



CITY OF
FOLSOM
DISTINCTIVE BY NATURE

HISTORIC DISTRICT COMMISSION AGENDA

June 17, 2020

CITY COUNCIL CHAMBERS

5:00 p.m.

50 Natoma Street

Folsom, California 95630

Pursuant to Governor Newsom's Executive Order N-29-20, members of the Folsom Historic District Commission and staff may participate in this meeting via teleconference.

Due to the coronavirus (COVID-19) public health emergency, the City of Folsom is allowing remote public input during Commission meetings. Members of the public are encouraged to participate by e-mailing comments to kmullett@folsom.ca.us. E-mailed comments must be received no later than thirty minutes before the meeting and will be read aloud at the meeting during the agenda item. Please make your comments brief. Written comments submitted and read into the public record must adhere to the principles of the three-minute speaking time permitted for in-person public comment at Commission meetings. Members of the public wishing to participate in this meeting via teleconference may email kmullett@folsom.ca.us no later than thirty minutes before the meeting to obtain call-in information. Each meeting may have different call-in information. Verbal comments via teleconference must adhere to the principles of the three-minute speaking time permitted for in-person public comment at Historic District Commission meetings.

Members of the public may continue to participate in the meeting in person at Folsom City Hall, 50 Natoma Street, Folsom CA while maintaining appropriate social distancing.

CALL TO ORDER HISTORIC DISTRICT COMMISSION: Mickey Ankhelyi, Daniel West, Kevin Duewel, Mary Asay, Vice Chair Rosario Rodriguez, Kathleen Cole, Chair Daron Bracht

Any documents produced by the City and distributed to the Historic District Commission regarding any item on this agenda will be made available at the Community Development Counter at City Hall located at 50 Natoma Street, Folsom, California and at the table to the left as you enter the Council Chambers.

PLEDGE OF ALLEGIANCE

CITIZEN COMMUNICATION: The Historic District Commission welcomes and encourages participation in City Historic District Commission meetings, and will allow up to five minutes for expression on a non-agenda item. Matters under the jurisdiction of the Commission, and not on the posted agenda, may be addressed by the general public; however, California law prohibits the Commission from taking action on any matter which is not on the posted agenda unless it is determined to be an emergency by the Commission.

MINUTES

The minutes of the June 3, 2020 meeting will be presented for approval.

NEW BUSINESS

1. PN 20-061, 310 Mormon Street Addition and Determination that the Project is Exempt from CEQA

A Public Meeting to consider a request from Shelly Castro for approval of a Design Review application for a 562-square-foot addition to an existing single-family residence located at 310 Mormon Street. The zoning classification for the site is R-2/CEN, while the General Plan land-use designation is MLD. The project is exempt from the California Environmental Quality Act in accordance with Section 15301 of the CEQA Guidelines. **(Project Planner: Josh Kinkade/Applicant: Shelly Castro)**

2. PN 20-044, 711 Persifer Street Addition and Re-Siding and Determination that the Project is Exempt from CEQA

A Public Meeting to consider a request from Dan Kohnke for approval of a Design Review application for a 160-square-foot addition, 98-square-foot rear porch addition and re-siding for an existing residence located at 711 Persifer Street. The zoning classification for the site is R-1-M/CEN, while the General Plan land-use designation is SFHD. The project is exempt from the California Environmental Quality Act in accordance with Section 15301 of the CEQA Guidelines. **(Project Planner: Josh Kinkade/Applicant: Dan Kohnke)**

3. PN 20-015, 904 Persifer Street Custom Home and Determination that the Project is Exempt from CEQA

A Public Meeting to consider a request from Jesse Borovnica for approval of a Design Review application for a 1,862-square-foot custom home located at 904 Persifer Street. The zoning classification for the site is R-1-M/CEN, while the General Plan land-use designation is SFHD. The project is exempt from the California Environmental Quality Act in accordance with Section 15303 of the CEQA Guidelines. **(Project Planner: Josh Kinkade/Applicant: Jesse Borovnica)**

HISTORIC DISTRICT COMMISSION / PRINCIPAL PLANNER REPORT

The next Historic District Commission meeting is scheduled for **July 1, 2020**. Additional non-public hearing items may be added to the agenda; any such additions will be posted on the bulletin board in the foyer at City Hall at least 72 hours prior to the meeting. Persons having questions on any of these items can visit the Community Development Department during normal business hours (8:00 a.m. to 5:00 p.m.) at City Hall, 2nd Floor, 50 Natoma Street, Folsom, California, prior to the meeting. The phone number is (916) 461-6203 and fax number is (916) 355-7274.

In compliance with the Americans with Disabilities Act, if you are a disabled person and you need a disability-related modification or accommodation to participate in the meeting, please contact the Community Development Department at (916) 461-6231, (916) 355-7274 (fax) or kmullett@folsom.ca.us. Requests must be made as early as possible and at least two-full business days before the start of the meeting.

NOTICE REGARDING CHALLENGES TO DECISIONS

The appeal period for Historic District Commission Action: Pursuant to all applicable laws and regulations, including without limitation, California Government Code, Section 65009 and/or California Public Resources Code, Section 21177, if you wish to challenge in court any of the above decisions (regarding planning, zoning, and/or environmental decisions), you may be limited to raising only those issues you or someone else raised at the public hearing(s) described in this notice/agenda, or in written correspondence delivered to the City at, or prior to, this public hearing. Any appeal of a Historic District Commission action must be filed, in writing with the City Clerk's Office no later than ten (10) days from the date of the action pursuant to Resolution No. 8081.



CITY OF
FOLSOM
DISTINCTIVE BY NATURE

**HISTORIC DISTRICT COMMISSION MINUTES
SPECIAL MEETING
June 3, 2020
CITY COUNCIL CHAMBERS
4:00 p.m.
50 Natoma Street
Folsom, California 95630**

CALL TO ORDER HISTORIC DISTRICT COMMISSION: Kathleen Cole, Mickey Ankhelyi, Daniel West, Kevin Duewel, Mary Asay, Vice Chair Rosario Rodriguez, Chair Daron Bracht

ABSENT: None

PLEDGE OF ALLEGIANCE

CITIZEN COMMUNICATION: None

MINUTES: The minutes of May 20, 2020 were approved as submitted.

NEW BUSINESS

1. Accessory Dwelling Unit Ordinance Hearing and Determination that the Project is Exempt from CEQA

During 2019, the State enacted several new laws affecting Accessory Dwelling Units or ADUs. ADUs are more commonly referred to as second units, second dwelling units, or “granny flats.” These new laws went into effect on January 1, 2020. Since the State has changed many of the ADU requirements, the City’s current ADU standards are rendered null and void unless the City updates its own ADU standards to comply with the new State law. Staff recommends that the Commission approves a recommendation to City Council supporting the repeal and replacement of the existing Sections 17.52.490 and 17.52.500 as well as Chapter 17.105 in Title 17 of the Folsom Municipal Code (FMC) with the new draft Accessory Dwelling Unit Ordinance. **(Project Planner: Principal Planner, Desmond Parrington)**

1. Bob Walter addressed the Historic District Commission with questions regarding setbacks on ADU’s being built above garages.
2. Loretta Hettinger addressed the Historic District Commission proposing that in a situation where an applicant proposes both an attached or internal ADU and other modifications to the home that those modifications should be still subject to design standards and design review even if the proposed ADU is less than 800 square feet and 16 feet or less in height and therefore not subject to any design standards. .
3. Mike Brenkwitz addressed the Historic District Commission citing concerns about privacy, parking in the alleyways, emergency and garbage access in the

alleyways, and who would take care of development impact fees on upgrading the sewer system in the Historic District.

4. Rebecca Davis addressed the Historic District Commission with questions regarding the approval process for ADU's above garages and if the code requirements for garage size would be changing.

COMMISSIONER BRACHT MOVED TO APPROVE A RECOMMENDATION TO CITY COUNCIL SUPPORTING THE REPEAL AND REPLACEMENT OF THE EXISTING SECTIONS 17.52.490 AND 17.52.500 AS WELL AS CHAPTER 17.105 IN TITLE 17 OF THE FOLSOM MUNICIPAL CODE (FMC) WITH THE NEW DRAFT ACCESSORY DWELLING UNIT ORDINANCE AS SET FORTH IN THE GREEN SHEET ALONG WITH THE FOLLOWING CHANGES:

- Revise Section 17.105.160(A): to limit height to 16 feet
- Revise Section 17.105.160(C): to add language that staff shall make a determination that utilities are sufficient to serve ADU's
- Revise Section 17.105.160(C): staff to expand on the design standards for the screening of the staircase landing
- Revise Section 17.105.150(L): to apply impact fees proportionately to ADU's greater than 750-square-feet

COMMISSIONER RODRIGUEZ SECONDED THE MOTION WHICH CARRIED THE FOLLOWING VOTE:

AYES: ANKHELYI, WEST, DUEWEL, ASAY, RODRIGUEZ, BRACHT

NOES: COLE

RECUSED: NONE

ABSENT: NONE

PRINCIPAL PLANNER REPORT

The Ad Hoc Parking Solutions Committee for the Historic District will be giving a presentation on parking issues at the June 23rd City Council meeting. The Sutter Street mixed-use building is currently scheduled for the July 15th Historic District Commission meeting.

Kelly Mullett, ADMINISTRATIVE ASSISTANT

APPROVED:

Daron Bracht, CHAIR



CITY OF
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AGENDA ITEM NO. 1
Type: Public Meeting
Date: June 17, 2020

Historic District Commission Staff Report

50 Natoma Street, Council Chambers
Folsom, CA 95630

Project: 310 Mormon Street Addition
File #: PN 20-061
Request: Design Review
Location: 310 Mormon Street
Parcel(s): 070-0120-024
Staff Contact: Josh Kinkade, Assistant Planner, 916-461-6209
jkinkade@folsom.ca.us

Property Owner/Applicant

Name: Shelly Castro
Address: 310 Mormon St.
Folsom, CA 95820

Recommendation: Conduct a public meeting, and upon conclusion recommend approval of an application for Design Review of a 562-square-foot addition to an existing single-family residence located at 310 Mormon Street as illustrated on Attachment 5 for the 310 Mormon Street Addition project (PN 20-061) subject to the findings included in this report (Findings A-H) and attached conditions of approval (Conditions 1-6).

Project Summary: The proposed project includes a 562-square-foot addition (including conversion of an existing 466 square-foot carport and the addition of 96 square feet of new living space) to an existing 880-square-foot single-family residence located at 310 Mormon Street. The property is located within the Central Subarea of the Historic Residential Primary Area of the Historic District.

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- 7 - Public Comment Letters
- 8 – Staff PowerPoint Presentation



CITY OF
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AGENDA ITEM NO. 1
Type: Public Meeting
Date: June 17, 2020

Submitted,

PAM JOHNS
Community Development Director

ATTACHMENT 1 DESCRIPTION/ANALYSIS

APPLICANT'S PROPOSAL

The applicant, Shelly Castro, is proposing a 562-square-foot residential addition to an existing 880-square-foot single-family residence at 310 Mormon Street. The addition includes conversion of an existing 466 square-foot carport and the addition of 96 square feet of new living space extending beyond the existing carport. The proposed site plan, floor plan, and elevations are shown in Attachment 5. The applicant proposes to match the 8-inch tongue and groove wood siding and taupe window and door trim of the existing residence. Roofing of the 96-square-foot addition is proposed to match the thermoplastic single-ply roof covering of the carport. The property is located within the Central Subarea of the Historic Residential Primary Area of the Historic District.

POLICY/RULE

Section 17.52.300 of the Folsom Municipal Code states that the Historic District Commission shall have final authority relating to the design and architecture of all exterior renovations, remodeling, modification, addition or demolition of existing structures within the Historic District.

ANALYSIS

General Plan and Zoning Consistency

The General Plan land use designation for the project site is MLD (Multi-Family, Low Density), and the zoning designation for the project site is R-2 (Two-Family Residential District), within the Central Subarea of the Historic Residential Primary Area. Single-family residences are allowed in both the R-2 zone and the Central Subarea by right.

Section 17.52.540 of the Folsom Municipal Code institutes requirements for lot size, lot width, setbacks, pervious surface, and building height in the Historic Residential Primary Area. The design standards established within the Historic District Design and Development Guidelines (DDGs) also apply to this project.

The proposed addition meets all FMC zoning requirements, as demonstrated in the table on the following page, which demonstrates how the proposed project relates to setback, pervious surface, height and parking requirements for the Central Subarea:

	<u>REQUIRED</u>	<u>PROPOSED</u>
Minimum Lot Size	7,000 SF	8,000 SF
Minimum Lot Width	50 Feet	100 Feet
Front Setback	20 Feet	30 Feet (existing)
Rear Setback	20 Feet	20 Feet (existing)
Side Setback	5 Feet, 5 Feet	26 Feet (existing), 12 Feet (addition)
Minimum Pervious Surface	45%	66% (proposed)
Parking Requirement	2 Parking Spaces	2 Parking Spaces
Maximum Building Height	35 Feet	15 Feet (existing)
Setback to Other Structures on the Property	10 Feet	n/a

To ensure that the property has legal access, and to ensure that the property line dimensions (and therefore the setbacks) are accurate, staff has included Condition No. 3, which states that a site survey and title report is required prior to approval of a building permit.

Building Design/Architecture

Chapter 5.04.03(b) of the DDG's, which addresses the design concepts for the Central Subarea, states that the subarea provides property owners with broad discretion in choosing styles from the entire 1850-1950 time frame, guided by the overall principles and any designation of significance of the building or site. The existing residence was built in 1956 and has horizontal 8-inch wood siding with taupe window trim and brick-colored asphalt shingle roofing.

The DDG's state that exterior materials and finishes should be of residential grade, durable and of high quality and should include details appropriate for design period of the Subarea and building style. The proposed project includes the conversion of an existing 466-square-foot carport into living space and a 96-square-foot addition extending beyond the existing carport. The applicant proposes to match the 8-inch tongue and groove wood siding and taupe window and door trim of the existing residence. Roofing of the 96-square-foot addition is proposed to match the thermoplastic single-ply roof covering of the carport.

Proposed windows on the enclosure and addition are primarily vertically oriented and include trim, consistent with DDG guidelines. Roofing is proposed to follow the shallow pitch of the existing carport. While staff would prefer that the entire roof of the carport and addition match the 12/5 pitch of the existing residence, staff understands that the carport's roof is existing, and the 96-square-foot addition should follow the slope of that of the converted carport. Furthermore, the residence's only street frontage is on an alley, and therefore, the need for a consistent roof on the entire structure is less

important given the residence's subdued location. As such, staff supports the roofing plan as proposed.

Staff has determined that the overall design, colors, materials, and layout of the proposed addition is consistent with the design and development guidelines for the Central Subarea of the Historic Residential Primary Area. Staff has concluded that the applicant has met the design standards identified in the DDG's.

PUBLIC COMMENTS

Public comment letters were received via email from the Historic Folsom Residents Association (HFRA) and the Heritage Preservation League of Folsom (HPL) (included as Attachment 7).

In their email, HFRA expressed concern regarding lack of an interior door from the addition to the current residence and the potential for the addition to be used as an accessory dwelling unit. The proposed floor plans show an internal door between the current residence and the addition, and no separate kitchen facilities are proposed in the addition area. As such, staff is satisfied with the floor plan as proposed.

HPL's letter states several concerns with the proposed project. Generally, HPL wants to ensure the City has evidence that the vacated Figueroa Street/Mormon Street Alley has been incorporated with the property, that a private access easement to Coloma Street has been dedicated to the property owner, and that feedback regarding addressing is received from the Fire Department. Condition No. 3 addresses the concerns regarding legal access and lot dimensions by requiring a title report and site survey prior to approval of a building permit. Addressing will be reviewed by the Fire Department as part of the Building Permit process required in Condition No. 1.

The letter then asks for demonstration that positive drainage can be maintained on the project site, that additional drainage will not be directed towards adjacent properties, and that the tree on the east side of the driveway is potentially saved. The Design Review application has been reviewed by both the Engineering Division and the City Arborist, and no additional conditions were deemed necessary for the proposed project outside of the typical tree permit, building permit and grading plan (if necessary) that such a project is required to obtain. Finally, HPL asked that the north façade of the residence be modified to add a pitched roof, a paneled door with a window on the upper half, a porch and roof cover at the new entrance area, and a window on one side of the entrance door. Staff notes that the addition is for a bedroom and bathroom, and that that a main entrance and front door are already located on the west elevation of the existing residence. As such, staff is not recommending any additional architectural conditions based on the comments in this letter.

ENVIRONMENTAL REVIEW

The project is categorically exempt under Section 15301 (Existing Facilities) of the California Environmental Quality Act (CEQA) Guidelines. Based on staff's analysis of this project, none of the exceptions in Section 15300.2 of the CEQA Guidelines apply to the use of the categorical exemption(s) in this case.

RECOMMENDATION/HISTORIC DISTRICT COMMISSION ACTION

Move to approve an application for Design Review of a 562-square-foot addition to an existing single-family residence located at 310 Mormon Street as illustrated on Attachment 5 for the 310 Mormon Street Addition project (PN 20-061) subject to the findings included in this report (Findings A-H) and attached conditions of approval (Conditions 1-6).

GENERAL FINDINGS

- A. NOTICE OF PUBLIC MEETING HAS BEEN GIVEN AT THE TIME AND IN THE MANNER REQUIRED BY STATE LAW AND CITY CODE.
- B. THE PROJECT IS CONSISTENT WITH THE GENERAL PLAN AND ZONING CODE OF THE CITY.

CEQA FINDINGS

- C. THE PROJECT IS CATEGORICALLY EXEMPT FROM ENVIRONMENTAL REVIEW UNDER SECTION 15301 (EXISTING FACILITIES) OF THE CALIFORNIA ENVIRONMENTAL QUALITY ACT (CEQA) GUIDELINES.
- D. THE CUMULATIVE IMPACT OF SUCCESSIVE PROJECTS OF THE SAME TYPE IN THE SAME PLACE, OVER TIME IS NOT SIGNIFICANT IN THIS CASE.
- E. NO UNUSUAL CIRCUMSTANCES EXIST TO DISTINGUISH THE PROPOSED PROJECT FROM OTHERS IN THE EXEMPT CLASS.
- F. THE PROPOSED PROJECT WILL NOT CAUSE A SUBSTANTIAL ADVERSE CHANGE IN THE SIGNIFICANCE OF A HISTORICAL RESOURCE.

DESIGN REVIEW FINDINGS

- G. THE BUILDING MATERIALS, TEXTURES AND COLORS USED IN THE PROPOSED PROJECT ARE COMPATIBLE WITH SURROUNDING DEVELOPMENT AND ARE CONSISTENT WITH THE GENERAL DESIGN THEME OF THE NEIGHBORHOOD.

- H. THE PROPOSED PROJECT IS IN CONFORMANCE WITH THE HISTORIC DISTRICT DESIGN AND DEVELOPMENT GUIDELINES ADOPTED BY CITY COUNCIL.

**ATTACHMENT 2
BACKGROUND**

BACKGROUND

Sacramento County records indicate that the existing 898-square-foot single-family residence located at 310 Mormon Street was first constructed in 1956. The residence features a simple Craftsman design, with 8-inch horizontal wood siding painted off-white, with taupe window trim and brick-colored composition shingle roofing. Photographs of the existing residence are included as Attachment 6. The property does not appear on the City of Folsom's Cultural Resources Inventory. The subject property is located in the Central Subarea of the Historic Residential Primary Area of the Historic District, with an underlying zoning of R-2 (Two-Family Residence District).

GENERAL PLAN DESIGNATION

MLD, Multi-Family, Low Density

ZONING

CEN, Central Subarea of the Historic Residential Primary Area, with an underlying zoning of R-2 (Two-Family Residence District)

ADJACENT LAND USES/ZONING

North: Figueroa Street/Mormon Street alley with single-family residences beyond (Figueroa Subarea)
South: Existing residences (CEN)
East: Existing residences (CEN)
West: Existing residences (CEN)

SITE CHARACTERISTICS

The 8,000-square-foot project site contains an existing residence with an attached carport, and site landscaping.

APPLICABLE CODES

FMC Section 17.52 HD, Historic District
FMC Section 17.52.300, Design Review
FMC Section 17.52.330, Plan Evaluation
FMC Section 17.52.340, Approval Process
FMC Section 17.52.540, Historic Residential Primary Area Special Use and Design Standards
Historic District Design and Development Guidelines

ATTACHMENT 3

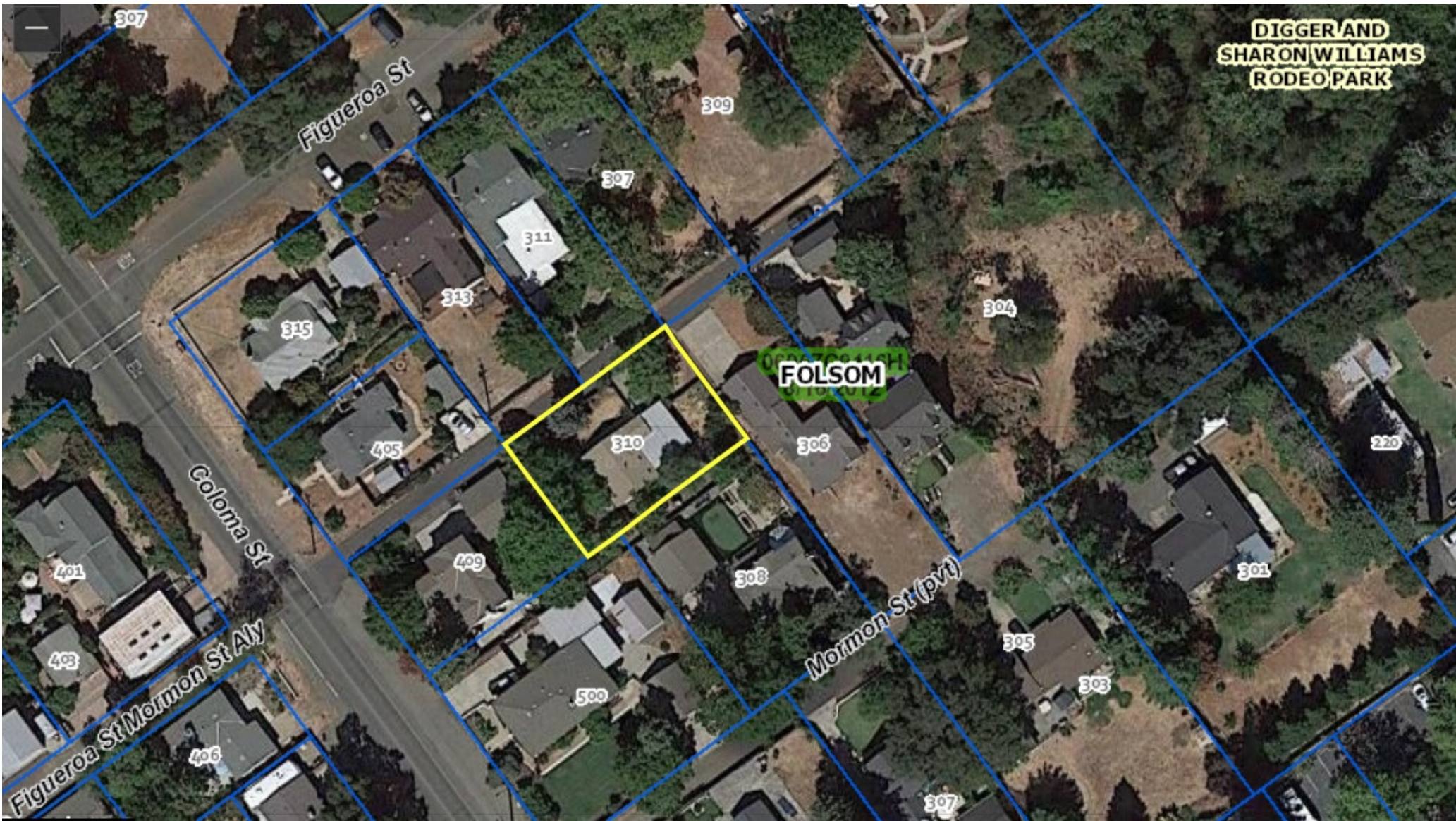
Proposed Conditions of Approval

**CONDITIONS OF APPROVAL FOR
 310 MORMON STREET ADDITION DESIGN REVIEW
 (PN 20-061)**

Cond. No.	Mitigation Measure	GENERAL REQUIREMENTS	When Required	Responsible Department
1.		Issuance of a Building Permit is required. The applicant shall submit final site and building plans to the Community Development Department that substantially conform to the site plan, building elevations, and floor plans received May 4, 2020. Implementation of this project shall be consistent with the above referenced items as modified by these conditions of approval.	B	CD (B)
2.		Compliance with all local, state and federal regulations pertaining to building construction is required.	OG	CD (B)
3.		A site survey and title report are required to be submitted to the Community Development Department and approved prior to approval of a building permit. If the site survey and/or title report find that the site does not have legal access or if the property lines show that the proposed project is inside of a required setback, this approval is null and void until such a time that legal access is provided and setbacks are met.	B	CD (E)
4.		If any archaeological, cultural, or historical resources or artifacts, or other features are discovered during the course of construction anywhere on the project site, work shall be suspended in that location until a qualified professional archaeologist assesses the significance of the discovery and provides recommendations to the City. The City shall determine and require implementation of the appropriate mitigation as recommended by the consulting archaeologist. The City may also consult with individuals that meet the Secretary of the Interior’s Professional Qualifications Standards before implementation of any recommendation. If agreement cannot be reached between the project applicant and the City, the Historic District Commission shall determine the appropriate implementation method.	G, I, B	CD (P)(E)(B)
5.		In the event human remains are discovered, California Health and Safety Code Section 7050.5 states that no further disturbance shall occur until the county coroner has made the necessary findings as to the origin and disposition pursuant to Public Resources Code 5097.98. If the coroner determines that no investigation of the cause of death is required and if the remains are of Native American Origin, the coroner will notify the Native American Heritage Commission, which in turn will inform a most likely decedent. The decedent will then recommend to the landowner or landowner’s representative appropriate disposition of the remains and any grave goods.	G, I, B	CD (P)(E)(B)
6.		The project approval granted under this staff report shall remain in effect for two years from final date of approval (June 17, 2022). Failure to obtain the relevant building, demolition, or other permits within this time period, without the subsequent extension of this approval, shall result in the termination of this approval.	B	CD (P)

RESPONSIBLE DEPARTMENT		WHEN REQUIRED	
CD (P) (E) (B) (F)	Community Development Department Planning Division Engineering Division Building Division Fire Division	I	Prior to approval of Improvement Plans
		M	Prior to approval of Final Map
		B	Prior to issuance of first Building Permit
		O	Prior to approval of Occupancy Permit
		G	Prior to issuance of Grading Permit
PW	Public Works Department	DC	During construction
PR	Park and Recreation Department	OG	On-going requirement
PD	Police Department		

Attachment 4 Vicinity Map

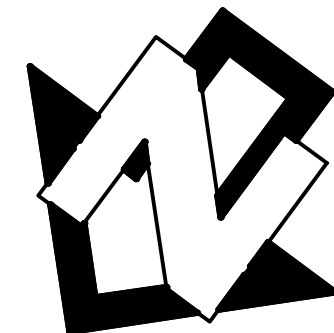


Attachment 5
Site Plan, Floor Plan and Elevations, Received
May 4, 2020

REMODEL/ADDITION PLANS FOR:

310 MORMON STREET

CITY OF FOLSOM, CA. A.P.N.: 070-0120-024



PROJECT DATA:

ZONING: R-2
 OCCUPANCY: GROUP R-3
 TYPE OF CONSTRUCTION: V-B
 GENERAL PLAN DESIGNATION: SINGLE FAMILY DWELLING (SF)
 FIRE SPRINKLERS: NOT REQUIRED-EXISTING BUILDING IS CONTAINING NON-FIRE SPRINKLERS

MODEL CODE:

2019 CALIFORNIA BUILDING CODE
 2019 CALIFORNIA RESIDENTIAL CODE
 2019 CALIFORNIA MECHANICAL CODE
 2019 CALIFORNIA PLUMBING CODE
 2019 CALIFORNIA ELECTRICAL CODE
 2019 CALIFORNIA GREEN BUILDING STANDARDS CODE
 2019 CALIFORNIA ENERGY CODE
 2019 CALIFORNIA FIRE CODE
 CURRENT CITY OF FOLSOM ORDINANCES

ABBREVIATIONS:

A/C	AIR CONDITIONING	MFR	MANUFACTURE
ABV	ABOVE	MIN	MINIMUM
ACCS	ACCESS	MISC	MISCELLANEOUS
AMP	AMPERE	NO	NUMBER
APN	ASSESSOR PARCEL NUMBER	NTS	NOT TO SCALE
APPROX	APPROXIMATELY	OC	ON CENTER
BC	BASE CABINET	OH	OVER HANG
BLDG	BUILDING	OPNG	OPENING
CAB(S)	CABINET(S)	OSA	OUTSIDE AIR
CL	CENTER LINE	PKT	POCKET
CLG	CEILING	PL	PROPERTY LINE
CLR	CLEAR	PP	POWER POLE
COL	COLUMN	PR	PAIR
COMBO	COMBINATION	PUE	PUBLIC UTILITY EASEMENT
CONC	CONCRETE	PWDR	POWDER
COVR'D	COVERED	REF	REFRIGERATOR
DBL	DOUBLE	REQ	REQUIRED
DEPT	DEPARTMENT	RET	RETAINING
DF	DOUGLAS FIR	ROW	RIGHT OF WAY
DN	DOWN	S & P	SHELF & POLE
DP	DEEP	SBL	SETBACK LINE
DRS	DOORS	SHLVS	SHELVES
DRY	DRYER	SPCG	SPACING
DSPSL	DISPOSAL	SC	SOLID CORE
DW	DISH WASHER	SH	SINGLE HUNG
EA	EACH	SLF CLS	SELF CLOSE
ELECT	ELECTRICAL	SPECS	SPECIFICATIONS
ENCLS	ENCLOSURE	SQ FT	SQUARE FOOT (FEET)
EP	EDGE OF PAVEMENT	SS	SEWER SERVICE
(E)	EXISTING	STNDG	STANDING
EXIST	EXISTING	TBC	TOP BACK OF CURB
FF	FINISHED FLOOR	TC	TRASH COMPACTOR
FP	FIREPLACE	TMP	TEMPERED
FXD	FIXED	TYP	TYPICAL
GLS	GLASS	UC	UPPER CABINET
GYP	GYPNUM	UNO	UNLESS NOTED OTHERWISE
HGT, HT	HEIGHT	WF	WET IN FIELD
HORIZ	HORIZONTAL	WASH	WASHER
HB	HOSE BIB	WD	WOOD
HR	HOUR	WM	WATER METER
LNDC	LANDING	W/	WITH
MAX	MAXIMUM	WT	WEIGHT
MED	MEDICINE	XO	FIXED/SLIDING

SQUARE FOOTAGE:

EXISTING FLOOR AREA= 880 SQ. FT.
 EXISTING CARPORT/STORAGE AREA= 466 SQ. FT.
 EXISTING COVERED PORCH AREA= 94 SQ. FT.
 PROPOSED FLOOR AREA= 562 SQ. FT.
 TOTAL FLOOR AREA= 1,442 SQ. FT.

DESIGN CRITERIA:

SEISMIC DESIGN D SITE CLASS D
 110 MPH BASIC WIND SPEED ROOF LIVE LOAD 20 PSF
 WITH 3 SECOND GUST NO SNOW LOADING REQ.
 WIND EXPOSURE C CLIMATE ZONE 12

PROJECT DESCRIPTION

THE PROJECT WILL BE AN ADDITION TO BE CONSTRUCTED WITHIN THE AREA OF THE EXISTING CARPORT/STORAGE/PATIO AREA. A BATHROOM WILL BE EXTENDED BEYOND THE EXISTING FOOTPRINT. THE MATERIALS AND COLORS WILL MATCH THE EXISTING RESIDENCE.

