provide the zoning and development standards for this project, with further project-level refinements included in these Design Guidelines. The City Planning staff, Planning Commission, and City Council will use these Design Guidelines as a vehicle to review specific development proposals and to implement the project’s vision and regulations. Future development proposals and plans, whether individual buildings or collectively phased projects, must comply with these Guidelines, as well as the General Plan, FPASP (and amendments to the FPASP) and Zoning Code, where applicable. These Design Guidelines are intended to be used by City staff, property owners, architects, landscape architects,



designers, builders, and developers in the planning and design of individual projects within the Plan Area.

**1.5.2 Conflicts with City Code and other Approved Entitlements or Policies**

The Russell Ranch SPA and Broadstone Estates SPA (separately) modified certain provisions of the FPASP, and these Design Guidelines are intended to implement the provisions of these Specific Plan Amendments. Therefore, should particular elements in these Design Guidelines or the Planned Development Zoning Ordinance adopted for the property conflict with development standards or regulations in the Folsom Zoning Code or the Folsom Plan Area Specific Plan, these Design Guidelines shall prevail. However, design components within the "Public Realm" (as defined in the Community Design Guidelines) cannot be amended without the consent of all "Participating Landowners" (as defined in development agreements between the landowners and the City). Therefore, the Community Design Guidelines will prevail in the event of any inconsistency between these Design Guidelines and the Community Design Guidelines. Where these Design Guidelines provide greater specificity on design detail for components of projects within the Public Realm, the Community Development Director shall determine that the project level design detail of components included within the Public Realm is consistent with, and does not purport to amend, the requirements set forth in the Community Design Guidelines.

Conversely, any particular element or provision not specifically covered in these Design Guidelines shall be subject to the provisions of the Community Design Guidelines for the Plan Area (as to components of the "Public Realm"), and otherwise to the provisions of the Russell Ranch and Broadstone Estates SPAs, the FPASP and/or the Folsom Municipal Code as applicable. As provided for in the FPASP (as amended by the Russell Ranch Specific Plan Amendment), in any instances where the Russell Ranch and Broadstone Estates SPAs pro-

visions and Design Guidelines conflict with the requirements of the Folsom Municipal Code, the Russell Ranch and Broadstone Estates SPAs provisions and the Design Guidelines will take precedence. Where the Russell Ranch and Broadstone Estates SPAs or its Design Guidelines do not address a specific provision, the FPASP and/or the Community Design Guidelines (as to components of the "Public Realm") will take precedence. If none of these entitlements or policy documents addresses a specific provision, the Folsom Municipal Code requirements remain in force.

**1.5.3 Modifications and Amendments**

The Planned Development Design Guidelines are intended to encourage and direct a high level of design quality to the project site while permitting flexibility for creative expression and innovative design solutions. However, deviations to these guidelines may be considered for projects with special and unique design characteristics during the Russell Ranch Design Review Committee (RRDRC) and the City's Design Review process and are categorized as either minor administrative modifications or amendments. The criteria to be applied for evaluating such modifications and amendments are set forth in Section 13.3.1 of the FPASP and shall be controlling for this project. Amendments to these Design Guidelines shall be reviewed and approved as required by the FPASP, the Folsom Municipal Code and/or California Government Code Section 65453.

In addition to the criteria set forth in Section 13.3.1, minor administrative modifications shall also include, but are not limited to, architectural style design modifications and architectural material substitutions that are consistent with and do not substantially change the overall intent of these Design Guidelines. Review and approval of minor administrative modifications shall be conducted by the Community Development Director.



The Community Development Department may, at its discretion, defer review and action of any item where it has decision making authority to the City Planning Commission and/or City Council; however, unless subject to an appeal, minor administrative modifications do not require review by either of these legislative bodies. Decisions of the Community Development Director are subject to appeal to the Planning Commission, and decisions of the Planning Commission are subject to appeal to the City Council.

## **1.6 RESIDENTIAL DESIGN REVIEW PROCESS**

The design review process described in this section is intended to ensure that residential villages within Russell Ranch contribute to the character and quality envisioned for the neighborhood. This four-step process is intended to be efficient, without compromising the quality of design solutions. The Russell Ranch Design Review Committee (RRDRC), comprised of representatives of the master developer and design professionals appointed by the master developer, will review all designs developed for the Russell Ranch neighborhood prior to submittal to the city.

### **STEP 1: PROJECT APPLICATION**

The design review process will commence upon receipt of the Builder's application form and review fee. At the applicant's request, a kick-off and orientation meeting with the RRDRC during this phase may be scheduled.

Submittal Requirements:

Completed application form and fee

### **STEP 2: PRELIMINARY DESIGN REVIEW**

This step is intended to establish and define the project's preliminary architectural and landscape character and concepts.

Upon review and approval of the Builder's submittal package, the RRDRC will schedule a Preliminary Design Review Session, during which the RRDRC will meet with the builder to review and discuss the submittal.

The Preliminary Design Review Session is an opportunity to review the following design criteria:

- o Selected architectural styles from the Russell Ranch Architectural Palette. Applicant may propose additional architectural styles that are consistent with the neighborhood vision for the RRDRC's review and approval.
- o Architectural form, massing, roofs, and details, which establish character.
- o Preliminary concepts for colors and materials.
- o Landscape concepts identifying major tree and shrub massing, hardscape areas, and proposed character.
- o Walls and fencing

Following the Preliminary Design Review, the RRDRC shall prepare and submit to the applicant, within 15 business days of plan submittal, a written memorandum outlining the agreed-upon direction of the RRDRC and the applicant.

Submittal Requirements:

### **CIVIL / PLANNING**

1. Location map showing project location within the overall neighborhood.

### **LANDSCAPE**

2. Landscape concept plans, identifying the general planting scheme, street tree program, typical front, side, and rear yards. Plans shall be prepared at a minimum scale of 1"=20'.
3. Color illustrative depicting typical landscape

treatment for at least three contiguous lots, including one corner lot. The typical plan shall include at least one of each floor plan proposed for the project. The plan shall include a description of the landscape concept.

#### ARCHITECTURE

1. Preliminary building floor plans and front elevations for all proposed plans. These should be at minimum 1/4"=1'-0" scale.
2. Building coverage or floor area ratio calculations.
3. Consistency with project development standards and architectural guidelines.
4. Architectural color and material sample boards (or equivalent information as approved by the RRDRRC) for every color scheme by architectural style intended. These should be noted by elevation style for each product.

The RRDRRC will issue a Preliminary Design Review Memorandum (PDRM) detailing the results of the Preliminary Design Review. The PDRM will state one of the following:

1. Approved to move forward to Final Design Review
2. Approved to move forward to Final Design Review with Comments & Conditions
3. Denied with Comments; resubmittal of Preliminary Design Review is required

#### STEP 3: FINAL DESIGN REVIEW

This step is intended to review the specific designs for the architecture and landscape elements of the project.

Upon receipt of an approved PDRM, more detailed project plans shall be prepared and submitted to the RRDRRC for design review. Plans shall be a progression of the approved plan and direction established during Preliminary Design Review.

Professionals licensed to practice in the State of California shall prepare all Architecture, Civil Engineering, and Landscape Architecture plans. No non-licensed design work shall be permitted.

Submittal Requirements:

#### CIVIL / PLANNING

1. Dimensioned site plan showing:
  - Building footprints
  - Porches and patios
  - Garages
  - Street curbs and rights-of-way
  - Easements
  - Driveways and walkways
  - Dimensioned building setbacks
  - Compliance with project development standards
  - Garbage locations

2. On all motor court lots, utility coordination drawings, showing location and visual mitigation measures for all major utilities must be provided. Careful attention should be given to the placement of utility and irrigation cabinets, backflow preventers, and garbage bin locations to mitigate their visibility.

#### LANDSCAPE

3. Landscape Plans (minimum scale 1"=20') including:
  - Cover sheet with sheet index.

MISCELLANEOUS

- 9. Comment response memo identifying the steps taken to address RRDRC comments from Step 2: Preliminary Design Review.
- 10. Estimated Construction Schedule for completion of the project, including improvements, model home complex site improvements, and phasing.

STEP 4: CITY DESIGN REVIEW SUBMITTAL

After final approval by the RRDRC, applicant shall submit for Design Review by the City of Folsom. The Community Development Department will evaluate and determine the proposed project's consistency with the Russell Ranch Design Guidelines and the City's other applicable requirements as set forth in Section 1.5.2 of these Design Guidelines (and in the order of priority established in that Section) and forward the project to the Planning Commission for final review and approval.

STEP 5: CONSTRUCTION DOCUMENT REVIEW

After Design Review approval by the City of Folsom, applicant shall submit completed construction documents to the RRDRC to review for consistency of designs with approvals through the design review process.

Within 15 days of construction document submittal, the RRDRC will submit to the applicant a memorandum indicating one of the following:

1. Approved to move forward for building permit submittal to the City of Folsom.
2. Denied with comments; resubmittal of construction documents is required.

The RRDRC reserves the right to inspect plans and conduct field inspections.

- Plant material and hardscape list and key, including finishes and colors of hardscape and fencing.
- Typical landscape, planting, and irrigation plans for each unique footprint type and each lot type (i.e., corner lot, loop lot, or other non-standard lot).
- Fencing, hardscape, and planting details.
- Fencing site plan.
- Plant lists should include species diversity identified with WUCOL ratings, relating to water efficient landscape ordinance AB 1881.
- 4. Site Plan / Landscape Concept for Model Home Complex, Sales Office, and Temporary Marketing Facility (minimum scale 1"=20'). Model landscape plans may be deferred at the discretion of the RRDRC.

ARCHITECTURE

5. Colored street scene showing at least three contiguous lots, actually occurring within the subject site, including one corner lot. Each plan type and an example of each selected architectural style must be depicted. The lot number, plan type, and architectural style shall be identified for each lot.
6. Architectural construction drawings, including floor plans, roof plans, secondary unit plans, alternatives or options, all exterior elevations (including interior courts), sections, and key details, prepared at a minimum scale of 1/4"=1'-0".
7. Architectural color and material sample boards (or equivalent information as approved by the RRDRC) for every color scheme by architectural style intended. These should be noted by elevation style for each product.
8. The builder shall submit to the RRDRC, plotting for each phase of construction to ensure that housing diversity is delivered for each neighborhood.

## 1.7 DOCUMENT ORGANIZATION

The Russell Ranch Design Guidelines have been prepared according to the following structure to guide development of the neighborhood.

### CHAPTER 1: INTRODUCTION

Chapter 1 summarizes the context of the Russell Ranch site, its location and purpose, and outlines the authority and structure of this document.

### CHAPTER 2: NEIGHBORHOOD FRAMEWORK

This chapter describes the overall vision and goals for the Russell Ranch neighborhood, specifies the guiding design and planning principles, and explains the physical framework for key elements such as land use and circulation, residential land uses and densities, open space, and parks.

### CHAPTER 3: STREETSCAPE & NATURAL ENVIRONMENT GUIDELINES

This chapter describes the landscape framework and principles applied to the Russell Ranch neighborhood for streetscape, community interface, park, and open space landscapes. This section also discusses guidelines for landscape design elements such as lighting, site furniture, fences and walls, conservation, and sustainable planting.

### CHAPTER 4: ARCHITECTURAL DESIGN GUIDELINES AND DEVELOPMENT STANDARDS

This chapter outlines design principles, development standards, and architectural guidelines for Russell Ranch to assist homebuilders in creating unique, memorable, meaningful, and relevant housing solutions for the neighborhood. Design guidelines for the neighborhood gathering Recreation Center are also addressed within this chapter.

### CHAPTER 5: BROADSTONE ESTATES

Chapter 5 summarizes the context of the Broadstone Estates site, its location and purpose, and outlines the standards that apply specifically to this community.



## CHAPTER TWO: NEIGHBORHOOD FRAMEWORK

*“While the spirit of neighborliness was important on the frontier because neighbors were so few, it is even more important now because our neighbors are so many.”*

*-Lady Bird Johnson*

### 2.1 NEIGHBORHOOD VISION

Russell Ranch is in the eastern region of the Folsom Area Specific Plan and is unique from much of the other more flat land within the region through the nature of its natural rolling landforms and lower valleys. The distinctive hillsides present a unique opportunity to create a truly three-dimensional design approach, with detailed consideration of view corridors (both of the neighborhood and from the neighborhood) and interstitial spaces, such as slopes, street corridors, and natural open space areas. At its core, Russell Ranch endeavors to create a distinctive new neighborhood that emphasizes the best of California living through an enhanced outdoor-centric focus and a true blending of indoor/outdoor spaces and private/public realms.

This neighborhood will appeal to Folsom’s active, family-oriented lifestyle with an interconnected network of open space and trails, a neighborhood park, and a neighborhood recreation center. Residents of Russell Ranch will be able to cycle or walk on off street trails to the vibrant East Bidwell shopping district as well as the FPASP Town Center and other neighborhood retail, service, and open space destinations within the Plan Area and connect to the greater Folsom community.

The following pages describe and illustrate the roadmap to create a new neighborhood that embraces and enhances its history, environment, and the culture of its surroundings.

As depicted by the conceptual land use illustrative (FIGURE 2.1), the proposed neighborhood plan will consist of single-family housing, a neighborhood recreation center, a school, parks, and open spaces. Meaningful open spaces act as a unifying organizational element for the Russell Ranch neighborhood, just a short walk from every home within the neighborhood. These open spaces include hillside areas, which will be carefully designed to create a soft and textural landscape expression. With a complementary palette of authentic and reinterpreted California architectural styles, the neighborhood will embody contemporary neighborhood design. The following set of guiding principles will serve to influence and direct future individual development projects within the neighborhood to ensure that the overarching vision for the neighborhood is respected and achieved.



Figure 2.1: Conceptual Land Use Illustrative



## 2.2 GUIDING PRINCIPLES

- ONE. Embrace understated elegance.
- TWO. Create thresholds, destinations, and experiences.
- THREE. Celebrate California's rich heritage: fresh, unique, local.
- FOUR. Reflect the natural beauty of the site and its surroundings.
- FIVE. Carefully consider transition feathering of refined edges to natural open space.
- SIX. Deliver a lifestyle of health, wellness, fitness, activity, and outdoor living in a family-oriented environment.
- SEVEN. Celebrate hillside living through unparalleled views and carefully designed slopes creating meaningful open spaces.

## 2.3 LAND USE

The individual land uses within the Russell Ranch neighborhood include:

- The Residential Neighborhood
- The Recreation Center
- The School
- The Parks
- The Open Space

### 2.3.1 The Residential Neighborhood

The residential neighborhood of Russell Ranch is composed of traditional single-family homes typically ranging from 5,000 to 9,000 square foot lots, with some lots being as large as 16,000 square feet. These homes create a distinctive streetscape in a welcoming and familiar configuration.

The Multi-Family Low Density area within Russell Ranch comprise a micro neighborhood of court homes. With six homes per court, these homes present a unique opportunity for young professionals, young families, and older adults looking for a low-maintenance living solution with a traditional single-family detached home, but on a smaller lot.

### 2.3.2 The Recreation Center

Located at the crest of the hill overlooking spectacular views of the Sacramento Valley, the recreation center at Russell Ranch presents an opportunity for neighborhood socialization, events, and recreation. The recreation center will feature indoor and outdoor amenities including a swimming pool and BBQ area, designed to appeal to youth and adults alike.

### 2.3.3 The School

An elementary school joins Russell Ranch and the adjacent land to the south, providing a great walkable amenity for the future families of Russell Ranch.

### 2.3.4 The Parks

Russell Ranch features two parks within easy walking distance of the neighborhood's residences. Active and passive amenities will offer a broad multi-generational appeal for residents of the neighborhood.



### 2.3.5 The Open Space

The open space of Russell Ranch is woven throughout the neighborhood, connecting the tiered street network and providing an off-street trail system through the naturalized open space corridors. Open space areas will consist of undisturbed preserve areas intended to protect sensitive biology and habitat, as well as passive areas that will accommodate trail systems and act as a transition to more formalized landscape areas. Respite have been created to supplement the neighborhood open space by providing informal resting and meeting spots throughout the community.

## CHAPTER 3: STREETSCAPE & COMMUNITY ENVIRONMENT GUIDELINES

*"In every walk with nature one receives more than he seeks."*

*-John Muir*

This chapter describes the landscape framework and principals applied to the Russell Ranch project for streetscape, community interface, park, and open space landscape design. This section also discusses guidelines for landscape design elements such as lighting, site furniture, fences and walls, conservation, and sustainable planting.

The first section establishes the landscape design for the neighborhood. Included are guidelines for landscape and planting, conservation and sustainable planting practices, community elements, lighting, fencing and walls. The second section discusses the pedestrian and vehicular circulation of Russell Ranch and how the landscape structure and character complements these systems. The two main street systems in the Russell Ranch project occur against open space areas, and will take advantage of these landscape features. The third section discusses the parks and open space areas of Russell Ranch and how the landscape character will support the parks and passive open space areas.

### 3.1 LANDSCAPE DESIGN

The guidelines for the Russell Ranch neighborhood landscape design include the landscape planting framework, community elements, walls, fencing, lighting and sustainable planting practices. Consistent with the goals, vision, and policies of the FPASP, the intent is to provide a comprehensive guide to these design elements within the hillside area. The hillside area landscape design should have a distinctly different character from the FPASP valley floor areas.

The landscape design and structure within the Russell Ranch project is influenced by the slopes, hilltops, valleys, and drainage and its unique character at the eastern portion of the FPASP. The land plan celebrates the existing undulating knoll forms of the site, while at the same time preserving the site tributaries that lead to Alder and Carson Creeks. The Oak Woodland and Savannah communities that occur naturally at the west end of the FPASP plan area influence the landscape design of the hillside. (Refer to the “Operations and Management Plan for Folsom Plan Area Specific Plan Open Space” for the existing plant community structure). The naturally occurring Russell Ranch landscape concept is based on the use of colors and forms that emulate this existing plant community. Tree species with soft mounded forms within open space grades and strategic placement of screening trees to soften homes and edges will preserve Russell Ranch’s hillside open space character.

The community elements are inspired by the rich history of the land in its ranching, gold rush and rail history and by the forms seen in the natural environment. These elements will be celebrated in the use of indigenous stone and plant material, fencing, site amenities, paving, etc. and are outlined in the sections that follow.







Figure 3.1 Master Landscape Plan





Figure 3.2 Landscape Typologies Diagram

### 3.1.1 Landscape Typologies

The existing vegetation within the FPASP is a confluence of Riparian, Oak Woodland, Oak Savannah, and Grassland plant communities. (Refer to exhibits 5A-5C of the Biological and Ecological Component of the Water Shed Assessment Technical Report "Alder Creek Watershed Project", February 2010 for the Alder Creek Watershed Vegetation / Land Cover Types). These plant community patterns are the inspiration for the planting concept for the Russell Ranch project. In establishing a landscape structure, these plant communities have been applied to the project as extensions of the natural plant communities in the FPASP. (Refer to the "Operations and Management Plan for Folsom Plan Area Specific Plan Open Space" for the existing plant community distribution).

The site's extended Riparian, Woodland, and Savannah zones have been arranged over the community in a manner that is supported by topography, slope aspect, elevation and water availability to simulate the natural systems. The site's plant communities are informal that follow open space patterns, creating diverse visual experiences throughout Russell Ranch. Figure 3.2 illustrates the landscape typologies arranged over the community and how they relate to key street sections depicted in Section 3.2. The following sections describe the landscape typologies and the landscape structure within them.

#### 3.1.1.1 The Riparian Typology

The "Riparian" zone is a linear, low-lying, seasonal feature envisioned to be rich in seasonal color and wildlife with understory diversity. The site's preserved open space areas include ephemeral Pools and seeps that are special, seasonal features. (Refer to the "Operations and Management Plan for Folsom Plan Area Specific Plan Open Space" for information regarding open space preserve and passive open space

areas). The protected Riparian zone embraces the natural community plant character found in native Riparian ecology. In adjacent areas outside the protected boundaries, the plant palette will utilize a native plant palette and introduce adaptive species appropriate to this plant community. Refer to Appendix A for the Riparian Plant Community palette.



**Riparian Typology Character**

#### 3.1.1.1 The Oak Woodland Typology

The "Oak Woodland" plant community is a dense, shady, and diverse Oak community. The unique aspect of the Oak Woodland typology is the mixture of other tree species such as California Buckeye and California Western Red Bud interspersed within the oaks. This community has a diverse and rich understory of shrubs and ground cover.



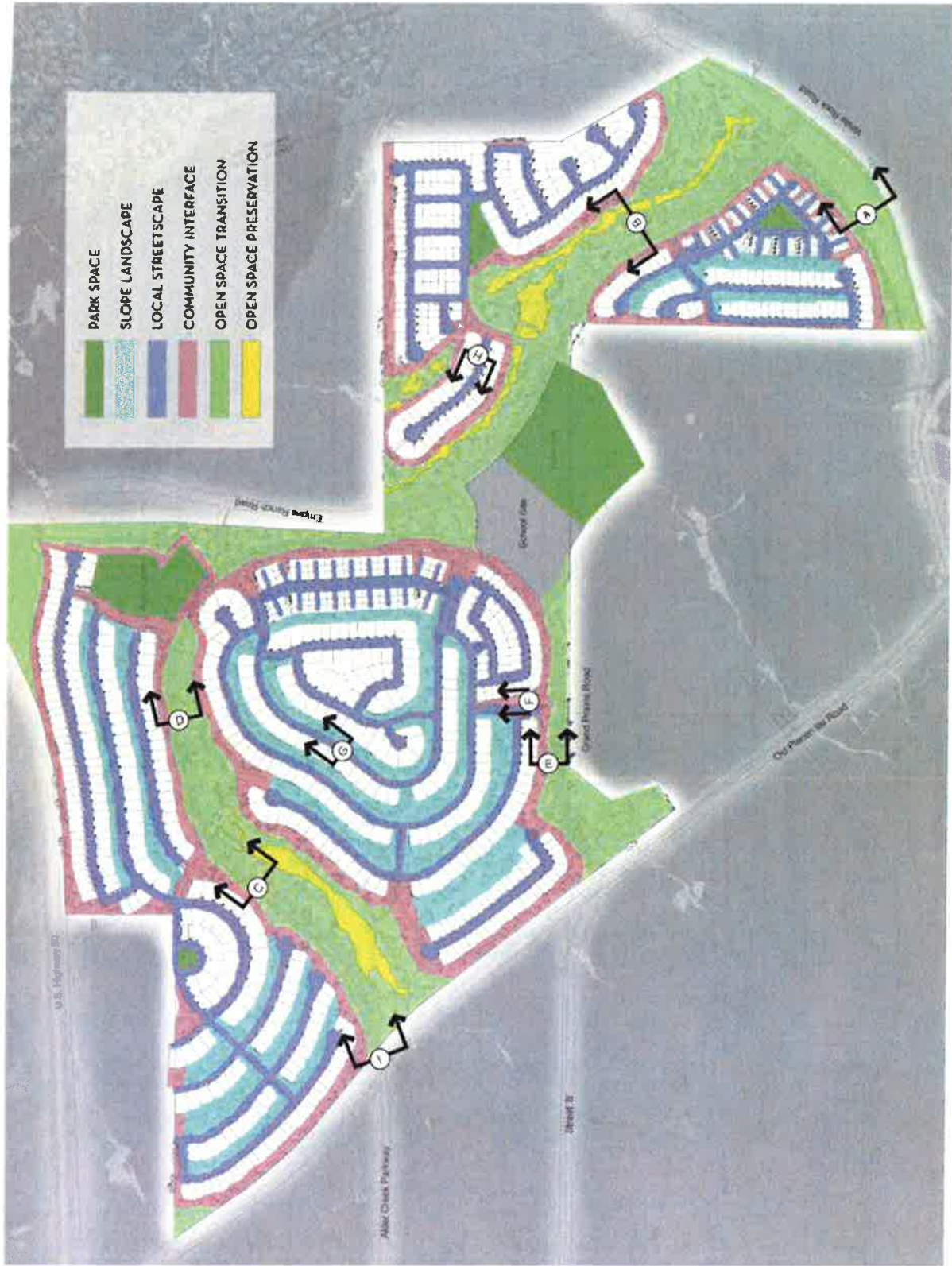


Figure 3.3: Landscape Framework Diagram

The landscape plant selection in the Oak Woodland zone receives its cues from the natural community by using trees and shrubs similar in form, color, and ecology. Trees that complement the oak species will be used in the streetscape and slope areas. Oak Woodland including native plant species will use adaptive ornamental and California natives appropriate to the Oak Woodland plant communities. Refer to Appendix B for a complete plant list within the Oak Woodland Community.



#### **Oak Woodland Typology Character**

##### **3.1.1.1 The Oak Savannah Typology**

The “Oak Savannah” plant community is located at the highest areas of the Russell Ranch project and is characterized by more open, informal patterns of oaks and evergreen trees. The landscape plant selection in the Oak Savannah zone receives its cues from the natural community by using trees, shrubs and grasses similar in form, color, and ecology. Trees that complement blue oak species will be used in the streetscape and slope areas of the project. The Oak Savannah include local native plant species and adaptive ornamental and California natives appropriate to the Oak Savannah plant communities. Together these plant communities will compose the landscape of the hillside development. Refer to Appendix C for all plants within the Oak Savannah Community.



#### **Oak Savannah Typology Character**

##### **3.1.2 Planting Framework / Structure**

The landscape typologies define the conceptual aspect of the planting design approach and associates the landscape zones with the plant species listed in Appendices A, B and C. In this section, the planting framework sets forth the applications for the various conditions, natural and man-made, and describes the overall intent for the implementation. The typology zone and framework zones are intended to work in concert, overlapping and co-mingling with each other to provide a distinction between plant species and edges of the developed areas. The planting framework descriptions are further supported by additional explanation in section 3.2. The following sections describe the structural and functional goals for the landscape.



### 3.1.2.1 Preserved Open Space Landscape

The preserved areas of open space are protected, sensitive to the biology and habitat of the area and will remain natural and undisturbed. (Refer to the “Operations and Management Plan for Folsom Plan Area Specific Plan Open Space” for information regarding open space preserve and passive open space areas). The preserved areas include a setback from the edges to protect the boundaries of the defined resource. Areas outside the setback are considered passive open space areas and appropriately enhanced to support and buffer the natural condition. The “Open Space Transition Landscape” is further described in section 3.1.2.2. The preserved open space areas are protected, where no landscape improvements will be made to these zones. Due to the elimination of cattle grazing in these areas, the preserve areas will return to a naturalized landscape feature. The preserved natural state of these will help to support the down stream health of the Alder Creek and Carson Creek water sheds.



Open Space Character

### 3.1.2.2 Open Space Transition Landscape

As shown in Figure 3.3, the “Open Space Transition Landscape” surrounds the open space preservation areas, and is within the Riparian landscape typology. Where required, this landscape area will allow for a 30’-0” to 100’-0” buffer for defensible fire zone. It is the largest landscape zone in the Russell Ranch project and will have a significant impact on the overall character of the project. The open space transition landscape zone is predominantly native in character with landscape materials that will naturalize with the open space preserve and blend into the community development. It is intended to establish a naturalistic buffer for the preserve areas and create an enhanced experience for users of the trails and paths. This transition zone also creates a visual amenity for the automobile traffic, further celebrating the open space character of the project. Consistent with the FPASP, these open space transition areas will include trails, parkways and road medians. This zone may include irrigation or temporary irrigation to establish native plantings. In some areas, this temporary system may be turned off after a 3-5 year establishment period.



Open Space Character



### 3.1.2.3 Community Interface Landscape

The “Community Interface Landscape” zone creates a contiguous visual buffer to the residential housing areas in the project. Refer to Figure 3.3 for the location of the community interface landscape zones. The community interface landscape is intended to screen unattractive views from the public realm and preserve views from homes. The plant material selected for this zone predominantly includes plants from the Riparian typology zone and the Oak Woodland zone. Evergreen trees will provide the screen to soften development. The plant species for the community interface zone will include California natives and will utilize adapted species providing drought tolerant planting for the community. This landscape will be irrigated and maintained to blend the streets and entries with the developments open space character.

### 3.1.2.4 Slope Landscape

The “Slope Landscape” zones are the internal slope areas between the residential lots. Refer to Figure 3.3 for the location of the slope landscape zones. The slope landscape between neighborhood areas will include trees that will provide buffer screening at the toe of slopes from back yards and maintain view landscape at the top of slopes. Additionally, this landscape will help to provide structural stability to the engineered slopes. The plant material selected for this zone includes plants from the Oak Woodland and the Oak Savannah typologies. Refer to Figure 3.2 for the boundaries of the landscape typology zones. Those typologies are further described in section 3.1.1.

The slope landscapes may include California native vegetation and also adaptive landscape palettes that will provide drought tolerant planting for the community. The slope landscapes will be irrigated and maintained to soften and transition the terraced housing pads within the project. Depending

on the site condition, the hillside irrigation will utilize either low flow spray, rotor, or point source emitters applying water directly at each plant to minimize erosion and excess irrigation drainage. The irrigation will be controlled by a smart controller which will adjust the water usage based on available real-time weather data.



**Hillside Open Space Transition Landscape**



**Community Interface Landscape**



**Slope Landscape**

### 3.1.2.5 Local Streetscape

The "Local Streetscape" landscape can be classified in two categories: local street parkways and landscapes behind walks at side yard conditions. Refer to Figure 3.3 for the location of the local streetscape zones. The parkway landscape will be a combination of street trees and walk-on ground covers adjacent to parking zones. The parkway landscape adjacent to no parking areas, may be a combination of shrubs and ground cover. The landscape behind walks will provide buffer screening of residential architecture at side yard slope areas as well as provide view landscape at back yard areas of side yard slopes. The plant species selection for the local streetscapes is determined by which typology it is located in. Refer to Figure 3.2 for the boundaries of the landscape typology zones. The landscape character of the local streetscapes will emulate the Oak Woodland landscape typology. This typology is further described in section 3.1.1. In addition, refer to Appendices A, B and C for the specific plant species.



### 3.1.4 Community Elements

Community elements for the Russell Ranch Project may include bridges, site furniture, light fixtures, fencing, walls, signage and public artwork. The community elements framework has been developed to provide a consistent aesthetic for elements within the public realm. Throughout the history of the site, human influences through the built form provides an opportunity to celebrate the heritage of the land brought forth and made current through reinvented past shapes and materials. Cattle ranching and the gold rush railroad are examples of man-made elements that have historically been imposed and inspired the local history of the area. The following references inspired the character of the community elements.

- Indigenous, rustic materials including wood timber, metal roofs and siding, and stone foundations and walls.
- Agrarian building forms with rustic materials and historic proportions.
- Split rail post ranch fencing with barb-wire once used in cattle ranching lines the train tracks and property boundaries.
- Low, horizontal forms which emulate the natural shapes of the foothills and horizon that influence the character of walls and structures.
- Natural materials found on site could be included in the design and specification of site furnishings. Use of wood, stone, and metal is consistent with these material themes.



### 3.1.5 Open Space Bridges

In sensitive open space preservation areas, streets, pedestrian trails and walks will be directed over preserved resources. The bridges may also provide viewing opportunities into the open space and should be designed to become unique community design features. Depending on the location, the design of the bridges should take into consideration the appropriate form in order to respond to the topography and road or trail alignment. Lightweight structures may be more appropriate in trail conditions. Sturdy, stone clad culvert style bridges may be more appropriate at road crossing conditions.

The character of the bridges should be rustic, and coordinated with the overall character, colors, and materials in the hillside community.



**Pedestrian Bridge at Open Space**



### 3.1.6 Lighting

Exterior lighting shall meet the minimum necessary requirements to provide safety for pedestrians and other non-vehicular uses within the project. Lighting should be designed to minimize light pollution to reduce long-range visibility with full cut off fixture designs. LED and solar lighting could be used as often as possible. Street lighting should be approached differently within the Russell Ranch project from the central and western portions of the FPASP. The distinctive slopes, views, high visibility, and open space define a different character for Russell Ranch. Full cut off fixtures should be utilized and specifications should be consistent with local lighting district maintenance standards. The lighting character should be rural, rustic, and blend with the colors and materials in the hillside community.

The intent for the fixtures is to create a timeless design for the Russell Ranch project. Fixtures should be simple and understated. A hierarchy of roadway and pedestrian lighting should be used. Street standards should have a taller vehicular scale post top fixture used at intersection decision points. Pedestrian post top lighting should consistently illuminate per local foot candle codes and regulations. The use of low level

bollard lights is discouraged. Lighting mounted on building architecture is encouraged to light paths and court accessed product areas within the community. Landscape up lighting should be avoided to keep the upward glare to a minimum.



**Street Lighting**



**Park/Lighting**

### 3.1.7 Fences and Walls

The Russell Ranch project's walls and fences include a variety of alternatives and materials that provide security, adequate screening, and view opportunities, as well as retaining wall conditions important in a hillside development.

Privacy fence materials could include masonry block walls, both free standing and retaining conditions; wood fencing for screening side yards between lots is optional. When adjacent to open space, view fencing will be located down slope. Transition from sideyard fencing to tubular steel will occur from the hinge point and continue downslope to the rear property line. This will provide homeowners with clear, enhanced views over the backyard fence system.

Back yard conditions adjacent to open spaces and slope landscaping will feature tubular steel metal view fencing or glass fence as an alternative. Local stone should be used in monument walls. Photo examples of these materials are found in this section. Gated entries including vehicular gates with stone walls and fencing will also be considered a neighborhood monument and provide a secure and upscale look to areas of the community.

Walls within the community required to attenuate sound, such as along Highway 50, should have a split face finish with a cap along the top and a vertical element (e.g., pilasters) to provide relief from the expanse of wall area along a corridor. Vertical elements should be spaced to reflect the scale of the adjacent roadway, but no closer than every 300 feet. All wall components should be consistent in design, color, and character with other walls within Russell Ranch.

