

CITY OF
FOLSOM
DISTINCTIVE BY NATURE

PLANNING COMMISSION AGENDA
November 1, 2017
CITY COUNCIL CHAMBERS
6:30 p.m.
50 Natoma Street
Folsom, California 95630

CALL TO ORDER PLANNING COMMISSION: Jennifer Lane, Kevin Mallory, Justin Raithel, Aaron Ralls, Thomas Scott, Vice Chair John Arnaz, Chair Ross Jackson

Any documents produced by the City and distributed to the Planning Commission regarding any item on this agenda will be made available at the Community Development Counter at City Hall located at 50 Natoma Street, Folsom, California and at the table to the left as you enter the Council Chambers. The meeting is available to view via webcast on the City's website the day after the meeting.

PLEDGE OF ALLEGIANCE

CITIZEN COMMUNICATION: The Planning Commission welcomes and encourages participation in City Planning Commission meetings, and will allow up to five minutes for expression on a non-agenda item. Matters under the jurisdiction of the Commission, and not on the posted agenda, may be addressed by the general public; however, California law prohibits the Commission from taking action on any matter which is not on the posted agenda unless it is determined to be an emergency by the Commission.

MINUTES

The minutes of October 4, 2017 will be presented for approval.

NEW BUSINESS

1. **PN 17-322, Mangini Ranch Villages 1 and II – Residential Design Review and Determination that the Project is Exempt from CEQA**

A Public Hearing to consider a request from Taylor Morrison of California for approval of a Design Review Application for 206 single-family residential units located within the Village I (108 units) and Village II (98 units) of the previously approved Mangini Ranch Subdivision. Specifically, Taylor Morrison is requesting design review approval of eight (8) master plans for the Village I and Village II within the Mangini Ranch Subdivision. The project has been determined to be exempt from the California Environmental Quality Act (CEQA) by Section 15182 of the CEQA Guidelines. **(Project Planner: Principal Planner, Steve Banks / Applicant: Taylor Morrison)**

2. **PN 17-346, 2757 East Bidwell Street, McDonald's Restaurant – Commercial Design Review and Determination that the Project Exempt from CEQA**

A Public Hearing to consider a request from Kevin McAuley for Commercial Design Review approval for a façade modifications and new exterior paint colors to an existing commercial building (McDonald's) located at 2757 East Bidwell Street. The project site is zoned for C-3 PD (General Commercial, Planned Development District) and the General Plan land-use designation for the site is RCC (Regional Commercial). The project is categorically exempt from environmental review under Section 15301 of the CEQA Guidelines (Existing Facilities) (**Project Planner: Assistant Planner, Josh Kinkade / Applicant: Kevin McAuley**)

3. **PN 17-340, 6610 Folsom Auburn Rd., Origin Tattoo – Conditional Use Permit and Determination that the Project is Exempt from CEQA**

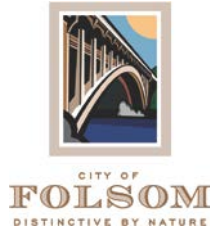
A Public Hearing to consider a request from Nick Stephenson for approval of a Conditional Use Permit to operate a tattoo establishment and art gallery within a commercial space located at 6610 Folsom Auburn Road, #1. The project is categorically exempt from environmental review under Section 15301 of the CEQA Guidelines (Existing Facilities). (**Project Planner: Assistant Planner, Josh Kinkade / Applicant: Nick Stephenson**)

PLANNING COMMISSION / PLANNING MANAGER REPORT

The next Planning Commission meeting is scheduled for **November 15, 2017**. Additional non-public hearing items may be added to the agenda; any such additions will be posted on the bulletin board in the foyer at City Hall at least 72 hours prior to the meeting. Persons having questions on any of these items can visit the Community Development Department during normal business hours (8:00 a.m. to 5:00 p.m.) at City Hall, 2nd Floor, 50 Natoma Street, Folsom, California, prior to the meeting. The phone number is 355-7222 and FAX number is 355-7274.

NOTICE REGARDING CHALLENGES TO DECISIONS

The appeal period for Planning Commission Action: Any appeal of a Planning Commission action must be filed, in writing with the City Clerk's Office no later than ten (10) days from the date of the action pursuant to Resolution No. 8081. Pursuant to all applicable laws and regulations, including without limitation, California Government Code Section 65009 and or California Public Resources Code Section 21177, if you wish to challenge in court any of the above decisions (regarding planning, zoning and/or environmental decisions), you may be limited to raising only those issues you or someone else raised at the public hearing(s) described in this notice/agenda, or in written correspondence delivered to the City at, or prior to, the public hearing.



PLANNING COMMISSION MINUTES
October 4, 2017
CITY COUNCIL CHAMBERS
6:30 P.M.
50 Natoma Street
Folsom, CA 95630

CALL TO ORDER PLANNING COMMISSION: Vice Chair John Arnaz, Jennifer Lane, Kevin Mallory, Justin Raithel, Aaron Ralls, Thomas Scott, Chair Ross Jackson

ABSENT: Scott

CITIZEN COMMUNICATION: None

MINUTES: The minutes of September 6, 2017 were approved as submitted.

NEW BUSINESS

1. PN 17-261, Broadstone Park Professional Center, 1837 Iron Point Road – Tentative Parcel Map and Determination that the Project is Exempt from CEQA

A Public Hearing to consider a request from Carlsen Investments for approval of a Tentative Parcel Map to subdivide a .89-acre parcel (includes two existing building) located at 1837 Iron Point Road within the Broadstone Park Professional Center into two parcels. The project is zoned M-L (Limited Manufacturing District) and the General Plan land-use designation for the site is IND (Industrial/Office Park). The project is categorically exempt from the California Environmental Quality Act (CEQA) under Minor Land Divisions (15315). **(Project Planner: Principal Planner, Steve Banks / Applicant: Carlsen Investments)**

COMMISSIONER RAITHEL MOVED TO APPROVE THE BROADSTONE PARK PROFESSIONAL CENTER TENTATIVE PARCEL MAP PROJECT CREATING TWO (2) PARCELS, WITH THE FOLLOWING FINDINGS AND CONDITIONS: GENERAL FINDINGS A & B; CEQA FINDING C; TENTATIVE PARCEL MAP FINDINGS D – I; CONDITIONS OF APPROVAL NO. 1 – 10.

COMMISSIONER ARANZ SECONDED THE MOTION, WHICH CARRIED THE FOLLOWING VOTE:

AYES: ARNAZ, LANE, MALLORY, RAITHEL, RALLS, JACKSON
NOES: NONE
ABSTAIN: NONE
ABSENT: SCOTT

2. PN 17-252, Iron Point Retirement Community – Planned Development Permit and Conditional Use Permit Extension

A Public Hearing to consider a request from RSC Engineering for approval of a Planned Development Permit and Conditional Use Permit Extension for development of a 126-unit senior retirement community on a 4.68-acre site located on the south side of Iron Point Road between Broadstone Parkway and Rowberry Drive. The zoning classification for the site is BP PD and the General Plan land-use designation is CC. A Mitigated Negative Declaration and Mitigation Monitoring Program were previously approved for the Iron Point Retirement Community project (PN 15-139) on January 12, 2016 in accordance with the California Environmental Quality Act (CEQA). **(Project Planner: Principal Planner, Steve Banks / Applicant: RSC Engineering)**

COMMISSIONER JACKSON MOVED TO APPROVE THE CONDITIONAL USE PERMIT EXTENSION AND PLANNED DEVELOPMENT PERMIT EXTENSION FOR A PERIOD OF ONE YEAR (UNTIL JANUARY 26, 2019) FOR DEVELOPMENT OF THE IRON POINT RETIREMENT COMMUNITY PROJECT (PN 17-252) WITH THE FOLLOWING FINDINGS AND CONDITIONS: GENERAL FINDINGS A & B; CEQA FINDINGS C & D; PLANNED DEVELOPMENT PERMIT EXTENSION FINDINGS E – L; CONDITIONAL USE PERMIT EXTENSION FINDING M; CONDITIONS OF APPROVAL NO. 1-61, MODIFYING CONDITION NO. 3 TO READ AS FOLLOWS, "The project approval granted under this staff report shall remain in effect for ~~two years~~ **one year** from final date of approval (January 26, ~~2020~~ **2019**). Failure to obtain the relevant building (or other) permits within this time period, without the subsequent extension of this approval, shall result in the termination of this approval."

COMMISSIONER RAITHEL SECONDED THE MOTION, WHICH CARRIED THE FOLLOWING VOTE:

AYES: ARNAZ, LANE, MALLORY, RAITHEL, RALLS, JACKSON
NOES: NONE
ABSTAIN: NONE
ABSENT: SCOTT

3. PN 17-303, Parkway Village H1 and H2 Subdivision – Tentative Subdivision Map Amendment

A Public Hearing to consider a request from the Parker Development Company for approval of a Tentative Subdivision Map Amendment for revisions to a previously approved Tentative Subdivision Map associated with a 16-unit single-family residential subdivision located on the north side of Silberhorn Drive, slightly east of the intersection of Silberhorn Drive and Trowbridge Lane. The primary purpose of the Amendment is to modify conditions of approval for the project relative to construction of a traffic signal at the intersection of Golf Links Drive and Silberhorn Drive and dedication of a proposed sewer lift station to the City. The zoning classification for the site is SP 93-3, while the General Plan land-use designation is SFHD. A Mitigated Negative Declaration and Mitigation Monitoring Program were previously approved for the Parkway Village H1 and H2 Subdivision project (PN 12-370) on December 8, 2015 in accordance with the California Environmental Quality Act (CEQA). **(Project Planner: Principal Planner, Steve Banks / Applicant: Parker Development Company)**

COMMISSIONER JACKSON MOVED TO RECOMMEND TO THE CITY COUNCIL APPROVAL OF THE TENTATIVE SUBDIVISION MAP AMENDMENT FOR THE PARKWAY VILLAGE H1 AND H2 SUBDIVISION PROJECT WITH THE FOLLOWING FINDINGS AND CONDITIONS: GENERAL FINDINGS A & B; CEQA FINDINGS C & D; TENTATIVE SUBDIVISION MAP AMENDMENT FINDINGS E – I; CONDITIONS OF APPROVAL NO. 1 – 78.

COMMISSIONER LANE SECONDED THE MOTION, WHICH CARRIED THE FOLLOWING VOTE:

AYES: ARNAZ, LANE, MALLORY, RAITHEL, RALLS, JACKSON
NOES: NONE
ABSTAIN: NONE
ABSENT: SCOTT

PLANNING MANAGER REPORT

None

RESPECTFULLY SUBMITTED,

Amanda Palmer, SECRETARY

APPROVED:

Ross Jackson, CHAIRMAN

PLANNING COMMISSION STAFF REPORT

PROJECT TITLE	Mangini Ranch Village 1 and 2 Subdivision Residential Design Review
PROPOSAL	Request for Residential Design Review Approval for 206 single-family residential units situated within the Village 1 and 2 portions of the Mangini Ranch Subdivision
RECOMMENDED ACTION	Approve, based upon findings and subject to conditions
OWNER/APPLICANT	Taylor Morrison of California
LOCATION	The 36-acre project site is located approximately 500 feet northeast of the intersection of Mangini Parkway and East Bidwell Street within the Folsom Plan Area
SITE CHARACTERISTICS	The project site has been rough graded and site improvements are in the process of being constructed
GENERAL PLAN DESIGNATION	SFHD (Single-Family High Density)
ZONING DESIGNATION	FPASP (Folsom Plan Area Specific Plan) with an underlying zoning designation of SFHD PD (Single- Family High Density, Planned Development District)
ADJACENT LAND USES/ZONING	North: Open Space (OS-LC) with Undeveloped Residential Property (SFHD PD) and Savannah Parkway Beyond South: Mangini Parkway with Undeveloped Residential Property (SFHD PD) Beyond East: Undeveloped Residential Property (SFHD PD and MLD PD) with Savannah Parkway Beyond

West: Undeveloped Residential Property (MMD PD) with East Bidwell Street Beyond

PREVIOUS ACTION

City Council approval of a Large-Lot Vesting Tentative Subdivision Map, Small-Lot Vesting Tentative Subdivision Map, Development Agreement Amendment, Design Guidelines, and Inclusionary Housing Plan for development of an 833-unit single-family residential subdivision known as Mangini Ranch on June 23, 2015, City Council approval of a Vesting Small-Lot Tentative Subdivision Map Extension for Mangini Ranch Subdivision project on June 13, 2017

FUTURE ACTION

Approval of a Final Map and Issuance of Building Permits

APPLICABLE CODES

FPASP (Folsom Plan Area Specific Plan)
Folsom Ranch Central District Design Guidelines

ENVIRONMENTAL REVIEW

The City, as lead agency, previously determined that the Mangini Ranch Subdivision project is entirely consistent with the Folsom Plan Area Specific Plan (FPASP). As a project that is consistent with existing plans and zoning and which would not result in any new or more severe environmental effects to the project or the parcels or which were not previously analyzed as significant effects in the FPASP EIR/EIS, the proposed project is eligible for the exemption from review under the California Environmental Quality Act (CEQA) provided by Government Code section 65457 and CEQA Guidelines sections 15182 and 15183

ATTACHED REFERENCE MATERIAL

1. Vicinity Map
2. Approved Site Plan for Mangini Ranch Village 1 and 2 Subdivision
3. Building Articulation Plans, dated October 24, 2017
4. Building Elevations and Floor Plans, dated October 24, 2017
5. Color Streetscenes, dated October 24, 2017
6. Color and Material Details, dated June 20, 2017
7. Folsom Ranch Central District Design Guidelines

PROJECT PLANNER

Steve Banks, Principal Planner

BACKGROUND

On June 23, 2015, the City Council approved a Large Lot Vesting Tentative Subdivision Map, Small Lot Vesting Tentative Subdivision Map, Amendment No. 1 to the First Amended and Restated Development Agreement, Design Guidelines, and an Inclusionary Housing Plan for development of an 833-unit single-family residential subdivision known as Mangini Ranch on a 418-acre site generally situated south of an Alder Creek tributary, west of Placerville Road, north of White Rock Road, and east of East Bidwell Street (formerly Scott Road) within the Folsom Plan Area. The Large-Lot Vesting Tentative Subdivision Map was approved to subdivide the existing 418-acre site into thirty-seven (37) individual parcels for future sale and development. The Small-Lot Vesting Tentative Subdivision Map was approved to subdivide the newly created single-family residential large lots into an 833-unit single-family residential subdivision. Lastly, the Folsom Ranch Central District Design Guidelines and Development Regulations were approved for the orderly development of the proposed single-family residential subdivision.

Subsequent to City Council approval of the Mangini Ranch Subdivision project, the applicant has been working with other landowners within the Folsom Plan Area in an effort to design and permit the infrastructure improvements to serve the project. On March 28, 2017, the City Council approved the Large-Lot Final Map for the Mangini Ranch Subdivision. In early April, backbone infrastructure improvements (e.g., major roadways, utilities) for the Folsom Plan Area commenced and are expected to take 18-24 months to complete. On April 7, 2017, the Large-Lot Final Map for the Mangini Ranch Subdivision was recorded by the applicant with the County. In addition, two of the four Small-Lot Final Maps (including Village 1 and 2) were filed with the City for development of the initial 387 single-family residential lots associated with the Mangini Ranch Subdivision. On June 13, 2017, the City Council approved a three-year extension in time for the previously approved Small-Lot Vesting Tentative Subdivision Map associated with development of the Mangini Ranch Subdivision project, which are now valid through June 13, 2020.

APPLICANT'S PROPOSAL

The applicant, Taylor Morrison of California, is requesting residential design review approval for 206 single-family residential units situated within the Village 1 and 2 portions of the previously approved 833-unit Mangini Ranch Subdivision project. Specifically, the applicant is requesting design review approval for eight (8) individual master home plans within the subdivision. The master home plans include five (5) distinct California heritage-themed architectural styles (Craftsman, European Cottage, Farmhouse, Italian Villa, and Spanish Colonial) with fifteen (15) color and material alternatives. The proposed master home plans include a combination of one-story, one-story with pop-up, and two-story homes, ranging in size from 1,795 to 2,971 square feet (3BR/2BA to 4BR/3BA). All of the proposed master home plans include an attached two-car garage. The five classic design themes are characterized by a variety of unique architectural elements including varied roof shapes and forms, covered entries, prominent window design, and enhanced decorative elements. Proposed building materials include stucco, vertical and horizontal board and batten siding, board and batten accents, stone veneer, brick veneer, louvered panel shutters, decorative corbels and outlookers, wood accents, themed garage doors, and concrete roof tiles. In addition, there are fifteen distinct color and material alternatives available for each of the master home plans resulting in 120 different visual expressions.

Architecture/Design

Each of the five proposed architectural styles proposed for the Mangini Ranch Village 1 and 2 Subdivision are described below.

Craftsman

Influenced by the English Arts and Crafts movement of the late 19th century and stylized by California architects, the Craftsman style focused on exterior elements with tasteful and artful attention to detail. Originating in California, Craftsman architecture relied on the simple house tradition, combining hip and gable roof forms with wide, livable porches, and broad overhanging eaves. Extensive built-in elements define this style, treating details such as windows and porches as if they were furniture. The horizontal nature of this style is emphasized by exposed rafter tails and knee braces below broad overhanging eaves constructed in rustic-textured building materials. The overall effect is the creation of a natural, warm, and livable home of artful and expressive character.

European Cottage

The European Cottage is a style that evolved out of medieval Tudor and Normandy architecture. This evolving character that eventually resulted in the English and French “Cottage” became extremely popular when the addition of stone and brick veneer details was developed in the 1920’s. Although the cottage is thought of as small and unpretentious, the style was quickly recognized as one of the most popular in America. Designs for the homes typically reflected the rural setting in which they evolved. Many established older neighborhoods across the United States contain homes with the charm and character of this unpretentious style. Roof pitches for these homes are steeper than traditional homes, and are comprised of gables, hips, and half-hip forms. The primary material is stucco with heavy use of stone and brick at bases, chimneys, and entry elements. Some of the most recognizable features for this style are the accent details in gable ends, sculptured swooping walls at the front elevation, and tower or alcove elements at the entry.

Farmhouse

The Farmhouse represents a practical and picturesque country house. Its beginnings are traced to both Colonial styles from New England and the Midwest. As the American frontier moved westward, the American Farmhouse style evolved according to the availability of materials and technological advancements, such as balloon framing. Predominant features of the style are large wrapping front porches with a variety of wood columns and railings. Two-story massing, dormers, and symmetrical elevations occur most often on the New England Farmhouse variations. The asymmetrical, casual cottage look, with a more decorated appearance, is typical of the Western American Farmhouse. Roof ornamentation is a characteristic detail consisting of cupolas, weather vanes, and dovecotes.

Italian Villa

The Italian Villa was one of the most fashionable architectural styles in the United States in the 1860’s. Appearing on architect-designed landmarks in larger cities, the style was based on formal and rigidly symmetrical palaces of the Italian Renaissance. Although residential adaptations generated less formality, traditional classical elements, such as the symmetrical facade, squared tower entry forms, arched windows, and bracketed eaves, persisted as the enduring traits of this style. When cast iron became a popular building material, it became a part of the Italianate vocabulary, embellishing homes with a variety of designs for balconies, porches, railings, and fences.

Spanish Colonial

The Spanish Colonial style evolved in California and the southwest as an adaptation of Mission Revival infused with additional elements and details from Latin America. The style attained widespread popularity after its use in the Panama-California Exposition of 1915. Key features of this style were adapted to the California lifestyle. Plans were informally organized around a courtyard with the front elevation very simply articulated and detailed. The charm of this style lies in the directness, adaptability, and contrasts of materials and textures.

The proposed project is located within the central portion of the Folsom Plan Area, thus it is subject to the Folsom Ranch Central District Design Guidelines approved by the City Council in 2015. The Design Guidelines are a complementary document to the Folsom Plan Area Specific Plan and the Folsom Plan Area Specific Plan Community Guidelines. These Design Guidelines provide the design framework for architecture, streetscene, and landscaping to convey a master home plan identity. The Design Guidelines also guide the pattern and intensity of development for the Central District to ensure a high quality and aesthetically cohesive environment. While these Design Guidelines establish the quality of architectural and landscape development for the master home plan, they are not intended to prevent alternative designs and/or concepts that are compatible with the overall project theme.

As a regulatory tool, the Design Guidelines are intended to assist applicants in creating single-family residential neighborhoods that reflect the City's rich history, reinforce the sense of community, and utilize sustainable best practices. In addition, the Design Guidelines are intended to be used by builders and developers when designing their Master Plot Plans. Any development project that is submitted to the City must be reviewed for consistency with these Design Guidelines. The following are the general architectural principles intended to guide the design of the Folsom Ranch, Central District to ensure quality development:

- Provide a varied and interesting streetscene
- Focus of the home is the front elevation, not the garage
- Provide a variety of garage placements
- Provide detail on rear elevations where visible from the public streets
- Choose appropriate massing and roof forms to define the architectural styles
- Ensure that plans and styles provide a degree of individuality
- Use architectural elements and details to reinforce individual architectural styles

In addition to the general architectural principles referenced previously, the Design Guidelines also provide specific direction regarding a number of architectural treatments and features including: edge conditions, corner buildings, building forms, off-set massing forms, front elevations, roof forms, feature windows, architectural projects, balconies, lower height elements, garage door treatments, outdoor living spaces, exterior structures, building materials, and color criteria. The

following are examples of guidelines for architectural treatments and features that are relevant to the proposed project:

- Provide a mix of hip and gable roof forms along the streetscene
- Provide off-set massing, forms, or wall planes
- Provide recessed second-story elements
- Provide enhanced style-appropriate details on the front building elevation
- Provide decorative window shelves or sill treatments
- Provide architectural projections (recessed windows, eaves, shutters, etc.)
- Provide garage doors that are consistent with the architecture of the building
- Provide variety in the garage door patterns
- Provide outdoor living spaces (porches, balconies, courtyards, etc.)

In reviewing the architecture and design of the project, staff determined that the design of the eight proposed master home plans accurately reflect the level and type of high quality design features recommended by the Folsom Ranch Central District Design Guidelines. This includes five elevation plans, fifteen color and material alternatives, and 120 architectural and visual expressions. Specifically, the master home plans are responsive to views on all four building elevations and include a variety of unique architectural elements that create an interesting streetscape scene including: off-set building massing, a mixture of hip and gable roof forms, architectural projections, recessed second-story elements, decorative enhancements, and varied garage door designs.

The proposed building materials are consistent with the materials recommended by the Folsom Ranch Central District Design Guidelines. Materials include stucco, vertical and horizontal board and batten siding, board and batten accents, stone veneer, brick veneer, louvered panel shutters, decorative corbels and outlookers, wood accents, themed garage doors, and concrete roof tiles. In addition, the proposed project includes distinct (earth-tone) color schemes that will enhance the visual interest of each of the master plans. Taking into consideration the aforementioned architectural details, materials, and colors, staff has determined that the design of the master home plans is consistent with the design principles established by the Design Guidelines. Staff forwards the following design recommendations to the Commission for consideration:

1. This approval is for eight, one and two-story master home plans (five building elevations with fifteen color and material options and 120 visual expressions) for the Mangini Ranch Village 1 and 2 Subdivision. The applicant shall submit building plans that comply with this approval, the attached building elevations dated October 24, 2017.

2. The design, materials, and colors of the proposed Mangini Ranch Village 1 and 2 Subdivision single-family residential units shall be consistent with the submitted building elevations, materials samples, and color scheme to the satisfaction of the Community Development Department.
3. The Community Development Department shall approve the individual lot permits to assure no duplication or repetition of the same house, same roof-line, same elevation style, side-by-side, or across the street from each other.
4. All mechanical equipment shall be ground-mounted and concealed from view of public streets, neighboring properties and nearby higher buildings. For lots abutting the open space areas, mechanical equipment shall be located out of view from open space areas.
5. Decorative light fixtures, consistent with the Folsom Ranch Central District Design Guidelines, shall be added to the front and rear building elevation of each Master Home Plan to the satisfaction of the Community Development Department.
6. A minimum of two trees (one street tree and one accent tree) shall be planted in the front yard of each residential lot within the subdivision. A minimum of three trees are required along the street-side of all corner lots. All front yard irrigation and landscaping shall be installed prior to a Building Permit Final.

These recommendations listed above are included in the conditions of approval as requirements presented for consideration by the Planning Commission (Condition No. 12).

ENERGY CONSERVATION

To reduce impacts in terms of energy and water consumption, the proposed project is required to meet the 2017 Title 24 Building Envelope Energy Efficiency Standards. The project will be allowed to achieve this performance standard through a combination of measures to reduce energy use for heating, cooling, water heating and ventilation. Because energy use for each different system type (i.e., heating, cooling, water heating, and ventilation) as well as appliances is defined, this method will also easily allow for application of individual measures aimed at reducing the energy use of these devices in a prescriptive manner.

ENVIRONMENTAL REVIEW

The City, as lead agency, previously determined that the Mangini Ranch Subdivision project is entirely consistent with the Folsom Plan Area Specific Plan (FPASP). As a project that is consistent with existing plans and zoning and which would not result in any new or more severe environmental effects to the project or the parcels or which were not previously analyzed as significant effects in the FPASP EIR/EIS, the proposed project is eligible for the exemption from review under the California Environmental Quality Act (CEQA) provided by Government Code section 65457 and CEQA Guidelines sections 15182 and 15183.

RECOMMENDATION/PLANNING COMMISSION ACTION

MOVE TO APPROVE THE DESIGN REVIEW APPLICATION FOR 206 SINGLE-FAMILY RESIDENTIAL UNITS AS ILLUSTRATED ON ATTACHMENTS 3 THROUGH 7 FOR THE MANGINI RANCH VILLAGE 1 AND 2 SUBDIVISION PROJECT WITH THE FOLLOWING FINDINGS AND CONDITIONS (NO. 1-14).

GENERAL FINDINGS

- A. NOTICE OF HEARING HAS BEEN GIVEN AT THE TIME AND IN THE MANNER REQUIRED BY STATE LAW AND CITY CODE.
- B. THE PROJECT IS CONSISTENT WITH THE GENERAL PLAN, THE FOLSOM PLAN AREA SPECIFIC PLAN, AND THE FOLSOM RANCH CENTRAL DISTRICT DESIGN GUIDELINES.

CEQA FINDING

- C. THE CITY, AS LEAD AGENCY, PREVIOUSLY DETERMINED THAT THE MANGINI RANCH SUBDIVISION PROJECT IS ENTIRELY CONSISTENT WITH THE FOLSOM PLAN AREA SPECIFIC PLAN (FPASP). AS A PROJECT THAT IS CONSISTENT WITH EXISTING PLANS AND ZONING AND WHICH WOULD NOT RESULT IN ANY NEW OR MORE SEVERE ENVIRONMENTAL EFFECTS TO THE PROJECT OR THE PARCELS OR WHICH WERE NOT PREVIOUSLY ANALYZED AS SIGNIFICANT EFFECTS IN THE FPASP EIR/EIS, THE PROPOSED PROJECT IS ELIGIBLE FOR THE EXEMPTION FROM REVIEW UNDER THE CALIFORNIA ENVIRONMENTAL QUALITY ACT (CEQA) PROVIDED BY GOVERNMENT CODE SECTION 65457 AND CEQA GUIDELINES SECTIONS 15182 AND 15183.

DESIGN REVIEW FINDINGS

- D. THE PROJECT IS IN COMPLIANCE WITH THE GENERAL PLAN AND ANY APPLICABLE DESIGN GUIDELINES (FOLSOM RANCH CENTRAL DISTRICT DESIGN GUIDELINES) AND THE FOLSOM PLAN AREA SPECIFIC PLAN.

Submitted,



PAM JOHNS
Community Development Director

CONDITIONS

See attached tables of conditions for which the following legend applies.

RESPONSIBLE DEPARTMENT		WHEN REQUIRED	
CD	Community Development	I	Prior to approval of Improvement Plans
(P)	Planning Division	M	Prior to approval of Final Map
(E)	Engineering Division	B	Prior to issuance of first Building Permit
(B)	Building Division	O	Prior to approval of Occupancy Permit
(F)	Fire Division	G	Prior to issuance of Grading Permit
PW	Public Works Department	DC	During construction
PR	Park and Recreation Department	OG	On-going requirement
PD	Police Department		

**CONDITIONS OF APPROVAL FOR THE MANGINI RANCH VILLAGE 1 AND 2 SUBDIVISION PROJECT (PN 17-322)
FOLSOM PLAN AREA
RESIDENTIAL DESIGN REVIEW**

	Mitigation Measure	Condition/Mitigation Measure	When Required	Responsible Department
1.		<p>The applicant shall submit final site development plans to the Community Development Department that shall substantially conform to the exhibits referenced below:</p> <ul style="list-style-type: none"> • Building Articulation Plans, dated October 24, 2017 • Building Elevations and Floor Plans, dated October 24, 2017 • Color Streetscenes, dated October 24, 2017 • Color and Material Details, dated June 20, 2017 <p>This project approval is for Mangini Ranch Village 1 and 2 Subdivision Residential Design Review, which includes architectural and design details for 206 single-family residential units situated within Village 1 and 2 of the Mangini Ranch Subdivision project. Implementation of the project shall be consistent with the above-referenced items as modified by these conditions of approval.</p>	B	CD (P)(E)
2.		<p>Building plans shall be submitted to the Community Development Department for review and approval to ensure conformance with this approval and with relevant codes, policies, standards and other requirements of the City of Folsom.</p>	B	CD (P)(E)(B)
3.		<p>The project approvals granted under this staff report (Residential Design Review) shall remain in effect for one year from final date of approval (November 1, 2018). Failure to obtain the relevant building (or other) permits within this time period, without the subsequent extension of this approval, shall result in the termination of this approval.</p>	B	CD (P)

**CONDITIONS OF APPROVAL FOR THE MANGINI RANCH VILLAGE 1 AND 2 SUBDIVISION PROJECT (PN 17-322)
FOLSOM PLAN AREA
RESIDENTIAL DESIGN REVIEW**

	Mitigation Measure	Condition/Mitigation Measure	When Required	Responsible Department
4.		<p>The owner/applicant shall defend, indemnify, and hold harmless the City and its agents, officers and employees from any claim, action or proceeding against the City or its agents, officers or employees to attack, set aside, void, or annul any approval by the City or any of its agencies, departments, commissions, agents, officers, employees, or legislative body concerning the project. The City will promptly notify the owner/applicant of any such claim, action or proceeding, and will cooperate fully in the defense. The City may, within its unlimited discretion, participate in the defense of any such claim, action or proceeding if both of the following occur:</p> <ul style="list-style-type: none"> • The City bears its own attorney's fees and costs; and • The City defends the claim, action or proceeding in good faith <p>The owner/applicant shall not be required to pay or perform any settlement of such claim, action or proceeding unless the settlement is approved by the owner/applicant.</p>	OG	CD (P)(E)(B) PW, PR, FD, PD, NS
DEVELOPMENT COSTS AND FEE REQUIREMENTS				
5.		The owner/applicant shall pay all applicable taxes, fees and charges at the rate and amount in effect at the time such taxes, fees and charges become due and payable.	B	CD (P)(E)
6.		If applicable, the owner/applicant shall pay off any existing assessments against the property, or file necessary segregation request and pay applicable fees.	B	CD (E)
7.		The City, at its sole discretion, may utilize the services of outside legal counsel to assist in the implementation of this project, including, but not limited to, drafting, reviewing and/or revising agreements and/or other documentation for the project. If the City utilizes the services of such outside legal counsel, the applicant shall reimburse the City for all outside legal fees and costs incurred by the City for such services. The applicant may be required, at the sole discretion of the City Attorney, to submit a deposit to the City for these services prior to initiation of the services. The applicant shall be responsible for reimbursement to the City for the services regardless of whether a deposit is required.	B	CD (P)(E)

CONDITIONS OF APPROVAL FOR THE MANGINI RANCH VILLAGE 1 AND 2 SUBDIVISION PROJECT (PN 17-322)
FOLSOM PLAN AREA
RESIDENTIAL DESIGN REVIEW

	Mitigation Measure	Condition/Mitigation Measure	When Required	Responsible Department
8.		<p>If the City utilizes the services of consultants to prepare special studies or provide specialized design review or inspection services for the project, the applicant shall reimburse the City for actual costs it incurs in utilizing these services, including administrative costs for City personnel. A deposit for these services shall be provided prior to initiating review of the Final Map, improvement plans, or beginning inspection, whichever is applicable.</p>	B	CD (P)(E)
9.		<p>This project shall be subject to all City-wide development impact fees, unless exempt by previous agreement. This project shall be subject to all City-wide development impact fees in effect at such time that a building permit is issued. These fees may include, but are not limited to, fees for fire protection, park facilities, park equipment, Humbug-Willow Creek Parkway, Light Rail, TSM, capital facilities and traffic impacts. The 90-day protest period for all fees, dedications, reservations or other exactions imposed on this project will begin on the date of final approval (November 1, 2017). The fees shall be calculated at the fee rate in effect at the time of building permit issuance.</p>	B	CD (P)(E), PW, PK
10.		<p>The owner/applicant agrees to pay to the Folsom-Cordova Unified School District the maximum fee authorized by law for the construction and/or reconstruction of school facilities. The applicable fee shall be the fee established by the School District that is in effect at the time of the issuance of a building permit. Specifically, the owner/applicant agrees to pay any and all fees and charges and comply with any and all dedications or other requirements authorized under Section 17620 of the Education Code; Chapter 4.7 (commencing with Section 65970) of the Government Code; and Sections 65995, 65995.5 and 65995.7 of the Government Code.</p>	B	CD (P)

ARCHITECTURE/SITE DESIGN REQUIREMENTS

11.		<p>Final exterior building and site lighting plans shall be submitted for review and approval by Community Development Department for aesthetics, level of illumination, glare and trespass prior to the issuance of any building permits. The exterior building and site lighting will be required to achieve energy efficient standards by installing high-intensity discharge (mercury vapor, high pressure sodium, or similar) lamps. Lighting shall be equipped with a timer or photo condenser. Lighting shall be designed to be directed downward onto the project site and away from adjacent properties and public rights-of-way.</p>	B	CD (P)
-----	--	--	---	--------

12.

The project shall comply with the following architecture and design requirements:

1. This approval is for eight, one and two-story master home plans (five building elevations with fifteen color and material options and 120 visual expressions) for the Mangini Ranch Village 1 and 2 Subdivision. The applicant shall submit building plans that comply with this approval, the attached building elevations dated October 24, 2017.
2. The design, materials, and colors of the proposed Mangini Ranch Village 1 and 2 Subdivision single-family residential units shall be consistent with the submitted building elevations, materials samples, and color scheme to the satisfaction of the Community Development Department.
3. The Community Development Department shall approve the individual lot permits to assure no duplication or repetition of the same house, same roof-line, same elevation style, side-by-side, or across the street from each other.
4. All mechanical equipment shall be ground-mounted and concealed from view of public streets, neighboring properties and nearby higher buildings. For lots abutting the open space areas, mechanical equipment shall be located out of view from open space areas.
5. Decorative light fixtures, consistent with the Folsom Ranch Central District Design Guidelines, shall be added to the front and rear building elevation of each Master Plan to the satisfaction of the Community Development Department.
6. A minimum of two trees (one street tree and one accent tree) shall be planted in the front yard of each residential lot within the subdivision. A minimum of three trees are required along the street-side of all corner lots. All front yard irrigation and landscaping shall be installed prior to a Building Permit Final.

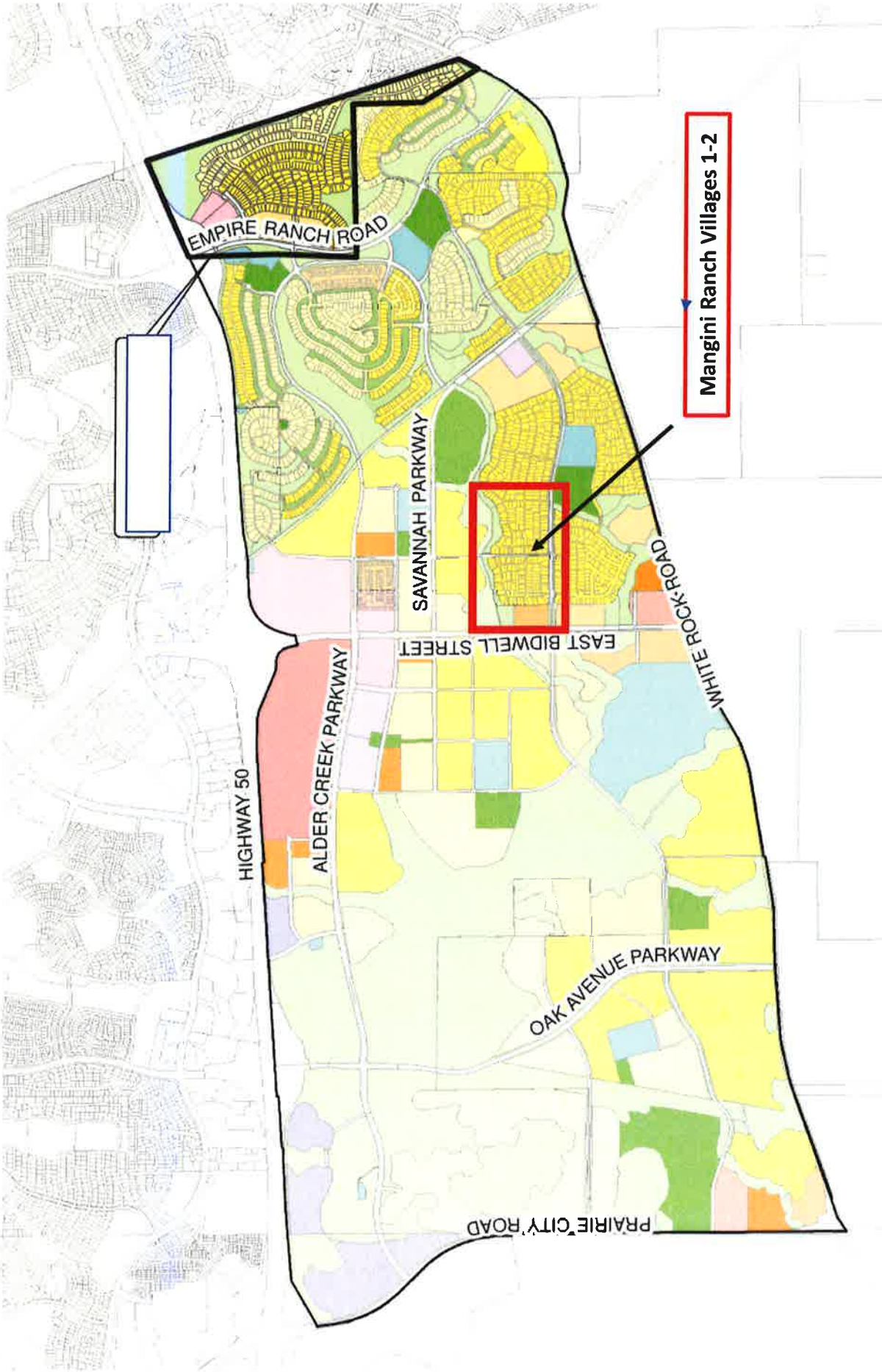
B

CD (P) (B)

FIRE DEPARTMENT REQUIREMENT			
13.		B	FD
<p>The building shall have illuminated addresses visible from the street or drive fronting the property. Size and location of address identification shall be reviewed and improved by the Fire Marshal.</p>			
POLICE/SECURITY REQUIREMENT			
14.		B	PD
<p>The owner/applicant shall consult with the Police Department in order to incorporate all reasonable crime prevention measures. The following security/safety measures shall be required:</p> <ul style="list-style-type: none"> • A security guard shall be on-duty at all times at the site or another approved security measure shall be in place including but not limited to a six-foot security fence shall be constructed around the perimeter of construction areas. (This requirement shall be included on the approved construction drawings). • Security measures for the safety of all construction equipment and unit appliances shall be employed. • Landscaping shall not cover exterior doors or windows, block line-of-sight at intersections or screen overhead lighting. 			

Attachment 1

Vicinity Map



Vicinity Map

Attachment 2

Approved Site Plan for Mangini Ranch Village 1 and 2 Subdivision

LAND USE SUMMARY

LOT NUMBER	GENERAL PLAN / ZONING	LAND USE	GROSS ACRES	NET ACRES	DK
1	OS	OPEN SPACE	1.15	1.15	18
2	OS	OPEN SPACE	1.15	1.15	18
3	OS	OPEN SPACE	1.15	1.15	18
4	OS	OPEN SPACE	1.15	1.15	18
5	OS	OPEN SPACE	1.15	1.15	18
6	OS	OPEN SPACE	1.15	1.15	18
7	OS	OPEN SPACE	1.15	1.15	18
8	OS	OPEN SPACE	1.15	1.15	18
9	OS	OPEN SPACE	1.15	1.15	18
10	OS	OPEN SPACE	1.15	1.15	18
11	OS	OPEN SPACE	1.15	1.15	18
12	OS	OPEN SPACE	1.15	1.15	18
13	OS	OPEN SPACE	1.15	1.15	18
14	OS	OPEN SPACE	1.15	1.15	18
15	OS	OPEN SPACE	1.15	1.15	18
16	OS	OPEN SPACE	1.15	1.15	18
17	OS	OPEN SPACE	1.15	1.15	18
18	OS	OPEN SPACE	1.15	1.15	18
19	OS	OPEN SPACE	1.15	1.15	18
20	OS	OPEN SPACE	1.15	1.15	18
21	OS	OPEN SPACE	1.15	1.15	18
22	OS	OPEN SPACE	1.15	1.15	18
23	OS	OPEN SPACE	1.15	1.15	18
24	OS	OPEN SPACE	1.15	1.15	18
25	OS	OPEN SPACE	1.15	1.15	18
26	OS	OPEN SPACE	1.15	1.15	18
27	OS	OPEN SPACE	1.15	1.15	18
28	OS	OPEN SPACE	1.15	1.15	18
29	OS	OPEN SPACE	1.15	1.15	18
30	OS	OPEN SPACE	1.15	1.15	18
31	OS	OPEN SPACE	1.15	1.15	18
32	OS	OPEN SPACE	1.15	1.15	18
33	OS	OPEN SPACE	1.15	1.15	18
34	OS	OPEN SPACE	1.15	1.15	18
35	OS	OPEN SPACE	1.15	1.15	18
36	OS	OPEN SPACE	1.15	1.15	18
37	OS	OPEN SPACE	1.15	1.15	18
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40	OS	OPEN SPACE	1.15	1.15	18
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47	OS	OPEN SPACE	1.15	1.15	18
48	OS	OPEN SPACE	1.15	1.15	18
49	OS	OPEN SPACE	1.15	1.15	18
50	OS	OPEN SPACE	1.15	1.15	18
51	OS	OPEN SPACE	1.15	1.15	18
52	OS	OPEN SPACE	1.15	1.15	18
53	OS	OPEN SPACE	1.15	1.15	18
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64	OS	OPEN SPACE	1.15	1.15	18
65	OS	OPEN SPACE	1.15	1.15	18
66	OS	OPEN SPACE	1.15	1.15	18
67	OS	OPEN SPACE	1.15	1.15	18
68	OS	OPEN SPACE	1.15	1.15	18
69	OS	OPEN SPACE	1.15	1.15	18
70	OS	OPEN SPACE	1.15	1.15	18
71	OS	OPEN SPACE	1.15	1.15	18
72	OS	OPEN SPACE	1.15	1.15	18
73	OS	OPEN SPACE	1.15	1.15	18
74	OS	OPEN SPACE	1.15	1.15	18
75	OS	OPEN SPACE	1.15	1.15	18
76	OS	OPEN SPACE	1.15	1.15	18
77	OS	OPEN SPACE	1.15	1.15	18
78	OS	OPEN SPACE	1.15	1.15	18
79	OS	OPEN SPACE	1.15	1.15	18
80	OS	OPEN SPACE	1.15	1.15	18
81	OS	OPEN SPACE	1.15	1.15	18
82	OS	OPEN SPACE	1.15	1.15	18
83	OS	OPEN SPACE	1.15	1.15	18
84	OS	OPEN SPACE	1.15	1.15	18
85	OS	OPEN SPACE	1.15	1.15	18
86	OS	OPEN SPACE	1.15	1.15	18
87	OS	OPEN SPACE	1.15	1.15	18
88	OS	OPEN SPACE	1.15	1.15	18
89	OS	OPEN SPACE	1.15	1.15	18
90	OS	OPEN SPACE	1.15	1.15	18
91	OS	OPEN SPACE	1.15	1.15	18
92	OS	OPEN SPACE	1.15	1.15	18
93	OS	OPEN SPACE	1.15	1.15	18
94	OS	OPEN SPACE	1.15	1.15	18
95	OS	OPEN SPACE	1.15	1.15	18
96	OS	OPEN SPACE	1.15	1.15	18
97	OS	OPEN SPACE	1.15	1.15	18
98	OS	OPEN SPACE	1.15	1.15	18
99	OS	OPEN SPACE	1.15	1.15	18
100	OS	OPEN SPACE	1.15	1.15	18
TOTAL			100.00	100.00	



(Sacramento County)



ILLUSTRATIVE MASTER PLAN EXHIBIT

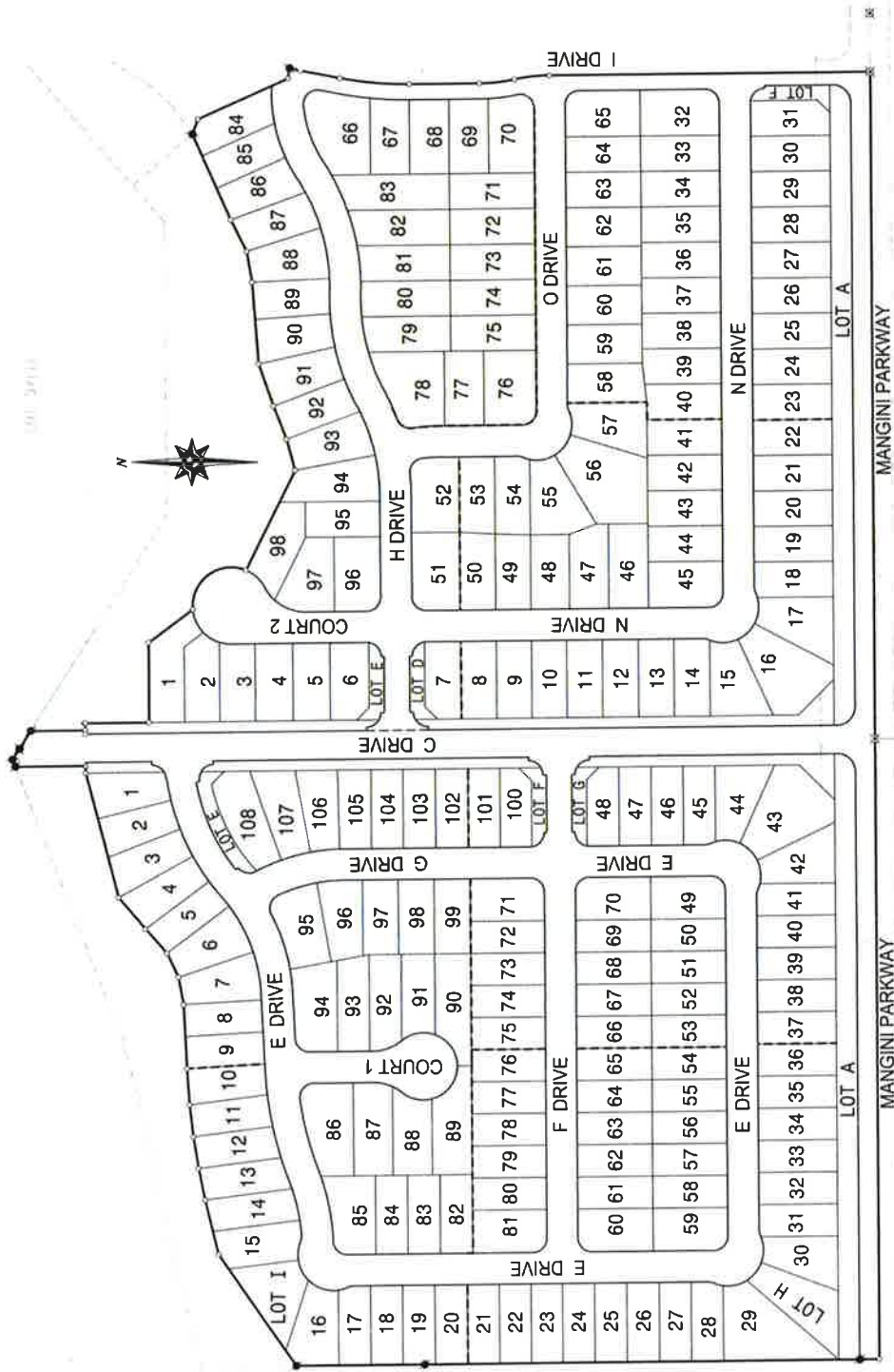
Mangini Ranch

August 14, 2014

Scale: 1" = 200'

MACKAY & SOMPS
ENGINEERS PLANNERS SURVEYORS

MANGINI RANCH SITE PLAN

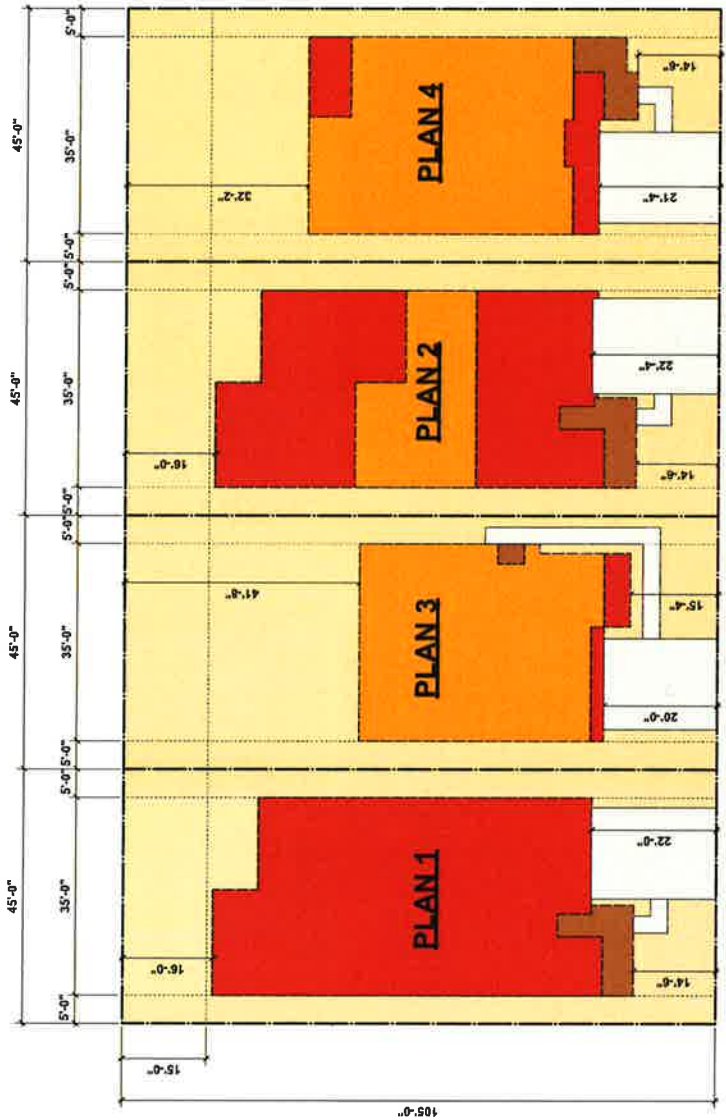


MANGINI RANCH
Folsom, California



Attachment 3

Building Articulation Plans, dated October 24, 2017



LOT COVERAGE - PLAN 4			
1st Floor	1327		
Garage	448		
Covered Porch	115		
TOTAL S.F.	1890		
1891 S.F. / LOT AREA 4725 S.F. = 40%			

LOT COVERAGE - PLAN 2			
1st Floor	1784		
Garage	425		
Covered Porch	123		
TOTAL S.F.	2332		
2454 S.F. / LOT AREA 4725 S.F. = 49.7%			

LOT COVERAGE - PLAN 3			
1st Floor	1096		
Garage	446		
Covered Porch	21		
TOTAL S.F.	1563		
1553 S.F. / LOT AREA 4725 S.F. = 32.9%			

LOT COVERAGE - PLAN 1			
1st Floor	1784		
Garage	427		
Covered Porch	124		
TOTAL S.F.	2335		
2335 S.F. / LOT AREA 4725 S.F. = 49.4%			

COLOR KEY

- Second Story Massing
- First Story Massing
- Covered Porch (One-story element)
- Paved Driveway

SETBACK VARIATIONS

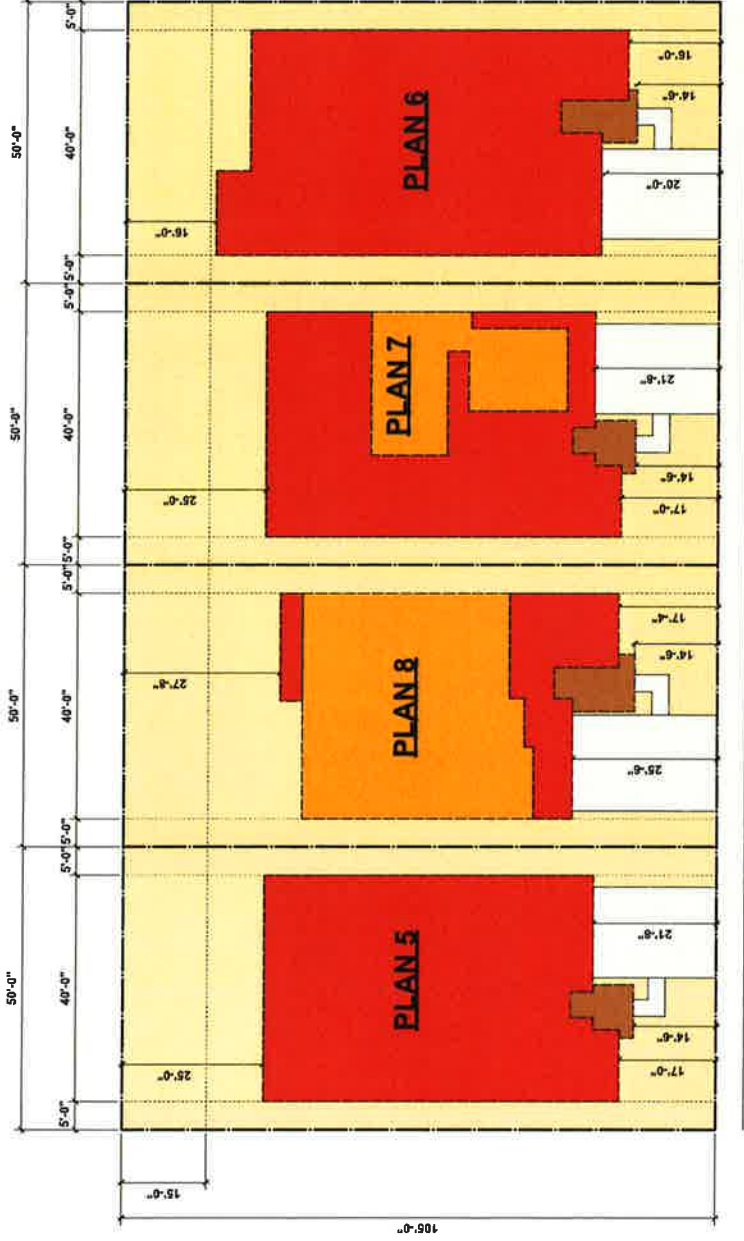
This Articulation Plan depicts the median lot size. Setbacks will vary according to actual lot width and depth. See Development Plan for specific building locations on lots.



BUILDING ARTICULATION PLAN - 45' LOTS
MANGINI RANCH
Folsom, California



980 Tyler Street • 219
 Folsom, CA 95630
 Phone: (916) 746-6586
 10-24-17



1st Floor	2114
Garage	446
Covered Porch	94
TOTAL S.F.	2654
2654 S.F. / LOT AREA 5250 S.F. = 48.9%	

1st Floor	1881
Garage	483
Covered Porch	80
TOTAL S.F.	2444
2444 S.F. / LOT AREA 5250 S.F. = 46.7%	

1st Floor	1881
Garage	483
Covered Porch	80
TOTAL S.F.	2444
2444 S.F. / LOT AREA 5250 S.F. = 46.7%	

1st Floor	1881
Garage	483
Covered Porch	80
TOTAL S.F.	2444
2444 S.F. / LOT AREA 5250 S.F. = 46.7%	

COLOR KEY

- Second Story Massing
- First Story Massing
- Covered Porch (One-story element)
- Paved Driveway

SETBACK VARIATIONS

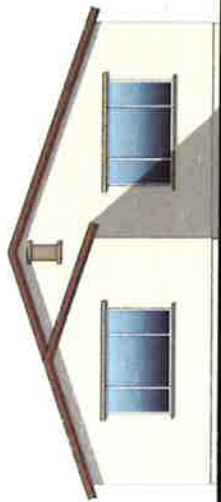
This Articulation Plan depicts the median lot size. Setbacks will vary according to actual lot width and depth. See Development Plan for specific building locations on lots.