LEGAL DESCRIPTION:

THE CENTRAL SUBAREA HISTORIC DISTRICT
 CITY OF FOLSOM, SACRAMENTO COUNTY, CALIFORNIA.
 310 MORMON STREET
 APN- 070-0120-024

LOT COVERAGE:

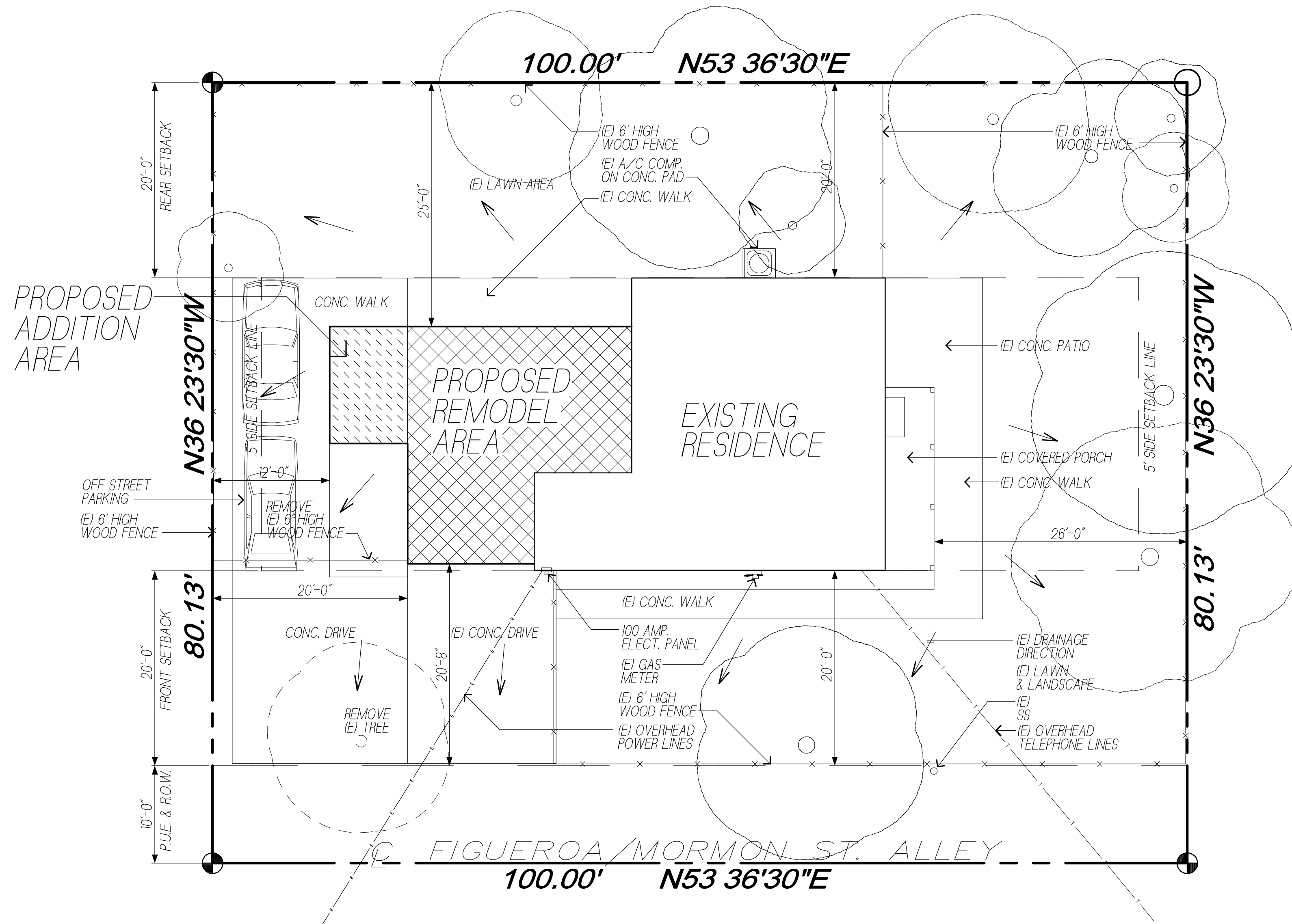
LOT SIZE- 8,000 SQ. FEET
 EXIST. MAIN RESIDENCE/CVR'D PORCH AREA AND PROPOSED ADDITION AREA= 1,536 SQ. FT.
 LOT COVERAGE- 19%
 TOTAL CONCRETE AREA= 1,181 SQ. FT.
 PERVIOUS SURFACE- 66%

GENERAL NOTES:

- CONTRACTOR SHALL VISIT SITE PRIOR TO BIDDING, AND BECOME GENERALLY FAMILIAR WITH ONSITE AND OFFSITE CONDITIONS WHICH AFFECT THE WORK AND PROCESSES OF CONSTRUCTION.
- THESE PLANS ARE FOR GENERAL CONSTRUCTION PURPOSES ONLY. THEY ARE NOT SPECIFIED. IT IS THE RESPONSIBILITY OF THE OWNER AND CONTRACTOR TO SELECT, VERIFY, RESOLVE AND INSTALL ALL MATERIALS AND EQUIPMENT WITH COMPLIANCE.
- THE BUILDING DESIGNER WILL NOT BE OBSERVING CONSTRUCTION OF THIS PARTICULAR PROJECT. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR THE QUALITY CONTROL AND STANDARDS FOR THE PROJECT.
- THE WORK SHALL BE COMPLETED IN ACCORDANCE WITH APPLICABLE LAWS, LOCAL ORDINANCES AND BUILDING CODES. THE JOBSITE SHALL BE MAINTAINED CLEAN AND ORDERLY. ALL DEBRIS AND STORED MATERIALS SHALL BE HANDLED ON A DAILY BASIS SO AS NOT TO ENCUMBER THE SITE. ALL DEBRIS OR CONSTRUCTION/DEMOLITION MATERIALS SHALL BE DISPOSED OF IN A LEGAL MANNER.
- THE BUILDING DESIGNER ASSUMES NO RESPONSIBILITY FOR ANY CHANGES, ERRORS OMISSIONS, OR DEVIATIONS BY THE OWNER OR CONTRACTOR, EITHER INTENTIONAL OR ACCIDENTAL.
- CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL PROPERTY LINES, VERIFYING ALL SETBACKS, EASEMENTS AND RIGHTS OF WAYS. CONTRACTOR SHALL VERIFY THE NEW WILL BE CONSTRUCTED WITHOUT ENCROACHING ANY OF THESE BOUNDARIES. DISCREPANCIES WILL BE BROUGHT TO THE ATTENTION OF THE DESIGNER AND RESOLVED PRIOR TO CONSTRUCTION. IF THE PROPERTY CORNERS MUST BE LOCATED BY A LICENSED ENGINEER IT IS THE RESPONSIBILITY OF THE PROPERTY OWNER.
- CONSTRUCTION SHALL BE OF THE HIGHEST QUALITY OF WORKMANSHIP. ALL WALLS SHALL BE PLUMB AND TRUE. ALL CONNECTIONS SHALL BE SECURE ACCORDING TO ACCEPTED CONSTRUCTION PRACTICES OR AS PER THE CURRENT C.B.C.
- THESE DRAWINGS HAVE BEEN PREPARED WITH THE UTMOST CARE FOR RELIABLE AND ACCURATE INFORMATION. THE DESIGNER IS NOT RESPONSIBLE FOR ERRORS OR OMISSIONS FOUND OR CHANGES DUE TO UNFORESEEN FIELD CONDITIONS OR HUMAN ERROR. NOTIFY THE DESIGNER OF ANY DISCREPANCIES PRIOR TO RESUMPTION OF WORK OR ITEMS IN QUESTION.

DRAWING INDEX:

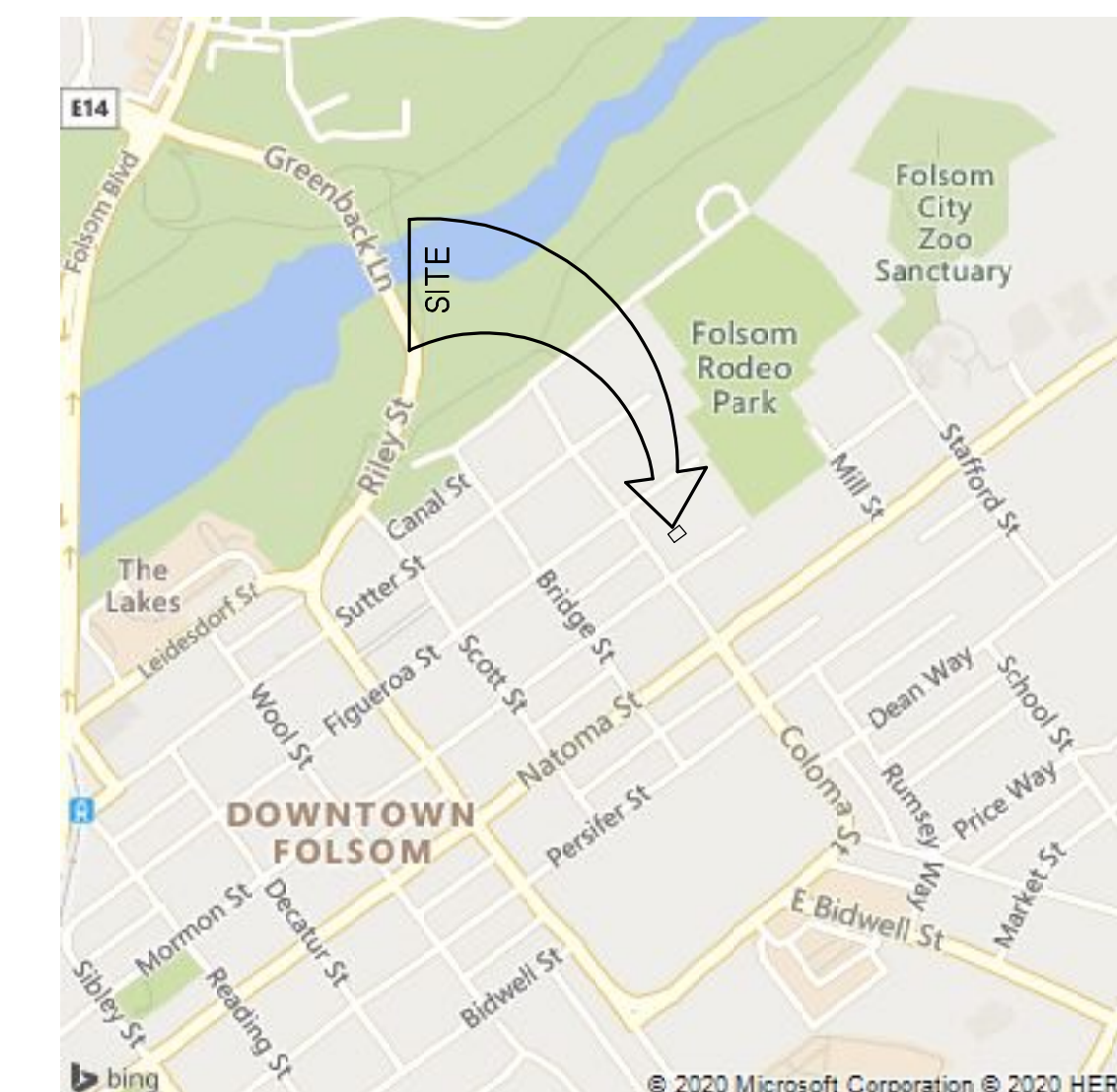
P1 PLOT PLAN/COVER SHEET
 1 EXISTING & PROPOSED FLOOR PLANS/NOTES & LEGENDS
 3 ROOF FRAMING PLAN
 5 EXTERIOR ELEVATIONS



Plot Plan

VICINITY MAP

N.T.S.



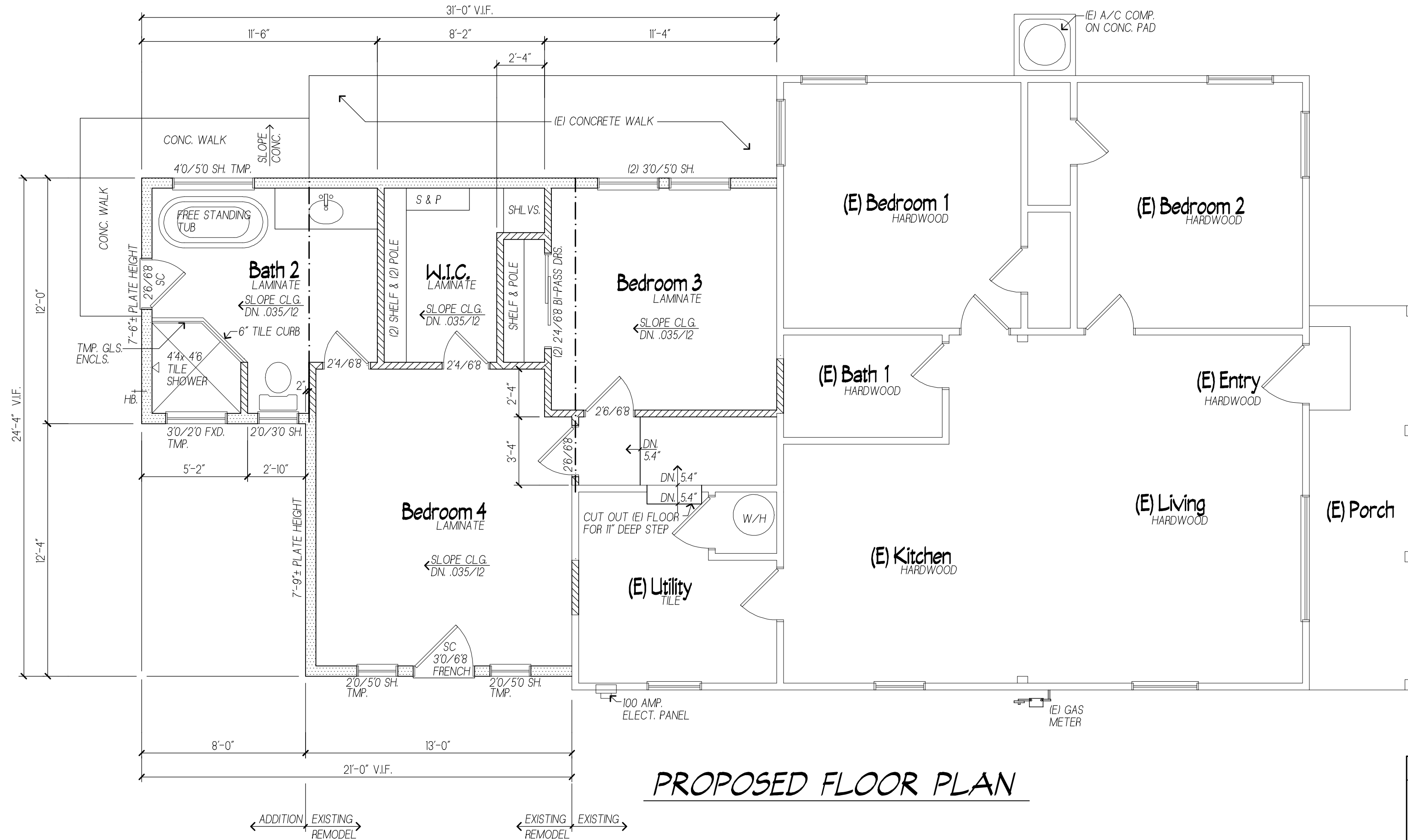
DATE	REVISIONS
ENGINEER	Paulo Ibanez P.E.
	P.O. Box 781 Citrus Heights, CA. 95611 Ph. (916) 524-3052 pibanez@surewest.net
DESIGNER	d.l. potts drafting services
	Deanna L. Potts Orangevale, Ca. 95662 Off./Fax (916) 988-7368 dpotlsdra@tffng@gmail.com
PROJECT	CASTRO RESIDENCE ADDITION 310 MORMON STREET FOLSOM, CA. 95630 CITY OF FOLSOM, COUNTY OF SACRAMENTO APN-070-0120-024
OWNER	SHELLY CASTRO 310 MORMON STREET FOLSOM, CA. 95630 CELL PH.- (916) 521-3598
PLOT PLAN/ COVER SHEET	
DATE	2-16-20
DRAWN	dlp
SCALE	1/8" = 1'-0"
JOB#	19-782
SHEET	P1

DATE	REVISIONS
ENGINEER	Paulo Ibanez P.E. P.O. Box 781 Citrus Heights, CA. 95611 Ph. (916) 524-3052 pibanez@surewest.net
DESIGNER	d. l. potts drafting services Deanna L. Potts Orangevale, Ca. 95662 Off./Fax (916) 988-7368 dlpottsdrafting@gmail.com
PROJECT	CASTRO RESIDENCE ADDITION 310 MORMON STREET FOLSOM, CA. 95630 CITY OF FOLSOM, COUNTY OF SACRAMENTO APN-070-010-024
OWNER	SHELLY CASTRO 310 MORMON STREET FOLSOM, CA. 95630 CELL PH. - (916) 521-3598
PROPOSED & EXISTING FLOOR PLANS/NOTES/LEGENDS	
DATE	2-16-20
DRAWN	d/p
SCALE	1/4" = 1'-0"
JOB#	19-782
SHEET	1

FLOOR NOTES:

- 1) ALL CONSTRUCTION SHALL COMPLY WITH THE 2019 C.C.C., C.B.C., C.M.C., C.P.C., C.E.C., C.F.C., 2019 CALIFORNIA & ENERGY CODE, PLUS ALL LOCAL GOVERNING CODES.
- 2) CONTRACTOR IS TO FIELD VERIFY ALL EXISTING DIMENSIONS, MATERIALS & CONSTRUCTION METHODS PRIOR TO STARTING CONSTRUCTION. NEW CONSTRUCTION AND MATERIALS TO MATCH WHERE APPLICABLE.
- 3) CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL PROPERTY LINES, VERIFYING ALL SETBACKS, EASEMENTS & RIGHT OF WAYS. CONTRACTOR TO VERIFY THAT FOOTPRINT OF HOUSE WILL BE CONSTRUCTED WITHOUT ENCRoACHING WITHIN THESE BOUNDARIES. IF PROPERTY CORNERS ARE TO BE LOCATED BY A LICENSED ENGINEER IT IS THE OWNERS RESPONSIBILITY.
- 4) THE DESIGNER WILL NOT BE RESPONSIBLE FOR ANY CHANGES, DELETIONS OR SUBSTITUTIONS OF MATERIALS OR METHODS WITHOUT PRIOR WRITTEN APPROVAL.
- 5) WRITTEN DIMENSIONS, CONSTRUCTION DETAILS AND APPROVED BUILDING DEPT. SET HAVE PRECEDENCE OVER SCALED DIMENSIONS OR ALTERNATIVE BUILDING SETS.
- 6) EVERY EFFORT HAS BEEN MADE TO ASSURE THE ACCURACY OF THESE DRAWINGS. ANY ERRORS, OMISSIONS FOUND OR CHANGES DUE TO UNFORSEEN FIELD CONDITIONS OR HUMAN ERROR SHALL BE BROUGHT TO THE DESIGNERS ATTENTION AND RESOLVED PRIOR TO RESUMPTION OF WORK IN QUESTION.
- 7) THE DESIGNER IS NOT RESPONSIBLE FOR THE TIME OR CRAFTSMANSHIP OF WORK PERFORMED BY THE LICENSED CONTRACTOR.
- 8) ALL EQUIPMENT, APPLIANCES, FIXTURES, HARDWARE, FINISH MATERIALS AND COLOR SELECTIONS TO BE DETERMINED BY AGREEMENT BETWEEN THE OWNER AND GENERAL CONTRACTOR.
- 9) CONTRACTOR IS RESPONSIBLE TO REVIEW AND COMPLY WITH STRUCTURAL ENGINEERS CALCULATIONS.
- 10) ALL WALL FRAME TO BE 2" STUDS DF. # 2 OR BETTER @ 16" OC. (Unless Noted Otherwise)
- 11) PLATE HEIGHT TO BE AS NOTED ON PLAN.
- 12) INSULATION: CEILING= R-38, WALLS= R-19
- 13) ALL OPENING HEADERS TO BE DF # 2 OR BETTER (UNO) HEADERS MORE THAN 6'-0" IN LENGTH TO HAVE DBL. CRIPPLE STUDS @ EACH END.
- 14) ALL ANCHOR BOLTS ON PRESSURE TREATED WOOD PLATE SHALL BE HOT-DIPPED ZINC-COATED GALVANIZED, STAINLESS STEEL OR ALUMINUM ALLOY CORROSION RESISTANT.

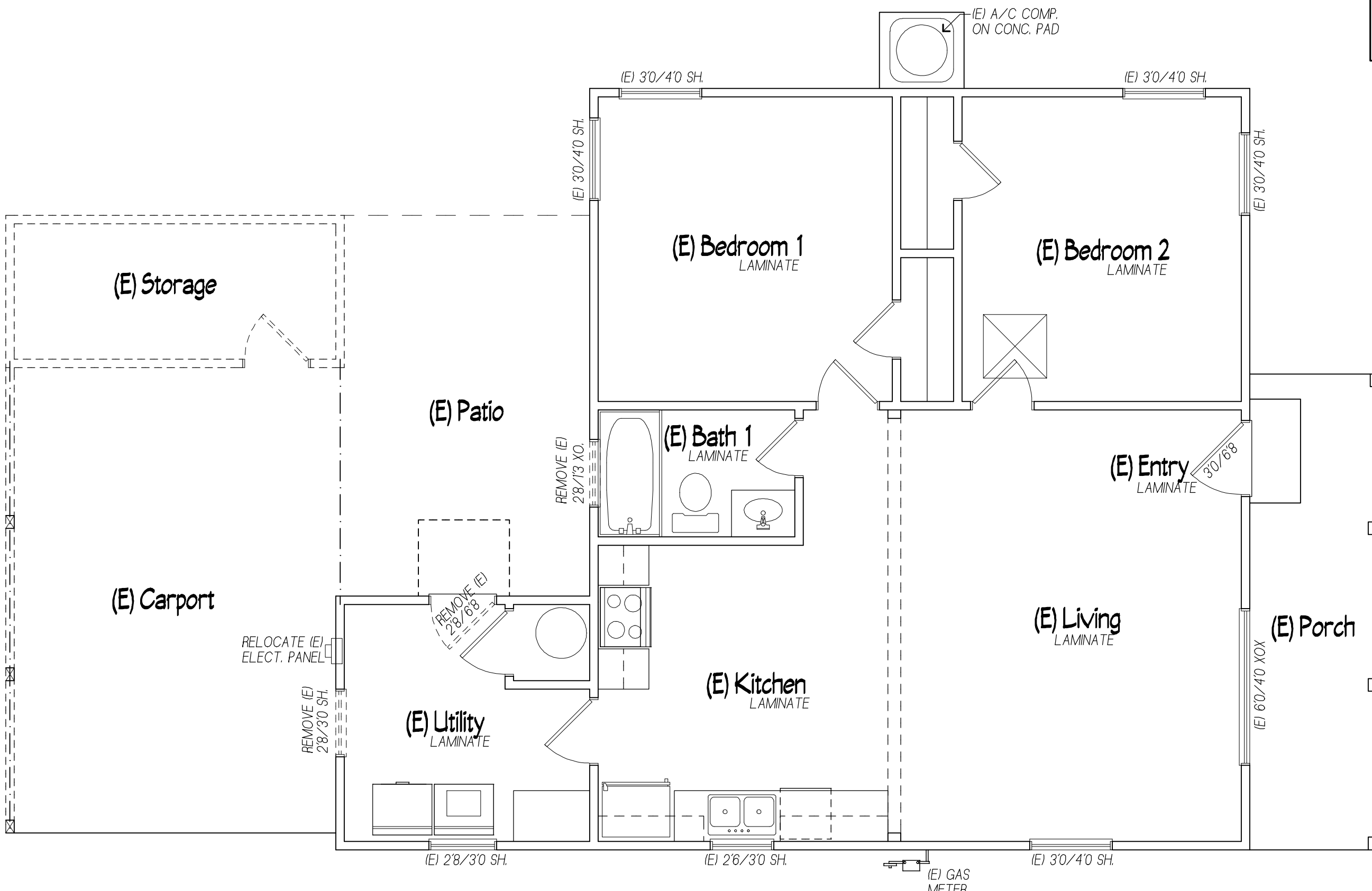
- 15) REFER TO SHEAR WALL TABLE FOR SIZE OF FRAMING MEMBERS & SILL PLATES AT ALL SHEAR WALLS. REFER TO SHEETS S31 & S31 FOR STANDARD DETAILS AND GENERAL NOTES.
- 16) EVERY SLEEPING ROOM SHALL HAVE AT LEAST ONE OPERABLE WINDOW OR DOOR APPROVED FOR EMERGENCY ESCAPE OR RESCUE. C.R.C. R310.
- MINIMUM CLEAR OPENING OF 57 SQ. FT.
- 24" MINIMUM NET CLEAR OPENING HEIGHT
- 20" MINIMUM NET CLEAR OPENING WIDTH
- BOTTOM NET CLEAR OPENING NOT GREATER THAN 44" ABOVE THE FLOOR
- 17) NATURAL LIGHT REQUIRED FOR ALL HABITABLE ROOMS AT 8% MINIMUM OF THE FLOOR AREA SERVED BY MEANS OF EXTERIOR GLAZED OPENINGS. C.R.C. R303.1
- 18) NATURAL VENTILATION REQUIRED FOR ALL HABITABLE ROOMS AT 4% MINIMUM OF THE FLOOR AREA SERVED BY MEANS OF EXTERIOR OPENINGS. C.R.C. R303.1
- 19) PROVIDE SAFETY GLAZING AT ALL HAZARDOUS LOCATIONS AS DESCRIBED PER C.R.C. R308.
- 20) ALL COUNTER TOPS TO BE A SOLID SURFACE, OWNER TO VERIFY MATERIAL.
- 21) ALL CABINETS & SHELVES TO BE CONFIRMED/DETERMINED, OWNER TO VERIFY.
- 22) PROVIDE OWNER DESIGN CHOICE BASEBOARD, DOOR AND WINDOW TRIM THROUGHOUT.
- 23) LANDINGS AT EXTERIOR DOORS TO BE NOT MORE THAN 7.75' BELOW THE DOORS THRESHOLD.
- 24) NOTCHING OF NON-BEARING WALLS SHALL NOT EXCEED 40% OF STUD AND BORED HOLES SHALL NOT EXCEED 60% OF STUD.
- 25) NOTCHING OF EXTERIOR BEARING WALLS SHALL NOT EXCEED 25% OF STUD AND BORED HOLES SHALL NOT EXCEED 40% OF STUD.
- 26) DRYWALL NAILING SHALL BE IN ACCORDANCE WITH C.B.C. REQUIREMENTS FOR THE TYPES AND THICKNESS BEING USED (UNO)
- 27) CONTRACTOR TO MATCH ALL DESIGNS, CONSTRUCTION AND MATERIALS WHERE APPLICABLE.



EXIST. FLOOR AREA=	880 SQ. FT.
EXIST. CARPORT/STORAGE AREA=	321 SQ. FT.
EXIST. COVR'D. PATIO AREA=	145 SQ. FT.
EXIST. COVR'D. PORCH AREA=	94 SQ. FT.
PROPOSED FLOOR AREA=	562 SQ. FT.
TOTAL FLOOR AREA=	1,442 SQ. FT.

DEMOLITION NOTES:

1. ALL WORK SHALL BE IN ACCORDANCE WITH APPLICABLE LOCAL, STATE AND FEDERAL REGULATIONS.
2. ALL DEMOLITION AND CONSTRUCTION DEBRIS SHALL BE REMOVED FROM THE SITE AND DISPOSED OF IN ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE AND FEDERAL RULES AND REGULATIONS.
3. THE CONTRACTOR IS RESPONSIBLE FOR REMOVAL, ADJUSTMENT OR DEMOLITION OF ANY AND ALL EXISTING ELEMENTS WHICH MAY BE IN CONFLICT WITH THE WORK. COORDINATE WITH OWNER OF AFFECTED ELEMENT PRIOR TO STARTING WORK.
4. EXISTING CONDITIONS, UTILITIES, SETBACKS AND EASEMENTS REPRESENT THE BEST INFORMATION AVAILABLE AND SHOULD NOT BE CONSTRUED AS EXACT AND COMPLETE AND ITS USE DOES NOT RELIEVE THE CONTRACTOR OF ANY RESPONSIBILITY FOR LOSSES DUE TO INACCURACIES. NOTIFY THE DESIGNER OF ANY DISCREPANCIES FOUND.
5. THE CONTRACTOR IS RESPONSIBLE TO VERIFY THE DESCRIBED WORK AND RESPONSIBLE FOR ONLY REMOVING THE REQUIRED ITEMS NEEDED TO COMPLETE THE PROPOSED WORK. CONTRACTOR SHALL PROVIDE SUPPORT BRACING, ETC. THAT MAY BE NEEDED TO ENSURE EXISTING STRUCTURE TO REMAIN IS SAFE AND LEAST AFFECTED.
6. ALL DEMOLITION WORK SHALL BE PERFORMED WITH MINIMUM DAMAGE TO THE EXISTING WORK TO REMAIN IT SHALL BE RECOGNIZED THAT THE UTMOST CARE BE TAKEN WHEN PERFORMING THE DEMOLITION WORK.
7. WHERE DEMOLITION AND CUTTING WORK HAS OCCURRED OR WHERE EXISTING SURFACES, MATERIALS OR OTHER ITEMS HAVE BEEN DAMAGED OR DISTURBED AS A RESULT OF THIS CONTRACT, THE SAID SURFACES AND AREAS SHALL BE CAREFULLY CLOSED UP, PATCHED AND FINISHED AND OR RESTORED AS REQUIRED TO BE CONTIGUOUS TO EXISTING SURROUNDING SURFACES.
8. CAREFULLY REMOVE ALL WALLS AND FRAMING MEMBERS. IF THERE IS ANY CONCERN WHETHER WALLS ARE BEARING OR THE STRUCTURAL INTEGRITY OF BUILDING IS IN QUESTION CONTACT THE DESIGNER OR ENGINEER BEFORE PROCEEDING.
9. WHERE ELECTRICAL, PLUMBING, VENTILATION AND GAS ITEMS NEED TO BE ABANDONED, REMOVED OR RELOCATED A LICENSED SUB MUST PERFORM ALL WORK. THEY MUST EACH VERIFY WORK TO BE PROVIDED TO BEST ACCOMMODATE THE DESIGN AND COMPLETE THE PROPOSED WORK AS REQUIRED FOLLOWING INDUSTRY STANDARDS AND ALL CODE REQUIREMENTS.
10. THE DESIGNER OF THIS PROJECT WILL NOT BE ON SITE TO OVERSEE ANY WORK PERFORMED. IT IS THE CONTRACTORS RESPONSIBILITY TO BE ON SITE OR IMMEDIATELY AVAILABLE FOR ASSURING THAT WORK IS BEING DONE PER PLANS AND TO CODE.
11. THE DESIGNER IS NOT RESPONSIBLE FOR ANY DELETIONS, OMISSIONS, DEVIATIONS OR CHANGES THAT MAY OCCUR IF PLANS DO NOT EXACTLY REPRESENT EXISTING OR PROPOSED CONDITIONS.



EXISTING FLOOR PLAN

DATE	REVISIONS

ENGINEER
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 pibanez@surewest.net

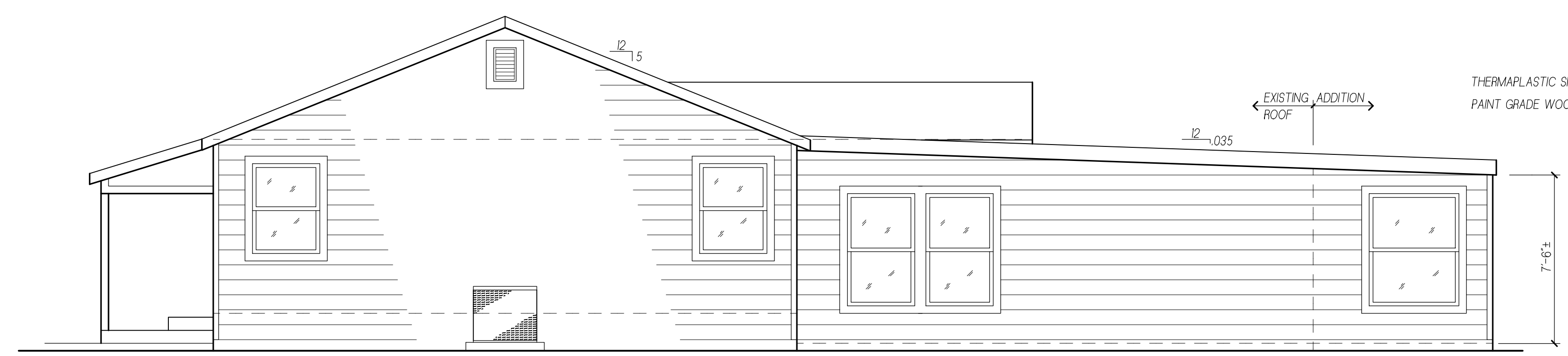
DESIGNER
d. l. potts drafting services
 Deanna L. Potts
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 O/H./Fax (916) 988-7368
 dpottdrafting@gmail.com

PROJECT
CASTRO RESIDENCE ADDITION
 310 MORMON STREET FOLSOM, CA. 95630
 CITY OF FOLSOM, COUNTY OF SACRAMENTO APN-070-020-024

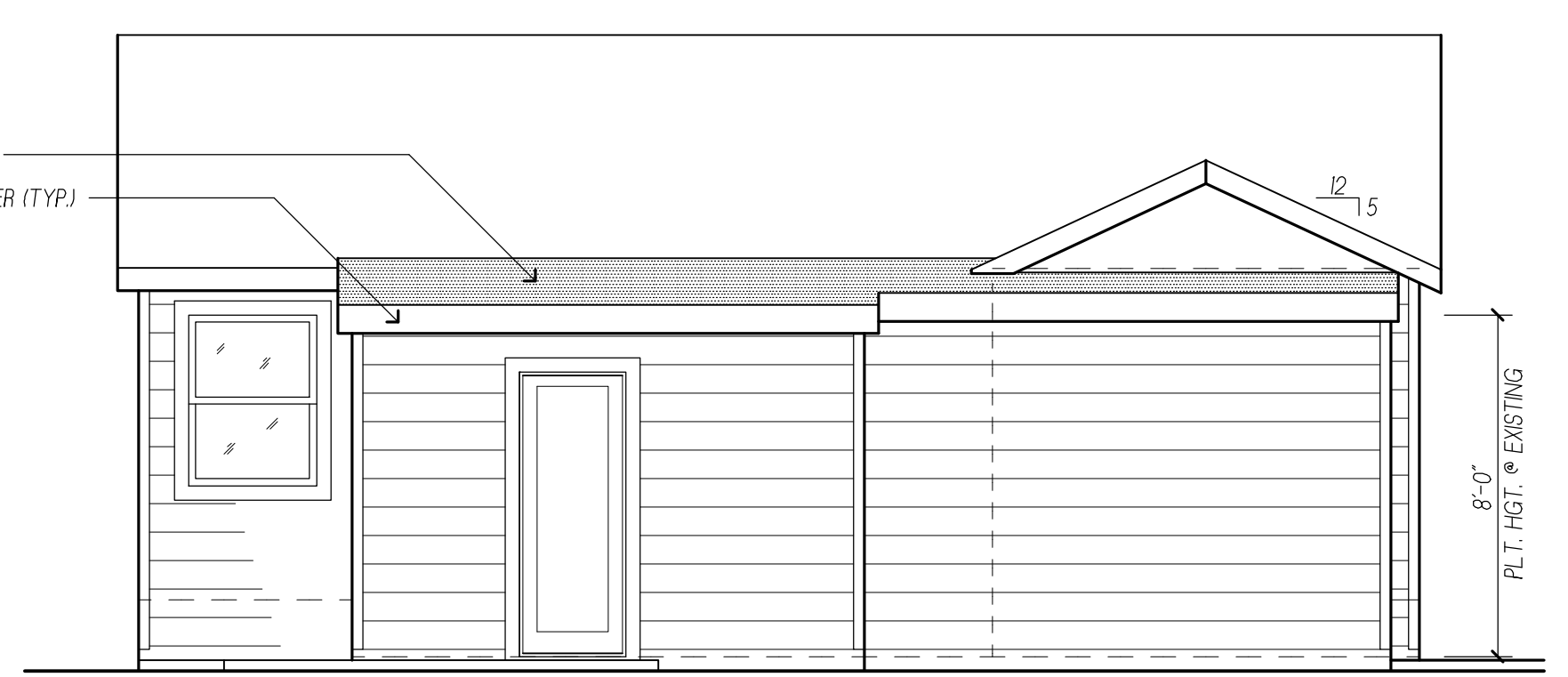
OWNER
 SHELLY CASTRO
 310 MORMON STREET FOLSOM, CA. 95630
 CELL PH.- (916) 521-3598

EXTERIOR ELEVATIONS

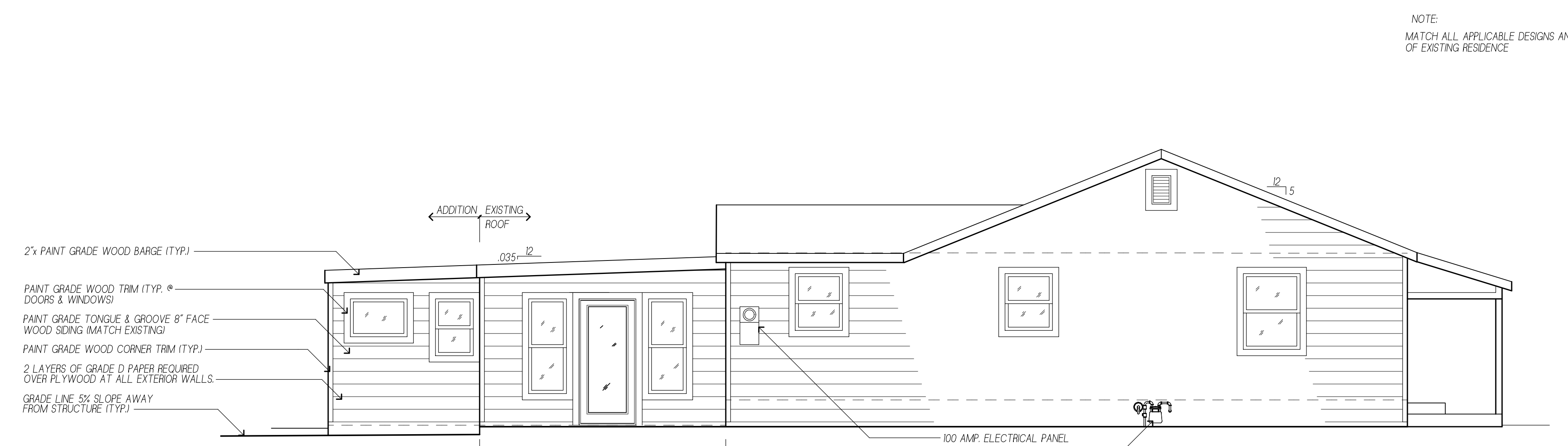
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 DRAWN: dlp
 SCALE: 1/4" = 1'-0"
 JOB#: 19-782
 SHEET:
5