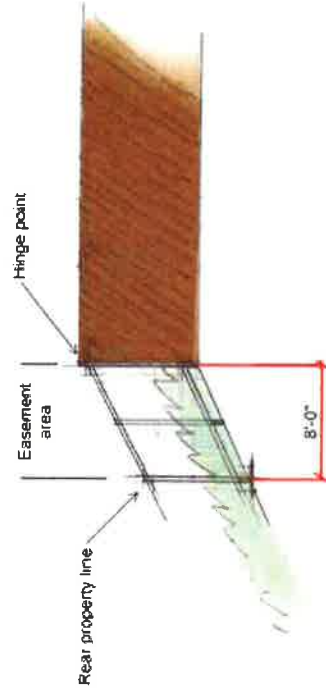




**Community Monument Walls**



**View Fencing**



**Rear Yard View Fencing Section**

### 3.1.8 Public Art

A public art component will be integrated into the project in a format that is suitable for a hillside development. Open space areas should be used to display public art elements at locations integrated into the overall landscape concept. Respite, overlooks and parks are all suitable locations for locating public art.

### 3.1.9 Communications Tower & Water Tank Screening

A small cluster of tower structures with communication equipment is located near the northeastern area of the project site. Careful consideration has been given to screening these structures through landscape tree planting with the goal of lessening the visual impact of the structures, as well as ground-based infrastructure.

A water storage tank site is proposed north of the existing tower structures. To the extent that the tank is visible, landscape tree planting and slope berming will be incorporated around the tank and any associated equipment to minimize visual impact.

### 3.1.10 Water Quality Basins

The FPASP designates three water quality and storm water retention basins within the project area. The basins are located at the intersection of White Rock Road and Empire Ranch Road and two at the northern and southern intersections of Easton Valley Parkway and the rail corridor. Refer to Section 10 of the FPASP for water quality objectives and policies. Consistent with the FPASP, the detention and water quality basins, shall be managed to protect the water quality of habitat and open space preservation. The basins will be designed to incorporate native riparian landscaping adjacent to the basins. Fencing will provide safety around the basins, with maintenance access gates to be consistent with agency requirements.



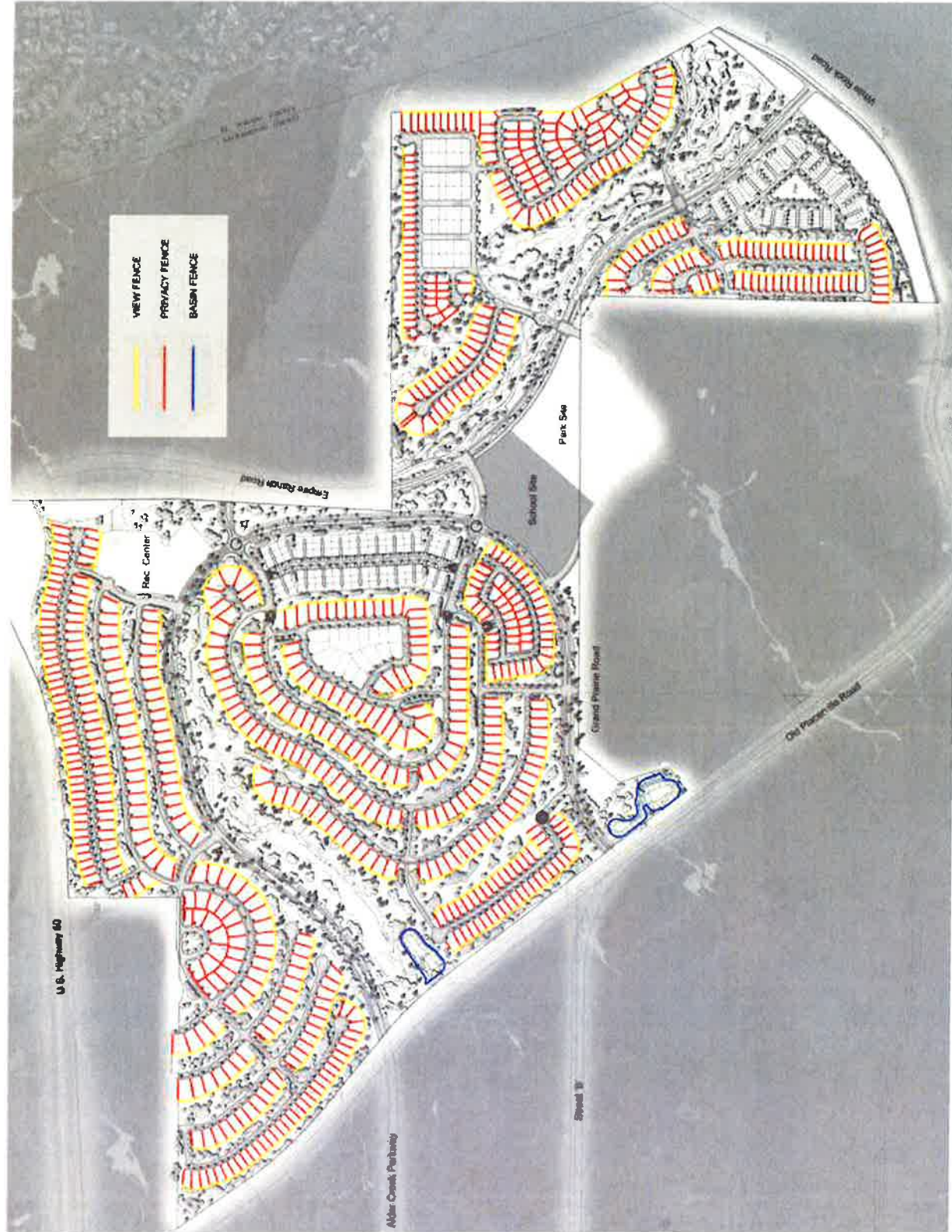


Figure 3.4: Fence & Wall Diagram



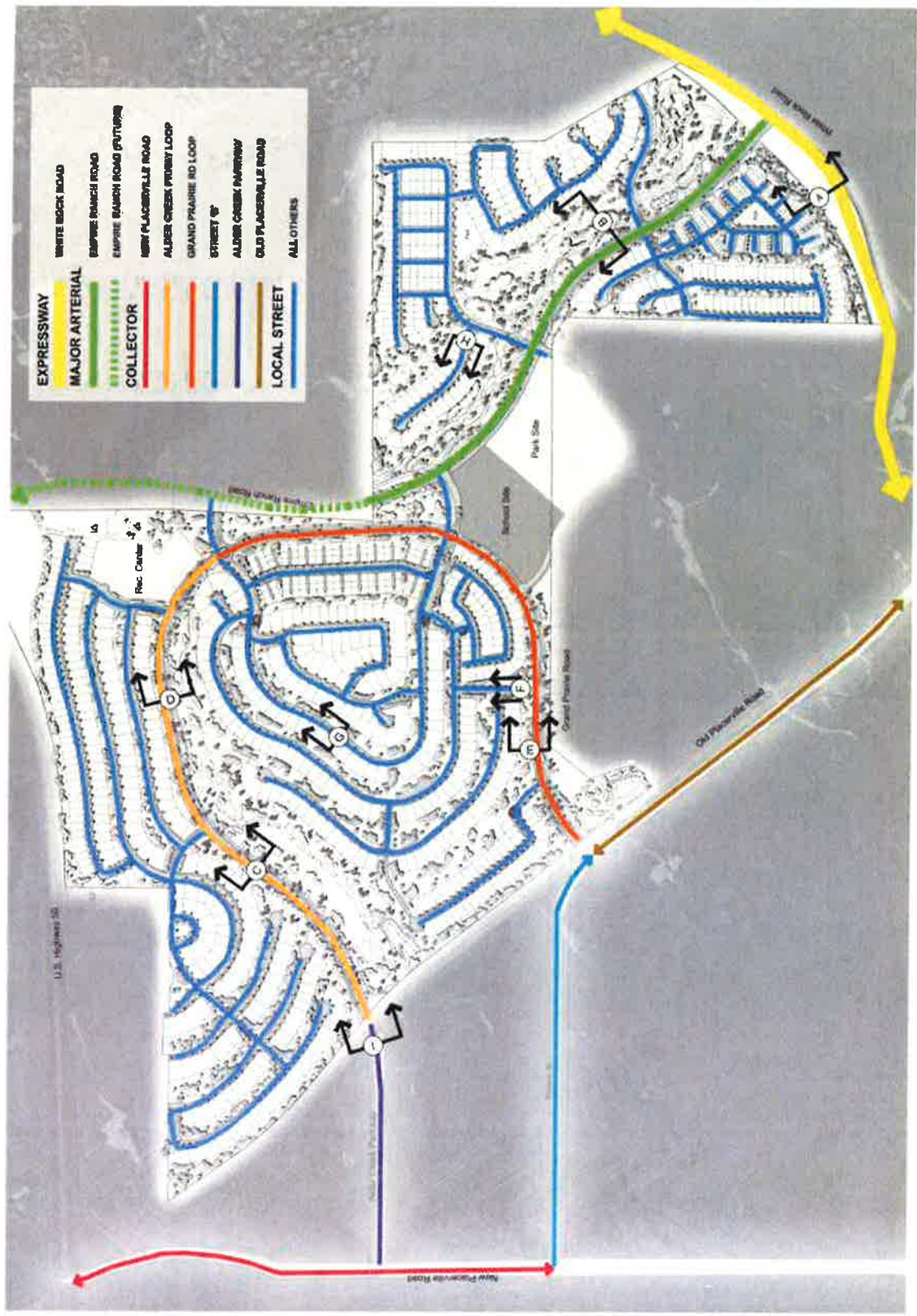


Figure 3.5: Roadway Circulation Plan

### 3.2 VEHICULAR & PEDESTRIAN CIRCULATION

Project circulation elements and landscape components should be consistent with the goals, structure and policies of the FPASP. The intent is to provide a hierarchy of roadways, bikeways, and trail types within the hillside area.

The Russell Ranch project hosts many street classifications identified within the FPASP. This section will discuss the major streetscape conditions (A-1) and address the landscape

#### SECTION A

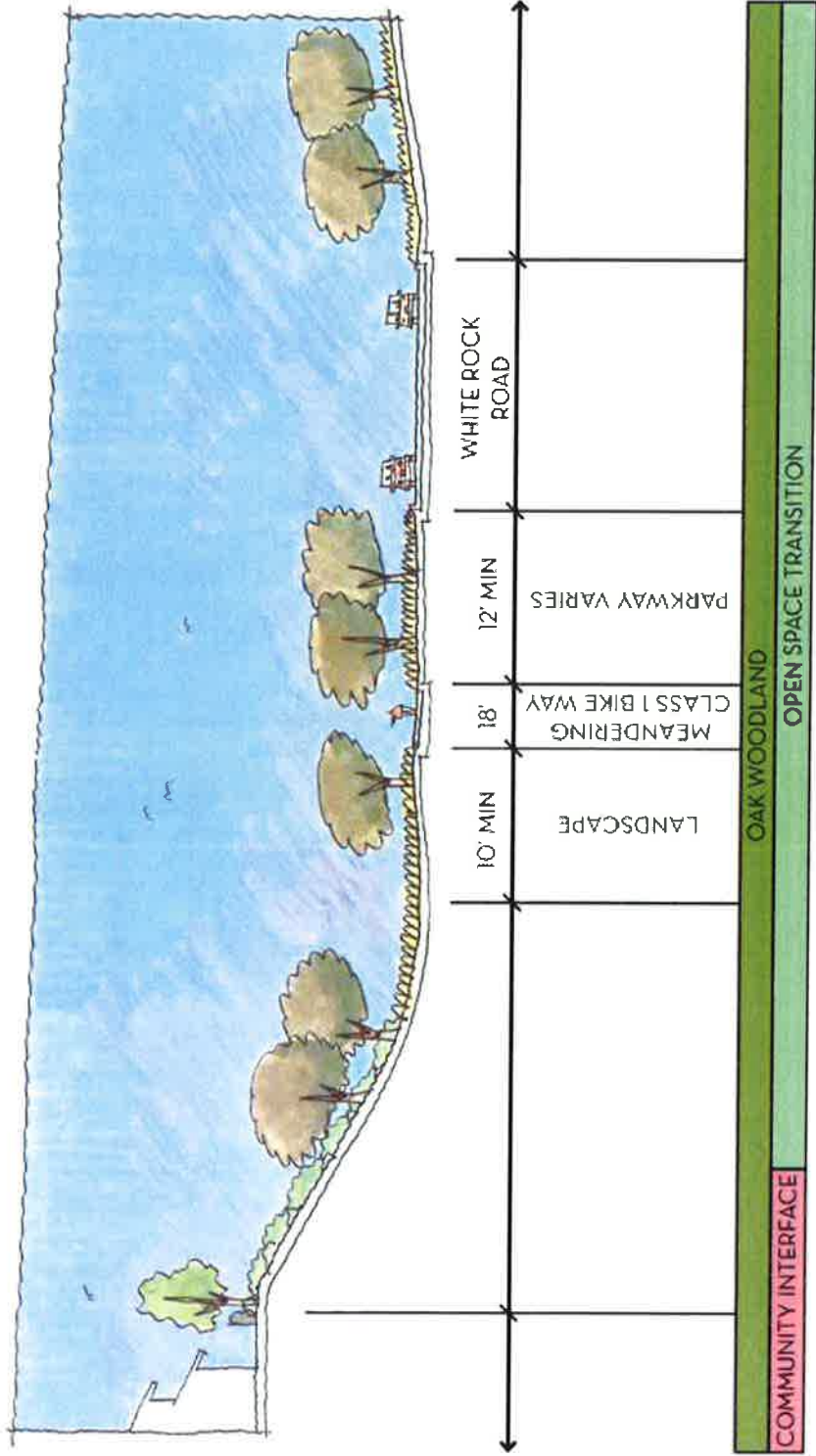


Figure 3.6 White Rock Road 4 Lane Road Landscape

character of these streets and influences of the landscape framework. The hillside area is distinctly different in character from the FPASP valley floor areas. Although the streets in Russell Ranch will be consistent with the FPASP, they will have distinctions in response to topography and the natural environment, which will set this project apart from the overall FPASP.



### 3.2.1 Expressways

Expressways within the project include White Rock Road which bounds the south edge of the community. White Rock Road is defined in the FPASP. It is planned to be a limited access expressway with four lanes initially and ultimately it is planned to be expanded to either 6 lanes or maintaining the 4 lane expressway with grade separations at key intersections, including the intersection with Empire Ranch Road. White Rock Road will feature a 50 foot minimum width open space buffer that will express an informal natural landscape character including riparian and oak woodlands landscape within the FPASP. A Class I meandering bicycle path has been planned for the White Rock Road corridor. The path is intended to be designed to have a safe and pleasing alignment that follows the existing topography and takes advantage of existing preserved landscape areas.

### 3.2.2 Major Arterials

Major arterials in the Russell Ranch project include Empire Ranch Road, which passes through the community. Empire Ranch Road is defined in the FPASP.

Empire Ranch Road consists of two distinct sections. The first section extends from Highway 50 to a new alignment configuration of Street 'C'. The section of roadway will be phased with future off-site development and is proposed to be stubbed out for this connection. The section from Highway 50 to Street 'C' will include three travel lanes in each direction separated by a 16-foot wide landscaped median and turning lane. Refer to the FPASP for the roadway dimensions and adjacent walkway and trail conditions. The second section of Empire Ranch Road from Street 'C' to White Rock Road features two travel lanes in each direction separated by a 16 foot wide landscaped median and turning lanes.

Class II bike lanes are included on both sides of the street. The western side of this road section includes a 20 foot wide landscape corridor with a 6-foot curb parallel sidewalk (Figure 3.7). The eastern side of this section of Empire Ranch Road abuts natural open space that includes a substitution of the standard 6 foot wide meandering sidewalk with a combined Class I bike path. The landscape character along Empire Ranch Road consists of a natural informal landscape character, including a riparian sycamore and oak woodland landscape planting. Consistent with the FPASP and the Russell Ranch project character, the landscape easement on the open space side of Empire Ranch Road will be California native plant material.



SECTION B

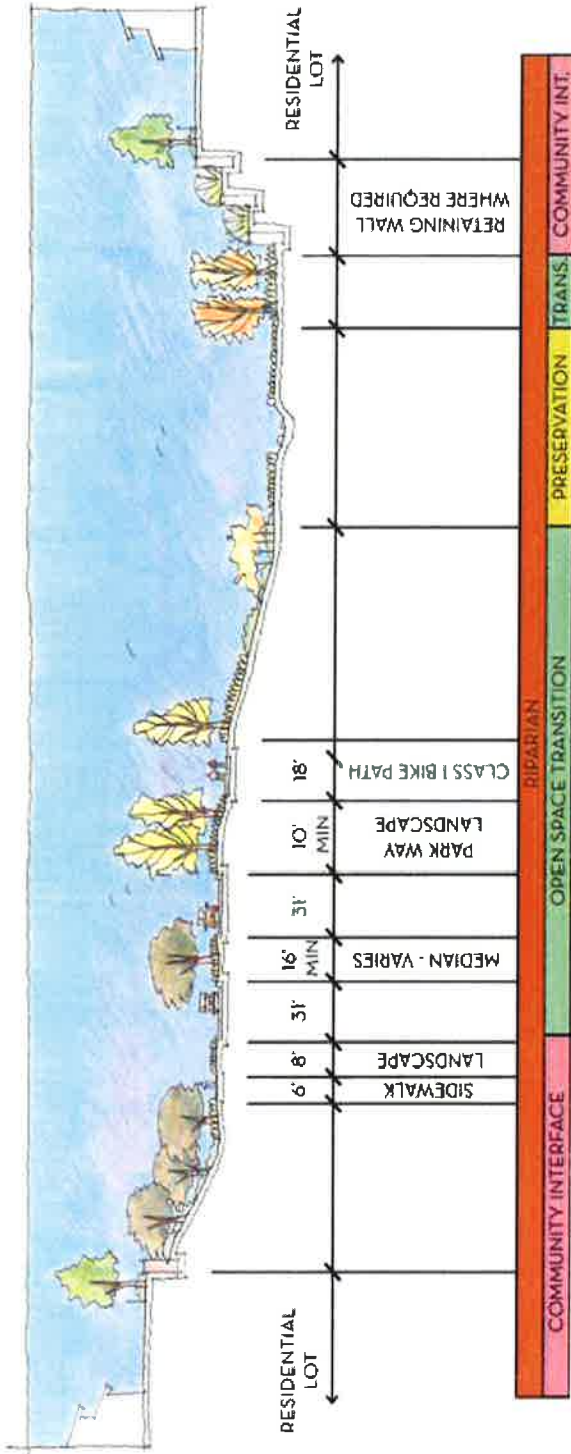


Figure 3.7: Empire Ranch Road 4 Lane Road Landscape

3.2.3 Collectors

The Easton Valley Parkway loop road east of Old Placerville Road is the only collector road within the Russell Ranch project area.

Easton Valley Parkway is a major four-lane divided arterial west of the Russell Ranch site. As Easton Valley Parkway extends into the Russell Ranch project, the character of the streetscape will transform as it moves into the hillside neighborhoods. Its alignment is altered from the FPASP document as well as its grading, median, and trail components.

SECTION C

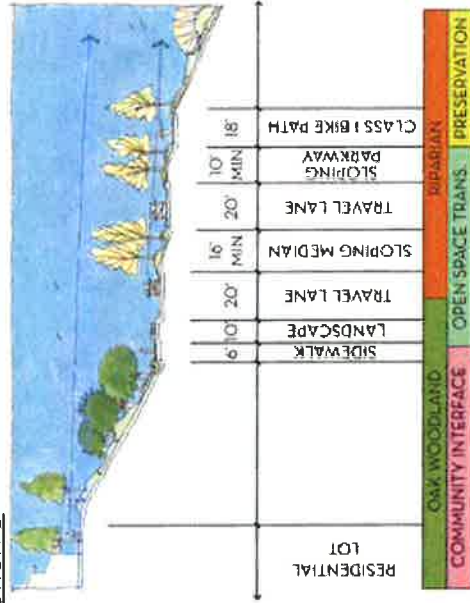


Figure 3.8: Easton Valley Parkway Street Landscape - Oak Woodland Zone



Easton Valley Parkway forms a loop road up the hillside and connects back down to the intersection of Old Placerville Road and Street B. Easton Valley Parkway is not planned to intersect with Empire Ranch Road as depicted in the FPASP. Rather, the Parkway will connect to Empire Ranch Road with two connector streets that include roundabouts which act as traffic calming features and are intended to provide opportunities to distinguish entry points into the community. These roundabouts should be landscaped consistent with the landscape character of adjacent areas.

Easton Valley Parkway will transition through, and be defined by, the passive open space, including informal natural sycamore, poplar, and oak tree groves. It will transition to residential interface edges along its loop stretch with evergreen natural informal landscape patterns and screen trees. The Easton Valley Parkway loop will have a grade separated split variable width median and two travel lanes including Class II bike lanes. It will have a Class I bike path located on the passive open space side of the road along the entire loop. The bike trail will be below the adjacent street level creating a variable parkway dimension. It is also envisioned to fall and rise along the slope and take advantage of the views into passive open space amenity.



**Separated Collector Road**

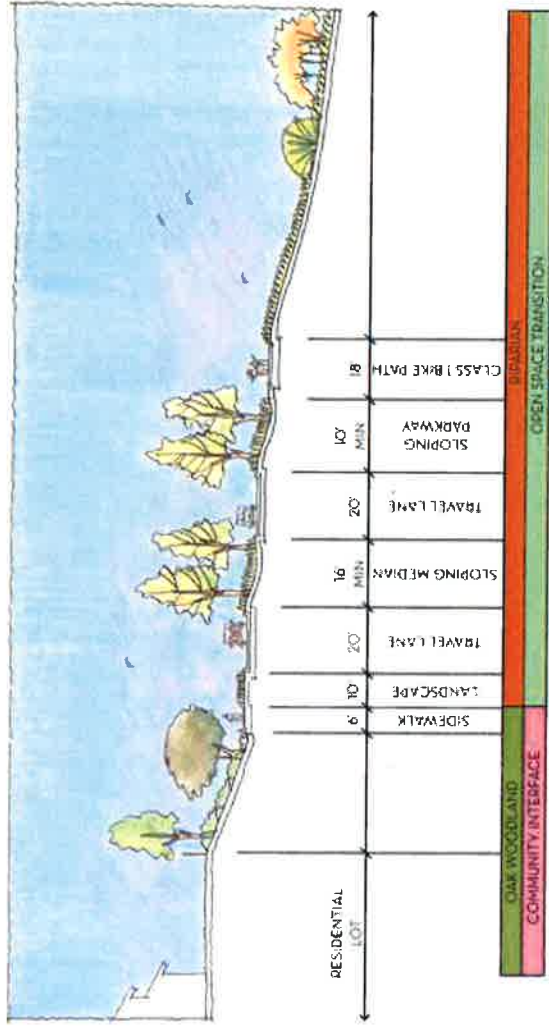


Figure 3.9: Easton Valley Loop Road Landscape - Oak Savannah Zone

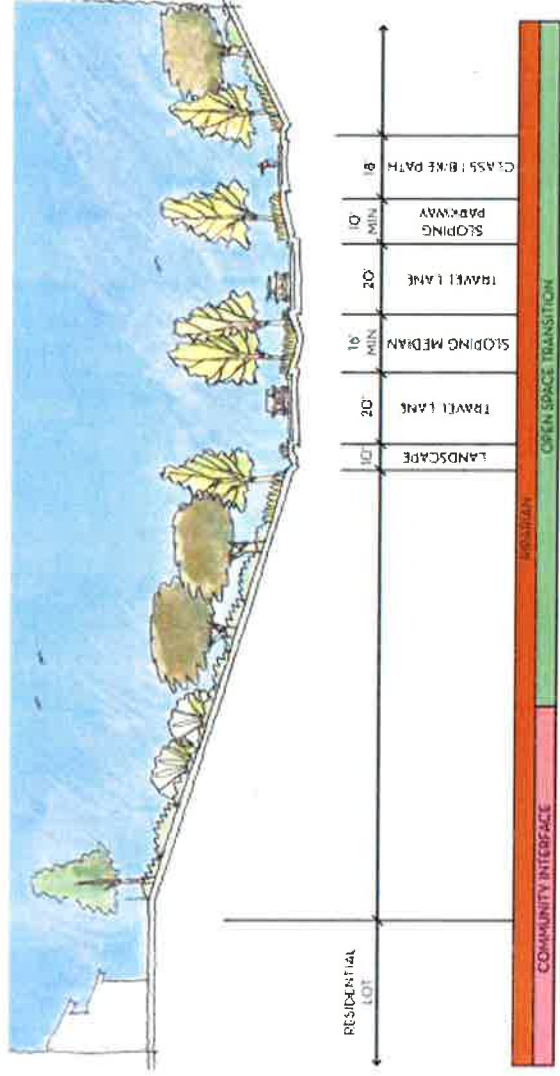


Figure 3.9.1: Easton Valley Loop Road Landscape - Oak Savannah Zone

### 3.2.4 Local Streets

There are 3 types of local streets consistent with the FPASP. One version of this street is consistent with Figure 7.24 of the FPASP, except an additional four feet of right-of-way is added to accommodate emergency vehicles and increase the planter strip one foot (see Figure 3.12). This street section may be utilized on residential serving and cul-de-sac streets where development occurs on both sides with 5' walkway and 7' parkway. The parkway shall be landscaped with plant material that is identified in Figure 3.2 - "Landscape Typology Diagram." (See Appendices A-C for specific trees and ground covers for local streets).

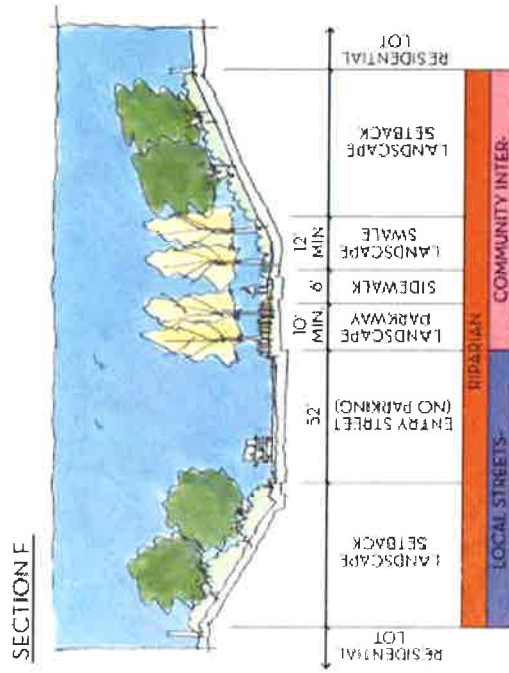


Figure 3.10: Neighborhood Entries

The second local street version provides for a narrower street section (30-foot wide) to allow for two 12' travel lanes and no parking on either side of the street, with 10'-wide planter and 5'-wide sidewalks on one side. This street section would serve primarily as a minor collector connecting to the residential serving street type noted above. Landscaping within these street sections shall be landscaped as described in Appendices A-C. The third local street version is consistent with the Single Loaded Hillside Street (Figure 7.27 of the FPASP), except with a 5' wide sidewalk instead of a 4' sidewalk, the addition of a 7'-wide planter area, and the addition of 1.5' of right-of-way to accommodate emergency vehicles.

The street section provides for parking on the residence side of the street. Landscaping within these street sections is described with plant material that is identified in Figure 3.2 - "Landscape Typology Diagram." (See appendices A-C for specific trees and ground covers for local streets). Additional street sections may be acceptable to allow for topographic conditions.



Figure 3.11: Local Street Single Loaded Landscape



SECTION H

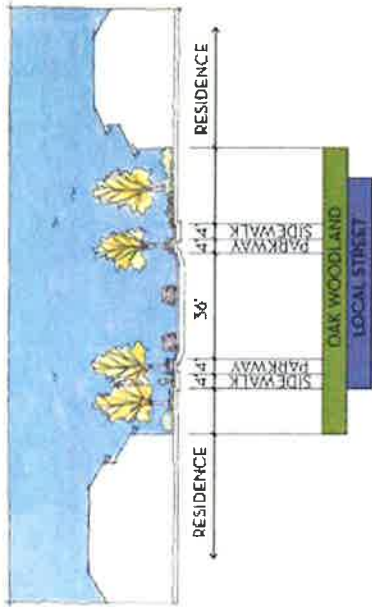


Figure 3.12: Local Street Walk Diagram

3.2.5 Gateways, Entries and Monument Design

The FPASP designates significant intersections in the specific plan area where it may be appropriate to have Major and Minor gateways. (Refer to Figure 7.1 in the FPASP for gateway locations). The Russell Ranch site features two locations suited for monumentation or entry statements. The Major gateways for the Russell Ranch project will be located at the intersection of Easton Valley Parkway after it crosses the existing Rail Road easement and the south end of Easton Valley Parkway and 'B' Street.

SECTION I

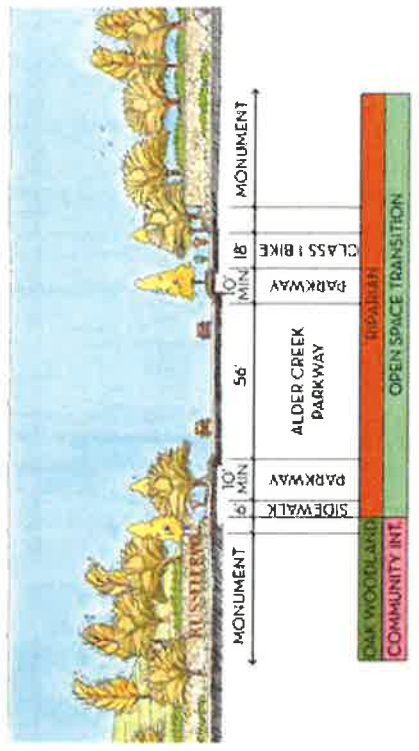


Figure 3.13: Community Monument Signage

These locations provide opportunities to visually emphasize the entrance to the Russell Ranch project. Acceptable colors and materials include wall structures that incorporate or mimic stone, use of accent metals, copper, or iron and use of colors that are muted and consistent with the earth-tone character. Russell Ranch may use neighborhood monumentation to support gateway points into neighborhood villages. The neighborhood monumentation will be located at neighborhood entries. Private gated entries including vehicular and pedestrian access gates with stone walls and fencing will also be considered a neighborhood monument and provide a secure and upscale look to areas of the community. Private gated entries should incorporate the use of similar stone-like materials and metals used for community monumentation.





**Community Monument Walls**



**Neighborhood Marker**



**Gated Entry Walls & Fencing**

### 3.2.6 Bikeways

The FPASP outlines a comprehensive system of bikeways and trails, which connect the various districts within the plan area and the existing local and regional systems. (Refer to Figure 7.3.1 in the FPASP for the various bikeways conditions). The bikeway designs are consistent with the goals and structure of the FPASP and the Folsom Bikeway Master Plan. These bikeways will connect and create linkages within the project and connect this neighborhood to the greater FPASP area, as well as to the wider community of Folsom. (Refer to Figure 3.14 for the Russell Ranch Trail and Bikeway Diagram).

The Class II bike lanes are designed into the shoulder area of the roadway sections, while the Class I bike paths in the Russell Ranch project fall within passive open space areas and are separated from vehicular traffic. The bikeways shall maintain safe and navigable layouts. The character of these bikeways will be informal and complement the character of the natural open space landscape. Class I bike lanes are located throughout the entire FPASP open space areas and may be used by both pedestrians and cyclists. Class I bike paths may also serve as access roads for police, fire department, and City of Folsom maintenance vehicles.

### 3.2.7 Sidewalks and Trails

The FPASP outlines a comprehensive system of sidewalks and trails which connect the various districts within the Plan Area and the existing local and regional trail systems. Refer to Figure 3.14 for the Russell Ranch project Trail and Bikeway Diagram.

#### Class 1 Bike Path

These pathways shall consist of a 12 foot wide paved surface with a 2 foot wide decomposed granite shoulder on one side and a 4 foot wide decomposed granite shoulder on the other side for pedestrian use. These combined trails are located throughout the entire Plan Area open space and may be used by both pedestrians and cyclists.



### Local Street Walks

Walkways on the home sides of the street will have a 5 foot wide sidewalk parallel to the curb, providing connections within the neighborhoods.



### Entry Street Walk

Entry streets to each village within Russell Ranch that orient in most cases to the sides of the neighborhood's homes, will have a 5 foot wide meandering sidewalk.





### Open Space Trails

Hillside trails not contiguous with streets in the neighborhood will have a 6 foot wide meandering sidewalk.



differing in scale and detail with convenient seating, shade, water, or bike parking amenities with views out over the neighborhood and surrounding open space and communities. (Refer to Figure 3.14 for conceptual respite locations). The respite concept has been integrated into the trail system to provide the community with a pleasant place to rest during a bike ride or walk and are envisioned to serve as small scale meeting places and destinations. (For additional details on the respites, see Section 3.3.2.4).

### Emergency & Service Vehicle Access

Some project areas will require a paved area for emergency vehicle access. This paved access drive may also be used as a trail connection from the open space areas to the public realm. Paving materials may include concrete, asphalt or decomposed granite systems. Refer to Figure 3.14 for the locations of this element.

### Respite opportunities

To take advantage of the numerous view and passive open space opportunities in the project, trail elements have been designed to provide the neighborhood with unique amenities for the residents. The use of “respites” or rest nodes are encouraged. The respites may be



Figure 3.14: Trail and Bikeway Diagram



## 3.3 PARKS AND OPEN SPACE

The Russell Ranch neighborhood parks and open space are intended to take advantage of the abundant natural visual resources within the community. The planned recreation center and neighborhood parks provide an abundant mixture of passive open space areas and programmed amenities for the residents, all within a convenient network of walking trails throughout the residential neighborhoods. Connectivity between the parks, passive open space, and trail systems promote a natural outdoor connectivity within the project.

Within walking distance of the Russell Ranch community is the planned 26.1 acre East Community Park. This amenity will be accessible by trails and bikeways. The open space watershed network also connects to this amenity from the open space preserves. This regional park will serve the Russell Ranch area as well as others.