BUILDING ARTICULATION PLAN - 50' LOTS
MANGINI RANCH
 Folsom, California

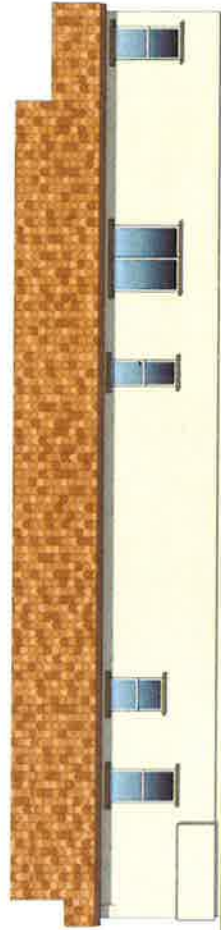


Attachment 4

**Building Elevations and Floor Plans
Dated October 24, 2017**



REAR ELEVATION - PLAN 1A



RIGHT SIDE ELEVATION - PLAN 1A



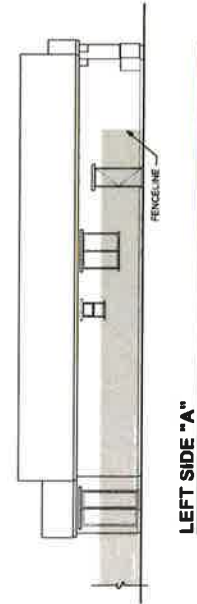
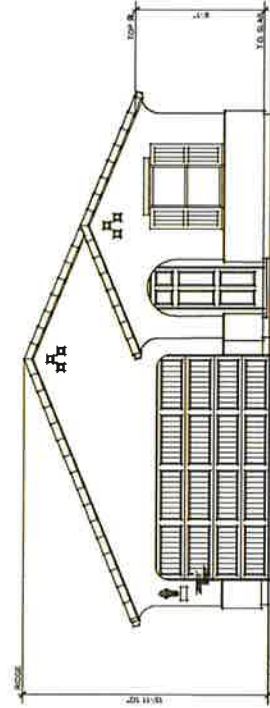
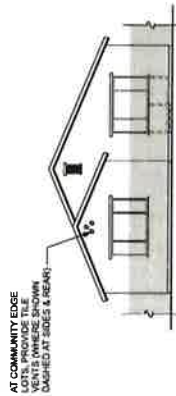
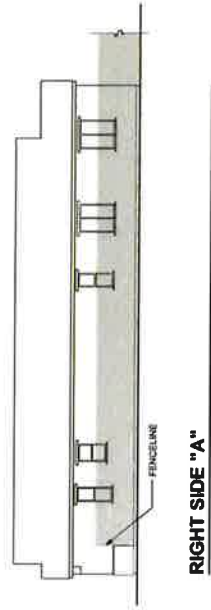
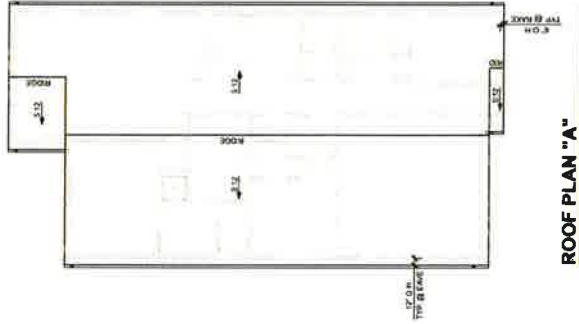
LEFT SIDE ELEVATION - PLAN 1A



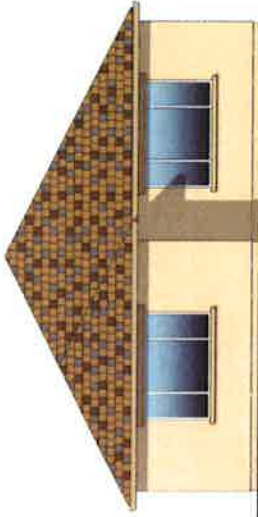
**FRONT ELEVATION - PLAN 1A
(SPANISH COLONIAL)**

SPANISH COLONIAL

- STUCCO SIDING
 - STUCCO OVER FOAM TRIM
 - STUCCO OVER FOAM WAINSCOT
 - DECORATIVE TILE VENTS
 - DECORATIVE SHUTTERS
 - THEME SPECIFIC GARAGE DOOR
 - CYBER GUTTER
 - CONCRETE TILE ROOFING - LOW PROFILE "S"
- INDICATES RECESS



PLAN 1 (1784 S.F.)
MANGINI RANCH
Folsom, California



REAR ELEVATION - PLAN 1B



RIGHT SIDE ELEVATION - PLAN 1B



LEFT SIDE ELEVATION - PLAN 1B



**FRONT ELEVATION - PLAN 1B
(EUROPEAN COTTAGE)**

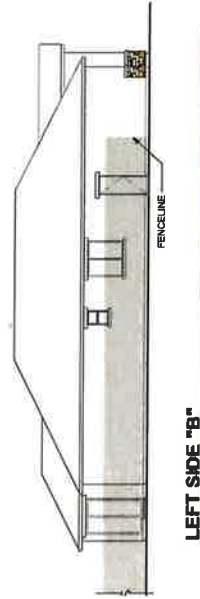
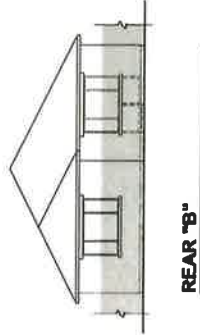
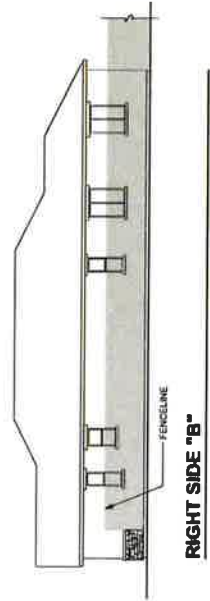
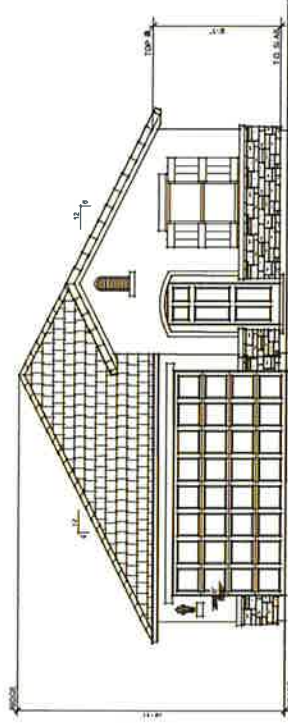
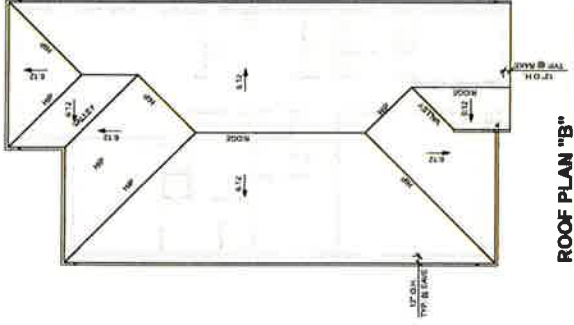


PLAN 1B
MANGINI RANCH
Folsom, California

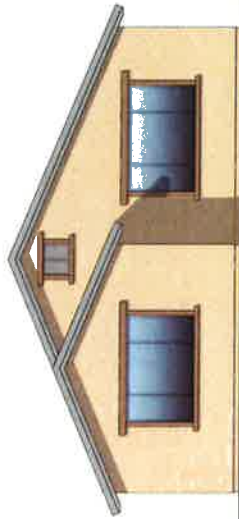


EUROPEAN COTTAGE

- STUCCO SIDING
 - STUCCO OVER FOAM TRIM
 - DECORATIVE ARCHED VEIL
 - DECORATIVE SHUTTERS
 - CULTURED STONE VENEER
 - THEME SPECIFIC GARAGE DOOR
 - D'EGEE GUTTER
 - CONCRETE TILE ROOFING - "SLATE" PROFILE
- INDICATES RECESS



**PLAN 1 (1784 S.F.)
MANGINI RANCH
Folsom, California**



REAR ELEVATION - PLAN 1C



RIGHT SIDE ELEVATION - PLAN 1C



LEFT SIDE ELEVATION - PLAN 1C

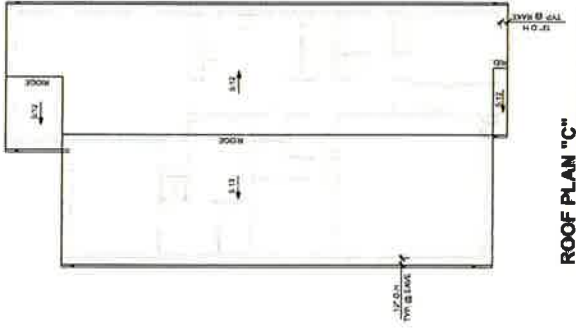


FRONT ELEVATION - PLAN 1C
(CRAFTSMAN)

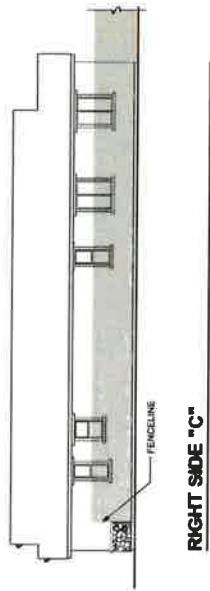
CRAFTSMAN

- STUCCO SIDING
- BOARD AND BATTEN GABLE ENDS
- DECORATIVE GUTTERS
- CUL TURED STONE VENEER
- TRIPLE SPEAKER GARAGE DOOR
- CONCRETE TILE ROOFING - "SHAKE" PROFILE

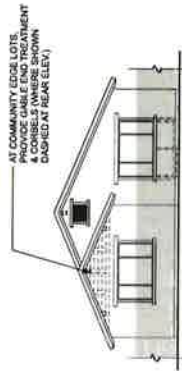
INDICATES RECESS



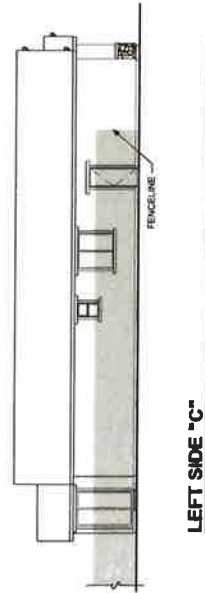
ROOF PLAN "C"



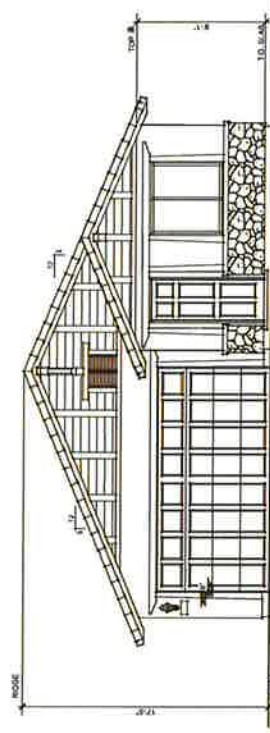
RIGHT SIDE "C"



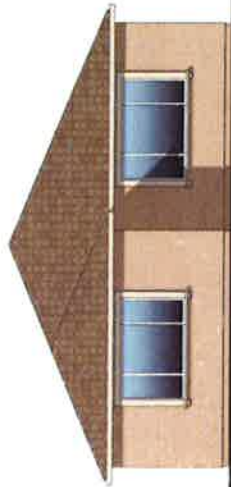
REAR "C"



LEFT SIDE "C"



**FRONT ELEVATION "C"
(CRAFTSMAN)**



REAR ELEVATION - PLAN 1D



RIGHT SIDE ELEVATION - PLAN 1D



LEFT SIDE ELEVATION - PLAN 1D



FRONT ELEVATION - PLAN 1D
(ITALIAN VILLA)

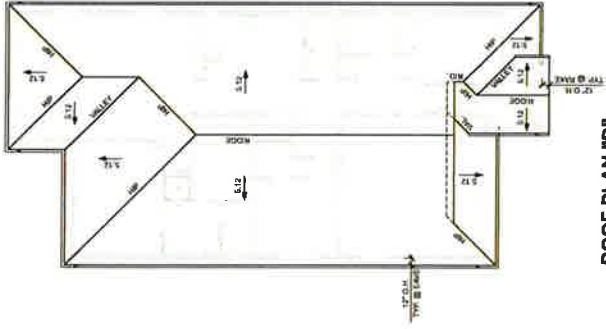


PLAN 1D
MANGINI RANCH
Folsom, California

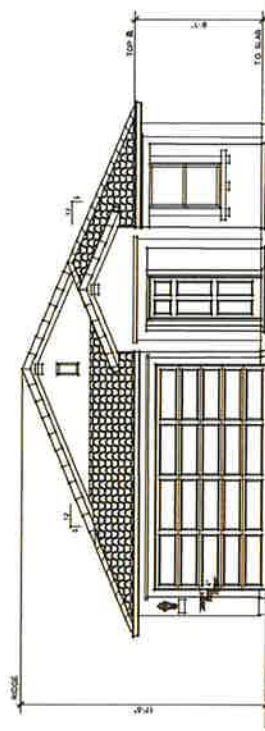


ITALIAN VILLA

- STUCCO SIDING
- STUCCO OVER FOAM TRIM
- DECORATIVE SHELF WITH CORBELS
- DECORATIVE OUTLOOKERS
- STUCCO RECESS
- TRIM SPECIFIC GARAGE DOOR
- D'GREE GUTTER
- CONCRETE TILE ROOFING - LOW PROFILE "S"
- ↳ INDICATES RECESS



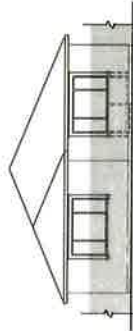
ROOF PLAN "D"



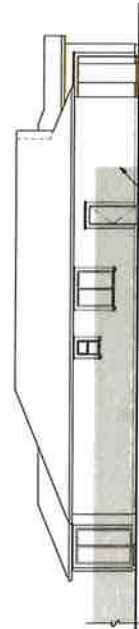
FRONT ELEVATION "D"
(ITALIAN VILLA)



RIGHT SIDE "D"



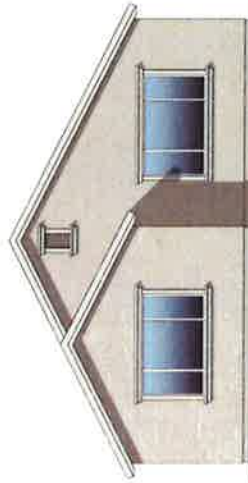
REAR "D"



LEFT SIDE "D"



PLAN 1 (1784 S.F.)
MANGINI RANCH
Folsom, California



REAR ELEVATION - PLAN 1E



RIGHT SIDE ELEVATION - PLAN 1E



LEFT SIDE ELEVATION - PLAN 1E



**FRONT ELEVATION - PLAN 1E
(FARMHOUSE)**



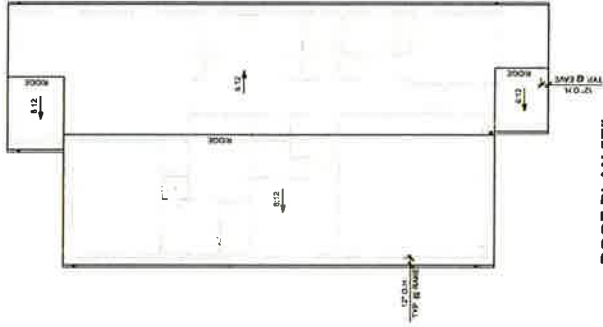
PLAN 1E
MANGINI RANCH
Folsom, California



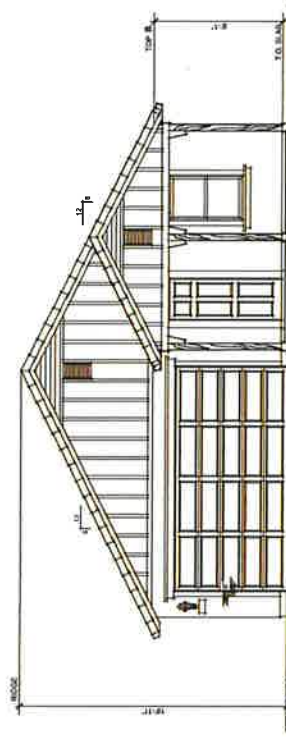
FARMHOUSES

- STUCCO SINGING
- STUCCO OVER FOAM TRIM AT
- STUCCO SINGING
- BOARD & BATTEN AT ACCENT
- WOOD TRIM AT BOARD AND BATTEN
- SUNDRIES
- WOOD POSTS W/ KICKERS
- LOUVERED PANEL SHUTTERS
- THREE SPECIFIC GARAGE DOORS
- GREEN GUTTERS
- CONCRETE TILE ROOFING -
- SLATE PROFILE

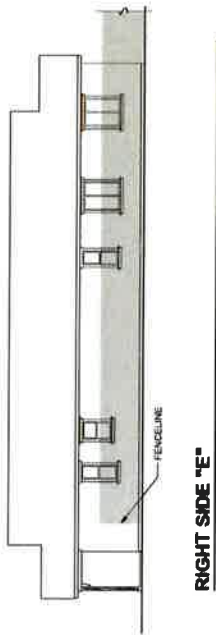
INDICATES RECESS



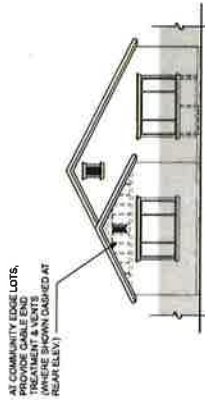
ROOF PLAN "E"



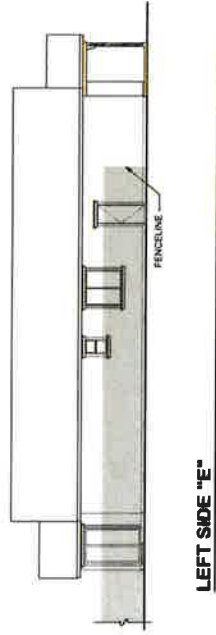
FRONT ELEVATION "E"
(FARMHOUSE)



RIGHT SIDE "E"



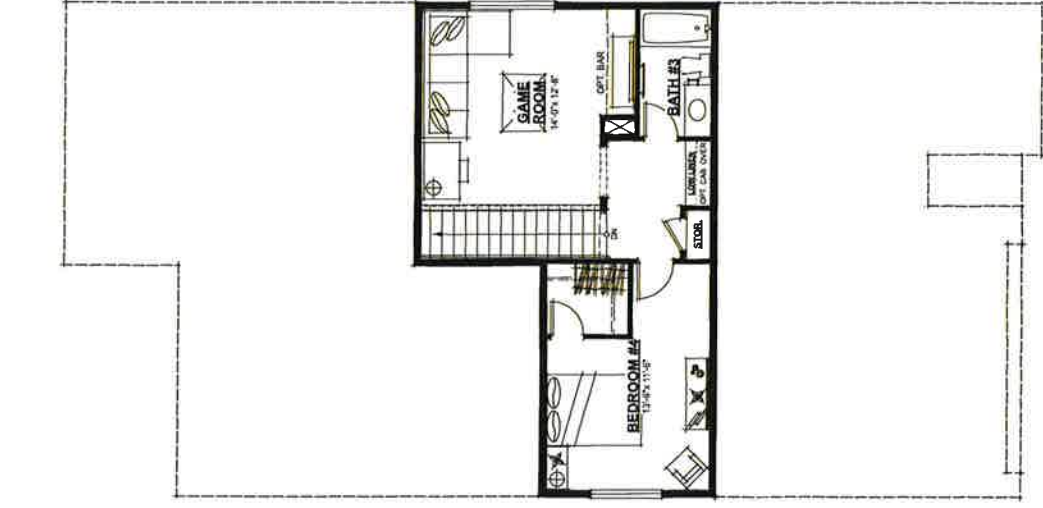
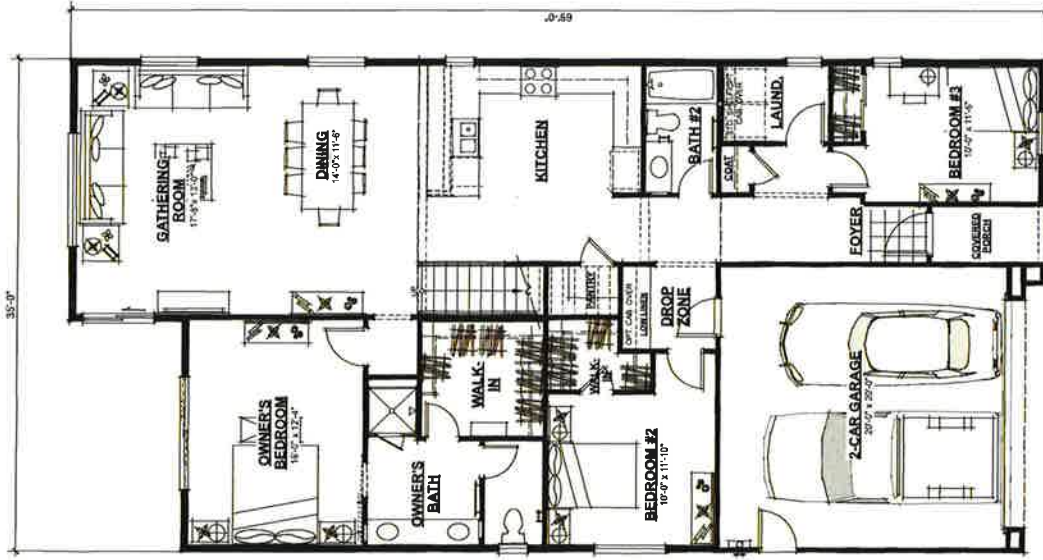
REAR "E"



LEFT SIDE "E"



PLAN 1 (1784 S.F.)
MANGINI RANCH
Folsom, California



AREA SUMMARY - PLAN 2		LIVABLE AREA	
1st Floor	1784	1784	
2nd Floor	551	551	
Garage	425		
Comped Entry	34		
TOTAL	2834	2335	2335

SECOND FLOOR PLAN (551 S.F.)

FIRST FLOOR PLAN (1784 S.F.: 2335 TOTAL S.F.)



PLAN 2 (2335 SF)
MANGINI RANCH
 Folsom, California



540 Tyler Street
 Suite 100
 Folsom, CA 95630
 Phone: (916) 746-6556
 1706 30-34-37



REAR ELEVATION - PLAN 2A



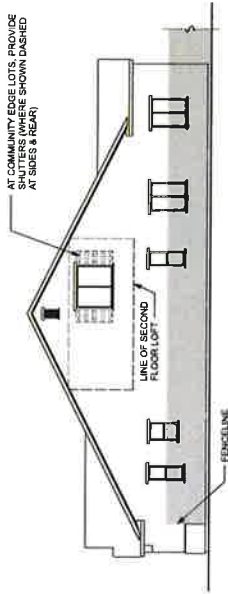
RIGHT SIDE ELEVATION - PLAN 2A



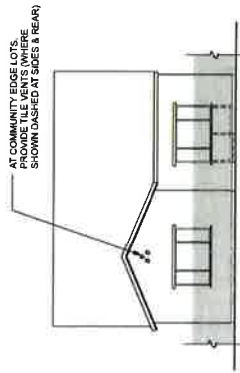
LEFT SIDE ELEVATION - PLAN 2A



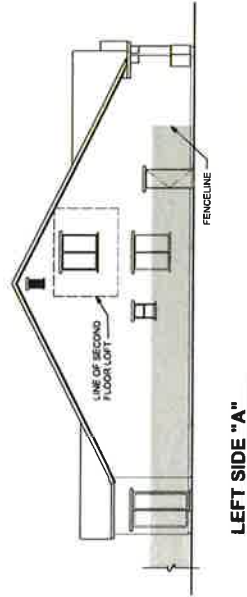
FRONT ELEVATION - PLAN 2A
(SPANISH COLONIAL)



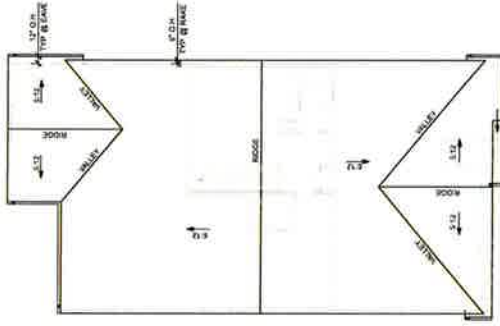
RIGHT SIDE "A"



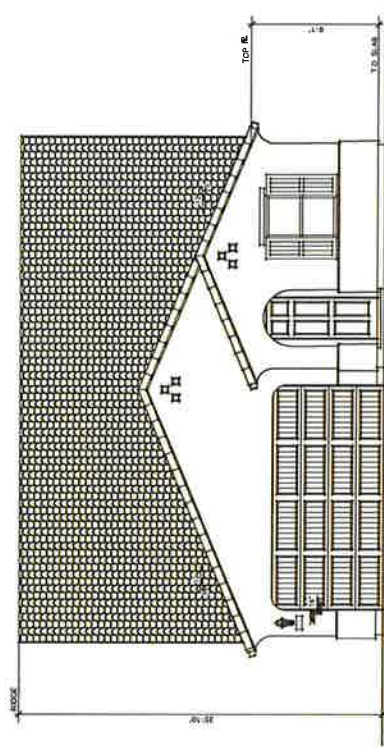
REAR "A"



LEFT SIDE "A"




ROOF PLAN "A"



**FRONT ELEVATION "A"
(SPANISH COLONIAL)**

SPANISH COLONIAL

- STUCCO SIDING
- STUCCO OVER FOAM TRIM
- STUCCO OVER FOAM WAINSCOT
- DECORATIVE TILE VENTS
- DECORATIVE SHUTTERS
- THEME SPECIFIC GARAGE DOOR
- O'GEE GUTTER
- CONCRETE TILE ROOFING - LOW PROFILE "S"
-  INDICATES RECESS



REAR ELEVATION - PLAN 2B



RIGHT SIDE ELEVATION - PLAN 2B



LEFT SIDE ELEVATION - PLAN 2B



FRONT ELEVATION - PLAN 2B
(EUROPEAN COTTAGE)

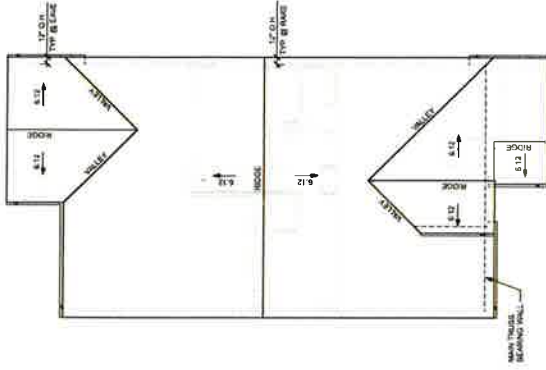


PLAN 2B
MANGINI RANCH
Folsom, California

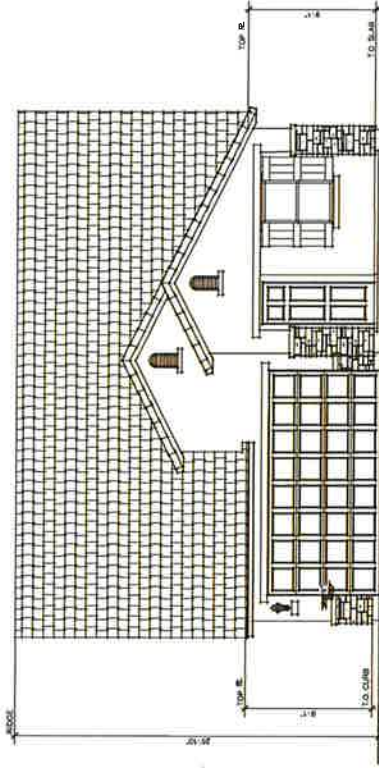


EUROPEAN COTTAGE

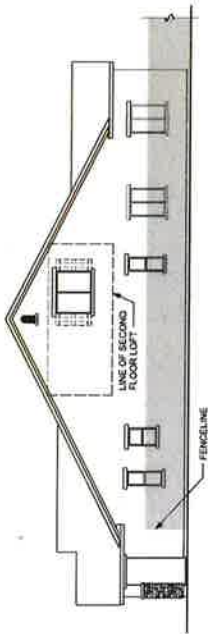
- STUCCO SIDING
- STUCCO OVER FOAM TRIM
- DECORATIVE ARCHED VENTS
- DECORATIVE SHUTTERS
- CULTURED STONE VENEER
- THEME SPECIFIC GARAGE DOOR
- OVER GUTTER
- CONCRETE TILE ROOFING - "SLATE" PROFILE
- INDICATES RECESS



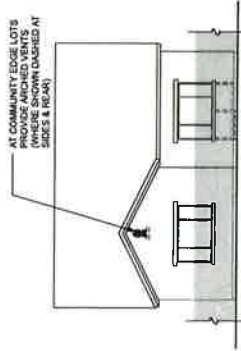
ROOF PLAN "B"



FRONT ELEVATION "B"
(EUROPEAN COTTAGE)



RIGHT SIDE "B"



REAR "B"



LEFT SIDE "B"



**PLAN 2 (2335 S.F.)
MANGINI RANCH
Folsom, California**



REAR ELEVATION - PLAN 2C



RIGHT SIDE ELEVATION - PLAN 2C



LEFT SIDE ELEVATION - PLAN 2C

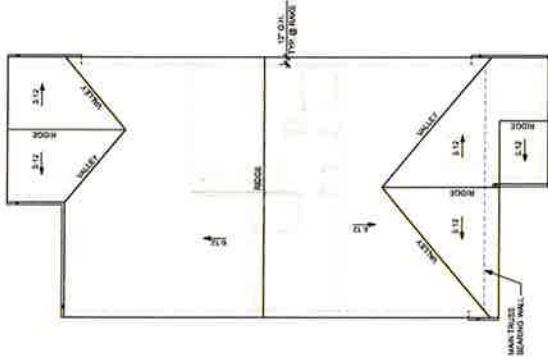


FRONT ELEVATION - PLAN 2C
(CRAFTSMAN)

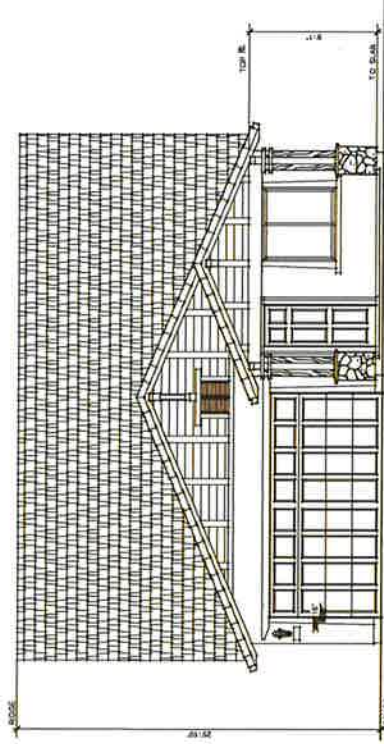


PLAN 2C
MANGINI RANCH
Folsom, California

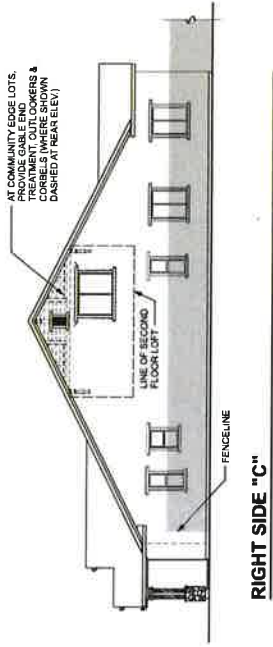




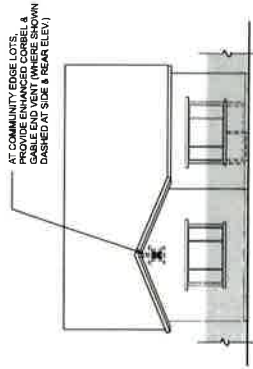
ROOF PLAN "C"



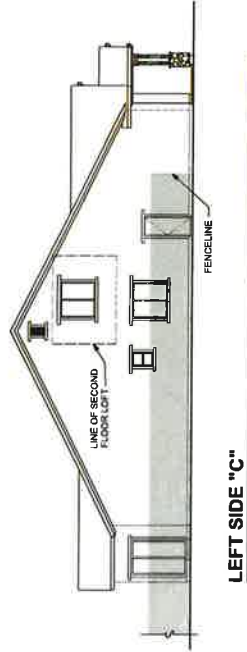
FRONT ELEVATION "C"
(CRAFTSMAN)



RIGHT SIDE "C"



REAR "C"



LEFT SIDE "C"

CRAFTSMAN

- STUCCO SIDING
- BOARD OVER FOAM TRIM
- BOARD AND BATTEN GABLE ENDS
- DECORATIVE OUTLOOKERS
- DECORATIVE VENTS
- WOOD POST W/ S TONE BASE
- CULTURED STONE VENEER
- THEME SPECIFIC GARAGE DOOR
- GREEN GUTTER
- CONCRETE TILE ROOFING - "SHAKE" PROFILE

INDICATES RECESS



REAR ELEVATION - PLAN 2D



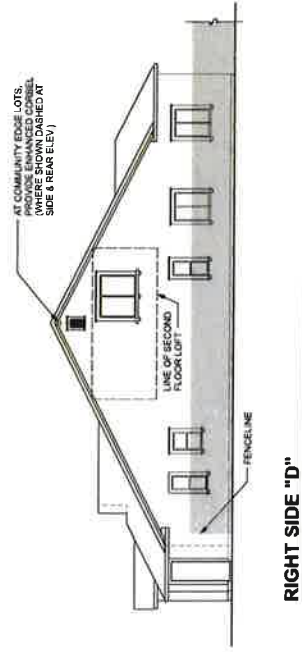
RIGHT SIDE ELEVATION - PLAN 2D



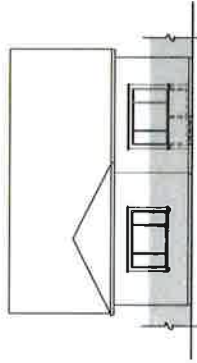
LEFT SIDE ELEVATION - PLAN 2D



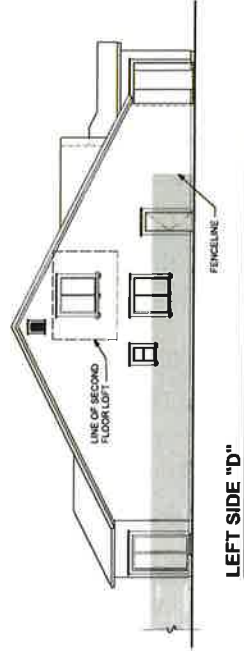
FRONT ELEVATION - PLAN 2D
(ITALIAN VILLA)



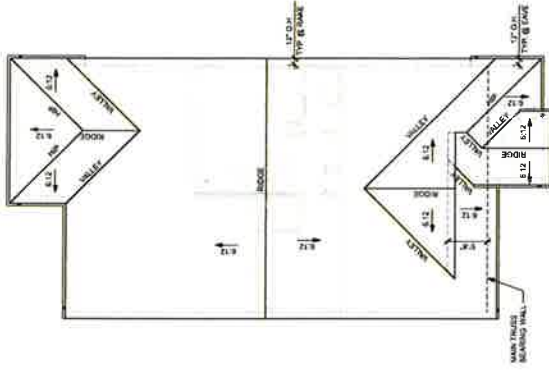
RIGHT SIDE "D"



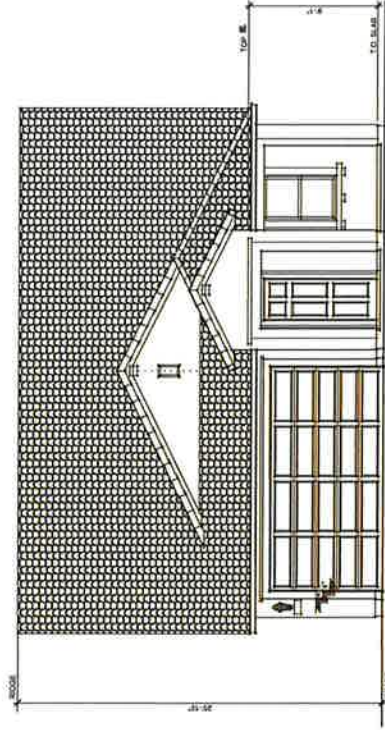
REAR "D"



LEFT SIDE "D"



ROOF PLAN "D"



FRONT ELEVATION "D"
(ITALIAN VILLA)

ITALIAN VILLA

- STUCCO SIDING
- STUCCO OVER FOAM TRIM
- DECORATIVE SHELF WITH CORBELS
- DECORATIVE OUTLOOKERS
- STUCCO RECESS
- THEME SPECIFIC GARAGE DOOR
- ONGEE GUTTER
- CONCRETE TILE ROOFING - LOW PROFILE "S"

INDICATES RECESS



REAR ELEVATION - PLAN 2E



RIGHT SIDE ELEVATION - PLAN 2E



LEFT SIDE ELEVATION - PLAN 2E



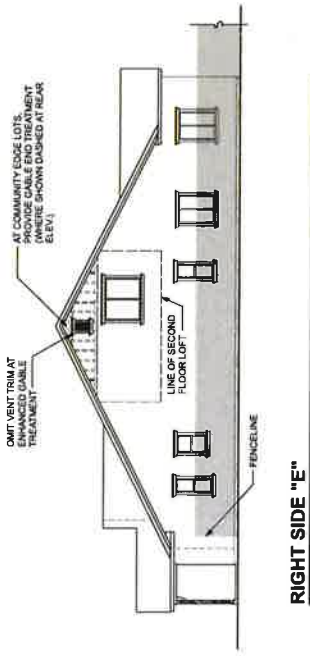
**FRONT ELEVATION - PLAN 2E
(FARMHOUSE)**



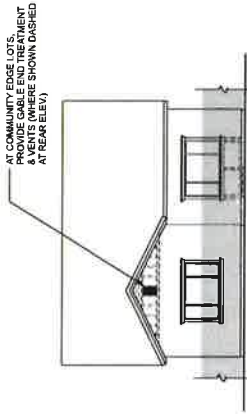
PLAN 2E
MANGINI RANCH
Folsom, California



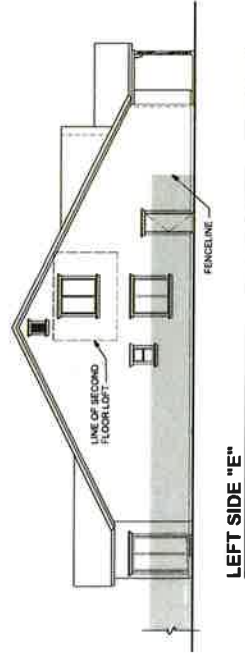
940 Tyler Street, # 19
Folsom, CA 95630
Phone: (925) 746-5266



RIGHT SIDE "E"



REAR "E"

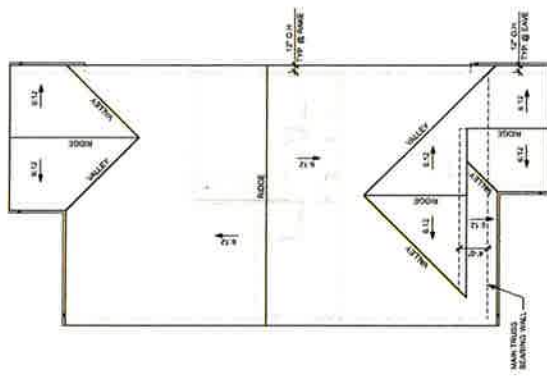


LEFT SIDE "E"

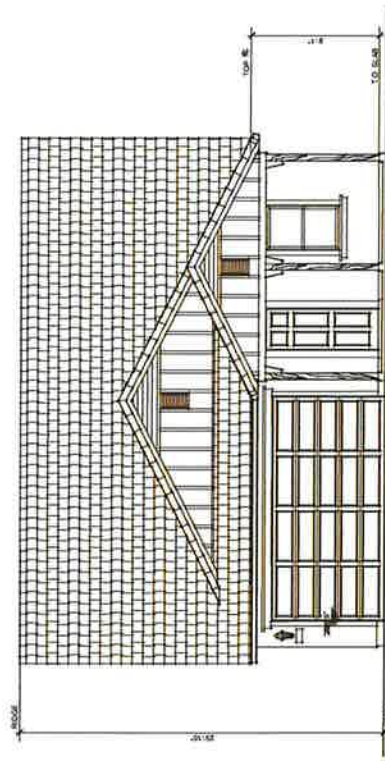
FARMHOUSES

- STUCCO SIDING
- STUCCO OVER FOAM TRIM AT
- STUCCO SIDING
- BOARD & BATTEN AT ACCENT AREAS
- WOOD TRIM AT BOARD AND BATTEN SIDING
- WOOD POSTS W/ KICKERS
- LOWERED PANEL SHUTTERS
- THEMED SPECIFIC GARAGE DOORS
- GREEN GUTTERS
- CONCRETE TILE ROOFING - "SLATE" PROFILE

INDICATES RECESS



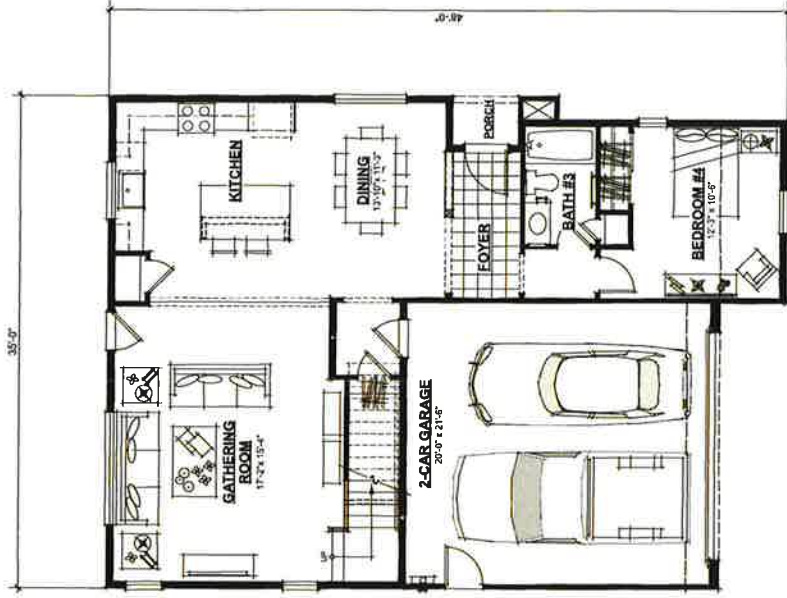
ROOF PLAN "E"



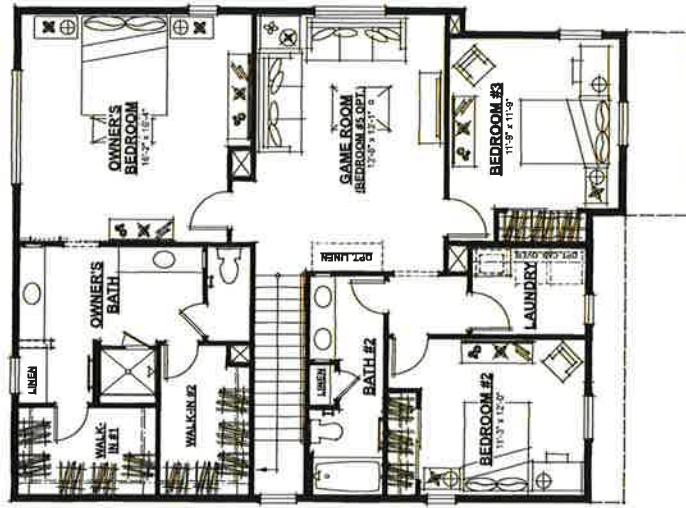
**FRONT ELEVATION "E"
(FARMHOUSE)**



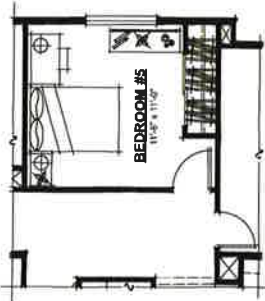
**PLAN 2 (2335 S.F.)
MANGINI RANCH
Folsom, California**



FIRST FLOOR PLAN (1086 S.F.; 2479 TOTAL S.F.)



SECOND FLOOR PLAN (1393 S.F.)



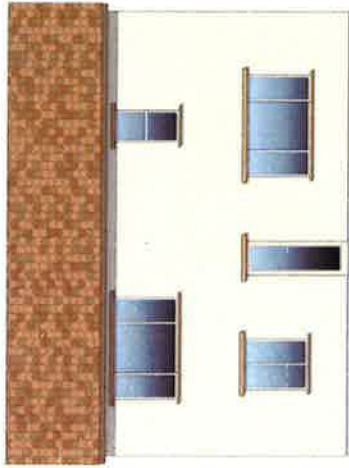
BEDROOM #5 OPTION

AREA SUMMARY - PLAN 3		TOTAL	
1st Floor	1086	1086	1086
2nd Floor	1393	1393	1393
Garage	440	440	440
Downed Entry	21	21	21
TOTAL	1940	1940	1940



PLAN 3 (2479 SF)
MANGINI RANCH
 Folsom, California

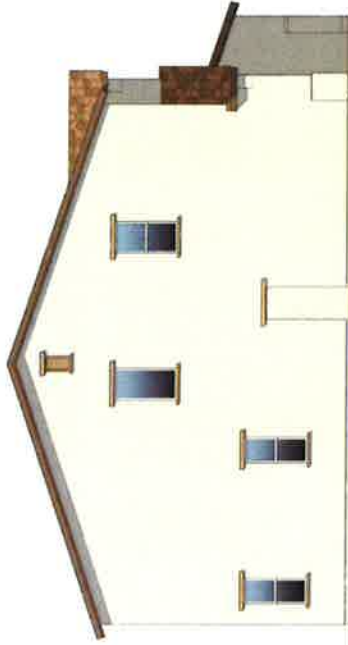




REAR ELEVATION - PLAN 3A



RIGHT SIDE ELEVATION - PLAN 3A



LEFT SIDE ELEVATION - PLAN 3A



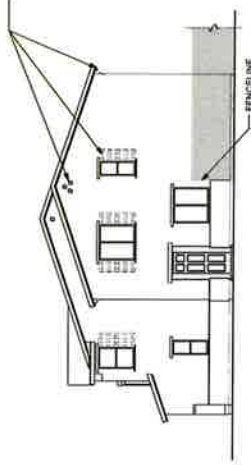
**FRONT ELEVATION - PLAN 3A
(SPANISH COLONIAL)**

**taylor
morrison**
Homes Inspired by You

**PLAN 3A
MANGINI RANCH
Folsom, California**

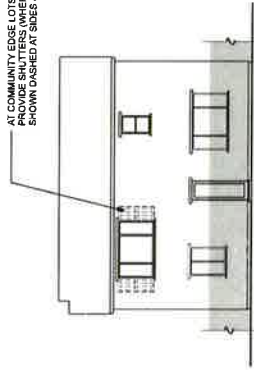


AT COMMUNITY EDGE LOTS, PROVIDE SHUTTERS, EAVE CORBEL AND TILE CASSETTE VENTS (WHERE SHOWN DASHED AT SIDES & REAR)

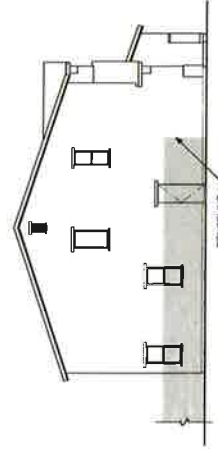


RIGHT SIDE "A"

AT COMMUNITY EDGE LOTS, PROVIDE SHUTTERS, EAVE CORBEL AND TILE CASSETTE VENTS (WHERE SHOWN DASHED AT SIDES & REAR)



REAR "A"



LEFT SIDE "A"

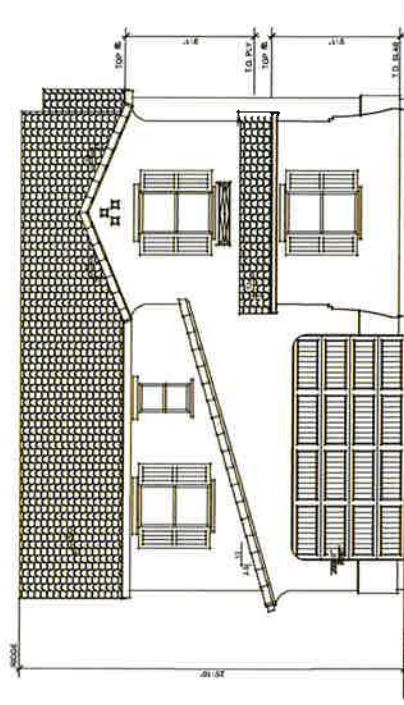
SPANISH COLONIAL

- STUCCO SIDING
- STUCCO OVER FOAM TRIM
- STUCCO OVER FOAM WAINSCOT
- DECORATIVE TILE VENTS
- DECORATIVE SHUTTERS
- THEME SPECIFIC GARAGE DOOR
- O'GEE GUTTER
- CONCRETE TILE ROOFING -
- LOW PROFILE "S"

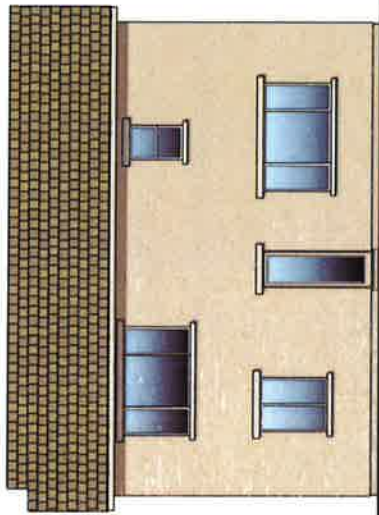
 INDICATES RECESS



ROOF PLAN "A"



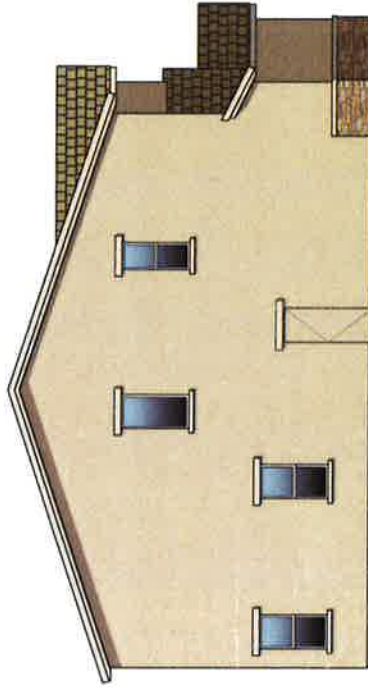
FRONT ELEVATION "A"
(SPANISH COLONIAL)



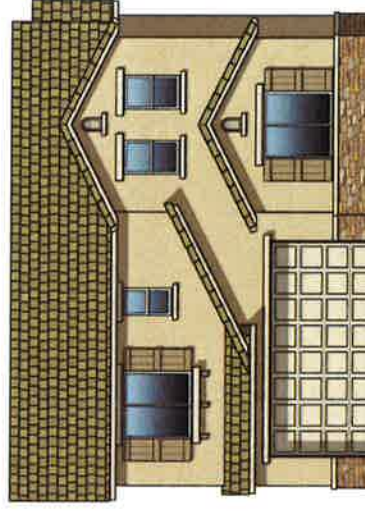
REAR ELEVATION - PLAN 3B



RIGHT SIDE ELEVATION - PLAN 3B



LEFT SIDE ELEVATION - PLAN 3B



**FRONT ELEVATION - PLAN 3B
(EUROPEAN COTTAGE)**



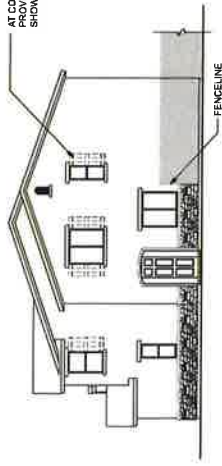
PLAN 3B
MANGINI RANCH 45's
Folsom, California



940 Tyler Street #19
Berinda, CA 94519
Phone: (925) 746-6588

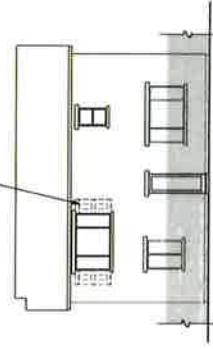
10-24-17

AT COMMUNITY EDGE LOTS
PROVIDE SHUTTERS (WHERE
SHOWN DASHED AT SIDES & REAR)

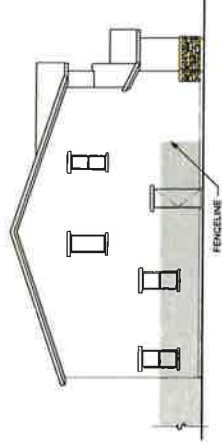


RIGHT SIDE "B"

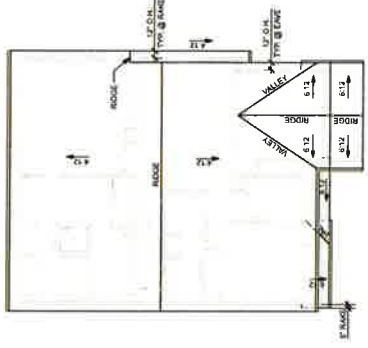
AT COMMUNITY EDGE LOTS
PROVIDE SHUTTERS (WHERE
SHOWN DASHED AT SIDES & REAR)



REAR "B"



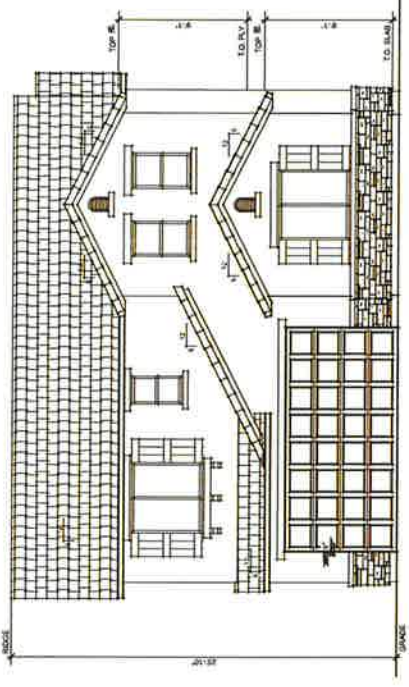
LEFT SIDE "B"



ROOF PLAN "B"

- EUROPEAN COTTAGE**
- STUCCO SIDING
 - STUCCO OVER FOAM TRIM
 - DECORATIVE ARCHED VENTS
 - DECORATIVE SHUTTERS
 - CURBED STONE VENEER
 - THREE SPECIFIC GARAGE DOOR
 - CYBEE GUTTER
 - CONCRETE TILE ROOFING - "SLATE" PROFILE

INDICATES RECESS



FRONT ELEVATION "B"
(EUROPEAN COTTAGE)



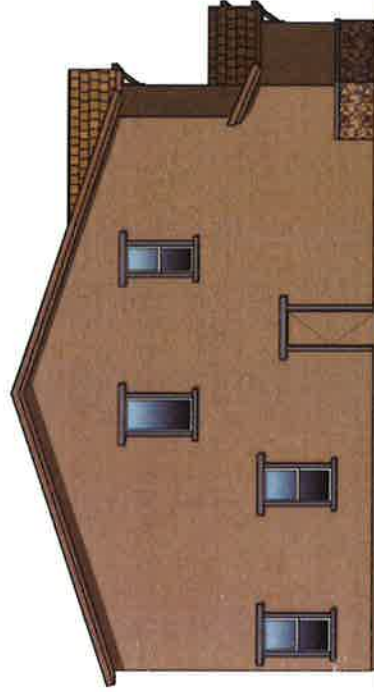
PLAN 3 (2479 S.F.)
MANGINI RANCH
Folsom, California



REAR ELEVATION - PLAN 3C



RIGHT SIDE ELEVATION - PLAN 3C

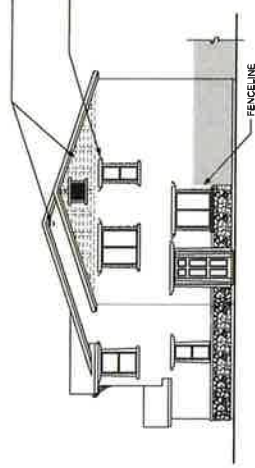


LEFT SIDE ELEVATION - PLAN 3C



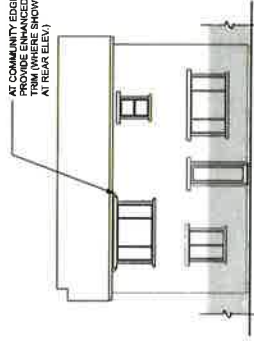
FRONT ELEVATION - PLAN 3C
(CRAFTSMAN)

AT COMMUNITY EDGE LOTS,
PROVIDE GABLE END TREATMENT
& CORBELS (WHERE SHOWN
DASHED AT REAR ELEV.)

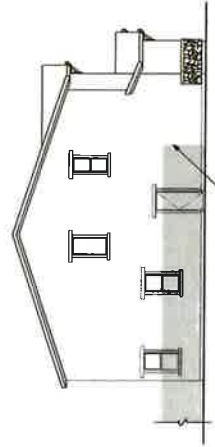


RIGHT SIDE "C"

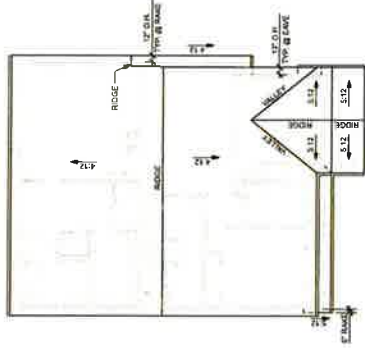
AT COMMUNITY EDGE LOTS,
PROVIDE ENHANCED WINDOW
TREATMENT (WHERE SHOWN DASHED
AT REAR ELEV.)



REAR "C"



LEFT SIDE "C"

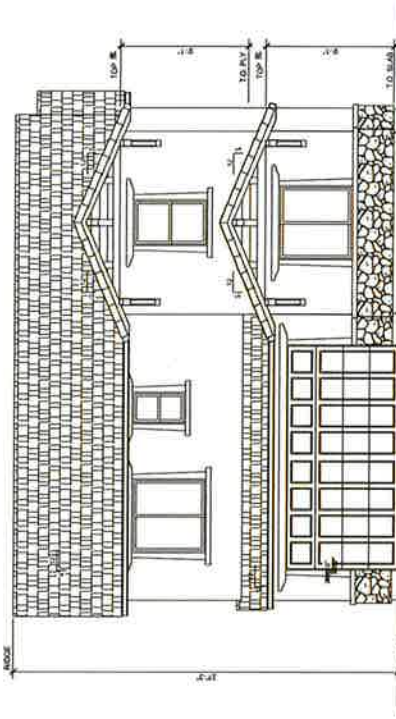


ROOF PLAN "C"

CRAFTSMAN

- STUCCO SIDING
- BOARD AND BATTEN GABLE ENDS
- DECORATIVE OUTLOOKERS
- DECORATIVE BRACKETS
- CULTURED STONE VENEER
- THEME SPECIFIC GARAGE DOOR
- O GEE GUTTER
- CONCRETE TILE ROOFING - "SHAKE" PROFILE

INDICATES RECESS



FRONT ELEVATION "C"
(CRAFTSMAN)



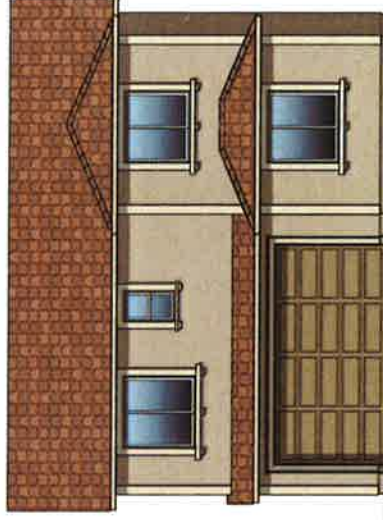
REAR ELEVATION - PLAN 3D



RIGHT SIDE ELEVATION - PLAN 3D



LEFT SIDE ELEVATION - PLAN 3D



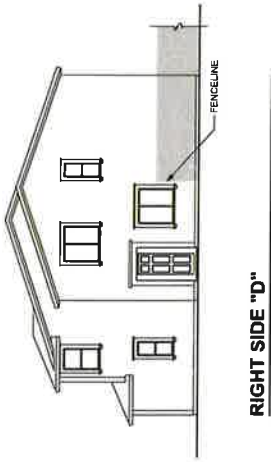
FRONT ELEVATION - PLAN 3D



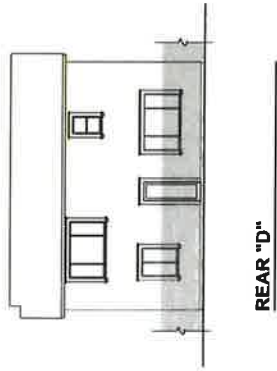
PLAN 3D
MANGINI RANCH 45's
Folsom, California



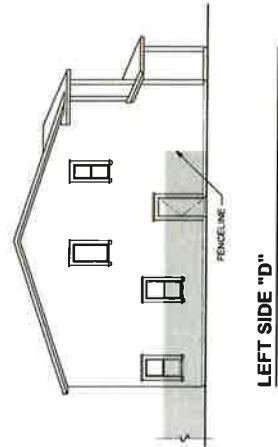
176 10-24-17



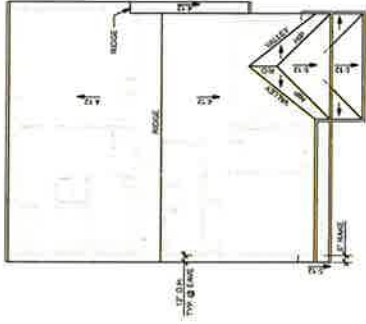
RIGHT SIDE "D"



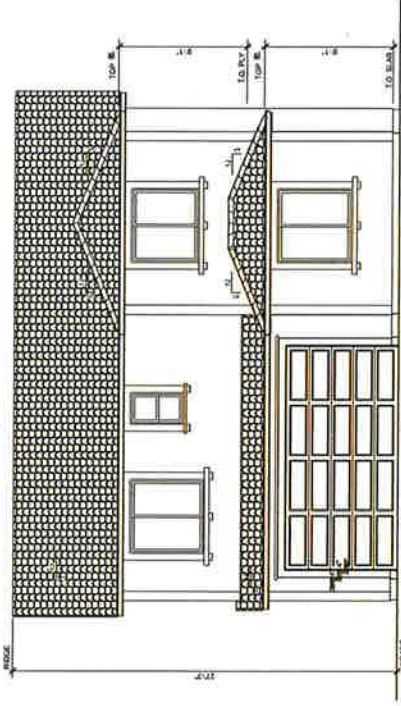
REAR "D"



LEFT SIDE "D"



ROOF PLAN "D"



FRONT ELEVATION "D"
(ITALIAN VILLA)

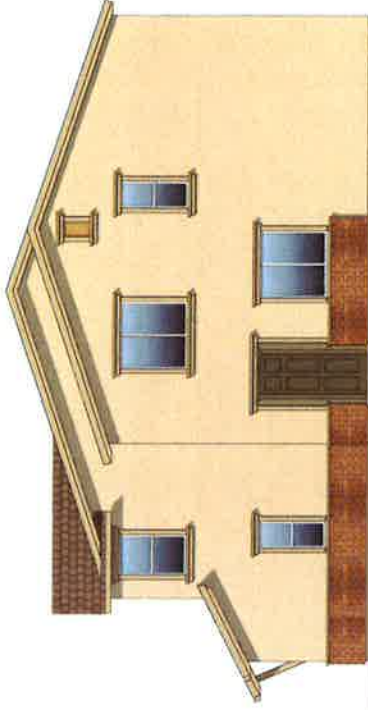
ITALIAN VILLA

- STUCCO SIDING
- STUCCO OVER FOAM TRIM
- DECORATIVE SHELF WITH CORBELS
- THEMIC SPECIFIC GARAGE DOOR
- O'GEE GUTTER
- CONCRETE TILE ROOFING - LOW PROFILE "S"

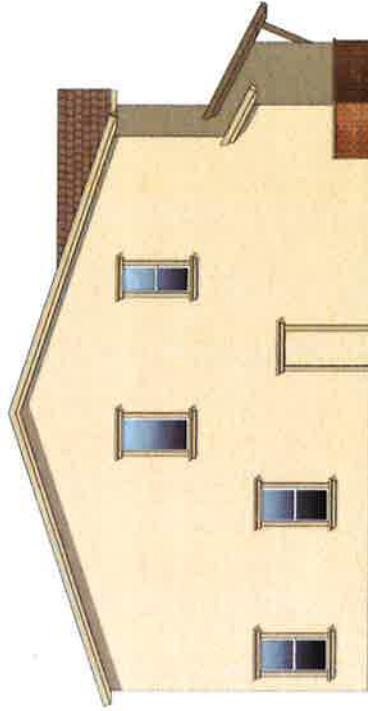
INDICATES RECESS



REAR ELEVATION - PLAN 3E



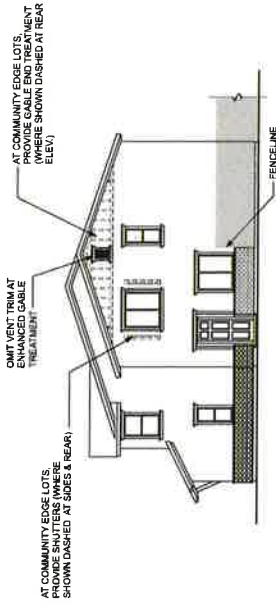
RIGHT SIDE ELEVATION - PLAN 3E



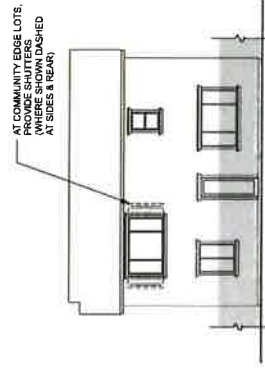
LEFT SIDE ELEVATION - PLAN 3E



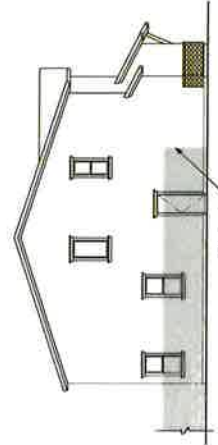
**FRONT ELEVATION - PLAN 3E
(FARMHOUSE)**



RIGHT SIDE "E"



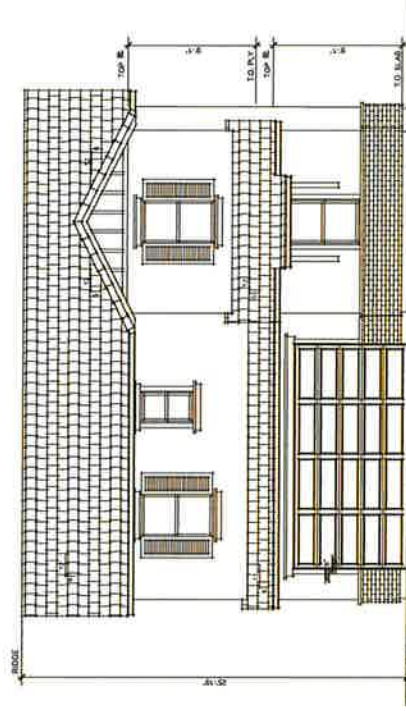
REAR "E"



LEFT SIDE "E"



ROOF PLAN "E"



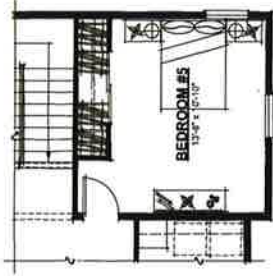
**FRONT ELEVATION "E"
(FARMHOUSE)**

FARMHOUSES

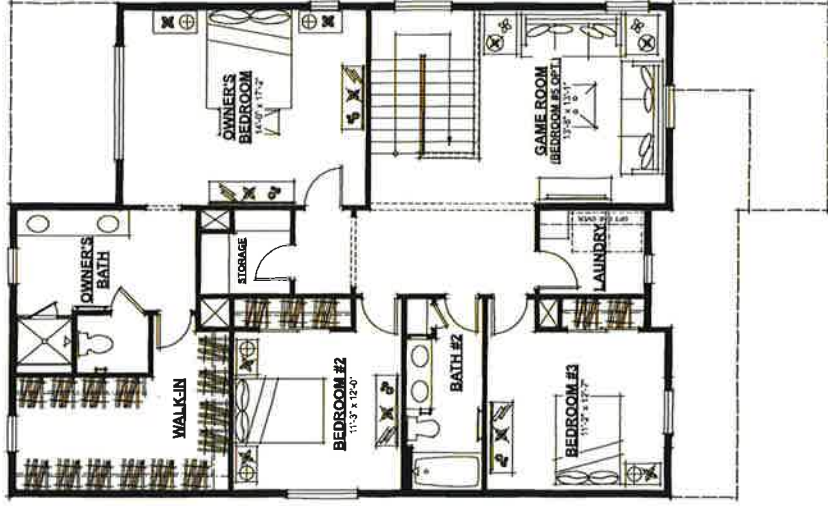
- STUCCO SIDING
- STUCCO OVER FOAM TRIM AT
- STUCCO SIDING
- BOARD & BATTEN AT ACCENT AREAS
- WOOD TRIM AT BOARD AND BATTEN SIDING
- WOOD POSTS W/ KICKERS
- LOUVERED PANEL SHUTTERS
- THEME SPECIFIC GARAGE DOORS
- CIGEE GUTTERS
- CONCRETE TILE ROOFING - "SLATE" PROFILE

INDICATES RECESS

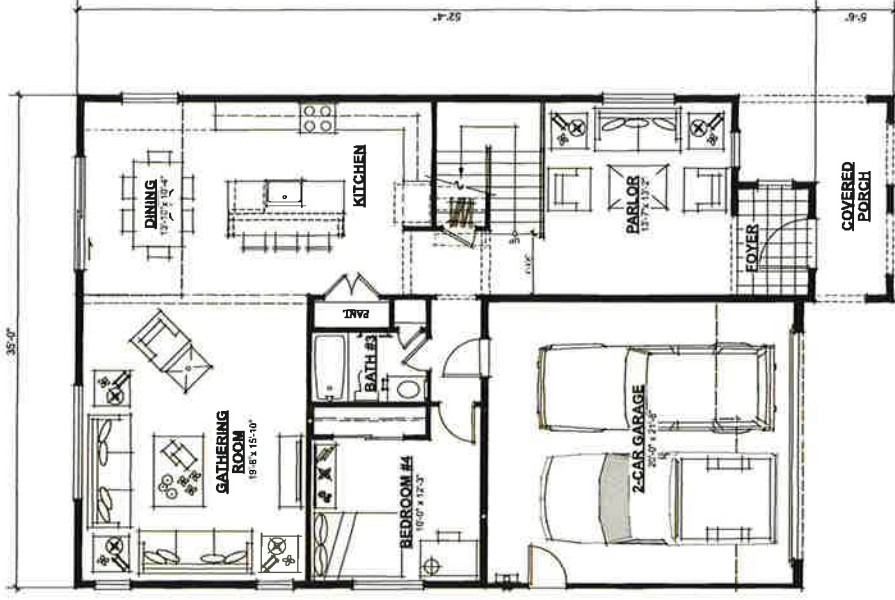
AREA SUMMARY - PLAN 4		LIVABLE AREA	
1st Floor	2768	2768	2768
2nd Floor	1441	1441	1441
Covered Entry	216	216	216
TOTAL	4425	4425	4425



BEDROOM #5 OPTION



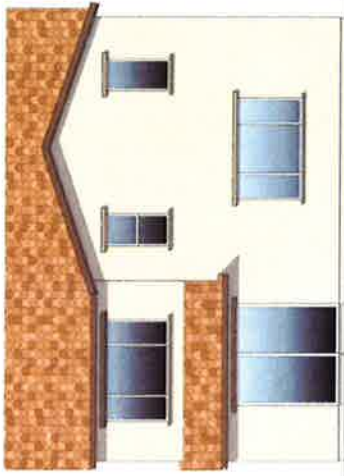
SECOND FLOOR PLAN (1441 S.F.)



FIRST FLOOR PLAN (2768 S.F.)