REAR (South)

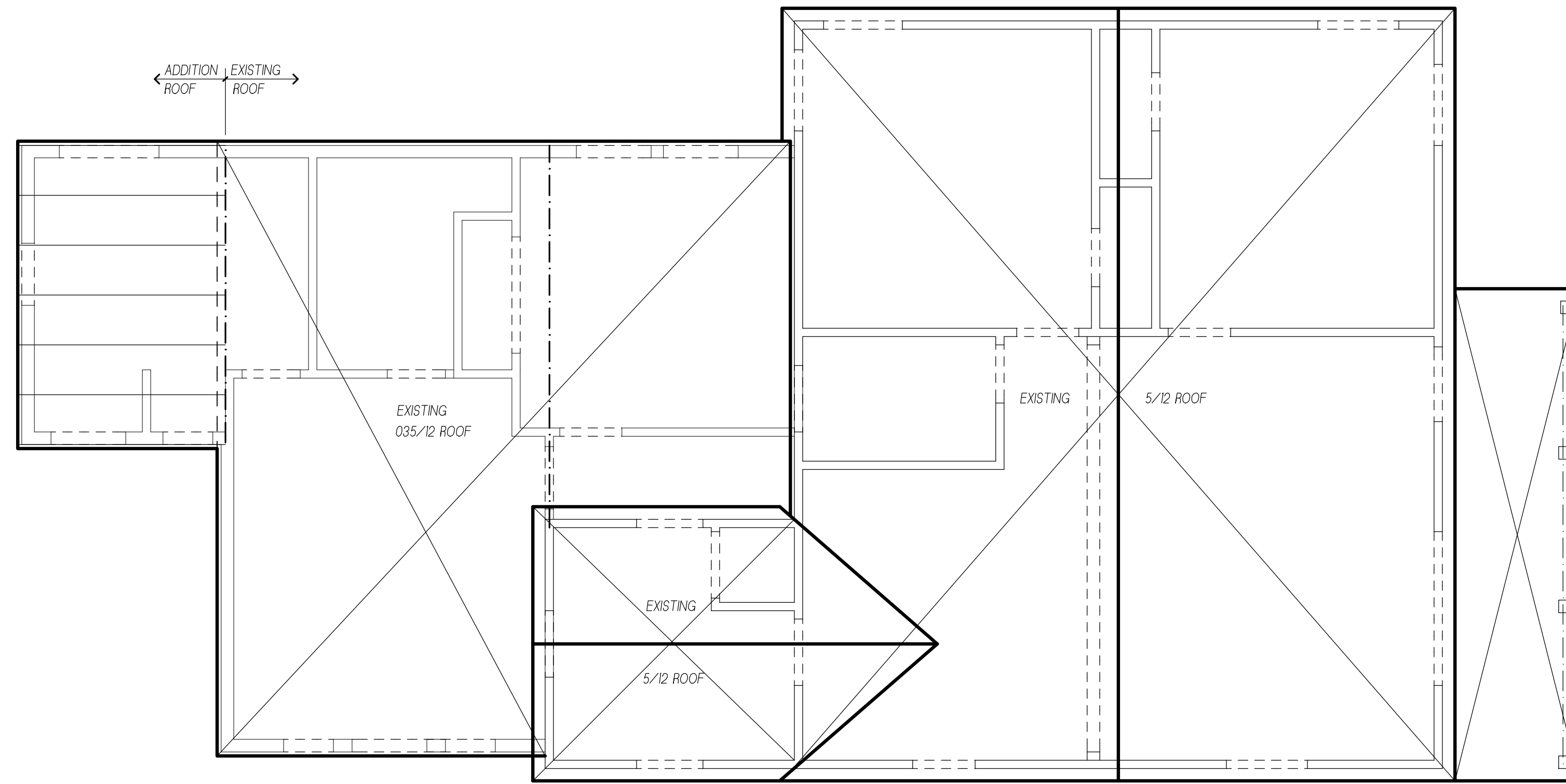


LEFT (East)

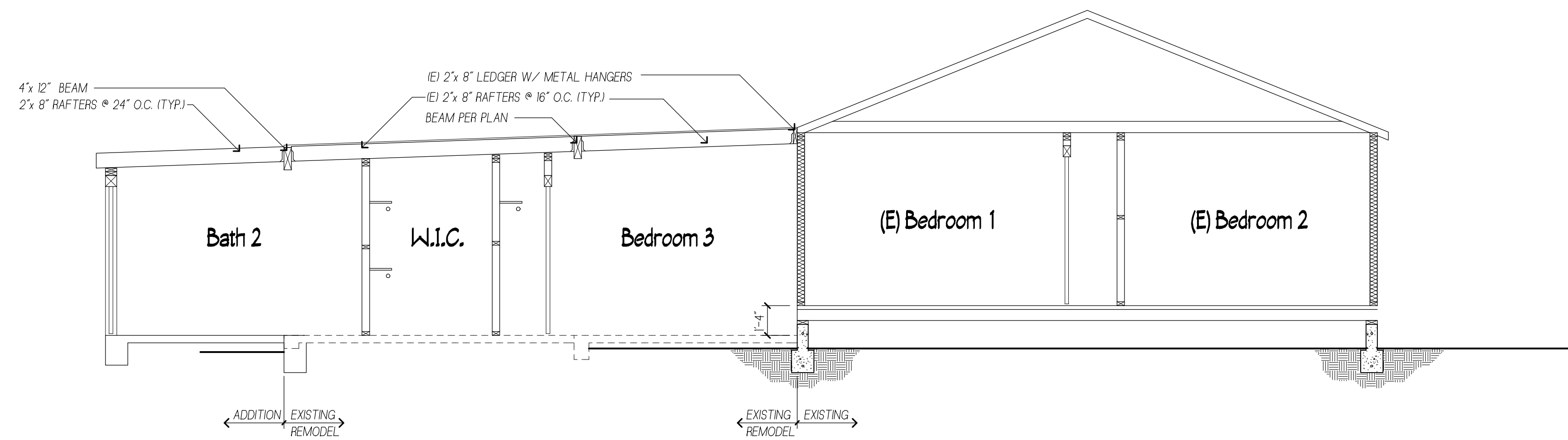


FRONT (North)

NOTE:
 MATCH ALL APPLICABLE DESIGNS AND MATERIALS
 OF EXISTING RESIDENCE



ROOF FRAMING PLAN



SECTION A

DATE	REVISIONS

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DESIGNER
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 dlpottdrafting@gmail.com

PROJECT
CASTRO RESIDENCE ADDITION
 310 MORMON STREET FOLSOM, CA. 95630
 CITY OF FOLSOM, COUNTY OF SACRAMENTO APN-070-020-024

OWNER
 SHELLY CASTRO
 310 MORMON STREET FOLSOM, CA. 95630
 CELL PH.- (916) 521-3598

ROOF FRAMING PLAN
NOTES

DATE: 2-16-20

DRAWN: dlp

SCALE: 1/4" = 1'-0"

JOB#: 19-782

SHEET:

3

Attachment 6

Photographs of the Project Site



Faces Natomas St





26

Attachment 7

Public Comment Letters

**HERITAGE PRESERVATION LEAGUE OF FOLSOM
PROJECT APPLICATION REVIEW**

April 8, 2020

PROJECT: Residential Addition at 310 Mormon Street in the Central Subarea
(PN 20-061)

REQUEST: Residential Design Review

PROJECT

HISTORY: Application Circulated by City on March 18, 2020.
Feedback requested by April 8.

GENERAL COMMENTS

The residential property at 310 Mormon Street is accessed through a private driveway from Coloma Street. As shown on the Assessor's Parcel Map, the depth of the parcel (up to the centerline of the vacated Figueroa Street/Mormon Street Alley) is 70 feet and the property is land locked. It is the applicant's responsibility to demonstrate that the depth of the parcel has been increased to 80 feet (as shown on the Site Plan) and that a private access easement has been established to Coloma Street.

At this time, the front entrance of the residence is facing west and the setbacks appears to be based on this orientation (the side of the residence is currently oriented toward the vacated alley). However, the applicant is proposing to add a front door along the north façade of the addition and the longer side of the property (that is facing the access road) has been considered the front boundary.

The address of the property could also be a problem. It appears that emergency vehicles would have an easier time to locate the residence if it had a Coloma Street address.

Outstanding Issues:

- The City will need evidence that the vacated Figueroa Street/Mormon Street Alley has been incorporated with the property (for a lot depth of 80 feet).
- Before the residence can be enlarged, the City will need evidence that a private access easement to Coloma Street has been dedicated to the property owner and that a shared maintenance agreement has been established for this roadway.
- Feedback regarding addressing is needed from the Fire Department.

SITE DESIGN

The applicant has requested that the building setbacks should be reoriented. After the proposed building addition the residence will meet the new setbacks (even with a lot depth of 70 feet). However, because the existing carport is incorporated with the building addition, the two required parking spaces will be located within the front setback area. It is possible that this parking solution will need to be processed as a variance.

As shown on the Site Plan, site drainage has been directed towards the surrounding properties. Because the finished floor of the building addition is lower than the existing residence, it appears that more information will be needed about site grading to demonstrate that the current drainage conditions will not be adversely impacted.

The applicant is proposing to remove a large tree in order to widen the driveway to the east. More information is needed about this tree. If the tree is a protected oak in good condition, HPL recommends that it should be preserved. As an alternative, the driveway could be widened to the west.

Site Recommendations:

- Demonstrate that positive drainage can be maintained on the project site and that additional drainage will not be directed towards adjacent properties.
- Consider saving the tree on the east side of the driveway and if needed widen the driveway along the west side.

ARCHITECTURE

The new building addition is not proposed to be accessed from the existing residence. Instead a new entrance will be provided along the north side of the expansion. A flat roof design has been proposed. This design is not compatible with the existing residence. HPL recommends that the new roof segment (as seen from the access road) should be sloped.

Regarding the front façade HPL recommends that a paneled door with glass only in the upper part should be used. A window on just one side of the door would also appear more historically appropriate. In order for the north façade to be redesigned as the front of the residence, the addition of a small front porch and roof cover would be appropriate.

Architectural Recommendations

- Modify the north façade of the proposed addition as follows:
 - a) Add a pitched roof.
 - b) Select a paneled door with a window in the upper half.
 - c) Add a small porch and roof cover at the new entrance area.
 - d) Consider adding a window at only one side of the new entrance door.

From: vpgovernment@thehfra.org
To: [Brianna Gustafson](#)
Subject: HFRA Input: PN20-061 310 Mormon Street Addition Street Design Review
Date: Tuesday, April 7, 2020 5:30:31 PM

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Historic Folsom Residents Association: HFRA

To:

Brianna Gustafson
Assistant Planner
Community Development Department
50 Natoma Street, Folsom, CA 95630

Attention: PN20-061 310 Mormon Street Addition Street Design Review

Hello Ms. Gustafson,

In reviewing the listed addition to the house, we have only one issue we would like see resolved.

From the plans there seems to be no interior door from the addition to the current house. That seems to indicate this could be used as an ADU in the future. My understanding is there must to be an interior door of an ADU of this type or the potential of it being an ADU.

Thank you very much for seeking this input.

Regards

Paul Keast
V.P. Government Liaison, Historic Folsom Residents Association

Attachment 8

Staff PowerPoint Presentation

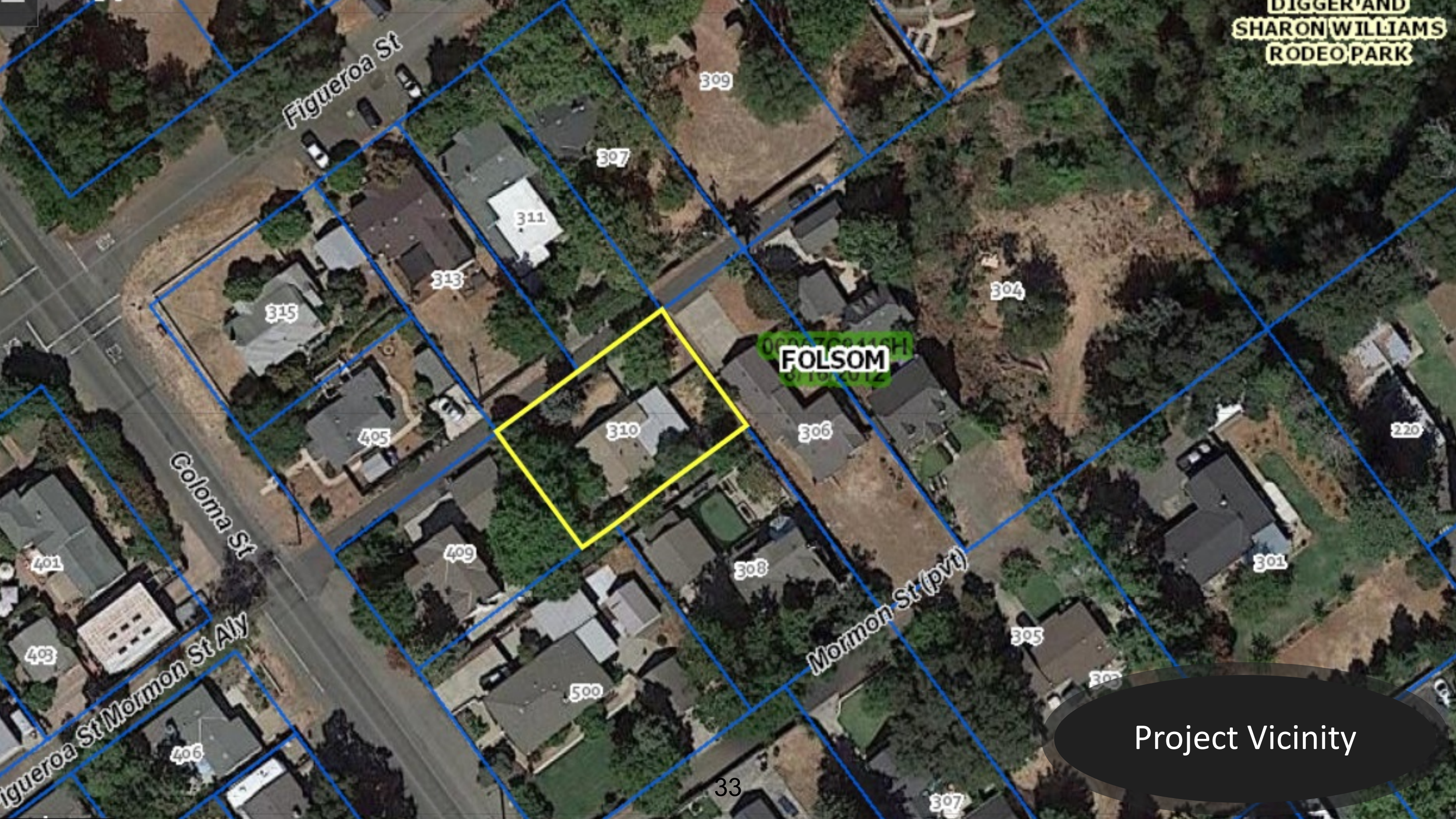


310 Mormon Street Addition



CITY OF
FOLSOM

DIGGER AND
SHARON WILLIAMS
RODEO PARK



FOLSOM

Project Vicinity

Site Photos



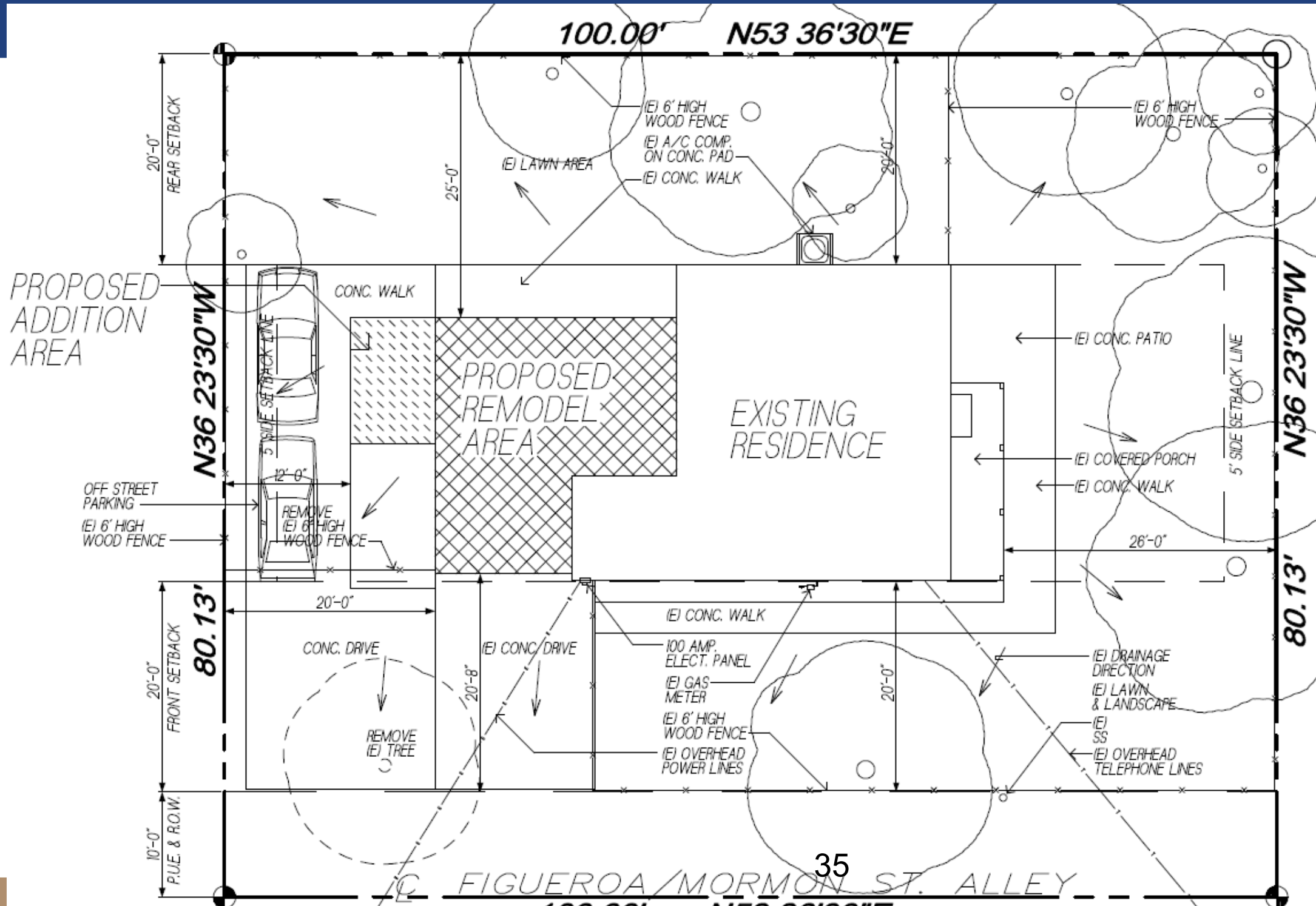
CITY OF
FOLSOM



Site Plan



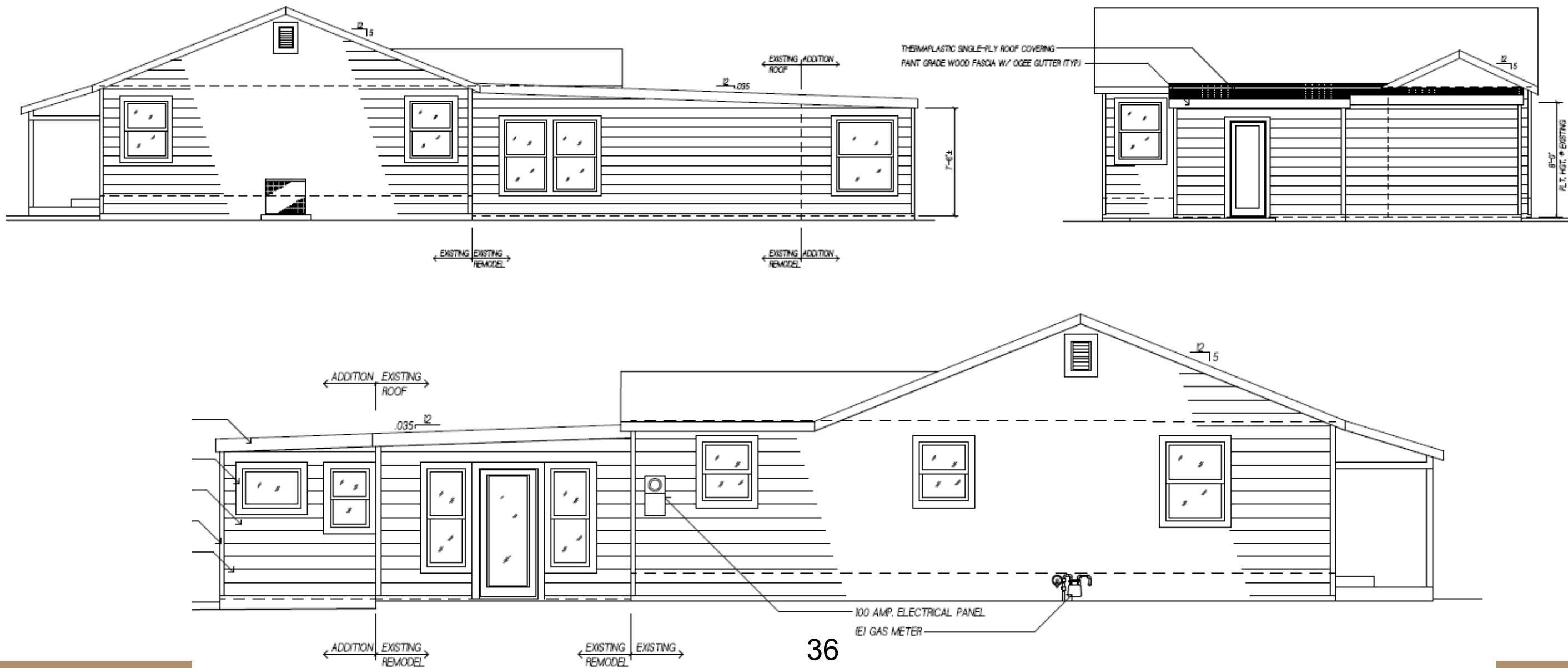
CITY OF
FOLSOM



Elevations



CITY OF
FOLSOM



Existing Carport



CITY OF
FOLSOM



Staff Recommendation



CITY OF
FOLSOM

Staff recommends approval of PN 20-061 for Design Review of a 562-square-foot addition to an existing single-family residence located at 310 Mormon Street.



CITY OF
FOLSOM
DISTINCTIVE BY NATURE

AGENDA ITEM NO. 2
Type: Public Meeting
Date: June 17, 2020

Historic District Commission Staff Report

50 Natoma Street, Council Chambers
Folsom, CA 95630

Project: 711 Persifer Street Addition and Re-Siding
File #: PN 20-044
Request: Design Review
Location: 711 Persifer Street
Parcel(s): 070-0203-016
Staff Contact: Josh Kinkade, Assistant Planner, 916-461-6209
jkinkade@folsom.ca.us

Property Owner/Applicant

Name: Dan Kohnke
Address: 8229 Trevi Way
El Dorado Hills, CA 95762

Recommendation: Conduct a public meeting, and upon conclusion recommend approval of an application for Design Review of a 160-square-foot addition, 98-square-foot rear porch addition and re-siding for an existing residence located at 711 Persifer Street as illustrated on Attachments 6 and 7 for the 711 Persifer Street Addition and Re-Siding project (PN 20-044) subject to the findings included in this report (Findings A-H) and attached conditions of approval (Conditions 1-6).

Project Summary: The proposed project includes a 160-square-foot rear addition, a 98-square-foot uncovered rear porch addition and re-siding for an existing single-family residence located at 711 Persifer Street. The property is located within the Central Subarea of the Historic Residential Primary Area of the Historic District.

Table of Contents:

- 1 - Description/Analysis
- 2 - Background
- 3 - Proposed Conditions of Approval
- 4 - Vicinity Map
- 5 - Site Plan, Floor Plan and Elevations, dated February 16, 2020
- 6 - Proposed Colors and Materials
- 7 - Photographs of the Project Site



CITY OF
FOLSOM
DISTINCTIVE BY NATURE

AGENDA ITEM NO. 2
Type: Public Meeting
Date: June 17, 2020

- 8 - Comment Letter from the Heritage Preservation League of Folsom, Dated March 12, 2020
- 9 - Staff PowerPoint Presentation

Submitted,

PAM JOHNS
Community Development Director

ATTACHMENT 1 DESCRIPTION/ANALYSIS

APPLICANT'S PROPOSAL

The applicant, Dan Kohnke, is proposing a 160-square-foot residential addition, a 98-square-foot uncovered rear porch addition, and re-siding for an existing single-family residence at 711 Persifer Street. The proposed site plan, floor plan, and elevations are shown in Attachment 5. The applicant proposes new blue-grey horizontal lap siding on the residence to match the width of the existing lap siding on the front of the residence, with white trim on all windows. The proposed color and material board is shown in Attachment 6. Note that the applicant has also provided an alternative light green primary siding color on the color board for consideration as well. The existing roofing and upper-level shake and scallop siding of the residence are proposed to remain. The shake and scallop siding is proposed to be painted to match the new horizontal lap siding. The addition is proposed in the rear of the residence and includes two windows facing the rear yard and a sliding glass door on the left side elevation, leading to the proposed uncovered porch with a white wood railing. Two trim bands are included on the proposed addition. The property is located within the Central Subarea of the Historic Residential Primary Area of the Historic District.

POLICY/RULE

Section 17.52.300 of the Folsom Municipal Code states that the Historic District Commission shall have final authority relating to the design and architecture of all exterior renovations, remodeling, modification, addition or demolition of existing structures within the Historic District.

ANALYSIS

General Plan and Zoning Consistency

The General Plan land use designation for the project site is SFHD (Single-Family, High Density), and the zoning designation for the project site is R-1-M (Single-Family Dwelling, Small Lot District), within the Central Subarea of the Historic Residential Primary Area. Single-family residences are allowed in both the R-1-M zone and the Central Subarea by right.

Section 17.52.540 of the Folsom Municipal Code institutes requirements for lot size, lot width, setbacks, pervious surface, and building height in the Historic Residential Primary Area. The design standards established within the Historic District Design and Development Guidelines (DDGs) also apply to this project.

The proposed addition meets all FMC zoning requirements, as demonstrated in the following table. Staff notes that the front of the existing residence and detached garage encroach approximately 2.75 feet into the 5-foot side setback. The new residential addition will not encroach into the side setback, but the porch addition is proposed to

follow the residence’s existing encroachment as shown on the plans. The following table demonstrates how the proposed project relates to setback, pervious surface, height and parking requirements for the Central Subarea:

	REQUIRED	PROPOSED
Minimum Lot Size	7,000 SF	7,000 SF (existing)
Minimum Lot Width	50 Feet	50 Feet (existing)
Front Setback	20 Feet	12.75 Feet (existing)
Rear Setback	20 Feet	76.75 Feet (addition)
Side Setback	5 Feet, 5 Feet	2.25 Feet and 7.66 Feet (existing), 7.66 Feet (addition)
Minimum Pervious Surface	45%	59% (proposed)
Parking Requirement	2 Parking Spaces	2 Parking Spaces
Maximum Building Height	35 Feet	23 Feet (existing)
Setback to Other Structures on the Property	10 Feet	48 Feet

The existing residence was legally in place at the time this setback standard was established and is therefore considered legal non-conforming per Section 17.52.690 of the Folsom Municipal Code and may continue to exist in its current location, and may be remodeled as proposed, as the proposed remodel does not increase the use of the non-conformity in the setback area (per FMC Section 17.52.690). The proposed porch is uncovered and is not over 30 inches above grade. Therefore, per FMC Section 17.52.420 and 17.52.430, no setback variance is required for such a porch, and it may extend into the residence’s setback without a variance.

Building Design/Architecture

Chapter 5.04.03(b) of the DDG’s, which addresses the design concepts for the Central Subarea, states that the subarea provides property owners with broad discretion in choosing styles from the entire 1850-1950 time frame, guided by the overall principles and any designation of significance of the building or site. The existing residence was built in 1920, and has horizontal siding, with shake and scallop siding along the roof gables.

The DDG’s state that exterior materials and finishes should be of residential grade, durable and of high quality and should include details appropriate for design period of the Subarea and building style. The proposed remodel includes new blue-grey horizontal lap siding on the residence to match the width of the existing lap siding on the front of the residence, with white trim on all windows. The proposed color and material board is shown in Attachment 6. The existing roofing and upper-level shake and scallop siding of the residence are proposed to remain. The shake and scallop siding are

proposed to be painted to match the new horizontal lap siding.

The proposed addition is located in the rear of the residence and includes two windows facing the rear yard and a sliding glass door on the left side elevation, leading to the proposed uncovered porch with a white wood railing. Two trim bands are included on the proposed addition. The windows are vertically oriented, consistent with DDG guidelines. The addition will match the colors, materials, roof pitch and architecture of the existing residence. The proposed bands on the rear elevation will help break up the massing of that wall and are consistent with the colors and materials of the trim on the remainder of the residence. The rear uncovered porch is of a residential scale and blends with the architecture of the existing residence and existing front porch.

To ensure consistency with the existing front siding and throughout the residence, staff has provided Condition No. 3, which states that the paint color of the residence and window trim shall be consistent on all four elevations of the residence, that proposed siding shall substantially match the width of the siding on the front of the residence, that the roofing of the proposed addition shall substantially match that of the existing residence's roofing and that design of all new windows and window trim shall match that of all existing windows and window trim.

Staff has determined that the overall design, colors, materials, and layout of the proposed addition, porch and re-siding is consistent with the design and development guidelines for the Central Subarea of the Historic Residential Primary Area. Staff has concluded that the applicant has met the design standards identified in the DDG's.

PUBLIC COMMENTS

A public comment letter (included as Attachment 8) was received via email on March 12, 2020 from the Heritage Preservation League (HPL). The letter recommends that all accessory structures on or close to the project site be shown on the site plan, that a variance be sought for all non-conforming setbacks, and that a 5-foot setback is met for the rear porch addition. Staff notes that only accessory structures on the project site are considered with regards to building separation and the applicant has included all on-site structures on the site plan. Regarding the necessity for a variance, staff concluded that the proposed project does not require a variance per the General Plan and Zoning Consistency section above. This section of the report also states why staff concluded that a 5-foot setback is not required for the proposed uncovered porch, since it is no more than 30 inches above grade.

The letter also has questions regarding the proposed siding, roof shingles, windows, doors, trim and paint colors. Staff has addressed these concerns as part of the above architectural analysis and has provided Condition No. 3, which states that the paint color of the residence and window trim shall be consistent on all four elevations of the residence, that proposed siding shall substantially match the width of the siding on the

front of the residence, that the roofing of the proposed addition shall substantially match that of the existing residence's roofing and that design of all new windows and window trim shall match that of all existing windows and window trim.

ENVIRONMENTAL REVIEW

The project is categorically exempt under Section 15301 (Existing Facilities) of the California Environmental Quality Act (CEQA) Guidelines. Based on staff's analysis of this project, none of the exceptions in Section 15300.2 of the CEQA Guidelines apply to the use of the categorical exemption(s) in this case.

RECOMMENDATION/HISTORIC DISTRICT COMMISSION ACTION

Move to approve the application (PN 19-044) for Design Review of a 160-square-foot addition, 98-square-foot rear porch addition and re-siding for an existing residence located at 711 Persifer Street as illustrated on Attachments 6 and 7 for the 711 Persifer Street Addition and Re-Siding project (PN 20-044) subject to the findings included in this report (Findings A-H) and attached conditions of approval (Conditions 1-6).

GENERAL FINDINGS

- A. NOTICE OF PUBLIC MEETING HAS BEEN GIVEN AT THE TIME AND IN THE MANNER REQUIRED BY STATE LAW AND CITY CODE.
- B. THE PROJECT IS CONSISTENT WITH THE GENERAL PLAN AND ZONING CODE OF THE CITY.

CEQA FINDINGS

- C. THE PROJECT IS CATEGORICALLY EXEMPT FROM ENVIRONMENTAL REVIEW UNDER SECTION 15301 (EXISTING FACILITIES) OF THE CALIFORNIA ENVIRONMENTAL QUALITY ACT (CEQA) GUIDELINES.
- D. THE CUMULATIVE IMPACT OF SUCCESSIVE PROJECTS OF THE SAME TYPE IN THE SAME PLACE, OVER TIME IS NOT SIGNIFICANT IN THIS CASE.
- E. NO UNUSUAL CIRCUMSTANCES EXIST TO DISTINGUISH THE PROPOSED PROJECT FROM OTHERS IN THE EXEMPT CLASS.
- F. THE PROPOSED PROJECT WILL NOT CAUSE A SUBSTANTIAL ADVERSE CHANGE IN THE SIGNIFICANCE OF A HISTORICAL RESOURCE.

DESIGN REVIEW FINDINGS

- G. THE BUILDING MATERIALS, TEXTURES AND COLORS USED IN THE PROPOSED PROJECT ARE COMPATIBLE WITH SURROUNDING DEVELOPMENT AND ARE CONSISTENT WITH THE GENERAL DESIGN THEME OF THE NEIGHBORHOOD.

- H. THE PROPOSED PROJECT IS IN CONFORMANCE WITH THE HISTORIC DISTRICT DESIGN AND DEVELOPMENT GUIDELINES ADOPTED BY CITY COUNCIL.

**ATTACHMENT 2
BACKGROUND**

BACKGROUND

Sacramento County records indicate that the 1,755-square-foot single-family residence located at 711 Persifer Street was first constructed in 1920. The residence features a Craftsman design, with horizontal wood siding with shake and scalloped siding on the upper level. The residence is painted yellow in the front and beige on the sides, with white window trim and grey composition shingle roofing. The property also includes a 675-square-foot detached garage in the rear of the property constructed at an unknown date. Photographs of the existing residence and garage are included here as Attachment 7. The property does not appear on the City of Folsom’s Cultural Resources Inventory. The subject property is located in the Central Subarea of the Historic Residential Primary Area of the Historic District, with an underlying zoning of R-1-M (Single Family Residential- Small Lot District).