### 3.3.1 Open Space

The open space areas within Russell Ranch are classified in two categories: conservation easement areas and passive open space. (Refer to the "Operations and Management Plan for Folsom Plan Area Specific Plan Open Space" for all information regarding open space preserve and passive open space areas).

The conservation easement areas are more restrictive and subject to regulation, and also includes developed and grading setbacks. These areas will be preserved and protected within the development area and include water shed protection of existing natural resources. (Refer to the "Operations and Management Plan for Folsom Plan Area Specific Plan Open Space" for all information regarding open space preserve and passive open space areas). The open space preserve areas in the community are mostly limited to

seasonally affected tributaries and seeps. The open space preserve areas are protected and no landscape improvements will be made.

The passive open space is less restrictive, and includes areas for active and passive recreational uses which are referred to as respites (See 3.3.2.4). These uses include hiking, biking, and picnicking. Some of the respites in the passive open space may include amenities with landscape structures, including trail heads, pathway trails, light fixtures, bike racks, contour grading, benches, picnic tables, sitting rocks, bridges, trees and landscape enhancements.

The landscape transition to the passive open space areas, including landscape restoration areas and slope transition to roadways and recreational trail systems, will be predominantly native in character with landscape that will naturalize and blend the open spaces and community development. This transition is also discussed in Section 3.1.2.1. The open space landscape transition to the community landscape will consist of native vegetation, but predominantly rely on landscape systems that will provide buffer screening from roadways to the residential architecture. Depending on the landscape typology zone of each open space area, the landscape species will be appropriately adaptive.

The passive open space areas that transition to residential villages have different landscape typologies. They are predominantly the Riparian and Oak Savannah typologies. These unique zones respond to the elevation change in the Russell Ranch neighborhood. The open space transition is discussed further in Section 3.1.2.2.

### 3.3.2 Park Objectives

Local parks within the Russell Ranch neighborhood include an approximate 10.3 acre Neighborhood Park (of which approximately 5+ acres is within Russell Ranch and the balance is located on an adjacent property), and an approximate 3.4 acre Recreation Center. The plan also has a .5 acre pocket park and numerous respites.

#### 3.3.2.1 The Neighborhood Park

The Neighborhood Park is planned adjacent to an elementary school site. This park is intended to provide a variety of active amenities including team sports facilities, playground areas, and fitness amenities. This park may also include a number of areas that will support passive recreational activities and group gathering spaces. This park will follow the facility guidelines of the City of Folsom; however, the park will be designed with the character of Russell Ranch in mind. Architectural style of park structures will be designed to fit within the character of Russell Ranch. The facilities should adopt and consider the architectural styles (including use of color and materials) defined in these design guidelines.

#### 3.3.2.2 Recreation Center

The Recreation Center is an approximate 3.4 acre site, prominently located north of Easton Valley Parkway, at the upper North East corner of Russell Ranch within the Hillside Open Space. This site is strategically located adjacent to the open space within the neighborhood, and celebrates views of Downtown Sacramento to be enjoyed by everyone in the community. The Recreation Center will be designed to provide residents of the Russell Ranch neighborhood access to accommodations for private recreation with convenient parking. The Recreation Center may include aquatic amenities, interior meeting and entertaining spaces, interior and exterior dining spaces, and a number of spaces for passive use. In addition, the Recreation Center is near and accessible to the Class I bike trails on Easton Valley Parkway. Its accessibility to the villages of the neighborhood create a walkable and bike-able amenity destination for the residents of Russell Ranch. The Recreation Center architectural style is defined in these design guidelines within Section 4.5.



Recreation Center Pool Concept





**Figure 3.14: Recreation Center Character Image**

### 3.3.2.3 The Pocket Park

The Russell Ranch neighborhood includes a .5 acre pocket park, which may include program elements such as informal seating areas, overlooks, pathways, bike parking, and picnic areas. The pocket park is intended to work in concert with the trail system, respites, neighborhood park, and Recreation Center to create a hierarchy of open space destinations throughout the neighborhood.

### 3.3.2.4 Respites

In the Russell Ranch hillside area, respites have been created to supplement the neighborhood and pocket parks by providing informal resting and meeting spots throughout the community. Respites are intended to connect to the off-street

pedestrian and bike trails. They are encouraged to vary from informal and un-programmed areas to more structured and programmed spaces that reinforce the landscape character of the setting, provide places for rest, and promote opportunities for social connectivity. See Figure 3.14 for locations where respites may be appropriate.



**Example of Respite with Natural Seating Area**



**Example of Respite with Shelter**



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*“Home is a name, a word, it’s a strong one; stronger than magician ever spoke, or spirit ever answered to, in the strongest conjuration.”*

*-Charles Dickens*

### 4.1 INTRODUCTION

By employing an authentic architectural palette and creative site planning techniques, Russell Ranch will be a neighborhood with a strong architectural identity and distinctive character within the City of Folsom.

Chapter 4 defines the design principles and development standards that apply to all residential development within Russell Ranch. These guidelines and standards articulate the lot characteristics, setbacks, garage type and orientation, and building massing.

Further, Chapter 4 includes a detailed architectural design guidelines section, which identifies, defines, and articulates the architectural styles appropriate for Russell Ranch.

### 4.2 DESIGN PRINCIPLES

#### 4.2.1 Diversity of Streetscape

An elegant and diverse streetscape is a defining characteristic of enduring landmark neighborhoods. Simple and elegant planning and design elements can change the essence of a community while maintaining an overall unified theme. The intent of this section is to articulate the standards and unique defining elements by which Russell Ranch shall be built in order to create a cohesive and animated streetscape with a diverse character.

#### A. MASTER HOME PLAN REQUIREMENTS

To achieve streetscape variation, a master home plan series must comprise master home plans with a minimum of three (3) associated elevations per plan (each elevation must be a different architectural style) per each collection of home offerings, based upon the number of lots to be built upon by one builder as an individual project within the neighborhood. Further, a certain number of architectural styles is required, which will be applied based on appropriate massing (i.e., every floor plan will not have every architectural style applied. Certain home collections will benefit from a greater number of elevations per floor plan and architectural styles, whereas others may benefit from a more cohesive palette (such as the court homes, which provide an opportunity for a unified architectural statement based upon a singular style). This selective architectural style application will enhance the eclectic nature and variety of the streetscape. Master home plans are defined as unique floor plans with a distinct footprint with regard to placement and relationship of garage, front door, and building massing.

## B. MASSING AND ROOF FORM

Proportion and placement of architectural forms and elements must be appropriately and authentically applied in a manner consistent with the historical architectural style being represented. Roof articulation in the form of proper roof pitches and forms also plays a significant role in the authenticity and diversity of the streetscape.

- Massing must be appropriate and authentic to the architectural style (e.g., the Monterey style has a cantilevered second story balcony as a signature defining element; it would be inauthentic to design a single story Monterey home).
- One out of every three homes must have a significantly different roof form than its neighbors (e.g., forward-facing gable versus side-facing gable).
- Horizontal and vertical articulation is required on all homes, as appropriate to each architectural style, and can be achieved through differing roof forms, combinations of one and two story elements, architectural projections, porches, etc.
- Front porches, when appropriate to the building style, must have a minimum depth of six (6) feet.

## D. REPETITION

Avoiding repetition of identical floor plans or architectural styles is important to create a sense that a neighborhood has been built over time.

- In the areas of the neighborhood with a traditional home-to-street relationship, the same floor plan with the same architectural style shall be no less than three (3) lots away in any direction (on the same side of the street as well as the opposite side of the street).

- It is appropriate to exhibit a cohesive architectural theme within the court homes to create a village concept, as such, deviation to the repetition requirement is allowable within this enclave.

### **4.2.2 Four-Sided Architecture**

The continuation of style-specific architectural elements from the front façade around to the side and rear elevations creates an authentic architectural statement. As defined in the Architectural Guidelines section found in Section 4.4, there is a minimum level of enhancement required on all homes based on architectural style.

Russell Ranch features single-loaded streets with highly visible front and rear elevations and side elevations that are less prominent. The approach should be a hierarchy of treatment based on location. Blank, unadorned building faces are never permitted; a certain minimum amount of detail is required to reflect a unified architectural treatment. The front elevation should be the most highly detailed; the rear elevation should exhibit a specific number of style-specific architectural elements; typical side elevations may exhibit fewer style-specific architectural elements, while corner lots will feature a consistent level of detail on both the side and rear elevations.

The following section identifies enhanced lot situations as well as the four-sided elements that are required on these lots.

Figure 4.1 identifies home sites that are visible from multiple angles, public ways, open space, community edges, and major arterials. Home sites identified as enhanced lots are subject to the requirements in the following section.



## A. ENHANCED LOTS

Home sites that are highly visible warrant special attention to any visible building faces to present an authentic and cohesive appearance. The following standards apply to highly visible lots within the neighborhood in addition to the standard requirements and enhancements for all homes described in section 4.4.

- All corner lots (those with two adjacent streets), identified in blue on Figure 4.1, must employ at least three enhancements from the enhanced elements portion of the corresponding architectural style matrix (found in Section 4.4) on all street adjacent building faces (in addition to the minimum enhancements required for all homes).
- All other highly visible home sites (such as those adjacent to open space corridors), identified in red on Figure 4.1, must employ at least two enhancements from the enhanced elements portion of the corresponding architectural style matrix (found in Section 4.4) on all building faces adjacent to public ways, open space, community edges, and/or major arterials (in addition to the minimum enhancements required for all homes).



**Figure 4.1: Enhanced Lots**

This illustration is a conceptual plan intended to guide the determination of highly visible lots. Actual determination of enhanced lots will be based on final lotting of subdivisions.

### 4.2.3 Reciprocal Use Easements

Reciprocal use easements are an innovative way to increase the usable yard area for a small lot home (reciprocal use easements are permitted on The Courts Homes only). By allowing one home to utilize the side yard of an adjacent home, side yard space effectively doubles. When reciprocal use easements are used, the following factors apply:

- The resident of the home relinquishing its side yard has the right to access the adjacent home's side yard for home maintenance and painting.
- Reciprocal use easements are required to be detailed on individual plot plans as part of the project construction phasing. Traditional setbacks shall not apply to reciprocal use easement areas, for landscape related features.
- Landscape structures, such as fountains, pergolas, etc. are permitted within the use easement and must be 3' from the face of the adjacent structure, consistent with building and fire code.

### 4.2.4 Garages

Reducing garage dominance on the streetscape and bringing living space closer to the street creates streetscenes that are inviting and safe with an "eyes on the street" environment. Using design techniques that enhance a home's architectural style and relegating the garage to a less visible position promotes a more pedestrian-oriented neighborhood. The following section describes the permitted garage mitigation measures for Russell Ranch.

- Garages must be recessed a minimum of 5' from living space or porches when accessed from a traditional street configuration. Garages that are located along

alleys or motor courts shall not be required to meet the 5' requirement.

- Garages accommodating more than two cars are allowable only in a split or tandem configuration. Three car front-loaded garages are not permitted.

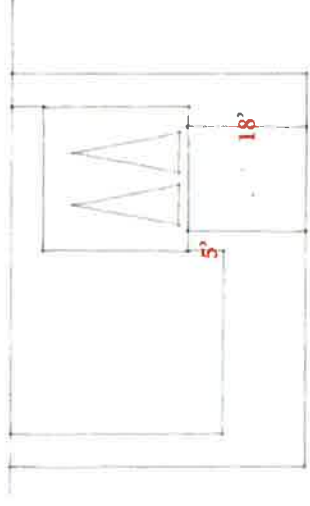


Figure 4.2: Garage Recess



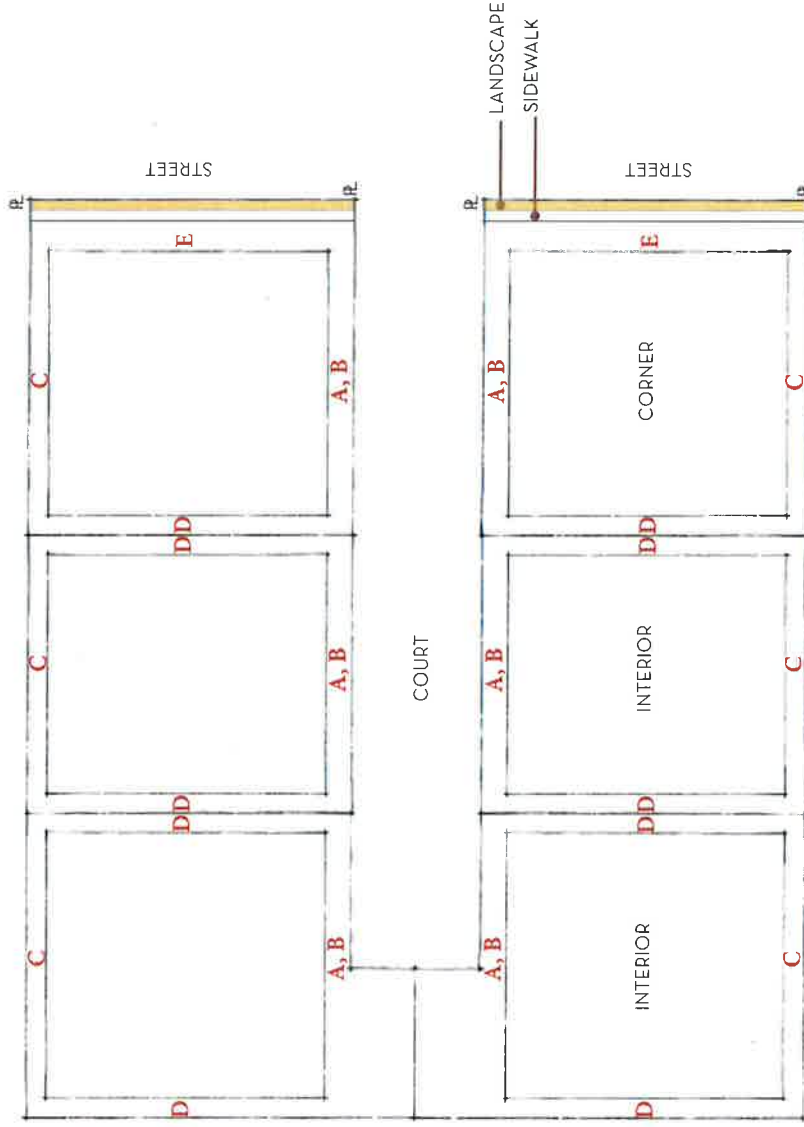


**Figure 4.3: View Lots (Easement)**

This illustration is a conceptual plan intended to guide the determination of highly visible lots. Actual determination of view lots will be based on final lotting of subdivisions.

## 4.3 DEVELOPMENT STANDARDS

### 4.3.1 The Court Homes



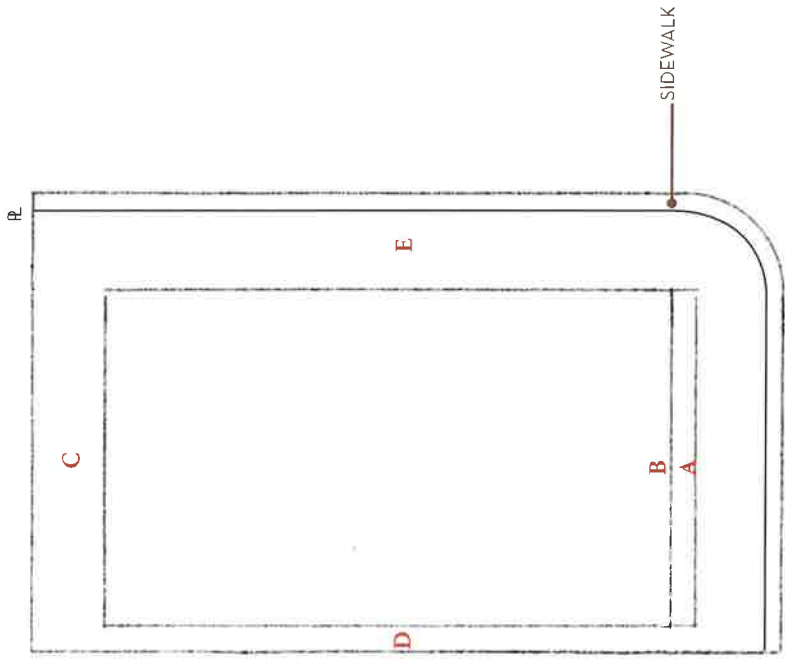
DESCRIPTION:	Court SFD	CATEGORY:	MLD
Minimum lot area:	2,150 Square Feet	<b>A. Minimum front setback at court (to living or covered outdoor space):</b>	4'
Minimum lot width:	43'	<b>B. Minimum garage setback:</b>	4'
Minimum lot depth:	50'	<b>C. Minimum rear setback:</b>	3'
Maximum lot coverage (single story / 2-story):	60% / 60%	<b>D. Minimum interior side setback:</b>	3'
Maximum height (single story / 2-story):	28' / 35'	<b>E. Minimum street side setback:</b>	8'
Minimum parking requirement:	2 covered spaces/unit & 0.8 uncovered guest spaces/unit		

Note: Setbacks are measured from property line (R.).

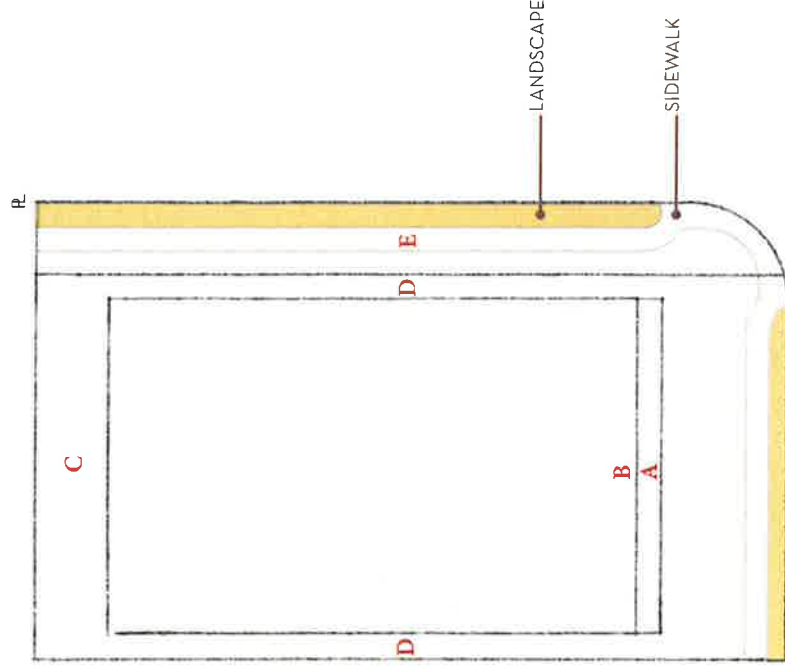
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### 4.3.2 Single Family High Density (SFHD)



Attached Sidewalk Condition



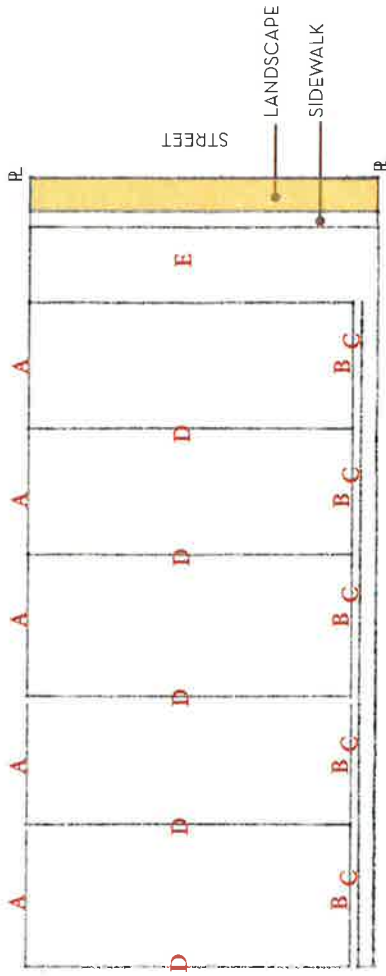
Detached Sidewalk Condition

DESCRIPTION:	SFD traditional lot	CATEGORY:	SFHD
Minimum lot area:	4,500 Square Feet	<b>A. Minimum front setback to living space or covered outdoor space (attached sidewalk/detached sidewalk);<sup>2</sup></b>	12.5'/24.5'
Minimum lot width:	50'	<b>B. Minimum garage setback (attached sidewalk/detached sidewalk);<sup>2</sup></b>	18'/30'
Minimum lot depth:	90'	<b>C. Minimum rear setback;<sup>2,3</sup></b>	15'
Maximum lot coverage: <sup>1,5</sup>	50%	<b>D. Minimum interior side setback;<sup>2</sup></b>	5'
Maximum height (single story / 2-story):	28' / 35'	<b>E. Minimum street side setback;<sup>2,4</sup></b>	10'

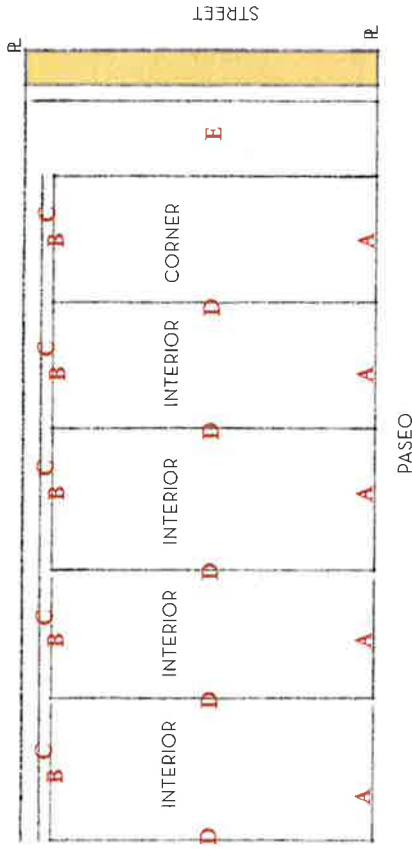
Note: Setbacks are measured from property line (R).

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### 4.3.3 Townhomes (MLD)



ALLEY



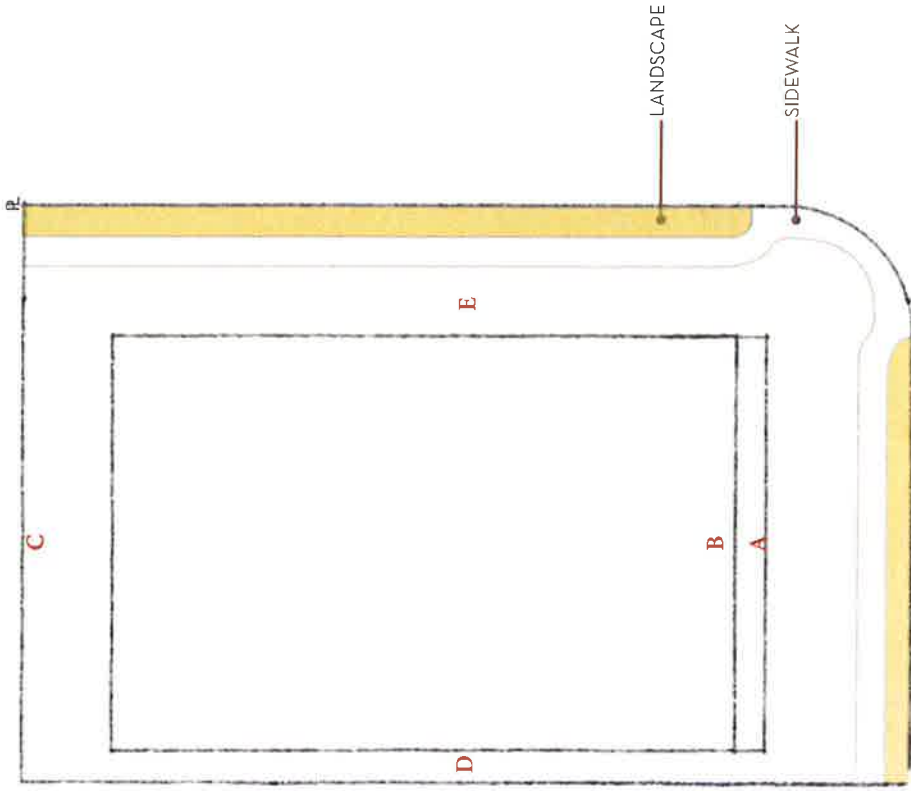
DESCRIPTION:	MLD lot	CATEGORY:	SFHD
Minimum lot area:	1,188.8 Square Feet	<b>A. Minimum front setback at landscape/paseo to living space or covered outdoor space:<sup>2</sup></b>	0'
Minimum lot width:	21.42'	<b>B. Minimum rear garage setback at alley:<sup>2</sup></b>	5'
/ 3' Minimum lot depth:	55.5'	<b>C. Minimum rear setback at alley (lower floor/upper floor):<sup>2,3</sup></b>	5'/3'
Maximum lot coverage: <sup>1,6</sup>	90%	<b>D. Minimum interior side setback:<sup>2</sup></b>	0'
Maximum height (single story / 2-story):	35'	<b>E. Minimum street side setback:<sup>2,4</sup></b>	12.5'
Minimum parking requirement:	2 covered spaces / unit & 0.8 uncovered guest spaces / unit		

Note: Setbacks are measured from property line (R.).



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### 4.3.4 Single Family (SF)



**Detached Sidewalk Condition**

DESCRIPTION:	SFD traditional lot	CATEGORY:	SF
Minimum lot area:	6,600 Square Feet	<b>A. Minimum front setback to living space or covered outdoor space:<sup>2</sup></b>	24.5'
Minimum lot width:	60'	<b>B. Minimum garage setback:<sup>2</sup></b>	30'
Minimum lot depth:	110'	<b>C. Minimum rear setback:<sup>2,3</sup></b>	15'
Maximum lot coverage: <sup>1,6</sup>	50%	<b>D. Minimum interior side setback:<sup>2</sup></b>	5'
Maximum height (single story / 2-story):	28' / 35'	<b>E. Minimum street side setback:<sup>2,4</sup></b>	22'

Note: Setbacks are measured from property line (P.).

### 4.3.5 Development Standards Footnotes

1. MLD lot coverage shall be calculated as the percentage of lot area covered by the roof, including covered porches and patios. SFHD and SF lot coverage shall be calculated as the percentage of lot area covered by the roof, including covered porches but excluding outdoor covered unconditioned spaces (i.e., patios) and guest house/pool house/casita (i.e., detached habitable structure with only sleeping, living, and bathroom).
2. Accessory structures shall be consistent with the FPASP standards of 5' side yard (interior lot lines) and 5' rear yard setbacks, notwithstanding provision 3a below.
3. Minimum rear setback (view lots)
  - a. View lots, as identified in Figure 4.3, shall have a rear yard setback measured from the top of slope of the lot (as opposed to the downslope property line).
  - b. A View Lot Easement shall be recorded over the sloping portion of the lot (from the hinge point to the rear property line, see page 25, Rear Yard View Fencing section).
  - c. The easement area landscape shall conform to the slope area landscape treatments described in Chapter 3.
  - d. Monitoring and compliance with slope area requirements shall be the responsibility of Russell Ranch Homeowners Association. Any violations observed by the City of Folsom shall be referred to the Russell Ranch Homeowners Association.

4. Street side setback shall be 5' (measured from back of sidewalk) when adjacent to an open space lot 5' or greater in width.
5. A 5% lot coverage bonus for 3-sided outdoor covered unconditioned spaces (except with fireplace option, then 2-sided permitted) and/or guest house/pool house/casita (i.e., detached habitable structure with only sleeping, living and bathroom) shall be granted. In no case shall the total lot coverage exceed 55%.
6. A 10% lot coverage bonus for 3-sided outdoor covered unconditioned spaces (except with fireplace option, then 2-sided permitted) and/or guest house/pool house/casita (i.e., detached habitable structure with only sleeping, living and bathroom) shall be granted. In no case shall the total lot coverage exceed 60%.
7. For SF and SFHD lots, front yard setbacks shall be measured from property lines. Property lines shall be located as depicted in Figure 4.3. The Public Utility Easement (PUE) shall be located co-terminous with the front property line and extend into the lots as shown in yellow on Figure 4.3.

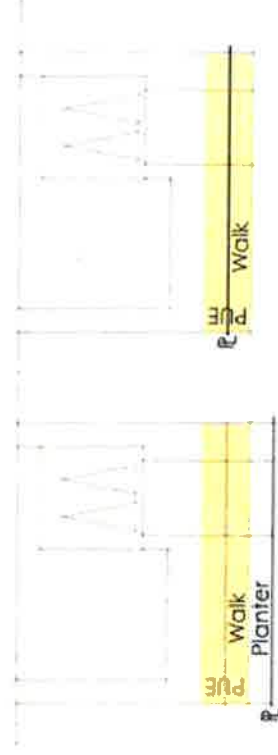


Figure 4.3: SF and SFHD PUE Location



## 4.4 ARCHITECTURAL GUIDELINES

The concept, inspiration, and vision for Russell Ranch is one of a distinctively California village with a unique and compelling design character derived from successful landmark neighborhoods throughout California.

Russell Ranch presents a cohesive collection of nine architectural styles, which will create a diverse and eclectic streetscape through massing and form, material and color, and detailing. The variety of styles will animate and activate the streetscape, creating a dynamic and vibrant community palette. Additional architectural styles that are consistent with the neighborhood vision will be reviewed and approved by the RRDRG on a case by case basis.

### ARCHITECTURAL PALETTE

- o The California Wine Country
- o The Monterey
- o The Spanish Eclectic
- o The California Cottage
- o The Transitional Bungalow
- o The California Prairie
- o The Spanish Colonial Revival
- o The California Craftsman
- o The California Villa



**Streetscape Example**

### HOW TO USE THESE GUIDELINES

The guidelines found in this section are formatted into individual style spreads, with each architectural style being defined and articulated over the course of three pages. The first page of the style spread defines the history and intent of the style; the second page provides a matrix that identifies the minimum elements for each style along with applicable enhanced elements and the third page identifies key style elements.

The core requirements for home design within the Russell Ranch neighborhood are concentrated in each style matrix (the second page of each spread), with the remaining pages intended as supporting and inspirational material. The sketches, key style elements, and details are intended to be an overview of the defining characteristics of the style and are not intended to be exhaustive, nor to represent all of the appropriate details inherent to each style.

With the intent of creating authentic representations of these architectural styles, all of the minimum elements outlined on the style specific matrix are required along with three enhanced elements.

To further define and emphasize the architecture of Russell Ranch, the following statements apply to all styles:

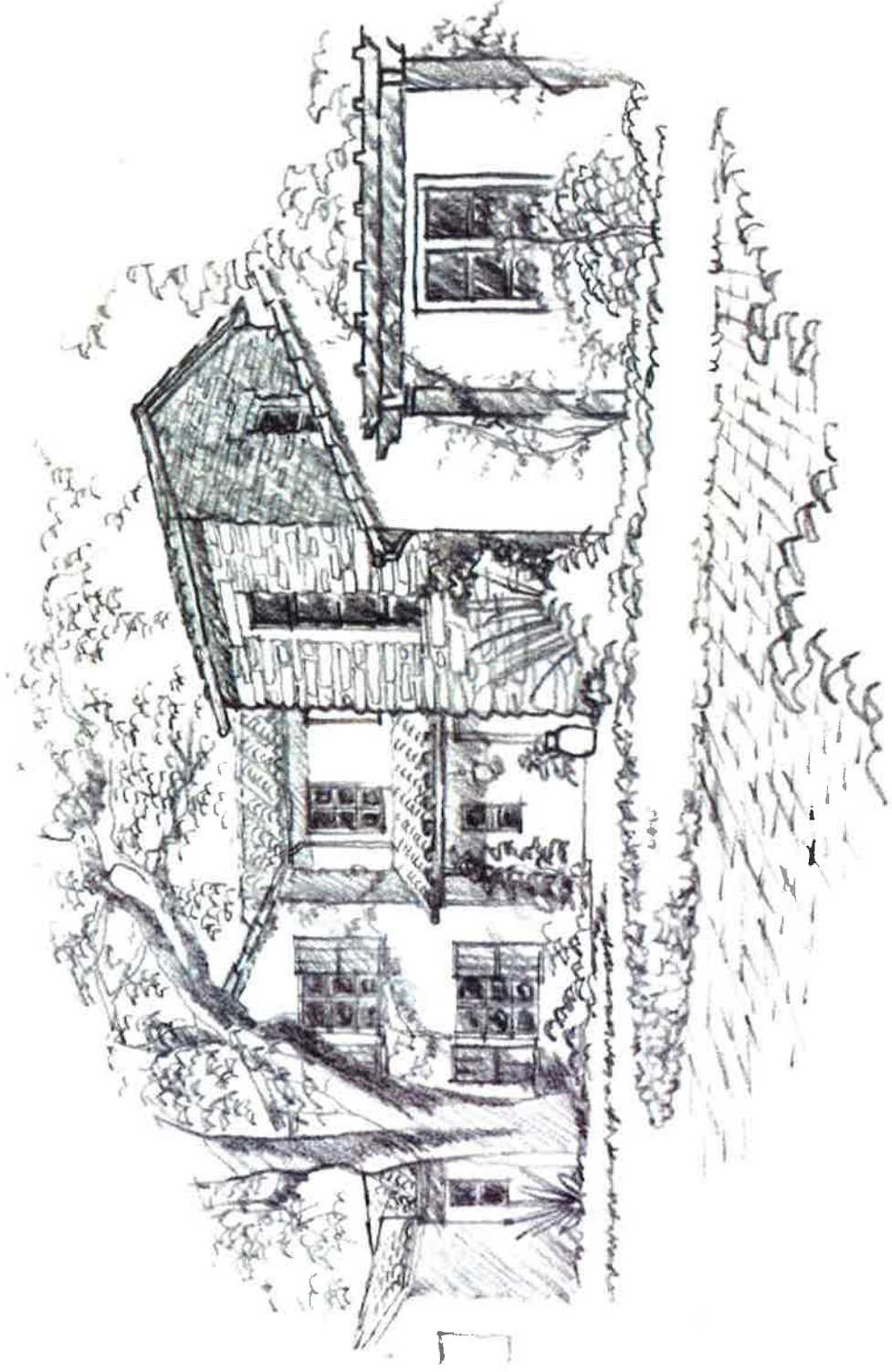
- Masonry must be applied authentically, wrapping outside corners and terminating at inside corners.
- Stone or brick scattered over stucco to mimic building age is not appropriate.
- Heavy knock down or “Spanish Lace” stucco is not permitted. Stucco finish options may include light lace, sand, smooth, imperfect smooth, cat face, or similar.