PLAN 4 (2768 SF)
MANGINI RANCH
 Folsom, California



REAR ELEVATION - PLAN 4A



RIGHT SIDE ELEVATION - PLAN 4A



LEFT SIDE ELEVATION - PLAN 4A



**FRONT ELEVATION - PLAN 4A
(SPANISH COLONIAL)**



**PLAN 4A
MANGINI RANCH
Folsom, California**



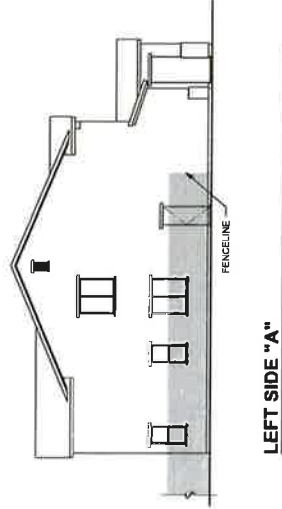
10-24-17



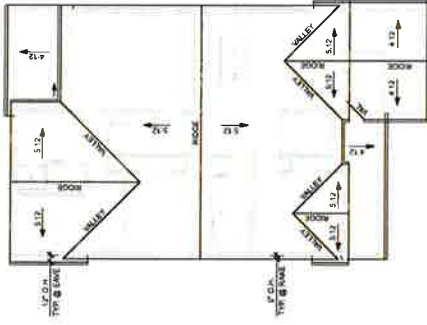
RIGHT SIDE "A"



REAR "A"



LEFT SIDE "A"

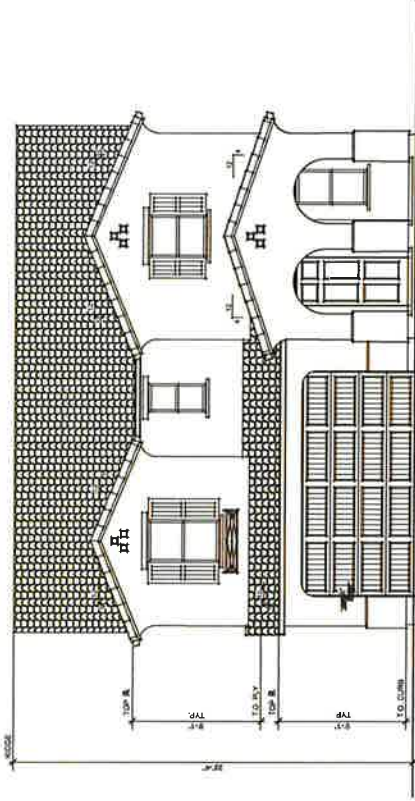


ROOF PLAN "A"

SPANISH COLONIAL

- STUCCO SIDING
- STUCCO OVER FOAM TRIM
- STUCCO OVER FOAM MAINSCOT
- DECORATIVE TILE VENTS
- DECORATIVE SHUTTERS
- THEME SPECIFIC GARAGE DOOR
- O'GEE GUTTER
- CONCRETE TILE ROOFING - LOW PROFILE 'S'

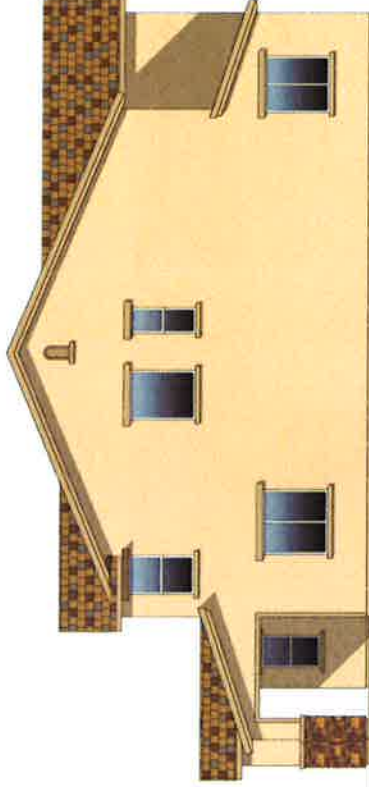
INDICATES RECESS



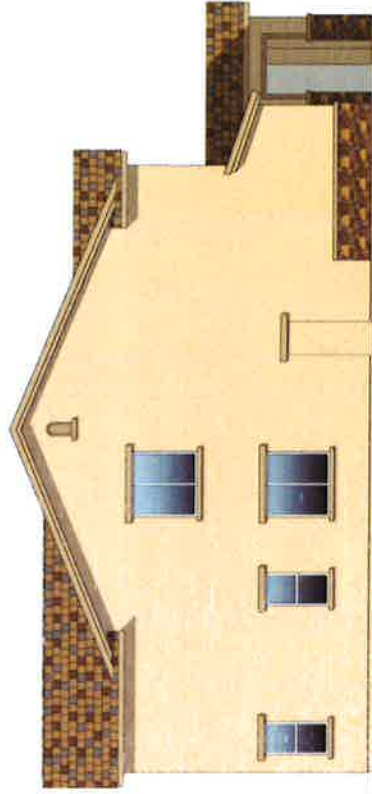
FRONT ELEVATION "A"
(SPANISH COLONIAL)



REAR ELEVATION - PLAN 4B



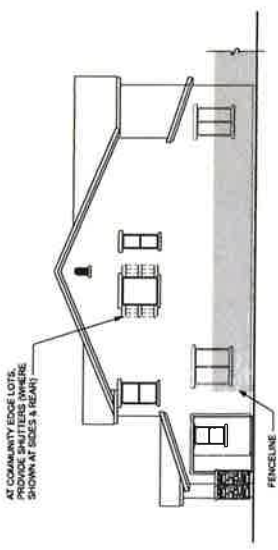
RIGHT SIDE ELEVATION - PLAN 4B



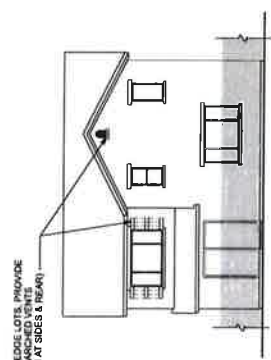
LEFT SIDE ELEVATION - PLAN 4B



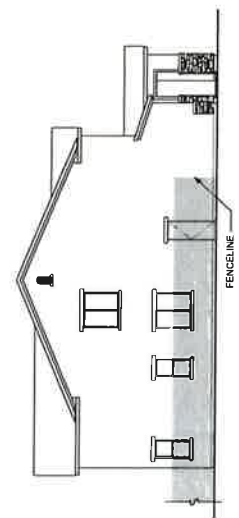
**FRONT ELEVATION - PLAN 4B
(EUROPEAN COTTAGE)**



RIGHT SIDE "B"

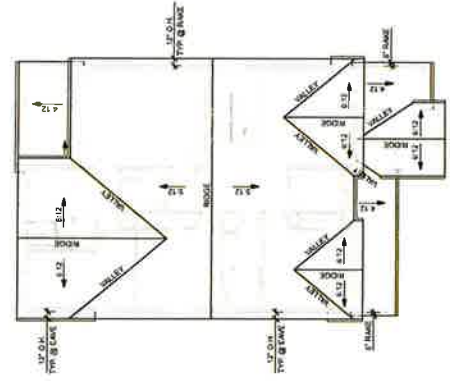


REAR "B"

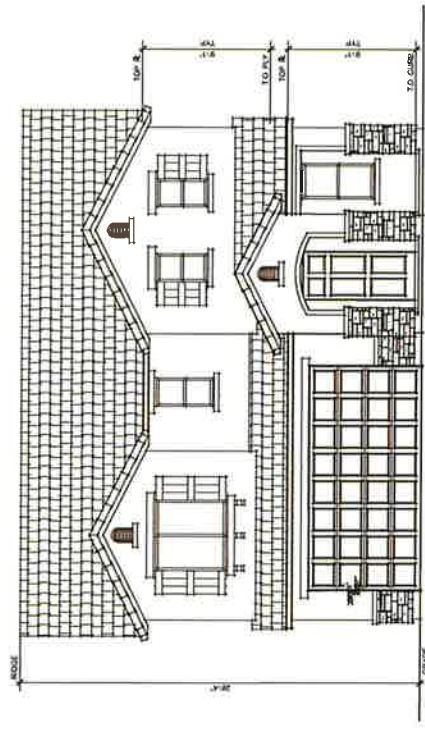


LEFT SIDE "B"

- EUROPEAN COTTAGE**
- STUCCO SIDING
 - STUCCO OVER FOAM TRIM
 - DECORATIVE ARCHED VENT
 - DECORATIVE SHUTTERS
 - CULTURED STONE VENEER
 - THEME SPECIFIC GARAGE DOOR
 - ONGEE GUTTER
 - CONCRETE TILE ROOFING - "SLATE" PROFILE
- INDICATES RECESS



ROOF PLAN "B"



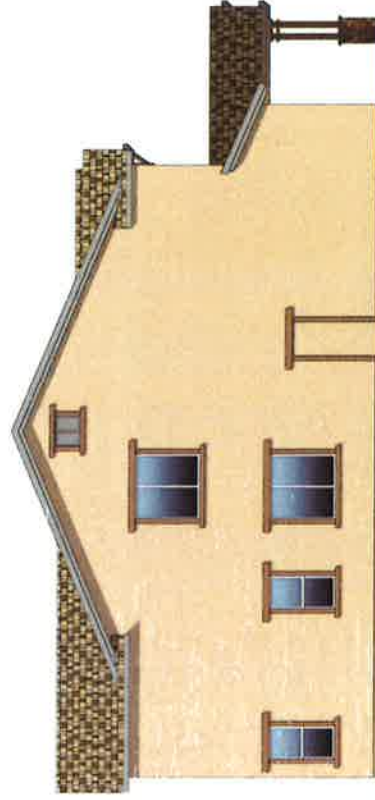
FRONT ELEVATION "B"
(EUROPEAN COTTAGE)



REAR ELEVATION - PLAN 4C



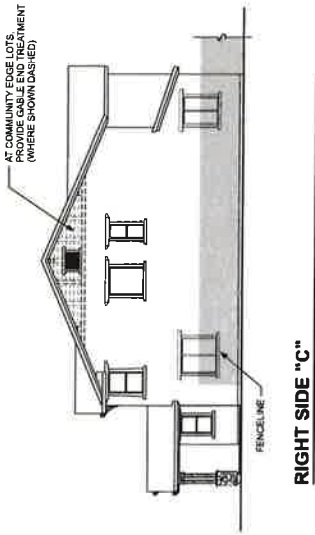
RIGHT SIDE ELEVATION - PLAN 4C



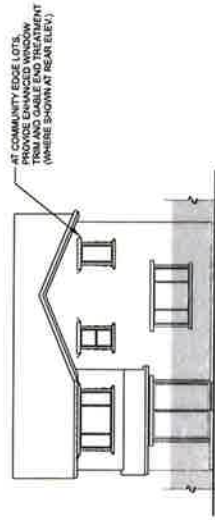
LEFT SIDE ELEVATION - PLAN 4C



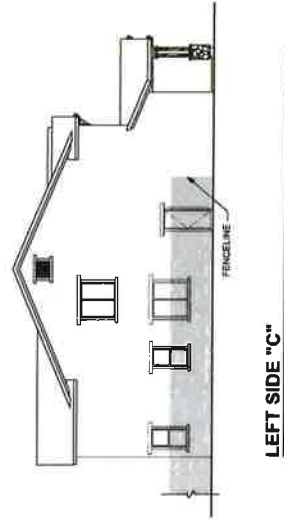
**FRONT ELEVATION - PLAN 4C
(CRAFTSMAN)**



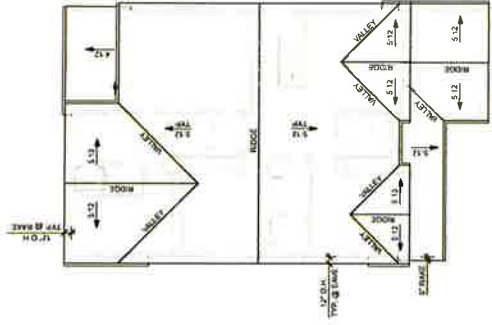
RIGHT SIDE "C"



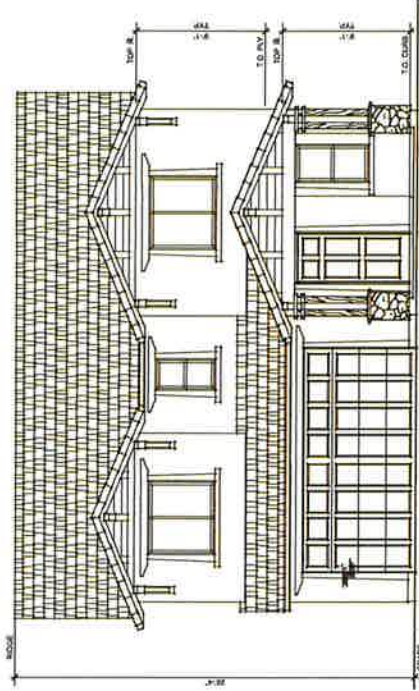
REAR "C"



LEFT SIDE "C"



ROOF PLAN "C"

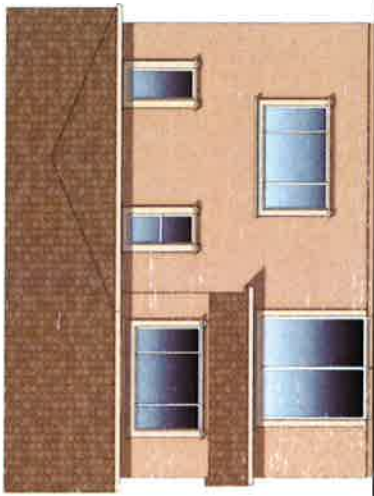


FRONT ELEVATION "C"
(CRAFTSMAN)

CRAFTSMAN

- STUCCO SIDING
- STUCCO OVER FOAM TRIM
- BOARD AND BATTEN GABLE ENDS
- DECORATIVE OUTLOOKERS
- DECORATIVE VENTS
- CULTURED STONE VENEER
- THEME SPECIFIC GARAGE DOOR
- O GEE GUTTER
- CONCRETE TILE ROOFING - "SHAKE" PROFILE

 INDICATES RECESS



REAR ELEVATION - PLAN 4D



RIGHT SIDE ELEVATION - PLAN 4D




LEFT SIDE ELEVATION - PLAN 4D

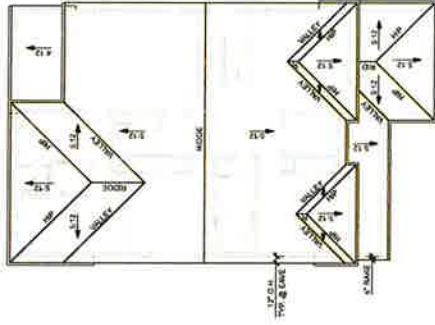


**FRONT ELEVATION - PLAN 4D
(ITALIAN VILLA)**

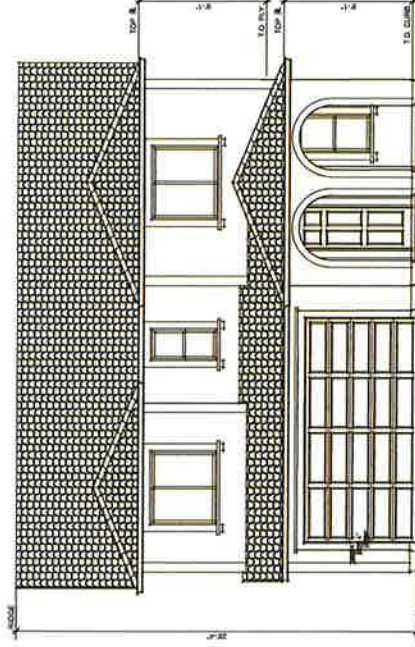
ITALIAN VILLA

- STUCCO SIDING
- STUCCO OVER FOAM TRIM
- DECORATIVE SHELF WITH CORBELS
- STUCCO RECESS
- THEMIC SPECIFIC GARAGE DOOR
- GREEG SUTTER
- CONCRETE TILE ROOFING - LOW PROFILE 'S'

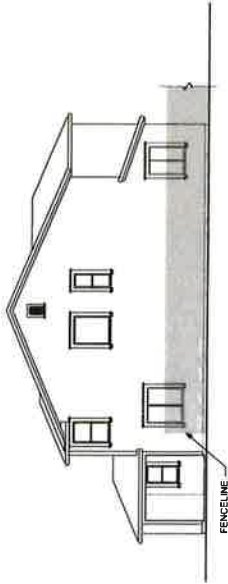
 INDICATES RECESS



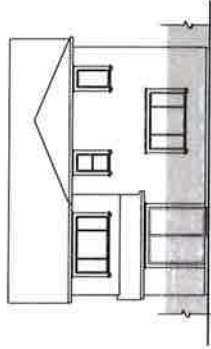
ROOF PLAN "D"



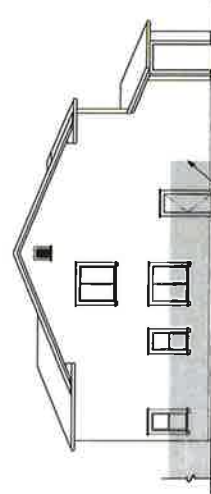
FRONT ELEVATION "D"
(ITALIAN VILLA)



RIGHT SIDE "D"



REAR "D"



LEFT SIDE "D"



REAR ELEVATION - PLAN 4E



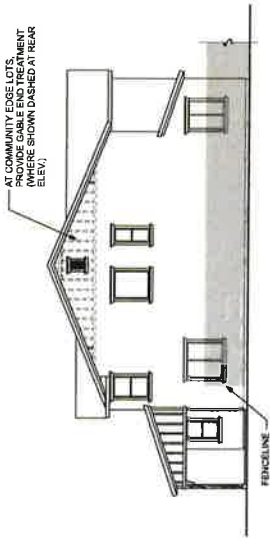
RIGHT SIDE ELEVATION - PLAN 4E



LEFT SIDE ELEVATION - PLAN 4E



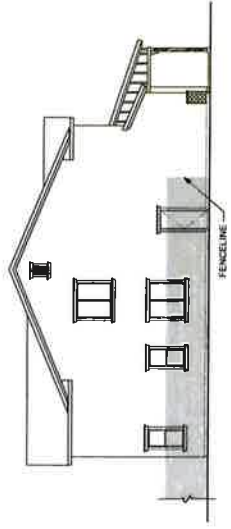
**FRONT ELEVATION - PLAN 4E
(FARMHOUSE)**



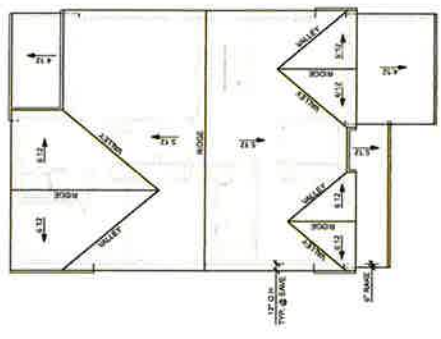
RIGHT SIDE "E"



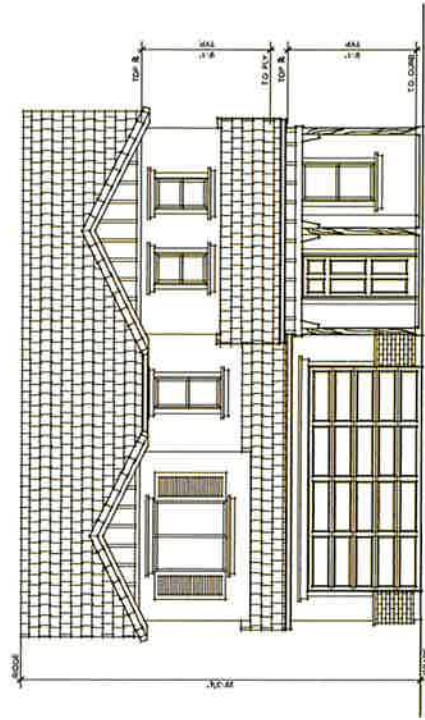
REAR "E"



LEFT SIDE "E"




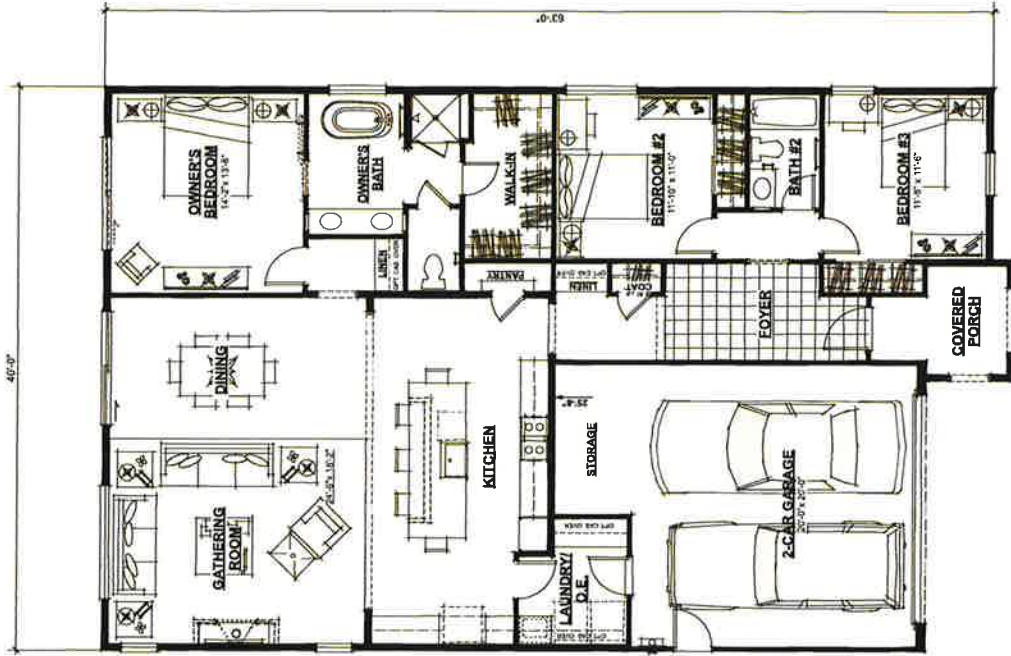
ROOF PLAN "E"



**FRONT ELEVATION "E"
(FARMHOUSE)**

FARMHOUSES

- STUCCO SIDING
 - STUCCO OVER FOAM TRIM AT
 - STUCCO SIDING
 - BOARD & BATTEN AT ACCENT AREAS
 - WOOD TRIM AT BOARD AND BATTEN SIDING
 - WOOD POSTS W/ KICKERS
 - LOUVERED PANEL SHUTTERS
 - THEME SPECIFIC GARAGE DOORS
 - O'GEE GUTTERS
 - CONCRETE TILE ROOFING - "SLATE" PROFILE
-  INDICATES RECESS

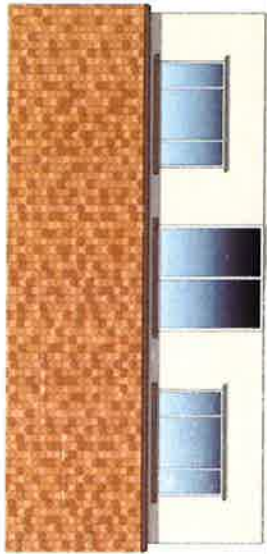


FLOOR PLAN (1891 S.F.)

PLAN 5 (1891 SF)
MANGINI RANCH
 Folsom, California

AREA SUMMARY - PLAN 5		LIABLE AREA
LOT COVERAGE		1891
1st Floor	1891	1891
2nd Floor	0	0
Garage	0	0
Covered Entry	0	0
TOTAL	1891	1891

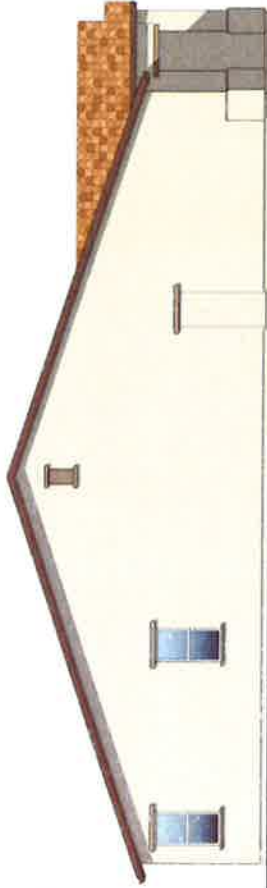




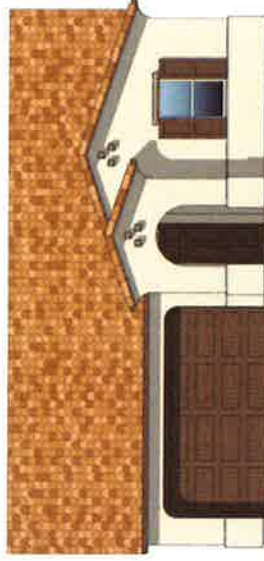
REAR ELEVATION - PLAN 5A



RIGHT SIDE ELEVATION - PLAN 5A



LEFT SIDE ELEVATION - PLAN 5A



**FRONT ELEVATION - PLAN 5A
(SPANISH COLONIAL)**



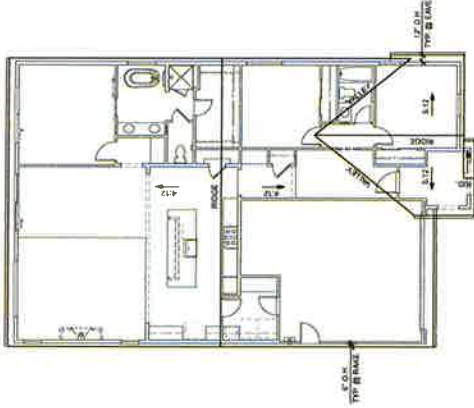
**PLAN 5A
MANGINI RANCH
Folsom, California**



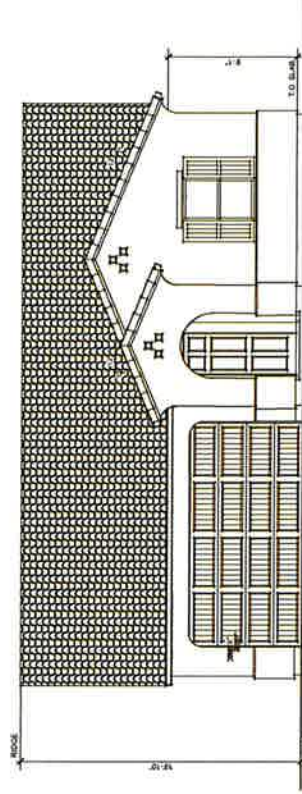
SPANISH COLONIAL

- STUCCO SIDING
- STUCCO OVER FOAM TRIM
- STUCCO OVER FOAM MAINSCOT
- DECORATIVE TILE VENTS
- THEME SPECIFIC SHUTTERS
- THEME SPECIFIC GARAGE DOOR
- O GEE GUTTER
- CONCRETE TILE ROOFING - LOW PROFILE "S"

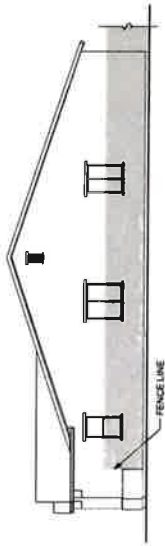
INDICATES RECESS



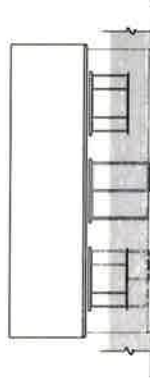
ROOF PLAN "A"



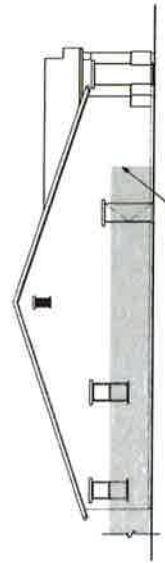
FRONT ELEVATION "A"
(SPANISH COLONIAL)



RIGHT SIDE "A"



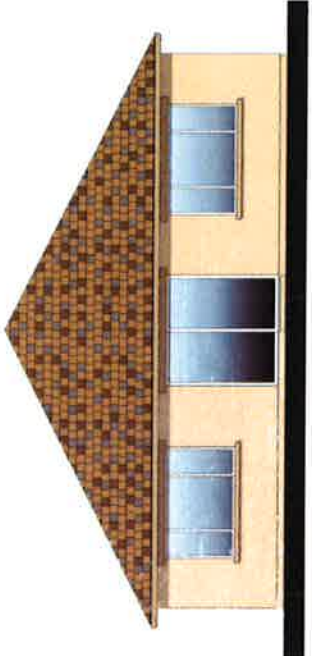
REAR "A"



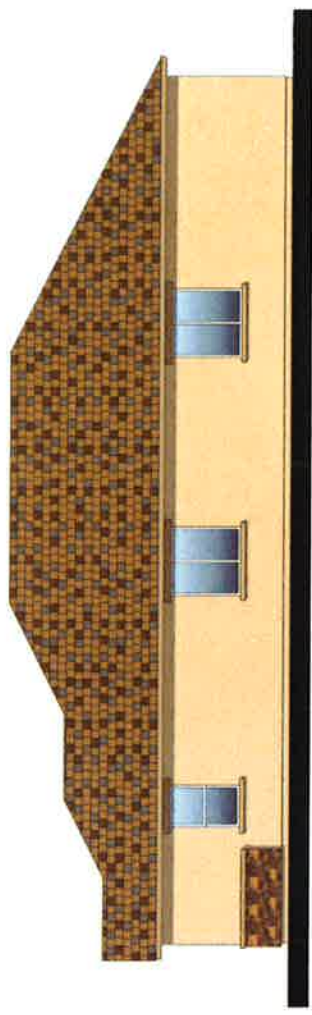
LEFT SIDE "A"



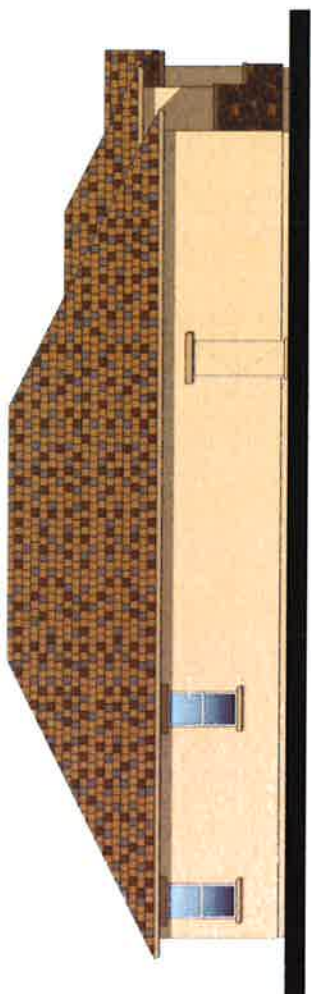
PLAN 5 (1891 S.E.)
MANGINI RANCH
Folsom, California



REAR ELEVATION - PLAN 5B



RIGHT SIDE ELEVATION - PLAN 5B



LEFT SIDE ELEVATION - PLAN 5B



**FRONT ELEVATION - PLAN 5B
(EUROPEAN COTTAGE)**

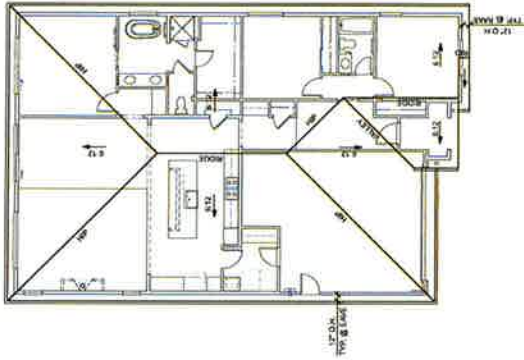


PLAN 5B
MANGINI RANCH
Folsom, California

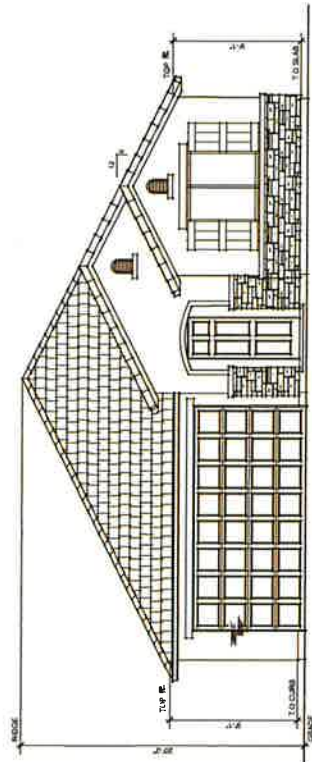


EUROPEAN COTTAGE

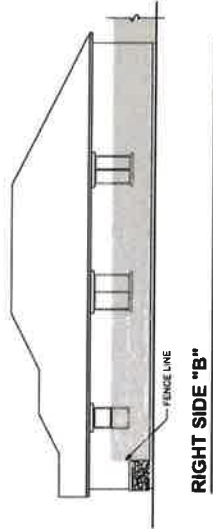
- STUCCO SIDING
- STUCCO OVER FOAM TRIM
- DECORATIVE ARCHED VENT
- DECORATIVE SHUTTERS
- CULTURED STONE VENEER
- THEME SPECIFIC GARAGE DOOR
- O'GEE GUTTER
- CONCRETE TILE ROOFING - "SLATE" PROFILE
- ▬ INDICATES RECESS



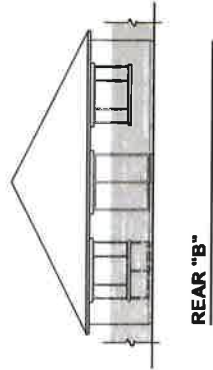
ROOF PLAN "B"



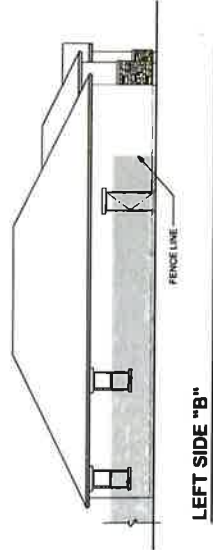
FRONT ELEVATION "B"
(EUROPEAN COTTAGE)



RIGHT SIDE "B"



REAR "B"



LEFT SIDE "B"

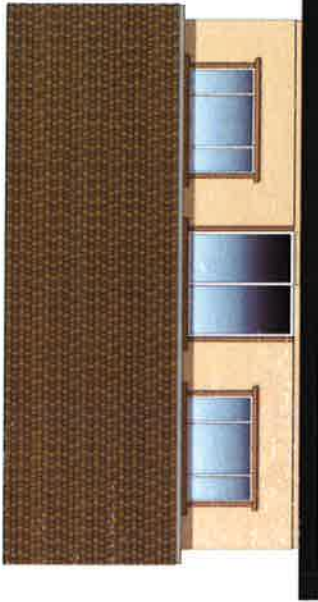


PLAN 5 (1891 S.F.)
MANGINI RANCH
Folsom, California

940 Tyler Street #19
Berkeley, CA 94710
Phone: (925) 764-6586



SHEET A-27



REAR ELEVATION - PLAN 5C



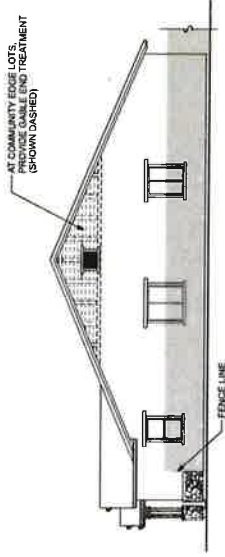
RIGHT SIDE ELEVATION - PLAN 5C



LEFT SIDE ELEVATION - PLAN 5C



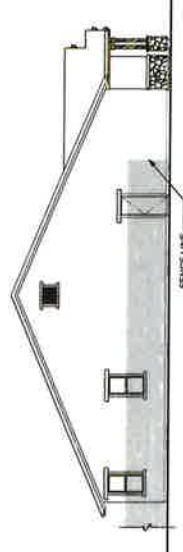
**FRONT ELEVATION - PLAN 5C
(CRAFTSMAN)**



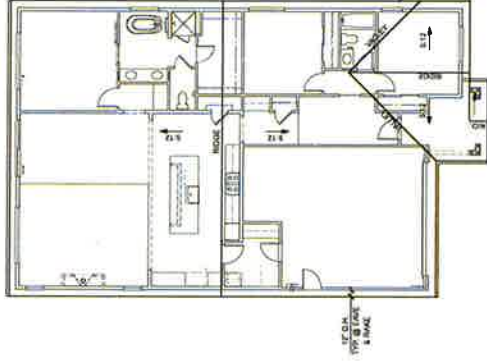
RIGHT SIDE "C"



REAR "C"



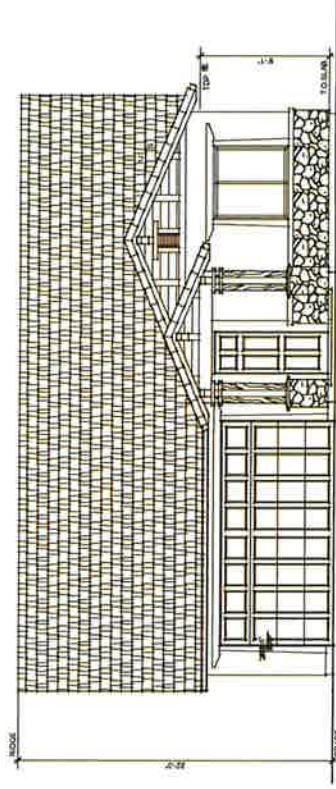
LEFT SIDE "C"



ROOF PLAN "C"

CRAFTSMAN

- STUCCO SIDING
- BOARD AND BATTEN GABLE END
- DECORATIVE OUTLOOKERS
- DECORATIVE VENT
- WOOD POSTS W/ STONE BASE
- CULTURED STONE VENEER
- THEME SPECIFIC GARAGE DOOR
- O'GEE GUTTER
- CONCRETE TILE ROOFING - "SHAKE" PROFILE
- ▬ INDICATES RECESS



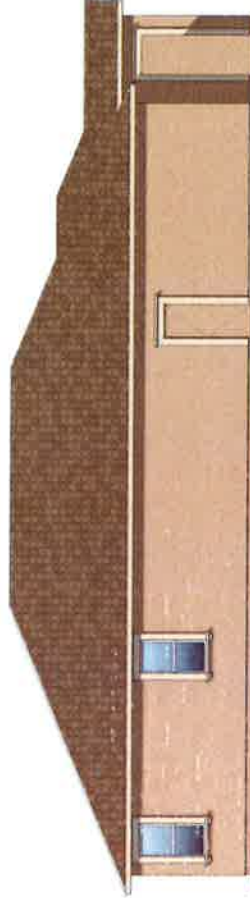
FRONT ELEVATION "C"
(CRAFTSMAN)



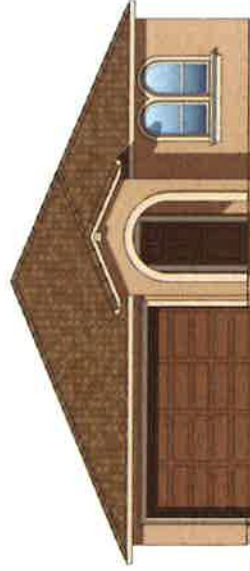
REAR ELEVATION - PLAN 5D



RIGHT SIDE ELEVATION - PLAN 5D



LEFT SIDE ELEVATION - PLAN 5D



FRONT ELEVATION - PLAN 5D
(ITALIAN VILLA)



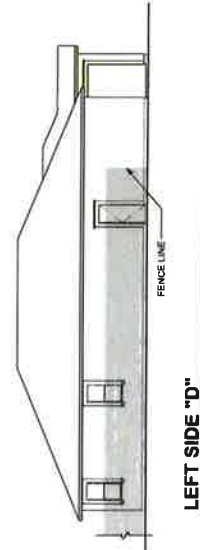
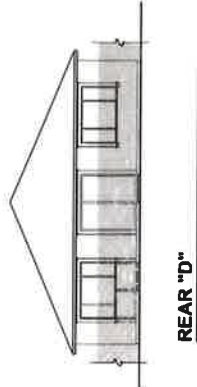
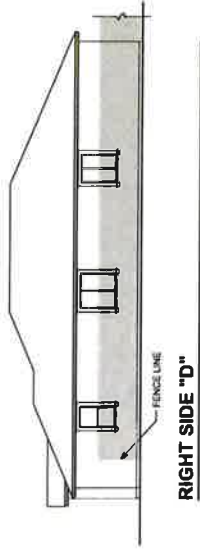
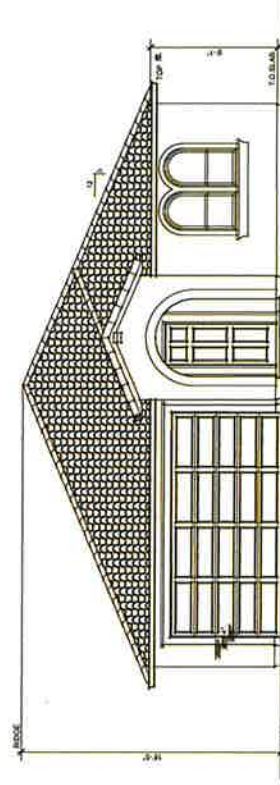
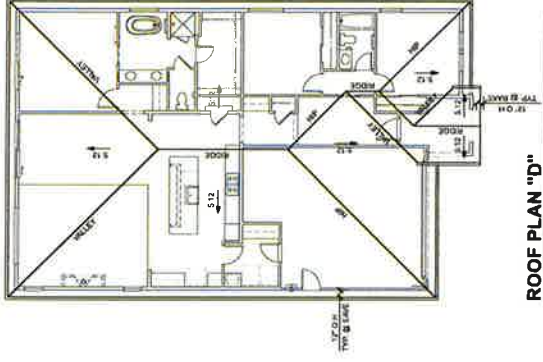
PLAN 5D
MANGINI RANCH
Folsom, California



ITALIAN VILLA

- STUCCO SIDING
- STUCCO OVER FOAM TRIM
- DECORATIVE SHELF WITH CORBELS
- DECORATIVE OUTLOOKER
- THEME SPECIFIC GARAGE DOOR
- O'GEE GUTTER
- CONCRETE TILE ROOFING - LOW PROFILE "S"

 INDICATES RECESS



PLAN 5 (1891 S.F.)
MANGINI RANCH
Folsom, California



REAR ELEVATION - PLAN 5E



RIGHT SIDE ELEVATION - PLAN 5E



LEFT SIDE ELEVATION - PLAN 5E



FRONT ELEVATION - PLAN 5E
(FARMHOUSE)



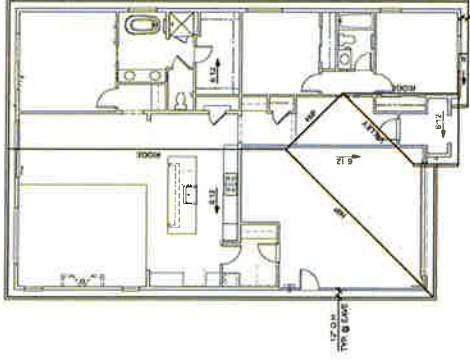
PLAN 5E
MANGINI RANCH
Folsom, California



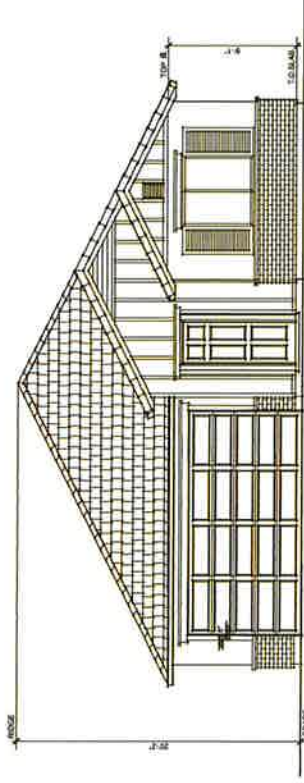
FARMHOUSES

- STUCCO SIDING
- STUCCO OVER FOAM TRIM AT
- STUCCO SIDING
- BOARD & BATTEN AT ACCENT AREAS
- WOOD TRIM AT BOARD AND BATTEN SIDING
- WOOD POSTS W/ KICKERS
- LOUVERED PANEL SHUTTERS
- THEME SPECIFIC GARAGE DOORS
- O'GEE GUTTERS
- CONCRETE TILE ROOFING - "SLATE" PROFILE

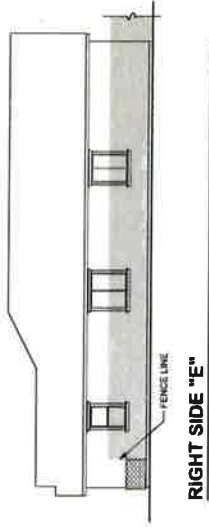
INDICATES RECESS



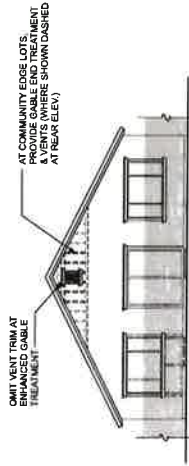
ROOF PLAN "E"



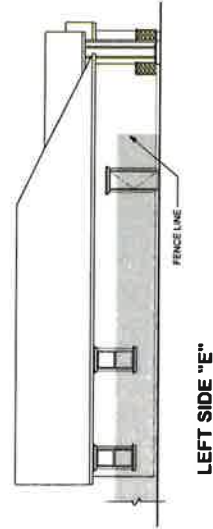
**FRONT ELEVATION "E"
(FARMHOUSE)**



RIGHT SIDE "E"



REAR "E"



LEFT SIDE "E"

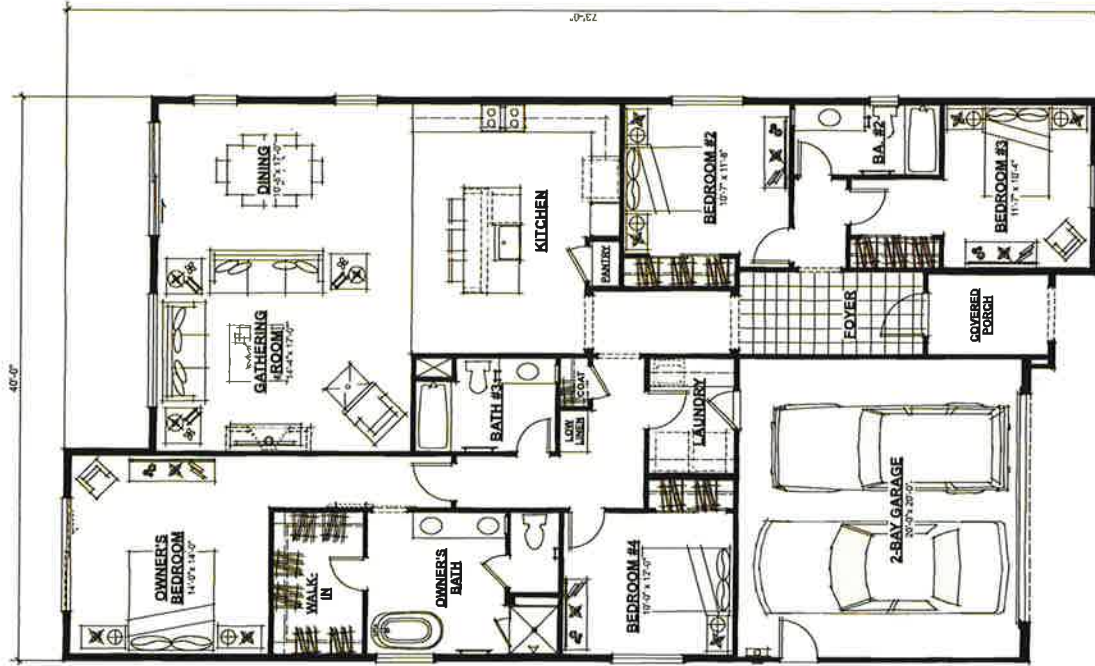


**PLAN 5 (1891 S.F.)
MANGINI RANCH
Folsom, California**

940 Tyler Street #19
Benich, CA 94510
Phone: (925) 746-6586



SHEET A-30



FLOOR PLAN (2154 S.F.)

PLAN 6 (2154 SF)
MANGINI RANCH
 Folsom, California

AREA SUMMARY - PLAN 6

ITEM	1ST FLOOR	2ND FLOOR	Garage	Covered Entry	TOTAL
LOT COVERAGE	2114	0	446	0	2560
1st Floor	2114	0	0	0	2114
2nd Floor	0	446	0	0	446
Garage	0	0	446	0	446
Covered Entry	0	0	0	446	446
TOTAL	2114	446	446	446	3452



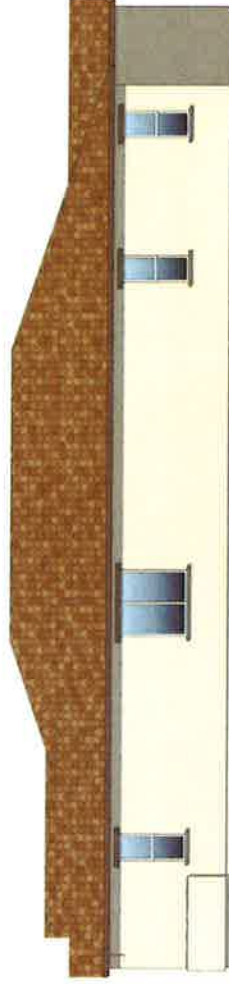
940 Tyler Street - #19
 Folsom, CA 95630
 Phone: (916) 746-4500

OAG
 1706
 10-24-17

SHEET A-31



REAR ELEVATION - PLAN 6A



RIGHT SIDE ELEVATION - PLAN 6A



LEFT SIDE ELEVATION - PLAN 6A



FRONT ELEVATION - PLAN 6A
(SPANISH COLONIAL)



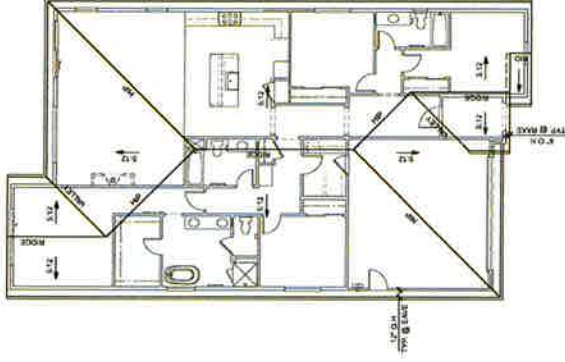
PLAN 6A
MANGINI RANCH
Folsom, California



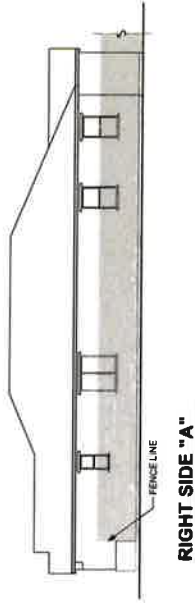
SPANISH COLONIAL

- STUCCO SIDING
- STUCCO OVER FOAM TRIM
- STUCCO OVER FOAM MAINSCOT
- DECORATIVE TILE VENTS
- DECORATIVE SHUTTERS
- THEMIC SPECIFIC GARAGE DOOR
- O'GEE GUTTER
- CONCRETE TILE ROOFING - LOW PROFILE "S"

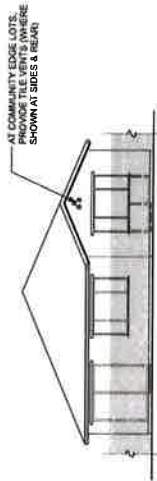
 INDICATES RECESS



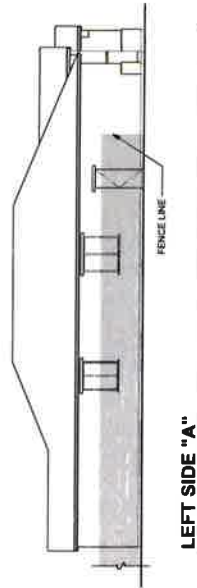
ROOF PLAN "A"



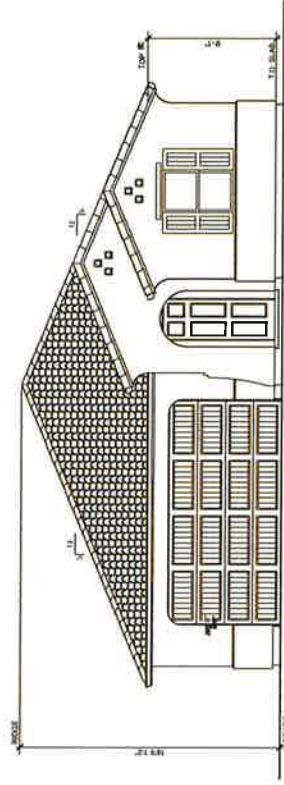
RIGHT SIDE "A"



REAR "A"



LEFT SIDE "A"



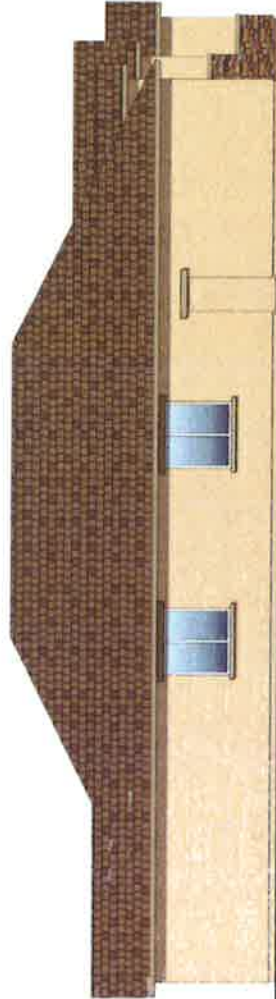
**FRONT ELEVATION "A"
(SPANISH COLONIAL)**



REAR ELEVATION - PLAN 6B



RIGHT SIDE ELEVATION - PLAN 6B



LEFT SIDE ELEVATION - PLAN 6B



**FRONT ELEVATION - PLAN 6B
(EUROPEAN COTTAGE)**



PLAN 6B
MANGINI RANCH
Folsom, California

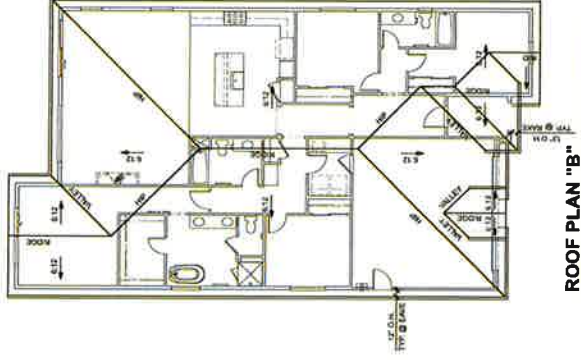


OAG
Architects
430 Tyler Street, #110
Berkeley, CA 94710
Phone: (916) 734-4586

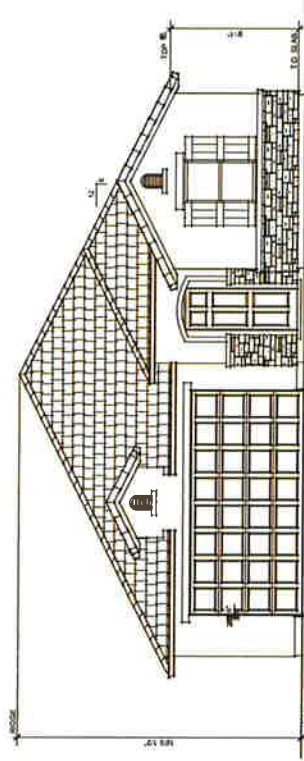
1706
10-24-17

EUROPEAN COTTAGE

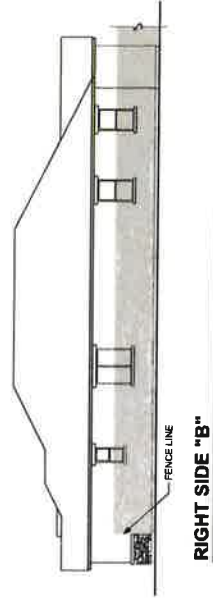
- STUCCO SIDING
 - STUCCO OVER FOAM TRIM
 - DECORATIVE RICHED VENTS
 - DECORATIVE SHUTTERS
 - CULTURED STONE VENEER
 - THEMED SPECIFIC GARAGE DOOR
 - G-EEB GUTTER
 - CONCRETE TILE ROOFING - "SLATE" PROFILE
- INDICATES RECESS



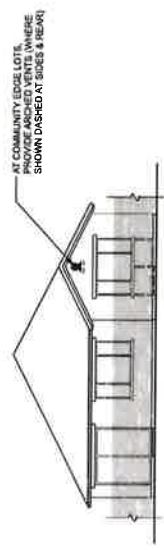
ROOF PLAN "B"



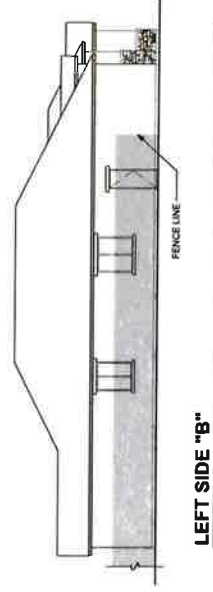
FRONT ELEVATION "B"
(EUROPEAN COTTAGE)



RIGHT SIDE "B"



REAR "B"



LEFT SIDE "B"



PLAN 6 (2154 S.E.)
MANGINI RANCH
Folsom, California



REAR ELEVATION - PLAN 6C



RIGHT SIDE ELEVATION - PLAN 6C



LEFT SIDE ELEVATION - PLAN 6C



FRONT ELEVATION - PLAN 6C
(CRAFTSMAN)



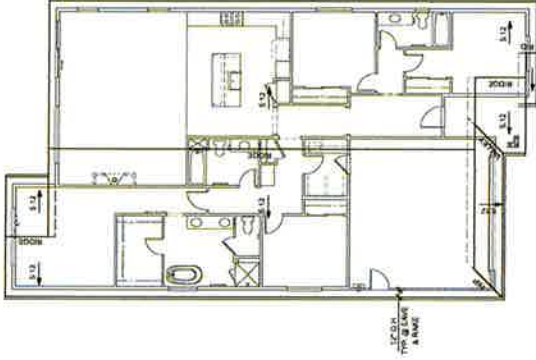
PLAN 6C
MANGINI RANCH
Folsom, California



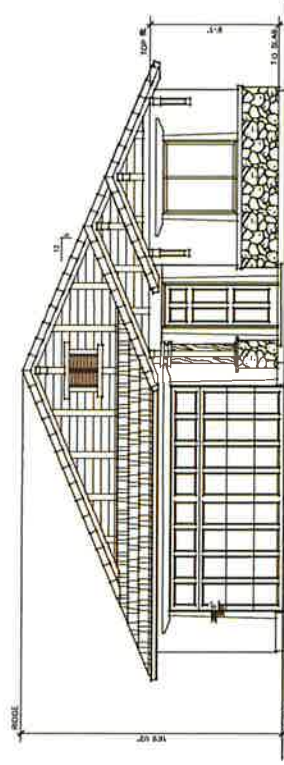
CRAFTSMAN

- STUCCO OVER FOAM TRIM
- BOARD AND BATTEN GABLE ENDS
- DECORATIVE OUTLOOKERS
- DECORATIVE BRACKETS
- DECORATIVE VENTS
- WOOD POSTS W/ STONE BASE
- CULTURED STONE VENEER
- THEME SPECIFIC GARAGE DOOR
- O'GEE GUTTER
- CONCRETE TILE ROOFING .
- "SHAKE" PROFILE

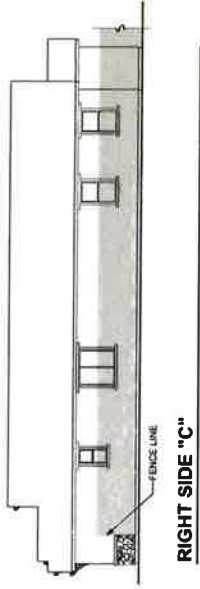
INDICATES RECESS



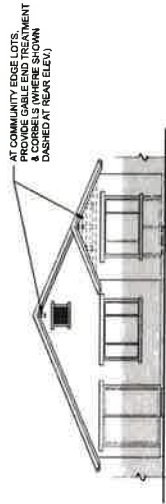
ROOF PLAN "C"



FRONT ELEVATION "C"
(CRAFTSMAN)



RIGHT SIDE "C"



REAR "C"

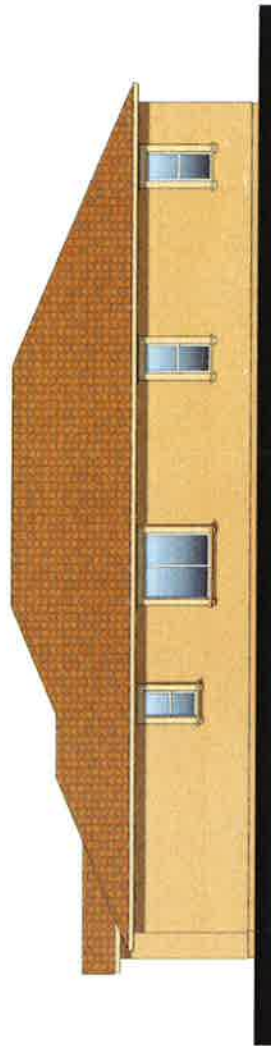


LEFT SIDE "C"

**PLAN 6 (2154 S.F.)
 MANGINI RANCH
 Folsom, California**



REAR ELEVATION - PLAN 6D



RIGHT SIDE ELEVATION - PLAN 6D



LEFT SIDE ELEVATION - PLAN 6D



FRONT ELEVATION - PLAN 6D
(ITALIAN VILLA)

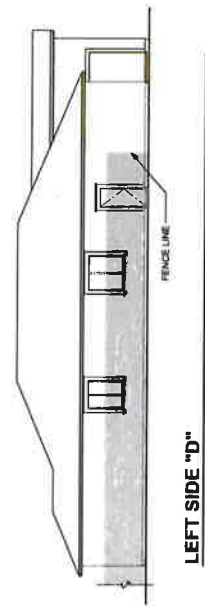
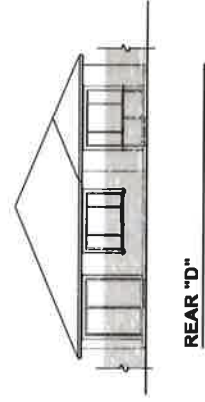
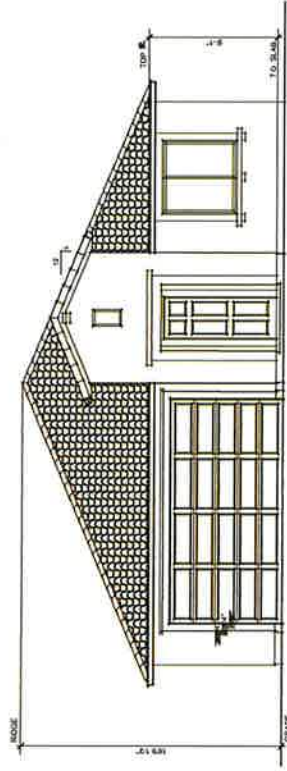
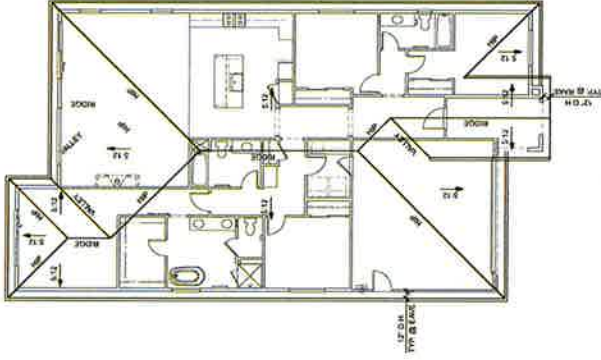


PLAN 6D
MANGINI RANCH
Folsom, California



ITALIAN VILLA

- STUCCO SIDING
- STUCCO OVER FOAM TRIM
- DECORATIVE SHELF WITH CORBELS
- DECORATIVE OUTLOOKER
- STUCCO RECESS
- THEME SPECIFIC GARAGE DOOR
- O'GEE GUTTER
- CONCRETE TILE ROOFING - LOW PROFILE "S"
- INDICATES RECESS



**PLAN 6 (2154 S.F.)
MANGINI RANCH
Folsom, California**

940 Tyler Street #19
Bentley, CA 94516
Phone: (925) 784-8386





REAR ELEVATION - PLAN 6E



RIGHT SIDE ELEVATION - PLAN 6E



LEFT SIDE ELEVATION - PLAN 6E



**FRONT ELEVATION - PLAN 6E
(FARMHOUSE)**



PLAN 6E
MANGINI RANCH
Folsom, California



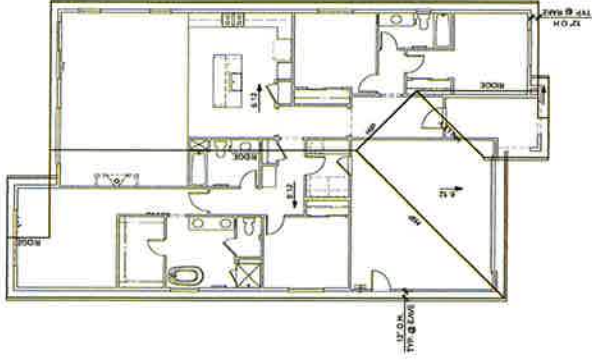
482 West Street - 219
Berkeley, CA 94710
Phone: (925) 734-3336

10-24-17

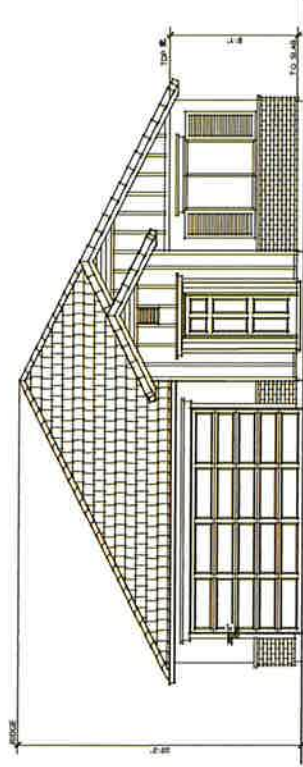
FARMHOUSES

- STUCCO SIDING
- STUCCO OVER FOAM TRIM AT
- STUCCO SIDING
- BOARD & BATTEN AT ACCENT AREAS
- WOOD TRIM AT BOARD AND BATTEN SIDING
- WOOD POSTS W/ KICKERS
- LOUVERED PANEL SHUTTERS
- THEME SPECIFIC GARAGE DOORS
- D'EGEE GUTTERS
- CONCRETE TILE ROOFING - "SLATE" PROFILE

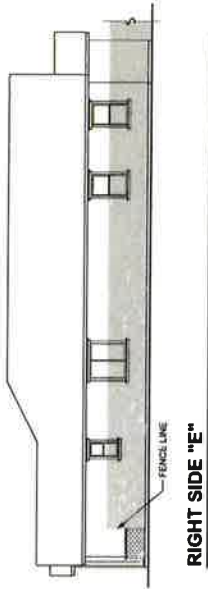
INDICATES RECESS



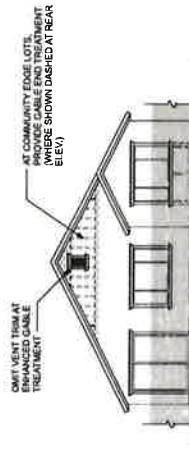
ROOF PLAN "E"



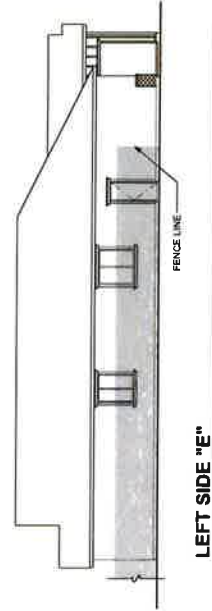
FRONT ELEVATION "E"
(FARMHOUSE)



RIGHT SIDE "E"



REAR "E"



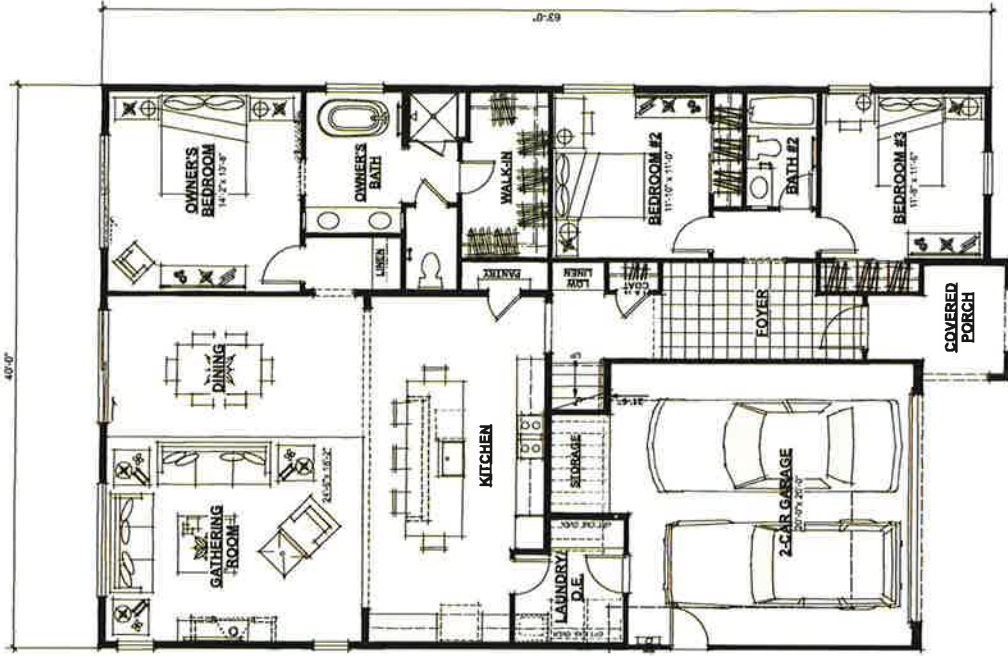
LEFT SIDE "E"



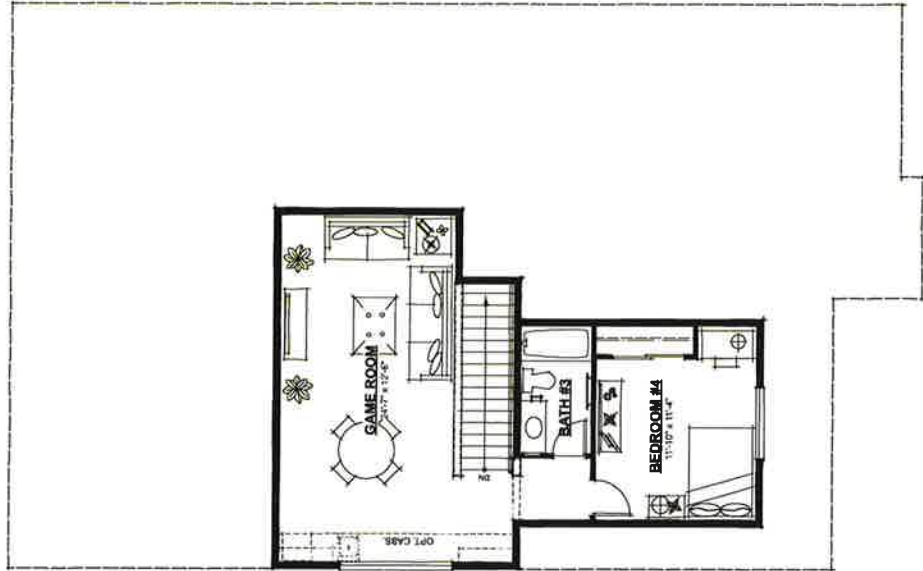
PLAN 6 (2154 S.F.)
MANGINI RANCH
Folsom, California

940 Tyler Street • 219
Benicia, CA 94910
Phone: (707) 766-8888





FIRST FLOOR PLAN (1906 S.F.; 2532 TOTAL S.F.)