GENERAL PLAN DESIGNATION

SFHD, Single-Family, High Density

ZONING

CEN, Central Subarea of the Historic Residential Primary Area, with an underlying zoning of R-1-M (Single Family Residential- Small Lot District)

ADJACENT LAND USES/ZONING

North: Persifer Street with single-family residences beyond (CEN)
South: Persifer Street/Bidwell Street alley with single-family residences beyond (CEN)
East: Existing residences (CEN)
West: Existing residences (CEN)

SITE CHARACTERISTICS

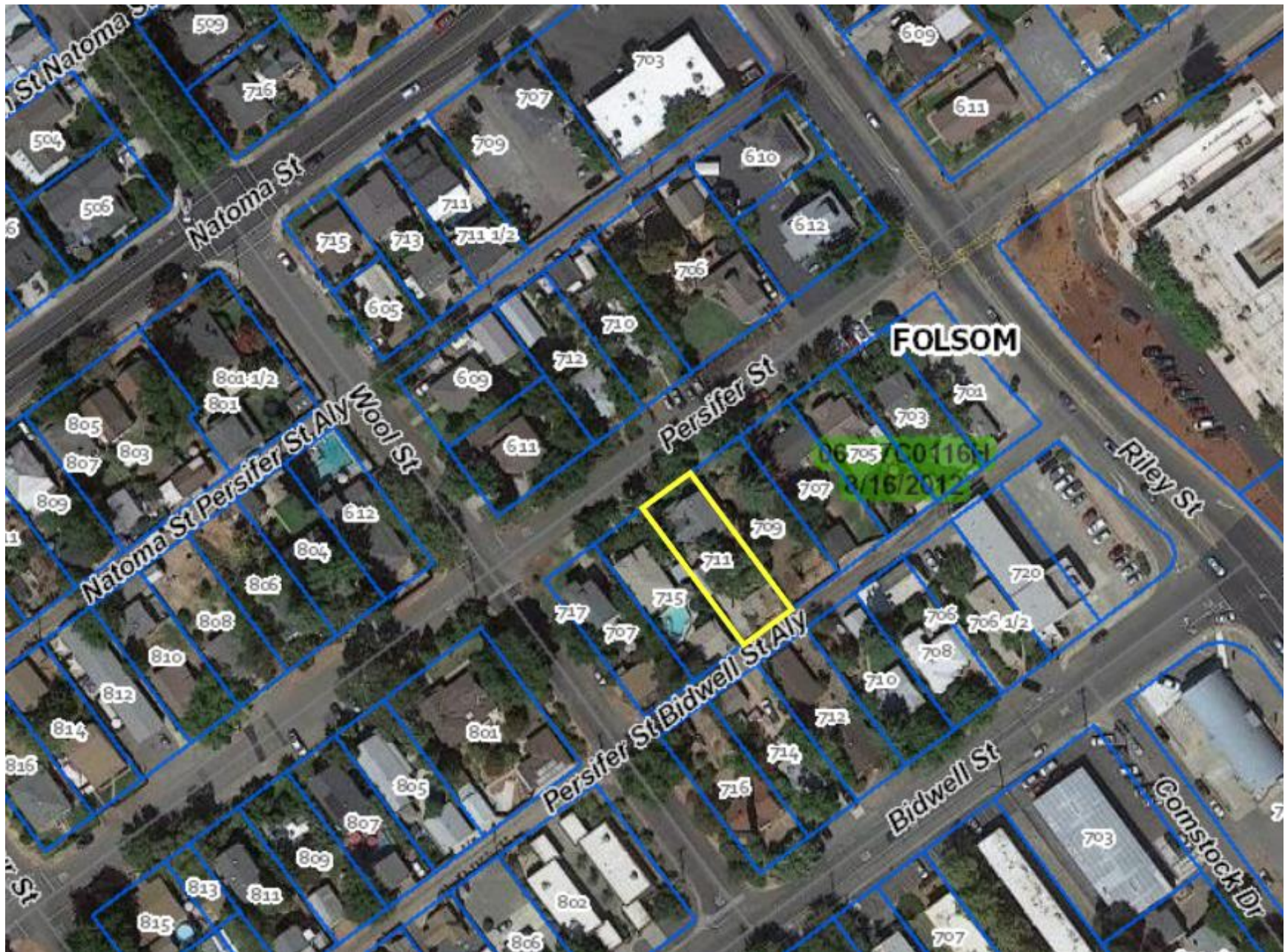
The 7,000-square-foot project site contains an existing residence in the front of the property with a detached garage in the rear, and landscaping.

APPLICABLE CODES

FMC Section 17.52 HD, Historic District
FMC Section 17.52.300, Design Review
FMC Section 17.52.330, Plan Evaluation
FMC Section 17.52.340, Approval Process
FMC Section 17.52.540, Historic Residential

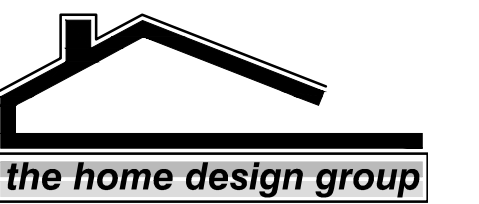
Primary Area Special Use and Design
Standards
Historic District Design and Development
Guidelines

Attachment 4 Vicinity Map

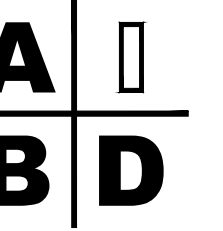


Attachment 5
Site Plan, Floor Plan and Elevations, dated
February 16, 2020

KOHNKE HOME REMODEL



CERTIFIED PROFESSIONAL



BUILDING DESIGNER



CERTIFICATION NO. 5-612

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Jeff Haberman, President

CLIENT:

Kohnke

8229 Trevi Way
El Dorado Hills, CA 95762
(916) 549-0175

PROJECT:

Home Remodel

711 Persifer St.
Folsom, CA 95630

REVISIONS:

SHEET NAME:

Cover Sheet

DRAWN BY: JDH

CHECKED BY: JDH

SCALE: 1/4"=1'-0"

DATE: 2/16/20

JOB NUMBER: 1626

SHEET:

C1.1

ABBREVIATIONS

AB.	ANCHOR BOLT	GL. BLK.	GLASS BLOCK	REINF.	REINFORCED
A/C	AIR CONDITIONER	GYP.	GYP SUM	REQ.	REQUIRED
ALT.	ALTERNATE			REV.	REVISION
APPROX.	APPROXIMATE	HB.	HOSE BIB	RF.	ROOF
ARCH.	ARCHED	HC.	HOLLOW CORE	RM.	ROOM
		HDR.	HEADER	RD.	ROUND
BD.	BOARD	HT.	HOPPER	S.B.	SOLID BLOCKING
BDRM.	BEDROOM	HOP.	HORIZONTAL	S.C.	SOLID CORE
BLDG.	BUILDING	HORIZ.	HORIZONTAL	SCHD.	SCHEDULE
BLK.	BLOCK(ING)	HR.	HOURS	SEC.	SECTION
BM.	BEAM	H.V.A.C.	HEATING, VENTILATION, & AIR CONDITIONING	S.G.D.	SLIDING GLASS DOOR
BTM.	BOTTOM	IB.	IRONING BOARD	SH.	SINGLE HUNG
BRG.	BEARING	I.C.C.	INTL. CODE COUNCIL	SHLY.	SHELVES
BRM.	BROOM	INCL.	INCLUDED	SHT.	SHEET
BSMT.	BASEMENT	INT.	INTERIOR	SHT'G.	SHEATHING
		JST.	JOIST	SHWR.	SHOWER
CAB.	CABINET	JT.	JOINT	SIM.	SIMILAR
CLG.	CELLING	LAV.	LAVATORY	SLDR.	SLIDER
CLR.	CLEAR	L.B.	LAG BOLT	SPEC.	SPECIFICATIONS
CMU.	CONCRETE MASONRY UNIT	L.V.L.	LAMINATED VENEER LUMBER	SQ. FT.	SQUARE FEET
COL.	COLUMN			SQ. IN.	SQUARE INCH
COMP.	COMPOSITION			ST.	STREET
CONC.	CONCRETE	MAX.	MAXIMUM	STD.	STANDARD
CONT.	CONTINUOUS	M.C.	MEDICINE CABINET	STR.	STORAGE
CSMT.	CASEMENT	MFG.	MANUFACTURER	STRUC.	STRUCTURAL
		MIR.	MIRROR	SYM.	SYMBOL
		MISC.	MISCELLANEOUS		
		(N)	NEW	T.B.	TOUPEL BAR
D.	DRYER	NO.	NUMBER	T&B.	TOP AND BOTTOM
DBL.	DOUBLE	N.T.S.	NOT TO SCALE	T&G.	TONGUE AND GROOVE
DEPT.	DEPARTMENT			T.C.	TOP OF CONCRETE
D.F.	DOUGLAS FIR			TEMP.	TEMPERED
D.H.	DOUBLE HUNG			THK.	THICK (NESS)
DIA.	DIAMETER			TRANS.	TRANSOM (FIXED)
DIM.	DIMENSION			TRAP.	TRAPEZOID
DN.	DOWN			T.S.	TUBULAR STEEL
DR.	DOOR			TYP.	TYPICAL
D.W.	DISH WASHER				
DWG.	DRAWING				
(E)	EXISTING				
EA.	EACH				
ELEC.	ELECTRICAL				
ELEV.	ELEVATION				
EQ.	EQUAL				
EQUIP.	EQUIPMENT				
EXT.	EXTERIOR				
FAU.	FORCED AIR UNIT				
FDN.	FOUNDATION				
FF.	FACE FRAME				
FIX.	FIXED				
FLR.	FLOOR				
FLUOR.	FLUORESCENT				
FP.	FIREPLACE				
FR.	FRENCH DOOR				
FT.	FOOT				
FTG.	FOOTING				
GA.	GAUGE				
GALV.	GALVANIZED				
GAR.	GARAGE				
GI.	GALVANIZED IRON				

TAG SYMBOLS

	KEYNOTE TAG (SEE KEYNOTE SCHEDULE)
	BEAM NUMBER TAG (SEE BEAM SCHEDULE)
	DETAIL (ON CURRENT PAGE)
	DETAIL (SHEET NUMBER)
	SECTION DETAIL (SHEET NUMBER)
	PIER SIZE TAG (SEE PIER SCHEDULE)
	CEILING JOIST TAG (SEE JOIST SCHEDULE)
	DOOR SIZE TAG HEIGHT IN FEET/INCHES (8'-0") WIDTH IN FEET/INCHES (3'-0")
	WINDOW SIZE TAG HEIGHT IN FEET/INCHES (5'-0") WIDTH IN FEET/INCHES (3'-0")
	DOOR
	WINDOW

SHEAR WALL INFO

	HOLDOWN (SEE HOLDOWN SCHEDULE)
	EXTENT OF SHEAR WALL
	SHEAR WALL LENGTH INDICATOR
	SHEAR WALL TYPE (SEE SHEAR WALL SCHEDULE)

ARCHITECTURAL SYMBOLS

	TUB/SHOWER COMBO		SINGLE SINK		DOUBLE OVEN
	TUB ON DECK PLATFORM VERIFY HEIGHT WITH MFG.		KITCHEN SINK		WATER HEATER
	VANITY SINK		DISH WASHER		AIR CONDITIONER
	TOILET		TRASH COMPACTOR		FORCED AIR UNIT LOCATED OTHER THAN ATTIC
	WASHER VERIFY ELEC. LOCATION		REFRIGERATOR		FORCED AIR UNIT LOCATED IN ATTIC
	DRYER VERIFY ELEC. LOCATION		RANGE OR COOKTOP		

EXTERIOR LEGEND

A.	MAN DOOR AT GARAGE W/ STOOP
B.	MAIN ELECTRICAL PANEL - SEE ELEC./ MECH. PLAN
C.	TOP FLATE
D.	STUCCO SCREED
E.	GAS METER
F.	RETURN AT WAINGSCOT - TYPICAL UNO.
G.	FINISH FLOOR / TOP OF CURB AT GARAGE
H.	EXTERIOR LIGHT FIXTURE PER OWNER/ BUILDER
I.	SECTIONAL ROLL-UP GARAGE DOOR
J.	LOW VOLTAGE ADDRESS LIGHT
K.	GLAZING WHEN SHOWN SEE EXT. ELEVATIONS
L.	INDICATES ROOF PITCH - SEE EXT. ELEVATIONS
M.	FINISH GRADE - 5% SLOPE AWAY FROM BLDG.

SECTION LEGEND

A.	2X OUTLOOKER - SEE ROOF PLAN FOR SIZE AND SPACING
B.	STEP CEILING FIRING - SEE FLOOR PLAN FOR LOCATIONS
C.	ROOF SHEATHING - SEE STRUCTURAL DRAWINGS
D.	ROOF FRAMING - SEE ROOF PLAN FOR SIZE, SPACING, AND TYPE OF MEMBERS
E.	CEILING INSULATION - PER TITLE 24 ENERGY CALCULATIONS
F.	2X INTERIOR WALL - SEE PLAN FOR SIZE AND LOCATION
G.	TOP PLATE HEIGHT
H.	EXTERIOR FINISH - SEE EXTERIOR ELEVATIONS
I.	2X EXTERIOR WALL - SEE PLAN FOR SIZE AND LOCATION
J.	HEADER - SEE PLAN FOR SIZE AND LOCATION
K.	WALL INSULATION - PER TITLE 24 ENERGY CALCULATIONS
L.	FLOOR FRAMING - SEE FOUNDATION PLAN FOR CONST. TYPE
M.	DOOR BEYOND
N.	FINISH FLOOR HEIGHT
O.	1/2" GYP. BD. U.O.N.
P.	ROOF SLOPE - SEE ELEVATION AND ROOF PLAN
Q.	CEILING SLOPE - SEE FLOOR PLAN FOR LOCATIONS
R.	SCOFFIT FRAMING - SEE FLOOR PLAN FOR LOCATIONS
S.	WALL BEYOND
T.	HALF WALL - SEE FLOOR PLAN FOR LOCATION AND HEIGHT

DESIGN

JEFF HABERMAN, PRESIDENT
THE HOME DESIGN GROUP
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EL DORADO HILLS, CA 95762
(916) 933-3430

ENERGY

ALEX BATISTA
OPTIMIZED ENERGY
5734 LONETREE BLVD.
ROCKLIN, CA 95765
(916) 676-5518

STRUCTURAL

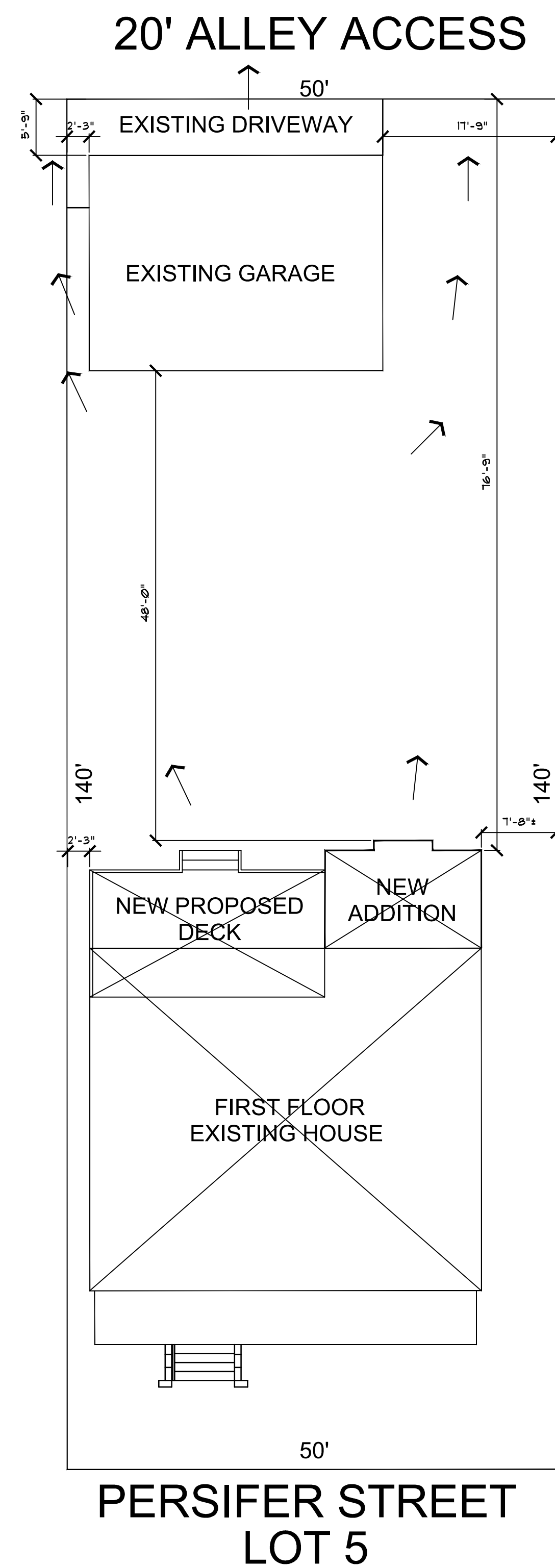
1
1
1
1
1
1
1

AREA CALCULATIONS

HOUSE NEW: 1st FLOOR 166, 2nd FLOOR 22
HOUSE REMODEL: 1st FLOOR 122, 2nd FLOOR 228
DECK NEW: 312
SEE FLOOR PLANS FOR COMPLETE SQ. FTG. AREAS

CODE ANALYSIS

SEISMIC DESIGN CATEGORY: C
WIND DESIGN CRITERIA: LESS THAN OR EQUAL TO 110 MPH
WIND EXPOSURE CRITERIA: C
SOIL CLASS: D
CODE USED: 2019 CBC, CEC, CMC, CPC, CRC,
2019 CA ENERGY CODE AND
2019 CA GREEN BUILDING STDS. CODE
OCCUPANCY: R-3 SINGLE FAMILY RESIDENCE
CONSTRUCTION: TYPE VB, NON RATED
SPRINKLED: NO

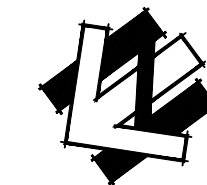


PLOT PLAN GENERAL NOTES:

1. DIMENSIONS AND ANGLES SUPPLIED BY OTHERS. THE HOME DESIGN GROUP IS NOT RESPONSIBLE FOR THEIR ACCURACY. VERIFY ALL DIMENSIONS PRIOR TO BUILDING.
2. CONTRACTOR SHALL VERIFY LOCATIONS OF ALL PROPERTY LINES, SETBACK LINES, PUBLIC AND UTILITY EASEMENTS PRIOR TO START OF WORK.
3. ALL GRADING AND TREE REMOVAL SHALL CONFORM TO LOCAL BUILDING DEPARTMENT GRADING, EROSION AND SEDIMENT CONTROL REQUIREMENTS AND ARCHITECTURAL CONTROL COMMITTEE REQUIREMENTS IF APPLICABLE.
4. ALL FILLS SHALL BE KEYED TO THE ORIGINAL GRADE AND COMPACTED TO 90%. COMPACTION TESTS SHALL BE TAKEN AT EACH LIFT BY A SOILS ENGINEER.
5. ALL CUT AND FILL SLOPES ARE TO BE NO MORE THAN 2 FEET HORIZONTAL TO 1 FOOT VERTICAL (2:1).
6. DITCHES OVER 10% SLOPE SHALL BE ROCK LINED.
7. DRIVEWAY WIDTH SHALL BE 20' WIDE UNLESS OTHERWISE NOTED WITH 15' OF UNOBSTRUCTED VERTICAL CLEARANCE AT CONNECTION TO ROADWAY.

PLOT PLAN LEGEND:

SYMBOL	DESCRIPTION
→	DIRECTION OF SLOPE

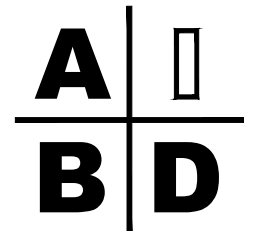


Residential and Light Frame
Commercial Design - Surveying
Engineering - Title 24 Calculations



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CERTIFIED PROFESSIONAL



BUILDING DESIGNER



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Jeff Haberman, President

CLIENT:

Kohnke

8229 Trevi Way
El Dorado Hills, CA 95762
916 549-0175

PROJECT:

Home Remodel

711 Persifer St.
Folsom, CA 95630

REVISIONS:

SHEET NAME:

Plot Plan

DRAWN BY: JDH

CHECKED BY: JDH

SCALE: 1/4"=1'-0"

DATE: 12/19/19

JOB NUMBER: 1626

SHEET:

P1.1



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N · C · B · D · C



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Home Remodel

711 Persifer St.
Folsom, CA 95630

REVISIONS:

SHEET NAME:

Front and Rear Elevations

DRAWN BY: JDH

CHECKED BY: JDH

SCALE: 1/4"=1'-0"

DATE: 2/16/20

JOB NUMBER: 1626

SHEET:

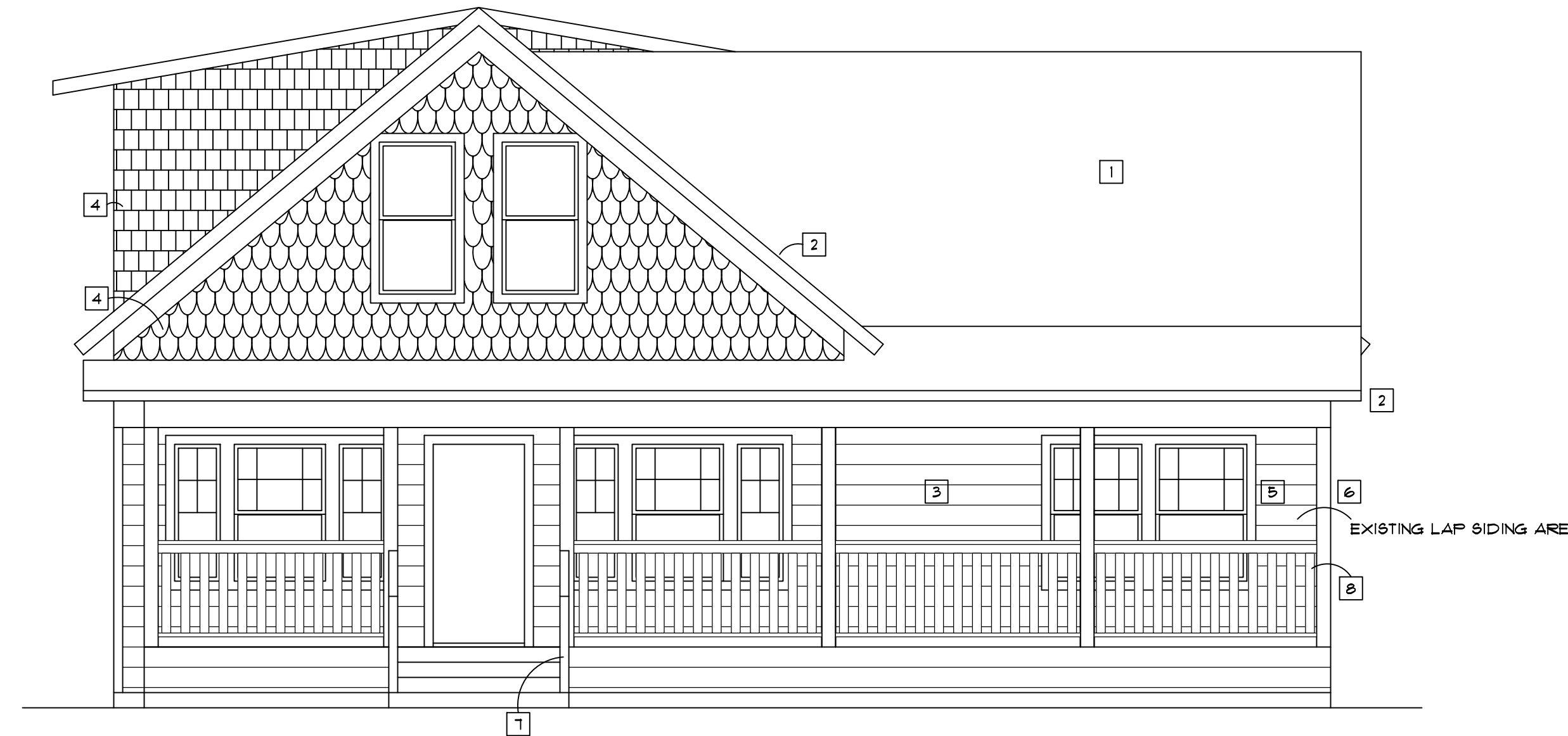
A2.1

ELEVATION GENERAL NOTES:

1. SEE GENERAL NOTES PAGE N11 AND STRUCTURAL NOTES PAGE N12
2. PROVIDE GALVANIZED METAL HOOD OVER APPROVED SPARK ARRESTOR AT ALL CHIMNEYS. THE FIREPLACE CHIMNEY SHALL EXTEND 2'-0" ABOVE THE HIGHEST ELEVATION OF ANY PORTION OF THE BUILDING WITHIN 10'-0" OF THE CHIMNEY. THE FIREPLACE CHIMNEY SHALL BE OPTIONAL PER OWNER IF AN APPROVED GAS OR DIRECT VENT FIREPLACE VENTING SYSTEM IS USED. ACTUAL SHAPE OF FLUE CAP MAY VARY PER OWNER REQUEST. SEE PAGE N11 MECHANICAL FOR ADDITIONAL REQUIREMENTS.

ELEVATION KEYNOTES:

1. CLASS "A" ASSEMBLY COMPOSITION SHINGLES OVER 15' LAPPED FELT OVER 1/2" MINIMUM PLYWOOD OR O.S.B. ROOF SHEATHING TYPE CDX AT HOUSE BODY TYPE CCX OR V-GROOVE AT EXPOSED OVERHANGS
SEE TITLE 24 CALCS TO VERIFY IF FOIL FACED PLYWD. IS REQ'D ALL PLYWOOD SHALL BE INSTALLED PERPENDICULAR TO SUPPORTS WITH NO PIECE LESS THAN 12" IN ANY DIRECTION
2. EXISTING BARGE OR FASCIA WITH OGEE GUTTER OVER (TYP)
3. AT NEW CONSTRUCTION AREAS:
COVER ALL EXTERIOR WALLS W/ 3/8 CDX PLYWOOD (OR OSB) W/ 8d NAILS AT 6" OC EDGE AND 12" OC FIELD UNLESS OTHERWISE NOTED. PLYWOOD SHALL RUN CONTINUOUS FROM TOP PLATE TO SOLE PLATE W/ ALL EDGES BLOCKED
FINISH SURFACE SHALL BE:
HORIZONTAL EXTERIOR LAP SIDING TO MATCH EXISTING OVER APPROVED WATER-RESISTANT PAPER (WHERE SHOWN)
AT EXISTING LAP SIDING AREAS:
HORIZONTAL EXTERIOR LAP SIDING
4. EXISTING SHAKE AND FISHSCALE SHAKE AREAS SHOWN:
SHAKE SIDING (STRAIGHT AND FISHSCALE) AS SHOWN TYPICAL
5. 2X RESAWN WINDOW, DOOR AND CORNER TRIM (WHERE SHOWN)
6. ROUTERED EDGED 6X6 COLUMNS AT PORCH
7. 34-38" HIGH HANDRAIL, SEE PAGE N11, NOTES B11 AND B13 FOR GENERAL HANDRAIL REQUIREMENTS
8. 42" MIN. HIGH GUARDRAIL, SEE PAGE N11, NOTES B12 AND B13 FOR GENERAL GUARDRAIL REQUIREMENTS



FRONT ELEVATION

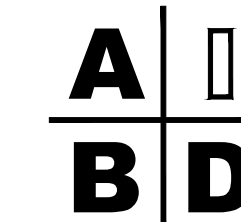


REAR ELEVATION



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Kohnke

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El Dorado Hills, CA 95762
(916) 549-0175

PROJECT:

Home Remodel

711 Persifer St.
Folsom, CA 95630

REVISIONS:

SHEET NAME:

**Left and Right
Side Elevations**

DRAWN BY: JDH

CHECKED BY: JDH

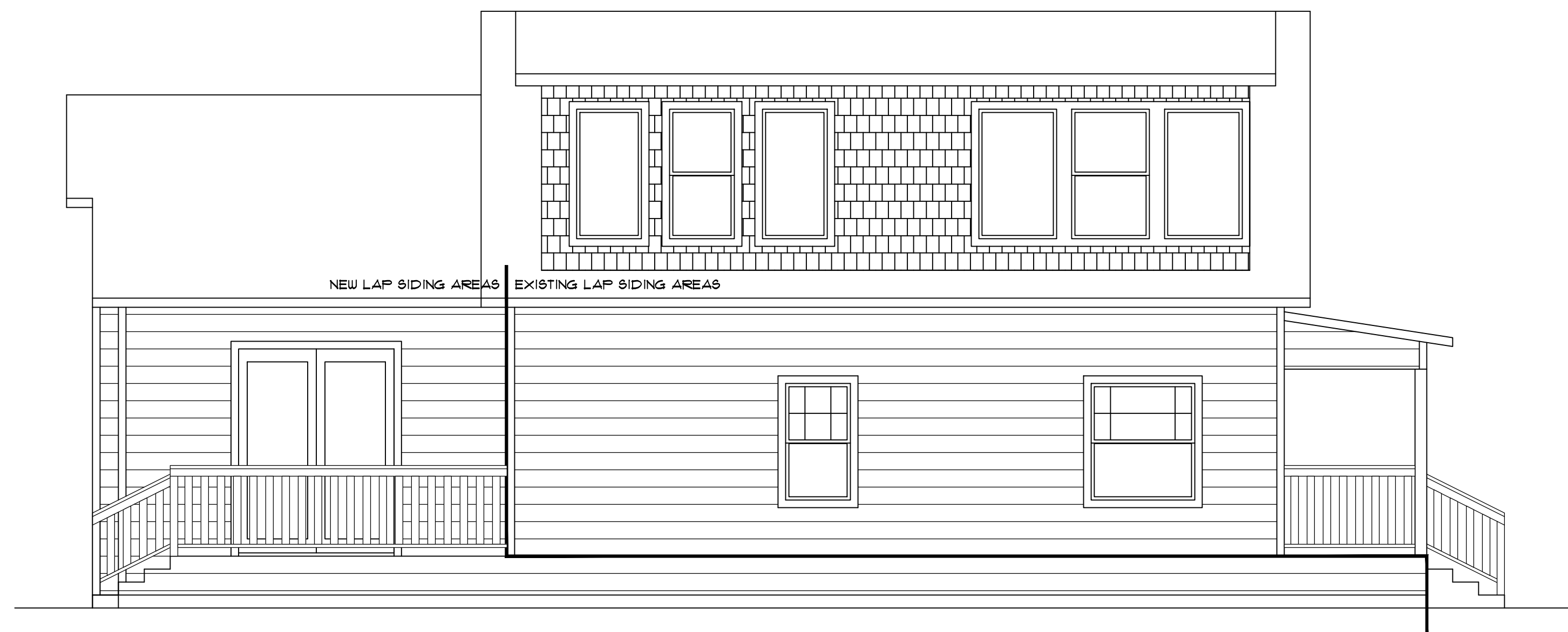
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DATE: 2/16/20

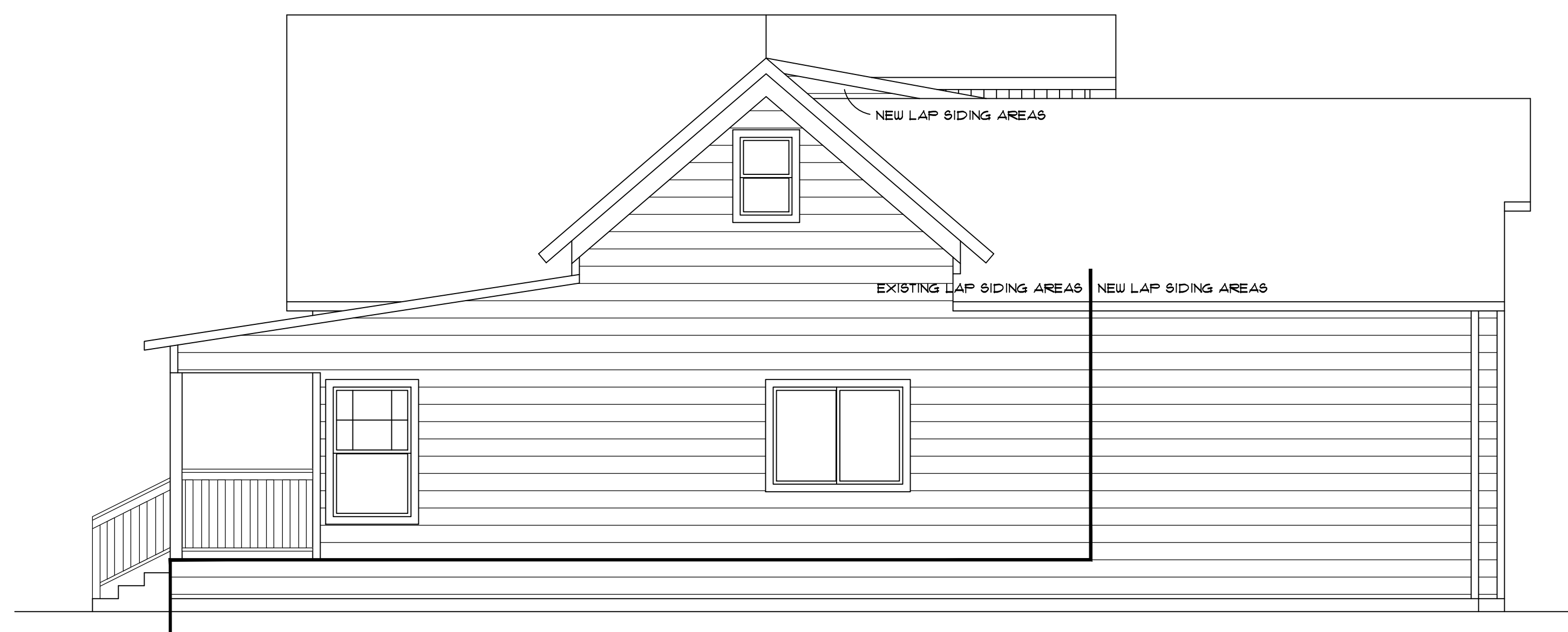
JOB NUMBER: 1626

SHEET:

A2.2



LEFT ELEVATION

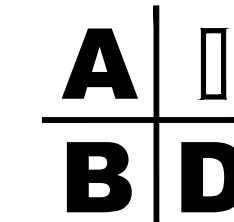


RIGHT ELEVATION



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PROJECT:

Home Remodel

711 Persifer St.
Folsom, CA 95630

REVISIONS:

SHEET NAME:

**Existing
Floor Plans**

DRAWN BY: JDH

CHECKED BY: JDH

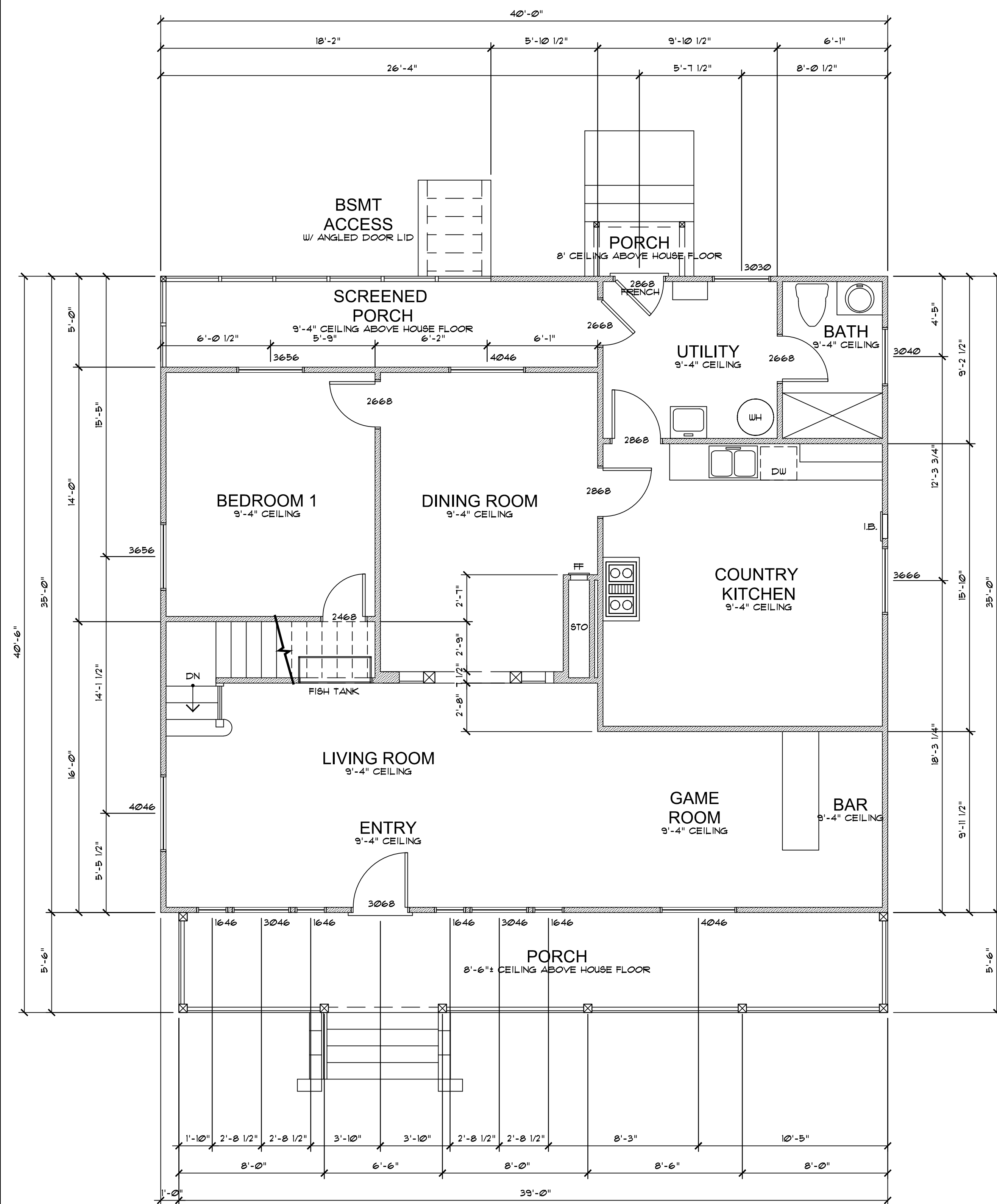
SCALE: 1/4"=1'-0"

DATE: 2/16/20

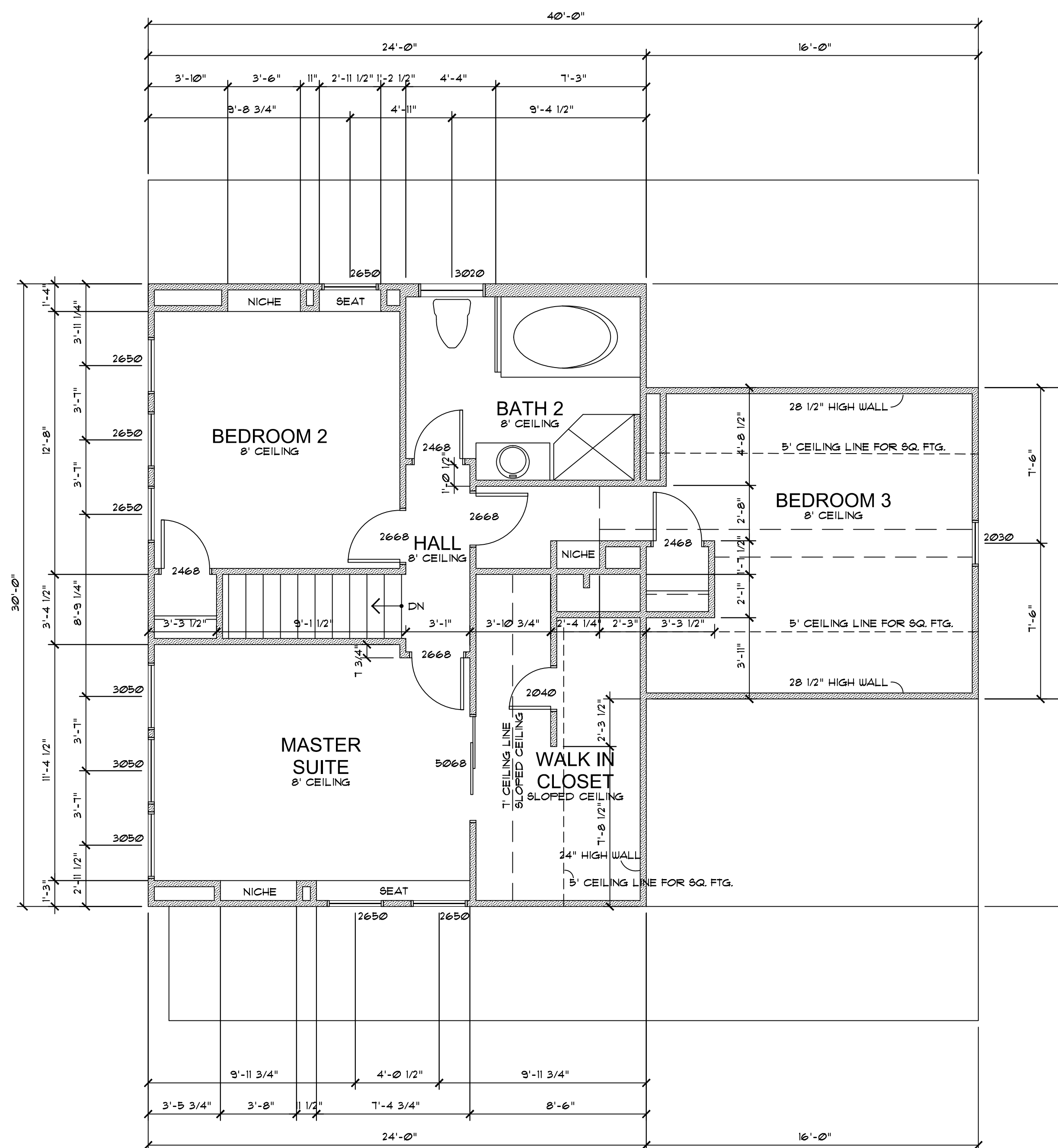
JOB NUMBER: 1626

SHEET:

A1.0



EXISTING FIRST FLOOR
1280 SQ. FT.
PORCH 230 SQ. FT.
SCREENED PORCH 120 SQ. FT.



EXISTING SECOND FLOOR
800 SQ. FT.



4949 Windplay Drive Suite #150
El Dorado Hills, California 95762
(916) 833-3430 Office
(916) 803-3430 Cell
jeff.h@ix.netcom.com

CERTIFIED PROFESSIONAL



CERTIFICATION NO. 5-612

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Jeff Haberman, President

CLIENT:

Kohnke

8229 Trevi Way
El Dorado Hills, CA 95762
(916) 549-0175

PROJECT:

Home Remodel

711 Persifer St.
Folsom, CA 95630

REVISIONS:

SHEET NAME:

**Proposed
Floor Plans**

DRAWN BY: JDH

CHECKED BY: JDH

SCALE: 1/4"=1'-0"

DATE: 2/16/20

JOB NUMBER: 1626

SHEET:

A1.1

FLOOR PLAN GENERAL NOTES:

- SEE GENERAL NOTES PAGE N11 AND STRUCTURAL NOTES PAGE N12
- SEE SHEET SD1 FOR SHEAR WALL, HOLDDOWN, FOOTING, ANCHOR BOLT AND SILL PLATE SCHEDULES

FLOOR PLAN KEYNOTES:

- WATER HEATER SEE PAGE N11, NOTES M8 AND P8 FOR GENERAL EQUIPMENT REQUIREMENTS
- ZERO CLEARANCE FIREPLACE (SEALED COMBUSTION TYPE) W/ OUTSIDE COMBUSTION AIR INSTALLED PER HFS. SPECS FIREPLACE SHALL BE DIRECT VENT SEALED COMBUSTION TYPE WOOD/Pellet STOVES SHALL COMPLY WITH U.S. EPA NEW SOURCE PERFORMANCE STANDARDS (NSPS) EMISSION LIMITS
- 20X30" MINIMUM ATTIC ACCESS. SEE PAGE N11, NOTES B8 AND M10 FOR GENERAL ATTIC ACCESS REQUIREMENTS
- 34-38" HIGH HANDRAIL. SEE PAGE N11, NOTES B11 AND B13 FOR GENERAL HANDRAIL REQUIREMENTS
- 42" MIN. HIGH GUARDRAIL. SEE PAGE N11, NOTES B12 AND B13 FOR GENERAL GUARDRAIL REQUIREMENTS

FIXTURE AND APPLIANCE GENERAL NOTES:

- VERIFY ALL OPENINGS AND DIMENSIONS WITH MANUFACTURER'S SPECS PRIOR TO CABINET OR FRAMING OF THEIR OPENINGS. VERIFY LOCATIONS OF ALL PLUMBING, GAS AND ELECTRICAL CONNECTIONS PRIOR TO INSTALLATION.

WALL SCHEDULE:

SYMBOL	DESCRIPTION
	EXISTING EXTERIOR LOAD BEARING AND INTERIOR NON LOAD BEARING
	INTERIOR LOAD BEARING WALLS. DO NOT MOVE
	HALF/LOW WALL, GUARDRAIL OR STAIR HANDRAIL
	NEW EXTERIOR LOAD BEARING AND INTERIOR NON LOAD BEARING

ALL EXTERIOR AND INTERIOR STUD WALLS SHALL BE 2X4 STUDS AT 16" O.C. UNLESS OTHERWISE NOTED
ALL HALF WALLS, EXPOSED END WALLS, WALLS CONTAINING UNGASED OPENINGS SHALL BE 2X8 STUDS AT 16" O.C. UNLESS OTHERWISE NOTED
ALL ANGLED WALLS OTHER THAN 90° SHALL BE 45° UNLESS OTHERWISE NOTED

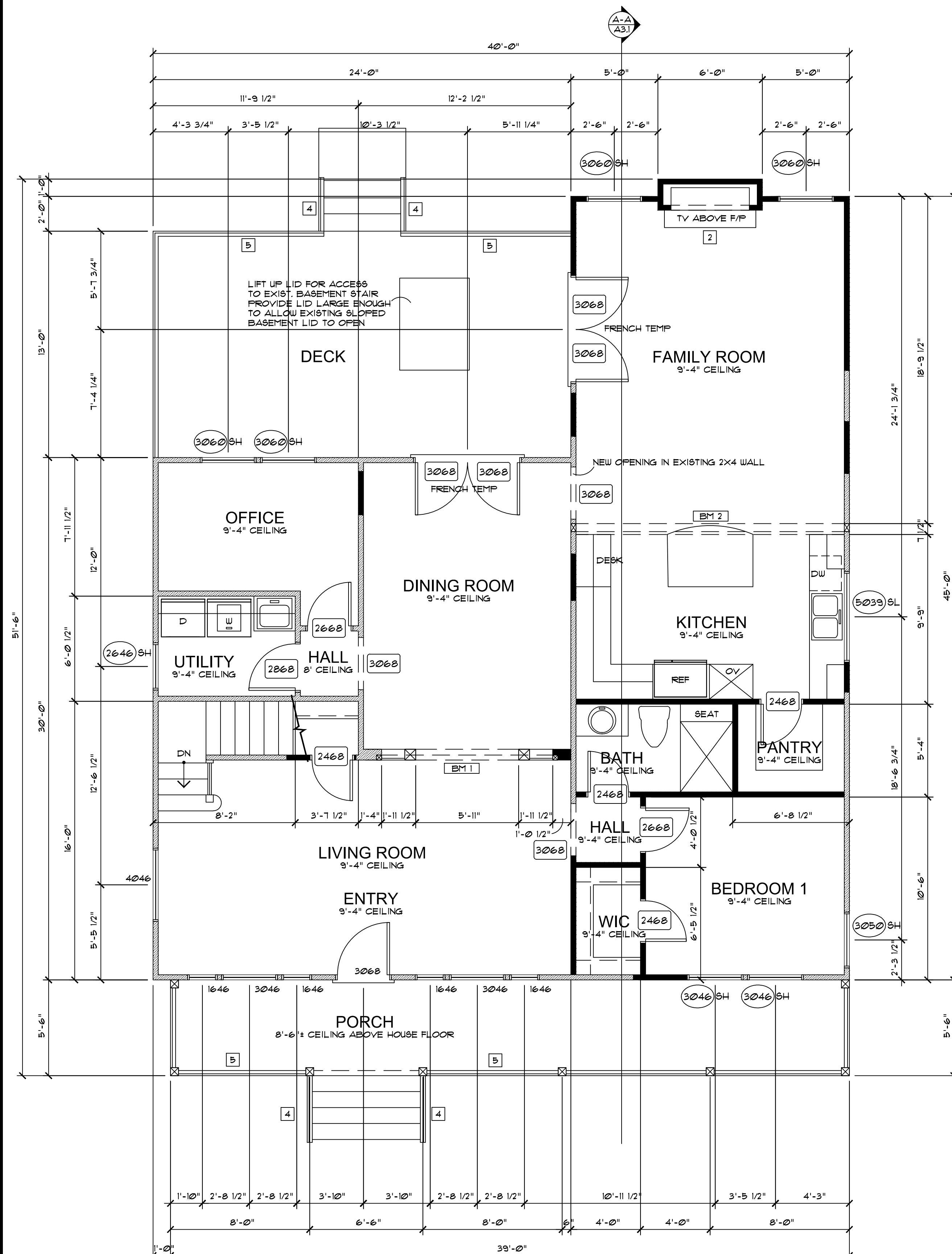
SHEAR WALL INFORMATION

	HOLDDOWN (SEE HOLDDOWN SCHEDULE)
	EXTENT OF SHEAR WALL
	SHEAR WALL LENGTH INDICATOR
	SHEAR WALL TYPE (SEE SHEAR WALL SCHEDULE)

BEAM SCHEDULE:

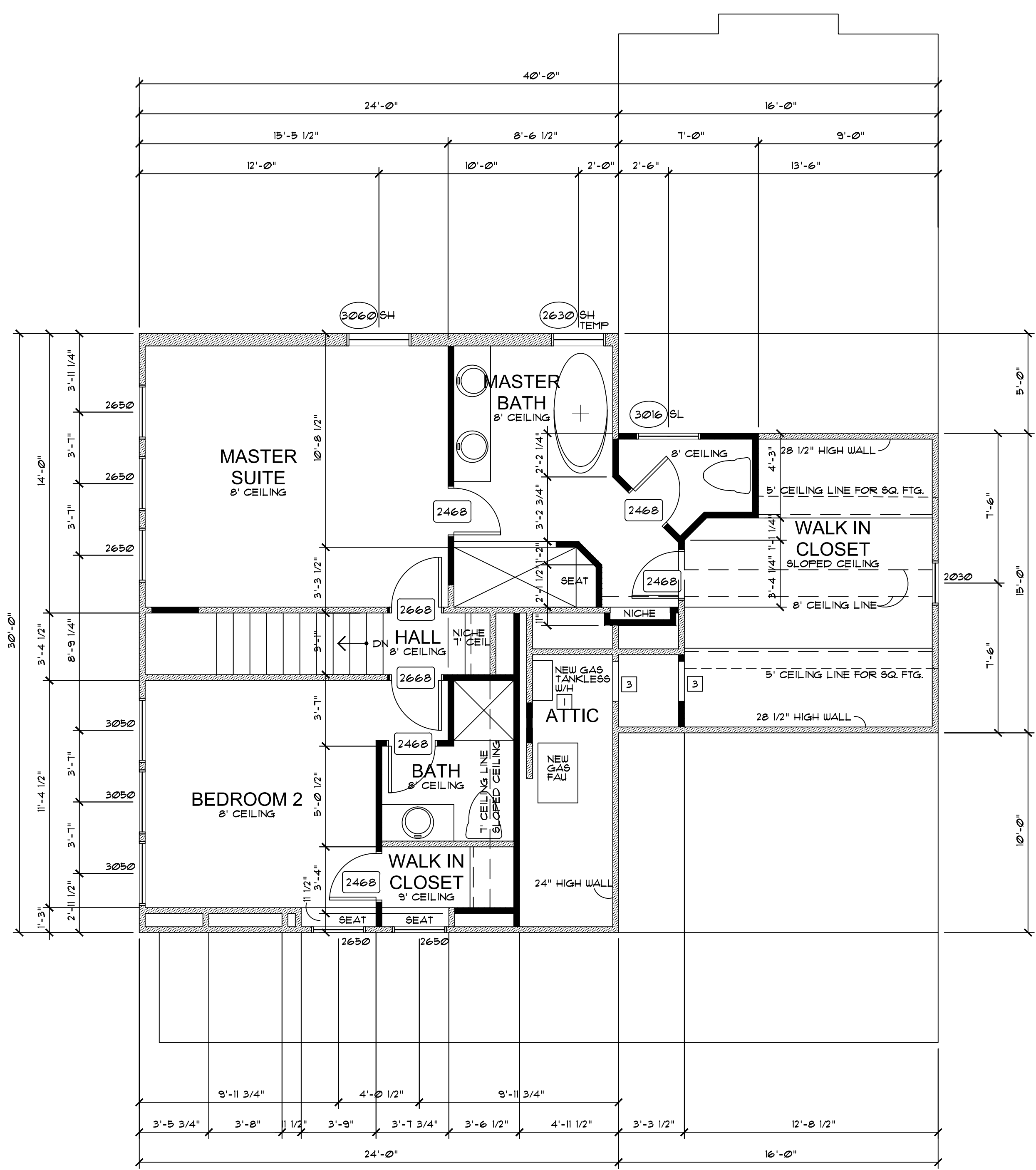
SYMBOL	DESCRIPTION	TYPE
	1	DROPPED
	2	DROPPED
	3	DROPPED
	4	DROPPED
	5	DROPPED

OTHER BEARING WALL HEADERS UP TO 6' MAX SPAN
- AT 2X4 WALLS USE 4X12 #2 DF OVER SINGLE 2X4 TRIMMERS
- AT 2X6 WALLS USE 6X10 #2 DF OVER SINGLE 2X6 TRIMMERS
ALL POSTS/TRIMMERS, 6X6 AND LARGER ARE TO BE #1 DF



PROPOSED FIRST FLOOR
1446 SQ. FT.
EXISTING HOME NO CHANGE 558 SQ. FT.
EXISTING REMODELED 722 SQ. FT.
NEW HOME 166 SQ. FT.
EXISTING PORCH 230 SQ. FT.
NEW DECK 312 SQ. FT.

1646 = EXISTING WINDOW OR DOOR SIZE
3060 SH = NEW WINDOW, SIZE AND TYPE
3068 = NEW DOOR AND SIZE



PROPOSED SECOND FLOOR
756 SQ. FT.
EXISTING HOME NO CHANGE 506 SQ. FT.
EXISTING REMODELED 228 SQ. FT.
NEW HOME 22 SQ. FT.

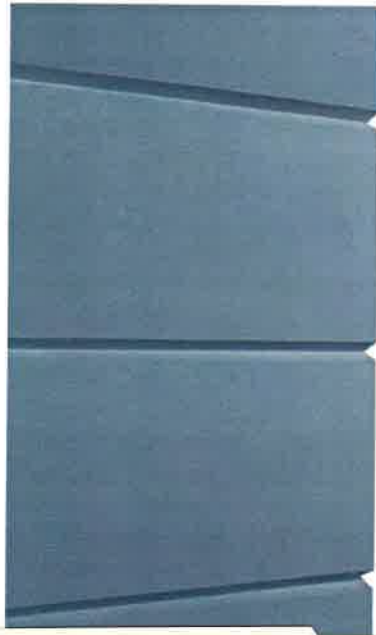
Attachment 6

Proposed Colors and Materials



Artisan® Lap Siding

Mitered corners



ARTISAN® V-GROOVE SIDING

- Deep v-shaped channels
- Great for vertical, horizontal and soffit applications

WIDTH 8.25 in (7.0 in Exposure)	THICKNESS 5/8 in	TEXTURE Smooth	FINISH Primed	PROFILE WIDTH x DEPTH 0.5 in x 0.263 in
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Microsoft Word (*.docx)

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Start Free Trial

LMN

17.00x1

DIVINE WHITE SW6105

All TRIM
EXTERIOR

All SIDING
& SHINGLES &
HAIR ROUNDS
ETHERE THIS COLOR
OR BLUE AS SHOWN
ON THIS PAGE

Attachment 7

Photographs of the Project Site







Attachment 8
Comment Letter from the Heritage Preservation
League of Folsom, Dated March 12, 2020

**HERITAGE PRESERVATION LEAGUE OF FOLSOM
PROJECT APPLICATION REVIEW**

March 12, 2020

PROJECT: Residential Addition and Remodel at 711 Persifer Street in the Central Subarea (PN 20-044)

REQUEST: Residential Design Review

PROJECT

HISTORY: Application Circulated by City on March 2, 2020.
Feedback requested by March 13.

GENERAL COMMENT

The residence at 711 Persifer Street is consistent with the design criteria for the Central Subarea and compatible with the surrounding neighborhood. It is an important part of historic preservation in Folsom to maintain this type of property.

As many homes in the Historic District the main structure at 711 Persifer Street does not meet the current setback requirements. The existing accessory structures on the project site and the adjacent property to the east, also do not observe current setbacks.

SITE DESIGN

HPL has assumed that a variance from front and side setbacks will need to be processed together with the proposed building expansion. Unless the proposed garage improvements (including new siding and a new roof) can be considered minor maintenance, a side setback variance may also be required for the rear garage.

The separation between the rear addition and existing accessory structures on both the project site and on the adjacent property to the east also needs to be considered. All accessory structures, on or close to the project site should therefore be shown on the Site Plan.

Because Folsom Municipal Code requires that existing non-conformity should not be increased, a 5-foot setback will need to be maintained between the new rear porch and the west property boundary.

Site Recommendations:

- Show all accessory structures on and close to the project site on the Site Plan.
- Request a variance for all non-conforming setbacks.
- Observe a 5-foot side setback for the new rear porch.

ARCHITECTURE

Siding

The applicant is proposing to install Artisan V-Groove siding along parts of the main residence and along the garage. Based on HPLs internet search, this siding material is offered by Hardie Industries and can only be purchased with 8.25 inch wide boards. This product is not considered a lap-siding.

It is HPLs impression that the existing siding material along the front of the residence is wood lap-siding with 5-6 inch wide boards. It is not clear if another type of siding has been installed along the sides of the residence.

Because the existing and new siding materials will meet along the sides of the main residence, HPL recommends that the two siding materials should match. It is HPLs opinion that siding with 5-6 inch boards and a smooth finish (similar to the siding along the front facade) is historically appropriate for the home.

Roof Cover and Gutters

The current application should include a sample or a photo of the proposed roof shingles and Ogee gutters. Dimensional composition shingles and Ogee gutters with a rounded profile would be preferred. The Historic District Commission may also need to consider the proposed design change to cover the open rafters.

Windows and Doors

The submitted window detail does not specify what materials are proposed for frames and trim. More specifications regarding windows and doors would be helpful.

Back Porch

The raised deck along the rear façade will provide more visibility into the neighboring property to the west. This deck should not extend into the 5-foot side setback area.

As a part of the current application, a sample or a photo of the roof shingles and Ogee gutters proposed for the new porch roof need to be provided to the Historic District Commission.

Building Color

HPL has assumed the front façade in addition to the existing dormers will be repainted to match the new building colors.

Architectural Recommendations:

- Clarify what types of siding have been used for the residence in the past and verify if the existing siding will match the proposed V-groove siding material.
- Provide samples or photos of the proposed roof shingles and Ogee gutters.
- Provide more information regarding windows, doors and trim.
- Redesign the rear covered porch to fit within the buildable lot area.
- Specify that all sides of the main residence will be painted to match the building addition.

Attachment 9

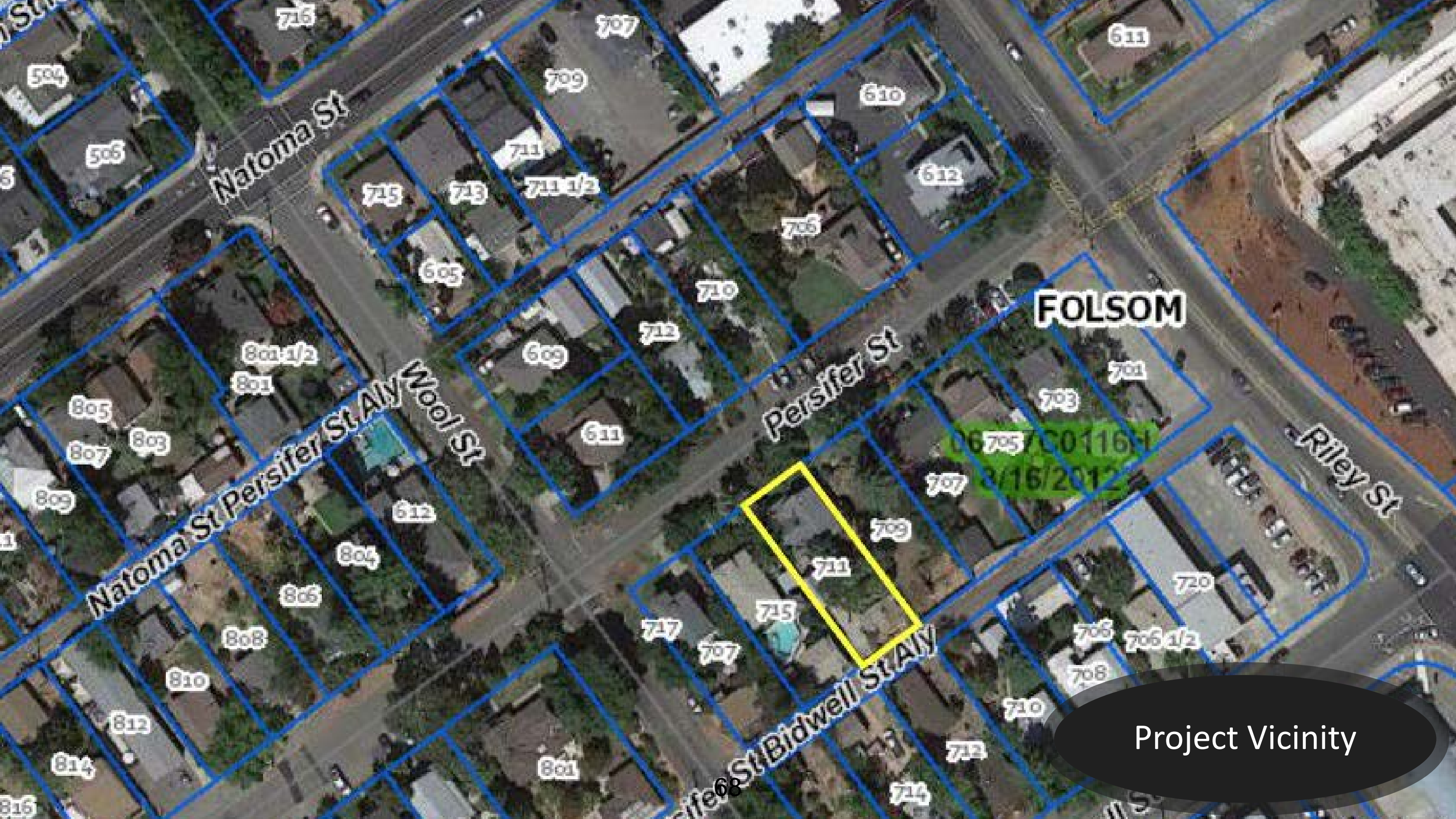
Staff PowerPoint Presentation



711 Persifer Street Addition & Re-Siding



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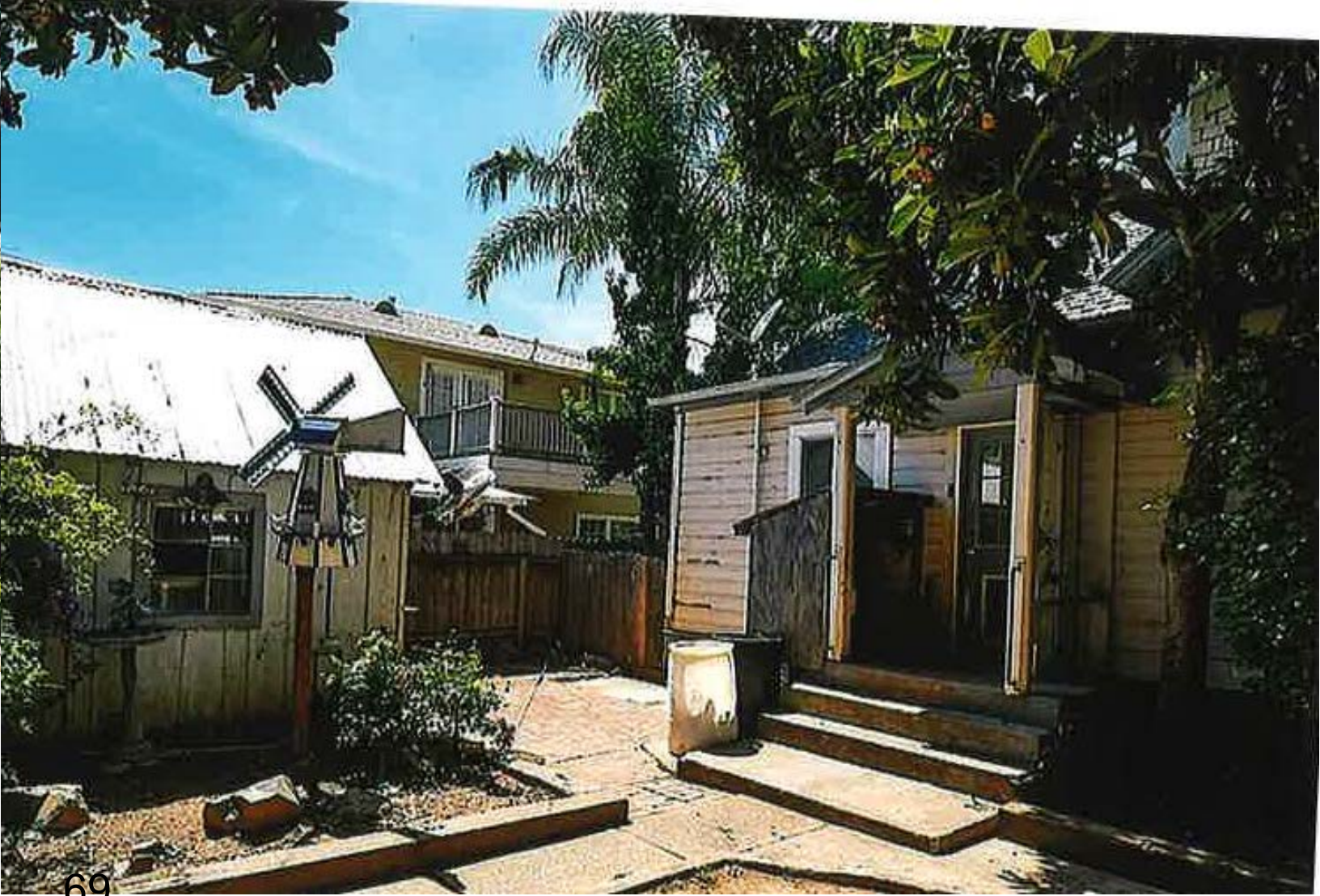
FOLSOM