- All material changes must occur at an inside corner or other defined terminus (i.e., a fence line).
- No fascia gutter (gutter that serves as fascia) is permitted.
- No concrete rake tiles are permitted.
- Where wood is specified, cementitious material is acceptable to promote longevity and ease of maintenance.
- Grooved plywood siding and vinyl siding are not permitted.
- Garage doors shall complement the architectural style.
- House lights shall complement the architectural style.
- When shutters are used, each shutter shall be sized to one-half of the entire adjacent window width, such that if the shutters were closed, they would completely cover the window.

## THE CALIFORNIA WINE COUNTRY

Reflective of the rolling terrain of the California Wine Country, this casual and rustic architectural style borrows European accents and reinterprets them to be authentically California. Asymmetrical forms are layered to create casual massing and the use of rustic accent materials, such as overgrouted stone or brick, wrought iron, and heavy beams add to the charm of this style.

The California Wine Country style will add a rustic element to the streetscape, offering a casual and lower profile complement to the more formal vertical styles.





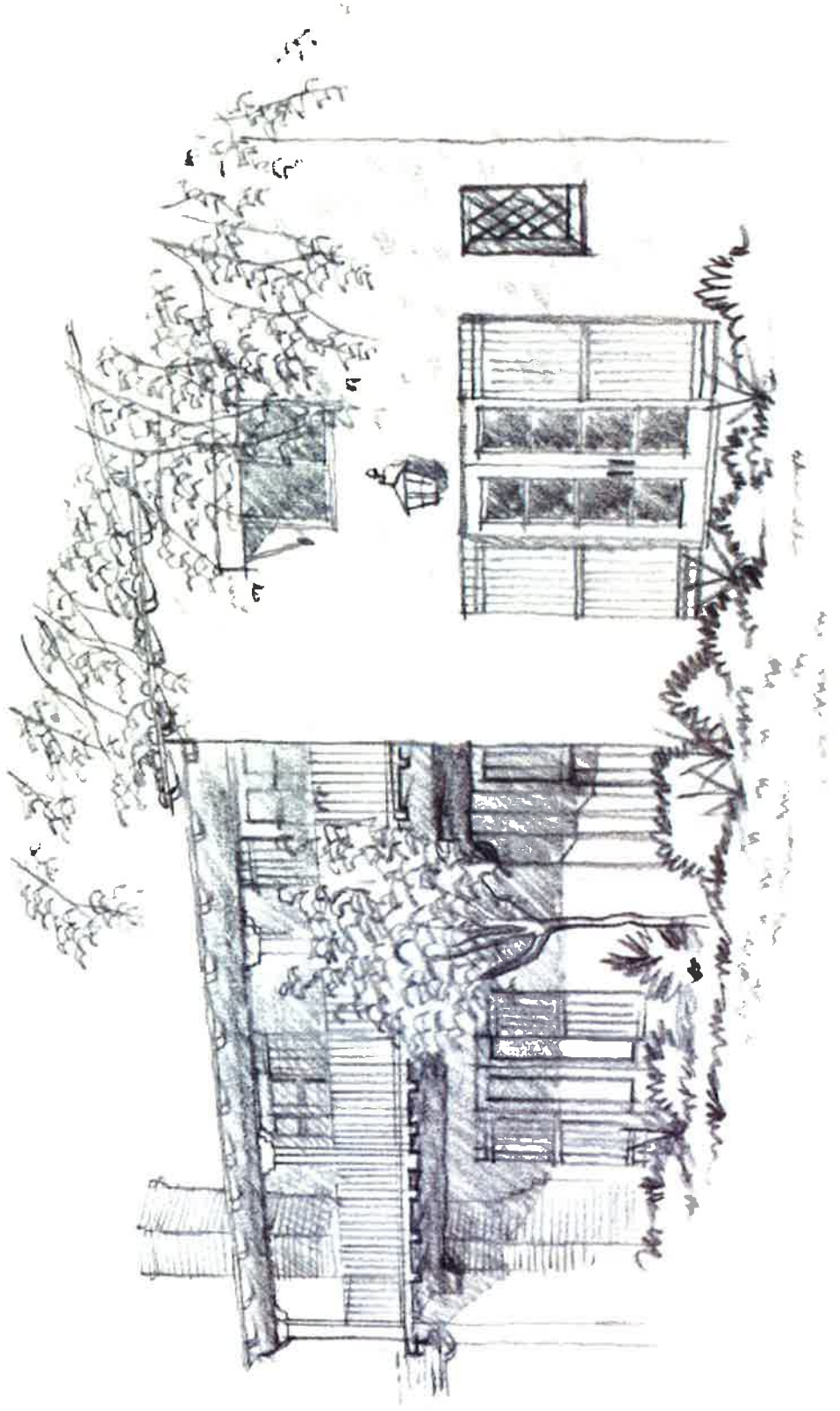
Style Elements	Minimum Elements (All Required on All Homes)	Enhanced Elements <sup>1, 2</sup> (Minimum of 3 Required on All Homes)
Form	<ul style="list-style-type: none"> <li>Simple rectangular massing in one, one-and-a-half, full two-story, or a combination thereof.</li> </ul>	
Roof	<ul style="list-style-type: none"> <li>Low-pitched gabled primary roofs (3:12 to 5:12).</li> <li>Shed porches.</li> <li>Tight rake at gables (0° to 6°).</li> <li>12" to 16" eaves.</li> <li>Barrel or S-tile roof.</li> </ul>	<ul style="list-style-type: none"> <li>Exposed rafter tails.</li> <li>Boosted roof tiles.</li> </ul>
Walls	<ul style="list-style-type: none"> <li>Stucco is the primary wall material.</li> </ul>	<ul style="list-style-type: none"> <li>Overgrouted stone or brick as entire massing element.</li> <li>Smooth or imperfect smooth stucco finish.</li> </ul>
Windows & Doors	<ul style="list-style-type: none"> <li>Head and sill window trim or full window surrounds.</li> <li>Simple wood panel doors with vertical panels.</li> <li>Divided light windows.</li> </ul>	<ul style="list-style-type: none"> <li>Front elevation with all windows inset 2" or one feature window recessed 12".</li> <li>Shutters (plank or diagonal brace).</li> <li>Colored window frames (e.g. cranberry, sage green, dark brown, etc.)</li> </ul>
Details	<ul style="list-style-type: none"> <li>Rustic wood railing and column posts.</li> </ul>	<ul style="list-style-type: none"> <li>Massive chimney (may be battered or tapered) clad in stucco, stone, or brick.</li> <li>Wood trellises, applied sheds over windows, or Bermuda shutters.</li> <li>Carriage style garage doors with hardware.</li> <li>Typical downspouts replaced with "rain chains" or round metal downspouts.</li> </ul>

1. An additional 2 enhancements required on visible lots shown on Figure 4.1 for a total of 5 Enhanced Elements.
2. An additional 3 enhancements required on corner visible lots shown on Figure 4.1 for a total of 6 Enhanced Elements.

## THE MONTEREY

The historic Monterey style blends the Spanish cultures of original California residents with the influences brought to the west by the first European settlers. These homes are a juxtaposition of local indigenous materials with colonial detailing applied. The dominant feature of the Monterey style is the always-present upper-story balcony element, which is contained within the principal roof form and cantilevered. The balcony is of heavy timbered construction, defining the structure.

The Monterey style is a direct link to the colonial heritage of California. Only appropriate for two-story homes, this style will enhance the animation of the streetscape, both vertically and horizontally, through height, recess, and significant shadow play.





Style Elements	Minimum Elements (All Required on All Homes)	Enhanced Elements <sup>1,2</sup> (Minimum of 3 Required on All Homes)
Form	<ul style="list-style-type: none"> <li>• Two-story, rectangular form.</li> <li>• Principal side gabled roof.</li> <li>• Cantilevered second story balcony covered by principal roof.</li> </ul>	<ul style="list-style-type: none"> <li>• L-shaped form with front facing cross gable.</li> <li>• Hipped roof elements.</li> </ul>
Roof	<ul style="list-style-type: none"> <li>• Low-pitched gabled roofs (4:12 to 5:12).</li> <li>• Flat tile roof with barrel ridge and hip tiles.</li> <li>• 12" to 16" overhangs.</li> <li>• Thin eaves with either a half-round or ogee gutter.</li> </ul>	<ul style="list-style-type: none"> <li>• Full S-tile roof.</li> <li>• Applied shed roof elements over windows</li> <li>• Exposed rafter tails.</li> </ul>
Walls	<ul style="list-style-type: none"> <li>• Stucco is the dominant exterior finish.</li> </ul>	<ul style="list-style-type: none"> <li>• Brick at first floor, which may be painted.</li> <li>• Horizontal wood siding at upper floor.</li> <li>• Thickened walls.</li> </ul>
Windows & Doors	<ul style="list-style-type: none"> <li>• Paired windows in groups of twos or threes.</li> <li>• Tall vertical windows.</li> <li>• Rustic plank entry door.</li> </ul>	<ul style="list-style-type: none"> <li>• First floor arched picture window at cross gable.</li> <li>• Bermuda shutters.</li> <li>• At least one pair of French doors accessing the balcony.</li> </ul>
Details	<ul style="list-style-type: none"> <li>• Fixed panel or louvered wood shutters.</li> <li>• Wood railing at balcony to match posts and beams.</li> </ul>	<ul style="list-style-type: none"> <li>• Exposed decorative wood elements at balconies.</li> <li>• Ornate wrought iron railing at balcony.</li> </ul>

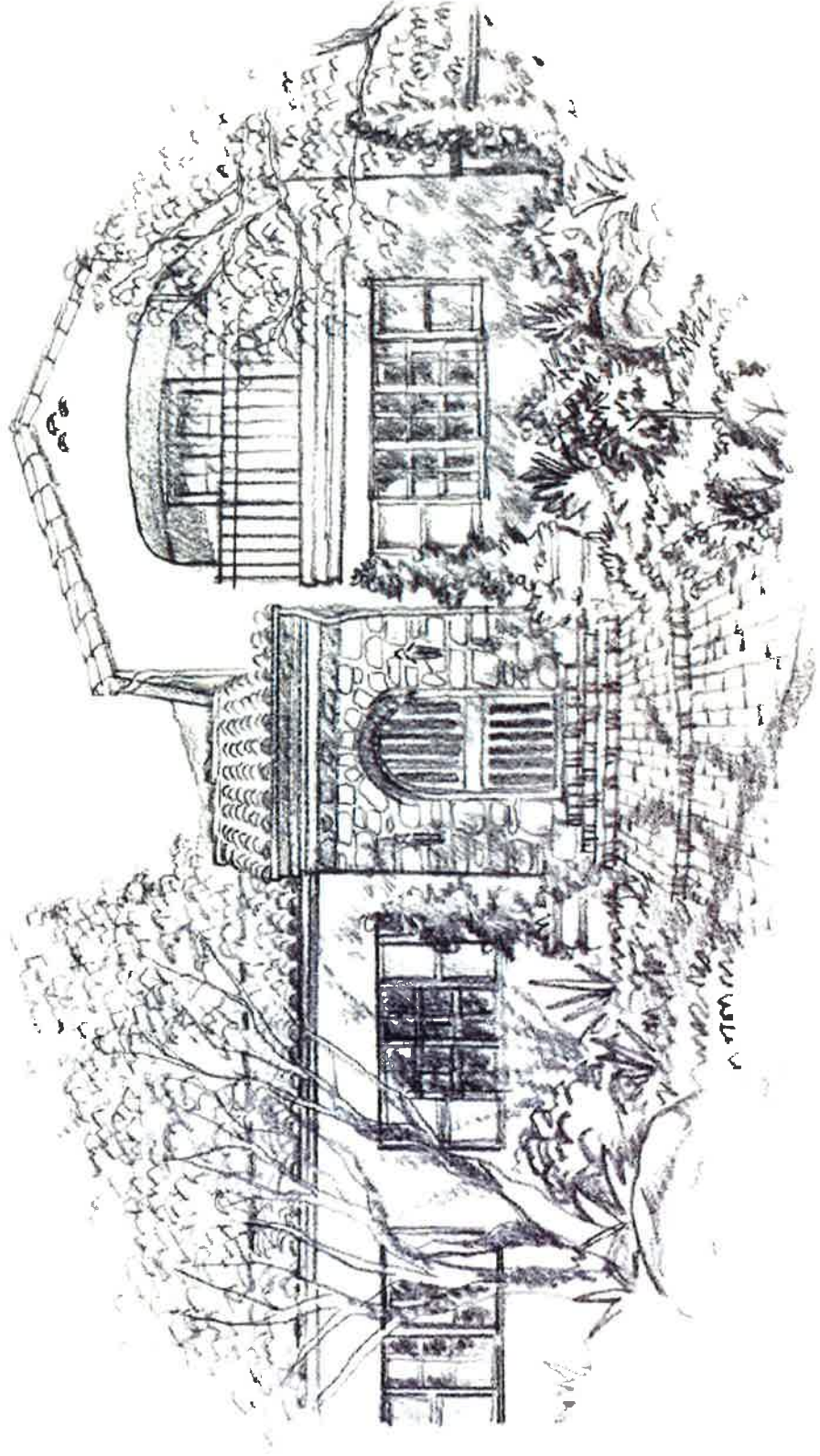
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2. An additional 3 enhancements required on corner visible lots shown on Figure 4.1 for a total of 6 Enhanced Elements.



## THE SPANISH ECLECTIC

The Spanish Eclectic architectural style in California gained in popularity and sophistication in surface design after the 1915 Panama-California Exposition in San Diego. The Spanish Eclectic house is popular in many historic neighborhoods due to its adaptability of formal and casual, playful character. Historic precedence can be drawn from a wide and diverse range of influences; region, chronology, and function all contribute to the evolution of the Spanish Eclectic style. Truly one of the most diverse architectural styles, the Spanish Eclectic can vary from playful to exotic, bungalow to hacienda.

The Spanish Eclectic style will add to the intrinsic character and rich diversity of the streetscape. Offering an opportunity for bold color statement and whimsical forms, the style will add a playful element to the neighborhood.



Style Elements	Minimum Elements (All Required on All Homes)	Enhanced Elements <sup>1, 2</sup> (Minimum of 3 Required on All Homes)
Form	<ul style="list-style-type: none"> <li>One, one-and-a-half (with strong one-story element and stepped back second story), or full two-story massing. (The form is not rigidly defined; this style can be applied to a wide variety of asymmetrical building mass configurations.)</li> <li>Roof form is predominately pitched, hipped or gabled, but may also be parapeted.</li> </ul>	<ul style="list-style-type: none"> <li>Massive chimney with buttressed form and elaborate cap with arched opening and small tiled roof.</li> <li>Massive battered (tapered) chimney with finial chimney cap.</li> <li>Recessed arcade along front elevation.</li> <li>Arched wing wall.</li> <li>Balconies.</li> </ul>
Roof	<ul style="list-style-type: none"> <li>Low pitched roof (3:12 to 5:12).</li> <li>Simple flat, hip, or gable roof with one intersecting gable roof.</li> <li>Overhangs are typically tight, but can be up to 18".</li> <li>Fascia is either tight to the building (6" max) or nonexistent with rake tile providing the transition from wall to roof.</li> <li>S-shaped concrete tiles.</li> <li>Thin eaves with either a half-round or ogee gutter.</li> </ul>	<ul style="list-style-type: none"> <li>"Boosted" or raised tiles (may be all or a percentage of the roof field).</li> <li>Applied shed roof elements over windows.</li> <li>Exposed rafter tails.</li> </ul>
Walls	<ul style="list-style-type: none"> <li>Stucco is the dominant exterior finish.</li> </ul>	<ul style="list-style-type: none"> <li>Overgrouted stone, brick, or adobe expressed as a single massing element.</li> </ul>
Windows & Doors	<ul style="list-style-type: none"> <li>Feature recessed arched picture window or three grouped arched windows.</li> <li>Vertical multi-paned windows or inserts at front elevations.</li> <li>Window head and jamb trim is absent.</li> <li>Modest (4" max) window sill trim.</li> </ul>	<ul style="list-style-type: none"> <li>Accent beveled glass recessed window.</li> <li>Single or grouped arched windows.</li> <li>Decorative precast concrete door and window surrounds.</li> <li>Heavy wood head trim at windows.</li> <li>Thickened walls.</li> <li>Juliet balconies.</li> <li>Bermuda shutters.</li> </ul>
Details	<ul style="list-style-type: none"> <li>Masonry vents.</li> <li>Candles.</li> </ul>	<ul style="list-style-type: none"> <li>Shaped rafter tails at feature areas.</li> <li>Wrought iron balconies and accent details.</li> <li>Arched stucco column porches.</li> <li>Vibrant and colorful glazed Spanish tile accents.</li> </ul>

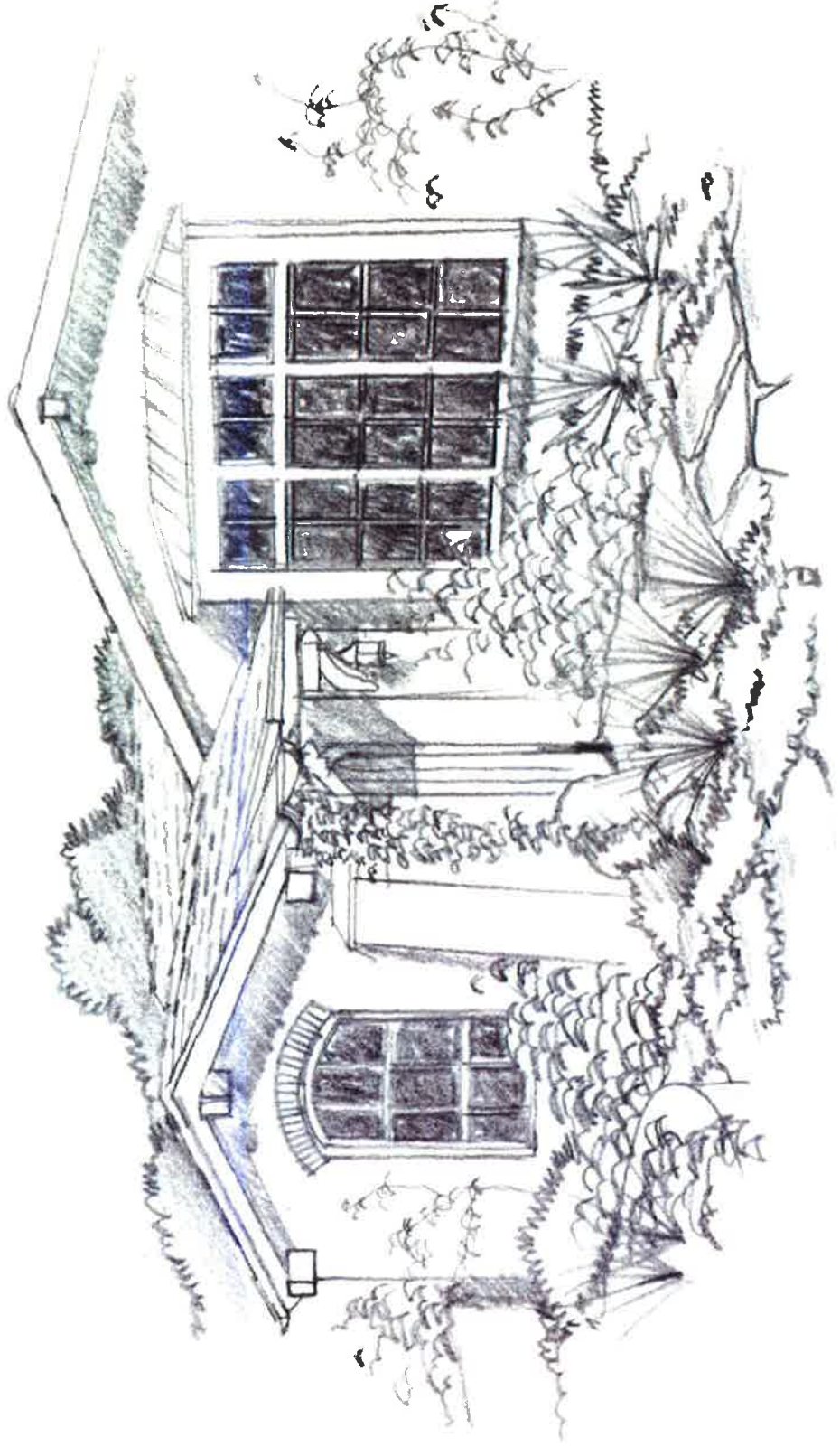
1. An additional 2 enhancements required on visible lots shown on Figure 4.1 for a total of 5 Enhanced Elements.  
 2. An additional 3 enhancements required on corner visible lots shown on Figure 4.1 for a total of 6 Enhanced Elements.



## THE CALIFORNIA COTTAGE

The California Cottage introduces a quaint and picturesque element to the eclectic Russell Ranch streetscape. The Cottage typically has a steeply pitched roof, with the principal roof being side gabled, and multiple asymmetric cross gables. The Cottage is a popular style throughout historic California neighborhoods, with French and English European influences.

Homes may have applied half-timbering, and may feature face brick, which can be painted. Gabled dormers are common, with only modest eave extension. Details such as eyebrow dormers, bell-cast eaves, and arched windows add charm and whimsy to the storybook architectural style. Windows tend to be vertically oriented, often with casements, and often with square gridded or diamond-pane leaded muntins. Cottage houses generally have prominent chimneys.





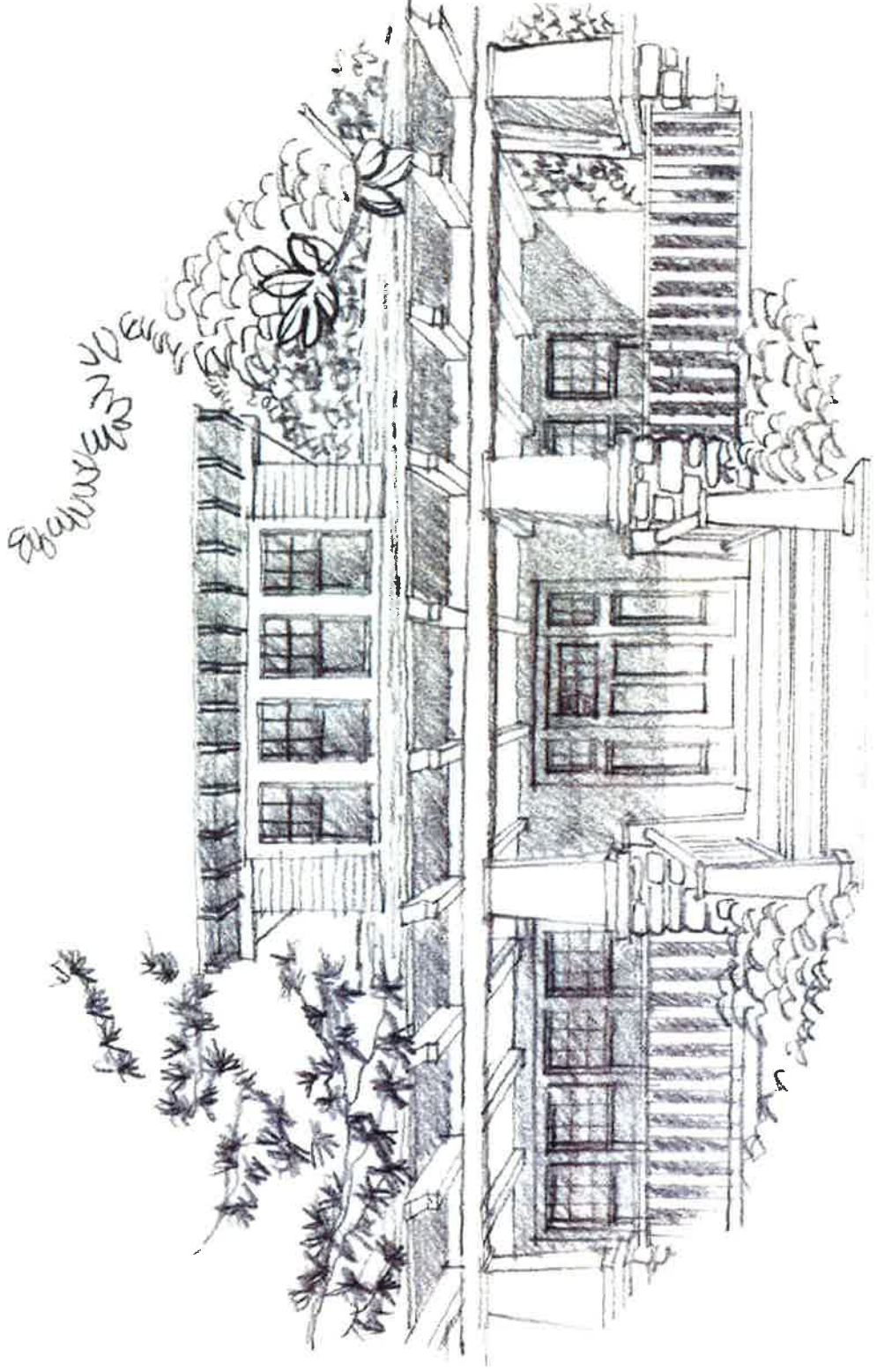
Style Elements	Minimum Elements (All Required on All Homes)	Enhanced Elements <sup>1, 2</sup> (Minimum of 3 Required on All Homes)
Form	<ul style="list-style-type: none"> <li>• One, one-and-a-half, or full two-story massing.</li> <li>• Asymmetrical massing and proportions.</li> <li>• Gable roof form (either front-to-back, side-to-side, or cross-gable).</li> </ul>	<ul style="list-style-type: none"> <li>• Single eyebrow dormer.</li> <li>• Multiple (two or three) gable dormers.</li> <li>• Massive chimney, usually integrated with the dominant gable.</li> </ul>
Roof	<ul style="list-style-type: none"> <li>• <b>Low pitched main roof (3:12 to 6:12).</b></li> <li>• Asphalt composition shingles preferred, concrete tile allowed with raised bargeboard.</li> <li>• Rake at gables up to 12°.</li> </ul>	<ul style="list-style-type: none"> <li>• <b>Steeply pitched accent gable (6:12 to 9:12).</b></li> <li>• Standing seam metal accent roof at dormers or bay windows.</li> <li>• Up to 16" eaves.</li> </ul>
Walls	<ul style="list-style-type: none"> <li>• Stucco, lap siding, masonry/brick, stone, or any combination thereof.</li> </ul>	<ul style="list-style-type: none"> <li>• Smooth or imperfect smooth stucco.</li> <li>• Stone or brick wainscot.</li> <li>• Horizontal siding accents at gables and single massing elements.</li> <li>• Masonry as an entire massing element (e.g., chimney, gable end, etc.)</li> <li>• Painted brick.</li> </ul>
Windows & Doors	<ul style="list-style-type: none"> <li>• Divided lights common on all windows.</li> <li>• Vertical windows in groupings of two and three.</li> <li>• Head and sill window trim or full window surrounds.</li> <li>• <b>Entry doors accented by trim surrounds.</b></li> </ul>	<ul style="list-style-type: none"> <li>• <b>Front elevation with all windows inset 2" or one feature window recessed 12".</b></li> <li>• <b>Round accent window or arched accent window flanked with arched shutters.</b></li> <li>• <b>Soft arch or radius top windows.</b></li> <li>• <b>Casement windows.</b></li> <li>• Mull window groupings.</li> <li>• Arched entry door.</li> <li>• Brick or stone window and/or <b>door surrounds at key locations.</b></li> <li>• Bay window.</li> <li>• <b>Deep recessed entry door.</b></li> </ul>
Details	<ul style="list-style-type: none"> <li>• Shutters</li> </ul>	<ul style="list-style-type: none"> <li>• Exposed accent wood timbers and beams.</li> <li>• Cast concrete door surrounds, window trim accents, and/or lentils.</li> <li>• Balcony or windows with decorative metal railings and French doors.</li> <li>• Recessed gable vents.</li> <li>• Leader heads at downspouts.</li> <li>• Brick window and/or door headers at key locations.</li> </ul>

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 2. An additional 3 enhancements required on corner visible lots shown on Figure 4.1 for a total of 6 Enhanced Elements.

## THE TRANSITIONAL BUNGALOW

The Craftsman bungalow was the first truly American vernacular style and became a very popular and beloved addition to historic California streetscapes. The Craftsman plan form broke with earlier formal Victorian spatial arrangements and changed the way that families lived in and related to their houses.

Russell Ranch's Transitional Bungalow reinterprets the traditional Craftsman style through a reduction in ornamentation and delicacy, bold material placement emphasizing major architectural elements, and prominent strong architectural forms. Focused on the blending of structure with nature, window walls and clerestory forms effectively bring the outdoors in to the home.





Style Elements	Minimum Elements (All Required on All Homes)	Enhanced Elements <sup>1,2</sup> (Minimum of 3 Required on All Homes)
Form	<ul style="list-style-type: none"> <li>• Simple massing, front or side gabled, typically one- to one-and-a-half-story massing.</li> <li>• Symmetrical or asymmetrical form.</li> <li>• Deep front entry porch.</li> <li>• Stylized column and beam detailing at porches</li> </ul>	<ul style="list-style-type: none"> <li>• Cross-gabled massing.</li> <li>• Two stories with a combination of one and two-story elements.</li> <li>• 6' minimum full width, deep porch at entry.</li> </ul>
Roof	<ul style="list-style-type: none"> <li>• Low-pitched roofs with large over-hanging eaves, emphasizing horizontal planes.</li> <li>• 4:12 to 6:12 roof pitch.</li> <li>• 12" to 18" overhangs.</li> <li>• Asphalt composition shingles</li> </ul>	<ul style="list-style-type: none"> <li>• Concrete roof tile with raised bargeboard.</li> <li>• Varied porch roofs; shed or gabled.</li> <li>• Metal roof at porch (standing seam or corrugated).</li> <li>• Cascading (multiple) gables.</li> <li>• Single large shed dormer.</li> <li>• 18" to 36" overhangs.</li> <li>• Extended and shaped barge rafters.</li> <li>• Exposed rafter tails at eaves.</li> </ul>
Walls	<ul style="list-style-type: none"> <li>• Exterior wall materials with combinations of materials, such as wood shingles, horizontal siding, board and batten, and stucco.</li> </ul>	<ul style="list-style-type: none"> <li>• Brick chimneys.</li> <li>• Battered (tapered) stone foundation or wainscot.</li> <li>• Foundation or wainscot using brick.</li> </ul>
Windows & Doors	<ul style="list-style-type: none"> <li>• Single hung windows at front elevations.</li> <li>• Use windows individually or in groups (typically two or three).</li> <li>• Doors with full surrounds.</li> <li>• Windows with full surrounds and a projected sill/apron.</li> </ul>	<ul style="list-style-type: none"> <li>• Casement windows.</li> <li>• Three or more windows in a "ribbon."</li> <li>• Grouped windows with a high transom.</li> <li>• Large feature picture window flanked by two narrow vertical windows.</li> <li>• Wide wood entry door with integrated glass.</li> <li>• Wood door and window surrounds.</li> </ul>
Details	<ul style="list-style-type: none"> <li>• Entry porches with columns resting on larger piers or bases.</li> <li>• Porch rails of repeated vertical elements.</li> </ul>	<ul style="list-style-type: none"> <li>• Entry porch columns consisting of single or multiple wood posts with rectangular or battered brick or stone piers or bases.</li> <li>• Wood brackets or knee braces.</li> <li>• Porch rails comprised of decoratively cut boards that create a horizontal pattern.</li> <li>• Typical downspouts replaced with "rain chains" or round metal downspouts.</li> <li>• Open eave overhangs with plumb or square cut rafter tails.</li> <li>• Exposed square cut ridge beams, outlookers, and purlins.</li> <li>• Porte-cochère, pergola, or trellis that continues, or is integrated with, the front porch.</li> </ul>

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 2. An additional 3 enhancements required on corner visible lots shown on Figure 4.1 for a total of 6 Enhanced Elements.