SECOND FLOOR PLAN (626 S.F.)

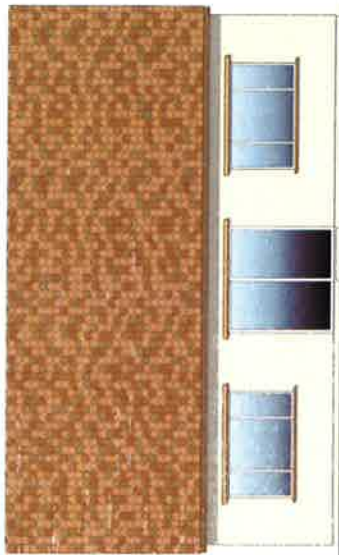
AREA SUMMARY - PLAN 7

LIVABLE		LOT COVERAGE		LIVABLE	
1st Floor	2nd Floor	100%	50%	150%	50%
1906	626	1006	506	1906	506
Covered Entry		A	B	C	D
		2443	2418	2054	2443
TOTAL		2532	2532	2532	2532

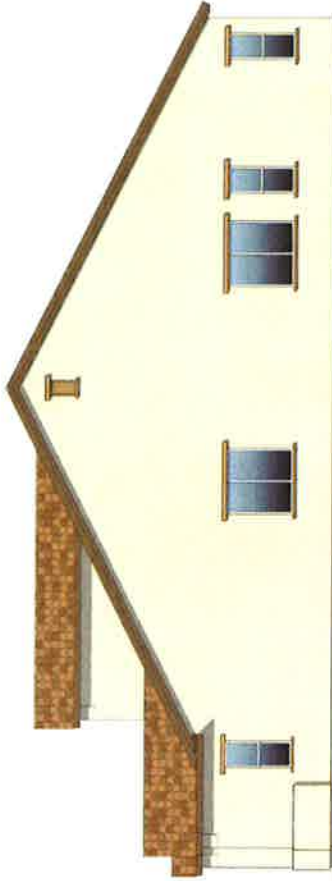


PLAN 7 (2532 SF)
MANGINI RANCH
 Folsom, California

OAG
 940 Tyler Street, 1st Floor
 Folsom, CA 95630
 Phone: (916) 744-5588
 1706 10-24-17



REAR ELEVATION - PLAN 7A



RIGHT SIDE ELEVATION - PLAN 7A



LEFT SIDE ELEVATION - PLAN 7A



**FRONT ELEVATION - PLAN 7A
(SPANISH COLONIAL)**



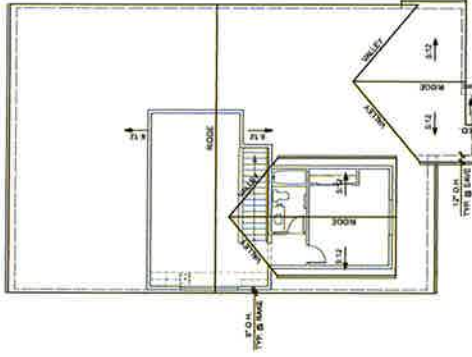
PLAN 7A
MANGINI RANCH
Folsom, California



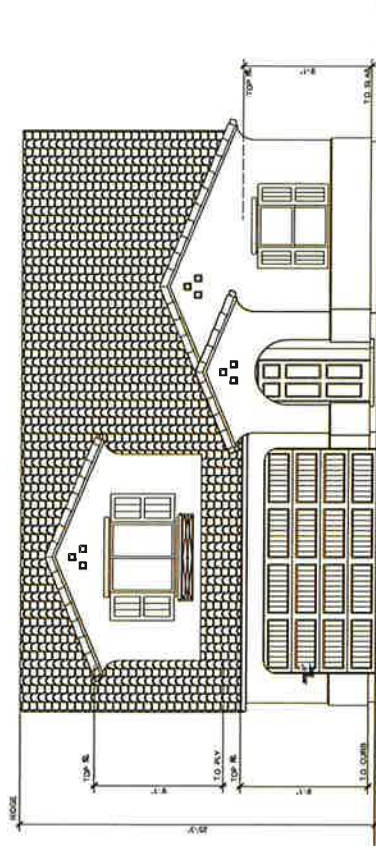
SPANISH COLONIAL

- STUCCO SIDING
- STUCCO OVER FOAM TRIM
- STUCCO OVER FOAM WAJNSCOT
- DECORATIVE TILE VENTS
- DECORATIVE SHUTTERS
- THEME SPECIFIC GARAGE DOOR
- O'GEE GUTTER
- CONCRETE TILE ROOFING -
- LOW PROFILE "S"

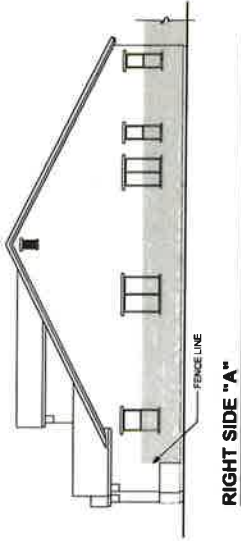
 INDICATES RECESS



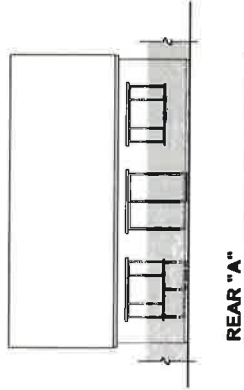
ROOF PLAN "A"



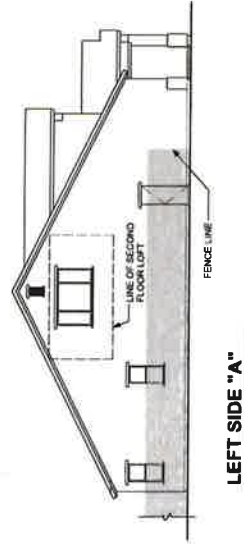
FRONT ELEVATION "A"
(SPANISH COLONIAL)



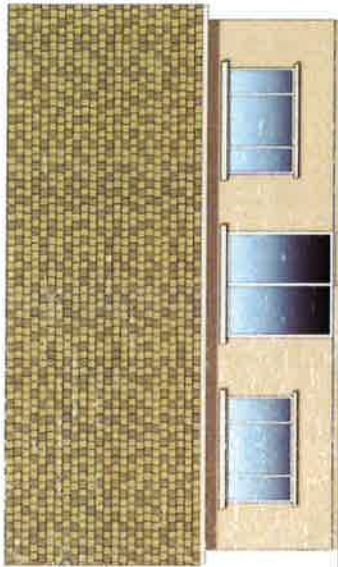
RIGHT SIDE "A"



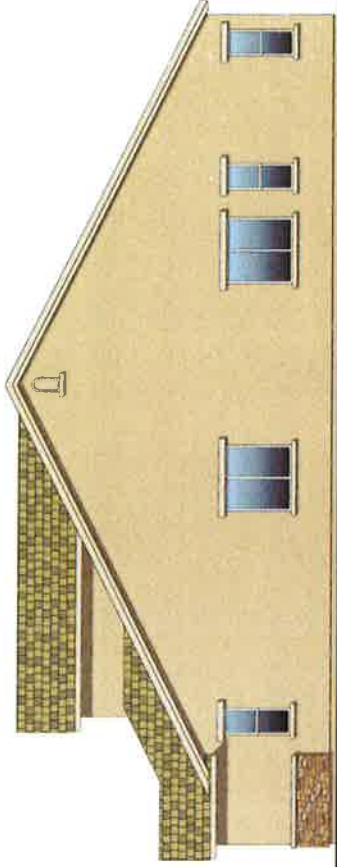
REAR "A"



LEFT SIDE "A"



REAR ELEVATION - PLAN 7B



RIGHT SIDE ELEVATION - PLAN 7B



LEFT SIDE ELEVATION - PLAN 7B



FRONT ELEVATION - PLAN 7B
(EUROPEAN COTTAGE)



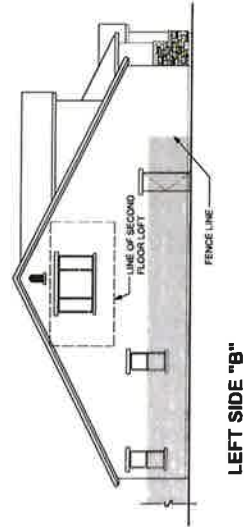
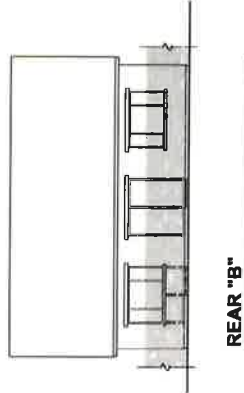
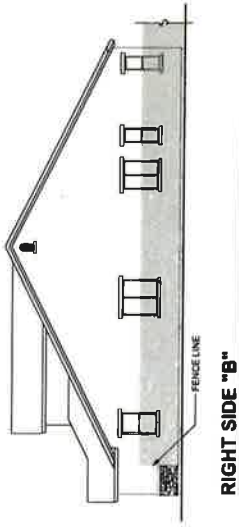
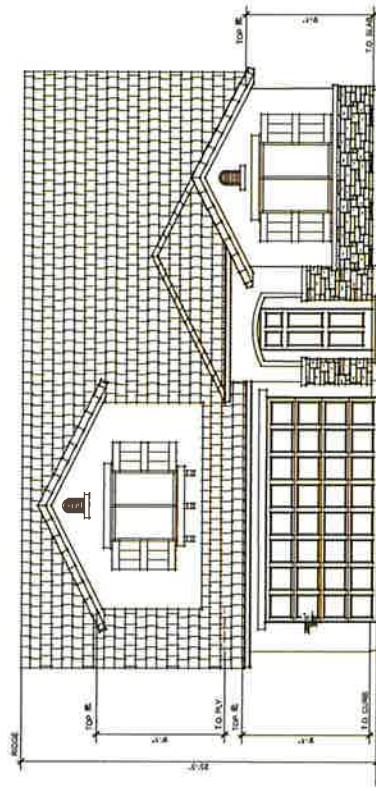
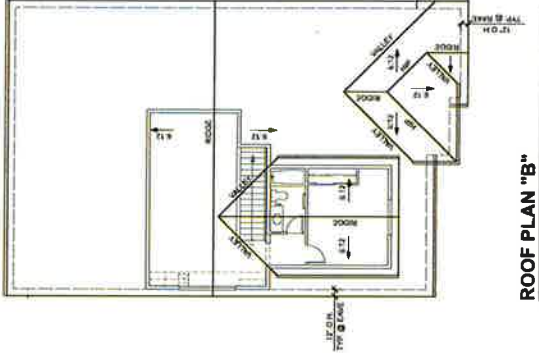
PLAN 7B
MANGINI RANCH
Folsom, California



EUROPEAN COTTAGE

- STUCCO SIDING
- STUCCO OVER FOAM TRIM
- DECORATIVE ARCHED VENTS
- DECORATIVE SHUTTERS
- CULTURED STONE VENEER
- THEME SPECIFIC GARAGE DOOR
- O'GEE GUTTER
- CONCRETE TILE ROOFING - "SLATE" PROFILE

 INDICATES RECESS





REAR ELEVATION - PLAN 7C



RIGHT SIDE ELEVATION - PLAN 7C



LEFT SIDE ELEVATION - PLAN 7C

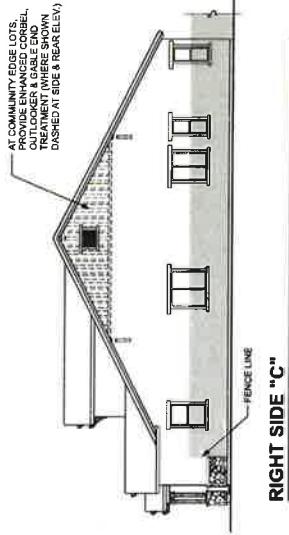


**FRONT ELEVATION - PLAN 7C
(CRAFTSMAN)**

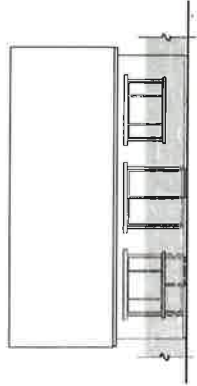


PLAN 7C
MANGINI RANCH
Folsom, California

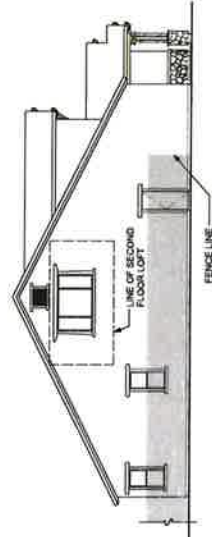




RIGHT SIDE "C"



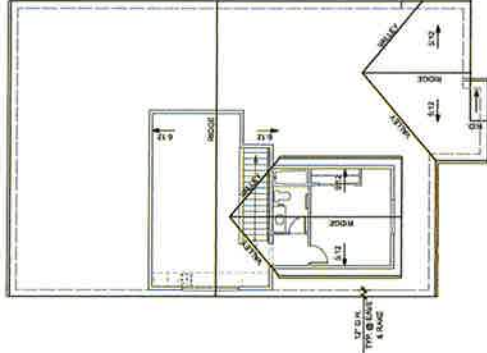
REAR "C"



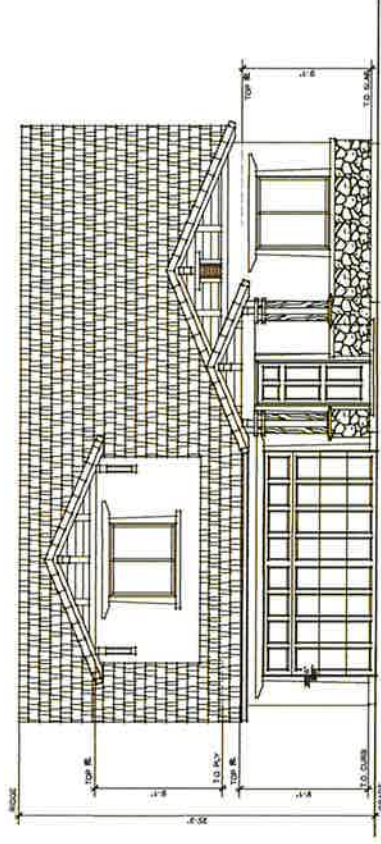
LEFT SIDE "C"

CRAFTSMAN

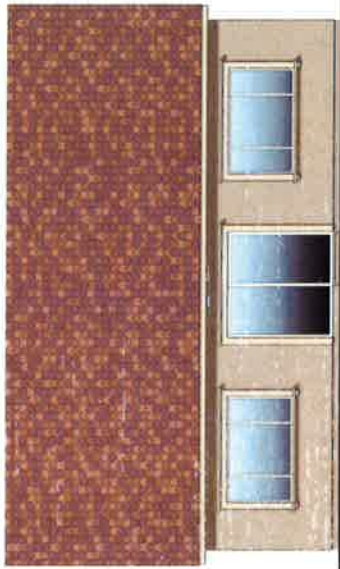
- STUCCO SIDING
- BOARD OVER FOAM TRIM
- BOARD AND BATTEN GABLE ENDS
- DECORATIVE OUT CROCKERS
- DECORATIVE BRACKETS
- DECORATIVE VENT
- WOOD POSTS W/ STONE BASE
- CULTURED STONE VENEER
- THEME SPECIFIC GARAGE DOOR
- C/SEE CUTTER ROOFING - "SHAKE" PROFILE
- INDICATES RECESS



ROOF PLAN "C"



FRONT ELEVATION "C"
(CRAFTSMAN)



REAR ELEVATION - PLAN 7D



RIGHT SIDE ELEVATION - PLAN 7D



LEFT SIDE ELEVATION - PLAN 7D



FRONT ELEVATION - PLAN 7D
(ITALIAN VILLA)



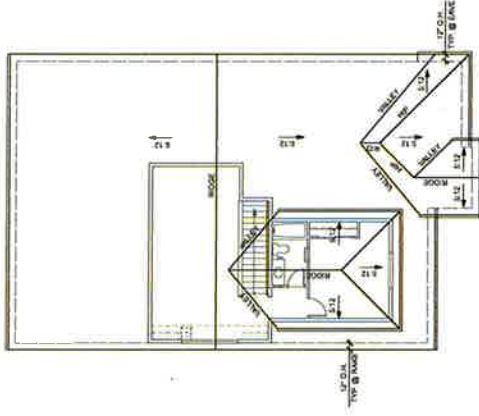
PLAN 7D
MANGINI RANCH
Folsom, California



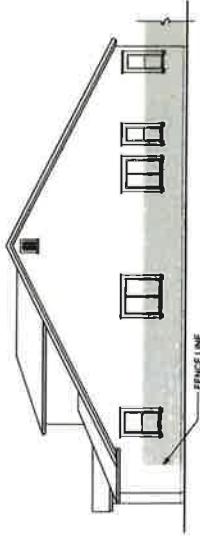
ITALIAN VILLA

- STUCCO SIDING
- STUCCO OVER FOAM TRIM
- DECORATIVE SHELF WITH CORBELS
- THEME SPECIFIC GARAGE DOOR
- O'GEE GUTTER
- CONCRETE TILE ROOFING -
- LOW PROFILE "S"

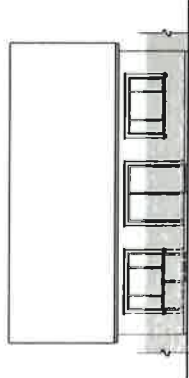
— INDICATES RECESS



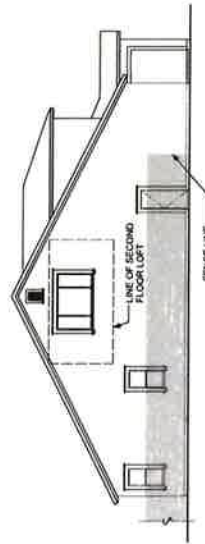
ROOF PLAN "D"



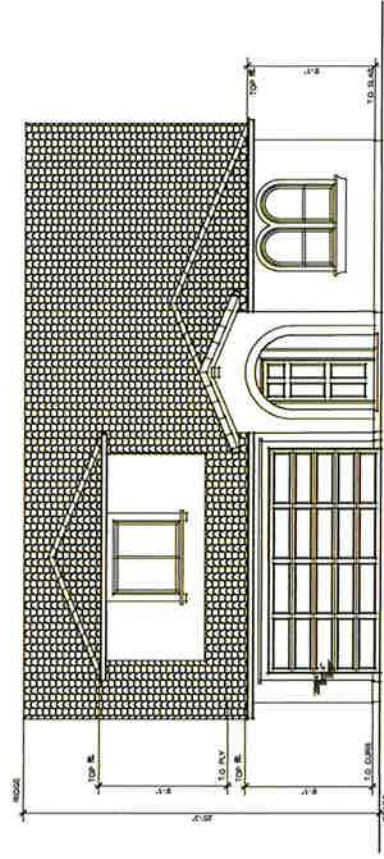
RIGHT SIDE "D"



REAR "D"



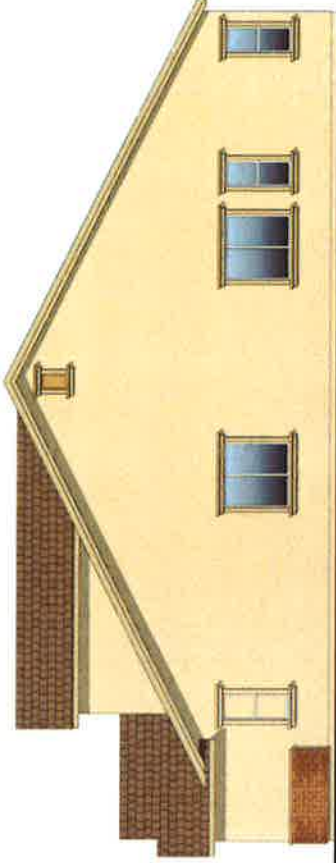
LEFT SIDE "D"



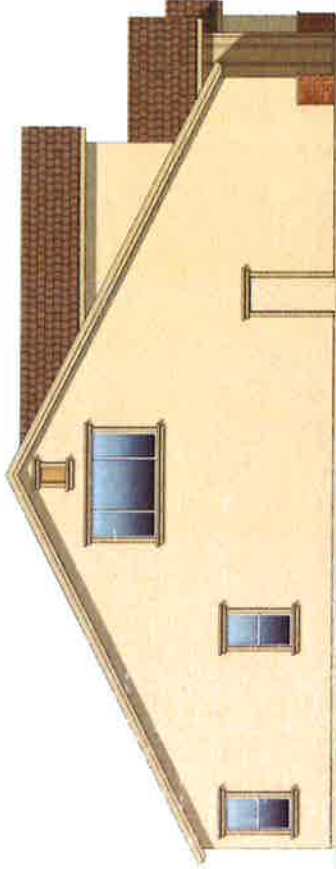
FRONT ELEVATION "D" (ITALIAN VILLA)



REAR ELEVATION - PLAN 7E



RIGHT SIDE ELEVATION - PLAN 7E



LEFT SIDE ELEVATION - PLAN 7E



**FRONT ELEVATION - PLAN 7E
(FARMHOUSE)**

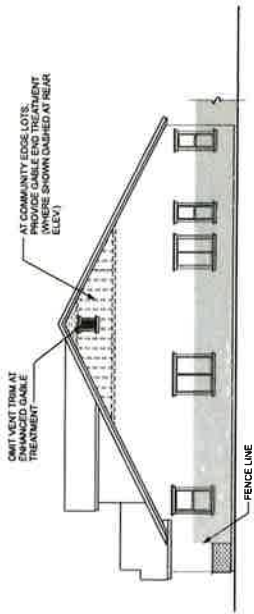


PLAN 7E
MANGINI RANCH
Folsom, California

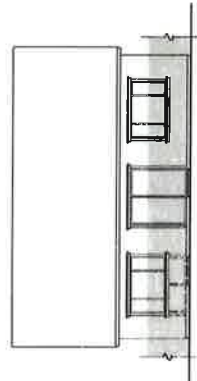


940 Tyler Street, #19
Berkeley, CA 94710
Phone: (907) 746-6666

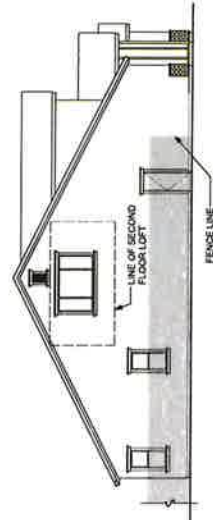
10/24/17



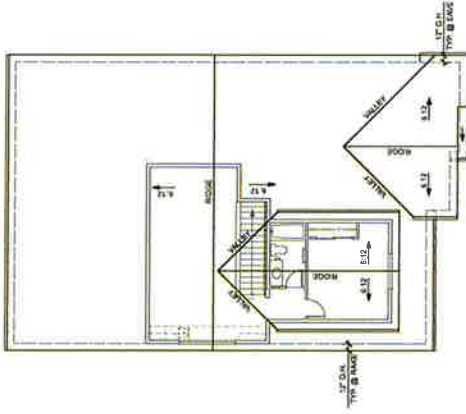
RIGHT SIDE "E"



REAR "E"



LEFT SIDE "E"

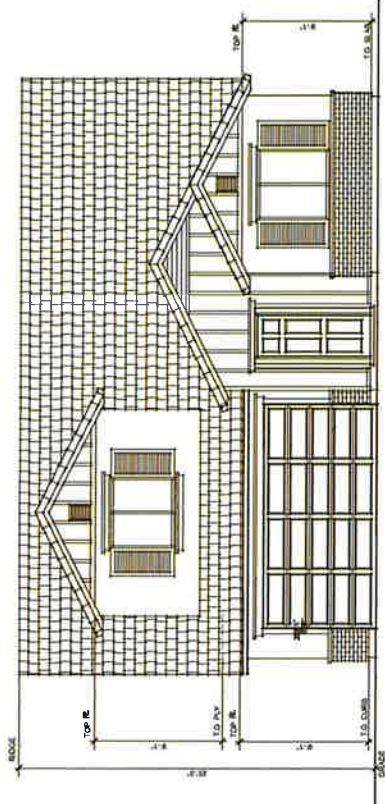


ROOF PLAN "E"

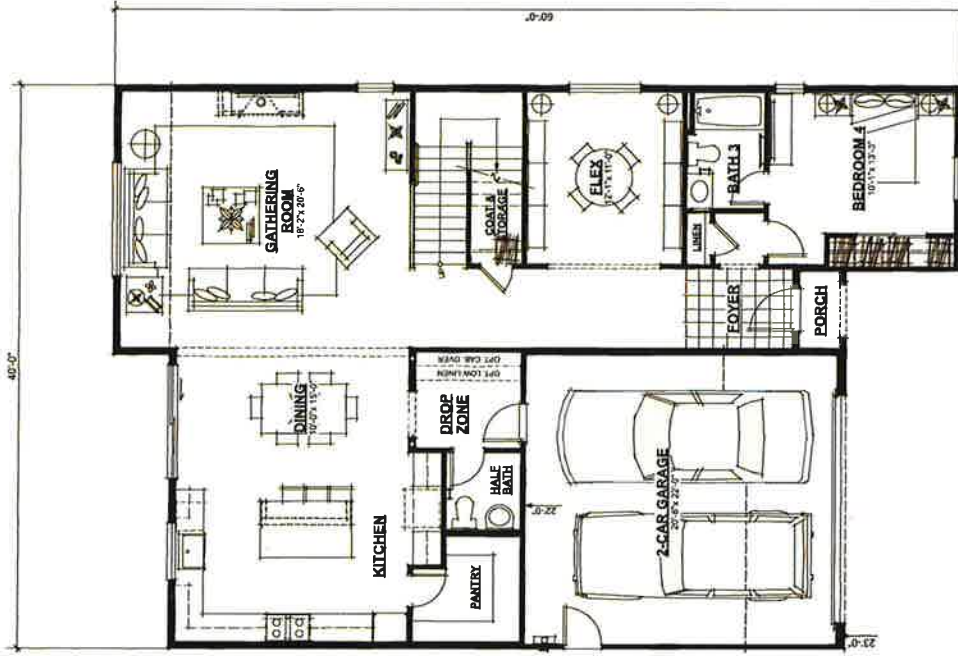
FARMHOUSES

- STUCCO SIDING
- STUCCO OVER FOAM TRIM AT ROOF
- STUCCO SIDING
- BOARD & BATTEN AT ACCENT AREAS
- WOOD TRIM AT BOARD AND BATTEN SIDING
- WOOD POSTS W/ KICKERS
- LOUVERED PANEL SHUTTERS
- THEME SPECIFIC GARAGE DOORS
- GREEN SHUTTERS
- CONCRETE TILE ROOFING - "SLATE" PROFILE

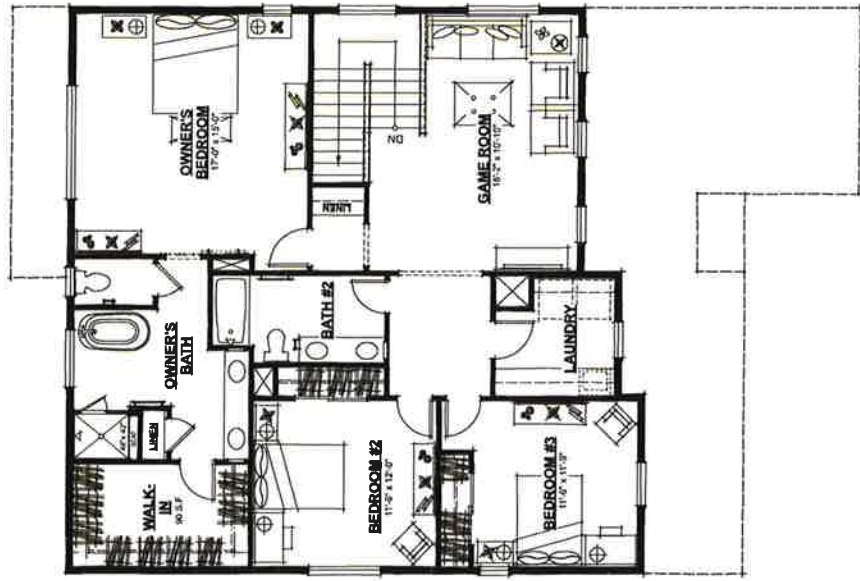
— INDICATES RECESS



FRONT ELEVATION "E"
(FARMHOUSE)



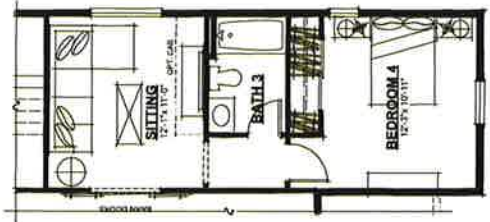
FIRST FLOOR PLAN (1604 S.F.; 3063 TOTAL S.F.)



SECOND FLOOR PLAN (1459 S.F.)

AREA SUMMARY - PLAN B

AREA	LOT COVERAGE	LIVABLE AREA
1st Floor	1604	1604
2nd Floor	1459	1459
Covered Entry	475	-
TOTAL	3067	3063



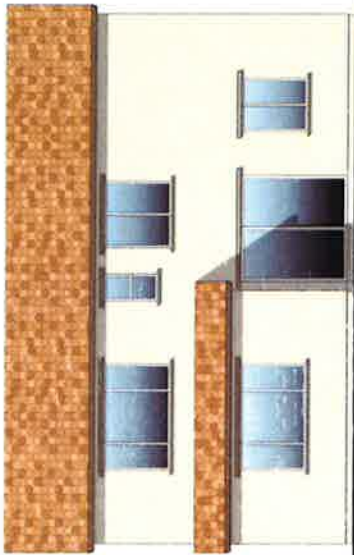
MULTI GENERATION SUITE OPTION

1706
340 Tyler Street, 1st Floor
Folsom, CA 95630
Phone: (916) 744-5554

SHEET A-43

PLAN 8 (3063 SF)
MANGINI RANCH
Folsom, California





REAR ELEVATION - PLAN 8A



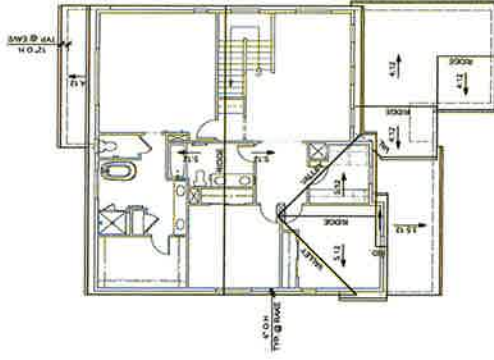
RIGHT SIDE ELEVATION - PLAN 8A



LEFT SIDE ELEVATION - PLAN 8A



**FRONT ELEVATION - PLAN 8A
(SPANISH COLONIAL)**



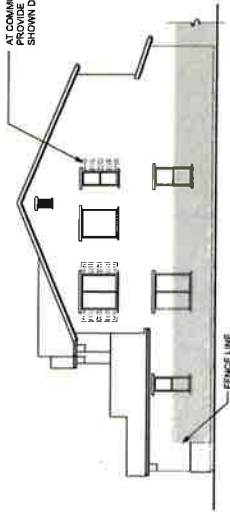
ROOF PLAN "A"

SPANISH COLONIAL

- STUCCO SIDING
- STUCCO OVER FOAM TRIM
- STUCCO OVER FOAM MAINSCOT
- DECORATIVE TILE VENTS
- CONCRETE SHUTTERS
- THEMED SPECIFIC GARAGE DOOR
- GREEK BUTTER
- CONCRETE TILE ROOFING - LOW PROFILE 'S'

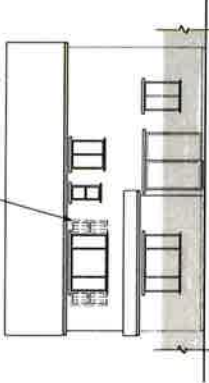
INDICATES RECESS

AT COMMUNITY EDGE LOTS, PROVIDE SHUTTERS (WHERE SHOWN DASHED AT SIDES & REAR)

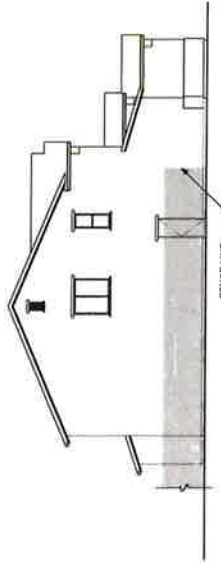


RIGHT SIDE "A"

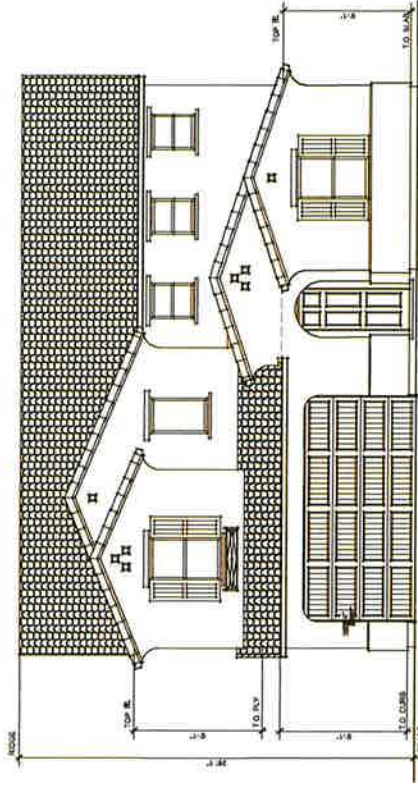
AT COMMUNITY EDGE LOTS, PROVIDE SHUTTERS (WHERE SHOWN DASHED AT SIDES & REAR)



REAR "A"



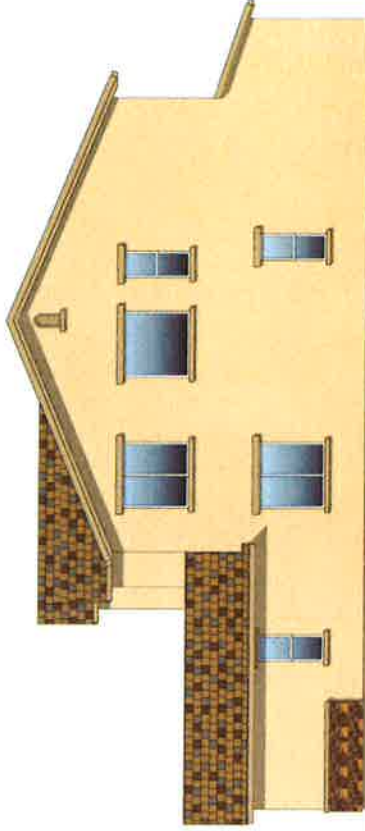
LEFT SIDE "A"



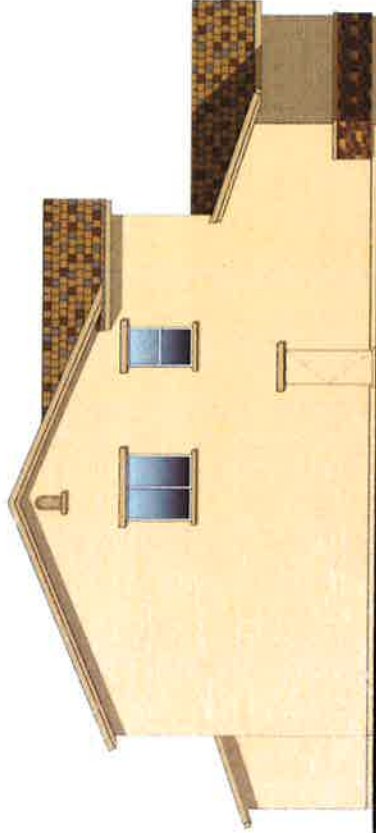
FRONT ELEVATION "A"
(SPANISH COLONIAL)



REAR ELEVATION - PLAN 8B



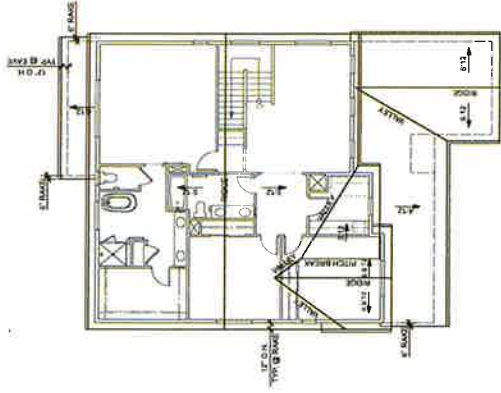
RIGHT SIDE ELEVATION - PLAN 8B



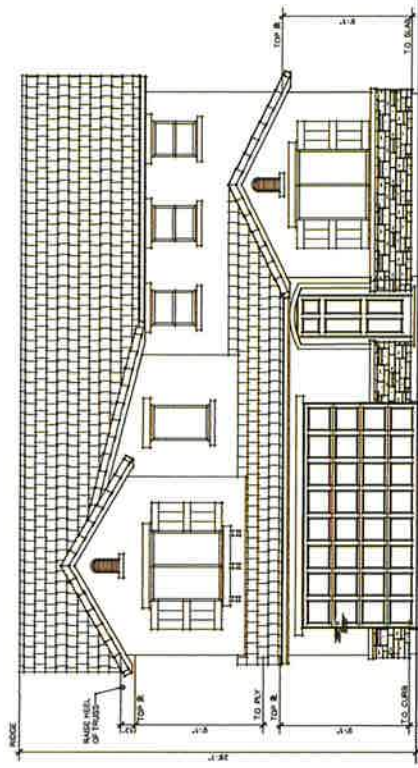
LEFT SIDE ELEVATION - PLAN 8B



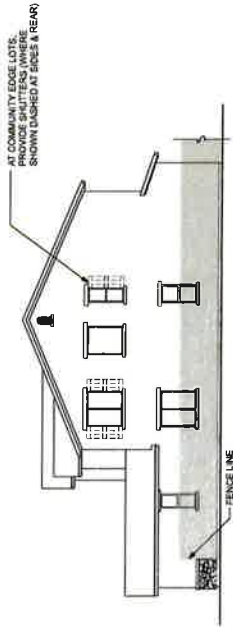
**FRONT ELEVATION - PLAN 8B
(EUROPEAN COTTAGE)**



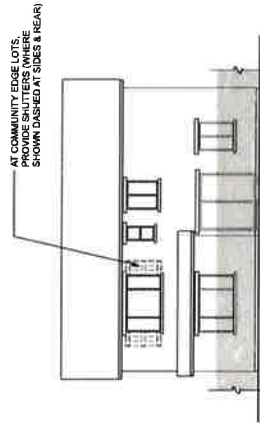
ROOF PLAN "B"



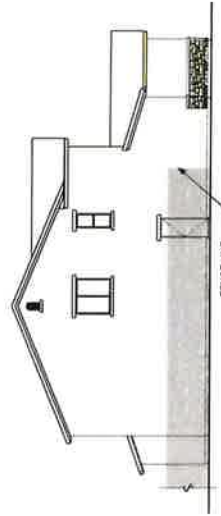
FRONT ELEVATION "B"
(EUROPEAN COTTAGE)



RIGHT SIDE "B"



REAR "B"



LEFT SIDE "B"

EUROPEAN COTTAGE

- STUCCO SIDING
- STUCCO OVER FOAM TRIM
- DECORATIVE ARCHED VENTS
- DECORATIVE SHUTTERS
- CULTURED STONE VENEER
- THEME SPECIFIC GARAGE DOOR
- D'SEE GUTTER
- CONCRETE TILE ROOFING - "SLATE" PROFILE
- ▬ INDICATES RECESS



REAR ELEVATION - PLAN 8C



RIGHT SIDE ELEVATION - PLAN 8C



LEFT SIDE ELEVATION - PLAN 8C



FRONT ELEVATION - PLAN 8C
(CRAFTSMAN)



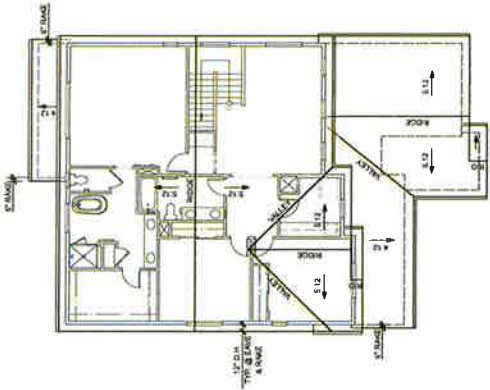
PLAN 8C
MANGINI RANCH
Folsom, California



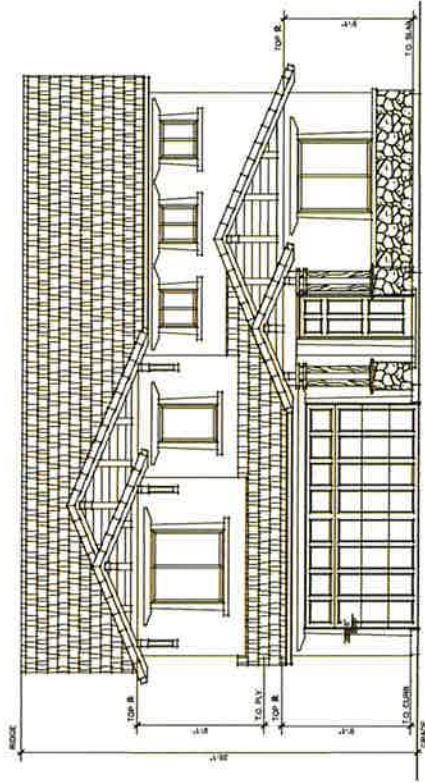
CRAFTSMAN

- STUCCO SIDING
- BOARD AND BATTEN GABLE ENDS
- DECORATIVE BRACKET
- WOOD POSTS W/ STONE BASE
- CULTURED STONE VENEER
- THEME SPECIFIC GARAGE DOOR
- CONCRETE TILE ROOFING - "SHAKE" PROFILE

INDICATES RECESS

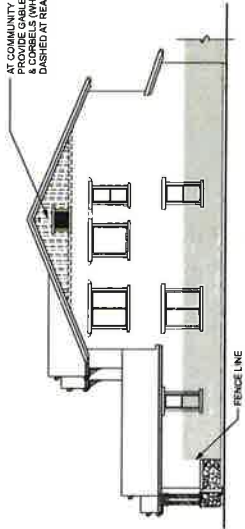


ROOF PLAN "C"



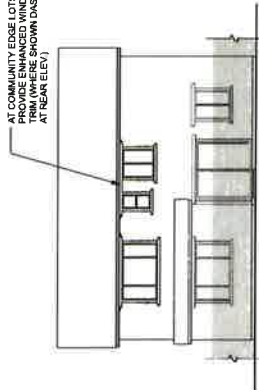
FRONT ELEVATION "C"
(CRAFTSMAN)

AT COMMUNITY EDGE LOTS,
PROVIDE ENHANCED WINDOW
& CORBELS (WHERE SHOWN
DASHED AT REAR ELEV.)

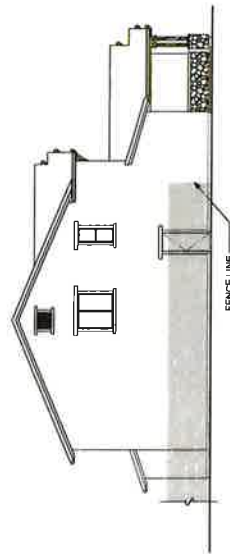


RIGHT SIDE "C"

AT COMMUNITY EDGE LOTS
PROVIDE ENHANCED WINDOW
TRIM (WHERE SHOWN DASHED
AT REAR ELEV.)



REAR "C"



LEFT SIDE "C"



REAR ELEVATION - PLAN 8D



RIGHT SIDE ELEVATION - PLAN 8D



LEFT SIDE ELEVATION - PLAN 8D



**FRONT ELEVATION - PLAN 8D
(ITALIAN VILLA)**



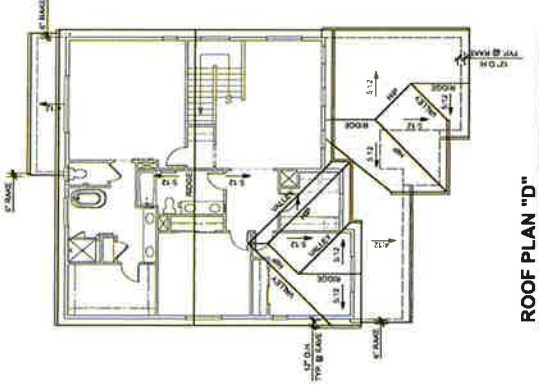
PLAN 8D
MANGINI RANCH
Folsom, California



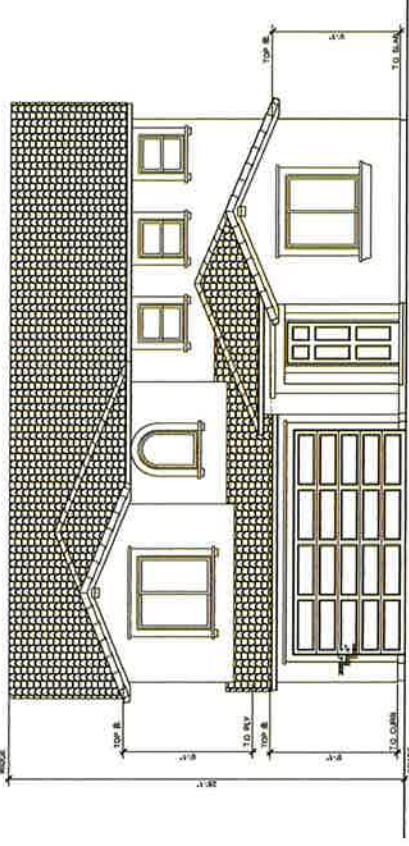
ITALIAN VILLA

- STUCCO SIDING
- STUCCO OVER FOAM TRIM
- DECORATIVE SHELF WITH CORBELS
- THEME SPECIFIC GARAGE DOOR
- 0"SEE GUTTER
- CONCRETE TILE ROOFING - LOW PROFILE "S"

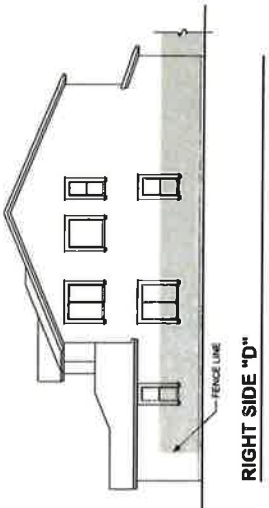
 INDICATES RECESS



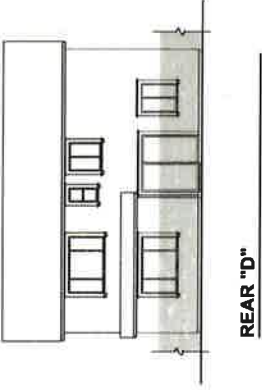
ROOF PLAN "D"



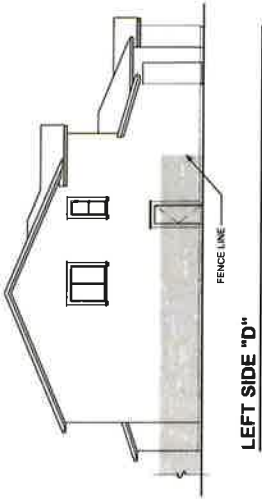
FRONT ELEVATION "D"
(ITALIAN VILLA)



RIGHT SIDE "D"



REAR "D"



LEFT SIDE "D"



REAR ELEVATION - PLAN 8E



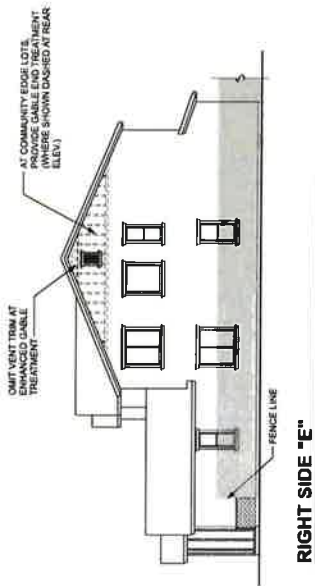
RIGHT SIDE ELEVATION - PLAN 8E



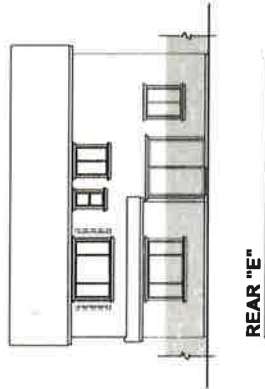
LEFT SIDE ELEVATION - PLAN 8E



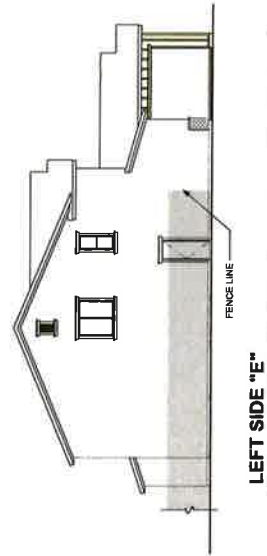
**FRONT ELEVATION - PLAN 8E
(FARMHOUSE)**



RIGHT SIDE "E"



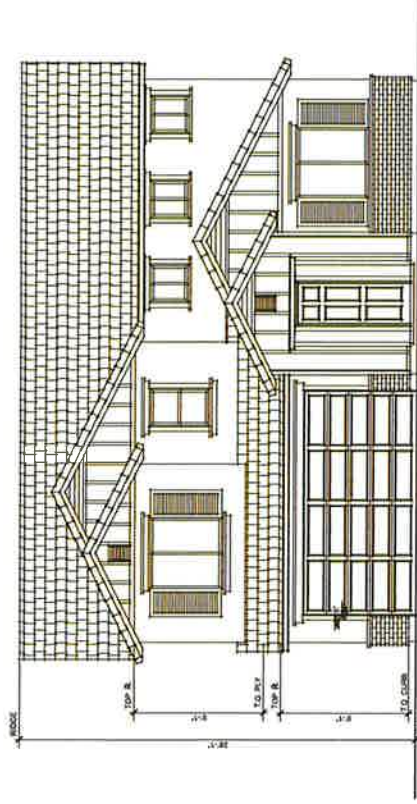
REAR "E"



LEFT SIDE "E"



ROOF PLAN "E"



FRONT ELEVATION "E"
(FARMHOUSE)

- FARMHOUSES**
- STUCCO SIDING
 - STUCCO OVER FOAM TRIM AT
 - STUCCO SIDING
 - BOARD & BATTEN AT ACCENT AREAS
 - WOOD TRIM AT BOARD AND BATTEN SIDING
 - WOOD POSTS W/ WICKERS
 - LOUVERED PANEL SHUTTERS
 - THEME SPECIFIC GARAGE DOORS
 - DYE GUTTERS
 - CONCRETE TILE ROOFING - "SLATE" PROFILE
- └─ INDICATES RECESS

Attachment 5

Color Streetscenes, dated October 24, 2017



EUROPEAN COTTAGE - PLAN 1

CRAFTSMAN - PLAN 4



SPANISH COLONIAL - PLAN 3

ITALIAN VILLA - PLAN 2

FARMHOUSE - PLAN 1



MANGINI RANCH
Folsom, California





ITALIAN VILLA - PLAN 5

EUROPEAN COTTAGE - PLAN 8



CRAFTSMAN - PLAN 7

SPANISH COLONIAL - PLAN 8

FARMHOUSE - PLAN 6



MANGINI RANCH
FOLSOM, California



Attachment 6

Color and Material Details, dated June 20, 2017

Mangini Ranch

taylor
morrison

Homes Inspired by You



**COLOR SCHEMES
STONE AND BRICK VENEER
ROOF MATERIALS**



September 2017

MANGINI RANCH

by TaylorMorrison

COLOR APPLICATIONS

SPANISH SCHEMES 1, 2, & 3

COLOR 1 - BODY

COLOR 2 – TRIM & VENTS

COLOR 3 - FASCIA, GARAGE DR, FRONT DR, & SHUTTERS

EUROPEAN COTTAGE SCHEMES 4, 5, & 6

COLOR 1 - BODY

COLOR 2 - TRIM , FASCIA, VENTS, & GARAGE DR

COLOR 3 – SHUTTERS & FRONT DR

CRAFTSMAN SCHEMES 7, 8, & 9

COLOR 1 - BODY

COLOR 2 - TRIM, SIDING AT GABLES, & POSTS

COLOR 3 – FASCIA, CORBLES, GARAGE DR, & FRONT DR

ITALIAN VILLA SCHEMES 10, 11, & 12

COLOR 1 - BODY

COLOR 2 - TRIM, FASCIA, & CORBLES,

COLOR 3 – FRONT DR AND GARAGE DR

FARMHOUSE SCHEMES 13, 14, & 15

COLOR 1 – BODY & GARAGE DR

COLOR 2 - TRIM , FASCIA, & POSTS

COLOR 3 - SIDING AT GABLE ENDS, & VENTS

COLOR 4 - SHUTTERS AND FRONT DR

Mangini Ranch

by TAYLOR MORRISON

SCHEME 1 (Spanish Colonial)

PPG PAINT:

COLOR 1

PPG 1022-1

Hourglass

COLOR 2

PPG 1022-5

Eiffel Tower

COLOR 3

PPG 1021-7

Cabin Fever

EAGLE ROOFING:

2522

Terricotta Flashed



SCHEME 2 (Spanish)

PPG PAINT:

COLOR 1

PPG 1078-2

Water Chestnut

COLOR 2

PPG 1079-5

Cocoloco

COLOR 3

PPG 1075-6

Poppy Pods

EAGLE ROOFING:

2646

Sunset Blend



Mangini Ranch

by TAYLOR MORRISON

SCHEME 3 (Spanish)

PPG PAINT:

COLOR 1

PPG 1101-1

China White

COLOR 2

PPG 1101-5

Bear Hug

COLOR 3

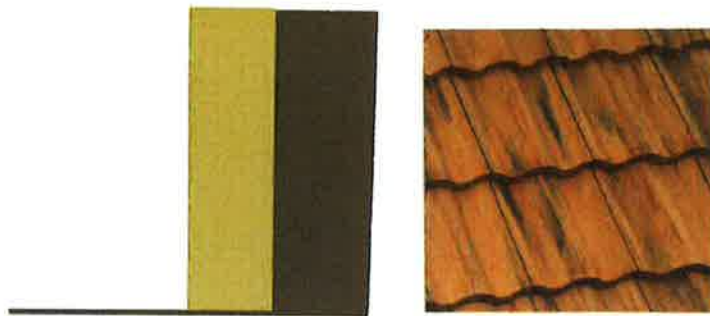
PPG 1101-7

Lemur

EAGLE ROOFING:

2520

Weathered Terracotta Flashed



SCHEME 4 (European Cottage)

PPG PAINT:

COLOR 1

PPG 12-29

Ivory Beauty

COLOR 2

PPG 1097-5

Stoney Creek

COLOR 3

PPG 1018-7

Saraparilla

EAGLE ROOFING:

4671

Village Blend

EL DORADO STONE:

Savannah Limestone



Mangini Ranch

by TAYLOR MORRISON

SCHEME 5 (European Cottage)

PPG PAINT:

COLOR 1

PPG 1097-4

Dusty trail

COLOR 2

PPG 1029-5

Meander

COLOR 3

PPG 1020-6

Wicker Basket

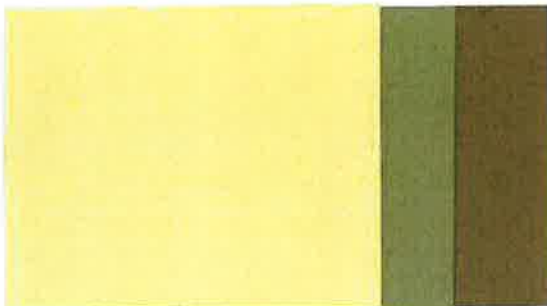
EAGLE ROOFING:

4687

Gray Brown Range

EL DORADO STONE:

York Limstone



SCHEME 6 (European Cottage)

PPG PAINT:

COLOR 1

PPG 14-27

True Khaki

COLOR 2

PPG 1008-2

Storm's Coming

COLOR 3

PPG 1024-6

Patches

EAGLE ROOFING:

4690

Pewter Bronze Blend

EL DORADO STONE:

San Marino Limestone



Mangini Ranch

by TAYLOR MORRISON

SCHEME 7 (Craftsman)

PPG PAINT:

COLOR 1

PPG 1098-4

Spiced Vinegar

COLOR 2

PPG 1077-6

Salted Pretzel

COLOR 3

PPG 1010-65

Downpour

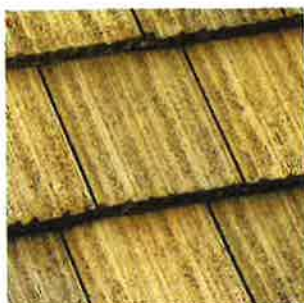
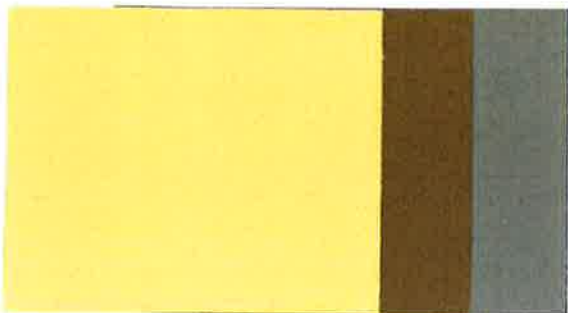
EAGLE ROOFING:

5690

Pewter bronze Blend

EL DORADO STONE

Cognac Country Rubble



SCHEME 8 (Craftsman)

PPG PAINT:

COLOR 1

PPG 1102-3

Dancing Dolphin

COLOR 2

PPG 1032-6

Kings Court

COLOR 3

PPG 1077-7

Coffee House

EAGLE ROOFING:

5687

Gray Brown Range

EL DORADO STONE

Polermo Country Rubble



Mangini Ranch

by TAYLOR MORRISON

SCHEME 9 (Craftsman)

PPG PAINT:

COLOR 1

PPG 14-02

Nut Shell

COLOR 2

PPG 1011-6

Glazed Granite

COLOR 3

PPG 1017-7

Chocolate Pretzel

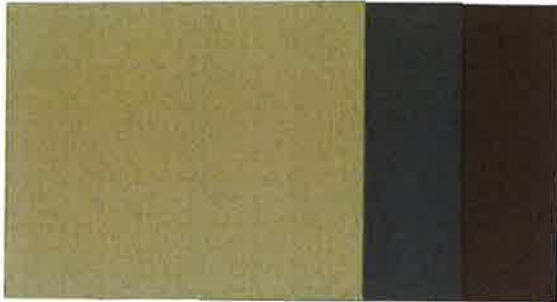
EAGLE ROOFING:

5557

Live Oak

EL DORADO STONE

Capri Country Rubble



SCHEME 10 (Italian Villa)

PPG PAINT:

COLOR 1

PPG 1077-4

Weathered Wood

COLOR 2

PPG 14-21

Wheat Sheaf

COLOR 3

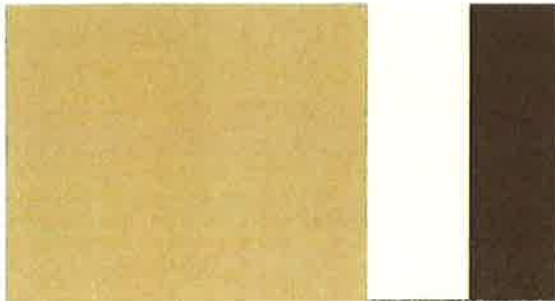
PPG 1077-71

Coffee House

EAGLE ROOFING:

2689

Brown Range



Mangini Ranch

by TAYLOR MORRISON

SCHEME 11 (Italian Villa)

PPG PAINT:

COLOR 1

PPG 12-16

Desert Camel

COLOR 2

PPG 1103-3

Soft Suede

COLOR 3

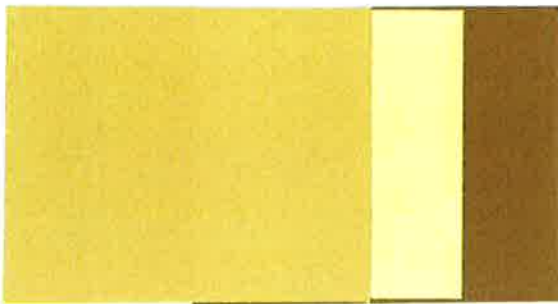
PPG 1085-6

Hat Box Brown

EAGLE ROOFING:

2605

San Benito Blend



SCHEME 12 (Italian Villa)

PPG PAINT:

COLOR 1

PPG 1022-4

Rock Slide

COLOR 2

PPG 1022-2

Intuitive

COLOR 3

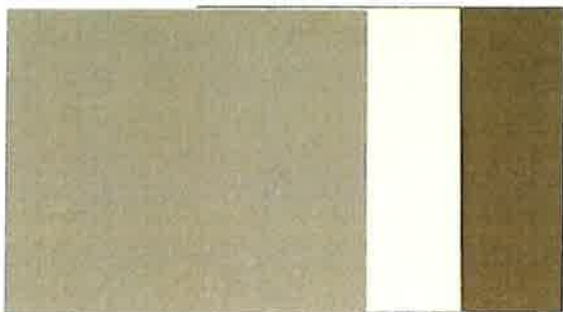
PPG 1023-6

Clam Shell

EAGLE ROOFING:

2684

San Raphael Blend



Mangini Ranch

by TAYLOR MORRISON

SCHEME 13 (Farmhouse)

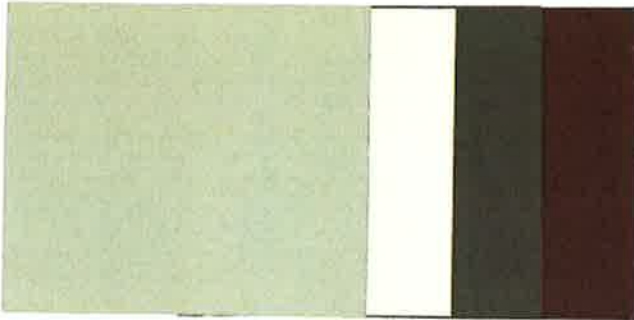
PPG PAINT:

COLOR 1 PPG 1007-4
COLOR 2 PPG 1002-3
COLOR 3 PPG 1009-6
COLOR 4 PPG 1054-7

EAGLE ROOFING: 4697

EL DORADO STONE

Hot Stone
Cool Slate
Armory
Chocolate Eclair
Slate range
Ashland Tundra Brick



SCHEME 14 (Farmhouse)

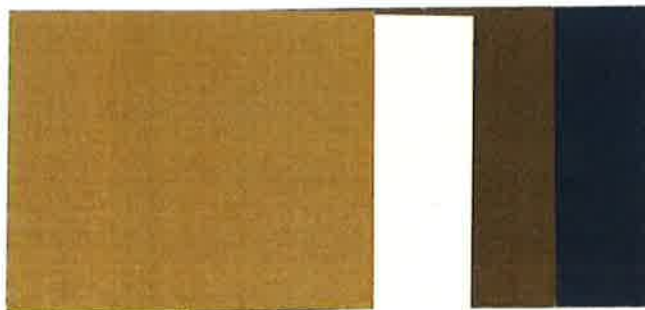
PPG PAINT:

COLOR 1 PPG 1077-5
COLOR 2 PPG 14-07
COLOR 3 PPG 1078-7
COLOR 4 PPG 1041-7

EAGLE ROOFING: 4646

EL DORADO STONE

Chocolate Moment
Scotch Mist
Chocolate Ripple
Cavalry
Sunset Blend
Hartford Tundra Brick



Mangini Ranch

by TAYLOR MORRISON

SCHEME 15 (Farmhouse)

PPG PAINT:

COLOR 1

PPG 1098-3

Sand Fossil

COLOR 2

PPG 1102-4

Prairie Dust

COLOR 3

PPG 1093-5

Antiquity

COLOR 4

PPG 1029-5

Meander

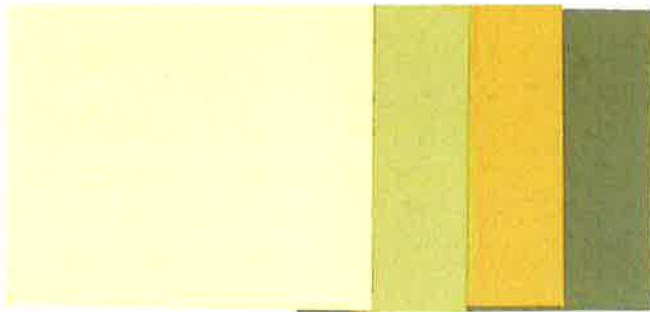
EAGLE ROOFING:

4689

Brown Range

EL DORADO STONE

Riverbed Tundra Brick



Attachment 7

Folsom Ranch Central District Design Guidelines

FOLSOM RANCH, CENTRAL DISTRICT

DESIGN GUIDELINES



May | 2015





PREPARED FOR:

MANGINI NORTH HOLDINGS, LLC
3907 PARK DRIVE, SUITE 235
EL DORADO HILLS, CA 95762

WHITE ROCK LAND INVESTORS, LLC
3907 PARK DRIVE, SUITE 235
EL DORADO HILLS, CA 95762

PREPARED BY:

FORMA DESIGN, INC.
3050 PULLMAN STREET
COSTA MESA, CA 92626





Table of Contents





1. VISION + INTRODUCTION

2. ARCHITECTURAL DESIGN GUIDELINES

- Guiding Principles
- General Architectural Guidelines
- Lot Coverage Guidelines

3. LANDSCAPE DESIGN GUIDELINES

- Guiding Landscape Design Principles
- Community Design Theme/ Landscape Character
- Community Identity Plan/Monumentation
- Streetscape Plans/Sections
- Open Space and Drainage Basins
- Lighting and Street Furniture Guidelines
- Wall and Fence Guidelines
- Landscape Master Community Plant Matrix

4. DESIGN PROCESS





VISION + INTRODUCTION





PURPOSE AND OBJECTIVE

The Folsom Ranch, Central District Design Guidelines is a complementary document to the Folsom Plan Area Specific Plan and the Folsom Plan Area Specific Plan Community Guidelines. It is intended as an implementation tool for the residential development of Folsom Ranch, Central District, and provides the design framework for architecture, streetscene, and landscape to convey a master plan identity. These guidelines establish the pattern and intensity of development for Folsom Ranch, Central District to ensure a high-quality and aesthetically cohesive environment. While these guidelines establish the quality of architectural and landscape development for the master plan, they are not intended to prevent alternative designs and/or concepts that are compatible with the overall project theme.