Project Vicinity

Site Photos



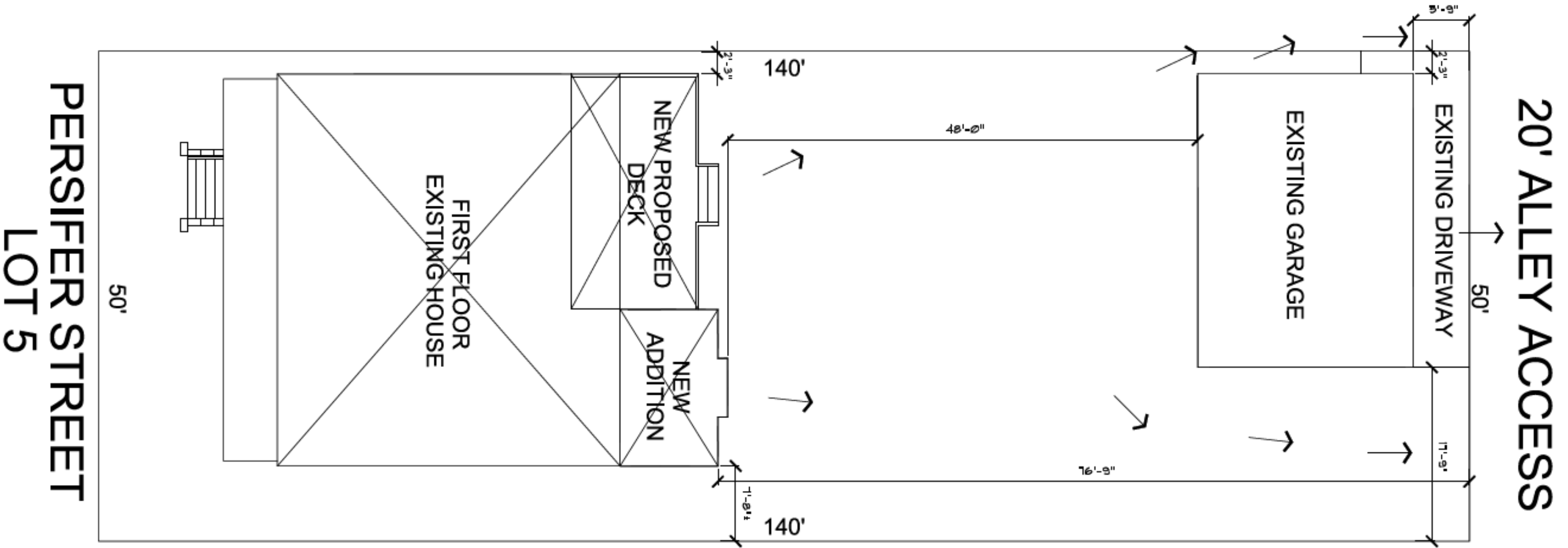
CITY OF
FOLSOM



Site Plan



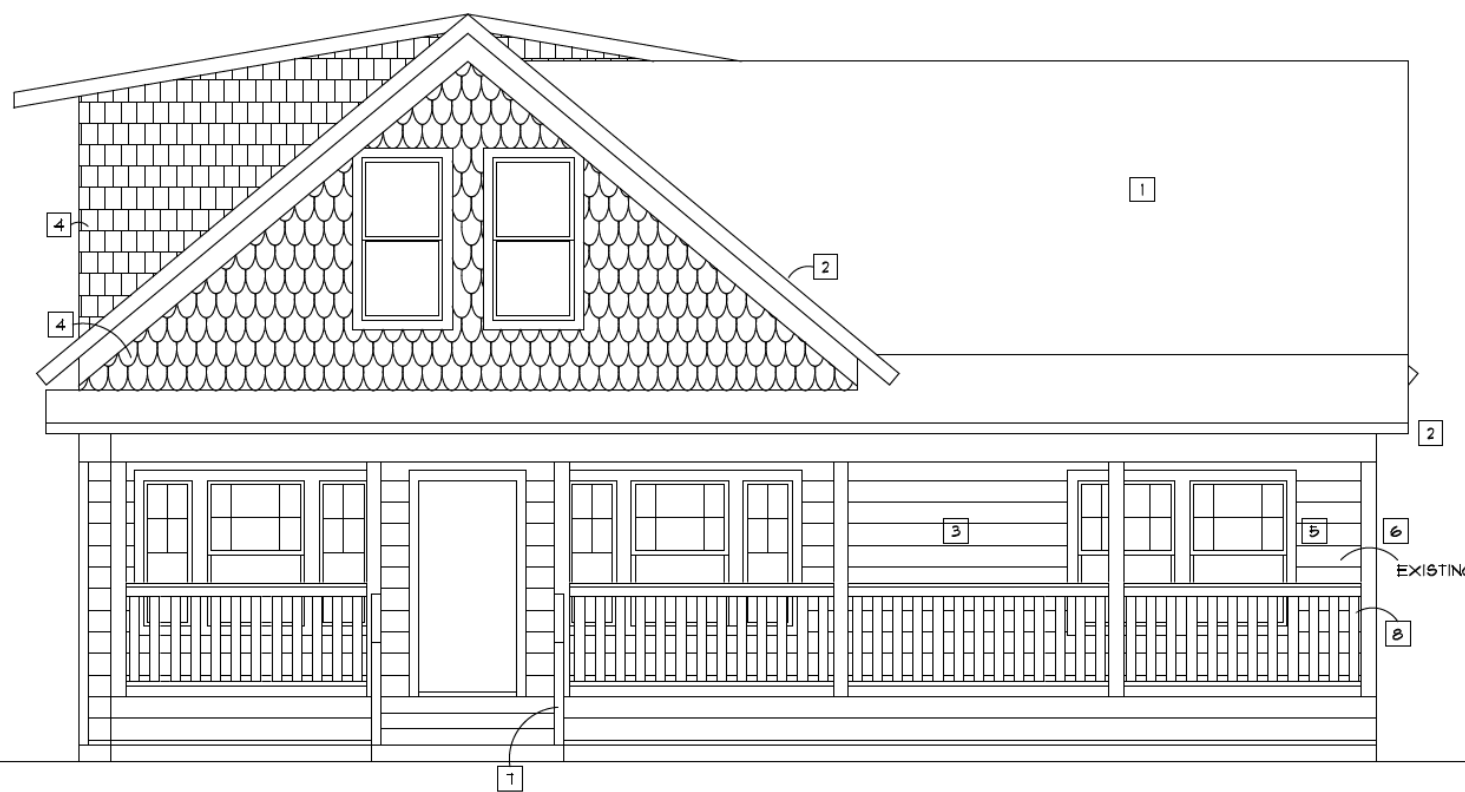
CITY OF
FOLSOM



Elevations



CITY OF
FOLSOM



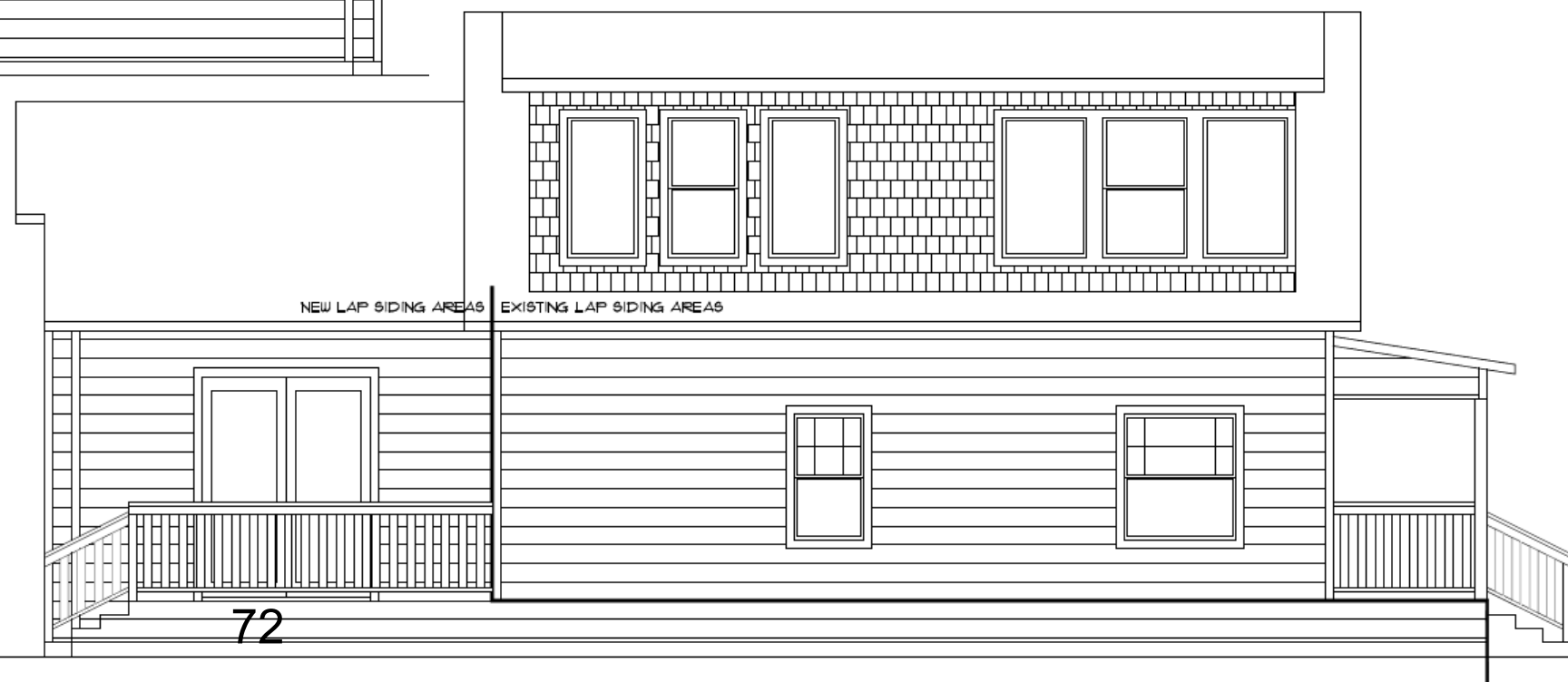
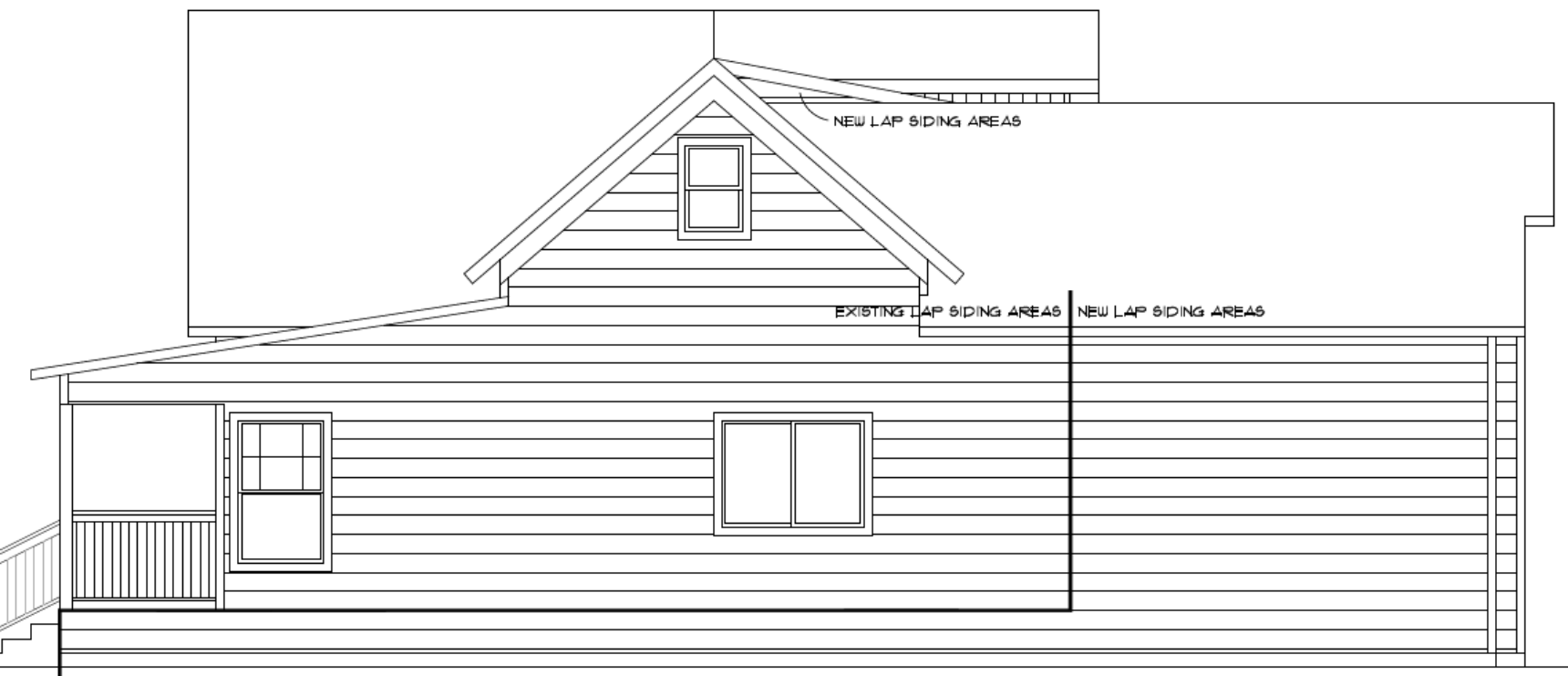
FRONT ELEVATION



Elevations



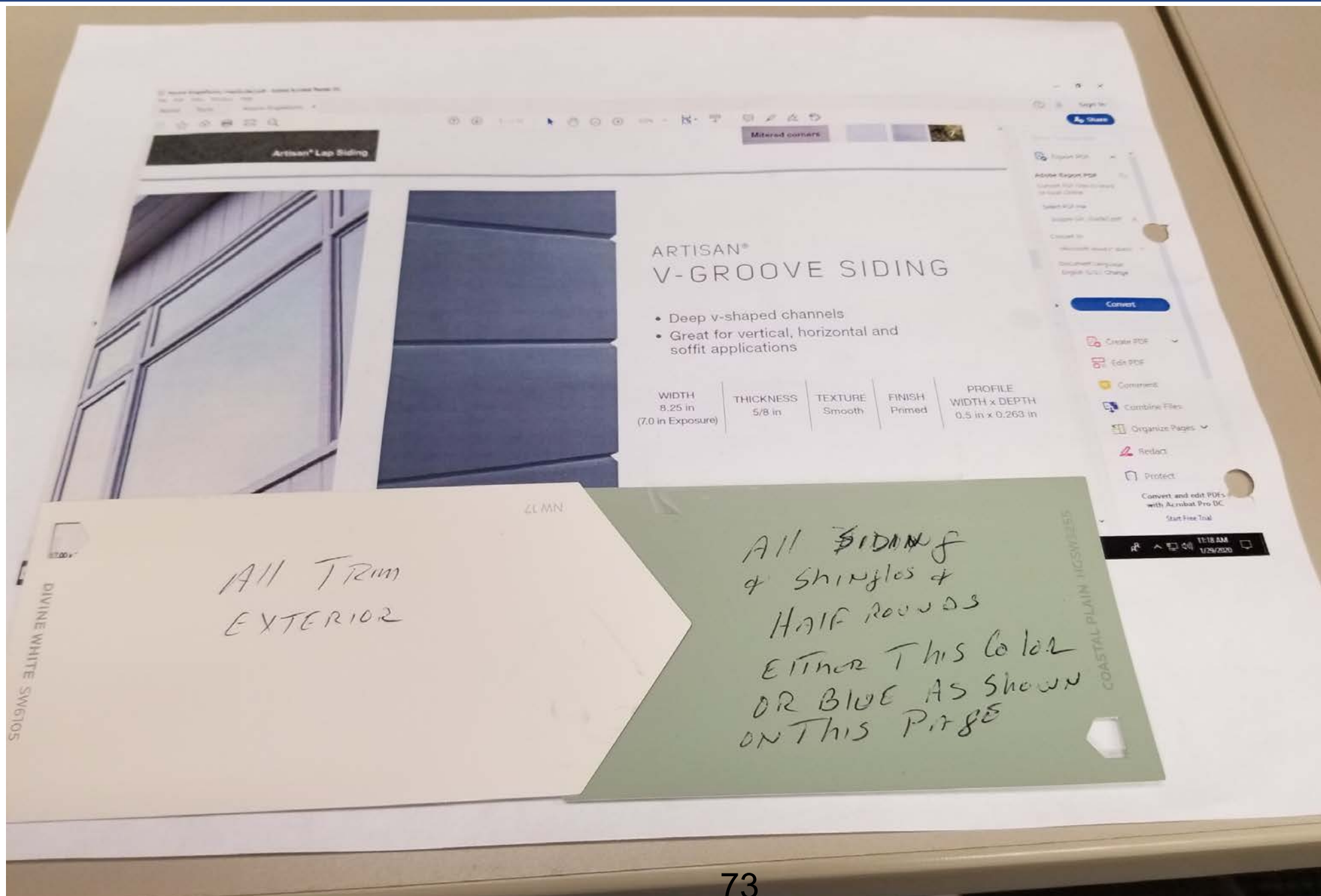
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Colors and Materials



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Staff Recommendation



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Staff recommends approval of PN 20-044 for Design Review of a 160-square-foot addition, 98-square-foot rear porch addition and re-siding for an existing residence located at 711 Persifer Street .



CITY OF
FOLSOM
DISTINCTIVE BY NATURE

AGENDA ITEM NO. 3
Type: Public Meeting
Date: June 17, 2020

Historic District Commission Staff Report

50 Natoma Street, Council Chambers
Folsom, CA 95630

Project: 904 Persifer Street Custom Home
File #: PN 20-105
Request: Design Review
Location: 904 Persifer Street
Parcel(s): 070-0152-022
Staff Contact: Josh Kinkade, Assistant Planner, 916-461-6209
jkinkade@folsom.ca.us

Property Owner

Name: Tom Martucci
Address: 904 Persifer Street
Folsom, CA 95630

Applicant

Name: Jesse Borovnica
Address: 5726 Hoffman Ln.
Fair Oaks, CA 95628

Recommendation: Conduct a public meeting and upon conclusion recommend approval of an application for Design Review for a 1,862-square-foot custom home located at 904 Persifer Street as illustrated on Attachments 4 and 5 for the 904 Persifer Street Custom Home project (PN 20-105) subject to the findings included in this report (Findings A-I) and attached conditions of approval (Conditions 1-8).

Project Summary: The proposed project includes an 1,862-square-foot custom home with a 179-square-foot uncovered rear patio and a 57-square-foot covered front porch at 904 Persifer Street. The property is located within the Central Subarea of the Historic Residential Primary Area of the Historic District.

Table of Contents:

- 1 - Description/Analysis
- 2 - Background
- 3 - Proposed Conditions of Approval
- 4 - Vicinity Map
- 5 - Site Plan, Floor Plan and Elevations, dated 4/17/2020
- 6 - Proposed Colors and Materials
- 7 - Photograph of Project Site



CITY OF
FOLSOM
DISTINCTIVE BY NATURE

AGENDA ITEM NO. 3
Type: Public Meeting
Date: June 17, 2020

- 8 - Comment Letter from the Heritage Preservation League of Folsom, Dated May 4, 2020
- 9 - Staff PowerPoint Presentation

Submitted,

PAM JOHNS
Community Development Director

**ATTACHMENT 1
 DESCRIPTION/ANALYSIS**

APPLICANT’S PROPOSAL

The applicant, Jesse Borovnica, is proposing an 1,862-square-foot custom home with a 179-square-foot uncovered rear patio and a 57-square-foot covered front porch located at 904 Persifer Street. The proposed site plan, floor plan, and elevations are shown in Attachment 5. The property is located within the Central Subarea of the Historic Residential Primary Area of the Historic District. The applicant proposes vertical exterior siding colored light grey, scalloped siding along the roof gables in front colored white, window trim colored white and dark grey asphalt shingle roofing. The proposed color and material board is shown in Attachment 6.

POLICY/RULE

The Folsom Municipal Code (FMC Section 17.52.400) requires that all new structures and alterations to existing structures located within the Historic District obtain Design Review approval from the Historic District Commission.

ANALYSIS

General Plan and Zoning Consistency

The project, which is located within the Central Subarea of the Historic Residential Primary Area, has an underlying zoning designation of R-1-M (Single-Family Dwelling Small Lot District) and is designated as SFHD in the General Plan. Single-family residences are an allowed use in both the Central Subarea and in the R-1-M (PD) zone. The proposed project is subject to the development standards established with the Folsom Municipal Code Section 17.52.540, which institute requirements for lot size, lot coverage, setbacks, building heights, pervious surface, and parking. The following table compares the proposed project to the development standards established by the Folsom Municipal Code for the Historic Residential Primary Area.

	<u>REQUIRED</u>	<u>PROPOSED</u>
Minimum Lot Size	7,000 SF	7,000 SF (existing)
Minimum Lot Width	50 Feet	50 Feet (existing)
Front Setback	20 Feet	20 Feet
Rear Setback	20 Feet	64 Feet
Side Setback	5 Feet, 5 Feet	5 Feet, 5 Feet
Minimum Pervious Surface	45%	70%
Parking Requirement	2 Parking Spaces	2 Parking Spaces
Maximum Building Height	35 Feet	16.5 Feet
Setback To Other Structures	10 Feet	>10 Feet

As shown in the table above, the proposed residence will meet all applicable development standards.

Building Design/Architecture

Chapter 5.04.03(b) of the DDG's, which addresses the design concepts for the Central Subarea, states that the subarea provides property owners with broad discretion in choosing styles from the entire 1850-1950 time frame, guided by the overall principles and any designation of significance of the building or site. Automobiles were more common by the end of the 1850-1950 timeframe but were not a dominant design factor. The few attached garages were constructed for one car. Depending on the architectural style chosen, an applicant may be required to reduce the visibility of autos by such means as eliminating driveways from streets in favor of using alley access, disguising detached garages as out buildings, or providing screen plantings for outdoor parking areas.

The architectural design of the proposed residence has elements of the Craftsman style. General characteristics of the Craftsman style are typically characterized by the use of front porches, gable roof elements, decorative roof vents, horizontal wood siding, and wood-framed doors and windows. As shown in the submitted building elevations (Attachment 5), the proposed project incorporates a number of significant Craftsman-style design features including a covered front porch, horizontal lap siding, wood shingle-siding, and wood-framed windows and doors.

Siding and Trim

The DDG's state that exterior materials and finishes should be of residential grade, durable and of high quality and should include details appropriate for design period of the Subarea and building style.

Proposed exterior materials include horizontal siding colored grey with trim and scalloped siding colored white and an asphalt shingle roof colored dark grey. The style, colors, and materials of the proposed siding and trim are consistent with the design intent of the Central Subarea as outlined in the DDGs. Staff has included a condition recommending that scalloped siding matching that proposed on the front elevation be provided under the roof eaves of the rear elevation to help reduce the massing of the rear elevation (Condition No. 3b).

Windows and Doors

The DDGs state that wood frame double-hung or casement windows are preferred, and that vinyl clad windows may be used for less significant structures. In general, window proportions should be vertical rather than horizontal; however, appropriate proportions and number of panes will vary depending upon the style of the individual building and the context. Regarding entries, the DDGs state that residentially-scaled and detailed solid wood or glazed doors of many styles may be appropriate.

The applicant proposes vinyl windows that are primarily vertically-oriented. The front of the residence features two double-windows with a single-window near the door. All windows on the front elevation feature historically-appropriate small grids inside of them. Windows on the side elevations are primarily smaller and narrow than those on the front due to the layout of the interior of the residence. The rear elevation includes one horizontally oriented window, a French door and a sliding-glass door. As stated before, the DDGs does generally discourage horizontal windows, but as this single window is in the rear elevation, staff does support the use of the horizontal window in this case. While several of the windows feature different sizes and design, staff supports the window shapes as proposed due to the proposed interior layout of the residence and the fact that the mis-matched windows would not be visible from the street. To ensure design consistency, staff has included Condition No. 3c, which states that the larger two-paned windows on the side and rear elevations shall incorporate small grids to match the window grids on the front elevation to achieve a more historic appearance. As conditioned, staff supports the proposed doors and windows.

Porches and Patios

The front of the residence will have a 57-square-foot covered front porch and a 179-square foot uncovered rear patio. In Appendix D, Section C.4, it explains that front porches are encouraged in all new construction and that, at a minimum, each residentially designed building should have either a porch or balcony exterior space oriented toward a street. The proposed front porch matches the rest of the residence in architectural style and roofing and fulfills the DDG guidelines of having a street-facing porch or balcony.

Roofing

Pursuant to the DDGs, Appendix D, Section C.7, appropriate roofing materials include fireproof wood shingles, corrugated metal, composition fiberglass shingles, clay tile, or other as determined by historic evidence, with inappropriate materials including colored standing seam metal roofs, glazed ceramic tile or imitation roofing materials including concrete shingles and imitation concrete mission style. The proposed roof will be an asphalt composition shingle roof colored dark grey.

Staff has determined that the overall design, colors, materials, and layout of the proposed residence can be successfully incorporated into quality residential design and are compatible with the existing residential character in the project vicinity and is consistent with the design and development guidelines for the Central Subarea of the Historic Residential Primary Area. Staff has concluded that the applicant has met the design standards identified in the Historic District Design and Development Guidelines.

Parking

FMC Section 17.52.540 requires two parking spaces for each single-family detached dwelling unit in within the Residential Primary Area of the Historic District. Required parking spaces must be provided outside required front and street side yards. The applicant has obtained building permit approval for an accessory dwelling unit with a

two-car garage located in the rear of the property. The garage will be accessible from the alley in the back of the project site. The parking provided for in this approved garage would ensure that the proposed project is compliant with the parking requirements.

PUBLIC COMMENTS

A public comment letter (included as Attachment 8) was received via email on May 4, 2020 from the Heritage Preservation League of Folsom. The letter recommends that windows utilize a more historic design, especially on those near the front door. The letter goes on to recommend a front door with paneling and a small window, the addition of wall lights in the entrance area, the use of dimensional composition shingle roofing resembling wood shake and the use of rounded gutters and downspouts.

Staff shared these suggestions with the applicant. Due to the interior layout, only small windows were feasible on the left elevation. However, staff recommended to the applicant that the front elevation windows be modified from their original design. The applicant then modified the front windows to include one single long window near the front door and larger, longer separated windows on each side of the front elevation, as well as rounded gutter downspouts. Staff forwarded the remaining suggestions to the applicant who indicated that, due to cost considerations, were not feasible.

ENVIRONMENTAL REVIEW

The project is exempt from environmental review under Section 15303, New Construction or Conversion of Small Structures, of the California Environmental Quality Act (CEQA) Guidelines. Based on staff's analysis of this project, none of the exceptions in Section 15300.2 of the CEQA Guidelines apply to the use of the categorical exemption(s) in this case.

RECOMMENDATION/HISTORIC DISTRICT COMMISSION ACTION

Move to approve the application (PN 20-005) for design review for a an 1,862-square-foot custom home with a 179-square-foot rear patio and 57-square foot porch located at 904 Persifer Street, with the findings below (Findings A-I) and the conditions of approval (Conditions 1-8) included as Attachment 3 to this report.

GENERAL FINDINGS

- A. NOTICE OF PUBLIC MEETING HAS BEEN GIVEN AT THE TIME AND IN THE MANNER REQUIRED BY STATE LAW AND CITY CODE.

- B. THE PROJECT IS CONSISTENT WITH THE GENERAL PLAN THE ZONING CODE OF THE CITY.

CEQA FINDINGS

- C. THE PROJECT IS CATEGORICALLY EXEMPT FROM ENVIRONMENTAL REVIEW UNDER SECTION 15303 (NEW CONSTRUCTION OR CONVERSION OF SMALL STRUCTURES) OF THE CALIFORNIA ENVIRONMENTAL QUALITY ACT (CEQA) GUIDELINES.
- D. THE CUMULATIVE IMPACT OF SUCCESSIVE PROJECTS OF THE SAME TYPE IN THE SAME PLACE, OVER TIME IS NOT SIGNIFICANT IN THIS CASE.
- E. NO UNUSUAL CIRCUMSTANCES EXIST TO DISTINGUISH THE PROPOSED PROJECT FROM OTHERS IN THE EXEMPT CLASS.
- F. THE PROPOSED PROJECT WILL NOT CAUSE A SUBSTANTIAL ADVERSE CHANGE IN THE SIGNIFICANCE OF A HISTORICAL RESOURCE.

DESIGN REVIEW FINDINGS

- G. THE BUILDING MATERIALS, TEXTURES AND COLORS USED IN THE PROPOSED PROJECT ARE COMPATIBLE WITH SURROUNDING DEVELOPMENT AND ARE CONSISTENT WITH THE GENERAL DESIGN THEME OF THE NEIGHBORHOOD.
- H. THE PROPOSED PROJECT IS IN CONFORMANCE WITH THE HISTORIC DISTRICT DESIGN AND DEVELOPMENT GUIDELINES ADOPTED BY CITY COUNCIL.
- I. THE PROPOSED PROJECT COMPLIES WITH THE GENERAL PLAN AND ZONING ORDINANCES OF THE CITY.

**ATTACHMENT 2
BACKGROUND**

BACKGROUND

Sacramento County records indicate that a 1,155-square-foot residence at 904 Persifer Street was constructed in 1937. The residence featured a simple bungalow design, with horizontal wood siding (with horizontal lap siding on the side and portions of the rear of the structure) painted light green, white window trim and grey composition shingle roofing. The residence included a 225-square-foot attached garage and covered porch in the front. The property also included a 300-square-foot detached garage in the rear, colored to match the residence, which was built in the late-1960's. The subject property is located in the Central Subarea of the Historic Residential Primary Area of the Historic District, with an underlying zoning of R-1-M (Single Family Residential- Small Lot District). The property does not appear on the City of Folsom's Cultural Resources Inventory.

On June 19, 2019, the Historic District Commission approved an application for Design Review of a 126-square-foot addition and an exterior remodel of the existing residence, as well as a Side Yard Setback Variance and the demolition of the existing detached garage (PN 19-073). As part of approval of the Variance, the applicant was required to not tear down the existing west wall of the residence to achieve a one-hour fire rating. Building permits were issued for the remodel and addition as well as building permits for a detached accessory dwelling unit with a two-car garage below in the rear of the parcel. During construction, staff discovered that the west wall had been torn down, as well as all other exterior walls of the residence. As such, a stop-work order was placed on the project site, as the project was no longer in compliance with the conditions of the approved variance. The applicant met with staff and determined that they would submit a new application for a modified custom home that meets current setback requirements. Photographs of the project site in its current state are included in Attachment 6.

GENERAL PLAN DESIGNATION

SFHD, Single-Family, High Density

ZONING

CEN, Central Subarea of the Historic Residential Primary Area, with an underlying zoning of R-1-M (Single Family Residential- Small Lot District)

ADJACENT LAND USES/ZONING

North: Natoma Street/Persifer Street alley with single-family residences beyond (CEN)
South: Persifer Street with single-family residences beyond (CEN)

East: Existing duplex (CEN), with Decatur Street beyond

West: Existing residence (CEN)

SITE CHARACTERISTICS

The 7,000-square-foot project site contains the foundation of a demolished residence in the front of the property and landscaping.

APPLICABLE CODES

FMC Section 17.52 HD, Historic District
FMC Section 17.52.300, Design Review
FMC Section 17.52.330, Plan Evaluation
FMC Section 17.52.340, Approval Process
FMC Section 17.52.540, Historic Residential Primary Area Special Use and Design Standards
Historic District Design and Development Guidelines

ATTACHMENT 3

Proposed Conditions of Approval

**CONDITIONS OF APPROVAL FOR
 904 PERSIFER STREET CUSTOM HOME
 (PN 20-105)**

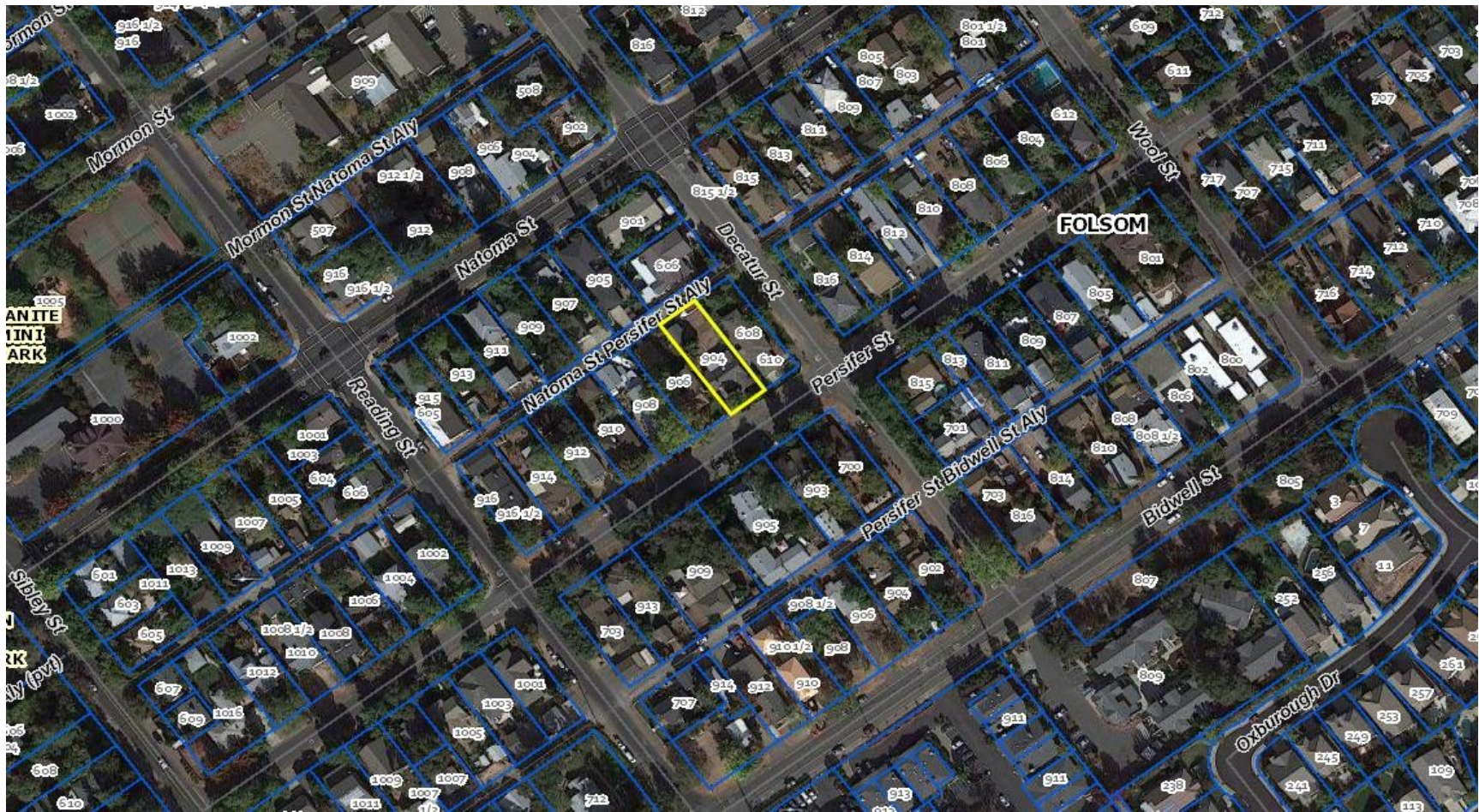
Cond. No.	Mitigation Measure	GENERAL REQUIREMENTS	When Required	Responsible Department
1.		Issuance of a Building Permit is required. The applicant shall submit final site and building plans to the Community Development Department that substantially conform to the site plan, building elevations, and floor plans dated 4/17/20. Implementation of this project shall be consistent with the above referenced items as modified by these conditions of approval.	B	CD (B)
2.		Compliance with all local, state and federal regulations pertaining to building construction and demolition is required.	OG	CD (B)
3.		<p>The project shall comply with the following architecture and design requirements:</p> <p>a. This approval is for an 1,862-square-foot custom home located at 904 Persifer Street. The applicant shall submit building plans that comply with this approval and the attached site plan, floor plans, building elevations and colors and materials board dated April 17, 2020.</p> <p>b. Scalloped siding matching that proposed on the front elevation shall be provided under the roof eaves on the rear elevation to the satisfaction of the Community Development Department.</p> <p>c. Two-paned windows on the side and rear elevations shall incorporate small grids to match the design of the windows on the front elevation to achieve a more historic appearance to the satisfaction on the Community Development Department.</p>	B	CD (P)