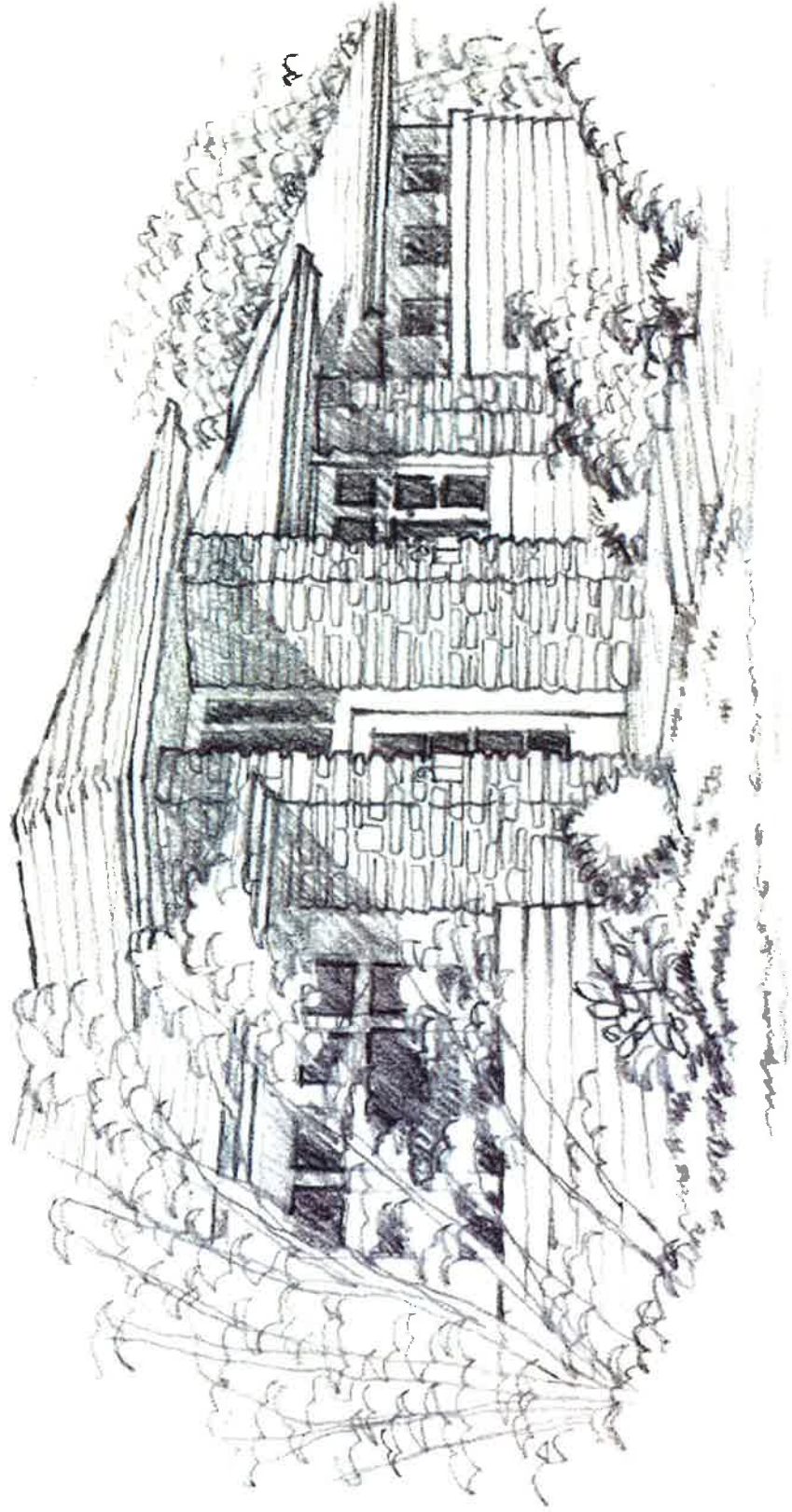




## THE CALIFORNIA PRAIRIE

The Prairie style was borne of the Chicago Prairie School movement. The style is organic in nature, integrated with the land, using natural materials and abstracted nature forms. The Prairie emphasizes the integration of indoor and outdoor spaces with its trademark wide overhangs, appropriate for the regional climate, identifying the style. Although not as prevalent in the area as the Craftsman style, Prairie homes are very distinctive and add a strong horizontal presence to the community.

The California Prairie at Russell Ranch is a slightly abstracted version of the traditional Prairie style with simplicity in form and detail. A commitment to strong orthogonal forms and linear arrangements tie the California Prairie to its Midwestern roots.



Style Elements	Minimum Elements (All Required on All Homes)	Enhanced Elements <sup>1,2</sup> (Minimum of 3 Required on All Homes)
Form	<ul style="list-style-type: none"> <li>• One or two-story with strongly horizontal massing.</li> <li>• Secondary masses perpendicular to the primary forms.</li> </ul>	<ul style="list-style-type: none"> <li>• Porte-cocheres (where applicable) and raised porches extending out from the entry of the home.</li> <li>• Accentuated horizontal base extending out as a site or planter wall.</li> </ul>
Roof	<ul style="list-style-type: none"> <li>• Long, horizontal low-pitched hip roofs with large over-hanging eaves, emphasizing horizontal planes (3.5:12 to 4:12 roof pitch).</li> <li>• 36" minimum overhangs.</li> <li>• Gable roof forms are also appropriate.</li> <li>• Flat concrete tile with a shingle appearance or asphalt composition shingles.</li> </ul>	<ul style="list-style-type: none"> <li>• Terraces covered by primary roof form with massive rectilinear stone piers for roof support.</li> <li>• 12" - 18" overhangs</li> </ul>
Walls	<ul style="list-style-type: none"> <li>• Stucco in combination with ledge stone or masonry wainscot base.</li> <li>• Ledge stone used as post bases and fireplaces only.</li> </ul>	<ul style="list-style-type: none"> <li>• Extensive use of brick or ledge stone, used to emphasize the horizontal planes, with struck horizontal grout joints.</li> <li>• Cement plank lap siding is found in some examples.</li> </ul>
Windows & Doors	<ul style="list-style-type: none"> <li>• Square or rectangular windows</li> <li>• Grouping and arrangement of windows should emphasize the geometry of the elevation.</li> <li>• Ribbons of windows under deep roof overhangs.</li> <li>• Wood window and door trim.</li> </ul>	<ul style="list-style-type: none"> <li>• Clerestory windows.</li> <li>• Leaded glass inserts at entry.</li> <li>• Accent colored window frames.</li> <li>• Style-specific divided lights</li> </ul>
Details	<ul style="list-style-type: none"> <li>• Ornamental railings and gates.</li> <li>• Wood beams and brackets.</li> </ul>	<ul style="list-style-type: none"> <li>• Metal or wood fascia.</li> <li>• Carpenter detailing<sup>3</sup>.</li> <li>• Style-specific unique lighting fixtures.</li> <li>• Low garden walls to enclose and frame outdoor living spaces.</li> <li>• Massive chimney forms, wrapped in stone or brick.</li> </ul>

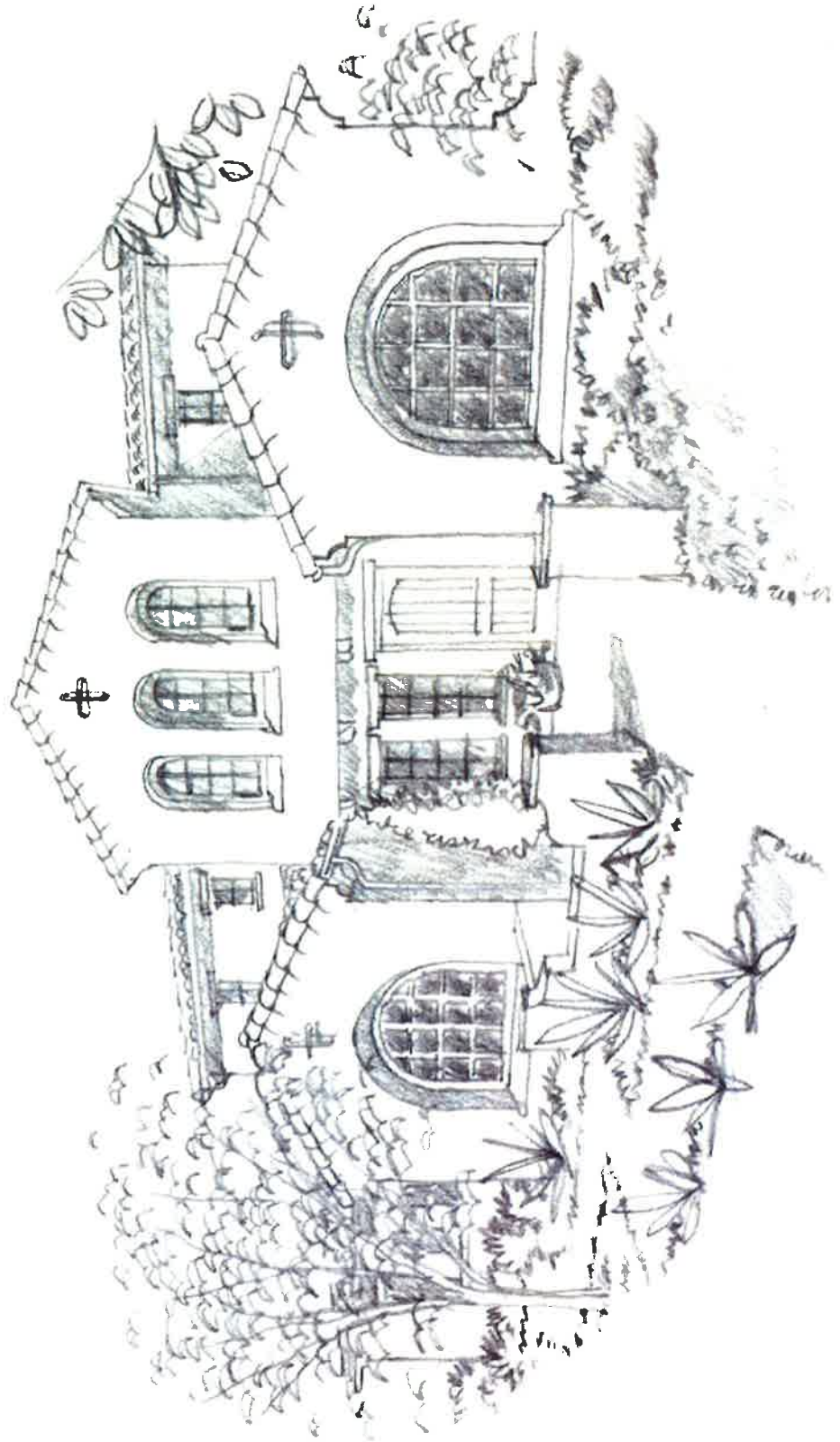
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2. An additional 3 enhancements required on corner visible lots shown on Figure 4.1 for a total of 6 Enhanced Elements.
3. Wood trim details (e.g., at doors, windows, eaves, terraces and pergola style porte-cocheres).



## THE SPANISH COLONIAL REVIVAL

The 1915 Panama-California Exposition, designed by Spanish Colonial architecture expert Bertram Grosvenor Goodhue, ended the precedent of free adaptations of the Mission style and brought the emergence of precise imitations of more elaborate Spanish prototypes. Goodhue wanted to go beyond the then prevalent Mission interpretations and emphasize the richness of Spanish precedents found throughout Latin America. Fashionable architects of the time began to look directly to Spain for source material, finding a long and rich sequence of architectural traditions, which became melded into a style that became the Spanish Colonial Revival.

The Spanish Colonial Revival introduces a more formal and symmetrical counterpart to the playful Spanish Eclectic style, adding diversity to the Russell Ranch streetscape.





Style Elements	Minimum Elements (All Required on All Homes)	Enhanced Elements <sup>1, 2</sup> (Minimum of 3 Required on All Homes)
Form	<ul style="list-style-type: none"> <li>One, one-and-a-half (with strong one-story elements), or full two-story massing.</li> <li>Roof form is predominantly pitched, hipped or gabled, but may also have a parapeted accent, which may be shaped in a traditional mission form.</li> <li>Primarily symmetrical form.</li> </ul>	<ul style="list-style-type: none"> <li>Massive chimney with buttressed form and elaborate cap with arched opening and small tiled roof.</li> <li>Massive battered (tapered) chimney with finial chimney cap.</li> <li>Recessed arcade along front elevation.</li> <li>Arched wing wall.</li> <li>Balconies.</li> <li>Cantilevered second story elements with brackets.</li> </ul>
Roof	<ul style="list-style-type: none"> <li>Low pitched roof (3:12 to 5:12).</li> <li>Overhangs are typically tight, but can be up to 18".</li> <li>Fascia is either tight to the building (6" max) or nonexistent with rake tile providing the transition from wall to roof.</li> <li>S-shaped concrete tiles.</li> <li>Thin eaves with either a half-round or ogee gutter.</li> </ul>	<ul style="list-style-type: none"> <li>"Boosted" or raised tiles (may be all or a percentage of the roof field).</li> <li>Exposed rafter tails.</li> </ul>
Walls	<ul style="list-style-type: none"> <li>Stucco is the dominant exterior finish.</li> </ul>	
Windows & Doors	<ul style="list-style-type: none"> <li>Feature recessed arched picture windows or three grouped arched windows.</li> <li>Vertical multi-paned windows or inserts at front elevations.</li> <li>Window head and jamb trim is absent.</li> <li>Modest (4" max) window sill trim.</li> <li>Oversized wood entry door.</li> </ul>	<ul style="list-style-type: none"> <li>Multiple feature recessed arched windows.</li> <li>Accent beveled glass recessed window.</li> <li>Single or grouped arched windows.</li> <li>Decorative precast concrete door and window surrounds.</li> <li>Heavy wood head trim at windows.</li> <li>Thickened walls.</li> <li>Juliet balconies.</li> <li>Bermuda shutters.</li> </ul>
Details	<ul style="list-style-type: none"> <li>Masonry vents.</li> <li>Canales.</li> </ul>	<ul style="list-style-type: none"> <li>Scalloped eaves.</li> <li>Shaped rafter tails at feature areas.</li> <li>Wrought iron balconies and accent details.</li> <li>Arched stucco column porches.</li> <li>Vibrant and colorful glazed Spanish tile accents.</li> </ul>

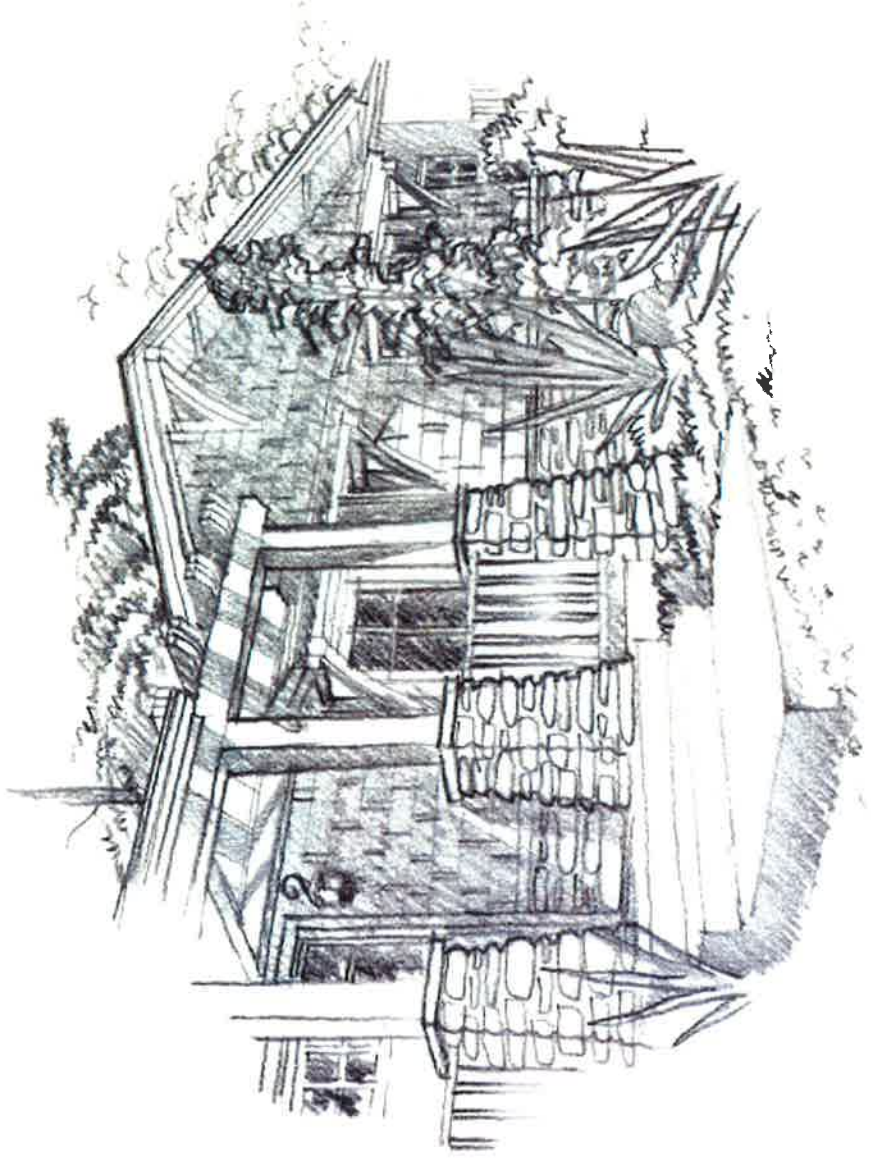
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## THE CALIFORNIA CRAFTSMAN

The Craftsman bungalow was an enormously influential form and style of architecture in America between 1906 and 1918, the first truly American vernacular style. The Craftsman plan form broke with earlier formal Victorian spatial arrangements and changed the way that families lived in and related to their houses.

Architecturally, the Craftsman bungalow was designed to achieve harmony between the house and its landscape, to get as close as possible to nature. A Craftsman bungalow has many of the hallmarks of the Arts and Crafts aesthetic: clinker brick, carved rafter tails, a mixture of cladding (brick, clapboard, tile, and shingle), and oversized eave brackets painted in colors of nature.

The California Craftsman recalls the comfortable and welcoming nature of the much-loved historic Craftsman bungalows with a uniquely California flair with large windows and an emphasis on the blending of indoor and outdoor spaces. These homes reflect a sense of permanence that only artisanship and careful design can convey.





Style Elements	Minimum Elements (All Required on All Homes)	Enhanced Elements <sup>1,2</sup> (Minimum of 3 Required on All Homes)
Form	<ul style="list-style-type: none"> <li>• Simple massing, front or side gabled, typically one- to one-and-a-half-story massing.</li> <li>• Symmetrical or asymmetrical form.</li> <li>• 6' minimum deep front entry porch.</li> <li>• Stylized column and beam detailing at porches</li> </ul>	<ul style="list-style-type: none"> <li>• Cross-gabled massing.</li> <li>• Two stories with a combination of one and two-story elements.</li> <li>• Full width, deep porch at entry.</li> </ul>
Roof	<ul style="list-style-type: none"> <li>• Low-pitched roofs with large over-hanging eaves, emphasizing horizontal planes.</li> <li>• 4:12 to 6:12 roof pitch.</li> <li>• 12" to 18" overhangs.</li> <li>• Asphalt composition shingles preferred.</li> </ul>	<ul style="list-style-type: none"> <li>• Concrete roof tile with raised bargeboard.</li> <li>• Varied porch roofs; shed or gabled.</li> <li>• Cascading (multiple) gables.</li> <li>• Roof dormers (shed or gable form).</li> <li>• 18" to 36" overhangs.</li> <li>• Extended and shaped barge rafters.</li> <li>• Exposed rafter tails at eaves.</li> </ul>
Walls	<ul style="list-style-type: none"> <li>• Exterior wall materials with combinations of materials, such as wood shingles, horizontal siding, board and batten, and stucco.</li> </ul>	<ul style="list-style-type: none"> <li>• Stone, brick or combination chimneys.</li> <li>• Eliminate stucco as a wall treatment.</li> <li>• Foundation or wainscot using brick, stone, or a combination.</li> <li>• Battered (tapered) stone foundation or wainscot.</li> </ul>
Windows & Doors	<ul style="list-style-type: none"> <li>• Single hung windows at front elevations.</li> <li>• Use windows individually or in groups (typically two or three).</li> <li>• Doors with full surrounds.</li> <li>• Windows with full surrounds and a projected sill/apron.</li> </ul>	<ul style="list-style-type: none"> <li>• Casement windows.</li> <li>• Divided light windows.</li> <li>• Three or more windows in a "ribbon."</li> <li>• Grouped windows with a high transom.</li> <li>• Wide wood entry door with integrated glass.</li> <li>• Wood door and window surrounds.</li> </ul>
Details	<ul style="list-style-type: none"> <li>• Entry porches with columns resting on larger piers or bases.</li> <li>• Porch rails of repeated vertical elements.</li> </ul>	<ul style="list-style-type: none"> <li>• <b>Wood brackets or knee braces.</b></li> <li>• Entry porch columns consisting of single or multiple wood posts with rectangular or battered brick or stone piers or bases.</li> <li>• Porch rails comprised of decoratively cut boards that create a pattern.</li> <li>• Additional "stick-work" in gable ends.</li> <li>• Typical downsouts replaced with "rain chains."</li> <li>• Open eave overhangs with shaped rafter tails.</li> <li>• Decorative ridge beams, outlookers, and purlins.</li> <li>• Porte-cochère, pergola, or trellis that continues, or is integrated with, the front porch.</li> </ul>

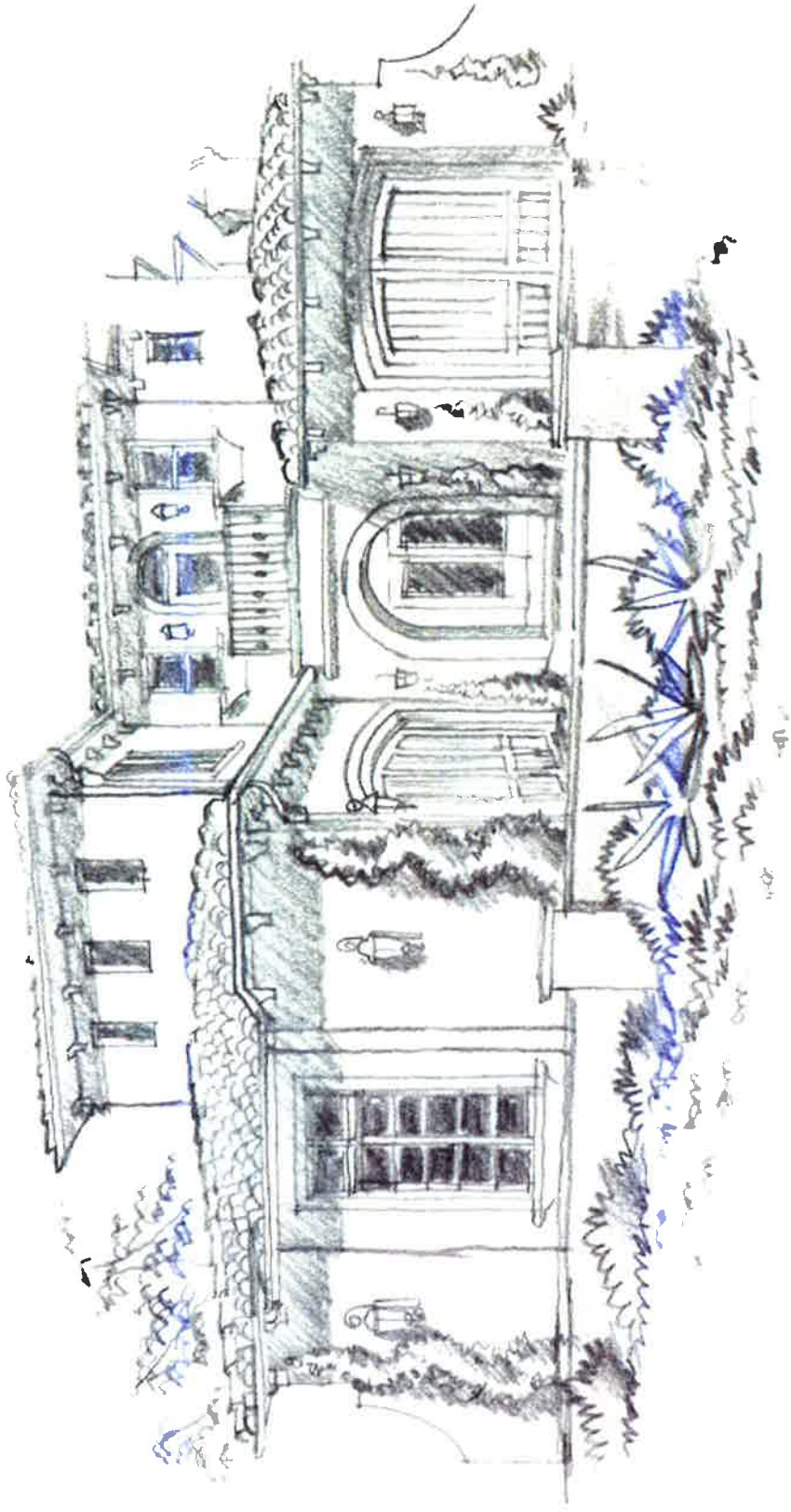
1. An additional 2 enhancements required on visible lots shown on Figure 4.1 for a total of 5 Enhanced Elements.  
 2. An additional 3 enhancements required on corner visible lots shown on Figure 4.1 for a total of 6 Enhanced Elements.



## THE CALIFORNIA VILLA

The Villa pays homage to Italian Renaissance architecture while introducing elements of California style. Simple, symmetrical, unornamented facades with decorative elements focused to high-visibility areas, such as doors and windows. Small details concentrated in high impact locations work to create a highly ordered style with classical elegance and restrained formality.

Being more formal and vertical in nature, the Villa adds an attractive contrast to some of the casual and eclectic styles within the neighborhood.



Style Elements	Minimum Elements (All Required on All Homes)	Enhanced Elements <sup>1,2</sup> (Minimum of 3 Required on All Homes)
Form	<ul style="list-style-type: none"> <li>• Two-story form.</li> <li>• Simple hipped roof with a flat, symmetrical facade.</li> </ul>	<ul style="list-style-type: none"> <li>• Full-width loggia with a formal and elegantly detailed colonnade.</li> </ul>
Roof	<ul style="list-style-type: none"> <li>• Low pitched roof (4:12 to 5:12).</li> <li>• Simple hipped roof.</li> <li>• Broadly overhanging (24" min) boxed eaves.</li> <li>• Barrel or S-shaped concrete tiles.</li> </ul>	<ul style="list-style-type: none"> <li>• Decorative brackets at eaves.</li> <li>• Hipped roof with single-story projecting wings (i.e., porte-cochere or sunroom).</li> <li>• Decorative frieze.</li> </ul>
Walls	<ul style="list-style-type: none"> <li>• Stucco is the dominant exterior finish.</li> </ul>	<ul style="list-style-type: none"> <li>• Yellow brick walls.</li> <li>• Horizontal rusticated base of stone or masonry.</li> </ul>
Windows & Doors	<ul style="list-style-type: none"> <li>• Formal window arrangement across full facade.</li> <li>• Symmetrical placement of windows.</li> <li>• Smaller windows on upper floors.</li> <li>• Classical door surrounds.</li> </ul>	<ul style="list-style-type: none"> <li>• Full-length first-story windows with arches above.</li> <li>• Palladian window arrangements.</li> <li>• Precast concrete door and window surrounds.</li> <li>• Pedimented door surround with columns.</li> <li>• Arched entry door.</li> <li>• Pedimented windows.</li> </ul>
Details	<ul style="list-style-type: none"> <li>• Belt-course to accent second floor plate or window sills.</li> </ul>	<ul style="list-style-type: none"> <li>• Roof-line balustrades.</li> <li>• Molded cornices.</li> <li>• Bracketed window cornices.</li> <li>• Molded precast concrete belt-course to accent second floor plate or window sills.</li> <li>• Shutters (louvered).</li> </ul>

1. An additional 2 enhancements required on visible lots shown on Figure 4.1 for a total of 5 Enhanced Elements.
2. An additional 3 enhancements required on corner visible lots shown on Figure 4.1 for a total of 6 Enhanced Elements.



## 4.5 ACTIVE ADULT

Russell Ranch will feature an active adult neighborhood within the community for residents seeking a living experience designed specifically for residents 55 and better. The active adult neighborhood will feature a private, gated entrance, its own private clubhouse amenity and will share access to the Russell Ranch trail system.

The Active Adult neighborhood will comply with the SFHD guidelines set forth in the Architecture section of this document.

## 4.6 THE TOWNHOMES

The Townhomes provide an opportunity to create an eclectic urban micro-neighborhood environment within Russell Ranch and there are certain defining elements that the Townhomes must exhibit. When designing townhomes, which are typically distinguished as being narrow in nature, the quantity, scale, and placement of architectural detail must be judicious to not overwhelm the scale of the building.

- The architectural style must be selected from the permitted architectural styles described in this chapter.
- To avoid dominant unbroken planes and create shadow lines, The Townhomes must provide vertical articulation at the front elevation.
- Varied setbacks for different portions of the home, such as garages, second floors, balconies, etc., are encouraged.
- Massing of forms must be established using the fundamental characteristics of the selected architectural style.

- Contemporary interpretations of the architectural styles permitted for The Townhomes are encouraged through the use of eclectic materials, such as metals (must be anti-reflective) and variations on traditional siding, asymmetrical roof pitches, and playful massing and use of color.



*Townhome Concept Imagery*

## 4.7 THE RECREATION CENTER

Russell Ranch will feature two recreation centers: one for the multigenerational portion of the neighborhood and one for the active adult portion of the neighborhood. The recreation centers will provide an opportunity for residents of the neighborhood to gather and enjoy a beautiful indoor-outdoor environment. The Recreation Centers will feature architecture that blends historic with contemporary to create a truly iconic neighborhood building that residents and visitors alike will admire. The design intent is to convey the impression of an historic structure with a contemporary addition.

The following defining characteristics are intended as a kit of parts and set of rules to influence the design of the Recreation Centers. A combination of these elements should be used to inform the design of the building (all of the elements are not required).

- Casual, asymmetrical form with a combination of gable and shed roof forms.



- Overgrouted stone as a significant wall material, utilized to present full massing elements. For example, an entire central mass of the structure may feature stone, with wings of a complementary material, such as stucco. This design solution gives the appearance of an original structure with wings added on over time.
- A clerestory roof form in the central portion of the structure is appropriate.
- Wall materials may be overgrouted stone or brick, smooth or imperfect smooth stucco or plaster, and glass.
- Accent materials include heavy beams, rusted metal, wrought iron, copper, and precast concrete.
- The primary roof should be barrel or S-tile, which may be boosted.
- The contemporary portion of the building may feature a metal standing seam roof.
- Rain chains should be used in place of traditional downspouts.
- Windows may be recessed and void of trim, or feature full window surrounds, which may be precast concrete or wood.
- Arched windows are appropriate as feature or accent windows.
- Exposed beams and structural connections should be celebrated as part of the design statement.
- Site structures, such as restrooms, cabanas, pool equipment rooms, and trash enclosures must complement the design of the primary structure.

- Mechanical and pool equipment must be screened from sight through integrated walls, landscaping, or a combination of both.



**Recreation Center Concept Imagery**



## 4.8 THE SCHOOL

Although it is recognized that school architecture is governed by functionality and a specialized kit of parts and set of rules, the elementary school located at Russell Ranch is encouraged to complement the surrounding neighborhood in its design. The following recommendations are encouraged for consideration in design of the school:

- The school is encouraged to draw inspiration from the approved architectural styles found in these Guidelines.
- A simplified interpretation of the selected architectural style is appropriate.
- Earth tone colors are encouraged in rich hues.
- Recommended wall materials include stucco, brick, horizontal siding, and board and batten siding.
- Standing seam metal is the recommended material for the roof in dark earth tone colors.



*School Concept Imagery*

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# CHAPTER 5: BROADSTONE ESTATES

## 5.1 INTRODUCTION

Broadstone Estates at Russell Ranch (Broadstone Estates) is located within the Folsom Area Specific Plan adjacent to the northwestern corner of Russell Ranch, along US Highway 50.

Broadstone Estates will be a village within Russell Ranch and will comply with the guidelines established in chapters 1-4 of this document except where articulated in this Chapter.

The FPASP zoning for the approximately ±37.2 acre site is SP-SF-PD and SP-OS2-PD.



Figure 1: Vicinity Map

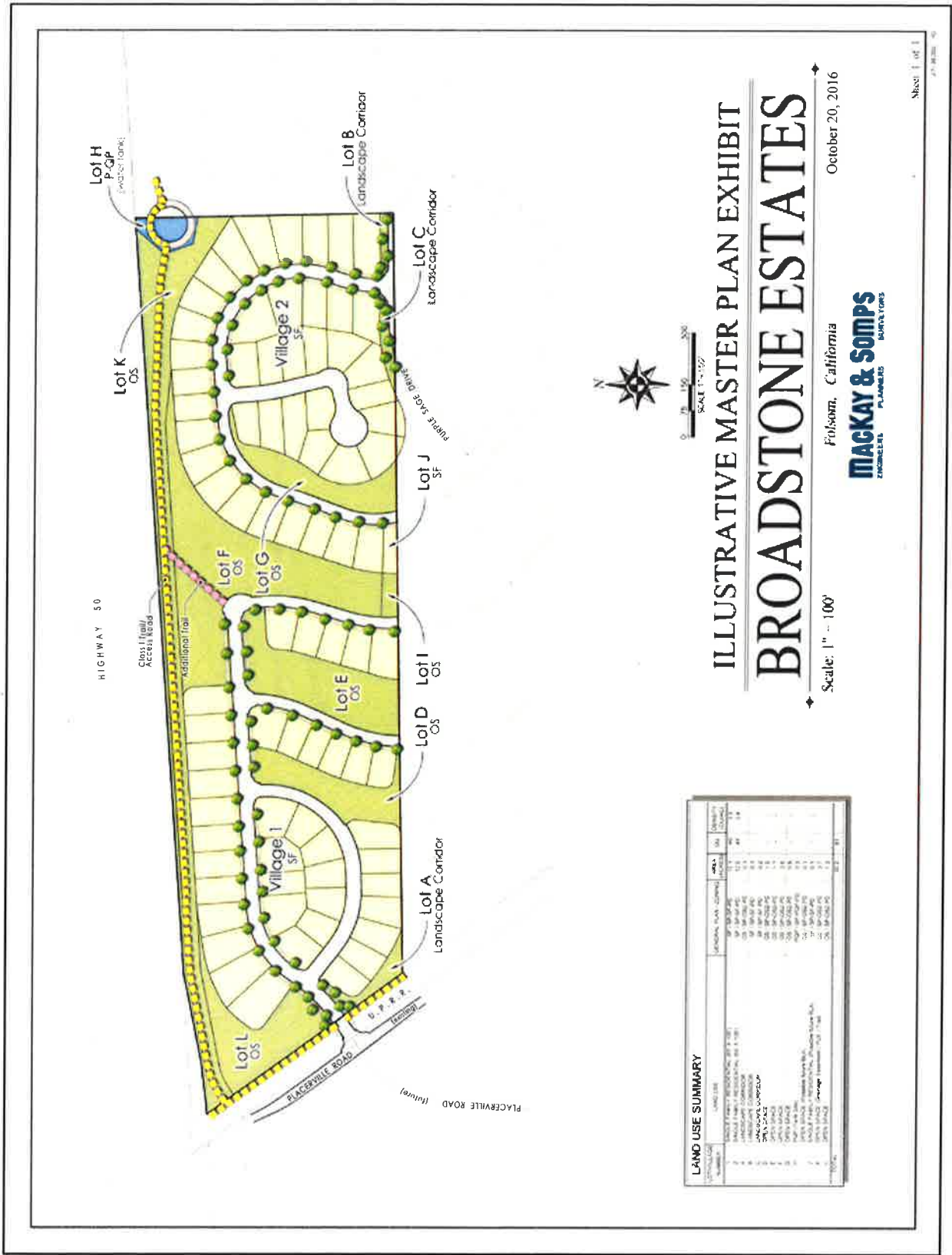


Figure 2: Illustrative Site Plan Exhibit

## 5.2 ARCHITECTURE

### 5.2.1 INTRODUCTION

Section 5.2 defines the design principles and development standards that apply to all residential development within Broadstone Estates. These guidelines and standards articulate the lot characteristics, setbacks, garage type and orientation.