As a regulatory tool, this guideline document will assist applicants in creating single-family residential neighborhoods that reflect the City's rich history, reinforce the sense of community, and utilize sustainable best practices. This document also provides the framework for design review approval of Folsom Ranch, Central District residential projects.

This document is intended to be used by builders and developers when designing their Master Plot Plans. Any project that is submitted to the Folsom Ranch, Central District Architectural Review Committee and the City must be reviewed for consistency with these design guidelines. The Folsom Ranch, Central District Architectural Review Committee and the City will review all designs, plans, and construction to ensure compliance with this document. (Refer to Section Four.) The project must then obtain Planning Commission approval under a design review approval process.

Guiding Principles

The following guiding principles will guide the design of the Folsom Ranch, Central District to ensure quality development:

- Create a community that encourages interaction and evokes a “pride of place” where people want to live.
- Encourage linkages and connectivity through land use adjacencies, trails, and open space.
- Create a variety of walkable neighborhoods.
- Encourage physical, social, and economic diversity.
- Integrate environmentally responsible practices.

These Design Guidelines are interpretational and are, therefore, conceptual in nature. Any changes or deviations from these Design Guidelines can be discussed and negotiated with City staff. As a living document, the Guidelines can, over time, accommodate changes in lifestyles, consumer preferences, economic conditions, community desires, and the marketplace.

The architectural and landscape guidelines complement each other. Together they combine to form a distinctive master plan offering a high quality, sustainable environment, and a sense of identity.

Context

In 2011, the City of Folsom adopted The Folsom Plan Area Specific Plan (FPASP) to guide development of approximately 3,500 acres of property south of U.S. Highway 50 (Plan Area) that was later annexed to the City of Folsom in early 2012 (refer to Figure 1.1 – Plan Area Location).



Folsom Ranch is strategically located in the center of the Plan Area and consists of approximately 1,700 acres of gently rolling terrain easily accessible from White Rock, Scott and Prairie City Roads as well as Highway 50 (refer to Figure 1.2). The property is home to much of the Plan Area oak woodlands as well as a 2.5 mile segment of Alder Creek and associated intermittent drainages and wetlands, which will be conserved in the extensive Folsom Ranch open space network.

As discussed in the FPASP, the Plan Area naturally divides into three distinct districts: the Southwest District, the Hillside District and the Central District, the majority of which is contained within the boundaries of Folsom Ranch (refer to Figure 1.3).

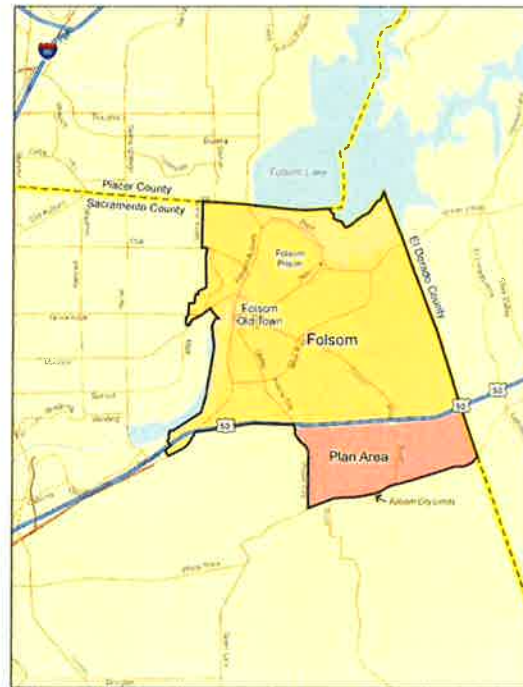


Figure 1.1. - Plan Area Location

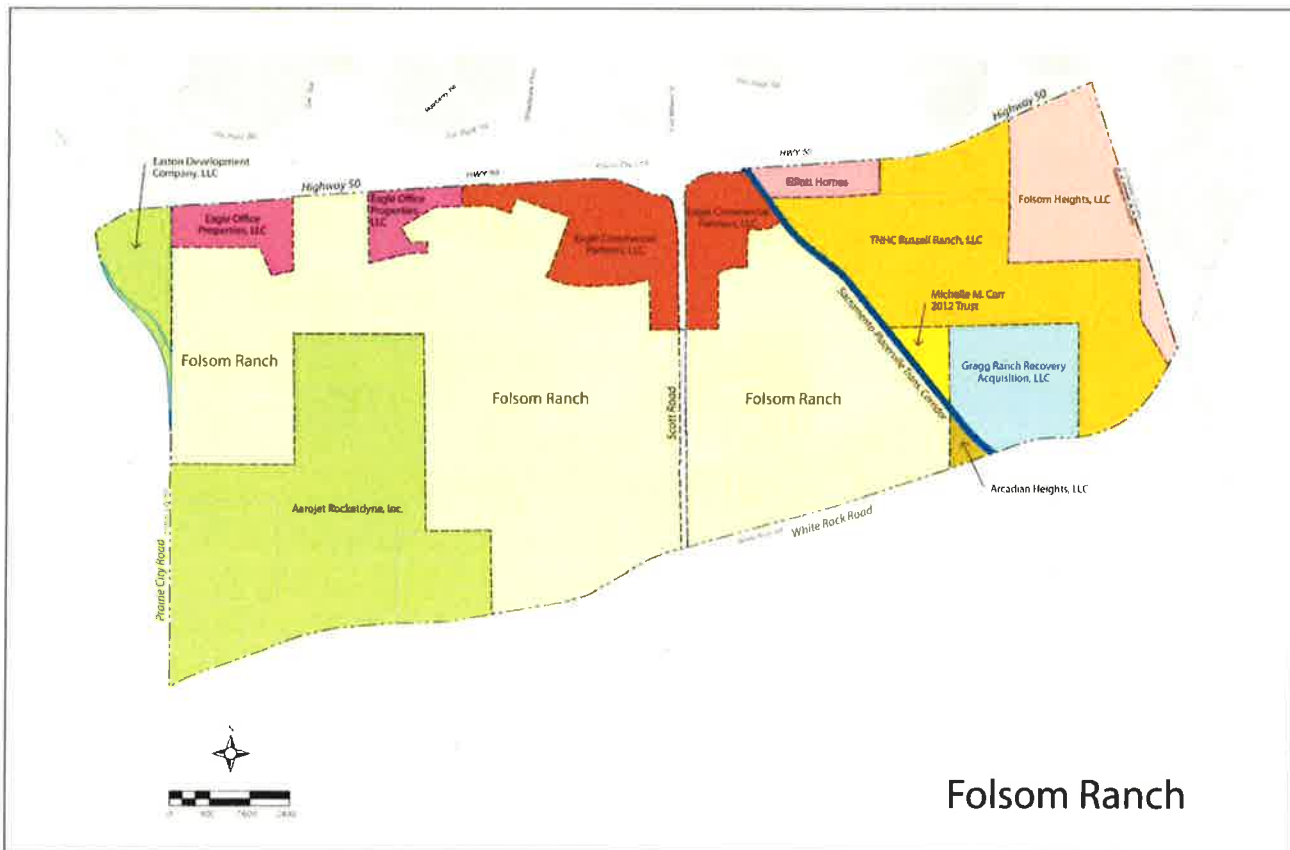


Figure 1.2. - Folsom Ranch Location



The Central District (primarily Folsom Ranch) will be the heart of the new community and its layout embodies the design principle of mixed compatible uses, developed in a compact pattern with access to alternative transportation modes. Consistent with the concept of interconnected streets, much of the road plan of Folsom Ranch, particularly in the Town Center, is based on a neo-traditional orthogonal system of “Complete Streets” featuring short blocks to slow traffic and provide multiple routes for pedestrian travel. Key design features of Folsom Ranch include the mixed-use Town Center, the regional transit corridor that traverses much of the Ranch, mixed-use neighborhood centers, community and neighborhood parks, schools, and an extensive open space system. Folsom Ranch offers a highly diversified mix of commercial, residential, public and quasi-public uses that will provide residents with multiple housing choices, job opportunities, and convenient access to schools and recreation.

When completed, Folsom Ranch will provide over 6,000 housing units, approximately 440,000 square feet of commercial space, three elementary schools and one combined middle/high school, a 26 acre community park, five neighborhood parks, a town center and entertainment district, and an extensive open space system with cycling and walking trails (refer to Table 1.1).

Table 1.1 - Folsom Ranch Land Use Summary

Land Use	Area (Ac)	DU	Bldg (SF)
SF	159	493	
SFHD	324	1,792	
MLD	196	1,769	
MMD	38	657	
MHD	41	1,005	
MU	59	681	205,952
CC	22		234,135
POP	2		
POP-SCHOOLS	111		
PARKS	57		
OS	611		
Subtotal	1,620	6,397	440,087
Major Roads	99		
Total	1,719		

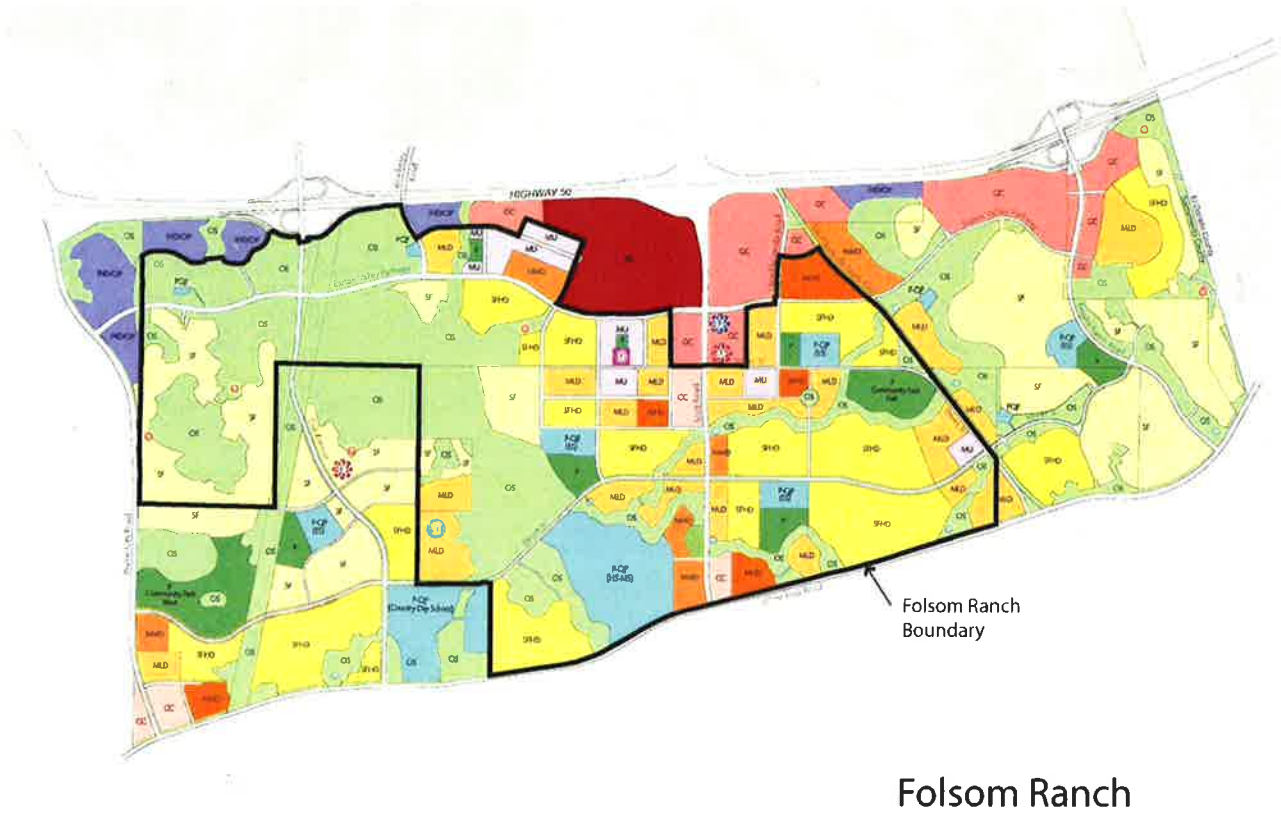


Figure 1.3. - Folsom Ranch Boundary and Land Use Plan





2

ARCHITECTURAL DESIGN GUIDELINES





ARCHITECTURAL GUIDING PRINCIPLES

The following residential guiding principles will guide the architecture to ensure quality development:

- Provide a varied and interesting streetscene.
- Focus of the home is the front elevation, not the garage.
- Provide a variety of garage placements.
- Provide detail on rear elevations where visible from the public streets.
- Choose appropriate massing and roof forms to define the architectural styles.
- Ensure that plans and styles provide a degree of individuality.
- Use architectural elements and details to reinforce individual architectural styles.

GENERAL ARCHITECTURAL GUIDELINES

Edge Conditions

Rear elevations visible from open spaces and major roadways shall incorporate enhanced details used on the front elevation of the home. Rear elevations observable from open spaces and major roadways shall be visually aesthetically pleasing from surrounding viewpoints and adjacencies. Silhouettes and massing of homes along edges require design sensitivity. A row of homes with a single front or rear facing gable are prohibited. The following should be considered, and at least one element incorporated, in the design of the side and rear elevations along edge conditions:

- A balance of hip and gable roof forms;
- Single-story plan;
- Single-story elements on two-story homes;
- Offset massing or wall planes (on individual plans or between plans);
- Roof plane breaks (on individual plans or between plans);
- Detail elements on the front elevation shall be applied to the side and rear elevations along edge conditions.



Roof Forms

Rows of homes seen along major community roadways are perceived by their contrast against the skyline or background. The dominant impact is the shape of the building and roofline. To minimize the visual impact of repetitious flat planes, similar building silhouettes and similar ridge heights, discernibly different roof plans for each home plan shall be designed. Individual roof plans may be simple but, between different plans, should exhibit variety by using front to rear, side-to-side, gables, hipped roofs, and/or the introduction of single story elements.

The following roof design guidelines should also be considered:

- Provide a mix of gable and hip roofs along the streetscene.
- Design roofs for maximum solar exposure for the potential installation of solar features.
- Consider deep overhangs where appropriate to the style to provide additional shade and interior cooling.
- Offset roof planes, eave heights, and ridge lines.



Corner Buildings

Buildings located on corners often times function as neighborhood entries and highlight the architecture for the overall Folsom Ranch, Central District community. Buildings located on corners shall include one of the following:

- Front and side facade articulation using materials that wrap around the corner-side of the building;
- Awning on corner side;
- Home entry on corner side;
- Corner facing garage;
- A pop-out side hip, gable, or shed form roof;
- An added single-story element, such as a wrap-around porch or balcony;
- Recessed second- or third-story (up to 35' max.); or
- Balcony on corner side.



Front Elevations

Front elevations shall be detailed to achieve a variety along the street scene. Each front elevation shall incorporate a Feature Window treatment (see Feature Window requirements on page 2-6). In addition, each front elevation shall incorporate one or more of the following techniques:

- Provide enhanced style-appropriate details on the front elevation.
- Offset the second story from the first level for a portion of the second story.
- Vary the wall plane by providing projections of elements such as bay windows, porches, and similar architectural features.
- Create recessed alcoves and/or bump-out portions of the building.
- Incorporate second-story balconies.
- Create interesting entries that integrate features such as porches, courtyards, large recessed entry alcoves, or projecting covered entries with columns.
- Use a minimum of two building materials or colors on the front elevation.

- If due to building configuration the front entry location is not immediately apparent, direct and draw the observer to it with added elements such as signs, lighting, and landscape.



Multi-family Entries

Entries for multi-family homes should create an initial impression, locate and frame the doorway, act as a link between public and private spaces, and further identify individual unit entries.

- Wherever possible, orient the front door and principal access towards the roadway, paseo, or common open space.
- Incorporate appropriate roof elements, columns, Feature Windows and/or architectural forms in the entry statement to emphasize the building character and the location of individual doorways.



Feature Windows

All front and visible edge elevations shall incorporate one Feature Window treatment that articulates the elevation. Feature Window options include:

- A window of unique size or shape;
- Picture window;
- A bay window projecting a minimum of 24 inches, or a 12 inch pop-out surround;
- A window with a substantial surround matching or contrasting the primary color of the home;
- A window recess a minimum of 2 inches;
- Decorative iron window grilles;
- Decorative window shelves or sill treatments;
- Grouped or ganged windows with complete trim surrounds or unifying head and/or sill trim:
- A Juliet balcony with architectural style appropriate materials;
- Window shutters; or
- Trellis protruding a minimum of 12 inches from the wall plane of the window.

Windows

Windows on south-facing exposures should be designed, to the greatest extent possible, to maximize light and heat entering the home in the winter, and to minimize light and heat entering in the summer.

West-facing windows should be shaded where feasible to avoid prolonged sun exposure/overheating of the homes.

For additional window requirements addressing Sound Attenuation requirements refer to the Mangini Ranch Residential Development Environmental Noise Assessment document prepared by Bollard Acoustical Consultants, Inc. on January 29, 2015.



Example of Feature Window



Example of Juliet Balcony



Garage Door Treatments

Appropriate treatment of garage doors will further enhance the building elevation and decrease the utilitarian appearance of the garage door. Various garage door patterns, windows, and/or color schemes should be applied as appropriate to individual architectural styles, where feasible.

- Garage doors shall be consistent with the architecture of the building to reduce the overall visual mass of the garage.
- Garage doors shall be recessed 8 inches from the wall plane.
- All garage doors shall be automatic section roll-up doors.
- When appropriate, single garage doors are encouraged.
- Carriage-style garage doors of upgraded design are encouraged.



Porte Cochere with garage at rear of house



Street Facing Garages

All street facing garages should vary the garage door appearance along the streetscene. Below are options for the door variety:

- Vary the garage door pattern, windows, and/or color as appropriate to individual architectural styles.
- Use an attached overhead trellis installed beneath the garage roof fascia and/or above garage door header trim.
- Span the driveway with a gated element or overhead trellis.
- Provide a porte cochere.
- Street facing garages on corner lots at neighborhood entries shall be located on the side of the house furthest away from the corner.



Alley Treatments

The use of alleys should be elevated from purely functional, simple garage access to an enjoyable space that residents experience and utilize daily. Design of alleys shall address the functional and aesthetic features of the space to create a positive experience for the residents. At least one of the following shall be implemented along the alley:

- Building size and shape shall have stepped massing (recessed or cantilevered, i.e., stepping back upper floors or protruding forward upper floors) of at least one foot.
- Window trim, color, and appropriate details from the front elevation.
- Rear privacy walls and pedestrian gates designed and located for ease of unit access.
- Enhanced garage door patterns or finishes; garage door shall complement the design intent of the home and neighborhood.
- Provide sufficient planting areas between garages to soften the vertical architectural planes at alleys.

Building Forms

Building form, detail, and placement greatly influences how a structure is perceived based on how light strikes and frames the building. The effect of sunlight is a strong design consideration, as shadow and shade can lend a sense of substance and depth to a building. The following elements and considerations can be used to facilitate the dynamic of light and depth perception of the building.

Architectural Projections

Projections can create shadow and provide strong visual focal points. This can be used to emphasize design features such as entries, major windows, or outdoor spaces. Projections are encouraged on residential building forms. Projections may include, but are not limited to:

- Awnings (wood, metal, cloth)
- Balconies
- Shutters
- Eave overhangs
- Projecting second- or third-story elements
- Window/door surrounds
- Tower elements
- Trellis elements
- Recessed windows
- Porch elements
- Bay windows or dormers
- Shed roof elements

Offset Massing Forms

Front and street-facing elevations may have offset masses or wall planes (vertically or horizontally) to help break up the overall mass of a building.

- Offset forms are effective in creating a transition:
 - Vertically between stories, or
 - Horizontally between spaces, such as recessed entries.
- Offset massing features are appropriate for changes in materials and colors.
- Offsets should be incorporated as a functional element or detail enhancement.
- Over-complicated streetscenes and elevations should be avoided.



- Streetscenes should provide a mix of simple massing elevation with offset massing elements to compose an aesthetic and understandable streetscape.

Floor Plan Plotting

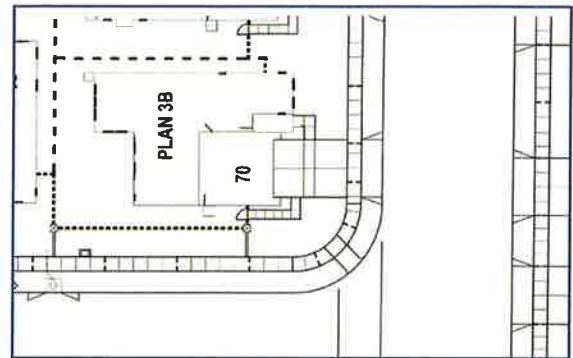
In each single-family detached neighborhood with a **minimum** of up to 80 homes, provide:

- Three floor plans.
- Four elevations for each floor plan using a minimum of **two** architectural styles. If only two styles are selected, elevations shall be significantly different in appearance.
- Four different color schemes for each floor plan.

In each single-family detached neighborhood with **more** than 80 homes, provide:

- Three floor plans.
- Four elevations for each floor plan using a minimum of **three** architectural styles. If only three styles per floor plan are selected, elevations shall be significantly different in appearance.
- Four different color schemes for each floor plan.

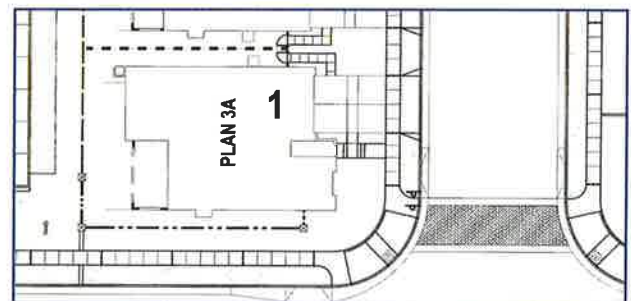
In each single-family detached neighborhood, street facing garages on corner lots at neighborhood entries shall be located on the side of the house furthest away from entry corner.



Example of undesirable Corner Lot Street Facing Garage Placement



Example of undesirable Corner Lot Street Facing Garage Placement



Example of preferred Corner Lot Plotting Garage Placement



Example of preferred Corner Lot Plotting Garage Placement



Style Plotting

To ensure that architectural variety occurs, similar elevations cannot be plotted adjacent to or immediately across the street from one another. No more than two of the same floor plan/elevations shall be plotted next to each other or directly across the street from one another. (Refer to Section Four for Design Review process.) The following describes the minimum criteria for style plotting:

- For a home on a selected lot, the same floor plan and elevation is not permitted on the lot most directly across from it and the one lot on either side of it.
- Identical floor plans may be plotted on adjacent lots, provided a different elevation style is selected for each floor plan.
- Identical floor plans may be plotted on lots across the street from each other provided a different elevation style is selected for each floor plan.

Color Criteria

To ensure variety of color schemes, like color schemes cannot be plotted adjacent to or immediately across the street from one another. Color and material sample boards shall be submitted for review along with the Master Plot Plan. (Refer to Section Four.)

A color scheme for a home on a selected lot may not be repeated (even if on a different floor plan) on the three lots most directly across from it and on the single lot to each side of it.



Lower Height Elements

Lower height elements are important to streetscene variety, especially for larger buildings or masses, as they articulate massing to avoid monotonous single planes. These elements also provide a transition from the higher story vertical planes to the horizontal planes of sidewalk and street, and help to transition between public and private spaces. Lower height elements are encouraged to establish pedestrian scale and add variety to the streetscene. Lower height elements may include, but are not limited to:

- Porches
- Entry features
- Interior living spaces
- Courtyards
- Bay windows
- Trellises



Balconies

Balconies break up large wall planes, offset floors, create visual interest to the facade, provide outdoor living opportunities, and adds human scale to a building. Scaled second- or third-story balconies can have as much impact on stepped massing and building articulation as a front porch or lower height elements. Balcony elements:

- May be covered or open, recessed into or projecting from the building mass.
- Shall be an integral element of, and in scale with, the building mass, where appropriate.
- Are discouraged from being plotted side-by-side at the same massing level (i.e. mirrored second-story balconies).



Roof Considerations

Composition and balance of roof forms are as definitive of a streetscape as the street trees, active architecture, or architectural character.

- Rooflines and pitches, ridgelines and ridge heights should create a balanced form to the architecture and elevation.
- Direction of ridgelines and/or ridge heights should vary along a streetscene.
- Roof overhangs (eaves and rakes) may be used as projections to define design vocabulary and create light and shade patterns.
- Hip, gable, shed, and conical roof forms may be used separately or together on the same roof or streetscene composition.
- Roof form and pitch shall be appropriate to the massing and design vocabulary of the home.



Outdoor Living Spaces

Outdoor living spaces, including porches, balconies, and courtyards, activate the streetscene and promote interaction among neighbors. Outdoor living spaces can also create indoor/outdoor environments opening up the home to enhance indoor environmental quality. Wherever possible, outdoor living space is encouraged.

Materials

The selection and use of materials has an important impact on the character of each neighborhood and the community as a whole. Wood is a natural material reflective of many architectural styles; however, maintenance concerns, a design for long-term architectural quality and new high-quality manufactured alternative wood materials make the use of real wood elements less desirable. Where “wood” is referred to in these guidelines, it can also be interpreted as simulated wood trim with style-appropriate wood texture. Additionally, some styles can be appropriately expressed without the wood elements, in which case stucco-wrapped, high-density foam trim (with style-appropriate stucco finish) is acceptable. Precast elements can also be satisfied by high-density foam or other similar materials in a style-appropriate finish.



- Brick, wood, and stone cladding shall appear as structural materials, not as applied veneers.
- Material changes should occur at logical break points.
- Columns, tower elements, and pilasters should be wrapped in its entirety.
- Materials and colors should be varied to add texture and depth to the overall character of the neighborhood.
- The use of flashy or non-traditional materials or colors that will not integrate with the overall character of the community is prohibited.
- Material breaks at garage corners shall have a return dimension equal to or greater than the width of the materials on the garage plane elevation.
- Use durable roofing and siding materials to reduce the need for replacement.
- Use local, recycled and/or rapidly renewable materials to conserve resources and reduce energy consumption associated with the manufacturing and transport of the materials. (Refer to Section Four for Design Review process.)



Exterior Structures

Exterior structures, including but not limited to, porches, patio covers, and trellises shall reflect the character, color, and materials of the building to which they are related.

- Columns and posts should project a substantial and durable image.
- Stairs should be compatible in type and material to the deck and landing.
- Railings shall be appropriately scaled, consistent with the design vernacular of the building, and constructed of durable materials.
- Exposed gutters and downspouts shall be colored to complement or match the fascia material or surface to which they are attached.

Accessory Structures

Accessory structures should conform to the design standards, setbacks, and height requirements of the primary structure. If visible from the front or side lot line, the visible elevation should be considered a front elevation and should meet the design criteria of the applicable architectural style.



Lighting

Appropriate lighting is essential in creating a welcoming evening atmosphere for the Folsom Ranch, Central District community. As a forward-thinking community, The Folsom Ranch, Central District will institute dark sky recommendations to mitigate light pollution, cut energy waste, and protect wildlife. All lighting shall be aesthetically pleasing and non-obtrusive, and meet the dark sky recommendations.

- All exterior lighting shall be limited to the minimum necessary for public safety.
- All exterior lighting shall be shielded to conceal the light source, lamp, or bulb. Fixtures with frosted or heavy seeded glass are permitted.
- Each residence shall have an exterior porch light at its entry that complements the architectural style of the building.
- Where feasible, lighting should be on a photocell or timer.
- Low voltage lighting shall be used whenever possible.

Address Numbers

To ensure public safety and ease of identifying residences by the Fire and Police Departments, address numbers shall be lighted or reflective and easily visible from the street.



RESIDENTIAL ARCHITECTURAL STYLES

Folsom Ranch, Central District is envisioned as a sustainable, contemporary community where architectural massing, roof forms, detailing, walls, and landscape collaborate to reflect historic, regional, and climate-appropriate styles.

The design criteria established in this section encourages a minimum quality design and a level of style through the use of appropriate elements. Although the details are important elements that convey the style, the massing and roof forms are essential to establishing a recognizable style. The appropriate scale and proportion of architectural elements and the proper choice of details are all factors in achieving the architectural style.

ARCHITECTURAL THEME: CALIFORNIA HERITAGE

The styles selected for Folsom Ranch, Central District have been chosen from the traditional heritage of the California home styles, a majority of which have been influenced by the Spanish Mission and Mexican Rancho eras. Over the years, architectural styles in California became reinterpreted traditional styles that reflect the indoor-outdoor lifestyle choices available in the Mediterranean climate. These styles included the addition of western materials while retaining the decorative detailing of exposed wood work, wrought iron hardware, and shaped stucco of the original Spanish styles. Mixing of style attributes occurs in both directions, such as adapting Spanish detailing to colonial style form, or introducing colonial materials and details to the Hacienda form and function. The landscape and climate of California has also generated styles that acknowledge and blend with its unique setting. The Italian Villa is a prime example of a transplanted style developed in a climate zone similar to the climate found in California.

The following styles can be used within Folsom Ranch, Central District:

- Italian Villa
- Spanish Colonial
- Monterey
- Western Farmhouse
- European Cottage
- Craftsman
- Early California Ranch
- American Traditional

Additional architectural styles compatible with the intent of these guidelines may be added when it can be demonstrated to the Architectural Review Committee that they are regionally appropriate.

The following pages provide images and individual “style elements” that best illustrate and describe the key elements of each style. They are not all mandatory elements, nor are they a comprehensive list of possibilities. Photographs of historic and current interpretations of each style are provided to inspire and assist the designer in achieving strong, recognizable architectural style elevations. The degree of detailing and/or finish expressed in these guidelines should be relative to the size and type of building upon which they are applied.

These images are for concept and inspiration only and should not be exactly replicated.



ITALIAN VILLA

The Italian Villa was one of the most fashionable architectural styles in the United States in the 1860's. Appearing on architect-designed landmarks in larger cities, the style was based on formal and rigidly symmetrical palaces of the Italian Renaissance.

Although residential adaptations generated less formality, traditional classical elements, such as the symmetrical facade, squared tower entry forms, arched windows, and bracketed eaves, persisted as the enduring traits of this style. When cast iron became a popular building material, it became a part of the Italianate vocabulary, embellishing homes with a variety of designs for balconies, porches, railings, and fences.

Italian Villa Style Elements:

- Eave and exaggerated overhangs.
- Wall materials typically consist of stucco with stone and precast accents.
- Decorative brackets below eaves may be added accents.
- Barrel tile or "S" tile roof
- The entry may be detailed with a precast surround feature.
- Stucco or precast columns with ornate cap and base trim are typical.
- Wrought iron elements, arched windows or elements, and quoins are frequently used as details.



Example of Italian Villa Architecture



Example of Italian Villa Architecture



Example of Italian Villa Architecture



SPANISH COLONIAL

This style evolved in California and the southwest as an adaptation of Mission Revival infused with additional elements and details from Latin America. The style attained widespread popularity after its use in the Panama-California Exposition of 1915.

Key features of this style were adapted to the California lifestyle. Plans were informally organized around a courtyard with the front elevation very simply articulated and detailed. The charm of this style lies in the directness, adaptability, and contrasts of materials and textures.

Spanish Colonial Style Elements:

- Plan form is typically rectangular or “L”-shaped.
- Roofs are typically of shallower pitch with “S” or barrel tiles and typical overhangs.
- Roof forms are typically comprised of a main front-to-back gable with front-facing gables.
- Wall materials are typically stucco.
- Decorative “wood” beams or trim are typical.
- Segmented or full-arch elements are typical in conjunction with windows, entry, or the porch.
- Round or half-round tile profiles are typical at front-facing gable ends.
- Arcades are sometimes utilized.
- Windows may be recessed, have projecting head or sill trim, or be flanked by plank-style shutters.
- Decorative wrought-iron accents, grille work, post or balcony railing may be used.



Example of Spanish Colonial Architecture



Example of Spanish Colonial Architecture



Example of Spanish Colonial Architecture



MONTEREY

The Monterey style is a combination of the original Spanish Colonial adobe construction methods with the basic two-story New England colonial house. Prior to this innovation in Monterey, all Spanish colonial houses were of single story construction.

First built in Monterey by Thomas Larkin in 1835, this style introduced two story residential construction and shingle roofs to California. This Monterey style and its single story counterpart eventually had a major influence on the development of modern architecture in the 1930's.

The style was popularized by the used of simple building forms. Roofs featured gables or hips with broad overhangs, often with exposed rafter tails. Shutters, balconies, verandas, and porches are integral to the Monterey character. Traditionally, the first and second stories had distinctly different cladding material; respectively siding above with stucco and brick veneer base below.

The introduction of siding and manufactured materials to the home building scene allowed for the evolution of the Monterey home from strictly Spanish Adobe construction to a hybrid of local form and contemporary materials. Siding, steeper pitched flat tile roofing, and the cantilevered balcony elements on the Monterey house define this native California style.



Example of Monterey Architecture

Monterey Style Elements:

- Plan form is typically a simple two-story box.
- Roofs are typically shallow to moderately pitched with flat concrete tile or equal; "S" tile or barrel tile are also appropriate.
- Roof forms are typically a front-to-back gable with typical overhangs.
- Wall materials are typically comprised of stucco, brick, or siding.
- Materials may contrast between first and second floors.
- A prominent second-story cantilevered balcony is typically the main feature of the elevation; two-story balconies with simple posts are also appropriate.
- Simple Colonial corbels and beams typically detail roof overhangs and cantilevers.
- Balcony or porch is typically detailed by simple columns without cap or base trim.
- Front entry is typically traditionally pedimented by a surround, porch, or portico.
- Windows are typically accented with window head or sill trim of colonial-style and louvered shutters.
- Corbel and post sometimes lean toward more "rustic" details and sometimes toward more "Colonial" details.



Example of Monterey Architecture



WESTERN FARMHOUSE

The Farmhouse represents a practical and picturesque country house. Its beginnings are traced to both Colonial styles from New England and the Midwest. As the American frontier moved westward, the American Farmhouse style evolved according to the availability of materials and technological advancements, such as balloon framing.

Predominant features of the style are large wrapping front porches with a variety of wood columns and railings. Two story massing, dormers, and symmetrical elevations occur most often on the New England Farmhouse variations. The asymmetrical, casual cottage look, with a more decorated appearance, is typical of the Western American Farmhouse. Roof ornamentation is a characteristic detail consisting of cupolas, weather vanes, and dovecotes.

Western Farmhouse Style Elements:

- Plan form is typically simple.
- Roofs are typically of steeper pitch with flat concrete tiles or equal.
- Roof forms are typically a gable roof with front-facing gables and typical overhangs.
- Roof accents sometimes include standing-seam metal or shed forms at porches.
- Wall materials may include stucco, horizontal siding, and brick.
- A front porch typically shelters the main entry with simple posts.
- Windows are typically trimmed in simple colonial-style; built-up head and sill trim is typical.
- Shaped porch columns typically have knee braces.



Example of Western Farmhouse Architecture



Example of Western Farmhouse Architecture



Example of Western Farmhouse Architecture



EUROPEAN COTTAGE

The European Cottage is a style that evolved out of medieval Tudor and Normandy architecture. This evolving character that eventually resulted in the English and French “Cottage” became extremely popular when the addition of stone and brick veneer details was developed in the 1920’s.

Although the cottage is looked upon as small and unpretentious, the style was quickly recognized as one of the most popular in America. Designs for the homes typically reflected the rural setting in which they evolved. Many established older neighborhoods across the United States contain homes with the charm and character of this unpretentious style.

Roof pitches for these homes are steeper than traditional homes, and are comprised of gables, hips, and half-hip forms. The primary material is stucco with heavy use of stone and brick at bases, chimneys, and entry elements. Some of the most recognizable features for this style are the accent details in gable ends, sculptured swooping walls at the front elevation, and tower or alcove elements at the entry.

European Cottage Style Elements:

- Rectangular plan form massing with some recessed second floor area is desirable.
- Main roof hip or gable with intersecting gable roofs is typical of this style.
- Steep roof pitches with swooping roof forms are encouraged.
- Roof appearance of flat concrete tile or equal is typical of the European Cottage style.
- Recessed entry alcoves are encouraged.
- Wall materials are typically comprised of stucco with brick and/or stone veneer.
- Bay windows, curved or round top accent windows, and vertical windows with mullions and simple 2x trim are utilized at front elevations and high visibility areas.
- Stone or brick accent details at the building base, entry, and chimney elements are typical.
- Horizontal siding accents and wrought iron or wood balconies and pot shelves are encouraged.



Example of European Cottage Architecture



Example of European Cottage Architecture



CRAFTSMAN

Influenced by the English Arts and Crafts movement of the late 19th century and stylized by California architects like Bernard Maybeck in Berkeley and the Greene brothers in Pasadena, the style focused on exterior elements with tasteful and artful attention. Originating in California, Craftsman architecture relied on the simple house tradition, combining hip and gable roof forms with wide, livable porches, and broad overhanging eaves. The style was quickly spread across the state and across the country by pattern books, mail-order catalogs, and popular magazines.

Extensive built-in elements define this style, treating details such as windows and porches as if they were furniture. The horizontal nature is emphasized by exposed rafter tails and knee braces below broad overhanging eaves constructed in rustic-textured building materials. The overall effect was the creation of a natural, warm, and livable home of artful and expressive character. Substantial, tapered porch columns with stone piers lend a Greene character, while simpler double posts on square brick piers and larger knee braces indicate a direct Craftsman reference to the style of California architect Bernard Maybeck, who was greatly influenced by the English Arts and Crafts Movement of the late 19th Century.



Example of Craftsman Architecture

Craftsman Style Elements:

- Plan form is typically a simple box.
- Roofs are typically of shallower pitch with flat concrete tiles (or equal) and exaggerated eaves.
- Roof forms are typically a side-to-side gable with cross gables.
- Roof pitch ranges from 3:12 to 5:12 typically with flat concrete tiles or equal.
- Wall materials may include stucco, horizontal siding, and stone.
- Siding accents at gable ends are typical.
- A front porch typically shelters the main entry.
- Exposed rafter tails are common under eaves.
- Porch column options are typical of the Craftsman style:
 - Battered tapered columns of stone, brick, or stucco
 - Battered columns resting on brick or stone piers (either or both elements are tapered)
 - Simpler porch supports of double square post resting on piers (brick, stone, or stucco); piers may be square or tapered.
- Windows are typically fully trimmed.
- Window accents commonly include dormers or ganged windows with continuous head or sill trim.



Example of Craftsman Architecture



EARLY CALIFORNIA RANCH

A building form rather than an architectural style, the Ranch is primarily a one-story rambling home with strong horizontal lines and connections between indoor and outdoor spaces. The “U”- or “L”-shaped open floor plan focused on windows, doors, and living activities on the porch or courtyard. The horizontal plan form is what defines the Ranch.

The applied materials, style, and character applied to the Ranch have been mixed, interpreted, adapted, and modernized based on function, location, era, and popularity.

This single-story family oriented home became the American dream with the development of tract homes in the post-World War II era. Simple and affordable to build, the elevation of the Ranch was done in a variety of styles. Spanish styling with rusticated exposed wood beams, rafter tails under broad front porches, and elegantly simple recessed windows were just as appropriate on the Ranch as the clean lines of siding and floor to ceiling divided-light windows under broad overhanging laminate roofs.

Details and elements of the elevation of a Ranch should be chosen as a set identifying a cohesive style. Brick and stucco combinations with overly simple sill trim under wide windows with no other detailing suggests a Prairie feel, while all stucco, recessed windows, and exposed rusticated wood calls to mind a Hacienda ranch.



Example of California Ranch Architecture

California Ranch Style Elements:

- Plan form is typically one-story with strong horizontal design.
- Roofs are typically shallow pitched with “S” tile, barrel tile, or flat concrete tile.
- Roof forms are typically gable or hip with exaggerated overhangs.
- Wall materials are commonly comprised of stucco, siding, or brick.
- A porch, terrace, or courtyard is typically the prominent feature of the elevation.
- Exposed rafter tails are typical.
- Porch is commonly detailed by simple posts or beams with simple cap or base trim.
- Front entry is typically traditionally pedimented by a surround, porch, or portico.
- Windows are typically broad and accented with window head and sill trim, shutters, or are recessed.
- A strong indoor/outdoor relationship joined by sliding or French doors, or bay windows is common.



Example of California Ranch Architecture



AMERICAN TRADITIONAL

The American Traditional style is a combination of the early English and Dutch house found on the Atlantic coast. Their origins were sampled from the Adam style and other classical styles. Details from these original styles are loosely combined in many examples.

Current interpretations have maintained the simple elegance of the early prototypes, but added many refinements and new design details. This style relies on its asymmetrical form and colonial details to differentiate it from the strict colonial styles.

Highly detailed entries having decorative pediments extended and supported by semi-engaged columns typically. Detailed doors with sidelights and symmetrically designed front facades. Cornices with dentils are an important feature and help identify this style.



Example of American Traditional Architecture



Example of American Traditional Architecture

American Traditional Style Elements:

- Plan form is typically asymmetric “L”-shaped.
- Roofs are typically of moderate to steeper pitch with flat concrete tile (or equal) roof and exaggerated boxed eaves.
- Roof forms are typically hip or gable with dominant forward facing gables.
- Front facade is typically one solid material which may include stucco, brick, or horizontal siding.
- The front entry is typically sheltered within a front porch with traditionally detailed columns and railings.
- A curved or round-top accent window is commonly used on the front elevation.
- Windows are typically fully trimmed with flanking louvered shutters.
- Gable ends are typically detailed by full or partial cornice, sometimes emphasized with dentils or decorative molding.
- Decorative or pedimented head and sill trim on windows is typical.



Example of American Traditional Architecture







3

LANDSCAPE DESIGN GUIDELINES



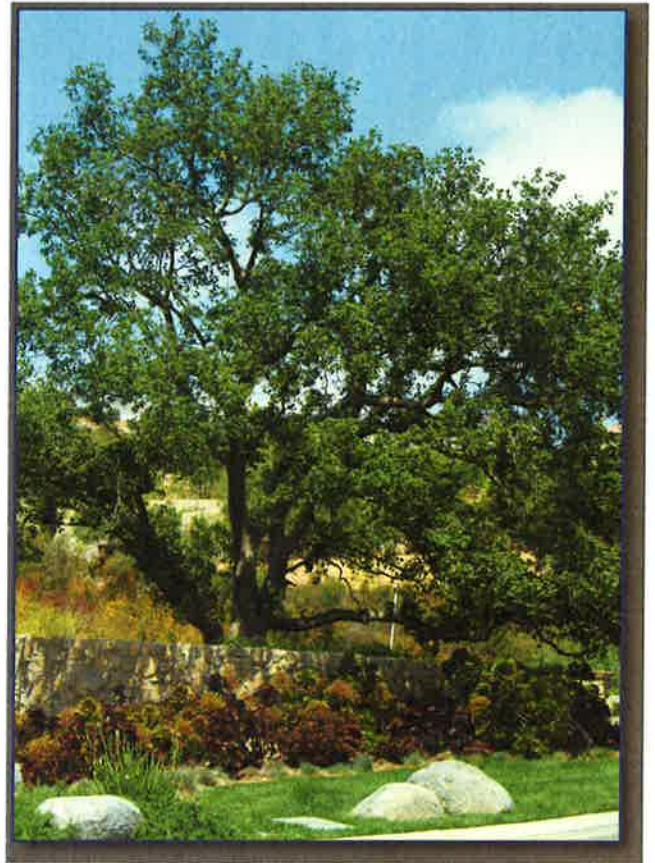


GUIDING LANDSCAPE DESIGN PRINCIPLES

Sustainable Landscape Design

Through thoughtful, sensitive design, Folsom Ranch, Central District can be designated to conserve valuable resources and create a noteworthy community within the City of Folsom. Sustainable landscape design links natural and built systems to achieve balanced environmental, social, and economic outcomes and improves quality of life, and the long-term health of communities and the environment. Sustainable landscape balances the needs of people and the environment to benefit both. Landscape Architects are encouraged to research alternative possibilities and incorporate them into the Model Home and community common area landscape design. The following is a list of various 'sustainable' features and practices to be used and/or considered for the Folsom Ranch, Central District Development at the improvement plan phase/level.

- To comply with AB 1881, Model Water Efficiency Landscape Ordinance and conserve water, incorporate a water management system utilizing up-to-date best management practices that allows groundwater to recharge.
- Encourage the use of low toxic wood preservatives (no CCA), or naturally rot-resistant wood for landscaping (no pressure-treated wood in or on the ground.)
- Choose low water, drought tolerant, and/or native plants that match the micro climate, and soil conditions. (Refer to Plant Matrix herein)
- Select plants that are "non-invasive" according to the current California Invasive Plant Inventory, published by the California Invasive Plant Council.



- Design landscape and plant spacing to allow for plants to reach mature size. Using appropriate sizes and the thoughtful placing of plants prevents overgrowth and future thinning, reducing the amount of material sent to the landfill.
- Locate plants to ensure proper drainage and to reduce potential damage to buildings.
- Reuse soils from the site, if appropriate, as horticultural soils.
- Maintain and/or improve soil health through responsible management including nurturing soil with organic matter, reducing synthetic fertilizer use, and restoration to sustain protected and future ecosystems.
- Use integrated pest management to control or eliminate pesticide and toxic chemical use.
- Create and/or maintain wildlife habitat.
- Increase tree cover to provide shade in developed areas to reduce energy demand, mitigate solar heat gain into buildings, and to reduce the amount of heat absorbed by paved areas.
- Plant deciduous trees on the south side of buildings to allow for increased solar heat gain in winter months (thereby reducing energy needed for heating interiors) and shading in summer months (thereby reducing energy needed for cooling interiors).
- Minimize the use of large turf areas (except within parks, parkways (as permitted by AB1881 Water Use Analysis), or single family residential front yards) or inefficient small turf areas (those under 8'-0" in width) in landscaping by incorporating water-conserving groundcovers or perennial grasses, shrubs, and trees.
- Utilize weather and climate-smart irrigation controllers.
- Design irrigation zones to suit plant requirements and incorporate high-efficiency nozzles.
- Use sustainable materials in landscape construction and site furnishing selections including, but not limited to, recycled materials, environmentally preferable/responsible products, materials that can be recycled, certified "green" products, and locally available or locally manufactured products.
- Use nitrogen-fixing plants to reduce fertilizer use.
- Create natural looking design to reduce maintenance required.
- Water conservation (xeriscape, rain gardens, grouping plants with similar requirements).
- Control water runoff (bioswales, rain gardens, green roofs).
- Preserving Oak Woodlands and isolated Oak Trees. Refer to the Landscape Master Community Plant Matrix section.



Example of Drip Irrigation Before Mulch



COMMUNITY DESIGN THEME/ LANDSCAPE CHARACTER

Landscaping plays an important role in establishing the visual identity and character of the Folsom Ranch, Central District Community. Consistency in theme and the application of major community-level design elements, such as enhanced entry with dynamic monumentation, upgraded hardscape and master landscape, arterial street parkways, thoughtful specifications of walls, fences and pilasters, adjacent community interface with improved edge conditions, and site-specific plant materials, is designed to be maintained throughout the Folsom Ranch, Central District development to communicate and enhance the community's identity.

Folsom Ranch, Central District embraces the California Heritage theme. Careful thought has been given to integrate the structural and aesthetic elements of a balanced, cohesive community. To ensure that these design guidelines are implemented in a manner that will provide a sense of the City of Folsom's character and ambiance, a central theme of California Heritage has been developed. This theme is appropriate to the community's locale, and will tie the community together while enabling neighborhoods and mixed-use areas to further develop their individual character through their own unique elements.

Several identifying design and landscape elements will be incorporated throughout the community and will generally include:

- Timeless stone, steel, boulders, stucco, and heavy wood beams incorporated into monumentation, way-finding, and accessory structures.
- Natural landscaped areas blended with manicured landscaping.



- Low water, drought-tolerant and native tree and shrub materials, such as California Sycamores, Oaks, and Pine trees. In addition, plants rated low and very low water use per the WUCOLS rating system shall be used.
- Natural materials such as stone, wood, and boulders, complemented by an earth-tone color palette.
- Varied paving materials, including stone, concrete, wood, decomposed granite, and concrete pavers.

Folsom Ranch, Central District is a planned community that is inspired by the unique character of the City of Folsom and enhances its distinct identity. Like California itself, the design intent and architecture is an eclectic and colorful mix of various influences from across the United States. This community offers its residents an environment in which pedestrian connectivity, recreational activity, and social interaction are fostered. The residential neighborhoods within Folsom Ranch, Central District focus on these aspects by providing generous landscape setbacks, residences oriented to the street, widened pathways/trails, public gathering areas, and several community parks with recreational amenities.

Thematic elements are major project improvements that occur at the community or neighborhood level, and assist in establishing the overall design theme for the Folsom Ranch, Central District community. These major thematic elements will be reinforced within the following:

- Monumentation/ Signage
- Streetscape Landscape
- Enhanced Masonry Vertical Elements
- Enhanced Hardscape
- Enhanced Community Edge Conditions
- Open Space, Parks and Recreation Facilities
- Lighting/ Street Furniture Family



- Walls and Fences
- Landscaping/ Plant Palette

These thematic elements will commonly occur throughout the community and will unite Folsom Ranch, Central District under a common design vocabulary. General design guidelines and design criteria for the community theme elements are contained in the sections that follow.



Example of Park and Open Space Concept



COMMUNITY IDENTITY PLAN MONUMENTATION

Appropriate community, mixed-use areas and residential neighborhood thematic identification is important in establishing a new community and maintaining the overall Folsom Ranch, Central District theme, as well as providing a system for identifying community development and giving directional information to residents and visitors. A general conceptual Community Identity Signage/Monumentation Key Program has been provided herein.

Entry monument signage, through decorative typefaces and symbolic graphics, will inform the visitor that they are entering a planned community. Project and neighborhood signage will direct visitors who have entered the Folsom Ranch, Central District towards the distinct community components and amenities. Monument signage will be consistent with the character of the project, but flexible enough to respond to individual project contexts. Logos, type styles, color schemes, and architectural features should be consistent throughout the area being identified. Monument signs may vary in size and detail in a manner that reflects their relative importance within the signage hierarchy, but will incorporate all the materials proposed within the major community monumentation.

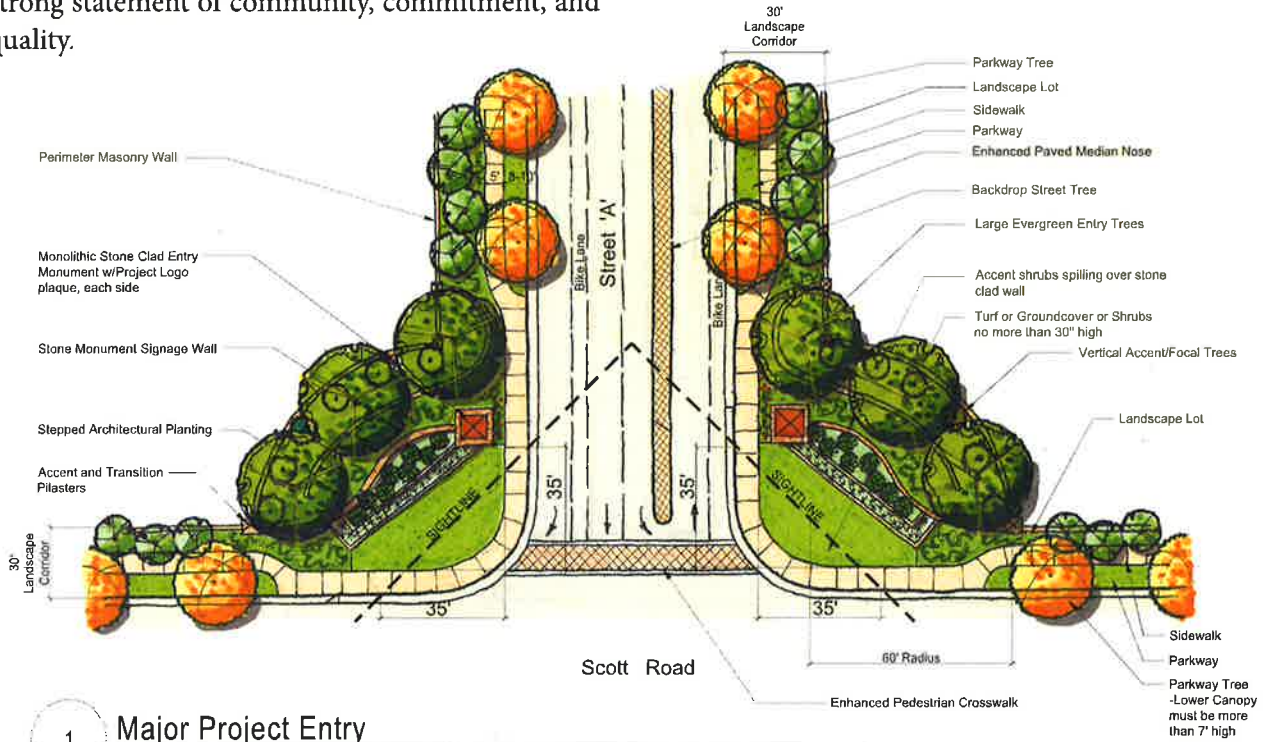
Materials:

- Dry Stacked Stone Pilasters and Walls or manufacturers stacked stone product application.
- Precast Concrete Pilaster Caps
- Precast Concrete Wall Caps
- Specimen Trees with complementary plant material selections



Major Project Entry

The Major Project Entry Monumentation will be the landmark of the new community and establish a unifying community identity while providing a strong statement of community, commitment, and quality.



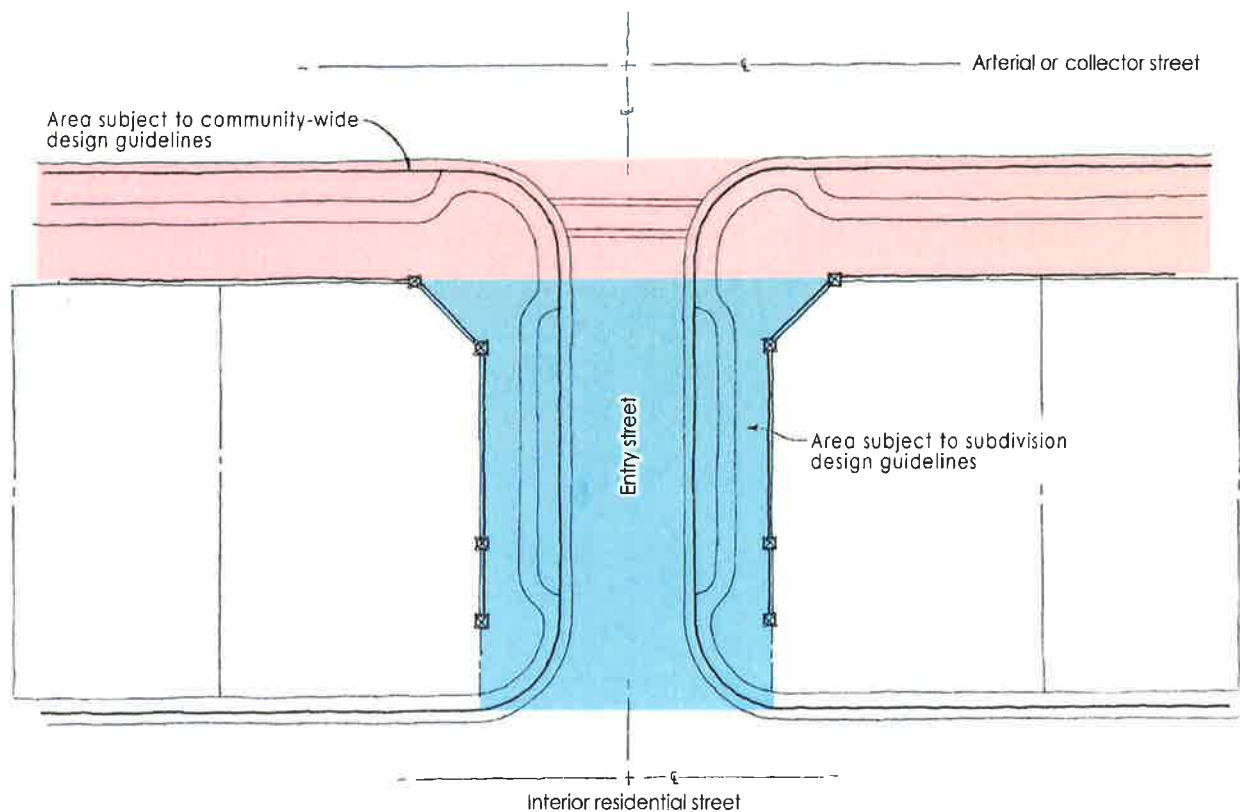
1 Major Project Entry Identity Entrances for the Overall Project



Subdivision Entry Design, Geometry & Entry Options

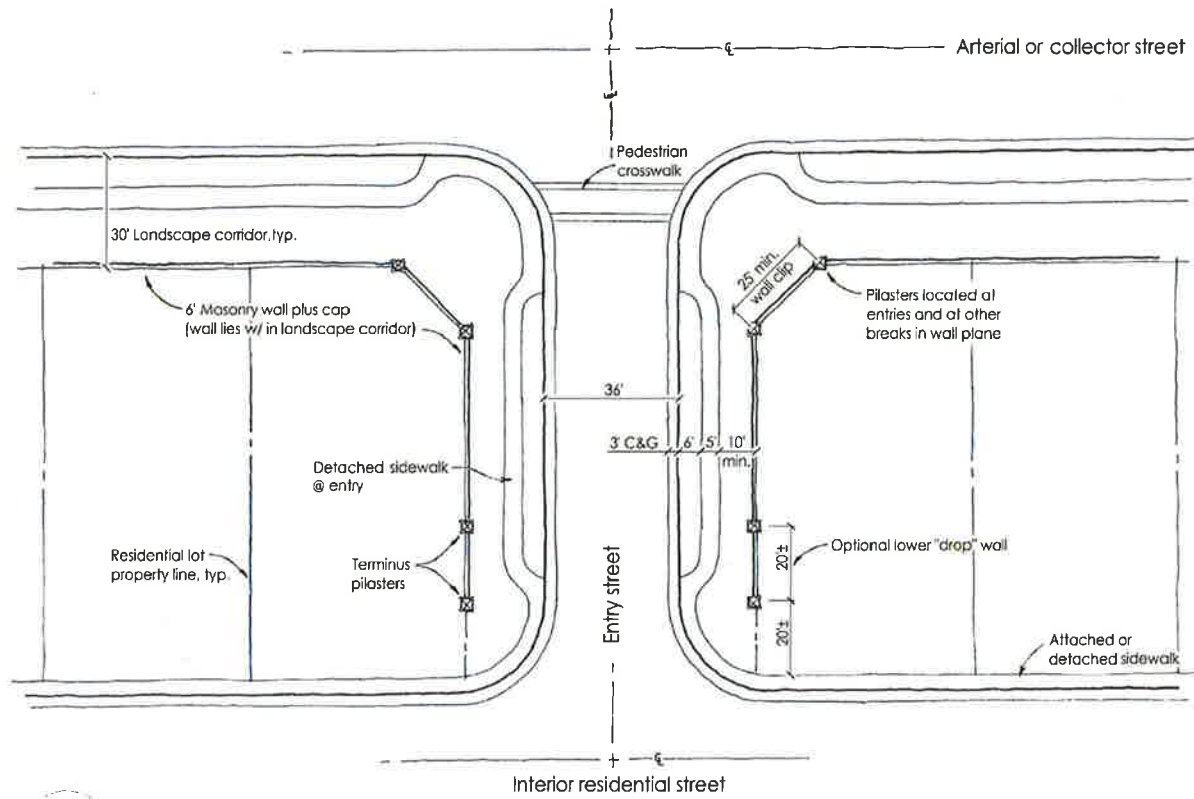
Primary Neighborhood Entry Signage will be used to identify the various residential neighborhood entry points within the Folsom Ranch, Central District community. The entry signage monument incorporates design elements of stone, precast concrete capping, large focal trees with vertical accent trees supporting entry statement, groundcover/shrub planting, annual color and enhanced paving.

Masonry wall and pilasters are to be of a uniform or complimentary design of material and color throughout. Where possible, place one story homes or homes with one story roof element on lots adjacent to entry streets. Typically, these lots will need to be wider to accommodate one story.