4.	<p>Pursuant to the state’s Model Water Efficient Landscape Ordinance (MWELo), all new construction projects with an aggregate front yard landscape area equal to or greater than 500 square feet shall submit a landscape documentation package and landscape permit application to the CDD for review and approval. The landscape permit shall be issued prior to, or at the time of, the issuance of a building permit.</p> <p>Projects with an aggregate front yard landscape area of 500 to 2,500 square feet may either:</p> <ul style="list-style-type: none"> a. Comply with the performance requirements of the MWELo and within 24 months of the date of landscape permit issuance shall install the City-approved landscape and submit a Certificate of Completion to the CDD; or b. Comply with the simpler Prescriptive Compliance Option contained in Appendix D to the MWELo and, by the time of final inspection for a Building Permit for the custom home, shall install the City-approved landscape and submit a Certificate of Completion to the CDD. <p>Projects with an aggregate front yard landscape area of more than 2,500 square feet shall comply with the performance requirements of the MWELo and within 24 months of the date of landscape permit issuance shall install the City-approved landscape and submit a Certificate of Completion to the CDD.</p> <p>Projects with an aggregate front yard landscape area of less than 500 square feet shall submit a preliminary landscape plan to the CDD for review and approval prior to, or at the time of, the issuance of a building permit. The preliminary landscape plan shall show all proposed front yard landscaping with irrigated planting areas, plant materials, street tree species and location, footprints of buildings or structures, sidewalks, driveways, decks, patios, gravel or stone walks, or other pervious or non-pervious hardscapes, and other non-irrigated areas designated for non-development (such as open spaces and existing native vegetation). The preliminary landscape plan shall also include the calculation of front yard landscape area consistent with the definition herein. The City-approved landscaping shall be installed within 24 months of the date of building permit issuance. Any significant modification to the City-approved landscaping shall comply with the State’s Model Water Efficient Landscape Ordinance. For purposes of this condition of approval, “landscape area” means all the irrigated planting areas, irrigated turf areas, and water features in a landscape design plan or preliminary landscape plan. The landscape area does not include footprints of buildings or structures, sidewalks, driveways, parking lots, decks, patios, gravel or stone walks, other pervious or non-pervious hardscapes, and other non-irrigated areas designated for non-development (e.g., open spaces and existing native vegetation).</p>	B	CD (E)
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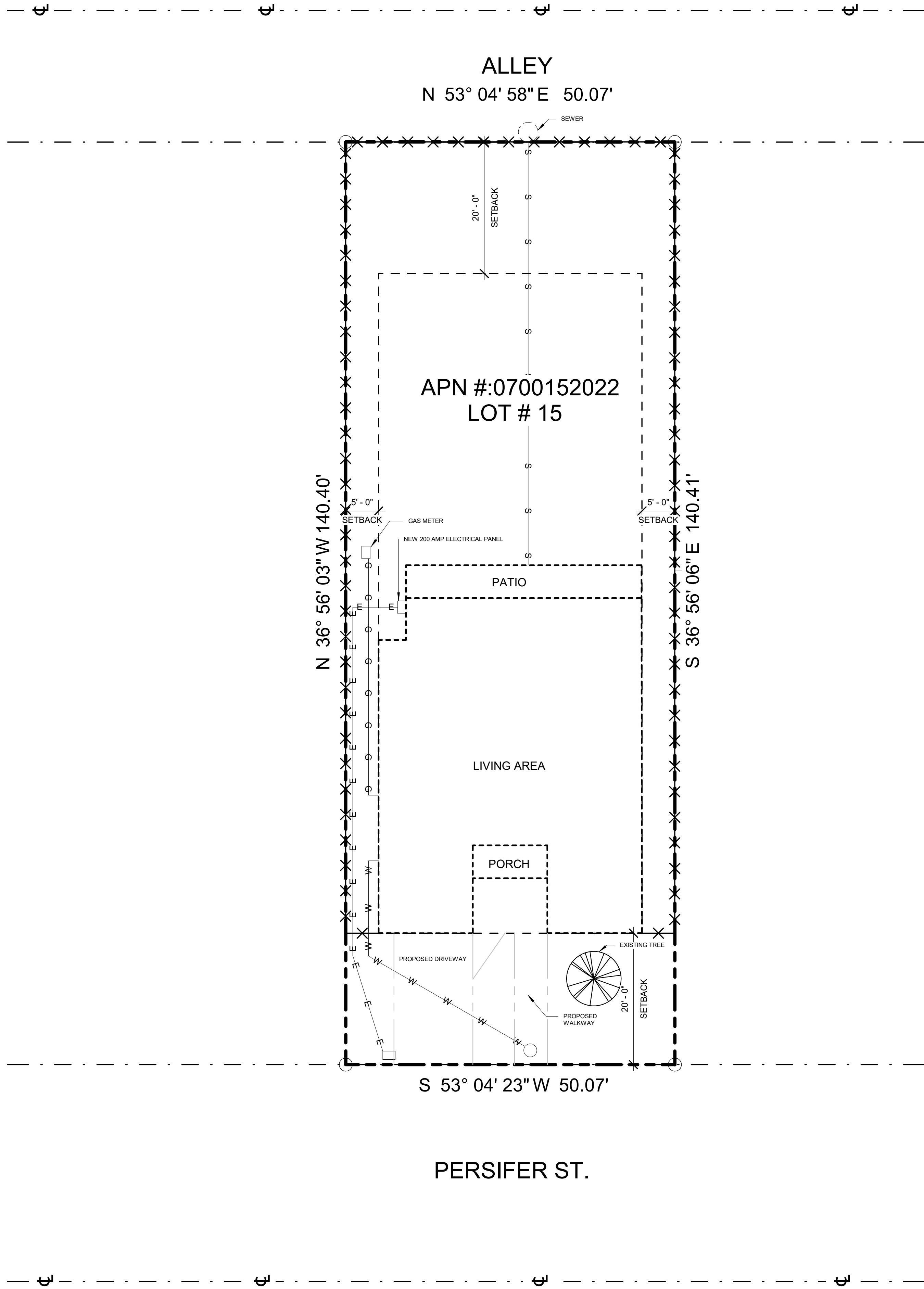
5.		If any archaeological, cultural, or historical resources or artifacts, or other features are discovered during the course of construction anywhere on the project site, work shall be suspended in that location until a qualified professional archaeologist assesses the significance of the discovery and provides recommendations to the City. The City shall determine and require implementation of the appropriate mitigation as recommended by the consulting archaeologist. The City may also consult with individuals that meet the Secretary of the Interior’s Professional Qualifications Standards before implementation of any recommendation. If agreement cannot be reached between the project applicant and the City, the Historic District Commission shall determine the appropriate implementation method.	G, I, B	CD (P)(E)(B)
6.		In the event human remains are discovered, California Health and Safety Code Section 7050.5 states that no further disturbance shall occur until the county coroner has made the necessary findings as to the origin and disposition pursuant to Public Resources Code 5097.98. If the coroner determines that no investigation of the cause of death is required and if the remains are of Native American Origin, the coroner will notify the Native American Heritage Commission, which in turn will inform a most likely decedent. The decedent will then recommend to the landowner or landowner’s representative appropriate disposition of the remains and any grave goods.	G, I, B	CD (P)(E)(B)
7.		If any tree(s), protected or otherwise, are within the property, on the property line or encroaching into the property, an arborist report is required which locates, identifies, assesses and quantifies each tree. A tree permit, protection plan and appropriate mitigation shall also be required to protect and/or account for the proposed development activities.	B	CD (E)
8.		The project approval granted under this staff report shall remain in effect for two years from final date of approval (June 17, 2022). Failure to obtain the relevant building, demolition, or other permits within this time period, without the subsequent extension of this approval, shall result in the termination of this approval.	B	CD (P)

RESPONSIBLE DEPARTMENT		WHEN REQUIRED	
CD	Community Development Department Planning Division Engineering Division Building Division Fire Division	I	Prior to approval of Improvement Plans
(P)		M	Prior to approval of Final Map
(E)		B	Prior to issuance of first Building Permit
(B)		O	Prior to approval of Occupancy Permit
(F)		G	Prior to issuance of Grading Permit
PW		Public Works Department	DC
PR	Park and Recreation Department	OG	On-going requirement
PD	Police Department		

Attachment 4 Vicinity Map



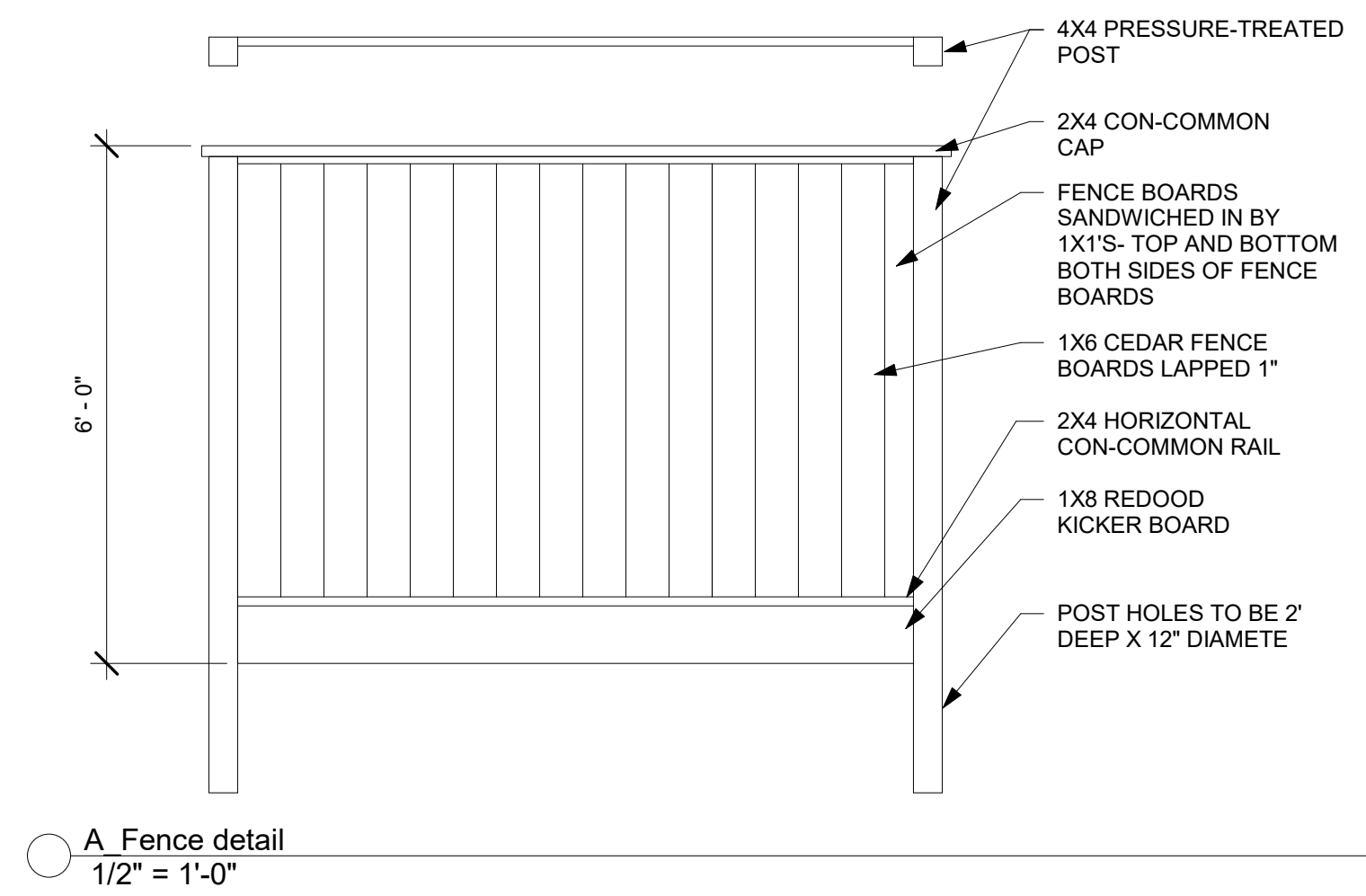
Attachment 5
Site Plan, Floor Plan and Elevations, dated April
17, 2020



LEGEND

DIMENSION POINT	
PROPERTY LINE	
SET-BACK LINE	
PAD LINE	
DRIVEWAY	
PROPOSED DRIVEWAY	
WATER LINE	
GAS LINE	
ELECTRICAL LINE	
SEWER LINE	
INTERNET AND TV LINE	
PROPOSED FENCE LINE	
DRAINAGE DIRECTION	

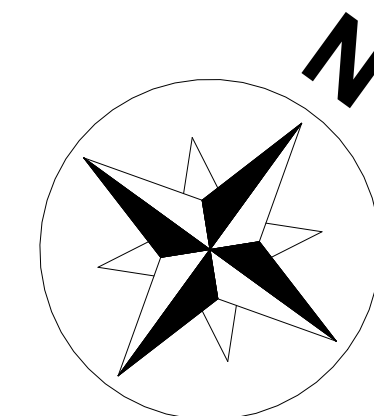
LOT COVERAGE	
LOT SIZE	7,205 SQ-FT
SPACE USED	1,862 SQ-FT
LOT COVERAGE	25.84%

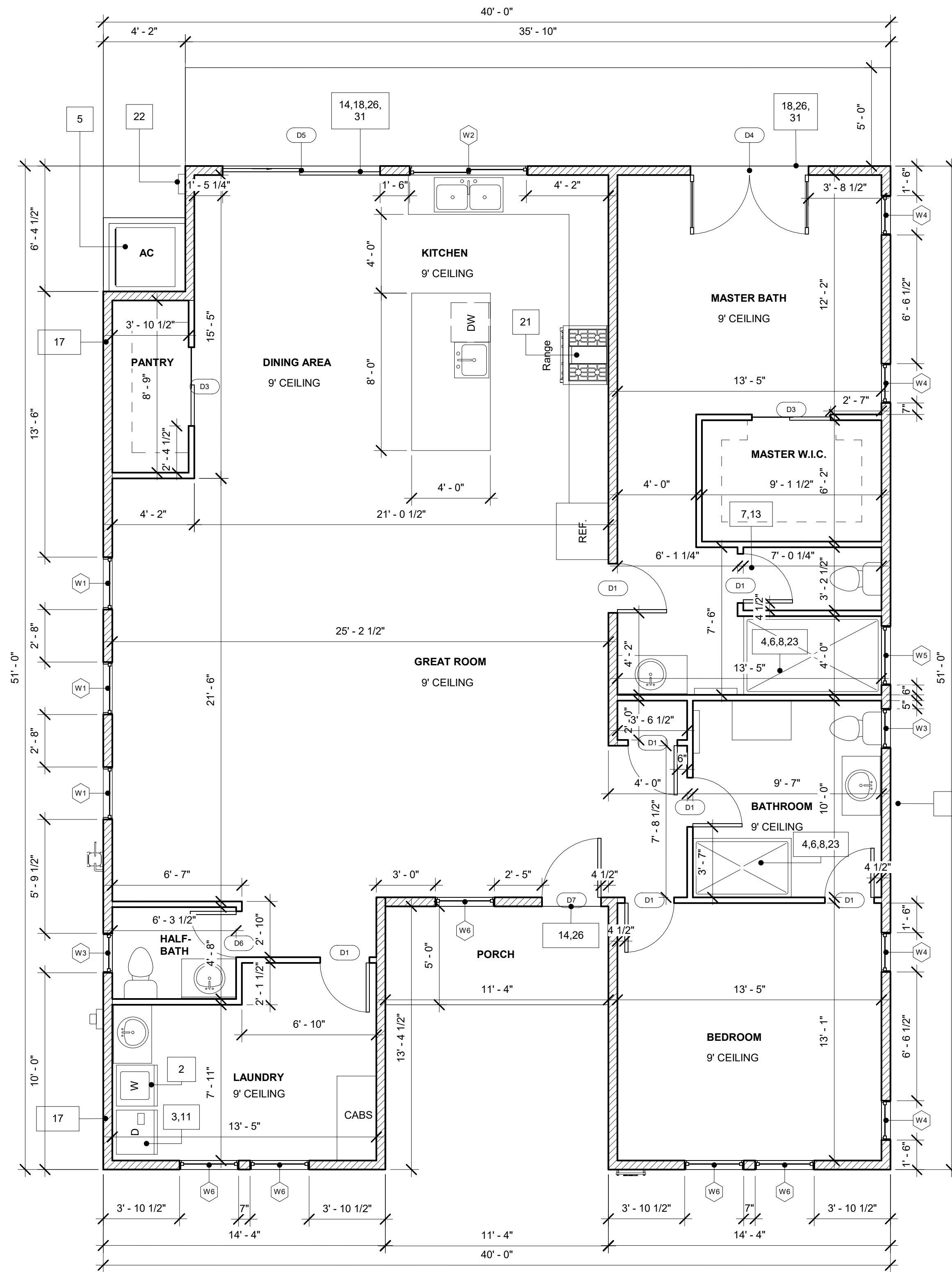


1 SITE PLAN
1" = 10'-0"

SHEET INDEX

- A1 SITE PLAN
- A2 FLOOR PLAN
- A3 ELEVATIONS
- A4 ROOF PLAN
- A5 COLORBOARD





1 1ST FLOOR
1/4" = 1'-0"

KEY NOTES

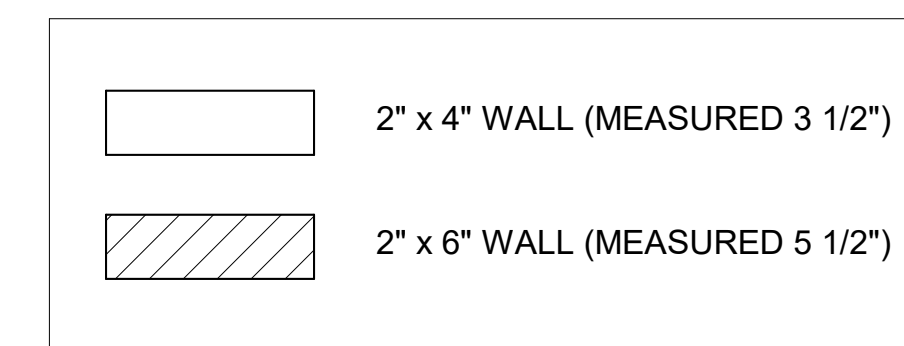
- TANKLESS GAS WATER HEATER (.82 EF)
- WASHER
- DRYER
- TEMPERED GLASS SHOWER DOOR
- AC PAD (220 VOLTS) (20 AMPS)
- SHOWER COMPARTMENT REGARDLESS OF SHAPE, HAVING A MIN. OF INTERIOR FLOOR AREA OF 1024 SQUARE IN., AND ALSO CAPABLE OF ENCOMPASSING 30 IN CIRCLE
- A MINIMUM OF 22"x30" READILY ACCESSIBLE ATTIC ACCESS WITH A MINIMUM OF 30" HEADROOM ABOVE FOR EACH SEPERATE ATTIC AREA. NO SHELVING BELOW ATTIC ACCESS.
- HOT MOP OR SHEET MEMBRANE SYSTEM UNDER 1 1/2" MORTAR BED WITH REINFORCING, AND 1/2" THICK TILE (HARD SURFACE) IN SHOWER 6" HIGH MIN.
- HOT WATER GAS EXHAUST TO THE EXTERIOR PROVIDE PRV DRAIN PIPE FROM WH TO THE EXTERIOR
- HOT WATER TANK SEAT ON 18" HIGH FLAT FORM. SEE TITLE 24 FOR SIZE SPECIFICATIONS, AND TYPE.
- SMOOTH METAL DUCT FOR DRYER EXHAUST EXTENDING TO OUTSIDE WITH BACK DRAFT DAMPER THIS DUCT SHALL NOT EXCEED A TOTAL COMBINED HORIZONTAL AND VERTICAL LENGTH OF 14' INCLUDING TWO 90 DEG ELBOWS. TWO FEET SHALL BE DEDUCTED FOR EACH 90 DEG ELBOW IN EXCESS OF TWO.
- 1-3/8" SOLID CORE DOOR, OR 20 MINUTES FIRE PROOF DOOR (SELF-CLOSING AND SELF LATCHING).
- REQUIRED 24" FLAT FROM CATWALK TO FAU (NOT TO EXCEED 20FT) WITH LIGHT AND SWITCH NEAR BY ACCESS. MIN. OF 30" HEADROOM REQ'D.
- ALL PORCH/PATIO CEILINGS ARE STUCCO FINISH AND ARE TO BE SHEATHED WITH 5/8" OSB AND RING SINKER NAILS FOR STUCCO SUPPORT TYP. IF THERE IS NO GAL. METAL SHEET LAYER PROVIDED
- MIN 2% SLOPE DOWN TOWARDS DRIVEWAY TYP.
- DIRECT GAS FIREPLACE. THE PRE-MANUFACTURED FIREPLACE WILL BE A LISTED APPROVED UNIT, AND THE LISTING AND INSTALLATION MANUAL SHALL BE AVAILABLE FOR REVIEW BY THE CITY FIELD INSPECTOR UPON REQUEST.
- PROVIDE A ONE HOUR RATED WALL ASSEMBLY FIRE RESISTIVE CRC TABLE R302.6.
- CONCRETE LANDING PAD
- NON ADSORBEN SURFACE AT TUB WALLS SHOULD CONTINUE TO A HEIGHT OF 6FT ABOVE FINISHED FLOOR
- PROVIDE A KITCHEN HOOD VENTED DIRECTLY TO THE OUTSIDE EXHAUSTING A MIN. OF 100 C.F.M. THE FAN MUST BE LISTED AT 3 SONES OR LESS FOR NOISE UNLESS FAN EXHAUST IS IN EXCESS OF 400 C.F.M.
- 200 AMP PANEL WITH METER AND UFER GROUND NEAR BY.
- THE FLOORS AND WALLS ABOVE BATHTUBS WITH SHOWER HEADS AND IN SHOWER COMPARTMENTS SHALL BE FINISHED WITH A NONABSORBENT SURFACE AND SUCH WALL SURFACES SHALL EXTEND TO A HEIGHT OF NOT LESS THAN 6 FEET ABOVE THE FLOOR CRC R307.2.
- MINIMUM 1/2 INCH GYPSUM BOARD ON THE GARAGE CEILING. CRC TABLE R302.6.
- THE MIXING VALVE IN A SHOWER (INCLUDING OVER A TUB) SHALL BE PRESSURE BALANCING SET AT A MAXIMUM 120° F. THE WATER HEATER THERMOSTAT CANNOT BE USED TO MEET THESE PROVISIONS. CPC 408.3, 409.4.
- EXTERIOR LANDINGS AT THE EXTERIOR DOORS SHALL NOT BE MORE THAN 7 1/2 INCHES BELOW THE TOP OF THE THRESHOLD. 2% MAXIMUM SLOPE OF LANDING. CRC R311.3.1.
- DUCTS IN THE GARAGE AND DUCTS PENETRATING THE WALLS SHALL BE 26 GAUGE MINIMUM. CRC R307.2.
- WHOLE HOUSE FAN (COOLING VENT CFM = 3126 , TOTAL WATTS = 299)
- 2X6 WALLS IN LIVING AREA = R-19 EXTERIOR WALL INSULATION
- LANDINGS OR FINISHED FLOORS AT THE REQUIRED EGRESS DOOR SHALL BE NOT MORE THAN 1 1/2 INCHES (38 MM) LOWER THAN THE TOP OF THE THRESHOLD.
- LANDINGS ON EACH SIDE OF THE DOOR WITH A MINIMUM LENGTH OF 36" IN THE PATH OF TRAVEL AND MINIMUM WIDTH TO MATCH THE DOOR WIDTH PER R311.3

Door Schedule					
Type Mark	Width	Height	Head Height	Count	Door Type
D1	2' - 6"	6' - 8"	6' - 8"	7	Flush Swing
D3	4' - 0"	6' - 8"	6' - 8"	2	Sliding-Closet
D4	6' - 0"	7' - 0"	7' - 0"	1	Double-Glass
D5	8' - 0"	7' - 0"	7' - 0"	1	Double-Sliding
D6	2' - 4"	6' - 8"	6' - 8"	1	Flush Swing
D7	3' - 0"	7' - 0"	7' - 0"	1	Flush Swing

Window Schedule					
Type Mark	Width	Height	Head Height	Count	Window Type
W1	2' - 8"	1' - 0"	7' - 0"	3	Fixed
W2	6' - 0"	4' - 0"	7' - 0"	1	Slide
W3	2' - 0"	2' - 0"	7' - 0"	2	Hung
W4	2' - 0"	6' - 0"	7' - 0"	4	Hung
W5	3' - 0"	2' - 0"	7' - 0"	1	Hung
W6	3' - 0"	6' - 0"	7' - 0"	5	Hung

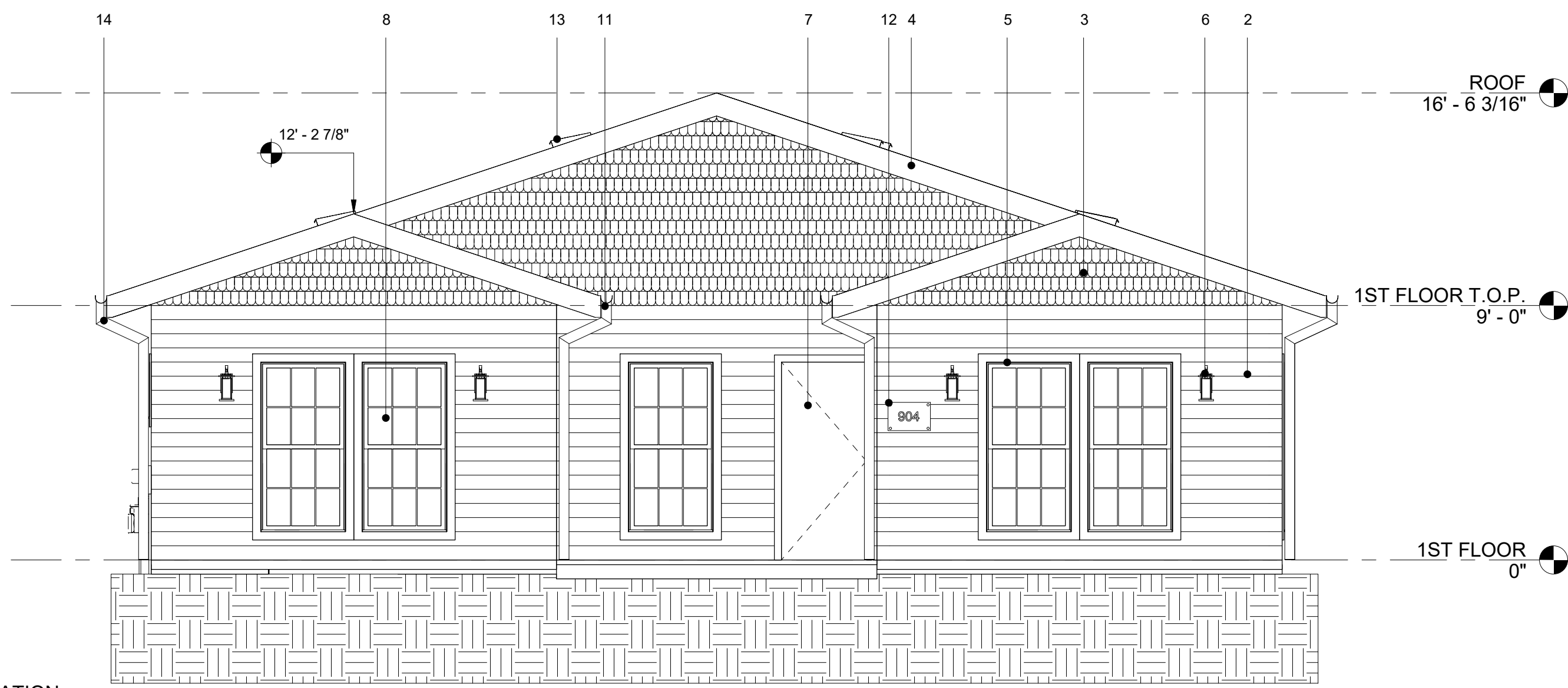
Area Schedule	
Area	Name
1862 SF	LIVING AREA
179 SF	PATIO
57 SF	PORCH

WALL LEGEND

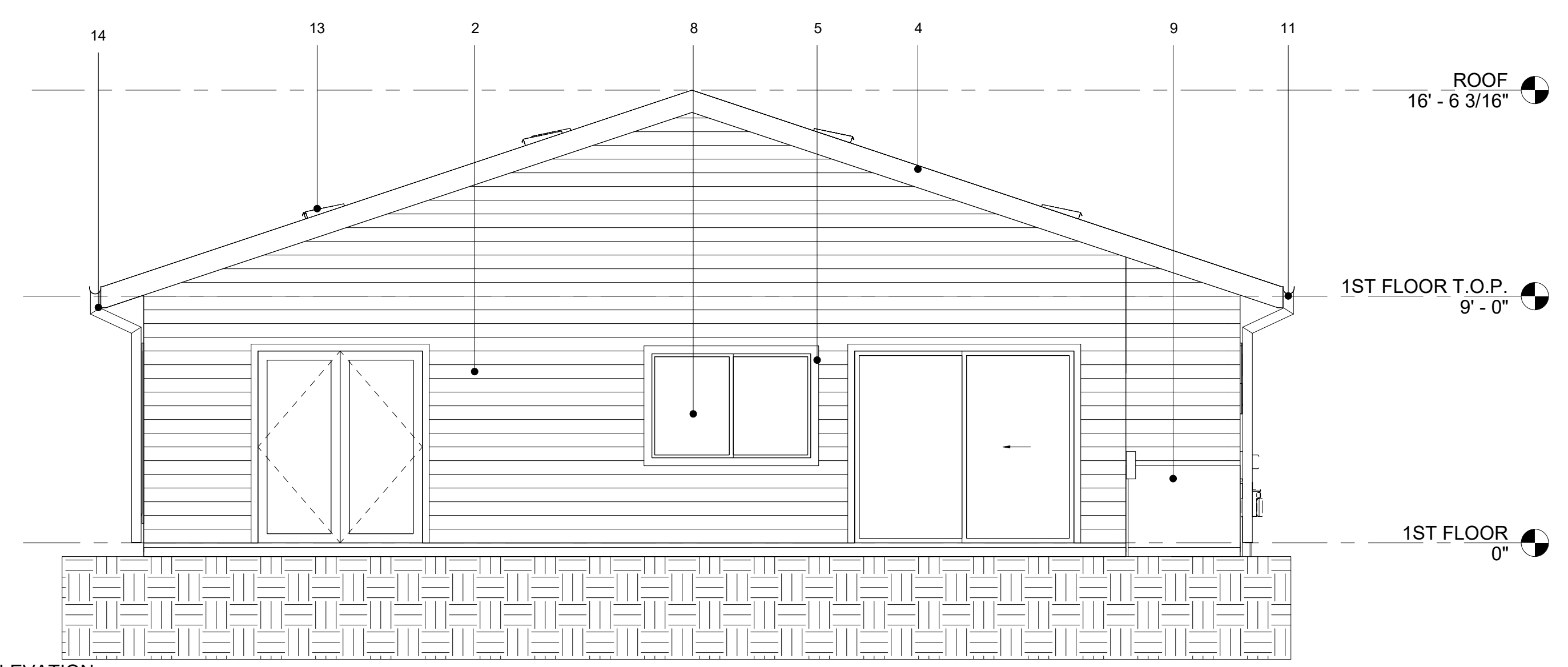


SHEET INDEX

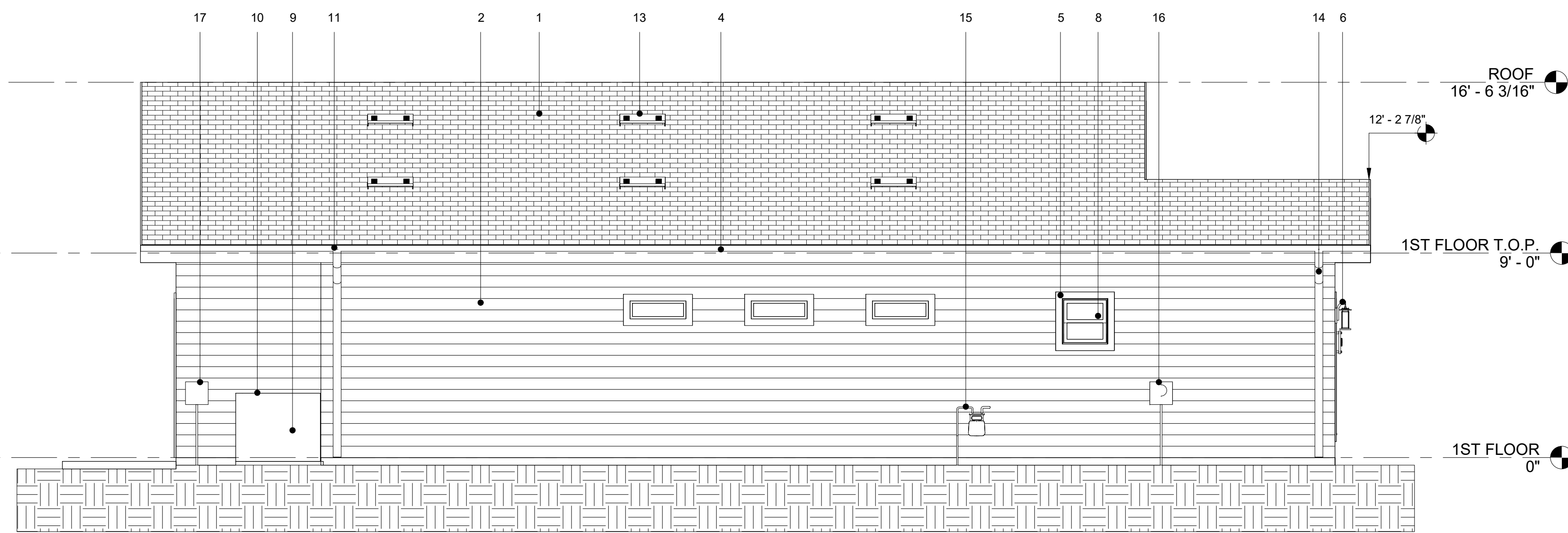
- A1 SITE PLAN
- A2 FLOOR PLAN
- A3 ELEVATIONS
- A4 ROOF PLAN
- A5 COLORBOARD



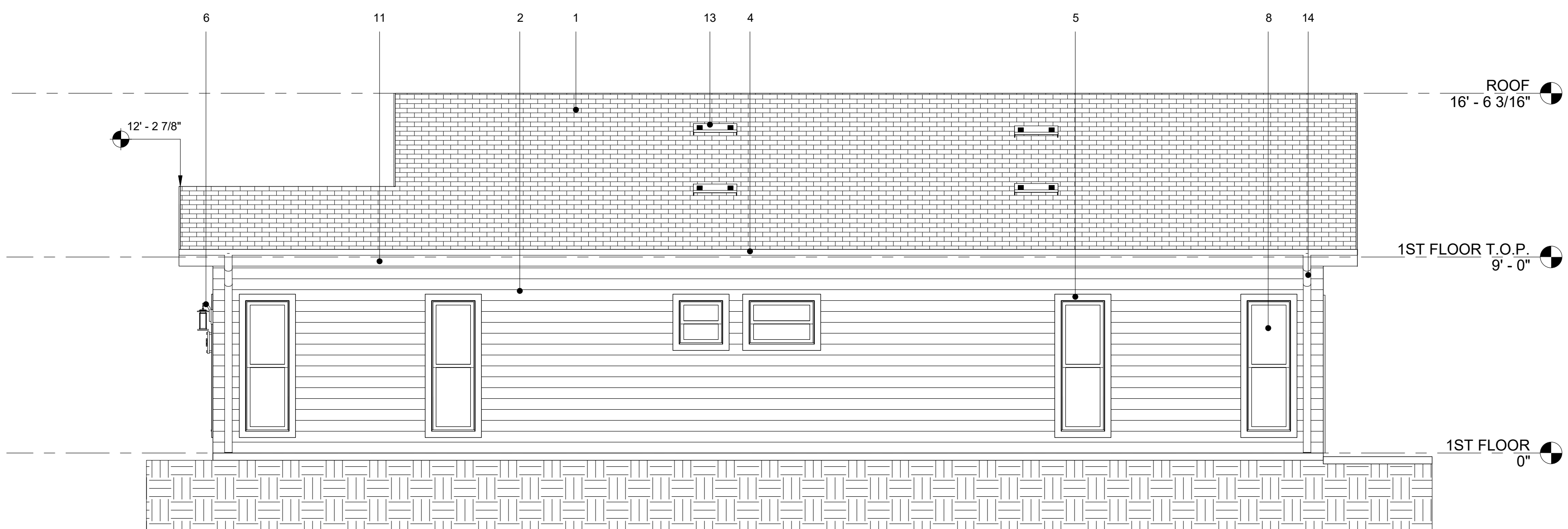
2 FRONT ELEVATION
1/4" = 1'-0"



4 REAR ELEVATION
1/4" = 1'-0"



3 LEFT ELEVATION
1/4" = 1'-0"



5 RIGHT ELEVATION
1/4" = 1'-0"

KEY NOTES

- ROOF TILE BY EAGLE ROOFING. 3743 COCOA RANGE. ROOF PITCH 3:12. OVERHANG: 1'-6"
- HARDI SIDING (COLOR: 4004 GREY SUIT BY VALSPAR PAINT)
- SCALLOP SIDING (ULTRA WHITE 7006 -24 BY VALSPAR PAINT)
- FASCIA BOARD (COLOR: 4004 GREY SUIT BY VALSPAR PAINT)
- ALL TRIM (ULTRA WHITE 7006 -24 BY VALSPAR PAINT)
- EXTERIOR LIGHTING (J SIERRA CRAFTSMAN 16 1/2" OUTDOOR LIGHT BY LAMPS PLUS)
- FRONT DOOR SIMPSON CRAFTSMAN (COLOR WHITE)
- FAIRFIELD 80 SERIES WINDOWS/SLIDING DOORS BYALLSIDE WINDOWS (BRONZE COLOR)
- AC SCREENING (STUCCO FINISH)
- AC UNIT SHALL BE LOCATED AND SECURED TO A MINIMUM 3-INCH THICK SLAB OR APPROVED PLATFORM.
- GUTTER (COLOR: PPU5-01 ESPRESSO BEAN BY BEHR).
- THE APPROVED ADDRESS NUMBERS SHALL BE PLAINLY LEGIBLE AND VISIBLE FROM THE STREET FRONTING THE PROPERTY. THE NUMBERS SHALL BE A MINIMUM OF 4" HIGH WITH A MINIMUM 1/2" WIDE STROKE. CFC 505, CRC R319, FMCB.36.080 THE NUMBERS SHALL BE ILLUMINATED AT NIGHT. WHEN EXTERNALLY ILLUMINATED THE FACE OF THE SIGN SHALL BE AT A MINIMUM OF 5.0 FOOT CANDLES. INTERNALLY ILLUMINATED SIGNS SHALL PROVIDE EQUIVALENT ILLUMINATION. FMC 8.36.080.
- O'HAGIN VENTS FOR CLAY TILE ROOF MODEL "S".
- DOWNSPOUT
- GAS METER
- WATER METER
- ELECTRICAL METER

ATTIC VENTILATION CALCULATIONS

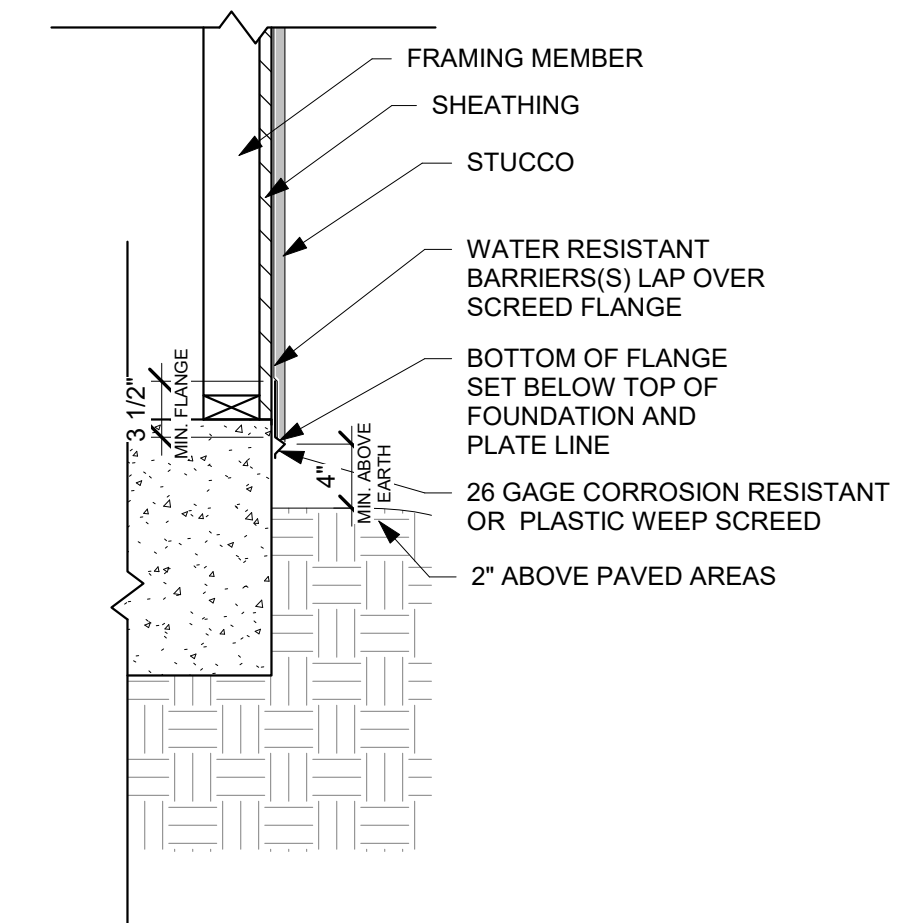
VENTILATION REQUIRED

AREA VENTILATED	VENTILATION RATE	REQUIRED AREA (AREA VENTILATED/300) x 144 = SQ.IN.
1,862 SQ.FT	300 TH	893.76 SQ.IN

- NOTES:
1. ALL OPENINGS SHALL BE COVERED WITH MIN. 1/16" AND MAX. 1/8" METAL MESH.