Broadstone Estates will comply with the aforementioned guidelines for neighborhoods within the FPASP and Russell Ranch with the exception of garage configurations, which will be discussed in section 5.2.2.

### 5.2.2 Garages

Three car front loaded garages are permitted within Broadstone Estates and are encouraged to be recessed from the adjacent building face where feasible.



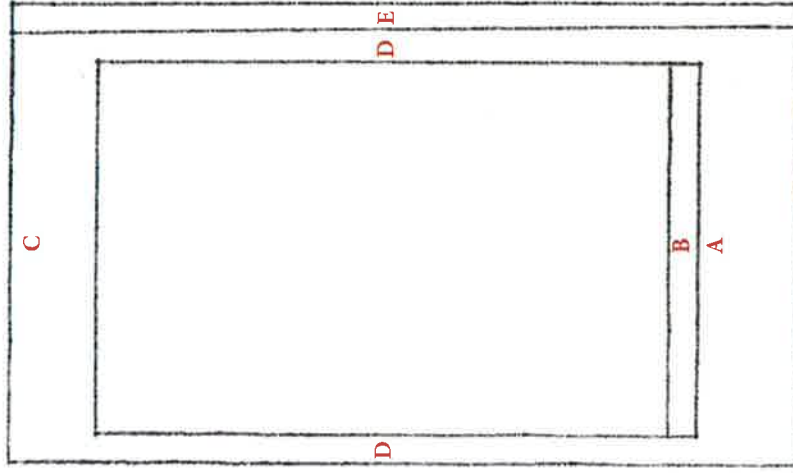
## 5.3 DEVELOPMENT STANDARDS

60' X 105' LOTS



DESCRIPTION:	SFD traditional lot	CATEGORY:	SF
Minimum lot area:	6,300 Square Feet	<b>A. Minimum front setback to living space or covered outdoor space:</b>	24.5'
Minimum lot width:	60'	<b>B. Minimum garage setback:<sup>2</sup></b>	23'
Minimum lot depth:	105'	<b>C. Minimum rear setback:<sup>2</sup></b>	15'
Maximum lot coverage: <sup>1</sup>	50%	<b>D. Minimum interior side setback:<sup>2</sup></b>	5'
Maximum height (single story / 2-story):	28' / 35'	<b>E. Minimum street side setback:<sup>3</sup></b>	10'

65' X 105' LOTS



DESCRIPTION:	SFD traditional lot	CATEGORY:	SF
Minimum lot area:	6,825 Square Feet	<b>A. Minimum front setback to living space or covered outdoor space:</b>	24.5'
Minimum lot width:	65'	<b>B. Minimum garage setback: <sup>2</sup></b>	23'
Minimum lot depth:	105'	<b>C. Minimum rear setback: <sup>2</sup></b>	15'
Maximum lot coverage: <sup>1</sup>	50%	<b>D. Minimum interior side setback: <sup>2</sup></b>	5'
Maximum height (single story / 2-story):	28' / 35'	<b>E. Minimum street side setback: <sup>3</sup></b>	10'

### 5.3.1 Development Standards Footnotes

1. A 10% lot coverage bonus for 3-sided outdoor covered unconditioned spaces (except with fire-place option , then 2-sided permitted) and/or guest house/pool house/casita (i.e., detached habitable structure with only sleeping, living and bathroom) shall be granted. In no case shall the total lot coverage exceed 60%.
2. Accessory structures shall be consistent with the FPASP standards of 5' side yard (interior lot lines) and 5' rear yard setbacks.
3. Street side setback shall be 5' when adjacent to an open space lot 5' or greater in width.



APPENDICES A, B & C

APPENDICES

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# APPENDIX A: RIPARIAN PLANT COMMUNITY

Common Name	Botanical Name	Trees	Vernal Restoration	Native Grassland	Adaptive Grasslands	Adaptive Shrubs	Shrubs	Ground Cover
<b>Open Space Preservation Landscape</b>								
Siouxland Cottonwood	Populus deltoides 'Siouxland'	o						
California Sycamore	Platanus racemosa	o						
Arroyo Willow	Salix lasiolepis	o						
White Alder	Alnus rhombifolia	o						
Fremont's goldfields	Lasthenia fremontii		o					
Toad rush	Juncus bufonis		o					
Coyote thistle	Eryngium castrense		o					
Dwarf calicoflower	Downingia spp		o					
Tidy-tips	Layia fremontii			o				
California Goldfields	Lasthenia californica			o				
Miniature lupine	Lupinus bicolor			o				
Sky lupine	Lupinus nanus			o				
Brodiaea species	Brodiaea spp.			o				
Blue dicks	Dichelostemma capitatum			o				
White Brodiaea	Triteleia hyacinthina			o				
Ithuriel's spear	Triteleia laxa			o				
Little-head clover	Trifolium microcephalum			o				
Various species of tarweed	Hemizonia fitchii, Madia elegans, Holocarpha virgata			o				
Vinegar weed	Trichostema lanceolatum			o				



Common Name	Botanical Name	Trees	Vernal Restoration	Native Grassland	Adaptive Grasslands	Adaptive Shrubs	Shrubs	Ground Cover
Baltic rush	<i>Juncus balticus</i>			o				
Iris-leaved rush	<i>Juncus xiphioides</i>			o				
Common spikerush	<i>Eleocharis macrostachya</i>		o					
White hedge-nettle	<i>Stachys albens</i>		o					
Rice cutgrass	<i>Leersia oryzoides</i>		o					
Dense-flowered willowherb	<i>Epilobium densiflorum</i>		o					
California rose	<i>Rosa californica</i>		o					
<b>Open Space Transition Landscape</b>								
Interior Live Oak	<i>Quercus wislizenii</i>	o						
Siouxland Cottonwood	<i>Populus deltoides</i> 'Siouxland'	o						
California Sycamore	<i>Platanus racemosa</i>	o						
California Buckeye	<i>Aesculus californica</i>	o						
Valley Oak	<i>Q. lobata</i>	o						
Arroyo Willow	<i>Salix lasiolepis</i>	o						
White Alder	<i>Alnus rhombifolia</i>	o						
California Fescue	<i>Festuca californica</i>				o			
Idaho fescue	<i>Festuca idahoensis</i>				o			
Flannel Bush	<i>Fremontodendron californicum</i>							
Purple needlegrass	<i>Nassella pulchra</i>				o			
California rush	<i>Festuca californica</i>				o			
Yarrow	<i>Achillea millefolium</i>				o			
California Poppy	<i>Eschscholzia californica</i>				o			
Deer Grass	<i>Muhlenbergia rigens</i>				o			
Blue-eyed grass	<i>Sisyrinchium bellum</i>				o			



# APPENDIX A: RIPARIAN PLANT COMMUNITY

Common Name	Botanical Name	Trees	Vernal Restoration	Native Grassland	Adaptive Grasslands	Adaptive Shrubs	Shrubs	Ground Cover
Blue Fescue	Festuca Glauca				o			
Blue-eyed Grass	Sisyrinchium bellum				o			
San Diego Sedge	Carex spissa					o		
Ceanothus 'Yankee Point'	Ceanothus					o		
Dwarf Coyote Brush	Baccharis pilularis 'Pigeon Point'					o		
Texas Sage	Leucophyllum frutescens					o		
<b>Community Interface Landscape</b>								
Coast live oak	Quercus agrifolia	o						
California Sycamore	Platanus racemosa	o						
California Laurel	Umbellularia California	o						
Valley Oak	Q. lobata	o						
Interior Live Oak	Q. wislizenii	o						
Sweet Bay	Laurus nobilis 'Saratoga'	o						
Siouxland Cottonwood	Populus deltoides 'Siouxland'	o						
Coyote brush	Baccharis pilularis						o	
Cleveland sage	Salvia clevelandii 'Winifred Gillman'						o	
Manzanita	Arctostaphylos						o	
Mexican Blue Sage	Salvia chamaedryoides						o	
Ceanothus 'Yankee Point'	Ceanothus							o
Dwarf Coyote Brush	Baccharis pilularis 'Pigeon Point'						o	

Common Name	Botanical Name	Trees	Vernal Restoration	Native Grassland	Adaptive Grasslands	Adaptive Shrubs	Shrubs	Ground Cover
Texas Sage	Leucophyllum frutescens						o	
<b>Slope Landscape</b>								
Coast live oak	Quercus agrifolia	o						
California Sycamore	Platanus racemosa	o						
California Laurel	Umbellularia California	o						
Toyon	Heteromeles arbutifolia	o						
Arbutus Marina	NCN	o						
Wilson Holly	Ilex x Altaclerensis 'Wilsonii'	o						
Sweet Bay	Laurus Nobilis 'Saratoga'	o						
Siouxland Cottonwood	Populus deltoides 'Siouxland'	o						
Ceanothus 'Yankee Point'	Ceanothus						o	
Dwarf Coyote Brush	Baccharis pilularis 'Pigeon Point'						o	
Coyote brush	Baccharis pilularis						o	
Cleveland sage	Salvia clevelandii 'Winifred Gillman'						o	
Manzanita	Arctostaphylos						o	
Mexican Blue Sage	Salvia chamaedryoides						o	
Arctostaphylos species							o	
Mugwort	Artemisia douglasiana						o	
Artemisia species							o	
Ceanothus Species							o	
White Rockrose	Cistus hybridus						o	
Orchid Rockrose	Cistus purpurea						o	





# APPENDIX A: RIPARIAN PLANT COMMUNITY

Common Name	Botanical Name	Trees	Vernal Restoration	Native Grassland	Adaptive Grasslands	Adaptive Shrubs	Shrubs	Ground Cover
Sageleaf Rockrose	Cistus salvifolius						o	
Rockspray	Cotoneaster						o	
Cotoneaster	microphyllus						o	
Mirror Plan	Cotoneaster repens						o	
Cotoneaster	Cotoneaster lacetur						o	
Silverberry	Elaeagnus pungens						o	
Buckwheat	Eriogonum arborescens						o	
Toyon	Heteromeles arbutifolia						o	
Scarlet Monkeyflower	Mimulus cardinalis						o	
Japanese silver Grass	Miscanthussinensis						o	
Carolina Laurel Cherry	Prunus lyonii						o	
Coffeeferry	Rhamnus californica						o	
California White Sage	Salvia apiana						o	
Autumn Sage	Salvia greggii/salvia x jamensis						o	
Mint Bush Sage	Salvia microphylla						o	
Mexican Elderberry	Sambucus mexicana						o	
<b>Local Streetscape</b>								
Birch	Betula pendula	o						
Oriental Plane	Platanus orientalis 'Digitata'	o						
Chinese Pistash	Pistacia chinensis 'Red Push'	o						
Chinese Elm	Ulmus parvifolia 'Athena', 'Allee'	o						
Chinese Elm	Ulmus wilsoniana 'Frontier'	o						

Common Name	Botanical Name	Trees	Vernal Restoration	Native Grassland	Adaptive Grasslands	Adaptive Shrubs	Shrubs	Ground Cover
Chinese Elm	<i>Ulmus wilsoniana</i> 'Patriot'	o						
Chinese Elm	<i>Ulmus wilsoniana</i> 'Emerald Sunshine'	o						
Chinese Elm	<i>Ulmus wilsoniana</i> 'Prospector'	o						
Yarrow	<i>Achillea millefolium</i>							o
Dwarf Coyote Brush	<i>Baccharis pilularis</i> 'Pigeon Point'							o
Wayne Roderick Seaside Daisy	<i>Erigeron</i> 'Wayne Roderick'							o
Arron's Beard	<i>Hypericum calycinum</i>							o
Gold Flower	<i>Hypericum moserianum</i>							o
Silver Carpet California-Aster	<i>Californica</i> 'Silver Carpet'							o
Dwarf Rosemary	<i>Rosmarinus o.</i> <i>Prostratus</i>							o

# APPENDIX B: OAK WOODLAND PLANT COMMUNITY

Common Name	Botanical Name	Trees	Vernal Restoration	Native Grassland	Adaptive Grasslands	Adaptive Shrubs	Shrubs	Ground Cover
<b>Open Space Transition Landscape</b>								
Blue Oak	Quercus douglasii	o						
Interior live oak	Quercus wislizenii	o						
Coast live oak	Quercus agrifolia	o						
California Laurel	Umbellularia californica	o						
Toyon	Heteromeles arbutifolia	o						
Sweet Bay	Laurus Nobilis 'Saratoga'	o						
Western Redbud	Cercis occidentalis	o						
California Buckeye	Aesculus californica	o						
Fremont Cottonwood	Populus fremontii	o						
Toyon	Heteromeles arbutifolia	o						
Coffeeberry	Rhamnus californica						o	
Tidy-tips	Layia fremontii			o				
California Goldfields	Lasthenia californica			o				
Miniature lupine	Lupinus bicolor			o				
Sky lupine	Lupinus nanus			o				
Brodiaea species	Brodiaea spp.			o				
Blue dicks	Dichelostemma capitatum			o				
White Brodiaea	Triteleia hyacinthina			o				
Ithuriel's spear	Triteleia laxa			o				
Various species of tarweed	Hemizonia fitchii, Madia elegans, Holocarpha			o				
Vinegar weed	Trichostema lanceolatum			o				



Common Name	Botanical Name	Trees	Vernal Restoration	Native Grassland	Adaptive Grasslands	Adaptive Shrubs	Shrubs	Ground Cover
Purple needle grass	<i>Nassella pulchra</i>			o				
Dogtail grass	<i>Cynosurus echinatus</i>				o			
Blue wildrye	<i>Elymus glaucus</i>				o			
Douglas Iris	<i>Iris douglasiana</i>				o			
Sedge	<i>Carex species</i>				o			
Blue Wild Rye	<i>Elymus glaucus</i> 'Anderson'				o			
Fescue	<i>Festuca species</i>				o			
Meadow Barley	<i>Hordeum brachyantherum</i>				o			
Pacific Rush	<i>Juncus effuses</i>				o			
Rice Cutgrass	<i>Leersia oryzoides</i>				o			
Canyon prince Wild Rye	<i>Leymus condensatus</i>				o			
Creeping Wild Rye	<i>Leymus triticoides</i> 'Grey Dawn'				o			
Eualia Grass	<i>Miscanthus</i>				o			
Mexican Deergass	<i>Muhlenbergia dubia</i>				o			
Deer Grass	<i>Muhlenbergia rigens</i>				o			
Japanese silver Grass	<i>Miscanthussinensis</i>				o			
Cleveland sage	<i>Salvia clevelandii</i> 'Winifred Gillman'						o	
Manzanita	<i>Arctostaphylos</i>						o	
Mexican Blue Sage	<i>Salvia chamaedryoides</i>						o	
Ceanothus	<i>Ceanothus</i> 'Yankee Point'						o	
Dwarf Coyote Brush	<i>Baccharis pilularis</i> 'Pigeon Point'						o	
Arctostaphylos	<i>Arctostaphylos species</i>						o	

Common Name	Botanical Name	Trees	Vernal Restoration	Native Grassland	Adaptive Grasslands	Adaptive Shrubs	Shrubs	Ground Cover
Ceanothus	Ceanothus Species						o	
Scarlet Monkeyflower	Mimulus cardinalis						o	
Coffeeberry	Rhamnus californica						o	
<b>Community Interface / Slope Landscape</b>								
Toyon	Heteromeles arbutifolia	o						
Arbutus u. "Marina"	Strawberry Tree 'Marina'	o						
Honeyleaf Cherry	Prunus ilicifolia	o						
Holly Oak	Quercus ilex	o						
English Oak	Quercus robur	o						
Valley Oak	Quercus lobata							
Blue Oak	Quercus douglasii	o						
Interior live oak	Quercus wislizeni	o						
Afghan Pine	Pinus elderica	o						
California Laurel	Umbellularia californica	o						
Toyon	Heteromeles arbutifolia	o						
Sweet Bay	Laurus Nobilis 'Saratoga'	o						
Siouxland Cottonwood	Populus deltoides 'Siouxland'	o						
Coffeeberry	Rhamnus californica						o	
Manzanita	Arctostaphylos species						o	
Mugwort	Artemisia douglasiana						o	
Sage	Artemisia species						o	
Japanese Barberry	Berberis thunbergii						o	
Butterfly Bush	Buddleia davidii						o	
Dwarf Bottlebush	Callistemon c. 'Little John'						o	
Ceanothus	Ceanothus Species						o	
White Rockrose	Cistus hybridus						o	



Common Name	Botanical Name	Trees	Vernal Restoration	Native Grassland	Adaptive Grasslands	Adaptive Shrubs	Shrubs	Ground Cover
Orchid Rockrose	<i>Cistus purpurea</i>						o	
Sageleaf Rockrose	<i>Cistus salvifolius</i>						o	
Rockspray	<i>Cotoneaster microphyllus</i>						o	
Cotoneaster	<i>Cotoneaster repens</i>						o	
Mirror Plant	<i>Elaeagnus pungens</i>						o	
Silverberry							o	
Euonymus							o	
Toyon	<i>Heteromeles arbutifolia</i>						o	
Texas Ranger	<i>Leucophyllum frutescens</i>						o	
Scarlet Monkeyflower	<i>Mimimulus cardinalis</i>						o	
Carolina Laurel Cherry	<i>Prunus lyonii</i>						o	
India Hawthorn	<i>Raphiolepis indica</i>						o	
Coffeeberry	<i>Rhamnus californica</i>						o	
California wild Rose	<i>Rosa California</i>						o	
Rose	<i>Rosa 'Iceberg'</i>						o	
Clustered Wild Rose	<i>Rosa pisocarpa</i>						o	
Butterfly Rose	<i>Rosa x odoratus 'Mutabilis'</i>						o	
California White Sage	<i>Salvia apiana</i>						o	
Autumn Sage	<i>Salvia greggii/salvia x jamensis</i>						o	
Mint Bush Sage	<i>Salvia microphylla</i>						o	
Mexican Elderberry	<i>Sambucus mexicana</i>						o	
Laurustinus							o	
Shiny Xylosma 'compacta'	<i>Xylosma congestum</i>						o	





Common Name	Botanical Name	Trees	Vernal Restoration	Native Grassland	Adaptive Grasslands	Adaptive Shrubs	Shrubs	Ground Cover
<b>Local Streetscape</b>								
Strawberry Tree "Marina"	Arbutus u. "Marina"	o						
Holly Oak	Quercus ilex	o						
California Laurel	Umbellularia Californica	o						
Wilson Holly	Ilex x Altacrerensis 'Wilsonii'	o						
Sweet Bay	Laurus Nobilis 'Saratoga'	o						
Fern Pine	Podocarpus Gracilior	o						
Honeyleaf Cherry	Prunus ilicifolia	o						
Chinese Holly	Ilex Cornuta	o						
Yarrow	Achillea millefolium							o
Cape weed	Archotheca calendula							o
Dwarf Coyote Brush	Baccharis pilularis 'Pigeon Point'							o
Snow-in Summer	Cerastium tomentosum							o
Bearberry Cotoneaster	Cotoneaster dammeri							o
Wayne Roderick Seaside Daisy	Erigeron 'Wayne Roderick'							o
Arron's Beard	Hypericum calycinum							o
Gold Flower	Hypericum moseranum							o
California 'Silver Carpet'	Silver Carpet California-Aster							o
Myoporium	Myoporium parvifolium							o
Dwarf Rosemary	Rosmarinus o. Prostratus							o
Blue-eyed Grass	Sisyrinchium bellum							o

Common Name	Botanical Name	Trees	Vernal Restoration	Native Grassland	Adaptive Grasslands	Adaptive Shrubs	Shrubs	Ground Cover
<b>Local Streetscape</b>								
Asain jasmine	Trachelospermum asiaticum							o
Star Jasmine	Trachelospermum jasminoides							o



# APPENDIX C: OAK SAVANNAH PLANT COMMUNITY



APPENDIX C: OAK SAVANNAH PLANT COMMUNITY

Common Name	Botanical Name	Trees	Vernal Restoration	Native Grassland	Adaptive Grasslands	Adaptive Shrubs	Shrubs	Ground Cover
<b>Open Space Transition Landscape</b>								
Honeyleaf Cherry	Prunus ilicifolia	o						
Holly Oak	Quercus ilex	o						
English Oak	Quercus robur	o						
Cork Oak	Quercus suber	o						
Southern Live Oak	Quercus virginiana	o						
Interior Live Oak	Quercus wislizenii	o						
Blue Oak	Quercus douglasii	o						
Coast live oak	Quercus agrifolia	o						
California Pepper Tree	Schinus molle	o						
California Laurel	Umbellularia California	o						
Toyon	Heteromeles arbutifolia	o						
California Laurel	Umbellularia California	o						
Sweet Bay	Laurus Nobilis 'Saratoga'	o						
Coffeeberry	Rhamnus californica						o	
Tidy-tips	Layia fremontii			o				
California Goldfields	Lasthenia californica			o				
Miniature lupine	Lupinus bicolor			o				
Sky lupine	Lupinus nanus			o				
Brodiaea species	Brodiaea spp.			o				
Blue dicks	Dichelostemma capitatum			o				
White Brodiaea	Triteleia hyacinthina			o				
Ithuriel's spear	Triteleia laxa			o				
Little-head clover	Trifolium microcephalum			o				



Common Name	Botanical Name	Trees	Vernal Restoration	Native Grassland	Adaptive Grasslands	Adaptive Shrubs	Shrubs	Ground Cover
Blue grama grass	<i>Bouteloua gracilis</i>				o			
Douglas Iris	<i>Iris douglasiana</i>				o			
Siskiyou blue fescue	<i>Festuca idahoensis</i> 'Siskiyou Blue'				o			
Giant Rye Grass	<i>Leymus condensatus</i> 'Canyon Prince'				o			
Blue Grama Grass	<i>Bouteloua gracilis</i>				o			
Sedge	<i>Carex species</i>				o			
Blue Wild Rye	<i>Elymus glaucus</i> 'Anderson'				o			
Fescue	<i>Festuca species</i>				o			
Meadow Barley	<i>Hordeum brachyantherum</i>				o			
Pacific Rush	<i>Juncus effuses</i>				o			
Rice Cutgrass	<i>Leersia oryzoides</i>							
Canyon prince Wild Rye	<i>Leymus condensatus</i>				o			
Creeping Wild Rye	<i>Leymus triticoides</i> 'Grey Dawn'				o			
Eualia Grass	<i>Miscanthus</i>				o			
Mexican Deergress	<i>Muhlenbergia dubia</i>				o			
Deer Grass	<i>Muhlenbergia rigens</i>				o			
<b>Community Interface / Slope Landscape</b>								
Toyon	<i>Heteromeles arbutifolia</i>	o						
Arbutus u. "Marina"	Strawberry Tree 'Marina'	o						
Honeyleaf Cherry	<i>Prunus ilicifolia</i>	o						
Holly Oak	<i>Quercus ilex</i>	o						
English Oak	<i>Quercus robur</i>	o						

Common Name	Botanical Name	Trees	Vernal Restoration	Native Grassland	Adoptive Grasslands	Adoptive Shrubs	Shrubs	Ground Cover
Cork Oak	<i>Quercus suber</i>	o						
Blue Oak	<i>Quercus douglasii</i>	o						
Valley Oak	<i>Quercus lobata</i>							
Interior live oak	<i>Quercus wislizeni</i>	o						
California Pepper Tree	<i>Schinus molle</i>	o						
California Laurel	<i>Umbellularia California</i>	o						
Toyon	<i>Heteromeles arbutifolia</i>	o						
California Laurel	<i>Umbellularia California</i>	o						
Sweet Bay	<i>Laurus Nobilis 'Saratoga'</i>	o						
Coffeeberry	<i>Rhamnus californica</i>						o	
Manzanita	<i>Arctostaphylos species</i>						o	
Mugwort	<i>Artemisia douglasiana</i>						o	
Sage	<i>Artemisia species</i>						o	
Japanese Barberry	<i>Berberis thunbergii</i>						o	
Butterfly Bush	<i>Buddleia davidii</i>						o	
Dwarf Bottlebush	<i>Callistemon c. "Little John"</i>						o	
Ceanothus	<i>Ceanothus Species</i>						o	
White Rockrose	<i>Cistus hybridus</i>						o	
Orchid Rockrose	<i>Cistus purpurea</i>						o	
Sageleaf Rockrose	<i>Cistus salvifolius</i>						o	
Rockspray	<i>Cotoneaster microphyllus</i>						o	
Cotoneaster	<i>Cotoneaster repens</i>						o	
Mirror Plan	<i>Cotoneaster parneyi</i>						o	
Cotoneaster	<i>Elaeagnus pungens</i>						o	
Silverberry	<i>Heteromeles arbutifolia</i>						o	
Euonymus							o	
Toyon	<i>Heteromeles arbutifolia</i>						o	



Common Name	Botanical Name	Trees	Vernal Restoration	Native Grassland	Adaptive Grasslands	Adaptive Shrubs	Shrubs	Ground Cover
Cenizo, Texas Ranger	Leucophyllum frutescens						o	
Scarlet Monkeyflower	Mimulus cardinalis						o	
Japanese silver Grass	Miscanthus sinensis						o	
India hawthorn	Raphiolepis indica						o	
Coffeeberry	Rhamnus californica						o	
California wild Rose	Rosa California						o	
Rose	Rosa 'Iceberg'						o	
Clustered Wild Rose	Rosa pisocarpa						o	
Butterfly Rose	Rosa x odoratus 'Mutabilis'						o	
California White Sage	Salvia apiana						o	
Autumn Sage	Salvia greggii/salvia x jamensis						o	
Mint Bush Sage	Salvia microphylla						o	
Mexican Elderberry	Sambucus mexicana						o	
Laurustinus							o	
Shiny Xylosma 'compacta'	Xylosma congestum						o	
<b>Local Streetscape</b>								
Strawberry Tree "Marina"	Arbutus u. "Marina"	o						
Southern Live Oak	Quercus virginiana	o						
Holly Oak	Quercus ilex	o						
California Laurel	Umbellularia californica	o						
Wilson Holly	Ilex x Altaclerensis 'Wilsonii'	o						
Sweet Bay	Laurus nobilis 'Saratoga'	o						
Fern Pine	Podocarpus gracilior	o						



Common Name	Botanical Name	Trees	Vernal Restoration	Native Grassland	Adaptive Grasslands	Adaptive Shrubs	Shrubs	Ground Cover
Chinese Holly	<i>Ilex cornuta</i>	o						
Yarrow	<i>Achillea millefolium</i>							o
Cape weed	<i>Archotheca calendula</i>							o
Dwarf Coyote Brush	<i>Baccharis pilularis</i> "Pigeon Point"							o
Snow-in Summer	<i>Cerastium tomentosum</i>							o
Bearberry	<i>Cotoneaster dammeri</i>							o
Cotoneaster								
Wayne Roderick Seaside Daisy	<i>Erigeron 'Wayne Roderick'</i>							o
Arron's Beard	<i>Hypericum calycinum</i>							o
Gold Flower	<i>Hypericum moserianum</i>							o
California 'Silver Carpet'	<i>Silver Carpet California-Aster</i>							o
Myoporum	<i>Myoporum parvifolium</i>							o
Dwarf Rosemary	<i>Rosmarinus o. Prostratus</i>							o
Blue-eyed Grass	<i>Sisyrinchium bellum</i>							o
Asain jasmine	<i>Trachelospermum asiaticum</i>							o
Star Jasmine	<i>Trachelospermum jasminoides</i>							o

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**PLANNING COMMISSION STAFF REPORT**

<b>PROJECT TITLE</b>	Iron Horse Tavern Commercial Design Review
<b>PROPOSAL</b>	Request for Commercial Design Review approval for development of a 6,171-square-foot, single-story restaurant pad building (Building 100) on an undeveloped .26-acre parcel within the Palladio at Broadstone Shopping Center
<b>RECOMMENDED ACTION</b>	Approve, based upon findings and subject to conditions
<b>OWNER/APPLICANT</b>	Broadstone Land, LLC/HMR Architects
<b>LOCATION</b>	100 Palladio Parkway (Palladio at Broadstone Shopping Center)
<b>SITE CHARACTERISTICS</b>	The .26-acre project site has previously been rough graded and is partially improved with frontage improvements including curbs, gutters, sidewalks, landscaping, and site lighting. The areas surrounding the project site are developed with site improvements intended to serve the project site including driveways, drive aisles, parking spaces, sidewalks, site lighting, site landscaping, and signage
<b>GENERAL PLAN DESIGNATION</b>	RCC (Regional Commercial Center)
<b>ZONING</b>	C-3 PD (General Commercial, Planned Development District)
<b>ADJACENT LAND USES/ZONING</b>	North: Commercial Development (C-3 PD) with Broadstone Parkway Beyond  South: Commercial Development (C-3 PD) with Iron Point Road Beyond



East: East Bidwell Street with Undeveloped Commercial Property (SP 95-1/C-2 PD) Beyond

West: Commercial Development (C-3 PD) with Palladio Parkway Beyond

**PREVIOUS ACTION**

Planning Commission approval of a Planned Development Permit and Conditional Use Permit in 2004 (PN 04-260) for Palladio at Broadstone

Planning Commission approval of a Tentative Parcel Map and Planned Development Permit Modification in 2007 (PN 06-498) for Palladio at Broadstone

Planning Commission approval of a Planned Development Permit Modification in 2007 (PN 07-136) for Palladio at Broadstone

Architectural Review Commission approval of multiple Design Review Applications in 2007 (PN 07-467 to 07-469)

Planning Commission approval of a Design Review Application (PN 16-271) for Lazy Dog Restaurant in 2016

Planning Commission approval of a Design Review Application (PN 18-314) for Building 2100 on October 17, 2018

**FUTURE ACTION**

Approval of a Lot-Line Adjustment and Issuance of a Building Permit

**APPLICABLE CODES**

FMC 17.06, Design Review  
FMC 17.22, Commercial Land Use Zones  
FMC 17.38, Planned Development District  
Palladio at Broadstone Design Guidelines

**ENVIRONMENTAL REVIEW**

The project is categorically exempt under Section 15303 New Construction or Conversion of Small Structures of the California Environmental Quality Act (CEQA) Guidelines

## **ATTACHED REFERENCE MATERIAL**

1. Vicinity Map
2. Overall Site Plan for Palladio at Broadstone, dated April 26, 2018
3. Preliminary Site Plan, dated October 8, 2018
4. Preliminary Landscape Plan, dated October 8, 2018
5. Building Elevations, dated October 8, 2018
6. Preliminary Floor Plan, dated October 8, 2018
7. Preliminary Signage Details, dated October 18, 2018
8. Site Photographs

## **PROJECT PLANNER**

Steve Banks, Principal Planner

## **BACKGROUND**

On December 15, 2004, the Planning Commission approved a Planned Development Permit and Conditional Use Permit for development of the 930,000-square-foot Palladio at Broadstone Shopping Center and the Kaiser Permanente Medical Center. On February 7, 2007, the Planning Commission approved a Tentative Parcel Map and Planned Development Permit Modification for Palladio at Broadstone, which included minor modifications to the previously approved site plan and building elevations. In 2007, the Architectural Review Commission approved multiple Commercial Design Review Applications for Palladio at Broadstone including a movie theater (Palladio 16 Cinemas), a bookstore (former Sports Authority building), a supermarket (Whole Foods), and a number of inline tenant buildings.

On October 5, 2016, the Planning Commission approved a Commercial Design Review Application for development of the Lazy Dog Restaurant within Palladio at Broadstone. Subsequently, the Lazy Dog Restaurant was developed and began operating on September 13, 2017. On October 17, 2018, the Planning Commission approved a Commercial Design Review Application for development of a 6,282-square-foot retail pad building (Building 2100) within Palladio at Broadstone. Construction of Building 2100 began in late November. The subject .26-acre parcel, which is the last remaining property to be developed within Palladio at Broadstone, was originally anticipated to be developed with a 6,000-square-foot freestanding commercial pad building.

On November 19, 2018, Broadstone Land, LLC (property owner) submitted a Lot-Line Adjustment application to the City requesting that the northern property line of the subject parcel be extended approximately 20 feet further to the north in order to accommodate development of the proposed Iron Horse Tavern restaurant pad building on the project site. The aforementioned Lot-Line Adjustment application, which is currently under review by City staff, is not expected to be approved by the City and recorded with Sacramento County until mid to late January.

## **APPLICANT'S PROPOSAL**

The applicant, HMR Architects, is requesting Commercial Design Review approval for development of a 6,171-square-foot, single-story restaurant pad building (Iron Horse Tavern) on an undeveloped .26-acre parcel within the Palladio at Broadstone Shopping Center located at 100 Palladio Parkway. The proposed project also includes development of a 1,165-square-foot covered outdoor patio adjacent to the restaurant building on the north side of the project site. The design of the proposed commercial building reflects an Italianate style of architecture with many high-quality elements that are typical of this style of architecture and found throughout Palladio at Broadstone. Proposed building materials include stucco walls, stucco cornices, concrete wall panels, wood

siding, steel columns, steel shutters, and metal louvers. The primary building colors are predominately earth tone in nature, accentuated with black trim and gray accents. Proposed site improvements include minor landscape and hardscape additions around the perimeter of the restaurant building and elimination of the existing valet parking area located along the north side of the project site. In addition, minor site accessibility improvements are proposed to ensure adequate pedestrian circulation is provided in and around the project site.