2 Subdivision Entry Design & Geometry Application of Design Guidelines



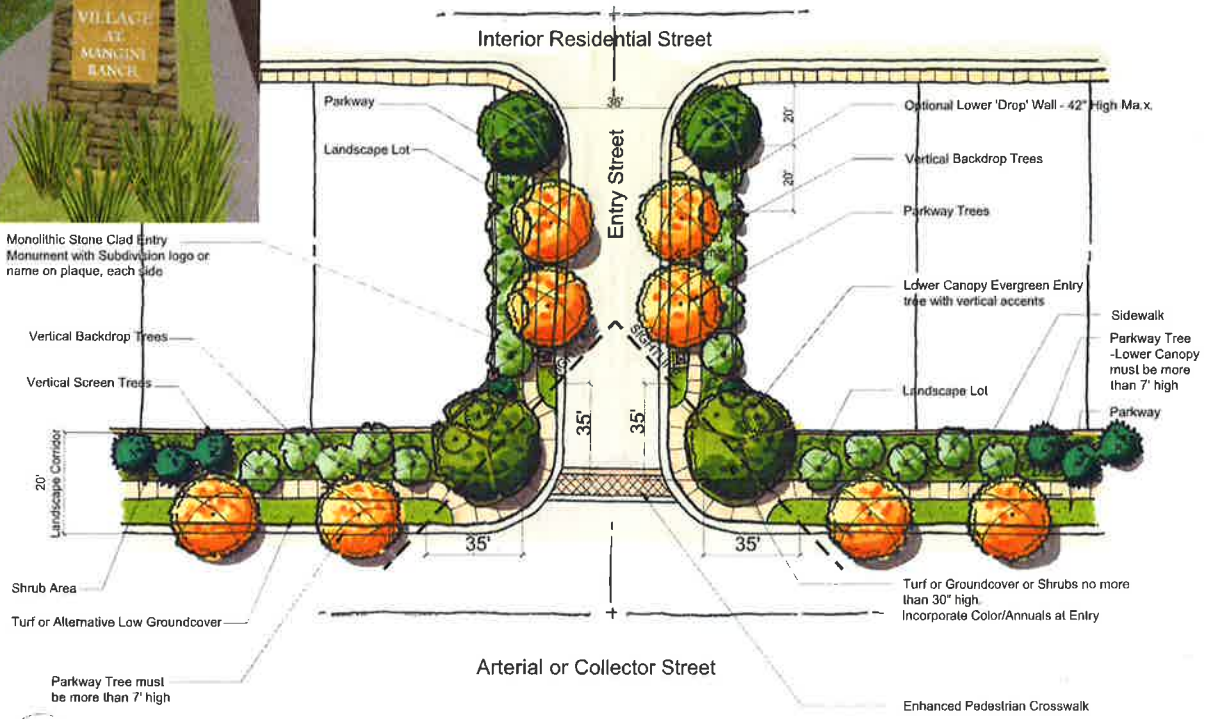


3 Subdivision Entry Design & Geometry
Standard Condition





Monolithic Stone Clad Entry Monument with Subdivision logo or name on plaque, each side



4 Subdivision Entry Landscape Concept Standard Condition





5

Subdivision Entry Options
Enhanced Condition





7 Subdivision Entry Options w/ Gates Enhanced Condition



STREETSCAPE PLANS/ SECTIONS

Several streetscape applications are proposed within the Folsom Ranch, Central District development, as shown within this section, Streetscape Key Map for Phase One Development. As illustrated in the following exhibits, a hierarchy of streetscapes within Phase One is provided and distinctive landscape treatments are planned for each roadway. Landscape and hardscape treatments include elements such as landscaped medians, sidewalks, enhanced paving at pedestrian crossings and primary/secondary entries, bike trails, and parkway trees to enhance roadways. The main road will feature such landscape elements as signage, street furniture, and a predominant plant palette consisting of canopy trees on corner treatments and parkways,

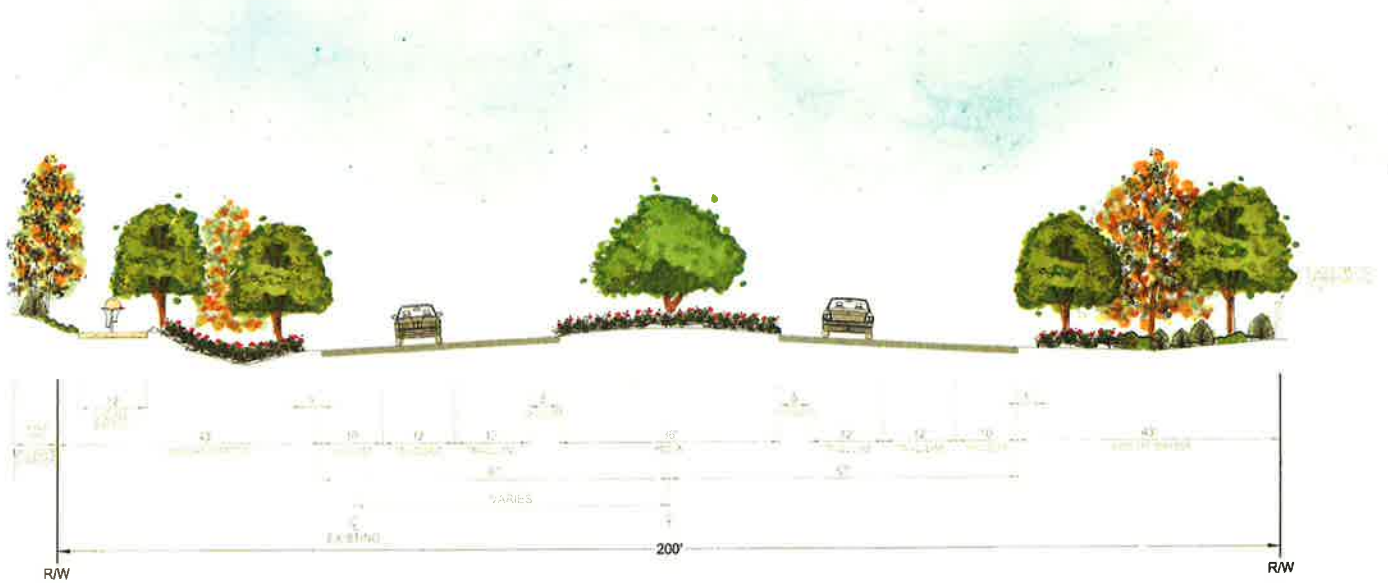


center medians where space allows, and vertical trees as backdrops within landscape lots. The use of enhanced paving is strongly encouraged. Some roadway improvements shall occur in phases. Street Sections 'A' through 'C' are for ultimate build-out. Streetscapes and Landscape Treatments for Phase One are provided as follows:

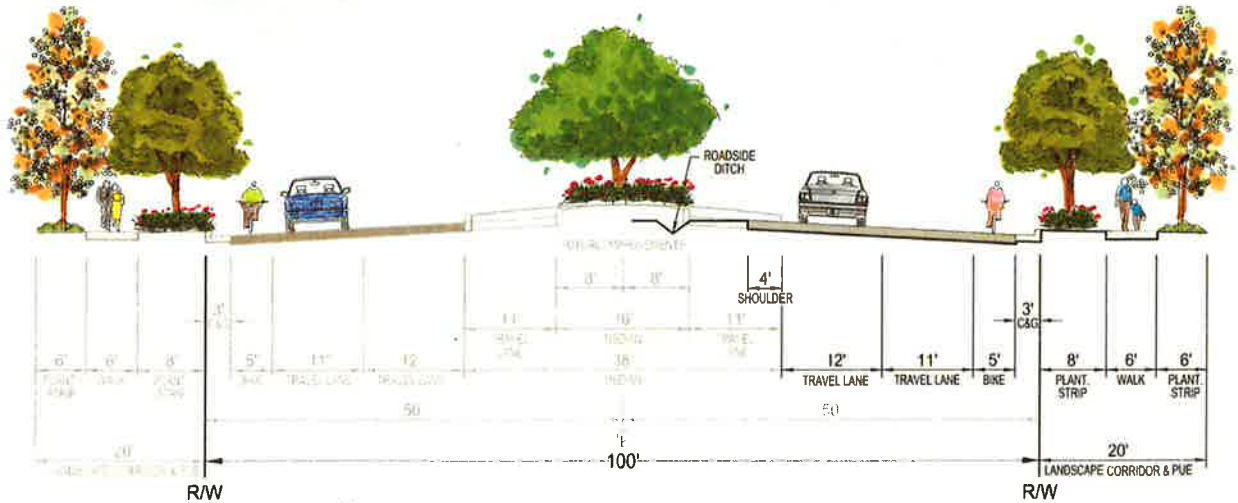


Street Section Keymap for Phase One



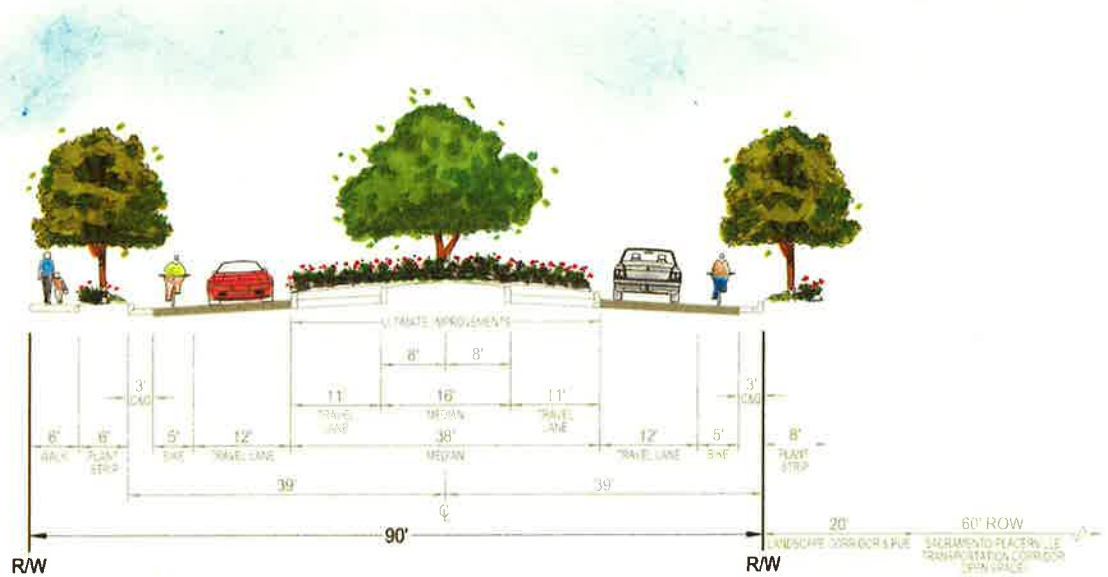


A 200' RIGHT-OF-WAY
 White Rock Road
 (Future JPA Regional Connector - By others)
 N.T.S.

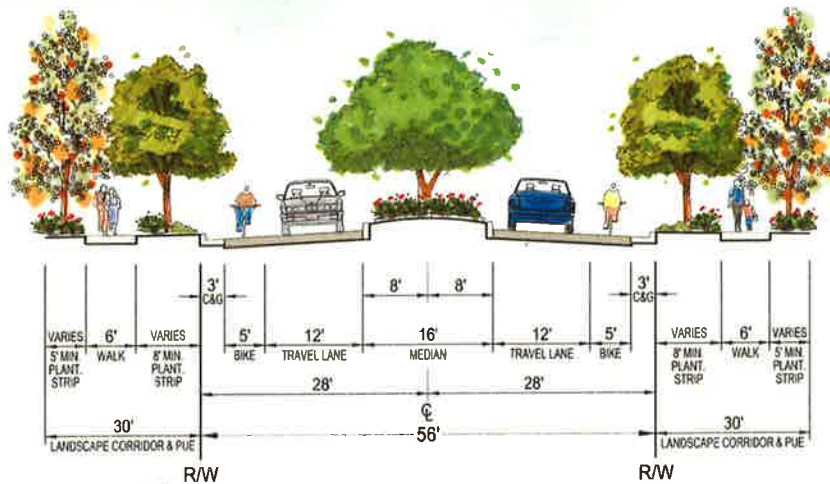


B 100' RIGHT-OF-WAY
 Scott Road
 N.T.S.



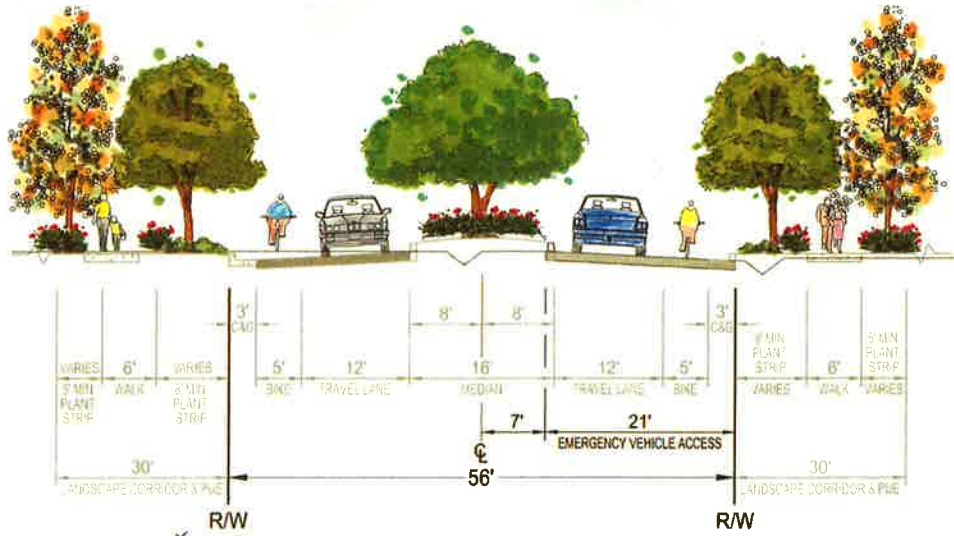


C 90' RIGHT-OF-WAY
 Street 'B'
 (Future Improvements - By Others)
 N.T.S.

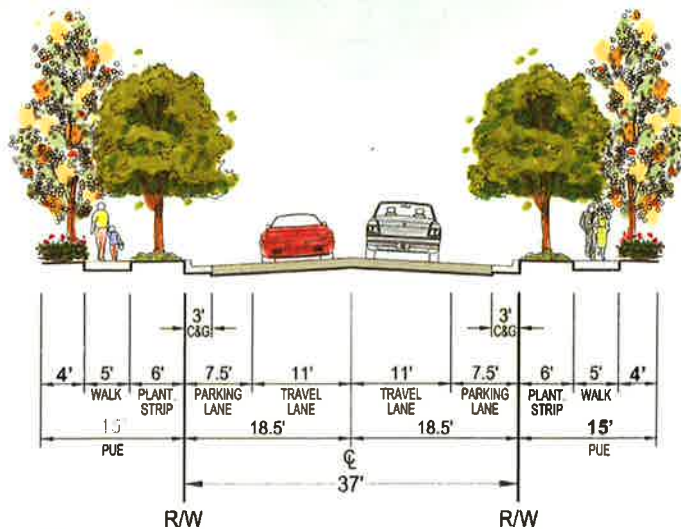


D 56' RIGHT-OF-WAY
 Street 'A'
 N.T.S.



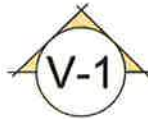
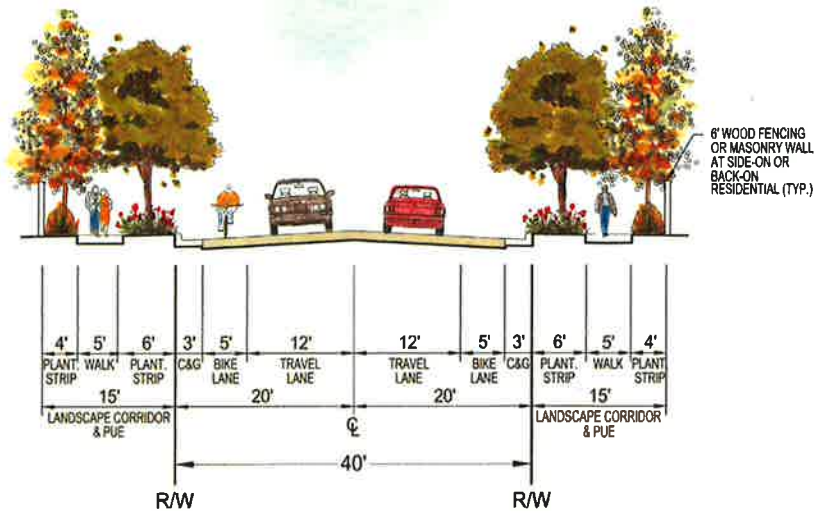


D-1 **56' RIGHT-OF-WAY**
 Emergency Vehicle Access / Street 'A'
 N.T.S.



V **37' RIGHT-OF-WAY**
 Local Street
 N.T.S.

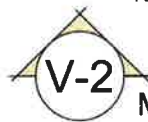
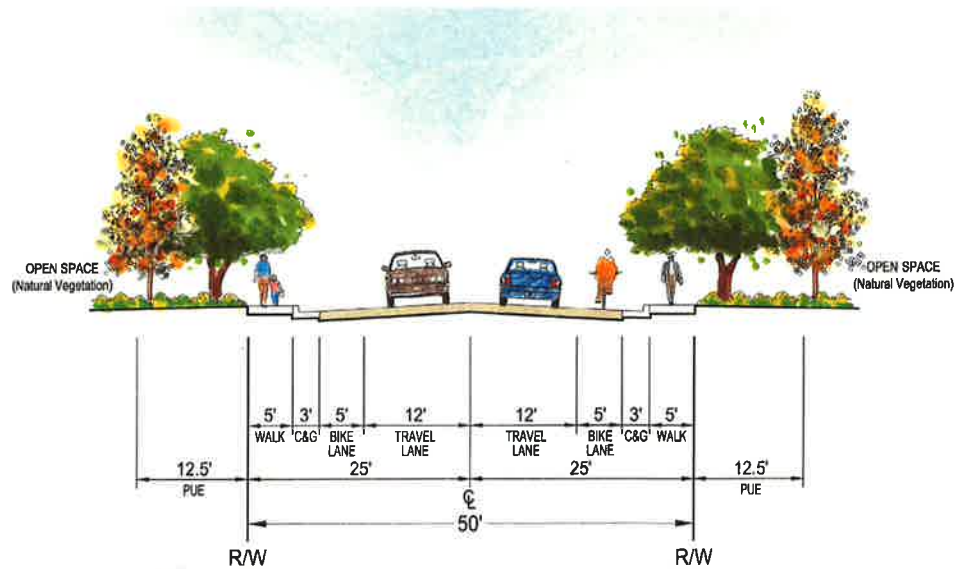




40' RIGHT-OF-WAY

Minor Collector
With Class II Bike Lanes
(No Parking)

N.T.S.

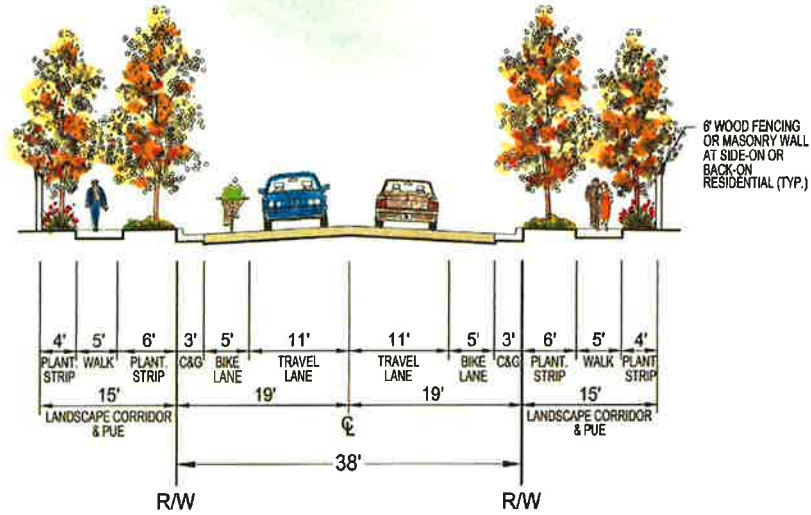


50' RIGHT-OF-WAY

Minor Collector - Attached Sidewalk
With Class II Bike Lanes
(No Parking)

N.T.S.

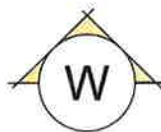
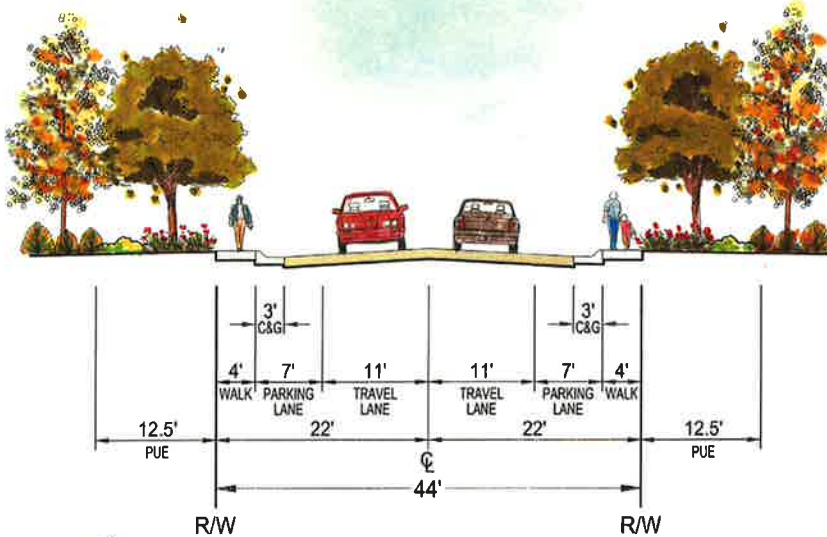




38' RIGHT-OF-WAY

Local Street
With Class II Bike Lanes
(No Parking)

N.T.S.

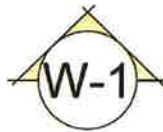
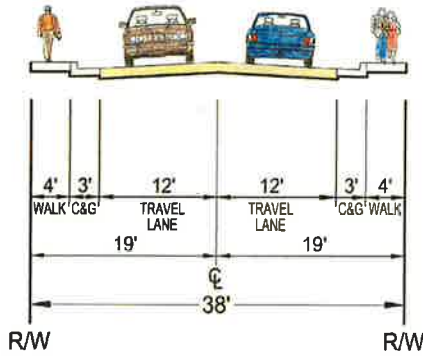


44' RIGHT-OF-WAY

Local Street - Attached Sidewalk

N.T.S.

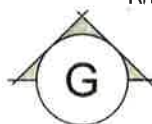
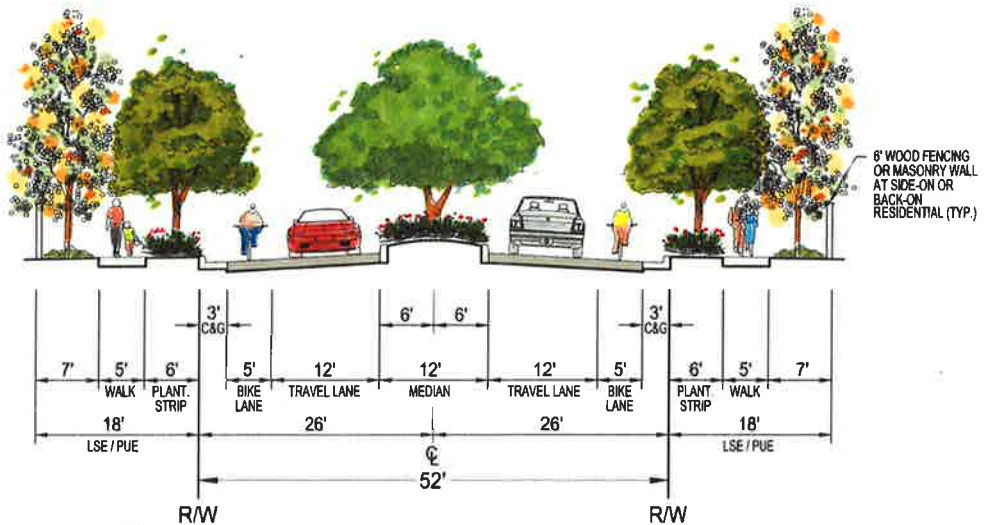




38' RIGHT-OF-WAY

Local Street - Attached Sidewalk
(at Creek Crossing)
(No Parking)

N.T.S.



52' RIGHT-OF-WAY

Divided Entry
(no parking)

N.T.S.



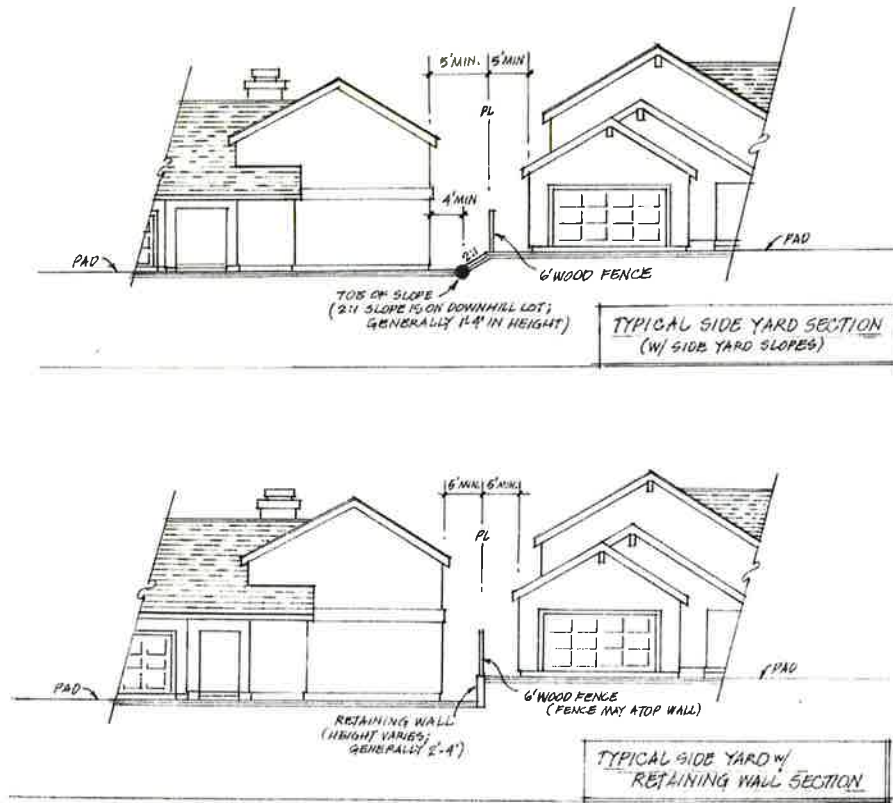
GRADING CRITERIA

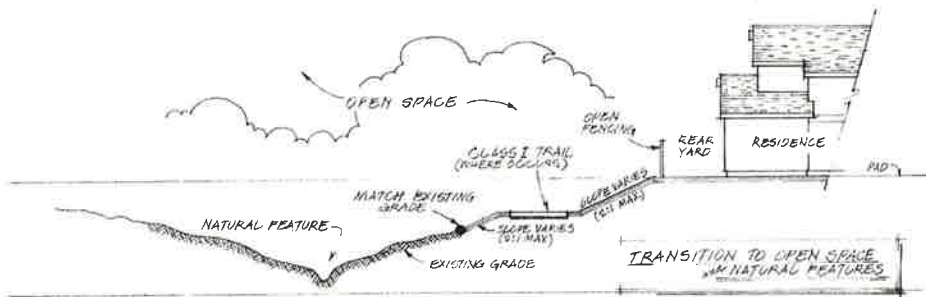
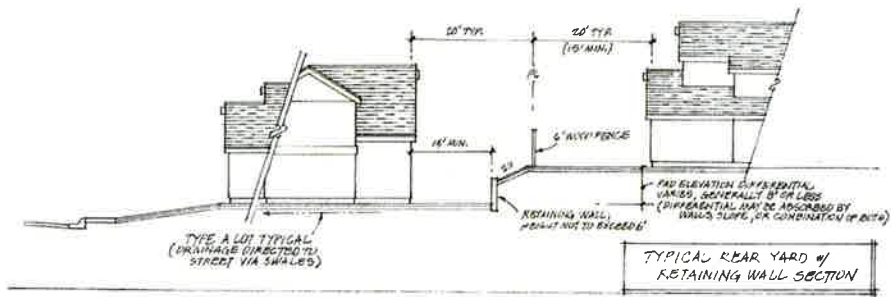
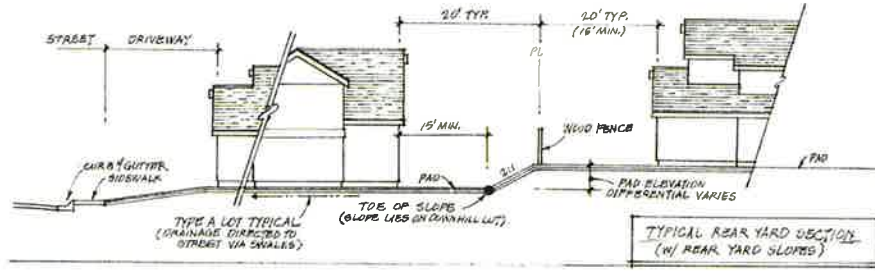
The topography of the Folsom Ranch, Central District is generally gently sloping ground. Slope varies from less than 1% to 6% with a few exceptions of isolated steeper slopes along Alder Creek and its tributaries. Mass grading will be done in a comprehensive manner to create flat building pads to accommodate development while preserving certain natural features

Grading will be conventional grading which consists of uniform slope gradients with angular slope intersections and pad configurations which are rectangular. Transitions zones from the development area to the natural drainage features will vary in slope steepness when there is sufficient land areas to accomplish the grade change. All single family building sites will drain to their public street frontage (Type A drainage).

Slopes between lots vary from less than 1 foot to several feet side to side and generally 1-4 feet between the rears of lots. In several instances the grade difference along the rear of the lots will be as much as approximately 8 feet. Grade differences between building sites will be accomplished with 2:1 slopes and in some instances retaining walls up to 6 feet in height. The slope will be achieved on the lower of the building sites. In all cases, level side yard area of a minimum of 4 feet will be maintained and in the rear yard a minimum of 15 feet level will be maintained. Setbacks will be established to accommodate such requirements.

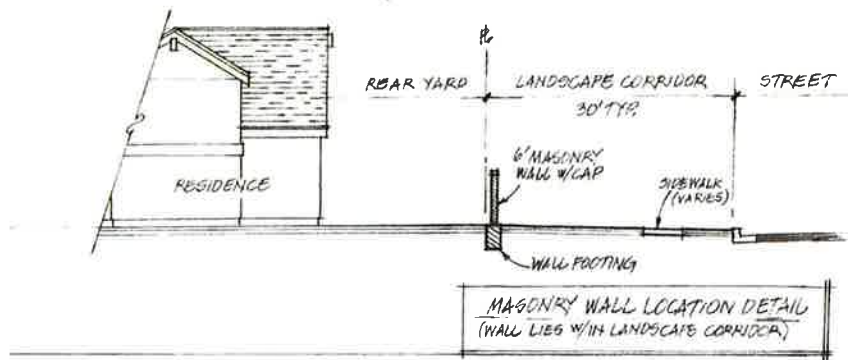
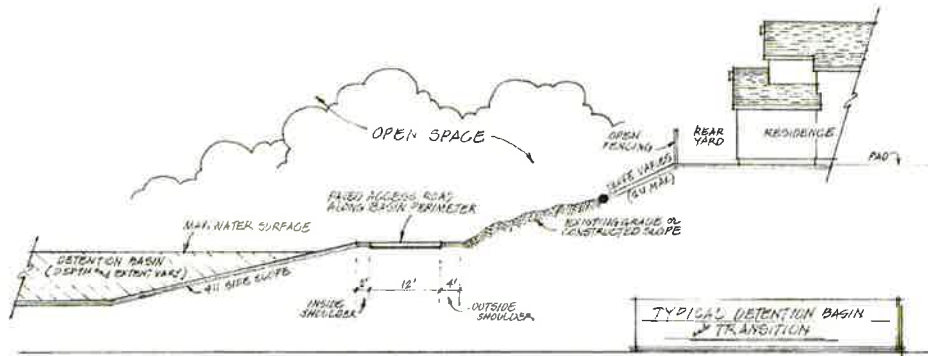
The site will contain several storm detention and water quality basins. These features will be graded with generally modest side slopes to provide a safe transition from the edge or adjacent trail to the bottom. These basins will be separated from the development edge or Class 1 trails with bollards, post and cable, or open style fencing.





Slopes, Walls, and Transitions





Slopes, Walls, and Transitions



LID Measures

Various Low Impact Design (LID) strategies can be incorporated into the design of each of the individual developments within the Plan Area, if desired. However, the hydromodification and water quality facilities proposed in the SDMP are adequate in accommodate site development without the need to utilize site-based LID strategies.

Using small, economical landscape features, LID techniques work as a system to slow, filter, evaporate, and infiltrate surface runoff at the source. LID design calculations for a reduction in the required water quality and hydromodification volumes have not been incorporated for the Folsom Plan Area Storm Drainage Master Plan, but may be included in future drainage studies prepared for small lot tentative map approvals within the Plan Area.

LID strategies to address water quality fall under the two broad categories of **Practices** and **Site Design**. The most common concepts are summarized below:

Practices:

Basic LID strategy for handling runoff is to (1) reduce the volume of runoff and (2) decentralize flows. Common methods include:

- **Bio-retention cells** typically consist of grass buffers, sand beds, a ponding area for excess runoff storage, organic layers, planting soil, and vegetation.
- **Vegetated swales** function as alternatives to curb and gutter systems, usually along residential streets or highways. They use grasses or other vegetation to reduce runoff velocity and allow filtration, while high volume flows are channeled away safely to a larger water quality management facility.
- **Filter strips** can be designed as landscape features within parking lots or other areas, to collect flow from large impervious surfaces. They may direct water into vegetated areas or special sand filters that capture pollutants and gradually discharge water over a period of time.
- **Disconnected impervious areas** direct water flows collected from structures, driveways, or street sections, into separate localized detention cells instead of combining it in drain pipes with other runoff.
- **Cistern collection systems** can be designed to store rainwater for dry-period irrigation, rather than channeling it to streams. Smaller tanks that collect residential roof drainage are often called “rain barrels” and may be installed by individual homeowners. Some collection systems are designed to be installed directly under permeable paving areas, allowing maximum water storage capacity while eliminating the need for gravel beds.



Site Design:

- **Decreasing Impervious Surfaces** can be a simple strategy to address water quality and avoid problems from storm water runoff and water table depletion, by reducing surfaces that prevent natural filtration. Methods may include reducing roadway surfaces, permeable pavement surfacing, and vegetative roof systems.
- **Planning site layout and grading to natural land contours** can minimize grading costs and retain a greater percentage of the land's natural hydrology. Contours which function as filtration basins can be retained or enhanced for water quality and quantity, and incorporated into the landscaping design.
- **Natural Resource Preservation and Xeriscapes** can be used to minimize the need for irrigation systems and enhance property values.
- **Clustering Homes** on slightly smaller lot areas can allow more preserved open space to be used for recreation, visual aesthetics, and wildlife habitat.

Specific LID strategies that could be used to fulfill the current and future requirements for storm water quality treatment and hydromodification may include the following potential LID measures:

Site Design Measures:

- Protect slopes, channels and other areas particularly susceptible to erosion and sediment loss.
- Maximize the protection of natural drainage features and vegetation.
- Minimize impervious areas and break up or disconnect the flow of runoff over impervious surfaces.
- Provide low maintenance landscaping that encourages retention and planting of native vegetation and minimizes the use of lawns, fertilizers, and pesticides.
- Provide vegetated open-channel conveyance systems discharge into and through stable vegetated areas.
- Install LID stormwater planters.
- Separate sidewalks from street curb and gutters.
- Install drought tolerant and storm water appropriate planting.



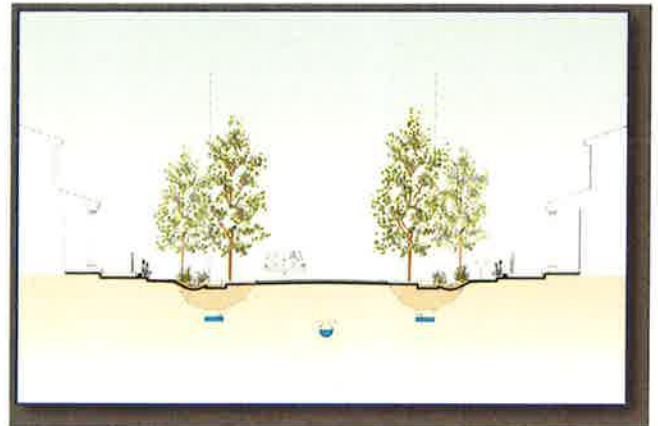
Source Control Measures

- Storm Drain Stenciling and Signage
- Outdoor Material Storage Area Design
- Outdoor Trash Storage Area Design
- Loading/Unloading Area Design
- Vehicle and Equipment Wash Area

Treatment Control Measures

- Bio-Swales
- Grass Swales
- Wet Pond
- Stormwater Planter
- Pervious Pavements
- Grass Filter Strips

The Storm Drainage Master Plan suggests a pragmatic approach be utilized in the selection of technically appropriate and aesthetically pleasing LID measures in accordance with the good engineering and planning practices. Specific LID measures should be selected on the basis of being both practical and cost effective.



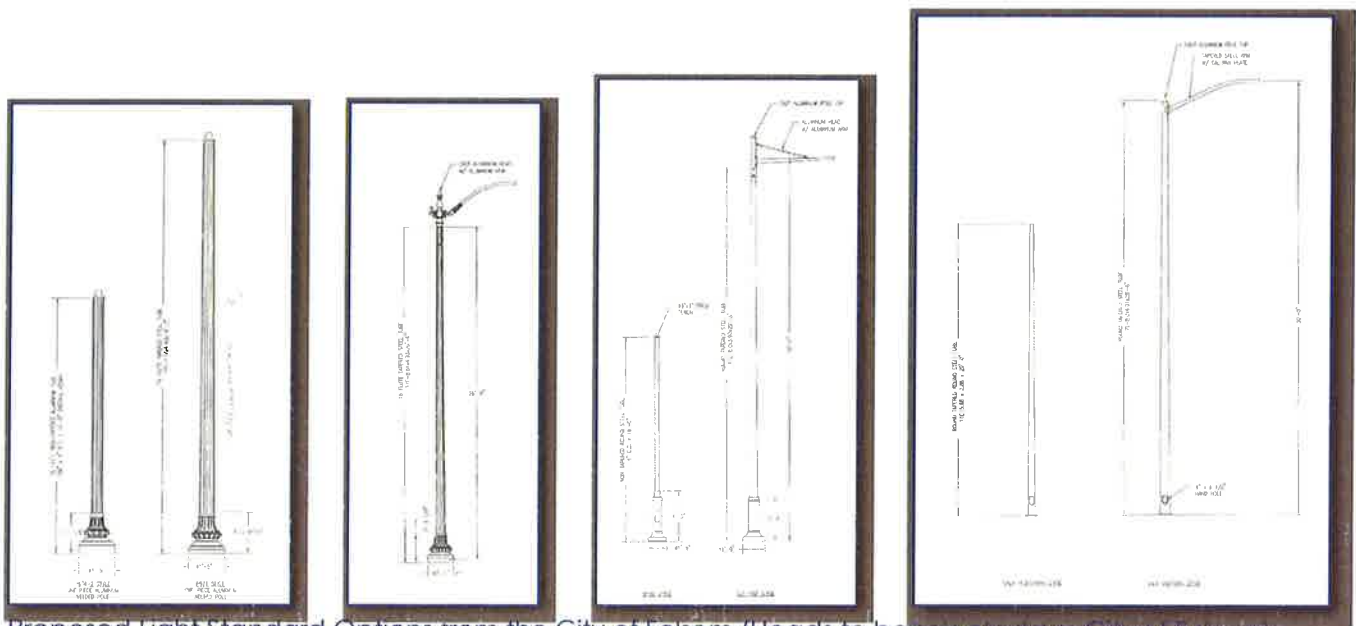
LIGHTING GUIDELINES

The site furnishings and lighting will be used to enhance, unify and reinforce the character of the overall site design. The site furnishings and lighting shall be made of natural materials/elements that can be tied to the color and texture of the proposed monuments, walls/fences and architecture.

Lighting shall incorporate the following written guidelines and design imagery.

- All exterior light fixtures and fixture placement shall comply to the standards specified in the City’s design documents. Use of LED technology is required.
- Streets and intersections should be well lighted in accordance with the City standard illumination levels. Low-level lighting for pedestrian safety should be installed where appropriate. Intersections should have increased light levels for definition and to mitigate automobile/ pedestrian conflicts.

- Accent lights should be installed at all primary entry monuments, secondary monuments, and park/ trail monuments.
- Street lights shall conform to the overall project theme and City standards. Use of LED technology is required.
- All water features and landscaping should be subdued and indirect to prevent spill over onto adjacent lots and streets.
- The type and location of building lighting should preclude direct glare onto adjacent property, streets and skyward by the use and application of shields
- Pedestrian scale fixtures are encouraged over “high mast” poles.
- Consistent lighting fixtures shall be used throughout Folsom Ranch, Central District to enhance community character.
- Light rays shall be confined on-site through orientation, the use of shading/directional controls, and/or landscape treatment.
- No tree to be planted within 20 feet of a light standard.



Proposed Light Standard Options from the City of Folsom (Heads to be selected per City of Folsom)



Lighting within development areas adjacent to Open Space Districts shall comply with the following “dark sky” lighting regulations:

1. Flood lamp shielding and/or City-approved “dark sky” light fixtures/bulbs shall be used in developed areas to reduce the amount of stray lighting into natural resource areas.
2. Direct lighting rays shall be confined to the respective residential, resort, commercial, or common area lots upon which the exterior lights are to be installed so that adjacent Open Space Districts are protected from any significant light spillage, intrusion, and glare.
3. No skyward casting lighting shall be allowed in development areas adjacent to Open Space Districts.

STREET FURNITURE GUIDELINES

Site furnishings including, but not limited to, tables, benches, and trash receptacles will be metal and/or concrete. The wood shall be stained to maintain a natural appearance.

Materials: (Custom)

- Seat walls with stone.
- Concrete or brick wall capping.
- Varied paving materials, including stone, concrete, decomposed granite, and concrete pavers.
- Wood or metal overhead structures.

Materials: (Design Standards)

- Trash receptacles with metal slats.
- Metal picnic tables and benches.
- Mailboxes- powder coated steel, cluster box unit (CBU) with decorative lid.



WALL AND FENCE GUIDELINES

Maintaining quality and character of all aspects of the public realm is a key placemaking principle. The wall and fence design criteria is intended to provide variety and privacy for each lot while providing continuity and unity within the community.

Walls and fencing will be used throughout the community to complement the overall design theme, establish community identity, provide protection from roadway and other noise, and allow privacy and security in residential areas. The use of walls and fences can also serve to accentuate neighborhood features in addition to screening streets and adjacent uses.

The following types of walls (solid and opaque) and fences (open and largely transparent) have been selected for possible use within different areas of the project site. All wall and fence heights are measured from the highest grade elevation on either side of the wall or fence. An overall community wall program is provided to help unify and reinforce community character.

For wall heights exceeding those outlined herein based on Sound Attenuation requirements refer to the Mangini Ranch Residential Development Environmental Noise Assessment document prepared by Bollard Acoustical Consultants, Inc. on January 29, 2015.

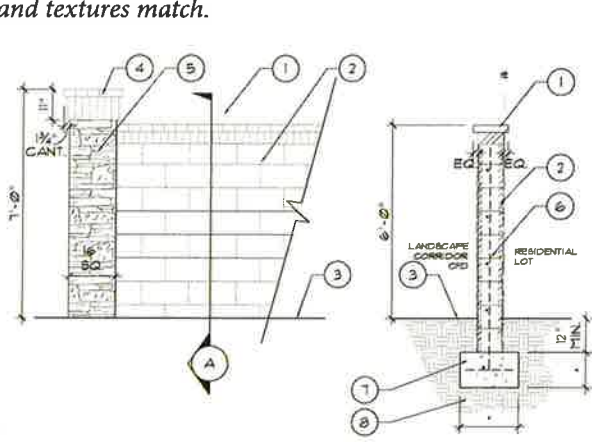
- Decorative walls and/or screen walls shall be integrated with the architecture of community building, as well as the overall landscape design.
- All community theme walls and fences shall be consistent in design.
- For most products, the community wall will be colored split face block with an enhanced brick cap.
- Pilasters will be stacked stone veneered with an enhanced brick cap. Pilasters will occur at changes in wall direction or change in materials visible to the public realm and as outlined on page 3-26.
- Higher-end estate product wall adjoining a public street or any wall publicly visible or adjacent to the public realm shall be slump face block, slurry coat and painted, with a decorative brick cap.
- Interior/side yard or any wall not visible to the public realm shall be precision block with precision cap, or wood fencing based on builder's preference and product price point. Block color to match slump slurry wall paint color.
- View fencing of full height tubular steel and/or a low wall or concrete mowcurb with tubular steel combination may be used. Pilasters may be incorporated into steel fencing.
- Vines and/or shrubs should be planted along community walls to soften the visual character. An extensive use of vines is encouraged.
- The maximum wall or fence height shall be six (6) feet within any required rear, or side setback area, and along the project perimeter unless a need for an 8'-0" high wall or higher is determined necessary to act as a sound wall and approved by the City. Wall/fence heights are measured from the base of the wall/fence to the top of the interior or exterior side, always providing a minimum six (6) feet barrier from either side. The maximum height of any wall should not exceed ten (10) feet (when in combination with a retaining wall) without a variance.
- Combination retaining wall and privacy walls at block ends may be used.
- Rear yard fencing adjacent to park areas or open space edges where residential pad is



- elevated above park/open space shall be view fencing, where applicable, considering grade differentials, etc.
- Where appropriate, view fencing may be less than 6' high to provide an enhanced view shed. In cases where pools or spas are located in rear yards, a minimum 5'-6" high perimeter fence is required. Continuous view fencing or block walls shall have pilasters located at corners, at change in wall/fencing materials, and significant redirections in the fence line.
 - Wall sections greater than 50 feet in length should incorporate at least two of the following design features which are proportionate to the wall length:
 - A minimum 2 feet change in plane for at least 2 feet.
 - A minimum 18-inch change in height for at least 10 feet.
 - Use of pilasters at 50 feet maximum intervals and at changes in wall planes.
 - A minimum 4 feet high view fencing section for at least 10 feet.
 - Solid walls or wood fencing shall be used for property line fencing and gate returns between housing lots and those areas in public view. Fence return located on the garage side of each home shall include a three foot (3') wide minimum gate.
 - All retaining walls, courtyard walls, gates and fences shall be compatible with the architecture of each neighborhood/village.
 - Visible precision block walls or wood fencing is prohibited from the public realm.
 - Walls shall be setback a minimum of 5 feet from all public sidewalks. Where feasible a 10 feet setback is preferred.
 - For residential side yard gates, vinyl gates are encouraged, color to match or complement adjacent wall/architecture.
 - Gates should be provided in walls or fences to allow emergency access and to facilitate convenient pedestrian access to activity areas and adjacent uses.
 - Walls should be eliminated or sited to provide additional setbacks areas at project entries to accommodate distinctive landscaping, ornamental gateways, signage and street furniture.
 - Walls should be curved or angled at corner locations along street frontages to preserve sight lines.
 - Be mindful of sight lines when laying out lots and perimeter walls.



The following photos should not be construed as the exact wall and fence height, color and material, but should be used as preferred examples. The sketches and graphic representations contained within these Design Guidelines are for conceptual purposes and are provided as visual aids in understanding the basic intent of the Guidelines and to present examples of their potential implementation. The block/color specification can be substituted with a different manufacturer as long as colors and textures match.

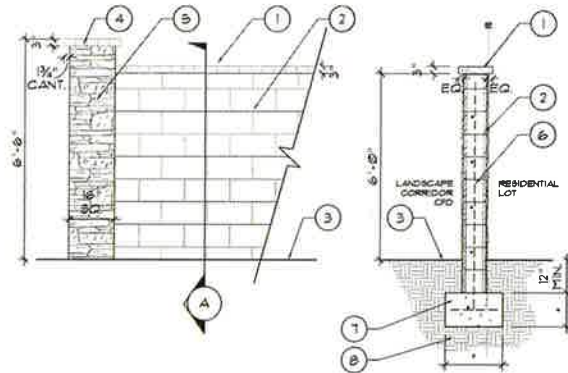


ELEVATION
SCALE: N.T.S.

- ① DOUBLE STACK BRICK WALL CAP
- ② 6X6X16 COLORED SPLIT FACE BLOCK. GROUT ALL CELLS SOLID.
- ③ FINISH GRADE
- ④ DOUBLE STACK BRICK PILASTER CAP.
- ⑤ COLUMN BLOCK PILASTER STACKED STONE VENEER GROUT ALL CELLS SOLID OR PER STRUCTURAL ENGINEER SPECS

- ⑥ REINFORCEMENT PER STRUCTURAL ENGINEER PLANS
- ⑦ CONCRETE FOOTING - PER STRUCTURAL ENGINEER PLANS
- ⑧ COMPACTED SUBGRADE PER GEOTECHNICAL REPORT

NOTE:
1. GROUT TO MATCH BLOCK COLOR
2. MASONRY AND COLORS AVAILABLE THRU ANGELUS BLOCK OR EQUIVALENT



ELEVATION
SCALE: N.T.S.

WALL SECTION 'A'
SCALE: N.T.S.

- ① BRICK WALL CAP
- ② 6X6X16 SLUMP SLURRY PAINTED BLOCK GROUT ALL CELLS SOLID.
- ③ FINISH GRADE
- ④ BRICK PILASTER CAP.
- ⑤ COLUMN BLOCK PILASTER STACKED STONE VENEER GROUT ALL CELLS SOLID OR PER STRUCTURAL ENGINEER SPECS

- ⑥ REINFORCEMENT PER STRUCTURAL ENGINEER PLANS
- ⑦ CONCRETE FOOTING - PER STRUCTURAL ENGINEER PLANS
- ⑧ COMPACTED SUBGRADE PER GEOTECHNICAL REPORT

NOTE:
1. GROUT TO MATCH BLOCK COLOR
2. MASONRY AND COLORS AVAILABLE THRU ANGELUS BLOCK OR EQUIVALENT



Community Wall and Pilaster

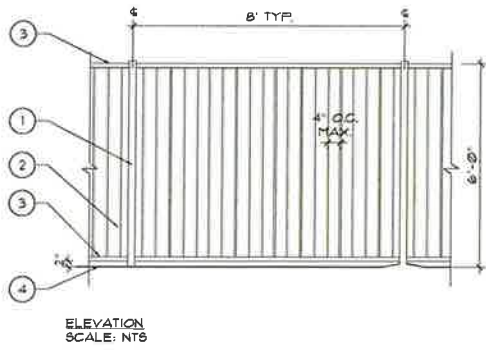
- Pilaster:** Precision column block with stone veneer and enhanced brick cap
- Wall:** Split face block with brick cap
- Block Color:** Sandstone available through Angelus Block - 6x6x16
- Brick:** Jumbo Alamo Blend 'A' - available through Belden Brick
- Grout:** Light Khaki - available through Orco Blended Products
- Stone:** TNS Coso Junction Thin Veneer - available through Thompson Bldg. Grout-CBP Light Smoke #145



High End Product - Community Wall and Pilaster

- Pilaster:** Precision column block with stone veneer and brick cap
- Wall:** Slump column block with slurry coat, paint, and brick cap
- Block Color:** Auburn available through Angelus Block - Slump 6x6x16 - Super Slump
- Slurry Coat/ Sack:** Sherwin Williams SW7513w Sanderling (La Habra Color Coat Match x-81072)
- Brick:** Jumbo Alamo Blend 'A' - available through Belden Brick
- Grout:** Light Khaki - available through Orco Blended Products
- Stone:** TNS Coso Junction Thin Veneer - available through Thompson Bldg. Grout-CBP Light Smoke #145





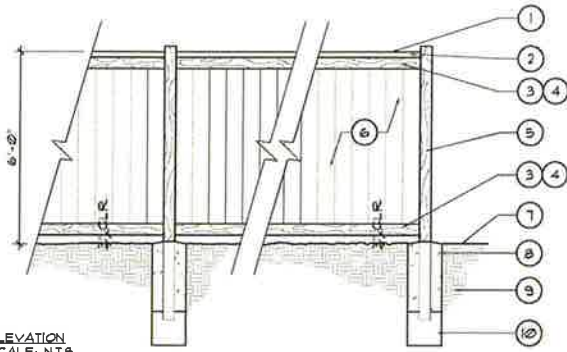
- ① 1 1/2" X 2" RECTANGULAR TUBULAR STEEL FENCE POST @ 6'-0" O.C. MAX. OR EQUALLY SPACED AND ALL CHANGE OF DIRECTION (CORNERS).
- ② 5/8" SQ. TUBULAR STEEL PICKETS @ 4" O.C. MAX. TYP. PICKETS STAGGER AT TOP PER DETAIL.
- ③ 1 1/2" X 2" RECTANGULAR TUBULAR STEEL TOP AND BOTTOM RAIL LAID FLAT WELD TO POST AS SHOWN.
- ④ FINISH GRADE



Community Prefabricated Tubular Steel Fence

Color: Sherwin Williams SW7020 Black Fox, Powdercoated





ELEVATION
SCALE: N.T.S.

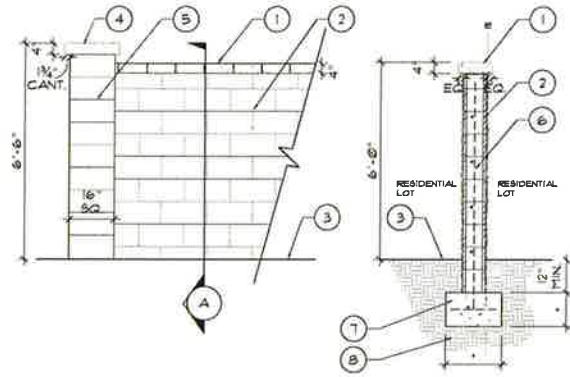
- ① 2x2 TOP TRIM INSIDE, NAIL TO POST AND CAP
- ② 2 x 6 CAP, NAIL TO POSTS W/ HALF LAP SPLICES OVER POSTS AND MITER AT ALL CORNERS
- ③ 2 x 4 TOP AND BOTTOM RAILS, TOE NAIL TO POSTS.
- ④ 1 x 4 TOP AND BOTTOM TRIM INSIDE NAIL TO POST, RAILINGS AND CAP.
- ⑤ 4 x 4 S4S PRESSURE TREATED POSTS AT 8'-0" O.C. MAX. AT ENDS AND CHANGES OF DIRECTION.
- ⑥ 1 x 6 CEDAR VERTICAL BOARDS BUTT-JOINT ALTERNATE PANELS ON BOTH SIDES, NAIL TO 2x4 TOP RAIL.
- ⑦ FINISH GRADE - PER CIVIL ENGINEER PRECISE GRADING PLAN.
- ⑧ CONCRETE FOOTING PER STRUCTURAL ENGINEER
- ⑨ COMPACTED SUBGRADE PER GEO-TECHNICAL REPORT.
- ⑩ 1 CUBIC FOOT OF GRAVEL PER POST FOOTING.

NOTE:
 1. ALL WOOD SHALL BE S4S KILN DRIED UNLESS OTHERWISE NOTED.
 2. ALL WOOD POST SHALL BE S4S DOUGLAS FIR UNLESS NOTED OTHERWISE. ALL OTHER WOOD TO BE CEDAR (NO.1)
 3. PRIMER SHALL BE OIL BASED AND TOP COAT W/ PREMIUM WATERBASED LATEX ENAMEL. REFER TO MATERIALS SCHEDULE ON SHEET LC-2 FOR PAINT COLOR.
 4. ALL NAILS AND METAL SHALL BE HOT DIPPED GALVANIZED.
 5. ALL WOOD SHALL HAVE STAMP OF 'FSC' (FOREST STEWARDSHIP COUNCIL) CERTIFICATION.



Wood Fence Option at Side Yard Conditions
 (No Wood Fence shall be visible/ exposed to the public realm)

Color: Mission Brown Cabot Semi-solid Stain or equivalent



ELEVATION
SCALE: N.T.S.

WALL SECTION 'A'
SCALE: N.T.S.

- ① PRECISION BLOCK WALL CAP
- ② 6x8x16 PRECISION BLOCK, GROUT ALL CELLS SOLID.
- ③ FINISH GRADE
- ④ PRECISION BLOCK PILASTER CAP.
- ⑤ 16x8x16 SQ. COLUMN PRECISION BLOCK PILASTER GROUT ALL CELLS SOLID OR PER STRUCTURAL ENGINEER SPECS
- ⑥ REINFORCEMENT PER STRUCTURAL ENGINEER PLANS
- ⑦ CONCRETE FOOTING - PER STRUCTURAL ENGINEER PLANS
- ⑧ COMPACTED SUBGRADE PER GEOTECHNICAL REPORT

NOTE:
 1. GROUT TO MATCH BLOCK COLOR
 2. MASONRY AND COLORS AVAILABLE THRU ANGELUS BLOCK OR EQUIVALENT



Precision Block Wall Option at Side Yard Conditions

(No Precision Block Wall shall be visible/ exposed to the public realm.)

Color: Harvest, available through Angelus Block



LANDSCAPE MASTER COMMUNITY PLANT MATRIX

The plant list for this project was developed to reinforce the community theme and to create some seasonal change with a mixture of low water use, drought-tolerant, deciduous, and evergreen plants while maintaining a well-balanced landscape. Many plants on this list are considered low water using and drought-tolerant species and were chosen based on their specific growth characteristics, including flowering and foliage color, texture and form.

The following items should be considered in the community landscape design process:

- Consistent street tree themes should be related to the hierarchy of the street system.
- Extensive use of trees, vines and shrubs to soften community theme wall and fencing.
- Recognition of existing natural conditions and situations.
- Use of both “formal” and “informal” planting arrangements, depending upon the particular condition.

- “Layering” of the shrub understory to create depth, variety and interest.
- Refer to local codes for spacing distance from utilities, light poles, etc.
- Preserving Oak Woodlands and isolated Oak trees on Folsom Ranch is imperative, as the State of California passed the Oak Woodlands Conservation Act of 2001. Refer to section 10.2.3 of the Folsom Plan Area Specific Plan for further Oak mitigation requirements.



Planting within the community shall comply with the City of Folsom’s Design Standards:

1. All plant material shall be in accordance with the appropriate ordinances, resolutions, and specifications established by the City.
2. All plant material shall be in conformance with City-approved Streetscape/ Street Tree Master plans where applicable. The City retains the right to prohibit any plant material generally known to require excessive maintenance, because of factors such as, but not limited to, disease, pest control, troublesome root development, ultimate size, high water needs, overplanting, difficult growth habits, and invasive regeneration habits.
3. To help protect our Urban Forest from pests, disease, storm damage, and drought, plus to increase tree population diversity the following tables shall be utilized:
 - If 60 trees or less shall be planted for a project:
 - Not to exceed 30% Genus
 - Not to exceed 20% Species
 - Not to exceed 10% Cultivar
 - If over 60 trees shall be planted for a project:
 - Not to exceed 15% Genus
 - Not to exceed 10% Species
 - Not to exceed 5% Cultivar
4. The use of drought tolerant plant materials that are particularly compatible with our local environment is strongly encouraged to promote water conservation and reduce maintenance costs. Landscape irrigation shall be designed in accordance with the State Model Water Efficient Landscape Ordinance as required by AB 1881. Plans shall show Water Conservation Concept statement and all calculations and schedules required by the Ordinance. The Soils Analysis may be shown on the plans or submitted separately.
5. In addition to minimum setback requirements for certain species as shown on the “Folsom Master Tree List,” the following minimum distances shall be required:
 - a. Three feet from City maintenance limit line.
 - b. Four feet from utility installations including, but not limited to sewers, gas, water lines, meter vaults, catch basins, etc.
 - c. Ten feet from driveways.
 - d. Ten feet from fire hydrants.
 - e. Twenty feet from light standards.
 - f. Tree limbs must have a clearance of 14.5 feet over streets, 8 feet over bicycle trails, and 7 feet over pedestrian-traveled ways.
 - g. Minimum sizes of trees shall be #15, or as approved by the Director.
 - h. Ten feet from front of stop signs.
 - i. Five feet from infrastructure or 24”D x 20’W root barrier (23 inches below grade and 1 inch above grade) that is approved by the City.



LANDSCAPE IRRIGATION NOTE

All landscaped areas will be permanently irrigated using an automatic, underground irrigation system or drip system. The irrigation system will be separated into several systems based on water requirements of each hydrozone. Hydrozone separations will be based on sun orientation and water requirements of the plant material.

Irrigation of required landscaped areas shall be by either automatic overhead high efficiency spray nozzle or drip irrigation and matched precipitation rate, low gallonage sprinkler heads, bubblers, and timing devices. Landscape areas less than 8' wide shall be irrigated with drip irrigation. Timing devices shall include soil moisture sensors and rain sensing override devices. Sprinkler pop-up heights shall range from 6" in turf areas and 12" high in shrub/groundcover beds, where a drip system may not be applicable. The irrigation system shall be capable of operating automatically by incorporating an electric weather based and climate-smart irrigation controller or advanced solar technology components and low voltage electric remote control valves. Quick coupling valves, as required, shall be strategically located to provide supplemental water to plant material and for wash down purposes. All remote control and quick coupling valves shall be located and installed within the shrub beds wherever possible.

The irrigation system will be compliant with the City Water Efficient Ordinance and should conform to MWELO AB 1881. Irrigation water use will comply with water allotments defined in the Ordinance.

A backbone "purple pipe" non-potable water system shall be designed and installed to supply non-potable water to park sites, landscape corridors, natural parkways, and other public landscaped areas within the community.

UTILITY AND EQUIPMENT SCREENING

All utilities above/below ground and other equipment providing service to the Folsom Ranch, Central District residential neighborhoods shall be screened accordingly to prevent unsightly conditions that distract from the overall aesthetics.

- Above-ground utility equipment should be screened from view by the use of hedges, trees, or larger screening plant material and/or vines where feasible, subject to utility provider requirements or restrictions.
- Above-ground utility equipment, vents, and access doors to underground utilities shall be located with sufficient space to allow clearance between the screening for the utility equipment and any paved surface including streets, driveways, and walkways.



FOLSOM RANCH, CENTRAL DISTRICT | DESIGN GUIDELINES



Botanical Name	Common Name	Project Entries	Signature Corridors	Folsom Street Tree	Single-Family Detached	Multi-Family	Parks/Schools	Open Space	Commercial/Mixed Use	Drainage Basin
TREES										
<i>Abies concolor</i>	White Fir			•	•	•		•		•
<i>Abies nordmanniana</i>	Nordmann Fir				•	•		•		•
<i>Acacia spp.*</i>	Acacia	•			•	•	•	•	•	•
<i>Acacia baileyana</i>	Bailey Acacia			•	•	•			•	
<i>Acacia melanoxylon</i>	Black Acacia			•	•	•			•	
<i>Acer macrophyllum***</i>	Big Leaf Maple	•			•	•			•	
<i>Acer spp.</i>	Maple				•	•	•	•	•	
<i>Acer buerferianum</i>	Trident Maple			•	•	•		•		
<i>Acer campestre</i>	Hedge Maple			•	•	•		•		•
<i>Acer macrophyllum</i>	Big-leaf Maple			•	•	•		•		•
<i>Acer negundo</i>	California Box Elder				•	•		•		•
<i>Acer platanooides x truncatum</i> 'Crimson Sunset'	Crimson Sunset Maple			•	•	•		•		
<i>Acer rubrum</i>	Red Maple			•	•	•		•		
<i>Acer rubrum</i> 'Bowhall'	Bowhall Red Maple			•	•	•		•		•
<i>Acer rubrum</i> 'Columnare'	Columnare Red Maple			•	•	•	•	•		•
<i>Acer rubrum</i> 'October Glory' or 'Red Sunset'	October Glory or Red Sunset Red Maple			•	•	•	•	•		•
<i>Acer tataricum ginnala</i>	Amur Maple			•	•	•		•		
<i>Acer truncatum</i>	Shantung Maple			•	•	•		•		
<i>Aesculus californica***</i>	California Buckeye			•	•	•		•		•
<i>Aesculus glabra</i>	Ohio Buckeye				•	•				•
<i>Aesculus hippocastanum</i>	Common Horsechestnut			•	•	•				•
<i>Aesculus x carnea</i> 'Briotii' or 'O'Neill Red'	Red Horsechestnut			•	•	•				
<i>Albizia julibrissin</i>	Silk Tree				•	•	•	•	•	
<i>Alnus cordata</i>	Italian Alder			•	•	•		•		
<i>Alnus glutinosa</i>	European Alder			•	•	•		•		•
<i>Alnus rhombifolia</i>	White Alder			•	•	•		•		•

*Indicates drought-tolerant species

**Indicates that designer must select a low water or drought-tolerant variety only

***River-Friendly Landscaping List – Sacramento, CA



SECTION 3 - LANDSCAPE DESIGN GUIDELINES



Botanical Name	Common Name	Project Entries	Signature Corridors	Folsom Street Tree	Single Family Detached	Multi Family	Parks/Schools	Open Space	Commercial/Mixed Used	Drainage Basin
<i>Amelanchier canadensis</i>	Eastern Serviceberry				•	•				
<i>Amelanchier laevis</i>	Allegheny Serviceberry			•	•	•				
<i>Araucaria bidwillii</i>	Bunya-Bunya			•	•	•		•		•
<i>Arbutus unedo</i>	Strawberry Tree	•	•		•	•	•	•	•	•
<i>Arbutus unedo 'Marina'</i>	Marina Strawberry Tree	•	•		•	•	•	•	•	•
<i>Bauhinia lunariodes</i>	Anacacho Orchid Tree	•			•	•	•	•	•	
<i>Bauhinia macranthera</i>	Chihuahuan Orchid Tree	•			•	•	•	•	•	
<i>Betula nigra</i>	River Birch			•	•	•		•	•	•
<i>Betula platyphylla japonica</i>	Japanese White Birch				•	•		•	•	•
<i>Caesalpinia cacalaco 'Smoothie'</i>	Smoothie Thorless Cascalote			•	•	•				
<i>Callistemon viminalis</i>	Weeping Bottlebrush				•	•		•	•	
<i>Calocedrus decurrens</i>	Incense Cedar			•	•	•	•	•		•
<i>Camellia reticulata</i>	NCN				•	•	•		•	
<i>Carpinus betulus 'Fastigiata'</i>	European Hornbeam			•	•	•	•	•		
<i>Carpinus caroliniana</i>	American Hornbeam			•	•	•	•	•		
<i>Carya illinoensis</i>	Pecan			•	•	•		•		
<i>Carya ovata</i>	Shagbark Hickory			•	•	•				
<i>Casanopsis cuspidata</i>	Japanese Chinquapin				•	•				
<i>Casuarina stricta</i>	She-Oak, Beefwood				•	•	•	•		
<i>Castanea dentata</i>	American Chestnut			•	•	•				
<i>Castanea mollissima</i>	Chinese Chestnut			•	•	•				
<i>Catalpa speciosa</i>	Western Catalpa			•	•	•	•	•		•
<i>Cedrus spp.</i>	Cedar	•	•		•	•	•	•	•	•
<i>Cedrus atlantica ('Glauca')</i>	Atlas (Blue) Cedar	•	•	•	•	•	•	•	•	•
<i>Cedrus deodara</i>	Deodar Cedar	•	•	•	•	•	•	•	•	•
<i>Celtis australis</i>	European Hackberry			•	•	•	•	•	•	•
<i>Celtis occidentalis</i>	Common Hackberry			•	•	•	•	•	•	•
<i>Ceratonia siliqua</i>	Carob Tree	•	•	•	•	•		•		•
<i>Cercidium 'Desert Museum'*</i>	Desert Museum Palo Verde			•	•	•	•	•	•	
<i>Cercidium floridum*</i>	Blue Palo Verde			•	•	•	•	•	•	

*Indicates drought-tolerant species

**Indicates that designer must select a low water or drought-tolerant variety only

***River-Friendly Landscaping List – Sacramento, CA





Botanical Name	Common Name	Project Entries	Signature Corridors	Folsom Street Tree	Single Family Detached	Multi-Family	Parks/Schools	Open Space	Commercial/Mixed Used	Drainage Basin
<i>Cercis canadensis</i>	Eastern Redbud	•	•	•	•	•	•	•	•	
<i>Cercis canadensis</i> 'Forest Pansy'	Forest Pansy Redbud	•	•	•	•	•	•	•	•	
<i>Cercis occidentalis</i> *,***	Western Redbud	•	•	•	•	•	•	•	•	•
<i>Cercis reniformis</i> 'Oklahoma'	Oklahoma Redbud			•	•	•	•	•		
<i>Cercis silquastrum</i>	Judas Tree			•	•	•		•		
<i>Chilopsis linearis</i> *	Desert Willow			•	•	•		•	•	•
<i>Chilopsis linearis</i> 'Art's Seedless'	Art's Seedless Desert Willow			•	•	•	•	•	•	•
<i>Chilopsis linearis</i> 'Bubba'	Bubba Desert Willow			•	•	•	•	•	•	•
<i>Chilopsis linearis</i> 'Lucretia Hamilton'	Lucretia Hamilton Desert Willow			•	•	•	•	•	•	•
<i>Chilopsis linearis</i> 'Warren Jones'	Warren Jones Desert Willow			•	•	•	•	•	•	•
<i>Chionanthus retusus</i>	Chinese Fringe Tree			•	•	•		•		
<i>Chitalpa tashkentensis</i> 'Pink Dawn'	Pink Dawn Chitalpa				•	•	•	•	•	•
<i>Cinnamomum camphora</i>	Camphor Tree	•	•	•	•	•	•	•	•	•
<i>Citrus spp.</i>	Citrus	•	•	•	•	•		•		
<i>Cladrastis kentukea</i>	Yellow Wood			•	•	•				
<i>Cordyline australis</i>	Dracaena				•	•			•	
<i>Cornus spp.</i>	Dogwood				•	•	•	•		
<i>Cornus controversa</i>	Giant Dogwood			•	•	•	•	•		
<i>Cornus x</i> 'Eddie's White Wonder'	Eddie's White Wonder Dogwood			•	•	•	•	•		
<i>Cornus florida</i>	Eastern Dogwood			•	•	•	•	•		
<i>Cornus kousa</i>	Kousa Dogwood			•	•	•	•	•		
<i>Cotinus obovatus</i>	Smoke Tree				•	•	•	•		
<i>Crataegus laevigata</i> 'Paul's Secret'	Paul's Secret English Hawthorn			•	•	•				
<i>Crataegus phaenopyrum</i>	Washington Hawthorn			•	•	•				
<i>Cryptomeria japonica</i>	Japanese Cryptomeria				•	•				•
<i>Cupressus spp.</i>	Cypress	•	•		•	•	•	•	•	•
<i>Cupressus arizonica</i>	Arizona Cypress	•	•		•	•	•	•	•	•
<i>Cupressus sempervirens</i>	Italian Cypress	•	•		•	•	•	•	•	•
<i>Diospyros kaki</i>	Fuyu Persimmon				•	•		•		
<i>Diospyros virginiana</i>	American Persimmon				•	•		•		

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Botanical Name	Common Name	Project Entries	Signature Corridors	Foliom: Street Tree	Single Family Detached	Multi-Family	Parks/Schools	Open Space	Commercial/Mixed Use	Drainage Basin
<i>Ebenopsis ebano</i>	Texas Ebony			•	•	•				
<i>Elaeocarpus decipiens</i>	Japanese Blueberry Tree		•	•	•	•	•	•	•	
<i>Eriobotrya deflexa</i>	Bronze Loquat	•	•		•	•	•	•	•	
<i>Eriobotrya japonica</i>	Loquat	•	•		•	•	•	•	•	
<i>Eucalyptus spp.** (Exclude all invasive species or those species infected with Thrips)</i>	Gum				•	•		•		•
<i>Eucalyptus nicholii</i>	Nichol's Willow-leaved Peppermint			•	•	•		•		•
<i>Eucalyptus polyanthemos</i>	Silver Dollar Gum			•	•	•		•		•
<i>Eucalyptus sideroxylon</i>	Red Ironbark Gum			•	•	•		•		•
<i>Eucommia ulmoides</i>	Hardy Rubber Tree			•	•	•		•		•
<i>Fagus grandifolia</i>	American Beech				•	•		•		
<i>Fagus sylvatica</i>	European Beech			•	•	•		•		
<i>Fagus sylvatica 'Atropunicea'</i>	Copper Beech				•	•		•		
<i>Fagus sylvatica 'Pendula'</i>	Weeping European Beech				•	•		•		
<i>Fagus sylvatica 'Purpurea Pendula'</i>	Weeping Purple Beech				•	•		•		
<i>Feijoa sellowiana</i>	Pineapple Guava				•	•		•	•	
<i>Ficus carica</i>	Common Fig	•	•		•	•		•		
<i>Ficus microcarpa nitida</i>	Indian Laurel Fig	•	•		•	•		•	•	
<i>Firmiana simplex</i>	Parasol Tree				•	•				
<i>Fraxinus spp.</i>	Ash	•	•		•	•	•	•	•	•
<i>Fraxinus Americana 'Autumn Purple'</i>	Autumn Purple White Ash	•	•	•	•	•	•	•	•	•
<i>Fraxinus angustifolia 'Raywood'</i>	Raywood Ash	•	•	•	•	•	•	•	•	•
<i>Fraxinus greggi</i>	Little Leaf Ash	•	•	•	•	•	•	•	•	•
<i>Fraxinus latifolia</i>	Oregon Ash	•	•		•	•	•	•	•	•
<i>Geijera parviflora</i>	Australian Willow	•	•	•	•	•	•	•	•	
<i>Ginkgo biloba</i>	Ginkgo, Maidenhair Tree	•	•		•	•	•	•	•	
<i>Ginkgo biloba 'Autumn Gold'</i>	Autumn Gold Maidenhair Tree	•	•	•	•	•	•	•	•	
<i>Ginkgo biloba 'Princeton Sentry'</i>	Princeton Sentry Maidenhair Tree	•	•	•	•	•	•	•	•	
<i>Ginkgo biloba 'Saratoga'</i>	Saratoga Maidenhair Tree	•	•		•	•		•	•	

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<i>Gleditsia triacanthos</i>	Honey Locust		•		•	•		•	•	
<i>Gleditsia triacanthos</i> 'Shademaster'	Shademaster Locust		•		•	•		•	•	
<i>Gleditsia triacanthos</i> 'Sunburst'	Sunburst Locust		•		•	•		•	•	
<i>Grevillea robusta</i>	Silk Oak			•	•	•		•		•
<i>Gymnocladus dioica</i>	Kentucky Coffee Tree			•	•	•				
<i>Halesia carolina</i>	Carolina Silver Bell			•	•	•				
<i>Heteromeles arbutifolia</i> *	Toyon	•	•		•	•	•	•	•	•
<i>Hymenosporum flavum</i>	Sweetshade	•	•		•	•	•	•	•	
<i>Ilex x 'Nellie R. Stevens'</i>	Nellie Stevens Holly				•	•		•	•	
<i>Ilex altaclarensis 'Wilsonii'</i>	Wilson Altaclara Holly				•	•		•	•	
<i>Ilex aquifolium</i>	English Holly				•	•		•	•	
<i>Ilex cornuta 'Burfordii'</i>	Burford Chinese Holly				•	•		•	•	
<i>Juglans californica 'Hindsii'</i> ***	California Black Walnut			•	•	•		•		•
<i>Juglans cinerea</i>	Butternut			•	•	•				
<i>Juglans nigra</i>	Black Walnut				•	•				
<i>Juglans regia</i>	English Walnut			•	•	•				
<i>Juniperus conferta</i>	Shore Juniper				•	•	•	•	•	
<i>Juniperus californica</i>	California Juniper				•	•	•	•	•	•
<i>Juniperus occidentalis</i>	Western Juniper				•	•	•	•	•	
<i>Juniperus osteosperma</i>	Utah Juniper				•	•	•	•	•	
<i>Juniperus scopulorum 'Blue Haven'</i>	Blue Haven Juniper				•	•	•	•	•	
<i>Juniperus scopulorum 'Skyrocket'</i>	Skyrocket Juniper				•	•	•	•	•	
<i>Koelreuteria bipinnata</i>	Chinese Flame Tree	•	•	•	•	•	•	•	•	•
<i>Koelreuteria paniculata</i>	Goldenrain Tree	•	•	•	•	•	•	•	•	•
<i>Lagerstroemia spp.</i>	Crape Myrtle	•	•		•	•	•	•	•	
<i>Lagerstroemia hybrid 'Arapaho'</i>	Arapaho Crape Myrtle	•	•	•	•	•	•	•	•	
<i>Lagerstroemia hybrid 'Muskogee'</i>	Muskogee Crape Myrtle	•	•	•	•	•	•	•	•	
<i>Lagerstroemia hybrid 'Natchez'</i>	Natchez Crape Myrtle	•	•	•	•	•	•	•	•	
<i>Lagerstroemia hybrid 'Tonto'</i>	Tonto Crape Myrtle	•	•	•	•	•	•	•	•	
<i>Lagerstroemia hybrid 'Tuscarora'</i>	Tuscarora Crape Myrtle	•	•	•	•	•	•	•	•	

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<i>Laurus nobilis</i>	Sweet Bay		•	•	•	•	•	•	•	•
<i>Leucaena retusa</i>	Golden Ball Lead Tree				•	•				
<i>Liquidambar spp.</i>	Sweet Gum	•	•		•	•		•	•	•
<i>Liriodendron tulipifera</i>	Tulip Tree	•	•	•	•	•	•	•	•	
<i>Lithocarpus edulis</i>	Japanese False Oak			•	•	•				
<i>Maackia amurensis</i>	Amur Maackia			•	•	•				
<i>Magnolia spp.</i>	Magnolia	•	•		•	•		•	•	•
<i>Magnolia grandiflora</i>	Southern Magnolia	•	•	•	•	•		•	•	•
<i>Magnolia grandiflora</i> 'St. Mary'	St. Mary Southern Magnolia	•	•		•	•		•	•	•
<i>Magnolia kobus</i>	Kobus Magnolia	•	•		•	•		•	•	•
<i>Magnolia x soulangeana</i>	Saucer Magnolia	•		•	•	•		•	•	•
<i>Malus spp.</i>	Crabapple				•	•		•	•	
<i>Malus</i> 'Centurion'	Centurion Crabapple			•	•	•		•	•	
<i>Malus</i> 'Harvest Gold'	Harvest Gold Crabapple			•	•	•		•	•	
<i>Malus ioensis</i> 'Prariefire'	Prariefire Crabapple			•	•	•		•	•	
<i>Malus</i> 'Robinson'	Robinson Crabapple			•	•	•		•	•	
<i>Malus</i> 'Strawberry Parfait'	Strawberry Parfait Crabapple			•	•	•		•	•	
<i>Maytenus boaria</i>	Mayten Tree			•	•	•	•	•	•	
<i>Melaleuca lanceolata</i>	Black Tea Tree				•	•		•	•	•
<i>Melaleuca leucadendron</i>	Paperbark	•	•		•	•		•	•	•
<i>Melaleuca linariifolia</i>	Flaxleaf Paperbark	•	•		•	•		•	•	•
<i>Melaleuca quinquenervia</i>	Broad-leaved Paperbark	•	•				•	•	•	•
<i>Metasequoia glyptostroboides</i>	Dawn Redwood			•	•	•		•	•	•
<i>Morus alba</i>	White Mulberry				•	•		•	•	
<i>Nyssa sylvatica</i>	Sour Gum			•	•	•		•	•	
<i>Olea europaea</i>	Olive	•	•	•	•	•		•	•	
<i>Olea europaea</i> Majestic Beauty TM	Majestic Beauty TM Olive	•	•		•	•		•	•	
<i>Olea europaea</i> 'Swan Hill'*	Swan Hill Olive	•	•		•	•		•	•	
<i>Olneya tesota</i>	Desert Ironwood			•	•	•	•	•	•	•
<i>Osmanthus fragrans</i>	Sweet Olive				•	•			•	

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<i>Ostrya virginiana</i>	American Hop-hornbeam			•	•	•				
<i>Parkinsonia aculeata</i> *	Mexican Palo Verde				•	•		•	•	
<i>Parkinsonia floridum</i> *	Blue Palo Verde				•	•		•	•	
<i>Parkinsonia x 'Desert Museum'</i> *	Mexican Palo Verde				•	•		•	•	
<i>Persea borbonia</i>	Redbay			•	•	•	•			•
<i>Persea thunbergii</i>	Persea			•	•	•	•			•
<i>Photinia serratifolia</i>	Chinese Photinia			•	•	•	•	•		
<i>Picea pungens</i>	Colorado Spruce				•	•			•	
<i>Picea pungens glauca</i>	Colorado Blue Spruce				•	•			•	
<i>Pinus brutia</i>	Calabrian Pine	•	•	•	•	•	•	•	•	•
<i>Pinus canariensis</i>	Canary Island Pine	•	•	•	•	•	•	•	•	•
<i>Pinus coulteri</i>	Coulter Pine	•	•	•	•	•	•	•	•	•
<i>Pinus densiflora</i>	Japanese Red Pine	•	•	•	•	•	•	•	•	•
<i>Pinus edulis</i>	Pinon Pine	•	•		•	•	•	•	•	•
<i>Pinus eldarica</i>	Afghan Pine	•	•	•	•	•	•	•	•	•
<i>Pinus flexilis</i>	Limber Pine	•	•	•	•	•	•	•	•	•
<i>Pinus halepensis</i>	Allepo Pine	•	•	•	•	•	•	•	•	•
<i>Pinus nigra</i>	Austrian Black Pine	•	•	•	•	•	•	•	•	•
<i>Pinus parviflora</i>	Japanese White Pine	•	•	•	•	•	•	•	•	•
<i>Pinus pinea</i>	Italian Stone Pine	•	•	•	•	•	•	•	•	•
<i>Pinus ponderosa</i>	Ponderosa Pine	•	•	•	•	•	•	•	•	•
<i>Pinus sabiniana</i> ***	Gray Pine	•	•		•	•	•	•	•	•
<i>Pinus strobus</i>	White Pine	•	•	•	•	•	•	•	•	•
<i>Pinus sylvestris</i>	Scotch Pine	•	•	•	•	•	•	•	•	•
<i>Pinus thunbergii</i>	Japanese Black Pine	•	•	•	•	•	•	•	•	•
<i>Pistacia chinensis</i>	Chinese Pistache	•	•	•	•	•	•	•	•	•
<i>Pistacia chinensis 'Keith Davies'</i>	Keith Davies Chinese Pistache	•	•	•	•	•			•	
<i>Pistacia chinensis 'Red Push'</i>	Red Push Chinese Pistache	•	•	•	•	•			•	
<i>Pittosporum tenuifolium</i>	Blackstem Pittosporum	•	•		•	•			•	•
<i>Platanus x acerifolia</i>	London Planetree	•	•		•	•	•	•	•	•

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<i>Platanus x acerifolia</i> 'Bloodgood'	Bloodgood Planetree	•	•		•	•	•	•	•	•
<i>Platanus x acerifolia</i> 'Columbia'	Columbia London Planetree	•	•	•	•	•	•	•	•	•
<i>Platanus x acerifolia</i> 'Yarwood'	Yarwood London Planetree	•	•		•	•	•	•	•	•
<i>Platanus occidentalis</i>	American Sycamore	•	•	•	•	•	•	•	•	•
<i>Platanus racemosa</i> ***	California Sycamore	•	•	•	•	•	•	•	•	•
<i>Podocarpus gracilior</i>	Fern Pine	•	•	•	•	•	•	•	•	•
<i>Podocarpus henkelii</i>	Long-leafed Yellowwood	•	•		•	•	•	•	•	•
<i>Podocarpus macrophyllus</i>	Yew Pine	•	•	•	•	•	•	•	•	•
<i>Podocarpus macrophyllus</i> 'Maki'	Shrubby Yew Pine	•	•		•	•	•	•	•	•
<i>Populus canadensis</i>	Carolina Poplar	•	•		•	•	•	•	•	•
<i>Populus fremontii</i> ***	Fremont or Western Cottonwood	•	•		•	•	•	•	•	•
<i>Populus nigra</i> 'Italica'	Lombardy Poplar	•	•		•	•	•	•	•	•
<i>Prosopis glandulosa</i> 'Maverick'	Maverick Texas Honey Mesquite			•	•	•		•	•	•
<i>Prosopis hybrid</i> 'Phoenix'	Phoenix Thornless Mesquite			•	•	•		•	•	•
<i>Prunus spp.</i>	Flowering Cherry	•	•		•	•			•	
<i>Prunus caroliniana</i>	Carolina Laurel Cherry	•	•	•	•	•			•	
<i>Prunus cerasifera var.</i>	Cherry Plum	•	•		•	•			•	
<i>Prunus cerasifera</i> 'Krauter Vesuvius'	Purple Leaf Plum	•	•	•	•	•			•	
<i>Prunus dulcis</i>	Almond	•	•		•	•				
<i>Pseudotsuga menziesii</i>	Douglas Fir			•	•	•		•		•
<i>Pterostyrax hispida</i>	Epaulette Tree			•	•	•			•	
<i>Punica granatum</i>	Pomegranate				•	•			•	
<i>Pyrus calleryana</i> 'Capital'	Capital Pear		•	•	•	•	•		•	
<i>Pyrus calleryana</i> 'Chanticleer'	Chanticleer Pear		•	•	•	•	•		•	
<i>Pyrus calleryana</i> 'Redspire'	Redspire Pear		•	•	•	•	•		•	
<i>Pyrus fauriei</i> 'Korean Sun'	Fauer Pear		•	•	•	•	•		•	
<i>Pyrus kawakamii</i>	Evergreen Pear		•	•	•	•	•		•	
<i>Quercus acutissima</i>	Sawtooth Oak	•	•	•	•	•	•	•	•	•
<i>Quercus agrifolia</i>	Coast Live Oak	•	•	•	•	•	•	•	•	•
<i>Quercus bicolor</i>	Swamp White Oak	•	•	•	•	•	•	•	•	•

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<i>Quercus castaneifolia</i>	Chestnut-leaved Oak	•	•	•	•	•	•	•	•	•
<i>Quercus cerris</i>	Turkey Oak	•	•	•	•	•	•	•	•	•
<i>Quercus chrysolepis</i>	Golden Cup Oak	•	•	•	•	•	•	•	•	•
<i>Quercus coccinea</i>	Scarlet Oak	•	•	•	•	•	•	•	•	•
<i>Quercus douglasii</i> ***	Blue Oak	•	•	•	•	•	•	•	•	•
<i>Quercus garryana</i>	Oregon White Oak	•	•	•	•	•	•	•	•	•
<i>Quercus ilex</i>	Holly Oak	•	•	•	•	•	•	•	•	•
<i>Quercus lobata</i>	Valley Oak	•	•	•	•	•	•	•	•	•
<i>Quercus macrocarpa</i>	Burr Oak	•	•	•	•	•	•	•	•	•
<i>Quercus x morehus</i>	Oracle Oak	•	•	•	•	•	•	•	•	•
<i>Quercus muehlenbergii</i>	Chinquapin Oak	•	•	•	•	•	•	•	•	•
<i>Quercus nuttallii</i>	Nuttall Oak	•	•	•	•	•	•	•	•	•
<i>Quercus palustris</i>	Pin Oak	•	•	•	•	•	•	•	•	•
<i>Quercus phellos</i>	Willow Oak	•	•	•	•	•	•	•	•	•
<i>Quercus rubra</i>	Red Oak	•	•	•	•	•	•	•	•	•
<i>Quercus shumardii</i>	Shumard Oak	•	•	•	•	•	•	•	•	•
<i>Quercus suber</i>	Cork Oak	•	•	•	•	•	•	•	•	•
<i>Quercus virginiana</i>	Southern Live Oak	•	•	•	•	•	•	•	•	•
<i>Quercus wislizeii</i>	Interior Live Oak	•	•	•	•	•	•	•	•	•
<i>Rhus lancea</i>	African Sumac	•	•	•	•	•	•	•	•	•
<i>Robinia X ambigua 'Idahoensis'</i>	Idaho Locust	•	•	•	•	•	•	•	•	•
<i>Robinia X ambigua 'Purple Robe'</i>	Purple Robe Locust	•	•	•	•	•	•	•	•	•
<i>Salix babylonica</i>	Weeping Willow				•	•		•		•
<i>Salix gooddingii</i> ***	Black Willow				•	•		•		•
<i>Salix laevigata</i> ***	Red Willow				•	•		•		•
<i>Salix lasiolepis</i> ***	Arroyo Willow				•	•		•		•
<i>Sapium sebiferum</i>	Chinese Tallow Tree				•	•				
<i>Sciadopitys verticillata</i>	Umbrella Pine				•	•				
<i>Sophora spp.</i>	Pagoda Tree				•	•				
<i>Sophora japonica</i>	Japanese Pagoda Tree			•	•	•				

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<i>Sophora scundiflora</i>	Mescal Bean Tree			•	•	•				
<i>Sophora scundiflora</i> 'Silver Sierra'	Silver Sierra, Texas Mountain Laurel			•	•	•				
<i>Styrax japonicus</i>	Japanese Snowbell			•	•	•				
<i>Styrax obassia</i>	Fragrant Snowbell			•	•	•				
<i>Syringa reticulata</i>	Japanese Tree Lilac			•	•	•				
<i>Taxodium distichum</i>	Bald Cypress			•	•	•				•
<i>Taxodium mucronatum</i>	Montezuma Cypress			•	•	•				•
<i>Taxus baccata</i>	English Yew	•		•	•	•			•	•
<i>Thuja occidentalis</i>	American Arborvitae	•	•	•	•	•	•		•	•
<i>Thuja plicata</i>	Western Red Cedar	•	•	•	•	•	•		•	•
<i>Tilia americana</i>	American Linden, Basswood			•	•	•	•		•	
<i>Tilia cordata</i>	Little-leaf Linden			•	•	•	•		•	
<i>Tilia tomentosa</i>	Silver Linden			•	•	•	•		•	
<i>Toona sinensis</i>	Toona			•	•	•				
<i>Ulmus americana</i> 'Princeton'	American Elm (DED resistant)	•	•	•	•	•	•	•	•	•
<i>Ulmus glabra</i> 'Camperdownii'	Camperdown Elm	•	•		•	•	•	•	•	•
<i>Ulmus parvifolia</i> var.	Chinese or Evergreen Elm	•	•		•	•	•	•	•	•
<i>Ulmus parvifolia</i> 'Allee'	Chinese Lacebark Elm	•	•	•	•	•	•	•	•	•
<i>Ulmus wilsonii</i> 'Prospector'	Prospector Elm	•	•	•	•	•	•	•	•	•
<i>Ulmus x</i> 'Frontier'	Frontier Elm	•	•	•	•	•	•	•	•	•
<i>Umbellularia californica</i> ***	California Bay	•	•		•	•	•	•	•	•
<i>Vitex agnus-castus</i>	Chaste Tree			•	•	•				
<i>Vitex agnus-castus</i> 'Montrose Purple'	Montrose Purple Chaste Tree			•	•	•				
<i>Yucca</i> spp.	Yucca	•	•		•	•			•	
<i>Zelkova serrata</i>	Sawleaf Zelkova	•	•	•	•	•			•	•
<i>Zelkova serrata</i> 'Village Green'	Village Green Zelkova	•	•		•	•			•	•
<i>Ziziphus jujube</i>	Jujube, Chinese Date				•	•			•	

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Botanical Name	Common Name	Project Entries	Signature Corridors	Folsom Street Tree	Single Family Detached	Multi-Family	Parks/Schools	Open Space	Commercial/Mixed Used	Drainage Basin
PALMS										
<i>Butia capitata</i>	Pindo Palm	•	•		•	•	•	•	•	
<i>Chamaerops humilis</i>	Mediterranean Fan Palm	•	•		•	•	•	•	•	
<i>Cycas revoluta</i>	Sago Palm	•	•		•	•	•	•	•	
<i>Phoenix canariensis</i>	Canary Island Date Palm	•	•		•	•	•	•	•	
<i>Phoenix dactylifera*</i>	Edible Date Palm	•	•		•	•	•	•	•	
<i>Phoenix reclinata</i>	Senegal Date Palm	•	•		•	•	•	•	•	
<i>Syagrus romanzoffianum</i>	Queen Palm	•	•		•	•	•	•	•	
<i>Trachycarpus fortunei</i>	Windmill Palm	•	•		•	•	•	•	•	
<i>Washingtonia filifera</i>	California Fan Palm	•	•		•	•	•	•	•	
<i>Washingtonia robusta</i>	Mexican Fan Palm	•	•		•	•	•	•	•	
SHRUBS										
<i>Abelia X grandiflora</i>	Glossy Abelia	•	•		•	•	•	•	•	
<i>Acacia spp.**</i>	Acacia	•	•		•	•	•	•	•	•
<i>Acanthus mollis</i>	Bear's Breech	•	•		•	•	•	•	•	
<i>Achillea millefolium***</i>	Yarrow				•	•	•	•	•	•
<i>Acer spp.</i>	Maple				•	•	•	•	•	
<i>Agapanthus spp.</i>	Lily of the Nile	•	•		•	•	•		•	
<i>Arbutus unedo 'Compacta'</i>	Dwarf Strawberry Tree	•	•		•	•	•	•	•	•
<i>Arctostaphylos spp.**</i>	Manzanita	•	•		•	•	•	•	•	•
<i>Armeria maritima</i>	Sea Pink	•	•		•	•	•		•	
<i>Artemisia spp.</i>	Artemisia				•	•	•	•	•	
<i>Asclepia curvassavica</i>	Blood Flower Milkweed				•	•	•	•		•
<i>Aucuba japonica</i>	Japanese Aucuba	•	•		•	•			•	
<i>Aucuba japonica 'Crotonifolia'</i>	Croton Leaf Aucuba	•	•		•	•	•		•	
<i>Aucuba japonica 'Variegata'</i>	Gold Dust Plant	•	•		•	•	•		•	
<i>Azalea spp.</i>	Azalea	•	•		•	•	•	•	•	
<i>Baccharis 'Centennial'*</i>	Centennial Coyote Brush	•	•		•	•	•	•	•	•
<i>Baccharis pilularis var.</i>	Coyote Bush	•	•		•	•		•	•	•
<i>Bambusa multiplex 'Alphonse Karr'</i>	Alphonse Karr Bamboo				•	•			•	

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<i>Bambusa oldhamii</i>	Clumping Giant Timber Bamboo				•	•			•	
<i>Berberis spp.</i>	Barberry				•	•		•	•	
<i>Berberis thunbergii var.</i>	Japanese Barberry				•	•		•	•	
<i>Buddleja davidii var.</i>	Butterfly Bush				•	•	•		•	•
<i>Buxus spp.</i>	Boxwood	•	•		•	•	•	•	•	
<i>Caesalpinia gilliesii*</i>	Yellow Bird of Paradise	•	•		•	•	•		•	•
<i>Calycanthus occidentalis***</i>	Spicebush				•	•			•	
<i>Camellia spp.</i>	Camellia	•	•		•	•	•	•	•	
<i>Cassia artemisioides</i>	Feathery Cassia				•	•	•	•	•	•
<i>Ceanothus spp.**</i>	Lilac				•	•	•	•	•	•
<i>Cephalanthus occidentalis***</i>	Button Bush				•	•			•	
<i>Cistus spp.**</i>	Rockrose				•	•	•	•	•	•
<i>Coleonema spp.</i>	Breath Of Heaven	•	•		•	•	•		•	
<i>Convolvulus cneorum</i>	Bush Morning Glory	•	•		•	•	•		•	•
<i>Cordyline australis var.</i>	Australian Dracaena	•	•		•	•	•		•	
<i>Cornus sericea***</i>	Red Twig Dogwood				•	•	•	•	•	
<i>Cotoneaster spp.</i>	Cotoneaster				•	•	•	•	•	•
<i>Dicksonia antarctica</i>	Tasmanian Tree Fern	•	•		•	•	•	•	•	
<i>Dietes vegeta</i>	Fortnight Lily	•	•		•	•	•	•	•	
<i>Dodonaea viscosa</i>	Hopseed Bush	•	•		•	•		•	•	•
<i>Dodonaea viscosa 'Purpurea'</i>	Purple-leafed Hopseed Bush	•	•		•	•		•	•	•
<i>Eleagnus pungens var.</i>	Silverberry				•	•	•	•	•	•
<i>Encelia spp.</i>	Brittlebush				•	•		•		•
<i>Erigeron karvinskianus</i>	Santa Barbara Daisy				•	•	•	•	•	
<i>Eriogonum spp.</i>	Buckwheat				•	•	•	•		•
<i>Euonymus spp.</i>	Euonymus	•	•		•	•	•	•	•	
<i>Fatsyhedera lizei</i>	Botanical Wonder	•	•		•	•	•		•	
<i>Fatsia japonica</i>	Japanese Aralia	•	•		•	•	•		•	
<i>Fremontodendron spp.*</i>	Flannel Bush				•	•	•	•	•	•
<i>Gardenia spp.</i>	Gardenia	•	•		•	•	•		•	

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<i>Grevillea spp.</i>	Grevillea	•	•		•	•	•		•	
<i>Grewia occidentalis</i>	Lavender Starflower	•	•		•	•	•	•	•	
<i>Hemerocallis spp.**</i>	Daylily	•	•		•	•	•	•	•	
<i>Heteromeles arbutifolia*,***</i>	Toyon	•	•		•	•	•	•	•	•
<i>Hibiscus spp.</i>	Hibiscus	•	•		•	•	•	•	•	
<i>Hydrangea spp.</i>	Hydrangea	•	•		•	•	•	•	•	
<i>Hypericum spp.</i>	St. Johnswort, Goldflower	•	•		•	•	•	•	•	
<i>Ilex spp.</i>	Holly				•	•		•	•	
<i>Juniperus spp.**</i>	Juniper	•	•		•	•	•	•	•	•
<i>Kniphofia uvaria</i>	Red Hot Poker	•	•		•	•	•	•	•	•
<i>Lantana spp.**</i>	Lantana	•	•		•	•	•	•	•	•
<i>Lavandula spp.**</i>	Lavender	•	•		•	•	•	•	•	
<i>Leucophyllum spp.</i>	Texas Ranger				•	•	•	•	•	•
<i>Ligustrum japonicum</i>	Japanese Privet	•	•		•	•	•	•	•	
<i>Ligustrum japonicum 'Texanum'</i>	Wax Leaf Privet	•	•		•	•	•	•	•	
<i>Ligustrum lucidum</i>	Glossy Privet, White Wax Tree	•	•		•	•	•	•	•	
<i>Liriope muscari</i>	Big Blue Lily Turf	•	•		•	•	•		•	
<i>Lobelia laxiflora</i>	Red Mexican Lobelia				•	•	•	•	•	•
<i>Mahonia spp.</i>	Oregon Grape				•	•			•	
<i>Mimulus aurantiacus*,***</i>	Sticky Monkey Flower				•	•	•	•	•	•
<i>Mimulus bifidus</i>	Santa Lucia Monkey Flower				•	•	•	•	•	•
<i>Mimulus puniceus</i>	Red Monkey Flower				•	•	•	•	•	•
<i>Myoporum laetum</i>	Myoporum	•	•		•	•	•	•	•	•
<i>Myrtus spp.</i>	Myrtle	•	•		•	•	•	•	•	
<i>Nandina domestica var.</i>	Nandina, Heavenly Bamboo	•	•		•	•	•		•	
<i>Neprolepis cordifolia</i>	Sword Fern	•	•		•	•	•		•	
<i>Nolina bigelovii</i>	Nolina	•	•		•	•		•		•
<i>Osmanthus fragrans</i>	Sweet Olive	•	•		•	•	•	•	•	
<i>Osteospermum spp.</i>	Freeway Daisy	•	•		•	•	•	•	•	
<i>Pelargonium X hortorum</i>	Garden Geranium	•	•		•	•	•	•	•	

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<i>Penstemon spp.</i>	Penstemon				•	•	•	•	•	
<i>Phormium spp.**</i>	Flax	•	•		•	•	•	•	•	•
<i>Photinia x fraseri</i>	Fraser's Photinia	•	•		•	•	•	•	•	•
<i>Phyllostachys aurea</i>	Golden Bamboo				•	•	•		•	
<i>Phyllostachys bambusoides</i>	Giant Timber Bamboo				•	•	•		•	
<i>Pittosporum spp.</i>	Pittosporum	•	•		•	•	•	•	•	
<i>Portulacaria afra</i>	Elephant's Food	•	•		•	•	•	•	•	•
<i>Prunus caroliniana 'Compacta'</i>	Dwarf Carolina Laurel Cherry				•	•	•	•	•	•
<i>Pyracantha spp.</i>	Pyracantha				•	•		•	•	
<i>Rhamnus californica var.*</i>	California Coffeeberry				•	•	•	•	•	•
<i>Rhamphiolepis spp.</i>	Indian Hawthorn	•	•		•	•	•	•	•	
<i>Rhus ovata</i>	Sugar Bush	•	•		•	•	•			•
<i>Ribes malvaceum***</i>	Chaparral Currant				•	•	•			•
<i>Ribes spp.</i>	Currant				•	•	•			•
<i>Romneya coulteri*</i>	Matilija Poppy				•	•	•	•		•
<i>Romneya 'White Cloud'</i>	White Cloud Matilija Poppy				•	•	•	•		•
<i>Rosa spp.</i>	Rose	•	•		•	•				
<i>Rosa californica***</i>	Wild Rose				•	•		•		•
<i>Rosmarinus spp.**</i>	Rosemary	•	•		•	•	•	•		•
<i>Salvia spp.**</i>	Sage	•	•		•	•	•	•		•
<i>Sambucus mexicana ***</i>	Mexican Elderberry				•	•		•	•	•
<i>Santolina chamaecyparissus</i>	Lavender Cotton				•	•	•		•	
<i>Stachys byzantina</i>	Lamb's Ears	•	•		•	•	•		•	
<i>Styrax officinalis var. redivivus***</i>	Snowdrop Bush				•	•	•		•	
<i>Symphoricarpos spp.</i>	Snowberry				•	•	•		•	
<i>Thymus spp.**</i>	Thyme	•	•		•	•	•		•	
<i>Trachelospermum asiaticum</i>	Yellow Star Jasmine	•	•		•	•	•		•	
<i>Trachelospermum jasminoides</i>	Star Jasmine	•	•		•	•	•		•	
<i>Verbena spp.**</i>	Verbena	•	•		•	•	•	•	•	
<i>Viburnum spp.</i>	Viburnum	•	•		•	•	•	•	•	•

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<i>Westringia</i> spp.	Coast Rosemary	•	•		•	•	•	•	•	•
<i>Xylosma congestum</i>	Xylosma, Glossy Xylosma	•	•		•	•	•	•	•	•
<i>Yucca</i> spp.**	Yucca	•	•		•	•	•	•	•	•
SUCCULENTS										
<i>Agave</i> spp.**	Agave	•	•		•	•	•	•	•	•
<i>Aloe</i> spp.**	Aloe	•	•		•	•	•	•	•	•
<i>Bulbine frutescens</i>	Yellow Stalked Bulbine	•	•		•	•	•	•	•	•
<i>Bulbine frutescens</i> 'Hallmark'	Orange Hallmark Bulbine	•	•		•	•	•	•	•	•
<i>Bulbine frutescens</i> 'Yellow'	Yellow Bulbine	•	•		•	•	•	•	•	•
<i>Echeveria</i> spp.	Hen and Chicks	•	•		•	•	•	•	•	•
<i>Euphorbia rigida</i>	Blue Euphorbia	•	•		•	•	•	•	•	•
<i>Euphorbia</i> spp.	Euphorbia	•	•		•	•	•	•	•	•
<i>Ferocactus wislizenii</i>	Fish Hook Barrel Cactus	•	•		•	•		•	•	•
<i>Hesperaloe parviflora</i>	Red Yucca	•	•		•	•		•	•	•
<i>Opuntia</i> spp.	Prickly Pear	•	•		•	•		•	•	•
<i>Portulacaria afra</i> *	Elephant's Food, Elephant Bush	•	•		•	•	•	•	•	•
<i>Sedum</i> spp.	Sedum	•	•		•	•	•	•	•	•
<i>Yucca</i> spp.	Yucca	•	•		•	•	•	•	•	•
GROUNDCOVER										
<i>Achillea</i> spp.**	Yarrow				•	•	•	•	•	•
<i>Ajuga reptans</i> var.	Carpet Bugle	•	•		•	•	•		•	
<i>Arctostaphylos</i> spp.	Manzanita	•	•		•	•	•	•	•	•
<i>Baccharis pilularis</i> ***	Coyote Brush	•	•		•	•	•	•	•	•
<i>Bergenia cordifolia</i>	Heartleaf Bergenia	•	•		•	•	•		•	
<i>Campanula poscharskyana</i>	Serbian Bellflower	•	•		•	•	•		•	
<i>Ceanothus griseus</i> var.	Carmel Creeper	•	•		•	•	•	•	•	
<i>Centranthus ruber</i>	Jupiter's Beard	•	•		•	•	•	•	•	•
<i>Cerastium tomentosum</i>	Snow-in-Summer	•	•		•	•	•	•	•	
<i>Cyclamen persicum</i>	Cyclamen	•	•		•	•			•	
<i>Dianthus</i> spp.	Carnation	•	•		•	•	•		•	

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<i>Dichondra micrantha</i>	Dichondra	•	•		•	•	•		•	
<i>Festuca californica</i> 'Serpentine Blue'	California Fescue selection	•	•		•	•	•	•	•	•
<i>Festuca glauca</i>	Blue Fescue	•	•		•	•	•	•	•	•
<i>Fragaria chiloensis</i>	Ornamental Strawberry	•	•		•	•	•		•	
<i>Fragaria</i> 'Pink Panda'	Pink Panda Ornamental Strawberry	•	•		•	•	•		•	
<i>Gazania hybrids</i>	Hybrid Gazania	•	•		•	•	•	•	•	•
<i>Gazania spp.</i>	Gazania	•	•		•	•	•	•	•	•
<i>Geranium spp.</i>	Cranesbill	•	•		•	•	•		•	
<i>Hedera canarensis</i>	Algerian Ivy	•	•		•	•			•	
<i>Hedera helix</i>	English Ivy	•	•		•	•			•	
<i>Heuchera spp.**</i>	Coral Bells	•	•		•	•		•	•	•
<i>Hypericum spp.</i>	St. John's Wort	•	•		•	•			•	
<i>Iberis sempervirens</i>	Evergreen Candytuft	•	•		•	•			•	
<i>Impatiens wallerana</i>	Impatiens	•	•		•	•	•		•	
<i>Juniperus spp.</i>	Juniper	•	•		•	•	•	•	•	
<i>Lantana spp.</i>	Lantana	•	•		•	•	•	•	•	•
<i>Lobelia erinus</i>	Lobelia	•	•		•	•	•	•	•	•
<i>Lonicera japonica</i> 'Halliana'	Hall's Honeysuckle	•	•		•	•	•		•	
<i>Myoporum parvifolium</i>	Ground Cover Myoporum	•	•		•	•	•	•	•	•
<i>Myoporum parvifolium</i> 'Putah Creek'	Putah Creek Myoporum	•	•		•	•	•	•	•	•
<i>Nandina domestica</i> 'Harbour Dwarf'	Dwarf Heavenly Bamboo	•	•		•	•	•		•	
<i>Ophiopogon spp.</i>	Mondo Grass	•	•		•	•	•		•	
<i>Osteospermum fruticosum</i> var.	Trailing African Daisy	•	•		•	•	•		•	
<i>Rosa</i> Ground Cover varieties	Ground Cover Rose	•	•		•	•	•		•	
<i>Santolina chamaecyparissus</i>	Lavender Cotton	•	•		•	•	•		•	•
<i>Scaevola</i> 'Mauve Clusters'	Fan Flower	•	•		•	•	•		•	
<i>Sedum morganianum</i>	Donkey Tail	•	•		•	•	•		•	
<i>Sedum rubrotinctum</i>	Pork and Beans	•	•		•	•	•		•	
<i>Soleirolia soleirolli</i>	Baby's Tears	•	•		•	•	•		•	
<i>Thymus praecox arcticus</i>	Creeping Thyme	•	•		•	•	•		•	

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<i>Thymus praecox</i> 'Purple Carpet'	Purple Carpet Creeping Thyme	•	•		•	•	•		•	
<i>Trachelospermum asiaticum</i>	Yellow Star Jasmine	•	•		•	•	•		•	
<i>Vinca minor</i> *	Dwarf Periwinkle	•	•		•	•	•		•	•
<i>Vinca minor</i> 'Sterling Silver'	Sterling Silver Periwinkle	•	•		•	•	•		•	•
<i>Zauschneria californica</i>	California Fuchsia	•	•		•	•	•	•	•	•
<i>Zinnia angustifolia</i>	Zinnia	•	•		•	•	•		•	
<i>Zoysia tenuifolia</i> *	Korean Grass	•	•		•	•	•		•	
VINES										
<i>Clematis armandii</i>	Evergreen Clematis	•	•		•	•	•	•	•	•
<i>Distictus buccinatoria</i>	Scarlet Trumpet Vine	•	•		•	•	•	•	•	•
<i>Ficus pumila</i>	Creeping Fig	•	•		•	•	•	•	•	•
<i>Gelsemium sempervirens</i>	Carolina Jessamine	•	•		•	•	•	•	•	•
<i>Hardenbergia violacea</i>	Lilac Vine	•	•		•	•	•	•	•	•
<i>Hardenbergia violacea</i> 'Rosea'	Pink Lilac Vine	•	•		•	•	•	•	•	•
<i>Hedera spp.</i>	Ivy	•	•		•	•	•	•	•	•
<i>Jasminum polyanthum</i>	Pink Jasmine	•	•		•	•	•	•	•	•
<i>Lonicera hildebrandeana</i>	Giant Burmese Honeysuckle	•	•		•	•	•	•	•	
<i>Lonicera japonica</i>	Japanese Honeysuckle	•	•		•	•	•	•	•	
<i>Macfadyena unguis-cati</i>	Cat's Claw Vine	•	•		•	•	•	•	•	
<i>Parthenocissus</i> 'Hacienda Creeper'	Hacienda Creeper	•	•		•	•	•	•	•	
<i>Parthenocissus quinquefolia</i>	Virginia Creeper	•	•		•	•	•	•	•	
<i>Parthenocissus tricuspidata</i>	Boston Ivy	•	•		•	•	•		•	
<i>Parthenocissus tricuspidata</i> 'Veitchi'	Boston Ivy	•	•		•	•	•		•	
<i>Rosa</i> 'Cecile Brunner'	Cecile Brunner Rose (polyantha)	•	•		•	•			•	
<i>Rosa banksiae</i> 'Alba Plena'	Dbl. White Lady Banks' Rose	•	•		•	•			•	
<i>Rosa banksiae</i> 'Lutea'	Yellow Lady Banks' Rose	•	•		•	•			•	
<i>Rosa spp.</i>	Climbing Rose	•	•		•	•			•	
<i>Solanum jasminoides</i>	Potato Vine	•	•		•	•	•		•	
<i>Thunbergia alata</i>	Black-eyed Susan Vine	•	•		•	•	•		•	
<i>Trachelospermum jasminoides</i>	Star Jasmine	•	•		•	•	•		•	

*Indicates drought-tolerant species

**Indicates that designer must select a low water or drought-tolerant variety only

***River-Friendly Landscaping List – Sacramento, CA



SECTION 3 - LANDSCAPE DESIGN GUIDELINES



Botanical Name	Common Name	Project Entries	Signature Corridors	Folsom Street Tree	Single Family Detached	Multi-Family	Parks/Schools	Open Space	Commercial/Wilded Used	Drainage Basin
<i>Vitis californica</i>	California Wild Grape	•	•		•	•	•	•	•	•
<i>Vitis californica</i> 'Roger's Red'	Roger's Red California Grape	•	•		•	•	•	•	•	•
<i>Wisteria</i> spp.	Wisteria	•	•		•	•	•		•	
GRASSES/WILDFLOWER										
<i>Bouteloua curtipendula</i> *	Sideoats Grama Grass	•	•		•	•	•	•	•	•
<i>Bouteloua gracilis</i> *	Blue Grama Grass	•	•		•	•	•	•	•	•
<i>Carex barbarae</i> ***	Santa Barbara Sedge	•	•		•	•	•	•	•	•
<i>Carex elata</i> *	Golden Variegated Sedge	•	•		•	•	•	•	•	•
<i>Carex</i> spp.	Sedge	•	•		•	•	•	•	•	•
<i>Chlorogalum pomeridianum</i> ***	Soap Root	•	•		•	•	•	•	•	•
<i>Collinsia heterophylla</i> ***	Chinese Houses	•	•		•	•			•	•
<i>Dichelostemma capitatum</i> ***	Bluedicks	•	•		•	•		•	•	•
<i>Elymus glaucus</i> ***	Blue Wildrye	•	•		•	•	•	•	•	•
<i>Epilobium canum</i> ***	California Fuchsia	•	•		•	•	•	•	•	•
<i>Eschscholzia californica</i> ***	California Poppy	•	•		•	•	•	•	•	•
<i>Festuca californica</i> ***	California Fescue	•	•		•	•	•	•	•	•
<i>Festuca glauca</i>	Blue Fescue	•	•		•	•	•	•	•	•
<i>Festuca mairei</i>	Atlas Fescue	•	•		•	•	•	•	•	•
<i>Festuca rubra</i>	Red Fescue	•	•		•	•	•	•	•	•
<i>Gilia tricolor</i> ***	Bird's Eyes	•	•		•	•		•	•	•
<i>Helictotrichon sempervirens</i>	Blue Oat Grass	•	•		•	•	•		•	
<i>Juncus acutus</i>	Spiny Rush	•	•		•	•	•	•	•	•
<i>Juncus balticus</i>	Rush	•	•		•	•	•	•	•	•
<i>Juncus effuses</i> ***	Common Rush	•	•		•	•	•	•	•	•
<i>Juncus effusus pacificus</i> 'Quartz Creek'	Quartz Creek Soft Rush	•	•		•	•	•	•	•	•
<i>Lasthenia californica</i> ***	Goldfields	•	•		•	•		•	•	•
<i>Layia fremontii</i> ***	Tidy Tips	•	•		•	•		•	•	•
<i>Leymus condensatus</i> *	Wild Rye	•	•		•	•		•	•	•
<i>Leymus condensatus</i> 'Canyon Prince'*	Canyon Prince Wild Rye	•	•		•	•		•	•	•
<i>Leymus triticoides</i> ***	Creeping Wild Rye	•	•		•	•		•	•	•

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Botanical Name	Common Name	Project Entries	Signature Corridors	Folsom Street Tree	Single Family Detached	Multi-Family	Parks/Schools	Open Space	Commercial/Mixed Used	Drainage Basin
<i>Lupinus microcarpus</i> ***	White-Whorled Lupine	•	•		•	•		•	•	•
<i>Lupinus microcarpus</i> var. <i>densiflorus</i> ***	Golden Lupine	•	•		•	•		•	•	•
<i>Lupinus nanus</i> ***	Sky Lupine	•	•		•	•		•	•	•
<i>Miscanthus</i> spp.	Miscanthus	•	•		•	•	•	•	•	•
<i>Muhlenbergia</i> spp.	Muhlenbergia	•	•		•	•	•	•	•	•
<i>Muhlenbergia rigens</i> ***	Deergrass	•	•		•	•	•	•	•	•
<i>Nassella lepida</i> ***	Foothill Needlegrass	•	•		•	•	•	•	•	•
<i>Nassella pulchra</i> ***	Purple Needlegrass	•	•		•	•	•	•	•	•
<i>Nassella tenuissima</i>	Mexican Feather Grass	•	•		•	•			•	
<i>Nolina bigelovii</i>	Desert Bigelov Nolina	•	•		•	•		•	•	•
<i>Ophiopogon jabburan vittata</i>	Snakebeard	•	•		•	•			•	
<i>Ophiopogon japonicus</i>	Mondo Grass	•	•		•	•	•		•	
<i>Pennisetum</i> spp.	Fountain Grass	•	•		•	•			•	
<i>Penstemon heterophyllus</i> ***	Foothill Penstemon	•	•		•	•	•	•	•	•
<i>Phalaris arundinacea</i> 'Picta'	Variiegated Ribbon Grass	•	•		•	•	•		•	
<i>Phalaris arundinacea</i> 'Rosea'	Ribbon Grass	•	•		•	•	•		•	
<i>Scirpus tabernaemontani</i>	Soft-stem Bulrush	•	•		•	•	•	•	•	•
<i>Sisyrinchium bellum</i> ***	Blue-Eyed Grass	•	•		•	•	•	•	•	•
<i>Solidago californica</i> ***	California Goldenrod	•	•		•	•		•	•	•
<i>Sporobolus airoides</i> ***	Alkali Sacaton	•	•		•	•		•	•	•
<i>Sporobolus wrightii</i>	Giant Dropseed	•	•		•	•		•	•	•
<i>Stipa pulchra</i>	Needle Grass	•	•		•	•	•		•	
<i>Triteleia laxa</i> ***	Ithuriel's Spear	•	•		•	•				
<i>Zoysia</i> 'De Anza'*	Turf Zoysia De Anza	•	•		•	•	•		•	

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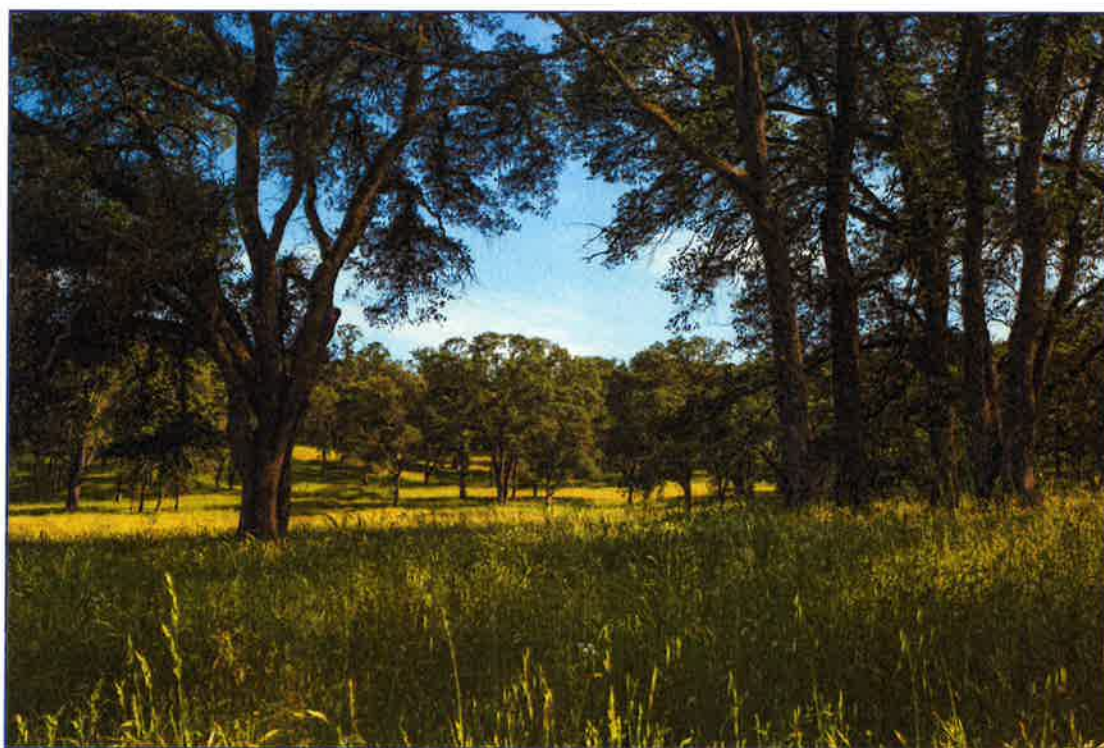






4

DESIGN PROCESS





INTRODUCTION

The Folsom Ranch, Central District Design Guidelines have been created to provide property owners, architects, home builders, and contractors with a set of parameters for the preparation of their drawings and specifications. Adherence to these Guidelines will assure builders that a consistent level of quality will be maintained. The Folsom Ranch, Central District Architectural Review Committee (or the “Committee”) and the City will review all designs, plans, and construction to ensure:

- Primary site design issues have been adequately considered,
- Excellence in architectural design,
- The unique landscape potential of the homesite is addressed,
- Compatibility and integration with surrounding land uses.

Architectural Review Committee

The Folsom Ranch, Central District is designed to be a unique community of homes for all income levels. The future community’s Covenants, Conditions, and Restrictions (CC&R’s) may not list specific design items necessary for plan approval. Rather, the authority to approve or disapprove individual building and landscaping plans is given to the Folsom Ranch, Central District Architectural Review Committee. The Committee does not seek to restrict individual creativity or preferences, but rather maintain within the overall community the aesthetic relationship between homes, natural amenities, and surrounding neighbors. As the community matures, these key relationships will become increasingly important, requiring coordination through the design process.

The Committee is composed of three members or more, as decided upon by the Project Master Developer, who are intricately involved in the development of the community. Additionally, an architect or other design professional, who is a non-owner, may serve on or act as a consultant to the Committee.

The Committee will use the Design Guidelines for the purpose of review, but may individually consider the merits of any design due to special conditions that, in the opinion of the Committee, provide benefits to the adjacent areas, the specific site, or to the community as a whole. Alternate materials/architectural styles that are deemed equivalent may be permitted, subject to Planning Commission approval.

Deviations to these standards may be considered for projects with special and unique design characteristics during the Folsom Ranch Design Review Committee process and the City’s development review process. This document is intended to encourage and direct a high level of design quality to the project site while permitting flexibility for creative expression and innovative design solutions.

Deviations can be classified as Minor Deviations and Major Deviations. Examples of Minor Deviations include, but are not limited to, setback or lot coverage changes, architectural styles, and architectural material substitutions. Examples of Major Deviations include, but are not limited to, land use changes or other changes not in substantial conformance with the approved final map. This document grants the Community Development Director the authority to determine whether a deviation should be considered Minor or Major. Review and approval of Minor Deviations shall be conducted by the Community Development Director, whereas Major Deviations shall be reviewed and approved by the Planning Commission.



Amendments to the Design Guidelines shall be reviewed and approved by planning staff or the Community Development Director.

The plans must identify the changes and/or modifications at the time of submittal plans to the ARC. With the ARC's approval, the plans can then be submitted to the City for approval. Since all approvals by the City are subject to Design Approval by the Planning Commission (Planning Commission actions are appealable to the City Council), such approval shall ratify the Design Guidelines changes or modifications for the particular project seeking the changes or modifications. If changes to the Design Guidelines are proposed, then the changes shall be approved by the ARC first then the City of Folsom, in a manner subject to the City's approval.

Architectural Review Committee approval is required for all development projects located in Folsom Ranch. For those projects that require discretionary approvals from the City of Folsom, such as tentative subdivision map, Planned Development Permit, Use Permit or other approvals granted by the Planning Commission and/or City Council, ARC approval is required **prior** to the submittal of the application to the City.

Prior to the commencement of any site work or construction activity, the builders or their respective agent must submit to the Committee an APPLICATION FOR APPROVAL of such work. Approval by the Committee must be received prior to the start of any clearing, grading, construction, or landscaping. The authority to approve or disapprove building and landscape plans is provided by the future CC&Rs for Folsom Ranch, Central District. Deviations from the Design Guidelines may be permitted on a case-by-case basis, subject to the Planning Commission approval under the design review approval process.



Procedural Flow Chart

The outline that follows represents the steps necessary to complete a residence in Folsom Ranch, Central District. It is important to note that any deviation from these procedures could cause unnecessary delays or additional costs.

1. Pre-Design Submittal Meeting

Pre-Submittal Meeting: Design Concept.
Highly recommended, but not required.

2. Conceptual Design Review

- Two sets of Preliminary Plans showing:
- Floor Plans
- Elevations
- Site Plans
- Fencing Plans
- Application Form
- Review and Processing Fee / Deposit- Per Builder/Master Developer requirements



3. Final Design Review Approval
 - Two sets of:
 - Site Plan
 - Landscape Plan
 - Irrigation Plan
 - Fencing Plan
 - Floor Plans
 - Roof Plan
 - Building Elevations
 - Specifications and Schedule
 - Color and Material Selections
4. Construction Guidelines and Standards
 - Construction Schedule
 - Building Permit
 - Final Inspection
5. Submit to City Building Department
 - City of Folsom
 - Community Development Department
 - Building Division
 - 50 Natoma Street
 - Folsom, CA 95630

NOTE: Applicant to make himself familiar with the City of Folsom Design Review Process and Applications.

Design Review and Approval Process

The Design Guidelines outline the design intent, basic requirements, and processes to be followed by the Committee in reviewing and approving architectural, site, and landscaping plans. It is recommended that all interested parties familiarize themselves with the Design Guidelines prior to the commencement of any design work.

We encourage the utilization of professional designers and builders who have acquainted themselves with the Architectural Design Guidelines, the Folsom Plan Area Specific Plan, and County Codes and Regulations, and who have demonstrated an understanding of the quality and standards that will be required at Folsom Ranch, Central District. Licensed architects, engineers, and landscape architects shall prepare all plans and designs.

Pre-Design Submittal Meeting

Adherence to the Design Guidelines and all applicable government regulations is the sole responsibility of the builder. Before beginning the design process, the City of Folsom Planning Department should be contacted to clarify all regulatory questions, in addition to becoming familiar with the Specific Plan.

To establish the design concept, owners, builders, and/or architects should meet informally with a representative or representatives of the Committee to discuss and consider all approaches, ideas, designs, and to review any preliminary design sketches. An owner and/or builder may appoint a personal representative to attend meetings and process plans, but in general we encourage the owner and/or builder to be present at the conferences. The Committee will review, with the owner, builder or agent, their design approach to confirm the intent of the Design Guidelines and the appropriateness of the design concept. Although not mandatory, this step is strongly



recommended.

Conceptual Design Submittal

The Pre-Design Conference should give the owner or builder and the owner’s or builder’s design team sufficient direction to prepare the Conceptual Design Submittal. This submittal should consist of exterior elevation drawings including material list and color palette, floor plan and site plan, showing existing and proposed grades, property lines, proposed fencing, and building setbacks.

The materials required for the ARC approval may be different than what is required to obtain approval from the City of a Planned Development Permit. The materials requested herein are considered to be the minimum required for ARC approval and if the City requires ARC approval of additional items not listed here, then the applicant shall provide those materials to the ARC for review. It is the intent that the City not accept applications unless the ARC has approved the planned project. Lastly, ARC approval does not convey any representations of approval by the City of Folsom.

The Conceptual Design Submittal package should contain two (2) sets of the following:

1. Floor plans drawn to scale.
2. Conceptual exterior elevations with enough detail to allow the committee to make an effective review of the plan.

NOTE: These items may be in sketch form and to scale, that is, drawings of a preliminary nature, and need not have all the dimensions and details. However, critical dimensions should be included.

3. A site plan, drawn to scale, showing:
 - a. Property lines.
 - b. Existing grades, trees, rock outcroppings, and any other significant resources.

- c. Home location, setbacks, and easements.
- d. Driveway and turn-around locations and dimensions, guest parking location (minimum of two guest spaces).
- e. Any decks, patios, and/or outdoor living space proposed show location and size.
- f. Fence and wall location.

4. The completed Application for Approval form.

Builder should submit the completed Application Form, along with the plans described above, to the Committee. The Committee will review the plans and contact the builder within thirty (30) calendar days. If needed, an informal meeting will be scheduled to review the Conceptual Design Submittal.

5. Reviews and Processing Fee.

To ensure a thorough review is provided to each builder and that the highest architectural and design standards are met, the Committee may, at their discretion, retain the services of architects, engineers, landscape architects, and/or inspectors. To cover the cost of the Committee and insure against damage to Folsom Ranch, Central District due to construction, builders are required to submit a fee/deposit for ARC services. A portion of the review fee will not be returned. The remaining balance will be held as a deposit until a construction inspection is completed. Upon inspection, if no damage occurred to neighboring property or any other property in Folsom Ranch, Central District as a result of your construction, the balance of the deposit minus the review fee will be returned. If the FRARC finds that damage has occurred, the cost for repairs will be taken out of the deposit. The cost for repair services will be based on a time and materials basis with a full accounting provided to the builder. Any unspent deposit will be returned to the builder. In the event that cost for damage repair exceeds



the initial fee/deposit amount, an invoice will be provided to the builder. If the builder elects not to submit a preliminary plan for comments, the fee/deposit will be due upon the submittal of the Final Design Review application.

Final Design Review and Approval

After preliminary review and approval of the materials, colors, and design concept, the builder or builder's agent must submit a final set of working drawings (construction documents), a detailed site plan of the building(s), including grading and drainage plans, fencing plan, irrigation plan, and a landscape plan showing type, size, and quantity of material, for final design approval.

The Committee's Final Design Review procedure is also structured for a thirty (30) day review period. Applicants must submit two (2) sets of final construction plans as further defined below, and two copies of the application.

Construction plans, i.e. final plans drawn to scale, shall include the following information:

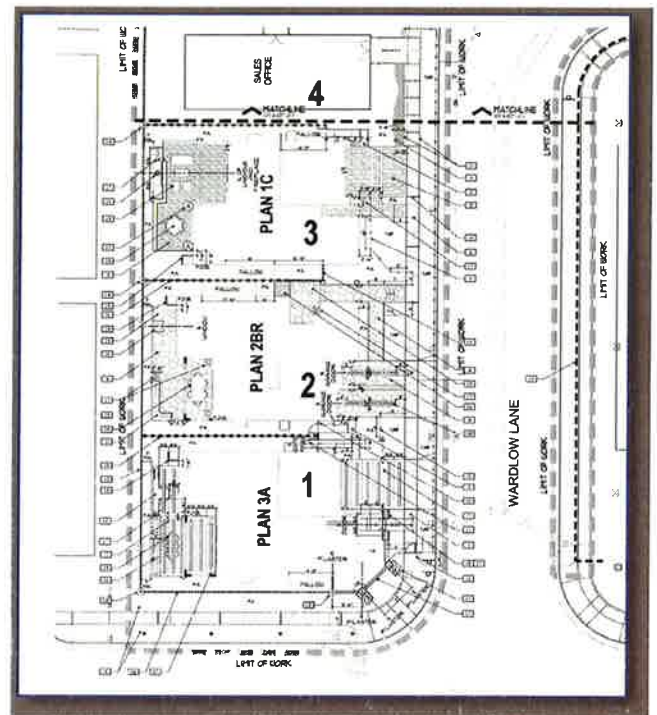
1. **Grading Plan:** The grading plan shall be prepared to comply with Specific Plan guidelines. It may not be required for lots padded by the developer.
 - a. Existing topography and the proposed finish grades. The grading plan must include all drainage information including swales, retention areas, berm and erosion control measures, and quantity of excavation, if required. This grading plan must be approved by the Committee before any earthwork begins.
 - b. First floor and basement floor elevations must be shown with respect to the site grades.
 - c. Indicate driveway widths, drainage culverts, pipe and headwalls, sidewalks,

patios, fences and walls, air conditioning, and garage locations.

- d. Show rear deck size with stairs to the lower grade.
- e. Show any extreme site conditions including terrain, trees to be retained, and tree to be removed on the plan.
- f. Show all proposed structures.
- g. Show the lengths, designs, height, finish, and location of all walls (retaining and freestanding) and fences.

2. Landscape and Irrigation Plan:

- a. The irrigation plan must include the point of connection to the water source, pipe location and sizes, head and drip emitter locations, zone limits, controller, RP devices and back flow preventer locations.
- b. Landscape plans must show all trees, shrubs, ground cover, and lawn locations,



and be drawn to scale. Plans should include a plant schedule which lists all plants and specifies common and botanical name, height and width minimums, container size, quantity, quality, and typical spacing if applicable.

3. First Floor Plan:

- a. Indicate decks, patios, stoops, retaining walls, trash enclosures, air conditioning screening, front entry step sizes, materials and finishes, driveway areas, and all interior spaces of the first floor.

4. Second Floor Plan and/or Third Floor Plan, if proposed (Commercial or Multi-Family may have more floors - all floor plans are required for submittal):

- a. Indicate lower roof projections, roof overhangs, chimney locations, and all interior spaces.

5. Roof Plan:

- a. Indicate all roof areas and corresponding slopes and gutter and downspout locations.

6. Building Elevations:

- a. Building elevations should be drawn along with floor plans to match the site plan orientation.
- b. Articulate “all” elevations, including hidden elevations, with finishes, window types, trims, and fascia details. Show the proposed finished grades against elevations, garbage screens, air conditioning location, screens, decks, rear stairs, and the maximum height from the first floor to the uppermost roof peak.
- c. Provide samples or a materials board with the exterior color scheme and material

selections. Include any brick, stone, siding, and roof tile samples.

7. Specifications and Schedule:

- a. Final construction specifications may be included on drawings or in book form.

8. Approval:

- a. If the Committee or applicant so desire, meetings between the builder and/or their agent and the Committee shall be held during the following week to review the Committee’s comments.
- b. When revisions of the items required to be modified are minor, all parties shall affix signatures on the comments sheet attesting to such and one (1) set of all documents will be returned to the builder marked “Approved as Submitted” or “Approved as Noted”. Plans needing to be extensively modified will be denied and will have to be resubmitted.
- c. Upon approval, the Committee will write a letter to the applicable lot owners, stating the final approval of the plans.
- d. The Committee will retain the final drawings until construction is completed and compliance with approval verified. If work has not started or a continuance not received by the owner or owner’s agent within three (3) years from approval, the approval will then automatically expire.

NOTE: Revisions required by the building department must be resubmitted for final review by the FRARC and construction may not proceed until approved.



Construction Guidelines and Standards

Upon final design approval from the Committee, the plans will be ready for building permit application and construction.

Along with the final design approval from the Committee, other requirements will include:

1. A construction schedule showing start and finish dates. The should be submitted when final plan approval is obtained.
2. The acquisition of a building permit from the City of Folsom.
3. Previously collected funds will be utilized to repair any damage caused by construction personnel or equipment to adjacent property or amenities, or used to clean the construction site if necessary. Checks shall be made payable to "The Folsom Ranch, Central District Community Association."
4. All signage within the development shall be subject to the City of Folsom's sign ordinances.
5. Construction of driveways shall be at the time of building permit for each individual lot. The Folsom Ranch, Central District Architectural Review Committee shall review the placement of individual homes and driveways within the project. Site improvement plans for each lot shall be prepared by a Civil Engineer registered to practice in the State of California, based on the Committee's approved site plans and shall include slope stabilization and erosion control methods. Provisions for the disposal of excess fill material shall be incorporated into the individual lot grading and/or building permit(s) filed with the Building Department.
6. All builders are to maintain their construction sites in a neat and orderly fashion, and shall clean up and remove all debris. The builder and general contractors shall be responsible for the maintenance of such neatness and removal of debris by subcontractors employed on the construction site. Activities expressly prohibited by the Design Guidelines include dumping excess concrete mix on adjacent lots or parcels, and the dumping of waste materials, chemicals, oils, sewage, garbage, paints, insecticides, petroleum or other chemical products, etc., into storm drains and street gutters.
7. Contractors are responsible for providing on-site parking for their work crews' vehicles.
8. Contractors are responsible for site cleanup.
9. Contractors are responsible for erosion control and must comply with plans as approved by the Folsom Ranch, Central District Architectural Review Committee (FRARC). The FRARC may include more restrictive measures than required by the County/City, if appropriate for this site.