### **GENERAL PLAN AND ZONING CONSISTENCY**

The General Plan land use designation for the project site is RCC (Regional Commercial Center) and the zoning classification is C-3 PD (General Business, Planned Development District). The proposed project is consistent with both the General Plan land use and zoning designations, as restaurant uses and restaurant with bar uses are identified as a permitted land uses for this site. The proposed project also meets all applicable development standards (lot coverage, building setbacks, building height, and parking) established for the Palladio at Broadstone Shopping Center with exception of the required side yard setback on the north side of the property. The development standards for the C-3 zoning district allow structures to be built up to the side property lines, with no specific setback distance being required. However, as shown on the submitted site plan (Attachment 3), the proposed restaurant building extends past the existing property line on the north side of project site by approximately 12 feet. As a result, staff has determined that the proposed project does not currently meet the required side yard setback requirement for the north side of the proposed pad building.

As mentioned within the background section of this staff report, the property owner submitted a separate Lot-Line Adjustment application to the City on November 19, 2018 requesting that the northern property line of the subject parcel be extended approximately 20 feet further to the north in order to accommodate development of the proposed Iron Horse Tavern restaurant pad building on the project site. With approval of the Lot-Line Adjustment application, the proposed project would meet the required side yard setback (zero-foot side yard setback required) by providing an 8.5-foot setback on the north side of the subject property. In addition, the proposed project would continue to meet all other applicable development standards. The Lot-Line Adjustment application is not expected to be approved and recorded until mid to late January at the earliest.

Typically, it has been City policy that Lot-Line Adjustment applications be approved and recorded prior to development projects being presented to the Planning Commission. However, in this particular case, an unusual circumstance exists where there is expected to be an extended gap in time between Planning Commission meetings due the recent City Council elections and subsequent process of selecting new Planning Commission members. Specifically, the next Planning Commission meeting may not occur until mid-January or early February, which may present a financial hardship for development of the proposed project. Recognizing these special circumstances, and in an effort to allow the project to move forward in a timely manner, staff has determined that an exception to the City policy regarding allowing a development project to move forward prior to approval of a required Lot-Line Adjustment application is warranted. That being said, staff does recommend that the owner/applicant obtain approval of a Lot-Line Adjustment prior to approval of a Building Permit for the proposed restaurant building. Condition No. 17 is included to reflect this requirement.



## **ARCHITECTURE/DESIGN**

As described previously within this report, the applicant is proposing to develop a 6,171-square-foot, single-story restaurant pad building with covered outdoor patio on an undeveloped parcel within the Palladio at Broadstone Shopping Center. The architecture of the proposed building, which could best be characterized as “Contemporary Italian”, includes many high-quality design elements (varied roof heights, tall building openings, arched windows, decorative cornice elements, and a well-distinguished entry feature) commonly found in other buildings within Palladio at Broadstone. In terms of building materials, the proposed project features building materials that are Italianate in nature including stucco walls, stucco cornices, concrete wall panels, wood siding, steel columns, steel shutters, and metal louvers. The color scheme for the proposed building is primarily earth tone in nature, focusing on the use of deeper tones (Earthy Russet and Suntan Yellow) commonly found in Italianate design. Darker trim and accent colors (Black and Gray) are proposed at various locations on the building to compliment the primary earth tone colors found elsewhere on the building.

As discussed earlier with this report, the proposed project includes development of a freestanding commercial pad building within the Palladio at Broadstone Shopping Center. When Palladio at Broadstone was approved by the Planning Commission in 2004, architectural guidelines (Palladio/Kaiser Planned Development and Design Guidelines) were established to ensure high quality design, materials, and colors throughout the development over time. The primary design principles created to guide development within Palladio at Broadstone include the following:

- Ordered and rational layouts of buildings and spaces achieved through a symmetry which can be subtly distorted to accommodate local conditions;
- Harmony achieved through the application of a set of carefully-considered proportional relationships in plan, section and elevation;
- The use of major and minor axes to organize the placement of buildings and rooms, emphasized by hierarchical groupings and sub-groupings of elements to reinforce the whole composition;
- Integration of supporting buildings by locating them in a manner which complements and enhances the whole composition;
- Exploiting the incorporation of supporting buildings to create a prolonged sequence of arrival with a rich spatial experience;
- The extensive use of a ‘kit of parts’ to create variety within a unified whole by developing a vocabulary of architectural elements which can be combined in multiple ways;
- Buildings broken down into parts, which respond to the human scale and invite exploration.

In reviewing the architecture and design of the proposed building, City staff determined that the proposed project incorporates a significant number of the unique design elements as recommended by the Design Guidelines including; the use of different building forms and shapes to break up the massing of the building, a distinguished entry feature that draws pedestrians to the restaurant

entrance, large building openings that create visual interest, arched windows that accentuate the Italianate design theme, and the use of multiple roof heights to create the appearance of multiple buildings. Staff also determined that the proposed project will create significant visual interest through the use of multiple building materials that are clearly Italianate in nature. Lastly, staff determined that the proposed color scheme, which creates a rich colorful appearance with darker highlights, blends well with the color scheme of existing buildings within Palladio at Broadstone.

Overall, staff has determined that the proposed project will be compatible with existing buildings within the shopping center through the use of common design elements, similar building materials, and a complimentary color scheme. As a result, staff recommends approval of the applicants building design with the following conditions:

1. This approval is for a 6,171-square-foot, single-story restaurant pad building with covered outdoor patio to be located within the Palladio at Broadstone Shopping Center (100 Palladio Parkway). The applicant shall submit building plans that comply with this approval and the attached building elevations dated October 8, 2018.
2. The design, materials, and colors of the proposed building shall be consistent with the submitted building elevations, materials sample, and color scheme to the satisfaction of the Community Development Department.
3. Roof-mounted mechanical equipment, including satellite dish antennas, shall not extend above the height of the parapet walls. Ground-mounted mechanical equipment shall be shielded by landscaping or trellis type features.
4. The final design of the building-attached light fixtures shall be subject to review and approval by the Community Development Department to ensure architectural consistency with the overall building design.

These recommendations are included in the conditions of approval (Condition No. 20) presented for consideration by the Planning Commission.

#### **EXISTING AND PROPOSED LANDSCAPING**

The Palladio at Broadstone Shopping Center includes a variety of landscaping along the major street frontages including East Bidwell Street, Broadstone Parkway, Iron Point Road, and Palladio Parkway, as well as within landscape medians located throughout the entire development. Existing landscaping includes a variety of trees, shrubs, and groundcover. As shown on the submitted landscape plan (Attachment 4), the applicant is proposing to supplement the existing landscaping with new landscaping located directly adjacent to the restaurant building. Staff recommends that the final landscape plan be subject to review and approval by the Community Development Department. In addition, staff recommends that the owner/applicant replace any existing landscaping that is damaged or destroyed during construction activities to the satisfaction of the Community Development Department. Condition No. 21 is included to reflect these requirements.

#### **SIGNAGE**

The applicant is proposing to install a combination of wall signs and blade signs to provide identification for the proposed restaurant. With respect to wall signs, the applicant is proposing to install a single wall sign on the eastern (East Bidwell Street) and northern (parking lot) building

elevations respectively. The proposed wall sign on the eastern building elevation, which features individual aluminum letters indirectly illuminated by gooseneck lights, includes text that reads “IRON HORSE TAVERN”. The proposed wall sign on the northern building elevation (located on top of the patio cover), which features a cabinet sign with internal illumination, includes text that reads “IRON HORSE TAVERN”. A single blade sign, with text that reads “IRON HORSE TAVERN”, is proposed next to the restaurant entrance on the northern building elevation.

Signage is subject to the sign criteria established for the Palladio at Broadstone Shopping Center to ensure uniformity and consistency of signage for the entire development. In reviewing the submitted sign details, staff determined that one of the wall signs is not consistent with the requirements of the Palladio at Broadstone Sign Criteria. Specifically, the Sign Criteria indicates that primary signage should include reverse pan channel halo lit individual dimensional letters or similar lettering subject to approval of the landlord and the Community Development Director. The proposed wall sign on the northern building elevation is not consistent with the Sign Criteria in that it utilizes a cabinet sign that does not feature individual dimension letters. Staff recommends that all signs for the project comply with the FMC and the Sign Criteria established for the Palladio at Broadstone Shopping Center. In addition, staff recommends that the applicant obtain a sign permit for all signs. Condition No. 32 is included to reflect these requirements.

#### **ENVIRONMENTAL REVIEW**

The project is categorically exempt under Section 15303 New Construction or Conversion of Small Structures of the California Environmental Quality Act (CEQA) Guidelines. Based on staff’s analysis of this project, none of the exceptions in Section 15300.2 of the CEQA Guidelines apply to the use of the categorical exemption(s) in this case.

#### **RECOMMENDATION/PLANNING COMMISSION ACTION**

MOVE TO APPROVE COMMERCIAL DESIGN REVIEW FOR DEVELOPMENT OF A 6,171-SQUARE-FOOT, SINGLE-STORY RESTAURANT PAD BUILDING (BUILDING 100) WITHIN THE PALLADIO AT BROADSTONE SHOPPING CENTER AS ILLUSTRATED ON ATTACHMENTS 2 THROUGH 7 WITH THE FOLLOWING FINDINGS AND CONDITIONS OF APPROVAL (NO. 1-32).

#### **GENERAL FINDINGS**

- A. NOTICE OF HEARING HAS BEEN GIVEN AT THE TIME AND IN THE MANNER REQUIRED BY STATE LAW AND CITY CODE.
- B. THE PROJECT IS CONSISTENT WITH THE GENERAL PLAN, THE ZONING CODE OF THE CITY, AND THE PALLADIO AT BROADSTONE DESIGN GUIDELINES.

#### **CEQA FINDINGS**

- C. THE PROJECT IS CATEGORICALLY EXEMPT UNDER SECTION 15303 NEW CONSTRUCTION OR CONVERSION OF SMALL STRUCTURES OF THE CALIFORNIA ENVIRONMENTAL QUALITY ACT (CEQA) GUIDELINES.
- D. THE CUMULATIVE IMPACT OF SUCCESSIVE PROJECTS OF THE SAME TYPE IN THE SAME PLACE, OVER TIME IS NOT SIGNIFICANT IN THIS CASE.




E. NO UNUSUAL CIRCUMSTANCES EXIST TO DISTINGUISH THE PROPOSED PROJECT FROM OTHERS IN THE EXEMPT CLASS.

**DESIGN REVIEW FINDINGS**

F. THE PROJECT IS IN COMPLIANCE WITH THE GENERAL PLAN AND THE ZONING CODE.

G. THE PROJECT CONFORMS TO THE PALLADIO AT BROADSTONE SHOPPING CENTER DESIGN GUIDELINES AND ALL APPLICABLE STANDARDS APPROVED THROUGH THE PLANNED DEVELOPMENT PERMIT PROCESS.

H. THE PROJECT PROVIDES COMPATIBILITY OF BUILDING MATERIALS, TEXTURES AND COLORS WITH SURROUNDING DEVELOPMENT AND CONSISTENCY WITH THE GENERAL DESIGN THEME OF THE NEIGHBORHOOD.

Submitted,  
  
 PAM JOHNS  
 Community Development Director

**CONDITIONS**

See attached tables of conditions for which the following legend applies.

<b>RESPONSIBLE DEPARTMENT</b>		<b>WHEN REQUIRED</b>	
CD	Community Development Department	I	Prior to approval of Improvement Plans
NS	Neighborhood Services Department	M	Prior to approval of Final Map
(P)	Planning Division	B	Prior to issuance of first Building Permit
(E)	Engineering Division	O	Prior to approval of Occupancy Permit
(B)	Building Division	G	Prior to issuance of Grading Permit
(F)	Fire Division		
PW	Public Works Department	DC	During construction
PR	Park and Recreation Department	OG	On-going requirement
PD	Police Department		

**CONDITIONS OF APPROVAL FOR IRON HORSE TAVERN  
COMMERCIAL DESIGN REVIEW (PN 18-363)**

Mitigation Measure		When Required	Responsible Department
<b>GENERAL REQUIREMENTS</b>			
1.	<p>The applicant shall submit final site development plans to the Community Development Department that shall substantially conform to the exhibits referenced below:</p> <ul style="list-style-type: none"> <li>• Preliminary Site Plan, dated October 8, 2018</li> <li>• Preliminary Landscape Plan, dated October 8, 2018</li> <li>• Building Elevations, dated October 8, 2018</li> <li>• Preliminary Floor Plan, dated October 8, 2018</li> <li>• Preliminary Signage Details, dated October 18, 2018</li> </ul> <p>This Commercial Design Review Application is approved for the development of a 6,171-square-foot, single-story restaurant pad building with 1,165-square-foot covered outdoor patio. Modifications may be made to the above-referenced plans to respond to site-specific conditions of approval as set forth herein.</p>	B	CD (P)(E)
2.	<p>All civil engineering and landscape plans, shall be submitted to the Community Development Department for review and approval to ensure conformance with this approval and with relevant codes, policies, standards and other requirements of the City of Folsom.</p>	I, B	CD (P)(E)(B)
3.	<p>This project approval granted under this staff report shall remain in effect for two years from final date of approval (December 5, 2020). Failure to obtain the relevant permits within this time period, without the subsequent extension of this approval, shall result in the termination of this approval.</p>	B	CD (P)

**CONDITIONS OF APPROVAL FOR IRON HORSE TAVERN  
COMMERCIAL DESIGN REVIEW (PN 18-363)**

	<b>Mitigation Measure</b>	<b>When Required</b>	<b>Responsible Department</b>
4.	<p>The owner/applicant shall defend, indemnify, and hold harmless the City and its agents, officers and employees from any claim, action or proceeding against the City or its agents, officers or employees to attack, set aside, void, or annul any approval by the City or any of its agencies, departments, commissions, agents, officers, employees, or legislative body concerning the project. The City will promptly notify the owner/applicant of any such claim, action or proceeding, and will cooperate fully in the defense. The City may, within its unlimited discretion, participate in the defense of any such claim, action or proceeding if both of the following occur:</p> <ul style="list-style-type: none"> <li>• The City bears its own attorney's fees and costs; and</li> <li>• The City defends the claim, action or proceeding in good faith</li> </ul> <p>The owner/applicant shall not be required to pay or perform any settlement of such claim, action or proceeding unless the settlement is approved by the owner/applicant.</p>	OG	CD (P)(E)(B) PW, PR, FD, PD
<b>DEVELOPMENT COSTS AND FEE REQUIREMENTS</b>			
5.	The owner/applicant shall pay all applicable taxes, fees and charges at the rate and amount in effect at the time such taxes, fees and charges become due and payable.	I, B	CD (P)(E)
6.	If applicable, the owner/applicant shall pay off any existing assessments against the property, or file necessary segregation request and pay applicable fees.	B	CD (E)
7.	If the City utilizes the services of consultants to prepare special studies or provide specialized design review or inspection services for the project, the applicant shall reimburse the City for actual costs it incurs in utilizing these services, including administrative costs for City personnel. A deposit for these services shall be provided prior to initiating review of the building plans, improvement plans, or beginning inspection, whichever is applicable.	B, I	CD (P)(E)



**CONDITIONS OF APPROVAL FOR IRON HORSE TAVERN  
COMMERCIAL DESIGN REVIEW (PN 18-363)**

	<b>Mitigation Measure</b>		<b>When Required</b>	<b>Responsible Department</b>
8.		<p>This project shall be subject to all City-wide development impact fees, unless exempt by previous agreement. This project shall be subject to all City-wide development impact fees in effect at such time that a building permit is issued. These fees may include, but are not limited to, fees for fire protection, park facilities, park equipment, Humbug-Willow Creek Parkway, Light Rail, TSM, capital facilities and traffic impacts. The 90-day protest period for all fees, dedications, reservations or other exactions imposed on this project will begin on the date of final approval (December 5, 2018). The fees shall be calculated at the fee rate in effect at the time of building permit issuance.</p>	B	CD (P)(E), PW, PK
9.		<p>The City, at its sole discretion, may utilize the services of outside legal counsel to assist in the implementation of this project, including, but not limited to, drafting, reviewing and/or revising agreements and/or other documentation for the project. If the City utilizes the services of such outside legal counsel, the applicant shall reimburse the City for all outside legal fees and costs incurred by the City for such services. The applicant may be required, at the sole discretion of the City Attorney, to submit a deposit to the City for these services prior to initiation of the services. The applicant shall be responsible for reimbursement to the City for the services regardless of whether a deposit is required.</p>	I	CD (P)(E)
10.		<p>The owner/applicant agrees to pay to the Folsom-Cordova Unified School District the maximum fee authorized by law for the construction and/or reconstruction of school facilities. The applicable fee shall be the fee established by the School District that is in effect at the time of the issuance of a building permit. Specifically, the owner/applicant agrees to pay any and all fees and charges and comply with any and all dedications or other requirements authorized under Section 17620 of the Education Code; Chapter 4.7 (commencing with Section 65970) of the Government Code; and Sections 65995, 65995.5 and 65995.7 of the Government Code.</p>	B	CD (P)
11.		<p>The project is subject to the Housing Trust Fund Ordinance, unless exempt by a previous agreement.</p>	B	CD (P)

**SITE DEVELOPMENT REQUIREMENTS**

12.	Public and private improvements, including roadways, curbs, gutters, sidewalks, bicycle lanes and trails, streetlights, underground infrastructure and all other improvements shall be provided in accordance with the current edition of the City of Folsom <u>Standard Construction Specifications</u> and the <u>Design and Procedures Manual and Improvement Standards</u> .	I, B	CD (P)(E)
13.	The owner/applicant shall be responsible for replacing any and all damaged or hazardous public sidewalk, curb and gutter, and/or bicycle trail facilities along the site frontage and/or boundaries, including pre-existing conditions and construction damage, to the satisfaction of the Community Development Department.	O	CD (E)
14.	For any improvements constructed on private property that is not under ownership or control of the owner/applicant, a right-of-entry, and if necessary, a permanent easement shall be obtained and provided to the City prior to issuance of a grading permit and/or approval of improvement plans.	G, I	CD (E)
15.	The owner/applicant shall coordinate the planning, development and completion of this project with the various utility agencies (i.e., SMUD, PG&E, etc.).	I	CD (P)(E)
16.	Final exterior building and site lighting plans shall be submitted for review and approval by Community Development Department for location, height, aesthetics, level of illumination, glare and trespass prior to the issuance of any building permits. Lighting shall be designed to be shielded and directed downward onto the project site and away from adjacent properties and public rights-of-way. Lighting shall be equipped with a timer or photo condenser.	I, B	CD (P)
17.	The owner/applicant shall obtain approval of a Lot-Line Adjustment to extend the norther property line approximately 20 feet to the north to accommodate the restaurant building location prior to issuance of a Building Permit.	B	CD (P)(E)
<b>STORM WATER POLLUTION/CLEAN WATER ACT REQUIREMENTS</b>			
18.	The owner/applicant shall be responsible for litter control and sweeping of all paved surfaces in accordance with City standards. All on-site storm drains shall be cleaned immediately before the commencement of the rainy season (October 15).	G, I, B	CD (E)
19.	Erosion and sedimentation control measures shall be incorporated into construction plans. These measures shall conform to the City of Folsom requirements and the County of Sacramento <u>Erosion and Sedimentation Control Standards and Specifications</u> -current edition and as directed by the Community Development Department.	G, I	CD (E)

**ARCHITECTURE/DESIGN REQUIREMENTS**

20.	The project shall comply with the following architecture and design requirements:	<ol style="list-style-type: none"> <li>1. This approval is for a 6,171-square-foot, single-story restaurant pad building with 1,165-square-foot covered outdoor patio to be located within the Palladio at Broadstone Shopping Center (100 Palladio Parkway). The applicant shall submit building plans that comply with this approval and the attached building elevations dated October 8, 2018.</li> <li>2. The design, materials, and colors of the proposed building shall be consistent with the submitted building elevations, materials sample, and color scheme to the satisfaction of the Community Development Department.</li> <li>3. Roof-mounted mechanical equipment, including satellite dish antennas, shall not extend above the height of the parapet walls. Ground-mounted mechanical equipment shall be shielded by landscaping or trellis type features.</li> <li>4. The final design of the building-attached light fixtures shall be subject to review and approval by the Community Development Department to ensure architectural consistency with the overall building design.</li> </ol>	I, B	CD (P)
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**LANDSCAPE/LIGHTING REQUIREMENTS**

21.		<p>Final landscape plans and specifications for the project shall be prepared by a registered landscape architect and approved by the City Arborist and City staff prior to the approval of improvement plans. Said plans shall include all landscape specifications and details. Landscaping of the parking areas for guest parking shall meet shade requirements as outlined in the Folsom Municipal Code Chapter 17.57. The landscape plans shall comply and implement water efficient requirements as adopted by the State of California (Assembly Bill 1881) until such time the City of Folsom adopts its own Water Efficient Landscape Ordinance. Shade and ornamental trees shall be maintained according to the most current American National Standards for Tree Care Operations (ANSI A-300) by qualified tree care professionals. Tree topping for height reduction, sign visibility, light clearance or any other purpose shall not be allowed. Specialty-style pruning, such as pollarding, shall be specified within the approved landscape plans and shall be implemented during a 5-year establishment and training period.</p> <p>The owner/applicant shall replace any existing landscaping that is damaged or destroyed during construction activities to the satisfaction of the Community Development Department. In addition, the owner/applicant shall be responsible for on-site landscape maintenance throughout the life of the project to the satisfaction of the Community Development Department.</p>	B	CD (P)(E)
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**AIR QUALITY REQUIREMENT**

22.		<p>Dust generated on the project site shall be controlled by selective watering of exposed areas, especially during clearing and grading operations. All unpaved areas of the project site that are being graded, excavated or used as construction haul roadways shall be sprayed with water as often as is necessary to assure that fugitive dust does not impact nearby properties. Stockpiles of soil or other fine materials being left for periods in excess of one day during site construction shall be sprayed and track walked after stockpiling is complete.</p>	I, B	CD (P)(E)(B)
23.		<p>Paving shall be completed as soon as is practicable to reduce the time that bare surfaces and soils are exposed. In areas where construction is delayed for an extended period of time, the ground shall be revegetated to minimize the generation of dust.</p>	I, B	CD (P)(E)(B)
24.		<p>Street sweeping shall be conducted to control dust and dirt tracked from the project site onto any of the surrounding roadways. Construction equipment access shall be restricted to defined entry and exit points to control the amount of soil deposition.</p>	I, B	CD (P)(E)(B)

**NOISE REQUIREMENTS**

25.	Compliance with Noise Control Ordinance and General Plan Noise Element shall be required. Hours of construction operation shall be limited from 7:00 a.m. to 6:00 p.m. on weekdays and 8:00 a.m. to 5:00 p.m. on Saturdays with no Sunday or Holiday construction allowed (except interior tenant improvements). Construction equipment shall be muffled and shrouded to minimize noise levels.	G, I, B	CD (P)(E)
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**GRADING REQUIREMENTS**

26.	The owner/applicant shall locate and remediate all antiquated mine shafts, drifts, open cuts, tunnels and water conveyance or impoundment structures existing on the project site, with specific recommendations for the sealing, filling or removal of each that meet all applicable health, safety, and engineering standards. Recommendations shall be prepared by an appropriately licensed engineer or geologist. All remedial plans shall be reviewed and approved by the City.	G, I	CD (E)
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**CULTURAL RESOURCE REQUIREMENT**

27.	If any archaeological, cultural, or historical resources or artifacts, or other features are discovered during the course of construction anywhere on the project site, work shall be suspended in that location until a qualified professional archaeologist assesses the significance of the discovery and provides consultation with the Folsom Historical Society, City staff, and the Historic Preservation League. Appropriate mitigation as recommended by the archaeologist and the Historical Society representative shall be implemented. If agreement cannot be met, the Planning Commission shall determine the appropriate implementation method.	G, I	CD (E)
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**OTHER AGENCY REQUIREMENT**

28.	The owner/applicant shall obtain all required State and Federal permits and provide evidence that said permits have been obtained, or that the permit is not required, subject to staff review and approval of any grading or improvement plan.	G, I	CD (P)(E)
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**FIRE DEPARTMENT REQUIREMENTS**

29.	Prior to the issuance of any improvement plans, the Community Development and Fire Departments shall review and approve all detailed design plans for accessibility of emergency fire equipment, fire hydrant flow location, and other construction features.	I, B	FD
30.	The building shall have illuminated addresses visible from the street or drive fronting the property. Size and location of address identification shall be reviewed and improved by the Fire Marshal.	I	FD

**POLICE/SECURITY REQUIREMENTS**

31.	<p>The owner/applicant shall consult with the Police Department in order to incorporate all reasonable crime prevention measures. The following security/safety measures shall be required:</p> <ul style="list-style-type: none"> <li>• A security guard shall be on-duty at all times at the site or a six-foot security fence shall be constructed around the perimeter of construction areas. (This requirement shall be included on the approved construction drawings).</li> <li>• Security measures for the safety of all construction equipment and unit appliances shall be employed.</li> <li>• Landscaping shall not cover exterior doors or windows, block line-of-sight at intersections or screen overhead lighting.</li> </ul>	B	PD
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**MISCELLANEOUS REQUIREMENTS**

32.	All signs for the project shall comply with the <u>FMC</u> and the Sign Criteria established for the Palladio at Broadstone Shopping Center. In addition, the owner/applicant shall obtain a sign permit for all signs.	B	CD (P)
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Attachment 1

Vicinity Map

# Vicinity Map



CITY OF  
**FOLSOM**



## **Attachment 2**

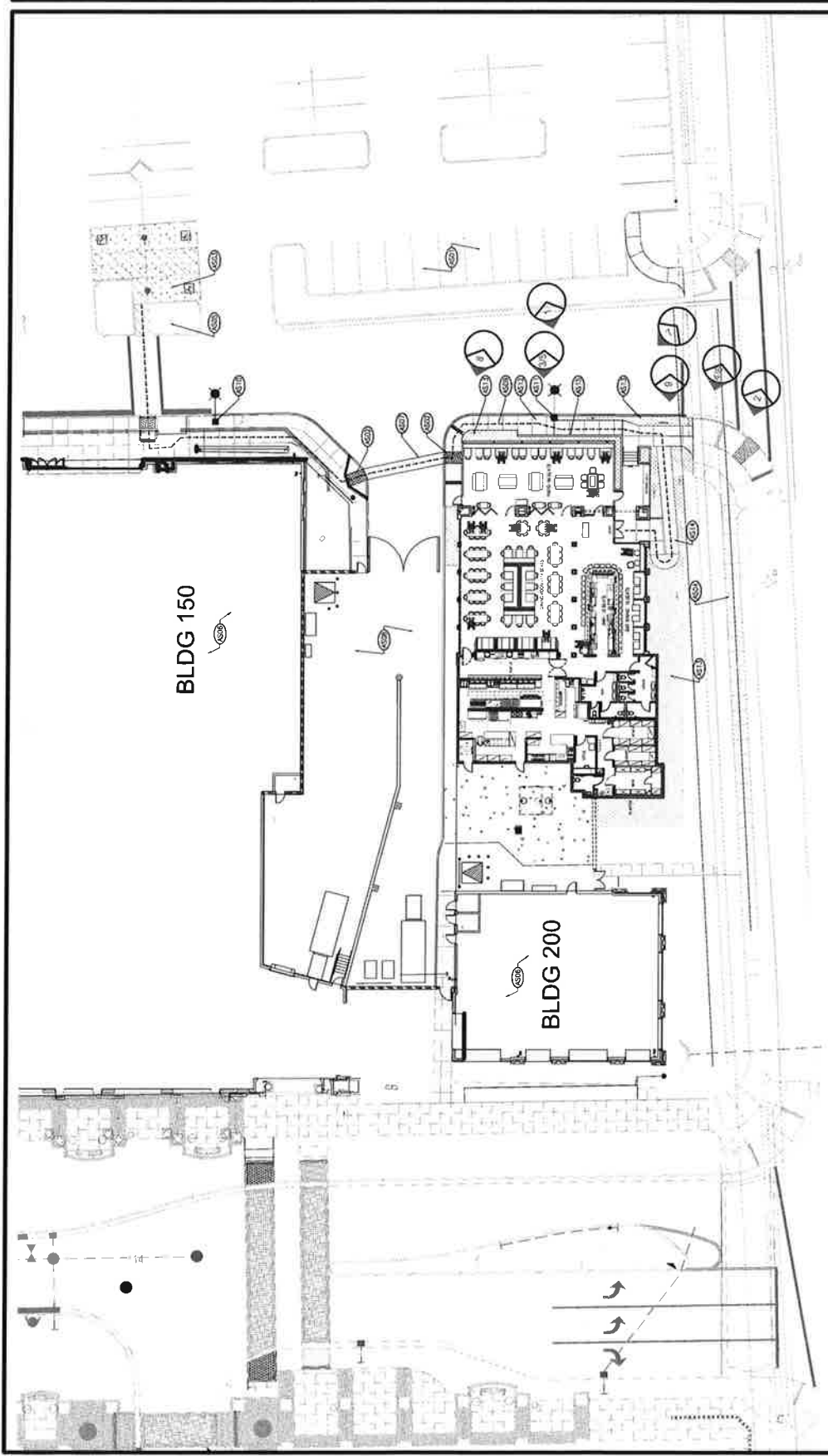
**Overall Site Plan for Palladio at Broadstone  
Dated April 26, 2018**





## Attachment 3

Preliminary Site Plan, dated October 8, 2018



EAST BIDWELL STREET

LEGEND	SITE PLAN KEYNOTES
EXISTING ACCESSIBLE PATH OF TRAVEL - SEE SEC. 11B-208	EXISTING CENTER PARKING
NEW CURB/DEBRIS/DOGS	EXISTING ACCESSIBLE CURB RAMP
	EXISTING NEW ACCESSIBLE PARKING
	EXISTING LANDSCAPE AND PLANTINGS
	EXISTING AUGMENTED TRAVEL BUILDING NOT A PART
	EXISTING TRASH LOCATION
	EXISTING TRASH LOCATION
	EXISTING ORNAMENTAL STREET LIGHTING
	EXISTING ORNAMENTAL STREET LIGHTING
	PROPOSED NEW CONCRETE WALK
	PROPOSED LANDSCAPE AND PLANTINGS
	PROPOSED ACCESSIBLE RAMP
	TOP OF PLANTED WALL

**PRELIMINARY SITE PLAN N.T.S.**





## Attachment 4

Preliminary Landscape Plan, dated October 8, 2018

**PLANT MATERIAL LIST AND LEGEND**

**TREES**

SYMBOL	SCIENTIFIC NAME COMMON NAME	SIZE	REMARKS	WATER USE	QUANTITY
	ACER PALMATA 'NASCOR MARY' CORAL BARK MAPLE	24" BOX	MULTI-TRUNK MOD	MOD	3
	ACER RUBRUM RED MAPLE	24" BOX	STANDARD HIGH	HIGH	1
	EXISTING TREE	VAR.	NA	VAR.	NA

**SHRUBS**

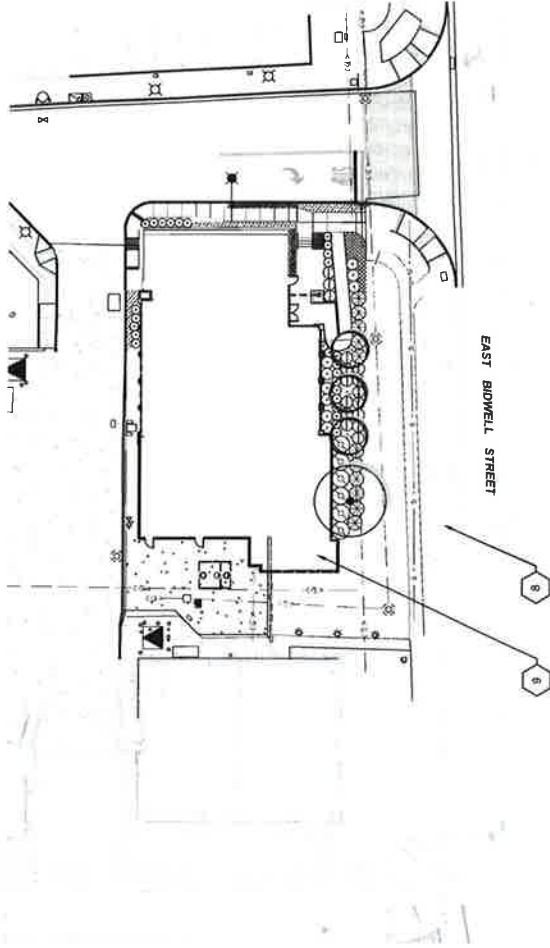
SYMBOL	SCIENTIFIC NAME COMMON NAME	SIZE	REMARKS	WATER USE	QUANTITY
	WATER BUCKLEIGH FOXTAIL AUNT	1 GAL	---	LOW	27
	CAROLINA JASMINE 'ACTON'	5 GAL	---	MOD	9
	LOMANA LOWER OVA 'BREEZE' DWARF NAT RUSH	5 GAL	---	LOW	25
	PINK WILLY GAZELLARS	5 GAL	---	LOW	11
	MALDENBERG RIGGS DEER GRASS	1 GAL	---	LOW	16
	VIBURNUM TINUS 'SPRING BOUQUET' LONGBLOSSOM	5 GAL	---	MOD	6

**GROUNDCOVERS**

SYMBOL	SCIENTIFIC NAME COMMON NAME	SIZE	SPACING	WATER USE
	HEMEROCALLIS 'BIBY' DWARF YELLOW DAFFY	1 GAL	3" x 6"	MOD
	FLORIDA SANDY SOIL 'NORWIE' RED FLAME CARPET ROSE	2 GAL	30" O.C.	MOD
	EXISTING PLANTING TO REMAIN SEE NOTE #1	NA	NA	NA

**PRELIMINARY LANDSCAPE DESIGN NOTES**

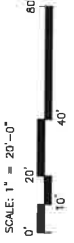
1. ALL PROPOSED LANDSCAPE WORK IS DESIGNED WITH AN INTENT TO BE SIMILAR TO ADJACENT WORK RECENTLY PROVIDED ALONG E BIDWELL ST.
2. ALL PROPOSED LANDSCAPE IMPROVEMENTS SHALL MEET CURRENT CITY OF FOLSOM WATER CONSERVATION MODEL ORDINANCE.
3. ALL LANDSCAPED AREAS SHALL BE IRRIGATED USING AN AUTOMATIC IRRIGATION SYSTEM.
4. FENCING DESIGN SHALL MEET INTENT OF THE SURROUNDING DEVELOPMENT IN THE AREAS AND OR AS DEPICTED IN THIS LANDSCAPE DESIGN SUBMITTAL.
5. ALL EXISTING TREE MITIGATION REQUIREMENTS SHALL BE QUANTIFIED DURING IMPROVEMENT PLAN DOCUMENTAL AND AS PER CITY OF FOLSOM TREE MITIGATION REQUIREMENTS.
6. STREET TREES WITHIN THE SUBDIVISION ARE QUANTIFIED AND WILL BE ADJUSTED TO FIT HOUSE PRODUCT, UTILITIES LOCATIONS, AND DRIVEWAY ALIGNMENTS DURING THE IMPROVEMENT PLAN DOCUMENTATION.
7. SWAD OVERHEAD POWER LINE ALONG THE E BIDWELL ST. WILL REMAIN. ALL TREES SHALL CONFORM TO SWAD REFERENCE GUIDE. RIGHT TREE IN THE RIGHT PLACE APPLICANT SHALL CONSULT WITH SWAD TO OBTAIN APPROVAL OF TREE PLACEMENT WITHIN THEIR OVERHEAD POWER EASEMENT.
8. EXISTING UNDER STORY LANDSCAPING TO REMAIN. PROTECT DURING CONSTRUCTION.
9. EXISTING LANDSCAPED AREAS TO BE REMOVED.