Submittal Fees and Deposits

The Application for Approval, processing fee, damage deposit, and all other materials necessary for the Committee to approve a residence must be sent to:

The Folsom Ranch, Central District Community Association
Architectural Review Committee
3907 Park Drive, Suite 235
El Dorado Hills, CA 95762





PLANNING COMMISSION STAFF REPORT

PROJECT TITLE	McDonald's Restaurant Commercial Design Review
PROPOSAL	Request for Commercial Design Review Approval for façade modifications and new exterior paint colors to an existing 3,811-square-foot McDonald's Restaurant building located at 2757 East Bidwell Street
RECOMMENDED ACTION	Approve, based upon findings and subject to conditions of approval
OWNER/APPLICANT	Ashland Properties II LP/ Kevin McAuley
LOCATION	2757 East Bidwell Street (Broadstone Plaza)
SITE CHARACTERISTICS	The project site is fully developed with a 3,811-square-foot commercial drive-through building (McDonald's) and associated site improvements including parking and landscaping
GENERAL PLAN DESIGNATION	RCC (Regional Commercial)
ZONING	C-3 PD (General Commercial, Planned Development District)
ADJACENT LAND USES/ZONING	North: Broadstone Plaza Shopping Center (C-3 PD) South: Broadstone Plaza Shopping Center (C-3 PD) East: East Bidwell Street with the Broadstone Marketplace Shopping Center (C-3 PD) beyond West: Broadstone Plaza Shopping Center (C-3 PD)
PREVIOUS ACTION	Approval of the Broadstone Plaza Planned Development Permit in 1994 by the Planning Commission (PN 92-056),

Approval of the McDonald's Restaurant at the Broadstone Power Center (now Broadstone Plaza) Planned Development Permit and Conditional Use Permit on March 14, 2001 by the Planning Commission (PN 00-514)

FUTURE ACTION

Issuance of Building Permits

APPLICABLE CODES

FMC 17.06, Design Review
FMC 17.22, Commercial Land Uses

ENVIRONMENTAL REVIEW

The project is categorically exempt under Section 15301 Existing Facilities of the California Environmental Quality Act (CEQA)

ATTACHMENTS

1. Vicinity Map
2. Site Plan, Floor Plan, and Elevations dated July 24, 2017
3. Color Elevations, Dated October 23, 2017
4. Broadstone Plaza Community Commercial Development Standards
5. Site Photographs

PROJECT PLANNER

Josh Kinkade, Assistant Planner

BACKGROUND

In 1994, the Planning Commission approved a Planned Development Permit (PN 92-056) for development of the Broadstone Power Center Shopping Center. Now known as the Broadstone Plaza Shopping Center, the 55-acre center is part of the larger Broadstone Unit No. 2 Master Planned Community, which was approved by the Planning Commission in 1989 (PN 89-020).

On March 14, 2001, the Planning Commission approved a Planned Development Permit and Conditional Use Permit for a 3,811-square foot McDonald's restaurant with a dual drive-through lane at 2757 East Bidwell Street, within the Broadstone Plaza Shopping Center. The site was developed in 2001, and became operational shortly thereafter.

APPLICANT'S PROPOSAL

The applicant, Kevin McAuley, is requesting Commercial Design Review approval for façade alterations to the existing 3,811-square-foot McDonald's Restaurant at 2757 East Bidwell Street within the Broadstone Plaza Shopping Center (see Attachments 2 and 3). It is important to note that that façade modification is an exterior design change and that no additional interior square footage is being added. The proposed remodel includes:

- Removal of portions of the existing parapet walls, cornices and mansard roofs;
- Removal of one window on the non-drive-through building elevation;

- Construction of a new corrugated metal building parapet, painted silver;
- Modification of the existing cornice on the drive-through building elevation;
- Construction of new aluminum trellises and canopies, painted grey, white and gold;
- Construction of three tower elements painted “Iron Mountain” grey;
- Painting the building Greenbriar Beige;
- Removal of the stone wainscoting throughout the structure (except along the base of the building); and,
- Installation of new light fixtures and accent lighting.

ARCHITECTURE / DESIGN

Architectural design guidelines were established for the Broadstone Plaza Shopping Center as part of the Planned Development Permit which was approved by the Planning Commission in 1994. The Broadstone Plaza Design Guidelines are intended to promote a multi-use project of premier quality, while uniting the overall physical framework of the development. It is important to note that the Design Guidelines were created to express “intent” rather than “absolutes,” thus allowing flexibility to provide unique design alternatives. To that end, the Design Guidelines emphasize the following areas relative to architecture and design:

- The architectural theme and building forms should be reflective of a Mediterranean urban character blending with the site and the surrounding buildings types.
- Natural materials which are simple and easy to maintain such as stone, wood, stucco, and masonry should be encouraged. Materials such as textured or patterned concrete are considered compatible building accents.
- The architectural design of buildings should consider the site, relationship to other structures, streetscapes, and climatic orientations.
- Structures with long uninterrupted exterior walls should be avoided, where possible. Walls should have varied forms to create shadows and provide relief that softens the architecture.
- Building along major arterials should provide a variety of elevations with differing setbacks and varied orientations.

The existing McDonald’s building design includes brown stucco walls with a cultured stone wainscot, and varying roof-line. The raised parapet wall contains an elevated cultured stone wainscot and a red tile inset with a McDonald's logo. Photographs of the existing building are included in Attachment 5.

In reviewing the architecture and design of the proposed building, City staff determined that the applicant incorporated many of the essential design elements recommended by the Broadstone

Plaza Design Guidelines including varied roof heights, decorative trellises, and a prominent entry feature. The proposed project utilizes a color scheme that is consistent with and complimentary to the other buildings within the development. In addition, the proposed project utilizes natural earth-tone colors along with a variety of colorful accents, consistent with other buildings within the development. Staff has conditioned that all exterior lighting be directed downward (Condition No. 12). Staff has determined that the proposed project is consistent with the Broadstone Plaza Design Guidelines and is compatible with surrounding commercial developments in the project vicinity.

SIGNAGE

The applicant is not proposing any modifications to or additional signage in conjunction with this particular Commercial Design Review application. Signage is subject to the sign criteria established within the Broadstone Plaza Planned Development Guidelines to ensure uniformity and consistency of signage for the entire development. All future signs for the project will be required to comply with the Folsom Municipal Code and the Sign Criteria established within the Broadstone Plaza Planned Development Guidelines. Condition No. 11 is included to reflect this requirement.

LANDSCAPING

The applicant is not proposing to install any new landscaping with this project. All existing site landscaping will remain.

ENERGY CONSERVATION

The applicant is subject to the California Energy Standards as stated in Title 24 of the Uniform Building Code. The exterior building lighting will be required to achieve energy-efficient standards and the lighting will also need to be equipped with a timer or photo condenser. Condition No. 12 is included to reflect this requirement.

ENVIRONMENTAL REVIEW

The project is categorically exempt under Section 15301 Existing Facilities of the California Environmental Quality Act (CEQA).

RECOMMENDATION/PLANNING COMMISSION ACTION

MOVE TO APPROVE COMMERCIAL DESIGN REVIEW FOR FAÇADE ALTERATIONS, AND NEW EXTERIOR PAINT COLORS FOR THE EXISTING 3,811-SQUARE-FOOT MCDONALD’S RESTAURANT BUILDING LOCATED AT 2757 EAST BIDWELL STREET WITHIN THE BROADSTONE PLAZA SHOPPING CENTER AS ILLUSTRATED ON ATTACHMENTS 2 AND 3 WITH THE FOLLOWING FINDINGS AND CONDITIONS OF APPROVAL (NO. 1-17).

GENERAL FINDINGS

- A. NOTICE OF HEARING HAS BEEN GIVEN AT THE TIME AND IN THE MANNER REQUIRED BY STATE LAW AND CITY CODE.

- B. THE PROJECT IS CONSISTENT WITH THE GENERAL PLAN AND THE ZONING CODE OF THE CITY.

CEQA FINDING

- C. THE PROJECT IS CATEGORICALLY EXEMPT UNDER SECTION 15301 EXISTING FACILITIES OF THE CALIFORNIA ENVIRONMENTAL QUALITY ACT (CEQA) GUIDELINES.

DESIGN REVIEW FINDINGS

- D. THE PROPOSED PROJECT COMPLIES WITH THE INTENT AND PURPOSES OF THE GENERAL PLAN, CHAPTER 17.38 (PLANNED DEVELOPMENT DISTRICT) OF THE FOLSOM MUNICIPAL CODE, AND ALL APPLICABLE ORDINANCES OF THE CITY.
- E. THE PROPOSED PROJECT CONFORMS WITH THE BROADSTONE PLAZA PLANNED DEVELOPMENT PERMIT AND THE BROADSTONE PLAZA DESIGN GUIDELINES.
- F. THE PROPOSED PROJECT IS COMPATIBLE WITH BUILDING MATERIALS, TEXTURES, AND COLORS OF SURROUNDING DEVELOPMENT AND PROVIDES CONSISTENCY WITH THE GENERAL DESIGN THEME OF THE NEIGHBORHOOD.

Submitted,

PAM JOHNS
Community Development Director

CONDITIONS

See attached tables of conditions for which the following legend applies.

RESPONSIBLE DEPARTMENT		WHEN REQUIRED	
CD	Community Development Department	I	Prior to approval of Improvement Plans
(P)	Planning Division	M	Prior to approval of Final Map
(E)	Engineering Division	B	Prior to issuance of first Building Permit
(B)	Building Division	O	Prior to approval of Occupancy Permit
(F)	Fire Division	G	Prior to issuance of Grading Permit
PW	Public Works Department	DC	During construction
PR	Park and Recreation Department	OG	On-going requirement
PD	Police Department		

**CONDITIONS OF APPROVAL FOR MCDONALD'S COMMERCIAL DESIGN REVIEW (PN 17-346)
2757 EAST BIDWELL STREET**

Mitigation Measure		When Required	Responsible Department
1.	<p>The applicant shall submit final site development plans to the Community Development Department that shall substantially conform to the exhibits referenced below:</p> <ul style="list-style-type: none"> • Site Plan, dated July 24, 2017 • Floor Plans, dated July 24, 2017 • Color Elevations, Dated October 23, 2017 <p>This project approval is for a McDonald's Restaurant Commercial Design Review, which includes façade alterations and new exterior paint colors to an existing 3,811-square-foot building at 2757 E. Bidwell St., as shown on the above-referenced plans. Modifications may be made to the above-referenced plans to respond to site-specific conditions of approval as set forth herein.</p>	B	CD (P)(E)
2.	<p>Building plans and any required civil engineering plans shall be submitted to the Community Development Department for review and approval to ensure conformance with this approval and with relevant codes, policies, standards and other requirements of the City of Folsom.</p>	B	CD (P)(E)(B)
3.	<p>The project approval granted under this staff report shall remain in effect for one year from final date of approval (November 1, 2018). Failure to obtain the relevant building (or other) permits within this time period, without the subsequent extension of this approval, shall result in the termination of this approval.</p>	B	CD (P)
4.	<p>The owner/applicant shall defend, indemnify, and hold harmless the City and its agents, officers and employees from any claim, action or proceeding against the City or its agents, officers or employees to attack, set aside, void, or annul any approval by the City or any of its agencies, departments, commissions, agents, officers, employees, or legislative body concerning the project. The City will promptly notify the owner/applicant of any such claim, action or proceeding, and will cooperate fully in the defense. The City may, within its unlimited discretion, participate in the defense of any such claim, action or proceeding if both of the following occur:</p> <ul style="list-style-type: none"> • The City bears its own attorney's fees and costs; and • The City defends the claim, action or proceeding in good faith <p>The owner/applicant shall not be required to pay or perform any settlement of such claim, action or proceeding unless the settlement is approved by the owner/applicant.</p>	OG	CD (P)(E)(B) PW, PR, FD, PD

**CONDITIONS OF APPROVAL FOR MCDONALD'S COMMERCIAL DESIGN REVIEW (PN 17-346)
2757 EAST BIDWELL STREET**

Mitigation Measure		When Required	Responsible Department
DEVELOPMENT COSTS AND FEE REQUIREMENTS			
5.	The owner/applicant shall pay all applicable taxes, fees and charges at the rate and amount in effect at the time such taxes, fees and charges become due and payable.	B	CD (P)(E)
6.	The City, at its sole discretion, may utilize the services of outside legal counsel to assist in the implementation of this project, including, but not limited to, drafting, reviewing and/or revising agreements and/or other documentation for the project. If the City utilizes the services of such outside legal counsel, the applicant shall reimburse the City for all outside legal fees and costs incurred by the City for such services. The applicant may be required, at the sole discretion of the City Attorney, to submit a deposit to the City for these services prior to initiation of the services. The applicant shall be responsible for reimbursement to the City for the services regardless of whether a deposit is required.	B	CD (P) (E)
7.	If the City utilizes the services of consultants to prepare special studies or provide specialized design review or inspection services for the project, the applicant shall reimburse the City for actual costs it incurs in utilizing these services, including administrative costs for City personnel. A deposit for these services shall be provided prior to initiating review of the Final Map, improvement plans, or beginning inspection, whichever is applicable.	B	CD (P)(E)
8.	This project shall be subject to all applicable City-wide development impact fees, unless exempt by previous agreement. This project shall be subject to all applicable City-wide development impact fees in effect at such time that a building permit is issued. These fees may include, but are not limited to, fees for fire protection, park facilities, park equipment, Quimby, Humbug-Willow Creek Parkway, Light Rail, TSM, capital facilities and traffic impacts. The 90-day protest period for all fees, dedications, reservations, or other exactions imposed on this project has begun. The fees shall be calculated at the fee rate in effect at the time of building permit issuance.	B	CD (P)(E), PW, PK
9.	If applicable, the owner/applicant shall pay off any existing assessments against the property, or file necessary segregation request and pay applicable fees.	B	CD (E)

**CONDITIONS OF APPROVAL FOR MCDONALD'S COMMERCIAL DESIGN REVIEW (PN 17-346)
2757 EAST BIDWELL STREET**

Mitigation Measure		When Required	Responsible Department
10.	The owner/applicant agrees to pay to the Folsom-Cordova Unified School District the maximum fee authorized by law for the construction and/or reconstruction of school facilities. The applicable fee shall be the fee established by the School District that is in effect at the time of the issuance of a building permit. Specifically, the owner/applicant agrees to pay any and all fees and charges and comply with any and all dedications or other requirements authorized under Section 17620 of the Education Code; Chapter 4.7 (commencing with Section 65970) of the Government Code; and Sections 65995, 65995.5 and 65995.7 of the Government Code.	B	CD (P)
SITE DEVELOPMENT REQUIREMENTS			
11.	All signs for the project shall comply with the sign regulations established by Section 17.59 of the <u>Folsom Municipal Code</u> and the Broadstone Plaza Sign Criteria.	B	CD (P)
12.	The exterior lighting shall be limited to downward-facing lighting attached to the building. Lighting shall be designed to be directed downward onto the project site and away from adjacent properties and public rights-of-way. Lighting shall be equipped with a timer or photo condenser.	B	CD (P)
ARCHITECTURE/DESIGN REQUIREMENTS			
13.	Roof-mounted mechanical equipment, including satellite dish antennas, shall not extend above the height of the parapet walls. Ground-mounted mechanical equipment shall be shielded by landscaping or trellis type features to the satisfaction of the Community Development Director.	B	CD (P)
14.	The owner/applicant shall obtain an encroachment permit for any work conducted in the public right-of-way prior to issuance of a Building Permit.	B	CD (E)
NOISE REQUIREMENT			
15.	Compliance with Noise Control Ordinance and General Plan Noise Element shall be required. Hours of construction operation shall be limited from 7:00 a.m. to 6:00 p.m. on weekdays and 8:00 a.m. to 5:00 p.m. on Saturdays. Construction equipment shall be muffled and shrouded to minimize noise levels.	B	CD (P)(E)
FIRE DEPARTMENT REQUIREMENTS			
16.	Approved building address numbers shall be placed near the main entrance on the building in such a position as to be plainly visible and legible from the street fronting the property. Numbers shall be either externally or internally-illuminated on a lighting circuit powered dusk to dawn and the color shall contrast with their background. The size of the address numbers shall be a minimum of 10 inches.	B	FD
17.	Plans and specifications must be submitted and approved by the City of Folsom Fire Department prior to the start of construction.	B	FD

Attachment 1

Vicinity Map

Attachment 2

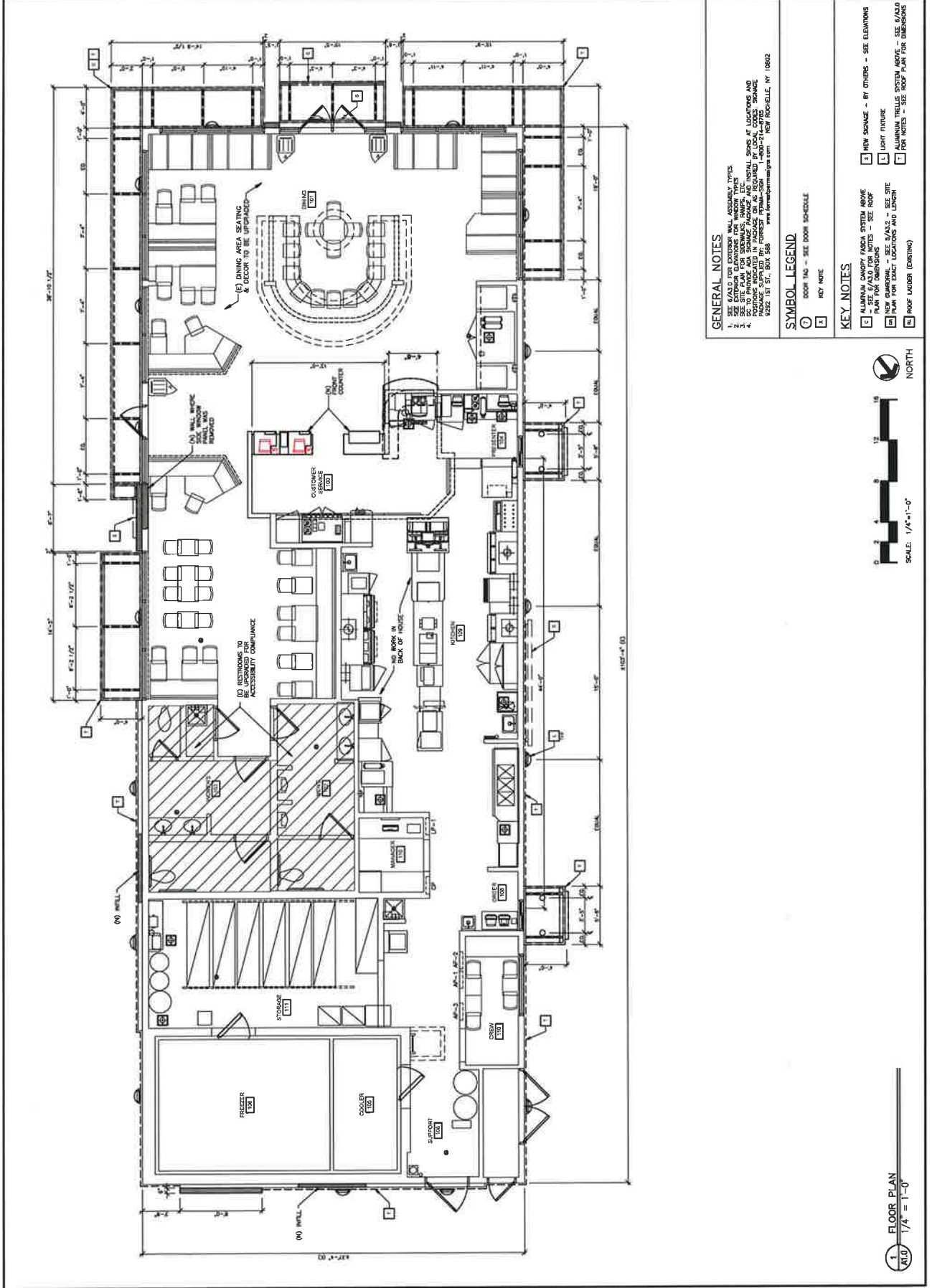
Site Plan, Floor Plan, and Elevations dated July 24, 2017

NO.	DATE	DESCRIPTION
1	07/24/17	ISSUED FOR PERMITS
2	07/24/17	ISSUED FOR PERMITS
3	07/24/17	ISSUED FOR PERMITS
4	07/24/17	ISSUED FOR PERMITS

M. McDonald's USA, LLC
 20177 WOODBURN DR. LITTLE ROCK, AR 72114
 501.487.1234
 www.mcdonalds.com

PM DESIGN
 1100 W. 15TH ST. SUITE 200
 DENVER, CO 80202
 303.733.8800
 www.pmdesign.com

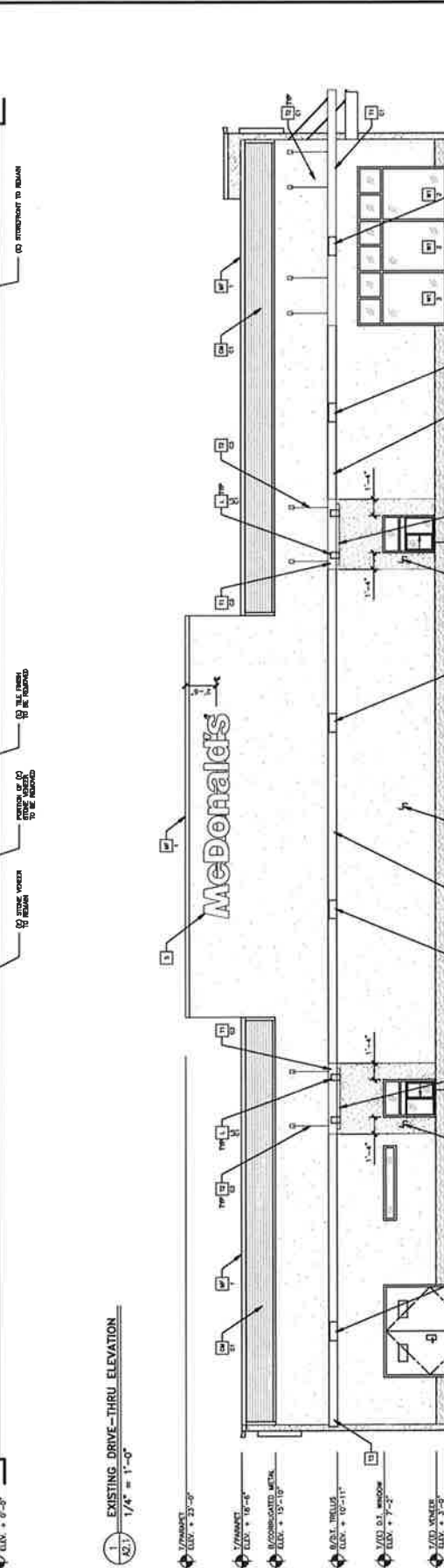
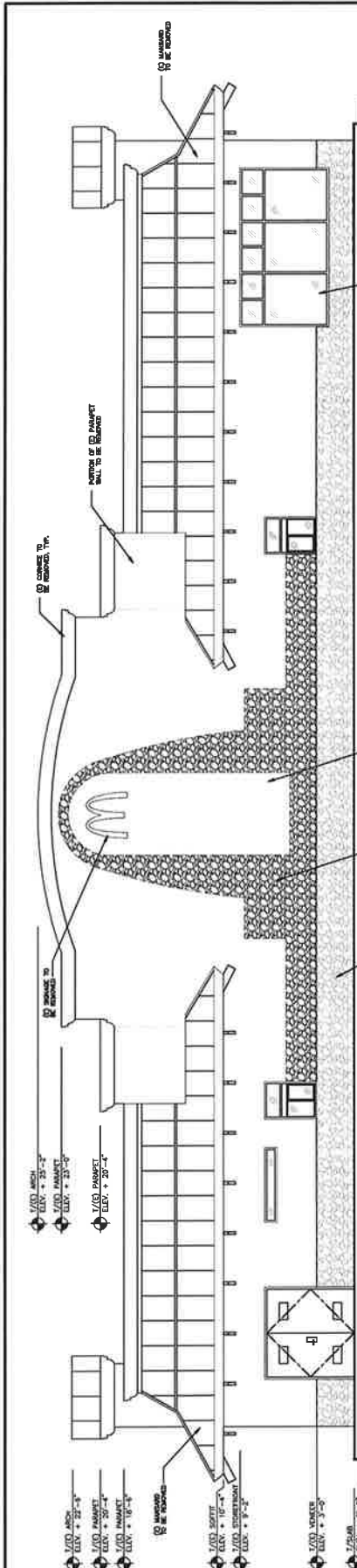
REV	DATE	DESCRIPTION
01	07/21/17	ISSUED FOR PERMITS
02	07/21/17	ISSUED FOR PERMITS
03	07/21/17	ISSUED FOR PERMITS
04	07/21/17	ISSUED FOR PERMITS



- GENERAL NOTES**
- SEE 6/4/10 FOR EXTERIOR WALL ASSEMBLY TYPES
 - SEE 6/4/10 FOR EXTERIOR WALL ASSEMBLY TYPES
 - SEE SITE PLAN FOR SIGNAGE, MARKING, ETC.
 - SEE 6/4/10 FOR EXTERIOR WALL ASSEMBLY TYPES
 - SEE 6/4/10 FOR EXTERIOR WALL ASSEMBLY TYPES
- SYMBOL LEGEND**
- DOOR TAG - SEE DOOR SCHEDULE
 - KEY NOTE
- KEY NOTES**
- ALUMINUM CONVEYER PASON STATED ABOVE
 - NEW SIGNAGE - BY OTHERS - SEE ELEVATIONS
 - NEW CAMERAS - SEE 3/4/12 - SEE SITE PLAN FOR EXACT LOCATION AND LENS
 - NEW PARTITION - SEE 3/4/12 - SEE SITE PLAN FOR EXACT LOCATION AND LENS
 - NEW ROOF JACKET (EXISTING)
 - NEW SIGNAGE - BY OTHERS - SEE ELEVATIONS
 - LOFT FUTURE
 - FLOOR FINISHES - SEE 3/4/12 FOR EXISTING
 - TRUSSES ABOVE - SEE 6/4/10
 - ROOF JOIST - SEE 6/4/10



1 FLOOR PLAN
 1/4" = 1'-0"



NO.	DESCRIPTION
1	EXISTING DRIVE-THRU ELEVATION 1/4" = 1'-0"
2	PROPOSED DRIVE-THRU ELEVATION 1/4" = 1'-0"

COLOR SCHEME - "MODERN" SCHEME
 SEE ELEVATION SCHEDULE FOR MATERIALS AND COLOR SPECIFICATIONS

KEY NOTES:

- (1) SEE SHEET 9/5
- (2) SEE SHEET 9/6
- (3) SEE SHEET 9/7
- (4) SEE SHEET 9/8
- (5) SEE SHEET 9/9
- (6) SEE SHEET 9/10
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- (94) SEE SHEET 9/98
- (95) SEE SHEET 9/99
- (96) SEE SHEET 9/100

Attachment 3

Color Elevations, Dated October 23, 2017



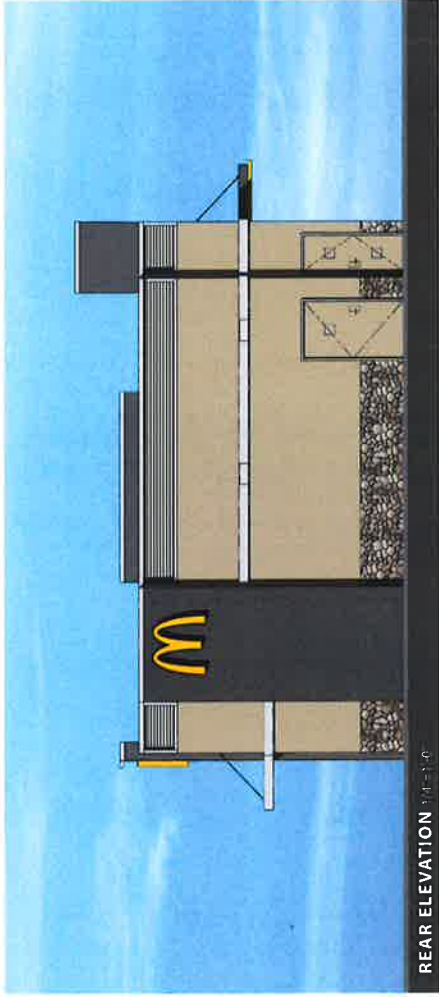
FRONT ELEVATION 1/4" = 1'-0"



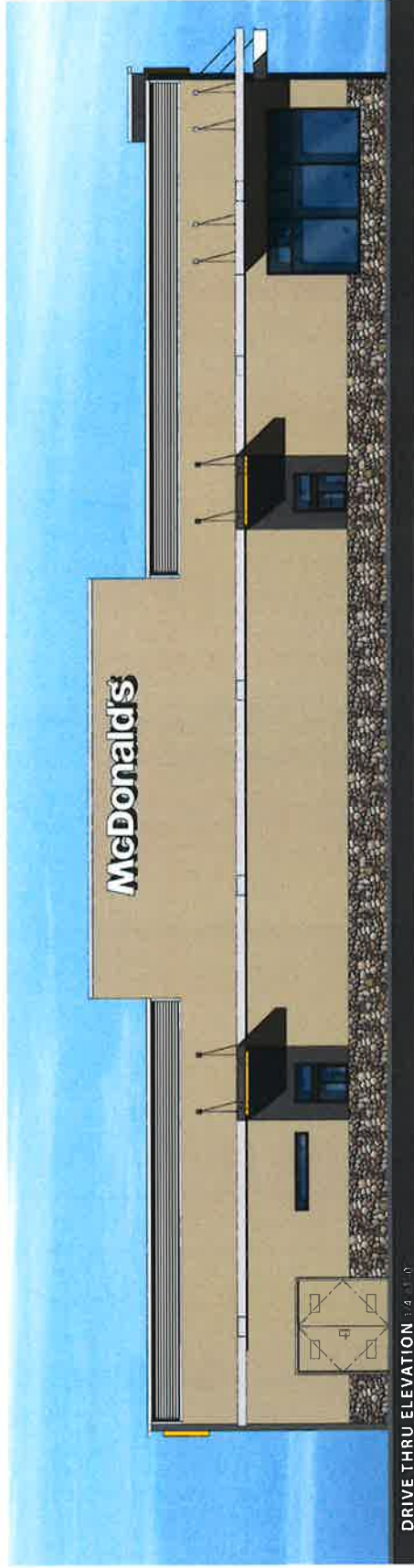
NON-DRIVE THRU ELEVATION 1/8" = 1'-0"

MATERIAL LEGEND

- BENJAMIN MOORE
 GREENBRIER BEIGE
 HC-79
- BENJAMIN MOORE
 IRON MOUNTAIN
 2134-30
- CHARCOAL
- CITYSCAPE
- GOLD



REAR ELEVATION 1/4" = 1'-0"



DRIVE THRU ELEVATION 1/4" = 1'-0"

MATERIAL LEGEND

- BENJAMIN MOORE
GREENBRIER BEIGE
HC-79
- BENJAMIN MOORE
IRON MOUNTAIN
2134-30
- CHARCOAL
- CITYSCAPE
- GOLD

Attachment 4

Broadstone Plaza Community Commercial Development Standards

1760 Creekside Oaks Drive
Suite 140
Sacramento
California 95833
916-567-3000
FAX 916-567-3030

The
Nadel
Partnership Inc.

Architecture
Planning
Interiors

BROADSTONE - POWER CENTER

COMMUNITY COMMERCIAL DEVELOPMENT STANDARDS

I. General Standards

The community commercial development standards are provided to promote a multi-use project of premier quality, while harmonizing with the overall physical framework of the community. These architectural guidelines have been created to express "intent" rather than "absolutes", thereby allowing flexibility to provide design alternatives. It is paramount in a master planned community that architecture serve to satisfy aesthetic concerns as well as market and functional needs.

The architectural guidelines are to provide clear directions and design criteria for tenant users. Individual projects will be compatible with the common overall community elements; however, the flexibility needed for separate identify, use of product type, or tenant preferences may dictate variations.

- a. The architectural theme and building forms should be reflective of a mediterranean urban character blending with the site and the surrounding building types and uses.
- b. Building heights, signage, setbacks and other standards will be in conformance with the development standards as outlined in Section 4 of the Broadstone Master Plan for each land use designation.
- c. The architectural design of buildings shall consider the site, relationship to other structures, streetscapes, and climatic orientations.
- d. Structures with long uninterrupted exterior walls should be avoided, where possible. Walls will have varied forms to create shadows and provide relief that "softens" the architecture.
- e. Urban plazas will prevail throughout the site, and will be linked together by pedestrian circulation systems. Plaza graphics, signage, colors, street furniture, lighting, and landscaping will be designed to create a unifying theme.
- f. Natural materials which are simple and easy to maintain such as stone, wood, stucco, and masonry will be encouraged. Materials such as textured or patterned concretes are compatible building accents.

- g. The character of commercial buildings will be compatible with adjoining structures. Buildings and structures should accentuate and promote an "urban plaza" character through consistent use of materials, color, and detailing. Building color schemes will be non-complex, light in shades, and consist of simple accents.
- h. Buildings along major arterials will provide a variety of elevations with differing setbacks and varied orientations.
- i. Openings in buildings should be accentuated architecturally through indentation and roof variations.
- j. Architectural screens, fences, and structures should be compatible in materials, color, and texture to the main building. All service areas should be screened from major streets and adjacent residential areas.
- k. Dramatic "village" architecture will be encouraged to reinforce the residential scale of adjacent housing. Building forms of simple geometry with rectangular massing will be stressed.
- l. Colonnades, arches, plazas, arcades, and courtyards will be utilized to create architectural and functional excitement.
- m. Massed hip and gable roofs that create a strong architectural form will be used. Concrete and clay roof tiles as well as ribbed metal roofing are acceptable coverings. Recesses and covered pedestrian walkways that create shadow and visual interest will be encouraged.
- n. Parapets of compatible building materials will be used to hide roof mounted mechanical equipment. Where possible, equipment should be placed at ground level in service areas screened with appropriate materials.
- o. Architectural trellises and canvases may be used to add color and texture to pedestrian areas.
- p. Buildings will be located in such a manner so as to enhance the project's visibility and identify, maintain compatible relationships with adjacent projects, provide convenient access to entrances, and to address unique site conditions.
- q. Surface delineation of facades will consist of reveals, mullions, and recesses.

- r. Glazed storefronts are encouraged to enhance merchandise visibility.
- s. Building entrances will be light, open and inviting spatial sequences integrated with the building's form.
- t. Skylights are encouraged while continuous skylights are preferred where possible.
- u. Axial relationships are encouraged between buildings, parking areas, access ways, and landscaped areas.

SPECIFIC SITE DEVELOPMENT STANDARDS

II. General Site Development Standard

Though flexibility will be allowed, certain standards will be enforced to ensure a strong degree of continuity and quality throughout.

- a. Site access and circulation will reinforce the identity and image of the site, as well as promote an efficient flow of traffic.
- b. On-site circulation arterials will be established to alleviate off-site traffic flow disruption.
- c. Access points will be minimized in order to maximize landscape medians/setbacks, and to minimize disruption of traffic flows.
- d. Sufficient stacking capabilities will be maintained in order to minimize on-site congestion.
- e. Three way intersections and non-signalized intersections are encouraged to promote an efficient flow of on-site traffic.
- f. Parking areas are designed and dimensioned in accordance with the City of Folsom's zoning code as far as stall size, aisle size, and access driveways and in conformance with the Master Plan and design development guidelines. These standards are designed to take the basic design guidelines and enhance them with embellishments regarding landscape treatment, coverage and use. All parking facilities will be designed to accommodate parking on site with no on street parking allowed. Parking will be visible, accessible, and easy to traverse, but will also be screened from public view. The following criteria will be observed:

- 1). A screen of a minimum forty-two (42) inches high will be required for all parking areas. This height will be measured from the parking lot top of curb elevation adjacent the right-of-way. Screening will be accomplished by either plant materials, walls, land contouring, or a combination of these items.
 - 2). Plants compatible to the Folsom foothills will be utilized on this project. Trees will be selected from the Design Guidelines appendix for Parking Lot Shade Trees.
 - 3). Six (6) inch high concrete curbing will be used to protect landscape areas except where alternate protection measures are approved by the Architectural Design Review Committee.
 - 4). Parking lot shade trees will be spaced as required to conform with the City of Folsom's Zoning Code regarding shade requirements.
 - 5). All parking island planters will be planted with live landscape material. An eight (8) foot by nine (9) foot wide planter will be required tree spacing in commercial center parking areas.
- g. Landscape development setbacks will conform to the adjacent street landscape easement, with no parking facility, building, or other structure allowed in the easement.
- h. Pedestrian circulation will be encouraged in the site development plan. Pedestrian corridors are required adjacent to all street corridors, as well as other easements and parkways within the community. On-site circulation systems will be developed from parking areas to these corridors, from the parking areas to the building entries, and from one site to another. A clear path of travel will be evident within these circulation corridors.
- i. Site furnishings will be designed to conform to site architectural elements and the material palette developed for the Broadstone community. Site furnishings will be long lasting in nature. Pedestrian plazas will serve to accent entries to facilities, and to provide for breaks from the work environment. All site furnishings should be simple and functional in design.

j. Water features are encouraged as an integral part of the landscape area. Guidelines for development will include the following requirements:

- 1). No water feature will be designed to allow waterfowl to nest unless proper sanitation is maintained to meet all State of California regulations.
- 2). Water will be constantly moving so that it is not allowed to become stagnant, thus forming algae.
- 3). Fountains will be located in areas that can be enjoyed by the pedestrian, as well as appreciated by the interior building user.
- 4). It is not the intent for waterscapes to be located in the landscape street easement.
- 5). Water shall be recirculated to ensure that water is used wisely.
- 6). Fine mist sprays will not be allowed in water features due to spray drift and wasteful use of water.

k. Screening requirements for storage, truck loading areas, and utility equipment such as gas meters, transformers, and backflow preventers will be accomplished as follows:

- 1). All elements will be screened from view from all rights-of-way, and will be minimized to all on site views.
- 2). Utility elements will be screened with walls/fences or live landscape materials.

l. Site drainage design shall include water quality provisions to meet the requirements of the National Pollutant Discharge Elimination System (NPDES).

Attachment 5
Site Photographs

PROJECT PHOTOS

McDonald's
2757 E. Bidwell St.
Folsom, CA 94533



Photo -3- McDonald's Building inside Shopping Ctr. Parking lot



Photo -4- McDonald's Building inside Shopping Ctr. Parking lot

PROJECT PHOTOS

McDonald's
2757 E. Bidwell St.
Folsom, CA 94533



Photo -5- Front Elevation at Shopping Ctr. parking lot side



Photo -6- Non Drive Thru side Elevation

PROJECT PHOTOS

McDonald's
2757 E. Bidwell St.
Folsom, CA 94533



Photo -7- Rear Elevation at E. Bidwell St. side



Photo -8- Drive Thru side Elevation

PROJECT PHOTOS

McDonald's
2757 E. Bidwell St.
Folsom, CA 94533



Photo -11- Drive-thru area

PLANNING COMMISSION STAFF REPORT

PROJECT TITLE	Origin Tattoo Conditional Use Permit
PROPOSAL	Request for approval of a Conditional Use Permit to operate a tattoo establishment and art gallery within a 1,908-square-foot commercial space located at 6610 Folsom Auburn Road, Suite No. 1 (Folsom Pavilions)
RECOMMENDED ACTION	Approve, based upon findings and subject to conditions
OWNER/APPLICANT	Ethan Conrad/Nick Stephenson
LOCATION	6610 Folsom Auburn Road, Suite No. 1
SITE CHARACTERISTICS	The 9.05-acre project site is fully developed with 6 commercial buildings (Folsom Pavilions) and associated site improvements including a driveway, parking, pedestrian walkways, landscaping, and site lighting and signage
GENERAL PLAN DESIGNATION	CC (Community Commercial)
ZONING	C-2 (Central Business District)
ADJACENT LAND USES/ZONING	North: Folsom Pavilions retail center (C-2) South: Folsom Pavilions retail center (C-2) East: Folsom Auburn Road with commercial property (C-1) beyond West: Undeveloped land with apartments (R-M) beyond
PREVIOUS ACTION	Approval of Tentative Parcel Maps by the Planning Commission in 1989 (PN 88-058), and 1994 (PN 93-051)
FUTURE ACTION	Issuance of a Building Permit

APPLICABLE CODES

FMC 17.60, Use Permits
FMC 17.22, Commercial Land Use Zones

ENVIRONMENTAL REVIEW

The project is categorically exempt from environmental review based on Section 15301 (Existing Facilities) of the guidelines for the California Environmental Quality Act (CEQA)

ATTACHED REFERENCE MATERIAL

1. Vicinity Map
2. Floor Plan, received October 2, 2017
3. Business Narrative from Applicant
4. Site Photograph

PROJECT PLANNER

Josh Kinkade, Assistant Planner

BACKGROUND

The Folsom Pavilions retail center (formerly known as Ashland Station) was built in 1987. Tentative Parcel Maps were approved for Ashland Station by the Planning Commission on March 13, 1989 and February 26, 1994.

APPLICANT'S PROPOSAL

The applicant, Nick Stephenson, is requesting approval of a Conditional Use Permit to operate a tattoo establishment and art studio (Origin Tattoo) within a 1,908-square-foot commercial space located at 6610 Folsom Auburn Road, Suite No.1 (Folsom Pavilions). Operating hours for the proposed business are Monday through Sunday from 11:00 a.m. to 7:00 p.m. by appointment only. The business consists of two operators/tattoo artists, with space for four total stations.

The applicant is planning a number of interior improvements including: four (4) semi-private procedure areas where the tattoo work will be performed, a workstation, a retail area to sell the artwork, a waiting area, a photography room, a break room, a bathroom, a handwashing area and a storage space. The floor plan is included as Attachment No. 2. No exterior modifications to the building are proposed other than installation of a wall sign.

GENERAL PLAN AND ZONING CONSISTENCY

The General Plan land use designation for the project site is CC (Community Commercial), and the zoning designation is C-2 (Central Business District). The zoning district corresponds with the General Plan land use designation. The project meets all of the Folsom Municipal Code (Section 17.30) development requirements including setbacks, building coverage, lot area, lot width, and parking. The Folsom Municipal Code states that tattoo shops are a permitted use within a Central Business District zoning district (C-2) upon the issuance of a Conditional Use Permit by the Planning Commission.

LAND USE COMPATIBILITY/SITE CONSIDERATIONS

As previously stated, the Folsom Municipal Code dictates that tattoo shops are required to obtain approval of a Conditional Use Permit by the Planning Commission to operate within a Central Business zoning district (C-2). In this particular case, the applicant is requesting approval of a

Conditional Use Permit to operate the Origin Tattoo business within a commercial tenant space at the Folsom Pavilions retail center located at 6610 Folsom Auburn Road, Suite No. 1.

In order to approve this request for a Conditional Use Permit, the Commission must find that the “establishment, maintenance, or operation of the use or building applied for will not, under the circumstances of the particular case, be detrimental to the health, safety, peace, morals, comfort, and general welfare of persons residing or working in the neighborhood of such proposed use, or be detrimental or injurious to property and improvements in the neighborhood, or to the general welfare of the City.”

In reviewing the request for a Conditional Use Permit, staff took into consideration the proposed use and the compatibility of the proposed land use in relation to surrounding businesses. In considering the request by the applicant for a Conditional Use Permit, staff evaluated potential health and safety-related impacts that may be associated with operation of a tattoo business at the subject commercial location in relation to existing State regulations. On October 9, 2011, Governor Brown signed AB 300, also known as the “Safe Body Art Act.” The intent of the law is to provide fair, safe, and enforceable standards across California for body art, including tattooing, permanent makeup, body piercing, and branding. The law requires a person performing body art work to register annually with the local enforcement agency, requires blood-borne pathogen training, establishes sanitation requirements, and requires the owner of a body art facility to obtain and annually renew a health permit. In this particular case, the Sacramento County Environmental Management Department is the local enforcement agency relative to the aforementioned requirements. Staff recommends that the owner/applicant provide evidence that they have filed a Certificate of Registration with the Sacramento County Environmental Management Department for each individual tattoo artist working at Origin Tattoo. In addition, staff recommends that owner/applicant comply with all requirements established by State Assembly Bill 300. Conditions No. 5 and No. 6 are included to reflect these requirements.

Planning staff contacted the City of Folsom Police Department to determine if there are any potential issues with the business as proposed. The Police Department stated that they did not have any safety-related concerns about the proposed operation of Origin Tattoo.

The Origin Tattoo establishment is proposed to be located in Suite No. 1 of the Folsom Pavilions retail center located at 6610 Folsom Auburn Road. The Folsom Pavilions are surrounded by a mixture of land uses including retail, farmland and multi-family residential. While the residential land is technically adjacent to the Folsom Pavilions, the nearest residential building is over 400 feet from the proposed business. The Folsom Pavilions center itself is predominately occupied with retail and restaurant uses. As discussed in the introductory section of this report, the proposed business is very limited in terms of the number of employees (two to four) and the hours of operation (11:00 a.m. to 7:00 p.m.). To allow for greater flexibility, staff has conditioned the project to allow hours of operation to extend to 8:00 p.m. (Condition No. 1). Based on the commercial complexion of the project area, the mixed-use nature of the surrounding businesses, and the operational characteristics of Origin Tattoo, staff has determined that the proposed use is compatible with the surrounding land uses and businesses.

Staff notes that the Origin Tattoo Conditional Use Permit (and any other Conditional Use Permit issued by the Planning Commission) is subject to ongoing review by the Community Development Department to ensure that it does not result in adverse impacts to adjacent/nearby businesses and

properties. If the Community Development Director finds evidence that conditions of approval for the Origin Tattoo business have not been fulfilled or that the use has resulted in a substantial adverse effect on the health, and/or general welfare of users of adjacent or proximate property, or have a substantial adverse impact on public facilities or services, the Director will refer the use permit to the Planning Commission for review. If, upon such review, the Planning Commission finds that any of the above-stated results have occurred, the Commission may modify or revoke the Conditional Use Permit. Condition No. 3 is included to reflect this requirement.

ENVIRONMENTAL REVIEW

The project is categorically exempt from environmental review based on Section 15301 (Existing Facilities) of the guidelines for the California Environmental Quality Act (CEQA).

RECOMMENDATION/PLANNING COMMISSION ACTION

MOVE TO APPROVE A CONDITIONAL USE PERMIT TO ALLOW ORIGIN TATOO TO OPERATE AT THE PROPERTY LOCATED AT 6610 FOLSOM AUBURN ROAD, SUITE NO. 1 WITH THE FOLLOWING FINDINGS AND CONDITIONS (NO. 1-13);

GENERAL FINDINGS

- A. NOTICE OF HEARING HAS BEEN GIVEN AT THE TIME AND IN THE MANNER REQUIRED BY STATE LAW AND CITY CODE.
- B. THE PROJECT IS CONSISTENT WITH THE GENERAL PLAN AND ZONING CODE OF THE CITY.

CEQA FINDING

- C. THE PROJECT IS CATEGORICALLY EXEMPT FROM ENVIRONMENTAL REVIEW BASED ON SECTION 15301 (EXISTING FACILITIES) OF THE GUIDELINES FOR THE CALIFORNIA ENVIRONMENTAL QUALITY ACT (CEQA).

CONDITIONAL USE PERMIT FINDING

- D. THE ESTABLISHMENT, MAINTENANCE, OR OPERATION OF THE USE OR BUILDING APPLIED FOR WILL NOT, UNDER THE CIRCUMSTANCES OF THE PARTICULAR CASE, BE DETRIMENTAL TO THE HEALTH, SAFETY, PEACE, MORALS, COMFORT AND GENERAL WELFARE OF PERSONS RESIDING OR WORKING IN THE NEIGHBORHOOD OF SUCH PROPOSED USE, OR BE DETRIMENTAL OR INJURIOUS TO PROPERTY AND IMPROVEMENTS IN THE NEIGHBORHOOD, OR TO THE GENERAL WELFARE OF THE CITY BECAUSE THE PROPOSED LAND USE WILL NOT HAVE A NEGATIVE IMPACT.

Submitted,



PAM JOHNS
Community Development Director

CONDITIONS

See attached tables of conditions for which the following legend applies.

RESPONSIBLE DEPARTMENT		WHEN REQUIRED	
CD	Community Development Department	I	Prior to approval of Improvement Plans
NS	Neighborhood Services Department	M	Prior to approval of Final Map
(P)	Planning Division	B	Prior to issuance of first Building Permit
(E)	Engineering Division	O	Prior to approval of Occupancy Permit
(B)	Building Division	G	Prior to issuance of Grading Permit
(F)	Fire Division		
PW	Public Works Department	DC	During construction
PR	Park and Recreation Department	OG	On-going requirement
PD	Police Department		

**CONDITIONS OF APPROVAL FOR ORIGIN TATTOO (PN 17-340)
CONDITIONAL USE PERMIT**

Mitigation Measure		When Required	Responsible Department
1.	<p>This Conditional Use Permit is approved for the establishment of the Origin Tattoo business at 6610 Folsom Auburn Road, Suite No. 1, which includes operation of a tattoo establishment and art gallery within a 1,908-square-foot commercial tenant space. Hours of operation for the business shall be limited from 11:00 a.m. to 7:00 p.m. Monday through Sunday. The Origin Tattoo business shall substantially conform to the exhibits referenced below:</p> <ul style="list-style-type: none"> • Floor Plan, received October 2, 2017 <p>Any expansion of the days and/or hours of operation and plans shall be subject to review and approval by the Planning Commission through a Conditional Use Permit Modification.</p>	B	CD (P)(E)
2.	<p>The owner/applicant shall defend, indemnify, and hold harmless the City and its agents, officers and employees from any claim, action or proceeding against the City or its agents, officers or employees to attack, set aside, void, or annul any approval by the City or any of its agencies, departments, commissions, agents, officers, employees, or legislative body concerning the project. The City will promptly notify the owner/applicant of any such claim, action or proceeding, and will cooperate fully in the defense. The City may, within its unlimited discretion, participate in the defense of any such claim, action or proceeding if both of the following occur:</p> <ul style="list-style-type: none"> • The City bears its own attorney's fees and costs; and • The City defends the claim, action or proceeding in good faith <p>The owner/applicant shall not be required to pay or perform any settlement of such claim, action or proceeding unless the settlement is approved by the owner/applicant.</p>	OG	CD (P)(E)(B) PW, PR, FD, PD, NS

**CONDITIONS OF APPROVAL FOR ORIGIN TATTOO (PN 17-340)
CONDITIONAL USE PERMIT**

Mitigation Measure		When Required	Responsible Department
3.	If the Community Development Director finds evidence that conditions of approval for the Origin Tattoo establishment have not been fulfilled or that the use has resulted in a substantial adverse effect on the health, and/or general welfare of users of adjacent or proximate property, or have a substantial adverse impact on public facilities or services, the Director will refer the use permit to the Planning Commission for review. If, upon such review, the Planning Commission finds that any of the above-stated results have occurred, the Commission may modify or revoke the Conditional Use Permit.	OG	CD (P)
4.	This Conditional Use Permit shall be deemed revoked without further action by the Planning Commission if the operation of the facility in the manner described in the Conditional Use Permit ceases for any consecutive period of six (6) months, unless the applicant or current owner is actively engaging in work on the premises pursuant to a valid building permit and the Community Development Department Director has approved a written request from the applicant for an additional period not to exceed twelve (12) months when it is not in operation. Such an extension request shall be submitted to the Community Development Department no less than 30 days prior to the six-month deadline.	OG	CD
5.	The owner/applicant shall provide evidence that they have filed a Certificate of Registration with the Sacramento County Environmental Management Department for each individual tattoo artist working at Origin Tattoo.	B, OG	CD (P)
6.	The owner/applicant shall comply with all requirements established by State Assembly Bill 300 ("Safe Body Art Act") including but not limited to: registering annually with the local enforcement agency, complying with vaccination, blood borne pathogen training, conforming to sanitation requirements, and obtaining and annually renewing a health permit.	OG	CD (P)
DEVELOPMENT COSTS AND FEE REQUIREMENTS			
7.	The owner/applicant shall pay all applicable taxes, fees and charges at the rate and amount in effect at the time such taxes, fees and charges become due and payable.	B	CD (P)(E)

**CONDITIONS OF APPROVAL FOR ORIGIN TATTOO (PN 17-340)
CONDITIONAL USE PERMIT**

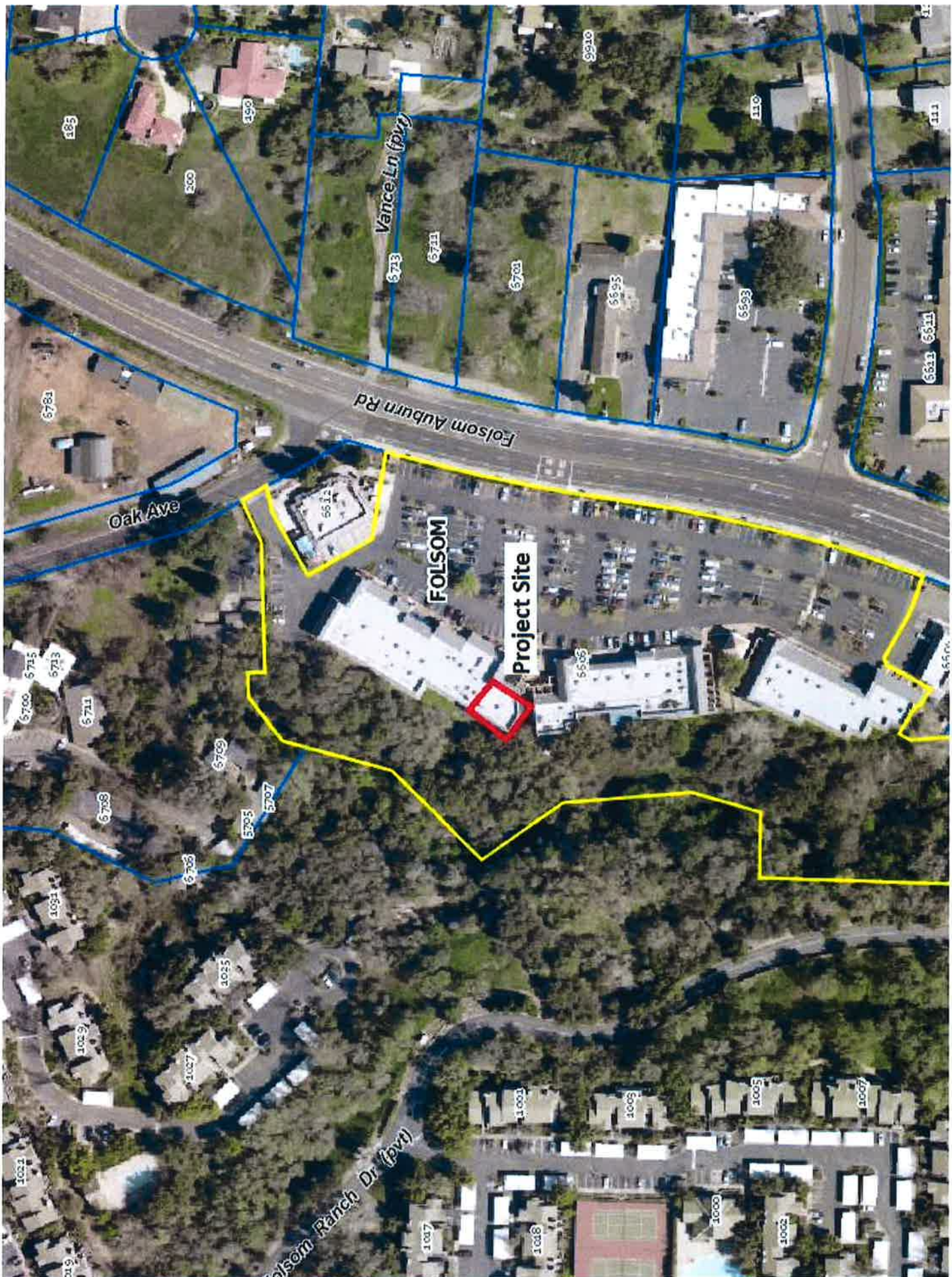
Mitigation Measure		When Required	Responsible Department
8.	The City, at its sole discretion, may utilize the services of outside legal counsel to assist in the implementation of this project, including, but not limited to, drafting, reviewing and/or revising agreements and/or other documentation for the project. If the City utilizes the services of such outside legal counsel, the applicant shall reimburse the City for all outside legal fees and costs incurred by the City for such services. The applicant may be required, at the sole discretion of the City Attorney, to submit a deposit to the City for these services prior to initiation of the services. The applicant shall be responsible for reimbursement to the City for the services regardless of whether a deposit is required.	B	CD (P)(E)
9.	This project shall be subject to all City-wide development impact fees, unless exempt by previous agreement. This project shall be subject to all Citywide development impact fees in effect at such time that a building permit is issued. These fees may include, but are not limited to, fees for fire protection, park facilities, park equipment, Quimby, Humbug-Willow Creek Parkway, Light Rail, TSM, capital facilities and traffic impacts. The 90-day protest period for all fees, dedications, reservations or other exactions imposed on this project has begun. The fees shall be calculated at the fee rate in effect at the time of building permit issuance.	B	CD (P)(E), PW, PK
10.	This project approval shall remain in effect for one year until November 1, 2018. If a use permit is not vested within the identified time frame prior to the expiration date and the applicant has not demonstrated substantial progress towards the development of the project, this approval shall be considered null and void. The owner/applicant may file an application with the Community Development Department for a permit extension not less than 30 days prior to the expiration date of the permit, along with appropriate fees and necessary submittal materials pursuant to Section 17.60 of the <u>Folsom Municipal Code</u> .	B	CD (P, B)
OPERATIONAL REQUIREMENTS			
11.	Entertainment and outdoor activity of any kind at the Origin Tattoo business shall be prohibited.	OG	CD (P)
SIGN DESIGN REQUIREMENT			
12.	Future signage for the site shall comply with the <u>Folsom Municipal Code Chapter 17.52</u> and the <u>Folsom Pavilions Sign Criteria</u> .	OG	CD (P, B)

**CONDITIONS OF APPROVAL FOR ORIGIN TATTOO (PN 17-340)
CONDITIONAL USE PERMIT**

	Mitigation Measure		When Required	Responsible Department
13.		<p align="center">NOISE REQUIREMENTS</p> <p>Compliance with Noise Control Ordinance and General Plan Noise Element shall be required.</p>	OG	CD (P)

Attachment 1

Vicinity Map

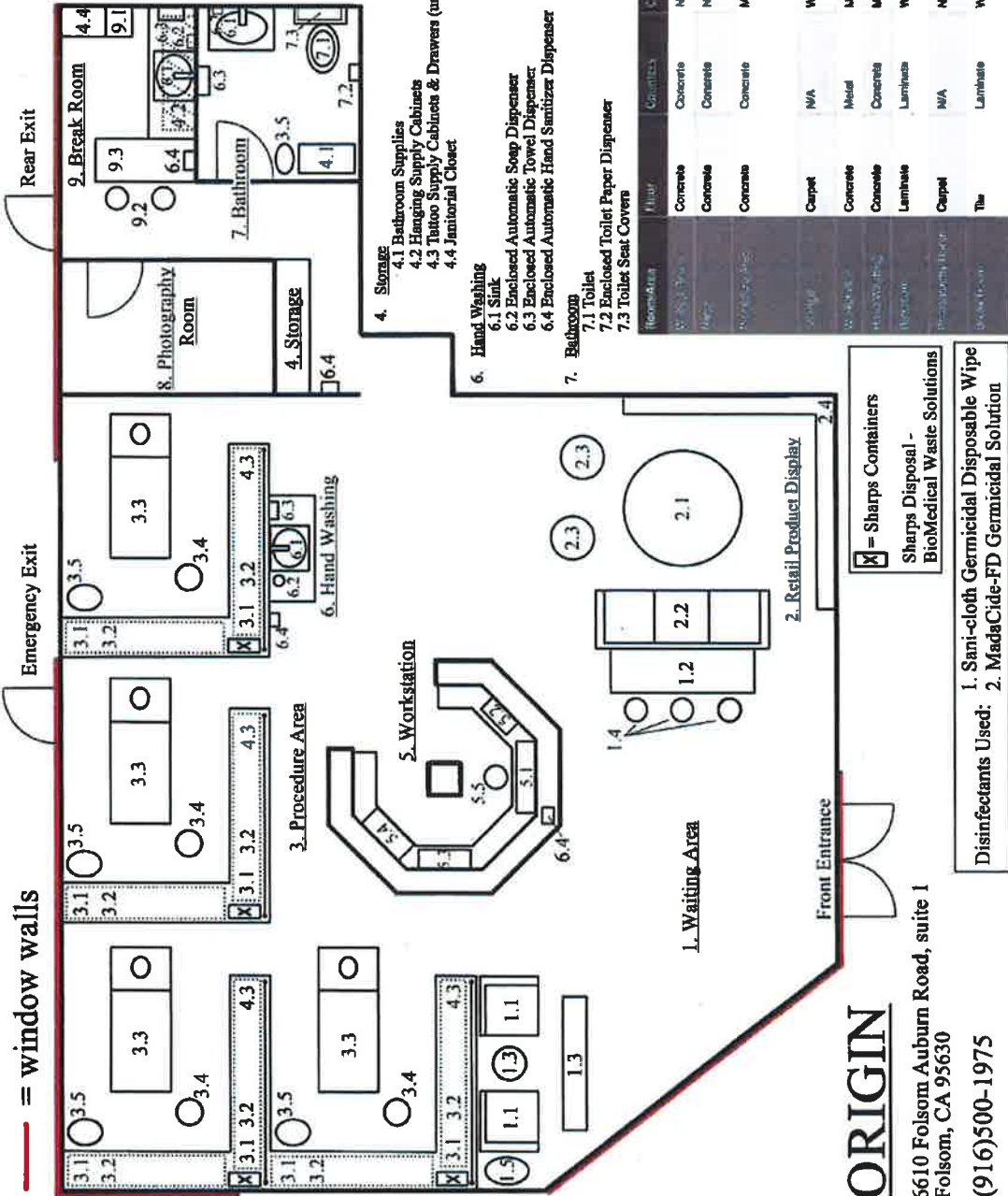


Attachment 2

Floor Plan, received October 2, 2017

Legend

- Waiting Area**
 - 1.1 Chairs
 - 1.2 Large Table
 - 1.3 Small Table
 - 1.4 Stools
 - 1.5 Plant
- Retail Product Display**
 - 2.1 Product Table
 - 2.2 Couch
 - 2.3 Chairs
 - 2.4 Product Wall Displays
- Procedure Area**
 - 3.1 Countertop Workstation
 - 3.2 Cabinets (underneath 3.1)
 - 3.3 Client Bed Table
 - 3.4 Practitioner Stool
 - 3.5 Garbage
- Workstation**
 - 5.1 Computer
 - 5.2 Printer
 - 5.3 Thermal Printer
 - 5.4 Lightbox
 - 5.5 Stool
- Photography Room**
 - 9.1 Small Refrigerator
 - 9.2 Stools
 - 9.3 Countertop



ORIGIN

6610 Folsom Auburn Road, suite 1
Folsom, CA 95630

(916)500-1975

- 1. Sani-cloth Germicidal Disposable Wipe
 - 2. MadeCide-FD Germicidal Solution
- Disinfectants Used:

- ☒ = Sharps Containers
- Sharps Disposal - BioMedical Waste Solutions

Attachment 3

Business Narrative from Applicant

Origin

6610 Folsom Auburn Road, Suite 1
Folsom, CA 95630

Store hours: 7 days a week, 11am - 7pm

It is an exciting time knowing the opportunity is so close at hand to be able to share the mission of Origin with others. A place of art and a place of passion - Origin is dedicated to showcasing the works of art not only of our very own resident artists, but the talents of those both locally, domestically, and internationally.

When first stepping into Origin, you will instantly experience a presence of culture and creativity. A display of art and artifacts dissolving the line of normality. As the floor plan shows, the entirety of the gallery's front half will accommodate that of the consumer mind. Appealing to the every day buyer with art of all mediums - selling both originals and less expensive print recreations.

The entrance area will offer a variety of comfortable and practical seating arrangements. A main frontal area, directly to the right after walking through the front doors, will be the focus of product and merchandise display. Visually satisfying wall and table displays will not only help to promote the quality of the products themselves, but also to enhance and accentuate the power of the space. Product diversity will range from high end Origin designed clothing and accessories, to other miscellaneous Origin brand items. (ie. patches, prints, pins, stickers, etc.)

The gallery main entrance naturally embraces an emphasis on the beautiful works of art we will have available for public viewing. This is very beneficial to us at Origin, offering a major pull of curb appeal while still operating in a private fashion for the back half of the overall space. Referencing once again to the floor plan, it has been designed to allow the seclusion and exclusivity of the Procedure Area to play an utmost important role.

We at Origin, the two of us as of now, Eric Goodman and myself - are professional, high quality, appointment only tattooists. Taking our craft very seriously we are grateful to have earned a very strong reputation within both the community and the industry. We offer high end custom tattoos at an hourly rate of \$200 per hour, averaging a minimum of 4 hours work every day.

Our portfolios prove a strong commitment to the art in which we create. We find it very important to recognize the way we impact an individuals life - the trust, the genuine nature of belief they bestow upon us in bringing their vision into fruition. Our clients will forever wear a direct representation of their experience at Origin and we must always ensure that our passion is converted to their absolute satisfaction.

Origin stands to set the new bar in how a tattoo gallery space is to be perceived through the public eye. That image is certainly beginning a monumental shift of positivity; however, Origin will strive to act as the foundation for a new approach, in a new era, for the sacred craft of the tattoo arts.

Sincerely, with all love

Owner/Practitioner: Nick Stephenson

Attachment 4
Site Photograph