**NW VIEW FROM EAST BIDWELL STREET**



**NW VIEW FROM ADJACENT PARKING LOT**



PRELIMINARY  
 PLANTING  
 PLAN

OCTOBER 6, 2016

DD3.0

18070



## Attachment 5

Building Elevations, dated October 8, 2018

**DESIGN NOTES**

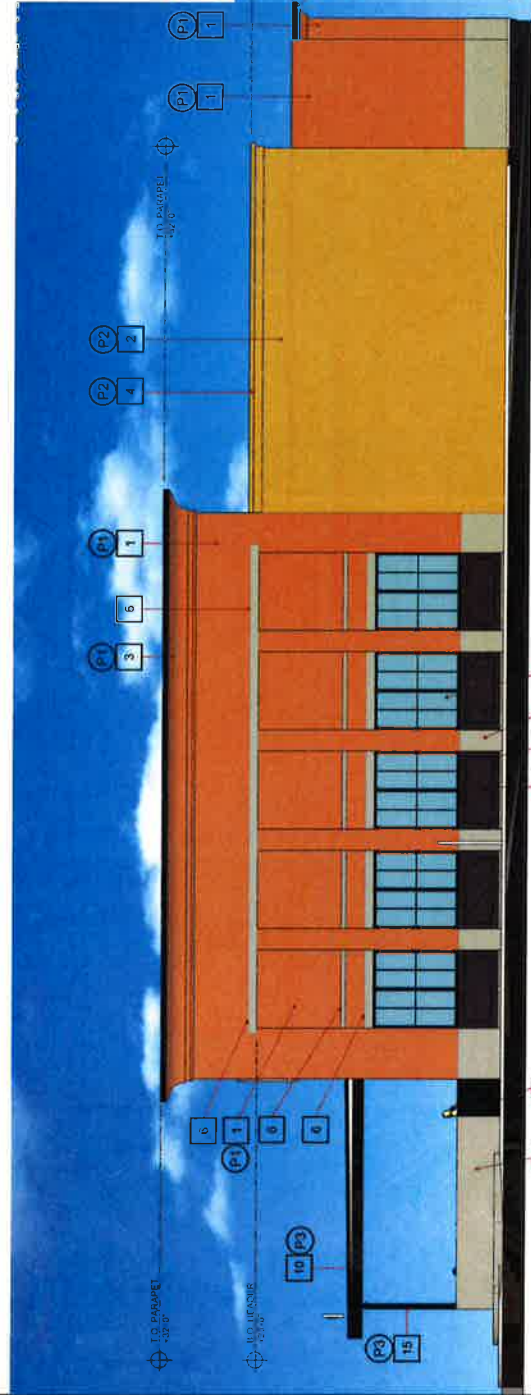
- 1 Stucco Wall
- 2 Stucco Wall
- 3 Stucco Cornice
- 4 Stucco Cornice
- 5 GFRG Wall Panel
- 6 GFRG Headers, Cornices & Arches
- 7 Bonelli 2700 series fixed recessed nail fin windows,
- 8 16 gauge steel sheets painted P3
- 9 1"x2" angle iron P3 attached with galvanized hex bolts
- 10 Wide flange beam
- 11 NanaWall doors
- 12 Pin mounted steel letters
- 13 Gooseneck lights
- 14 Board formed concrete wall,
- 15 8" diameter steel column
- 16 Steel shutters
- 17 Metal louver
- 18 Black flashing
- 19 Steel corner angles
- 20 Wood siding painted P3

**PAINT COLORS**

- P1 Benjamin Moore Earthly Russet 2173-10
- P2 Benjamin Moore Suntan Yellow 2155-50
- P3 Benjamin Moore Blacktop 2135-10
- P4 Benjamin Moore Gummetal 1602



North Elevation 3/16" = 1'-0"



West Elevation 3/16" = 1'-0"

**IRON HORSE TAVERN**  
 PALLADIO AT BROADSTONE  
 FOLSOM, CA

PLANNING  
 SUBMITTAL

EXTERIOR  
 ELEVATIONS

OCTOBER 8, 2018

DD5.1

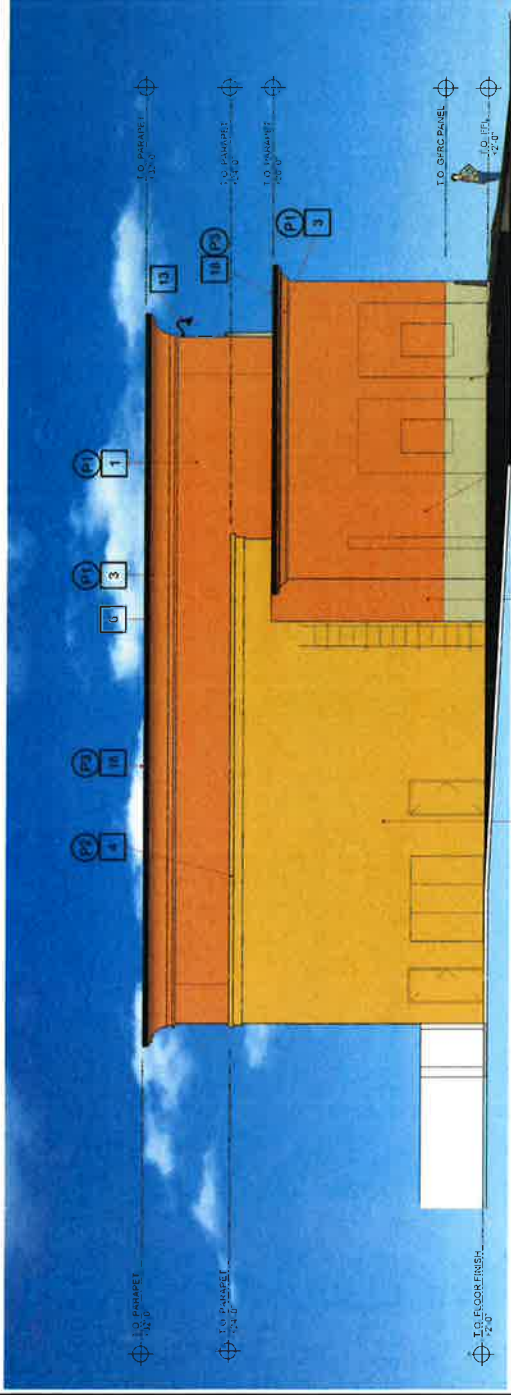
17103

**DESIGN NOTES**

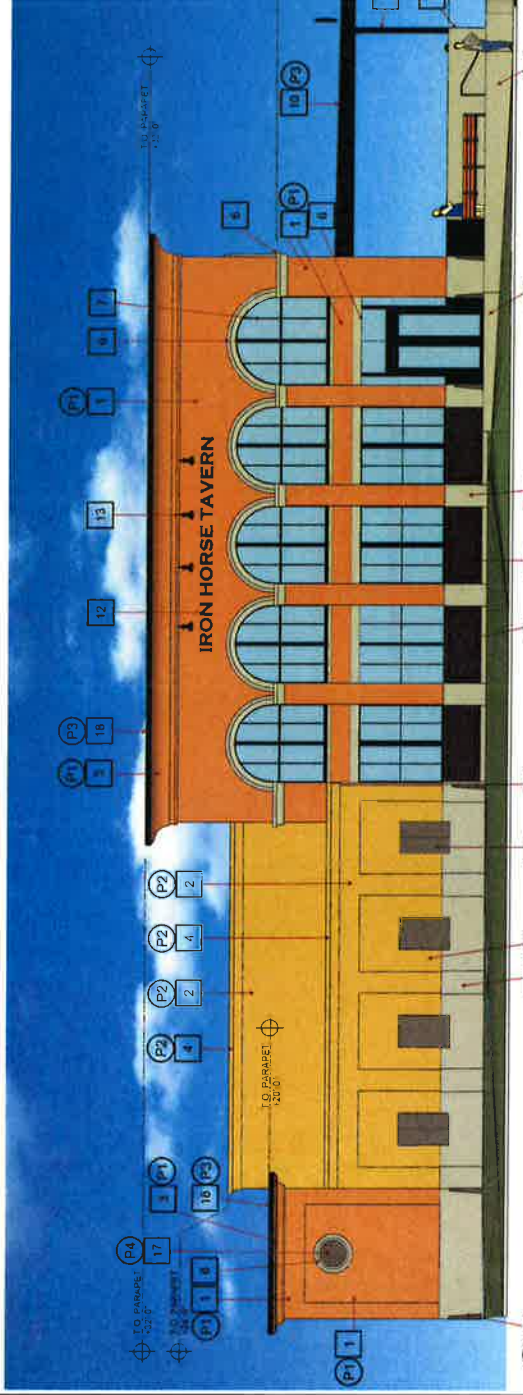
- 1 Stucco Wall
- 2 Stucco Wall
- 3 Stucco Cornice
- 4 Stucco Cornice
- 5 GFRC Wall Panel
- 6 GFRC Headers, Cornices & Arches
- 7 Bonelli 2700 series fixed recessed nail fin windows.
- 8 16 gauge steel sheets painted P3
- 9 1"x2" angle iron P3 attached with galvanized hex bolts
- 10 Wide flange beam
- 11 NanaWall doors
- 12 Pin mounted steel letters
- 13 Gooseneck lights
- 14 Board formed concrete wall.
- 15 8" diameter steel column
- 16 Steel shutters
- 17 Metal louver
- 18 Black flashing
- 19 Steel corner angles
- 20 Wood siding painted P3

**PAINT COLORS**

- (P1) Benjamin Moore Earthly Russet 2173-10
- (P2) Benjamin Moore Suntan Yellow 2155-50
- (P3) Benjamin Moore Blacktop 2135-10
- (P4) Benjamin Moore Gunmetal 1602



South Elevation 3/16" = 1'-0"



East Elevation 3/16" = 1'-0"



**DESIGN NOTES**

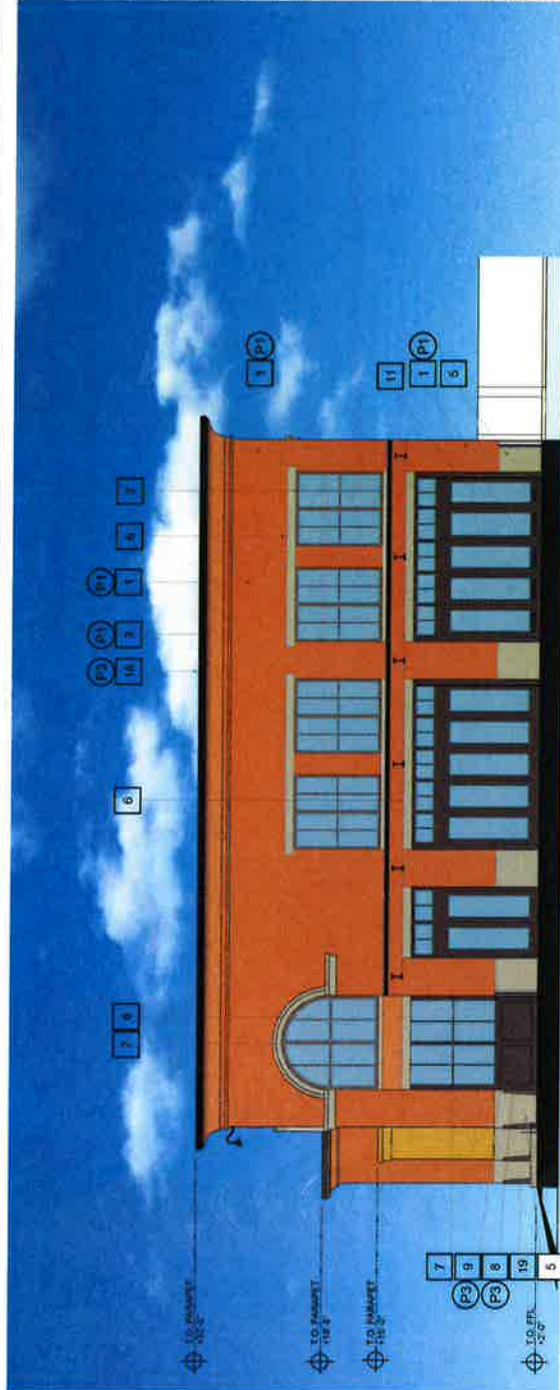
- 1 Stucco Wall
- 2 Stucco Wall
- 3 Stucco Cornice
- 4 Stucco Cornice
- 5 GFRG Wall Panel
- 6 GFRG Headers, Cornices & Arches
- 7 Bonelli 2700 series fixed recessed nail fin windows.
- 8 16 gauge steel sheets painted P3
- 9 1"x2" angle iron P3 attached with galvanized hex bolts
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- 15 8" diameter steel column
- 16 Steel shutters
- 17 Metal louver
- 18 Black flashing
- 19 Steel corner angles
- 20 Wood siding painted P3

**PAINT COLORS**

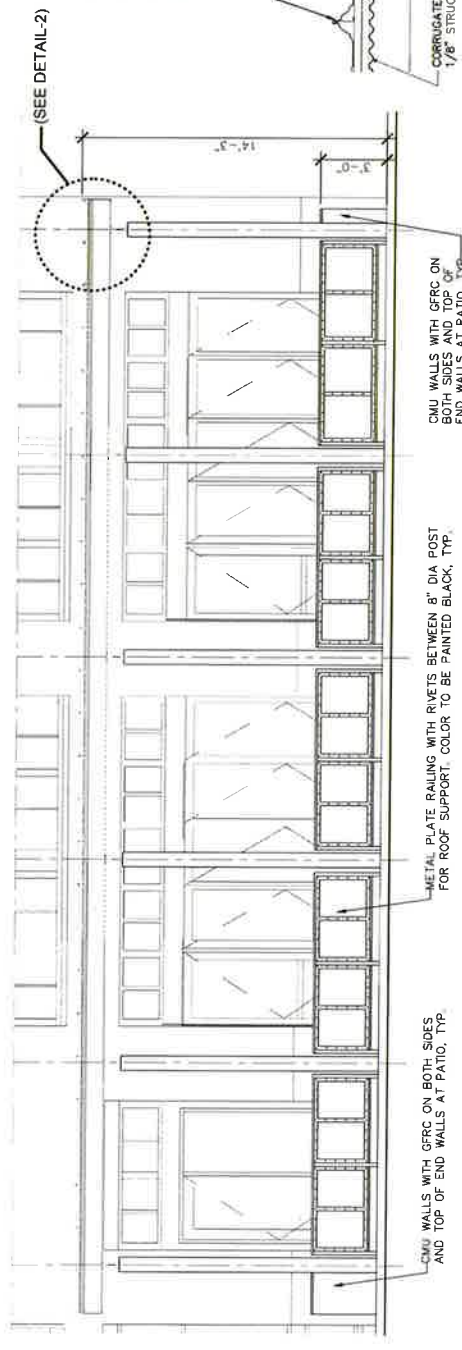
- P1 Benjamin Moore Earthly Russet 2173-10
- P2 Benjamin Moore Surtan Yellow 2155-50
- P3 Benjamin Moore Blacktop 2135-10
- P4 Benjamin Moore Gunmetal 1602

24 GA. GALV. ROOF DECKING OVER 2 LAYERS OF GRADE D BLDG PAPER OVER 3/4" STYROFOAM INSULATION OVER 1 1/8" STRUCTURAL PLYWOOD OVER 2" JOIST @ 48" O.C.  
 - SEE STRUCT. DWGS

CORRUGATED METAL DECKING ATTACHED TO 1 1/8" STRUCT PLYWOOD FROM BELOW, TYP.



**North Elevation / Section at Patio 3/16" = 1'-0"**



**1 North Exterior Elevation at Exterior Wall Patio Roof 1/4" = 1'-0"**

**2 Section at Patio Roof**

## Attachment 6

Preliminary Floor Plan, dated October 8, 2018

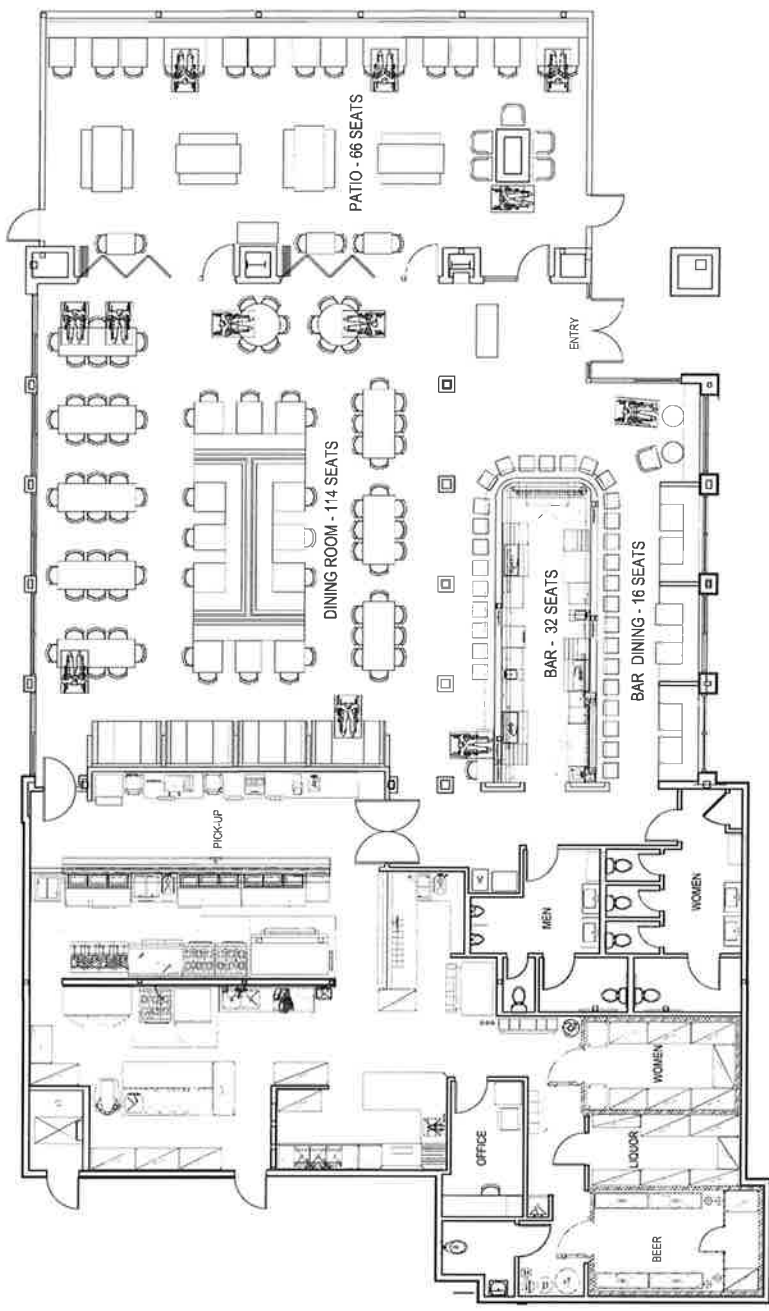
**IRON HORSE TAVERN**  
**PALLADIO AT BROADSTONE**  
**FOLSOM, CA**

PLANNING  
 SUBMITTAL

PRELIMINARY  
 FLOOR PLAN

OCTOBER 8, 2018

DD6.0



SEATING TABULATIONS	
BAR	32 SEATS
BAR DINING	16 SEATS
DINING ROOM	114 SEATS
<b>TOTAL INTERIOR SEATS</b>	<b>162 SEATS</b>
<b>TOTAL PATIO SEATS</b>	<b>66 SEATS</b>

**PRELIMINARY FLOOR PLAN** 3/16" = 1'-0"



## Attachment 7

Preliminary Signage Details, dated October 18, 2018

IRON HORSE TAVERN  
FOLSOM, CA



**EAST ELEVATION SIGN**

22'-0"

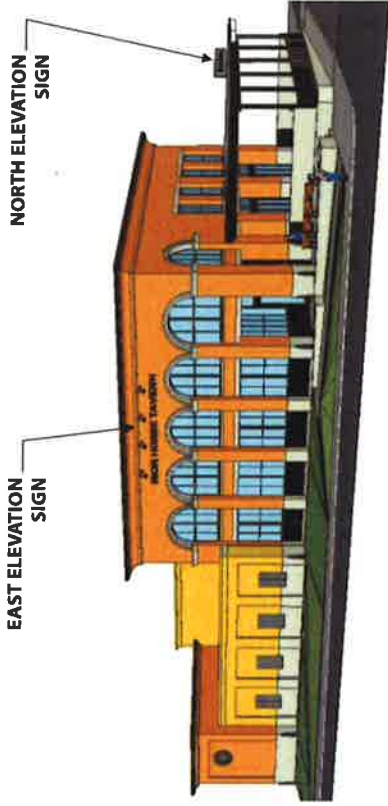
# IRON HORSE TAVERN

SCALE 3/8" = 1'

**MANUFACTURE AND INSTALL ONE OF 1/4" F.C.O. ALUMINUM LETTERS;  
COLOR BLACK; STUD MOUNT 1" FROM WALL;**

**EXTERIOR GOOSENECK LAMP ILLUMINATION (BY OTHERS)**

**FIELD SURVEY REQUIRED  
PRIOR TO FABRICATION**



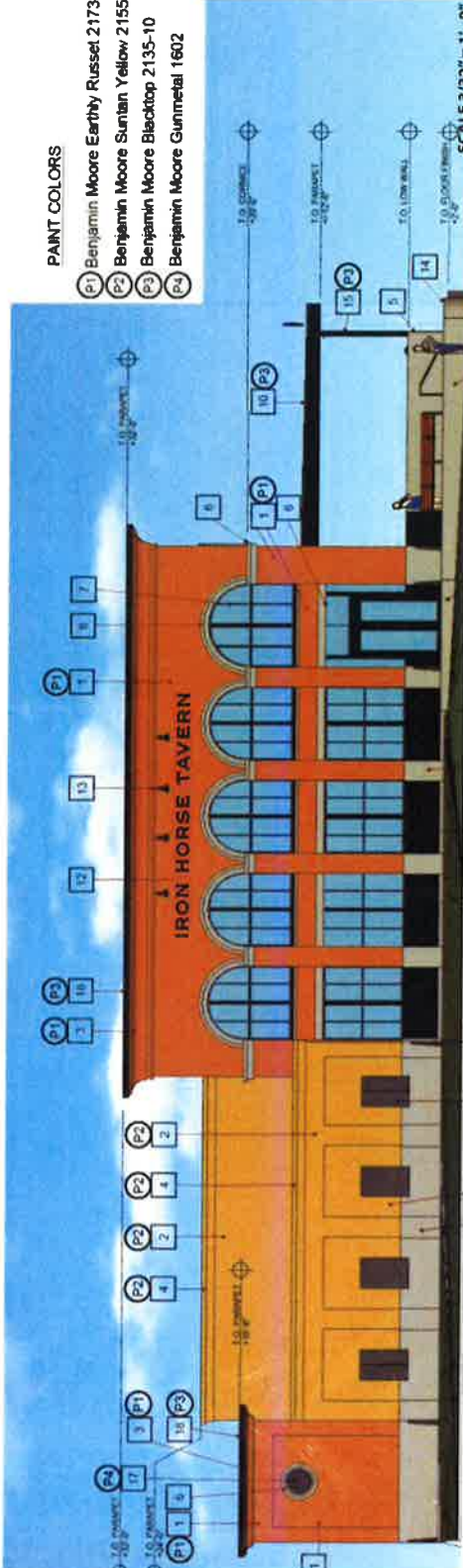
EAST ELEVATION SIGN

NORTH ELEVATION SIGN

### PAINT COLORS

- (P1) Benjamin Moore Earthy Russet 2173
- (P2) Benjamin Moore Suntan Yellow 2155
- (P3) Benjamin Moore Blacktop 2135-10
- (P4) Benjamin Moore Gummetal 1602

EAST ELEVATION



**CUSTOMER APPROVAL**  
 COLOR ON THIS PRINTOUT MAY VARY SLIGHTLY FROM FINAL MATERIALS COLORS. APPROVAL OF THE ILLUSTRATION INCLUDES APPROVAL OF THE FINAL MATERIALS COLORS AS SPECIFIED IN THE WRITTEN CONTRACT. WRITTEN CONSENT OF THIS ILLUSTRATION HAS BEEN OBTAINED OVER SCALED DIMENSIONS, ILLUSTRATIONS, SPACING, BUILDING ORIENTATION, DIMENSIONS, AND MATERIALS. THIS DRAWING IS THE PROPERTY OF WESTERN SIGN COMPANY, INC. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED IN THE DRAWING. NO PART OF THIS DRAWING SHALL BE REPRODUCED, COPIED OR EXHIBITED IN ANY MANNER WITHOUT EXPRESS WRITTEN PERMISSION OF WESTERN SIGN COMPANY, INC.

**SALESPERSON** | Keith Willis  
**ILLUSTRATION** | Perry Wilson  
**LOCATION** | Folsom, CA  
**DATE** | 10/18/18  
**REVISED**

**WESTERN SIGN COMPANY**  
 SINCE 1959  
 6221 ENTERPRISE DRIVE, DIAMOND SPRINGS, CA 95619  
 Phone 916.933-3765 • 530.622-1420 Fax 530.622-9367  
 E-Mail design@westernsign.com Website www.westernsign.com

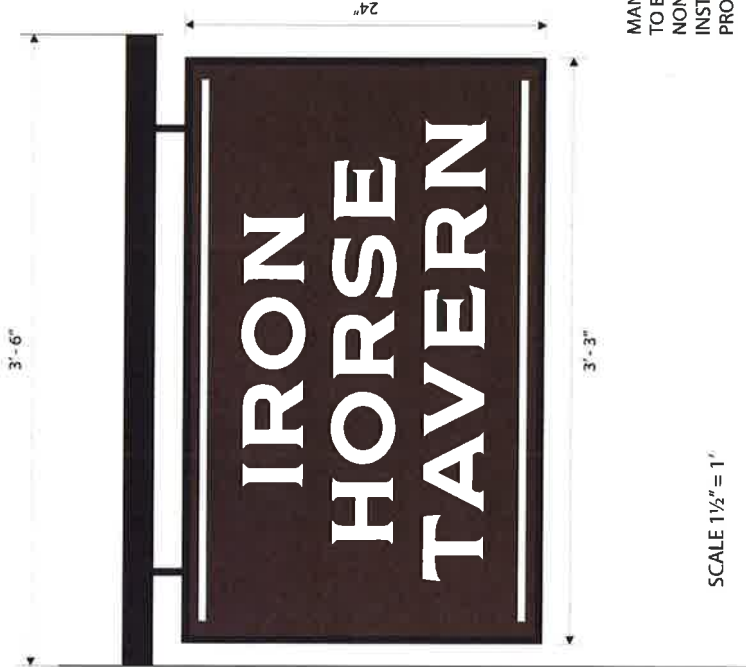
**LANDLORD APPROVAL** \_\_\_\_\_ DATE \_\_\_\_\_  
**SALESPERSON SIGNOFF** \_\_\_\_\_ DATE \_\_\_\_\_



IRON HORSE TAVERN  
FOLSOM, CA



**BLADE SIGN**  
(REQUIRED)



MANUFACTURE AND INSTALL ONE D/F BLADE SIGN  
TO BE FABRICATED FROM PAINTED METAL ELEMENTS ONLY (NO ACRYLIC)  
NON-ILLUMINATED  
INSTALLED MINIMUM 8'-0" FROM BOTTOM OF BLADE SIGN TO FINISHED FLOOR  
PROJECTS A MAXIMUM OF 3' - 6" FROM WALL (BRACKET INCLUDED)



6221 ENTERPRISE DRIVE, DIAMOND SPRINGS, CA 95619

Phone 916.933-3765 • 530.622-1420 Fax 530.622-9367

E-Mail [design@westernsign.com](mailto:design@westernsign.com) Website [www.westernsign.com](http://www.westernsign.com)

SINCE 1959

SALESPERSON  
ILLUSTRATION  
LOCATION  
DATE  
REVISED

Keith Willis  
Perry Wilson  
Folsom, CA  
10/18/18

CUSTOMER APPROVAL \_\_\_\_\_ DATE \_\_\_\_\_

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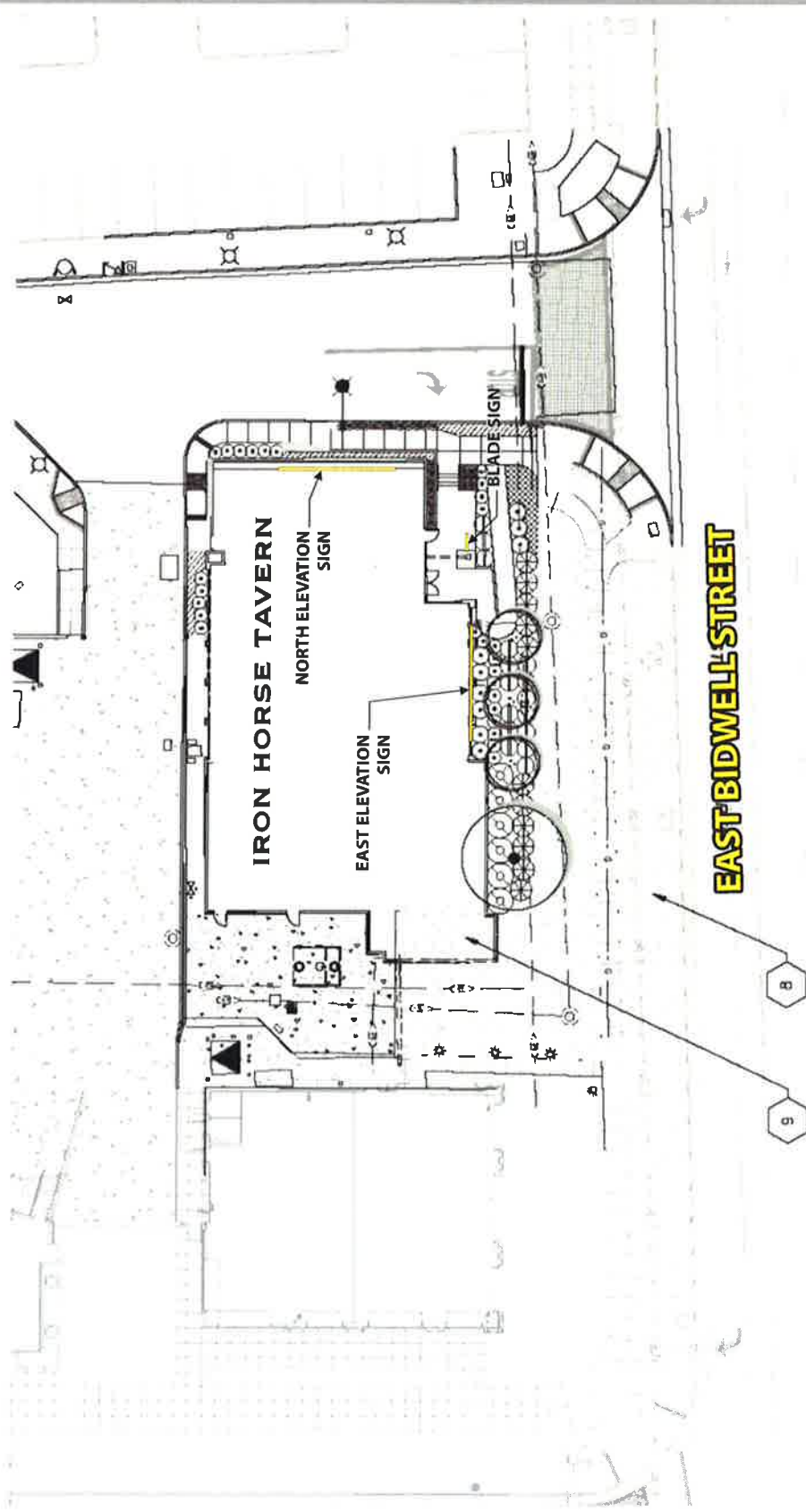




IRON HORSE TAVERN  
FOLSOM, CA



### SITE MAP



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SALESPERSON: Keith Willis  
 ILLUSTRATION LOCATION: Perry Wilson, Folsom, CA  
 DATE: 10/18/18  
 REVISED

**WESTERN SIGN COMPANY**  
 SINCE 1959

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Attachment 8  
Site Photographs