VENTILATION PROVIDED

VENTILATOR TYPE	MODEL	NET AREA	VENT LOCATION	QUANTITY	AREA VENTILATED
LOW PROFILE VENT	O'HAGIN FLAT	98.75 SQ-IN	UPPER HALF	5	493.75 SQ-IN
LOW PROFILE VENT	O'HAGIN FLAT	98.75 SQ-IN	LOWER HALF	5	493.75 SQ-IN
				TOTAL	987.5 SQ-IN



1 A - WEEP SCREED DETAIL
1" = 1'-0"

SHEET INDEX

- A1 SITE PLAN
- A2 FLOOR PLAN
- A3 ELEVATIONS
- A4 ROOF PLAN
- A5 COLORBOARD

Attachment 6

Proposed Colors and Materials



1 FRONT ELEVATION
3/8" = 1'-0"

CHOOSE THE WINDOWS, DOORS & OPTIONS THAT ARE RIGHT FOR YOU.

WINDOW & DOOR TYPES

Building an energy-efficient home doesn't mean you have to restrict your dreaming. Andersen® 100 Series windows and doors come in styles, shapes and even custom sizes to create the look you want.



SINGLE-HUNG WINDOWS
This style features a stationary upper sash that is also available with an arched top to enhance the look of your home.

CASEMENT & AWNING WINDOWS
Both styles open with a simple turn of a handle and can also be ordered as stationary windows.

GLIDING WINDOWS
These windows have one stationary sash and one that opens. A three-sash configuration, where two sash glide past a fixed center sash, is also available.



GLIDING PATIO DOORS
Patio doors feature one stationary panel and one that glides smoothly on adjustable rollers. They feature a multi-point locking system for enhanced security, and an optional enter for keyed lock for convenience. For more character, consider adding 100 Series sidelight windows on each side of your door and a transom window on top.

PICTURE & SPECIALTY WINDOWS
Arch, Springline®, half circle, quarter circle, full circle, and rectangle shapes are available to complement your home's architecture. New additional shapes include: angled pentagon, peak pentagon, right triangle, isosceles triangle, octagon, trapezoid and unequal leg arch.

CUSTOM SIZES
Available in custom sizes to fit all projects, including replacement.

6 *See your local code official for building code requirements in your area.

WINDOWS AND SLIDING DOORS

GLASS

Choose the right glass to maximize performance.

SMARTSUN® GLASS
Low-E SmartSun® glass is the most energy-efficient glass we have ever offered. It rejects unwanted solar heat to help reduce cooling costs and blocks 99% of UV rays that can cause your home furnishings to fade — all while providing a clear view.

LOW-E GLASS
Energy-efficient Low-E glass is available on all 100 Series products, and can help reduce energy bills in any climate.

HEATLOCK™ TECHNOLOGY
Our HeatLock™ coating can increase the energy efficiency of any 100 Series window or patio door with Low-E or SmartSun glass. Applied to the room-side glass surface, it reflects heat back into the home and improves U-Factor, which can help the window or door meet ENERGY STAR® requirements.

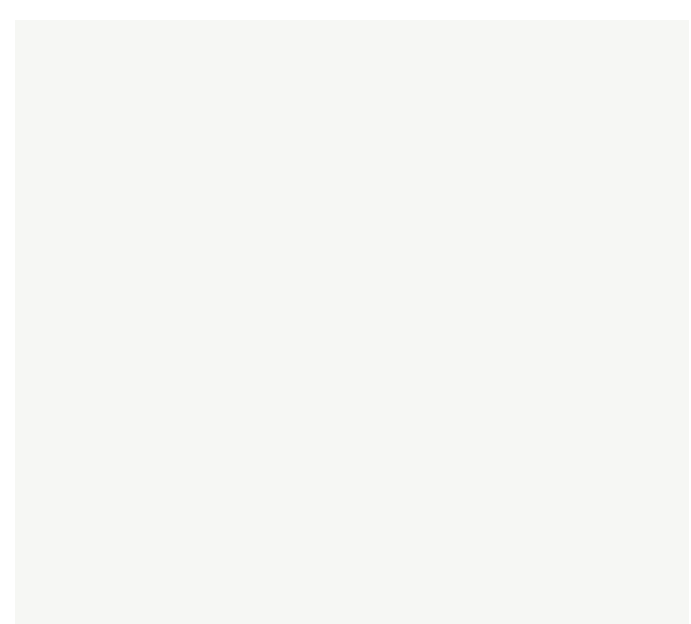
DUAL-PANE GLASS
Dual-pane glass is available for projects where codes allow its use.

SOUND-REDUCING GLASS
This glass option helps reduce the volume of outside noise. Available with Low-E, SmartSun and Heat Lock coatings.

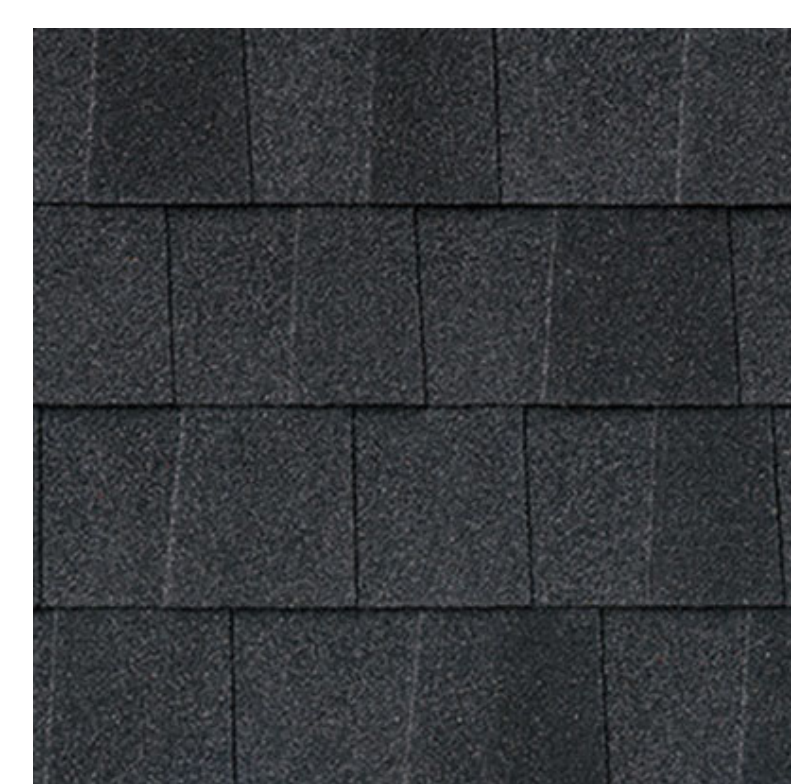
PATTERNED GLASS
Our patterned glass is ideal in bathrooms, entryways, offices and other areas where you want to let light in to your home while obscuring the vision of people outside. It delivers all the benefits of Low-E glass and can also be ordered with Low-E SmartSun glass.



Grey Suit
4004-2A | Valspar
Available at Lowe's
SIDING/FASCIA COLOR



Ultra White
7006-24 | Valspar
Available at Lowe's
SCALLOP/TRIM COLOR



AHSPALT SHINGLE ROOF



WALL LIGHT (J du J Sierra Craftsman 16 1/2")



SCALLOP SIDING



ALUMINUM HALF ROUND GUTTER



ALUMINUM ROUND DOWNSPOUT

SHEET INDEX

- A1 SITE PLAN
- A2 FLOOR PLAN
- A3 ELEVATIONS
- A4 ROOF PLAN
- A5 COLORBOARD

Attachment 7 Photograph of Project Site



Attachment 8
Comment Letter from the Heritage Preservation
League of Folsom, Dated May 4, 2020

**HERITAGE PRESERVATION LEAGUE OF FOLSOM
PROJECT APPLICATION REVIEW**

May 4, 2020

HPL is observing Federal Guidelines for ‘Social Distancing’ and State Orders to ‘Stay at Home’ during the COVID-19 Pandemic.

PROJECT: New residence at 904 Persifer Street in the Central Subarea of the Historic Residential Area (PN20-105).

REQUEST: Residential Design Review

PROJECT

HISTORY: Application Circulated by City on May 1, 2020.
Feedback requested by May 15.

GENERAL COMMENTS

The property at 904 Persifer Street is a vacant historic lot (50 x 140 feet). An older residence with a one car attached garage in addition to a back yard detached garage have recently been removed from this lot.

As a general impression, the proposed new residence appears to mix several architectural design styles.

SITE PLAN

Front driveways and attached garages are discouraged in the Central Subarea. The applicants are not proposing to attach a garage to the new residence, but a front yard driveway has been shown on the site plan.

Parking spaces in the front setback area cannot be included with the two parking spaces that are required for a residential property.

Site Recommendations

Two parking spaces need to be identified in the back yard. These parking spaces should be screened by landscaping.

The front yard driveway should be replaced by landscaping.

ARCHITECTURE

The proposed residence includes elements of historic architecture, but it does not reflect the homes that were constructed in Folsom between 1850 to 1950 or the existing homes in the surrounding neighborhood.

Architectural Recommendations

Consider the following building modifications along the front façade:

- Use windows with a more historic design
As an example, the two large sliding windows on each side of the front entrance area could be replaced by two pairs of hung windows or windows with divided panes of glass. The two windows next to the front door could be reduced to one window with a row of smaller glass panes at the top and bottom.
- Demonstrate on the color board that the selected front door has a paneled design and a smaller window in the top half.
- Create a more residential look by adding wall lights in the recessed front entrance area in lieu of wall lights along the façades on either side.

Select the following façade materials to give the overall building a more historic look:

- Dimensional composition shingles that resemble wood shakes.
- Rounded gutters and downspouts.

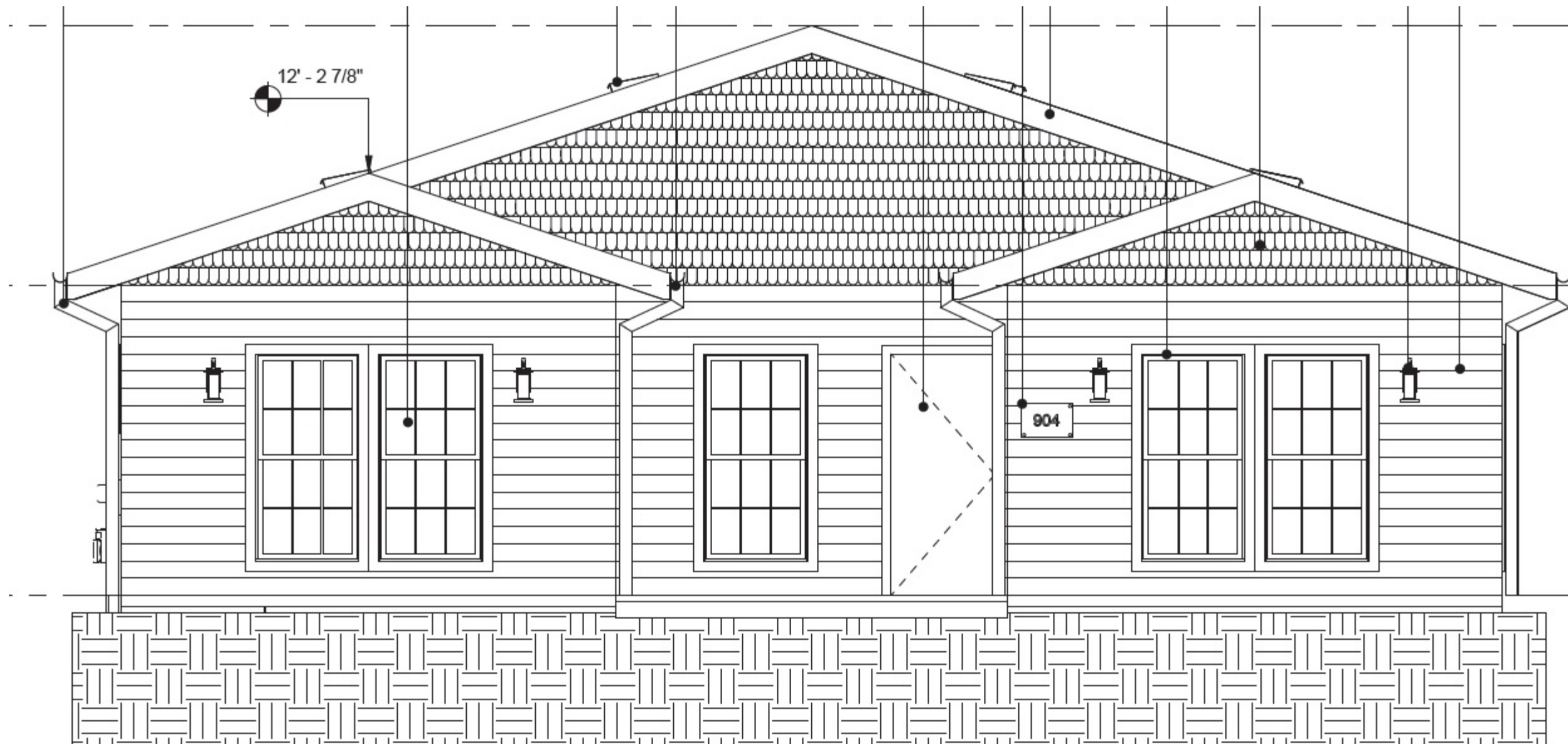
Attachment 9

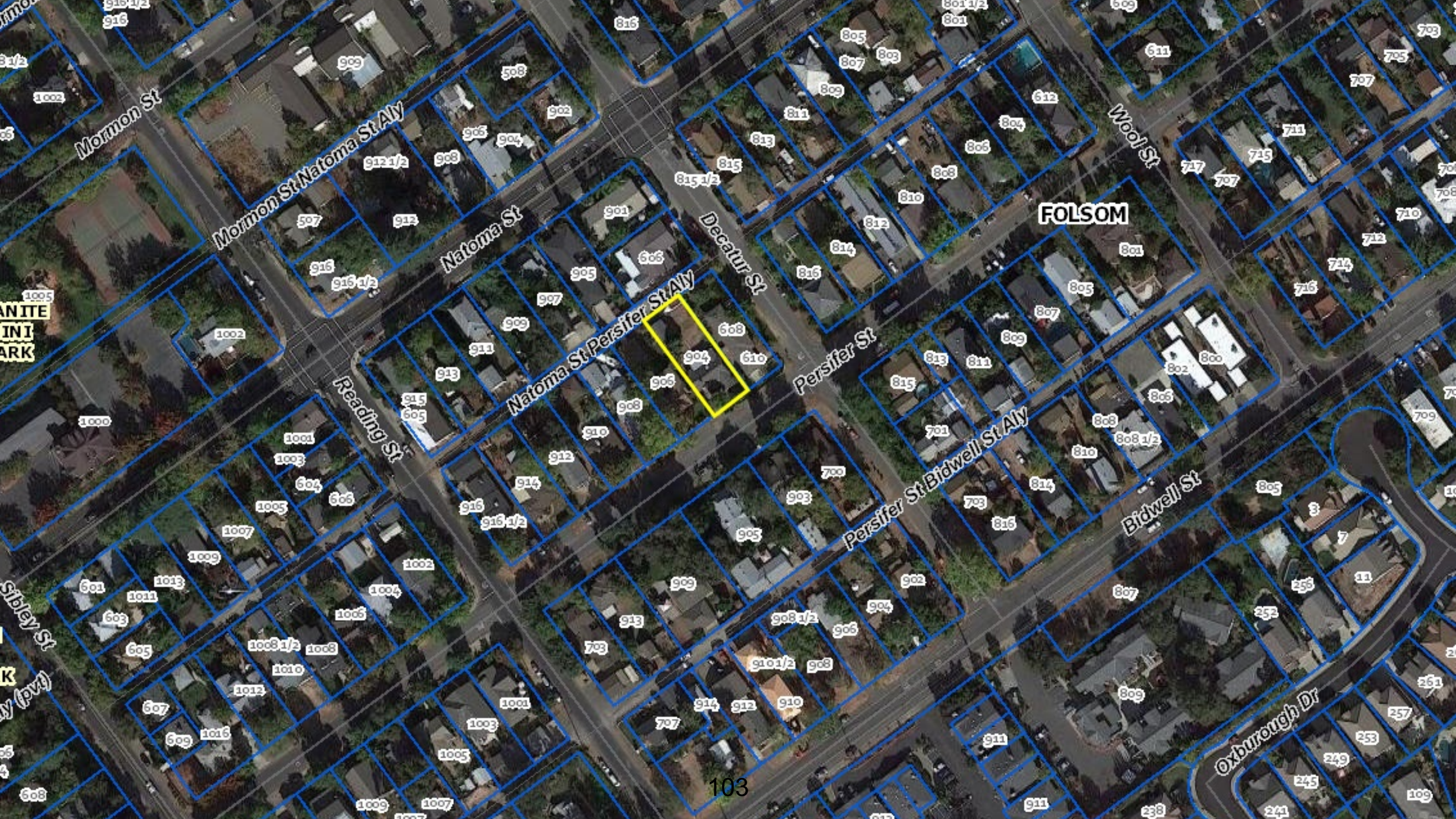
Staff PowerPoint Presentation

904 Persifer Street Custom Home



CITY OF
FOLSOM





FOLSOM

103

Mormon St
Mormon St Natoma St Aly

Natoma St

Decatur St

Natoma St Persifer St Aly

Persifer St

Persifer St Bidwell St Aly

Bidwell St

Oxborough Dr

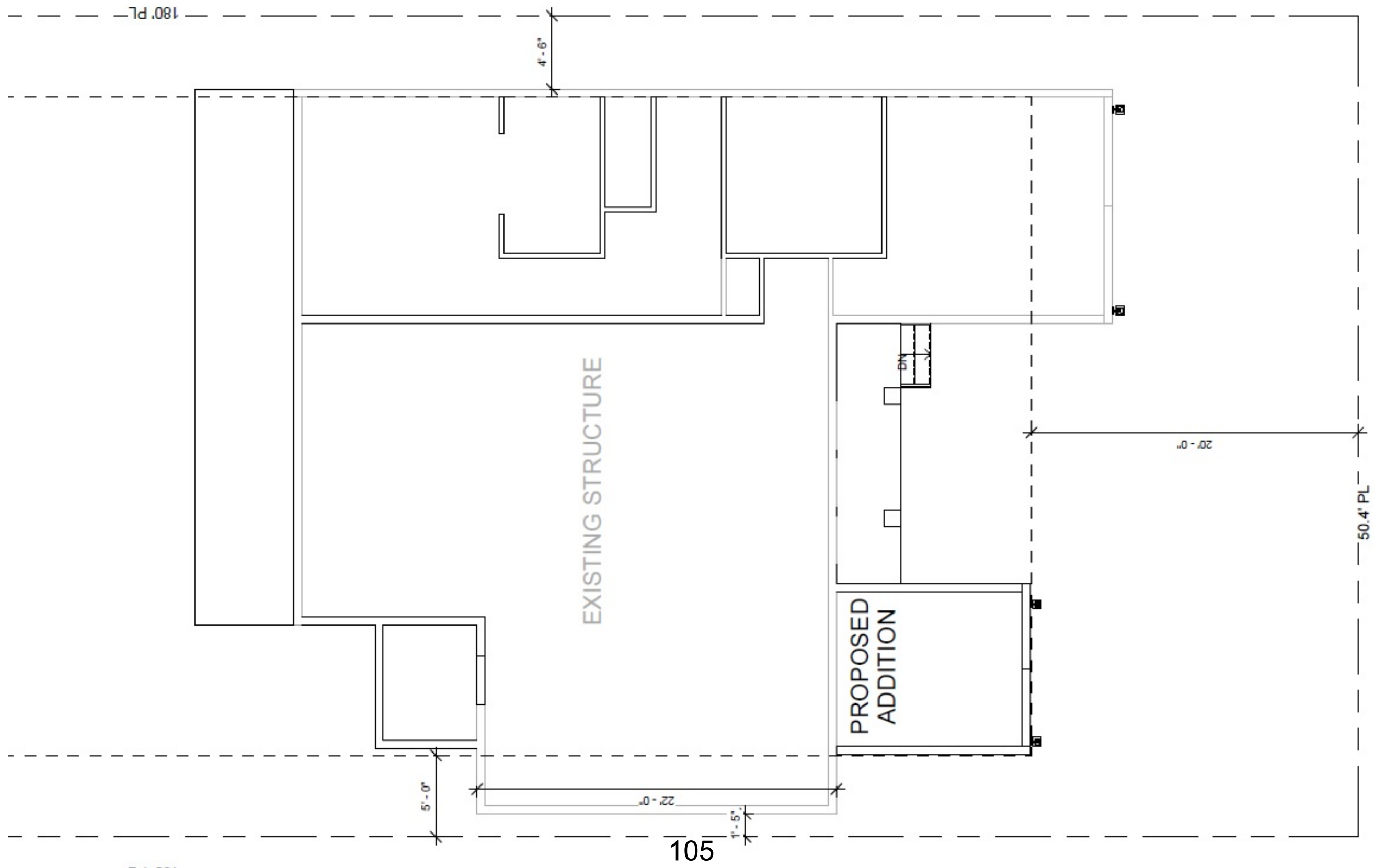
CONCRETE
PARKING

Sibley St

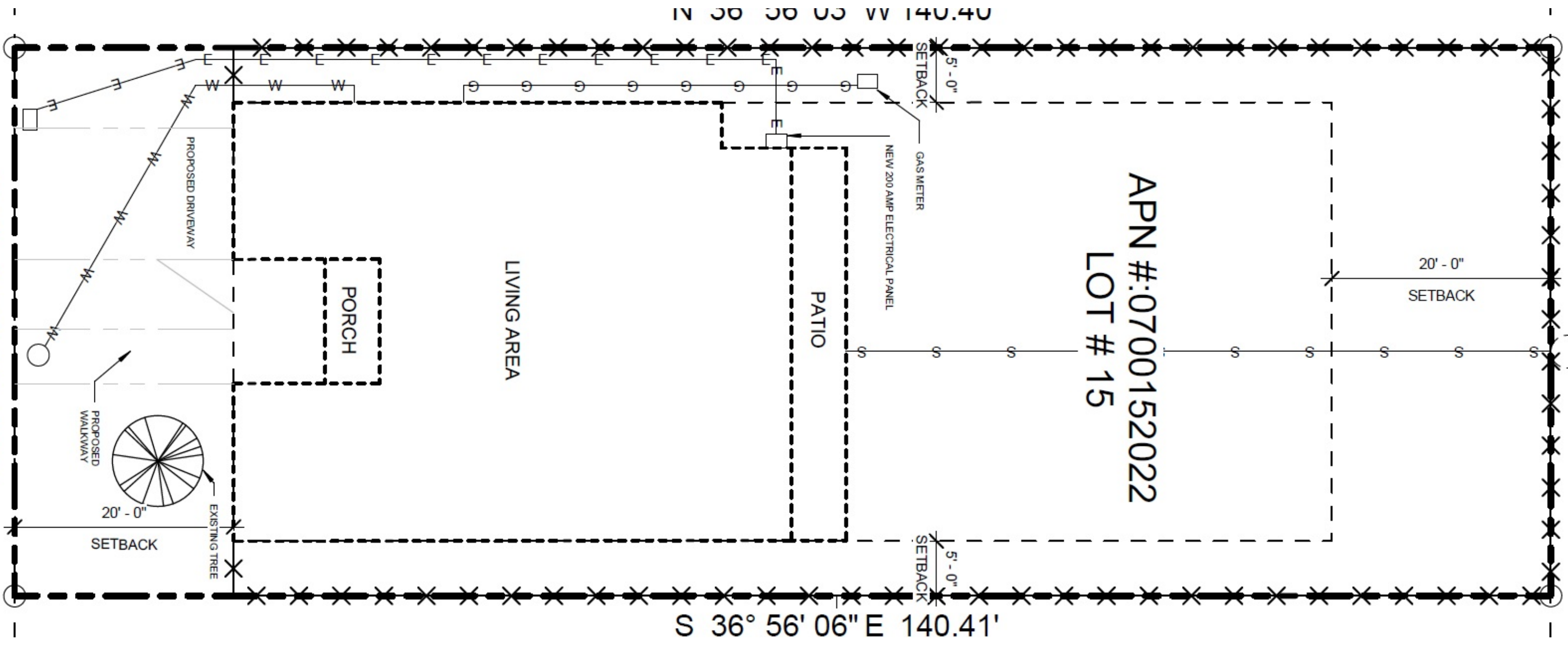
13
y (pvt)

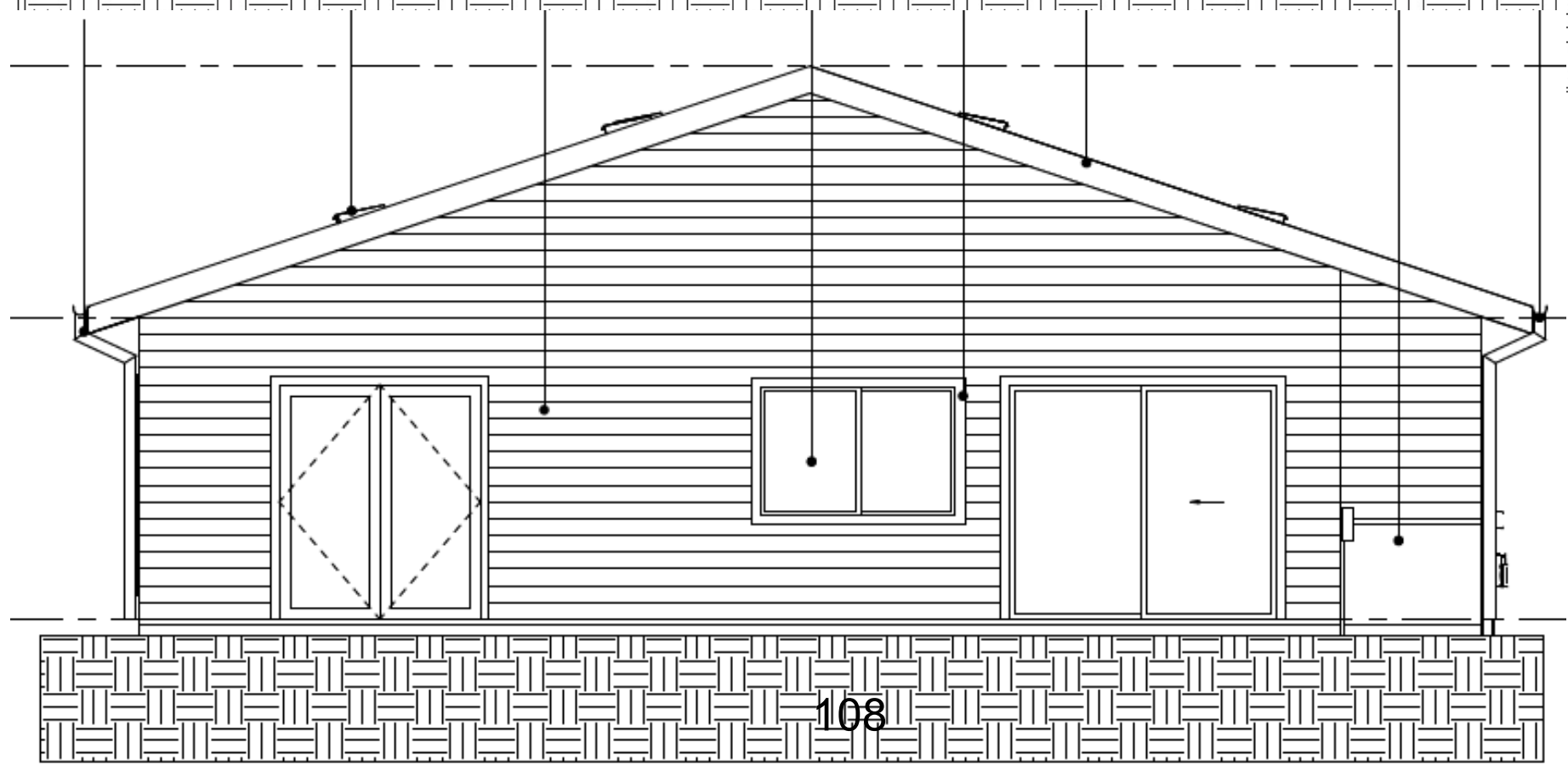
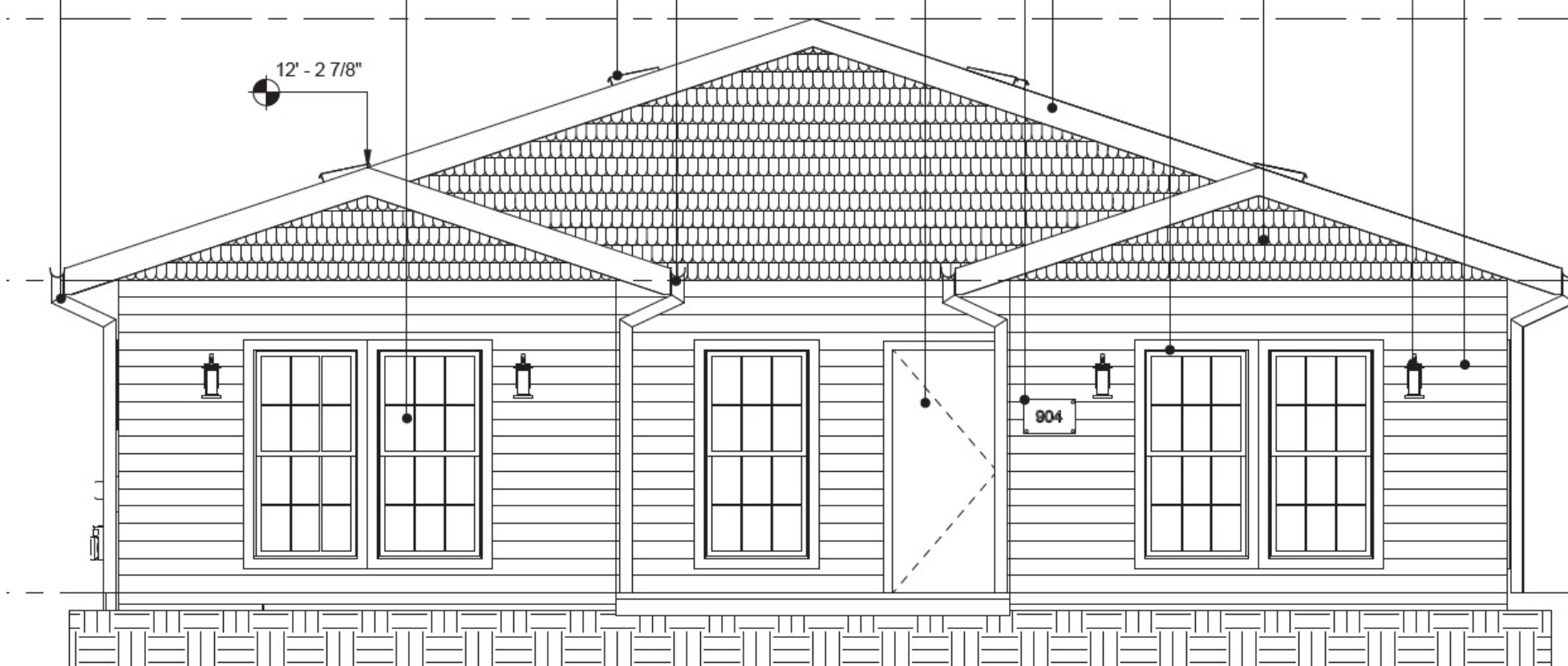


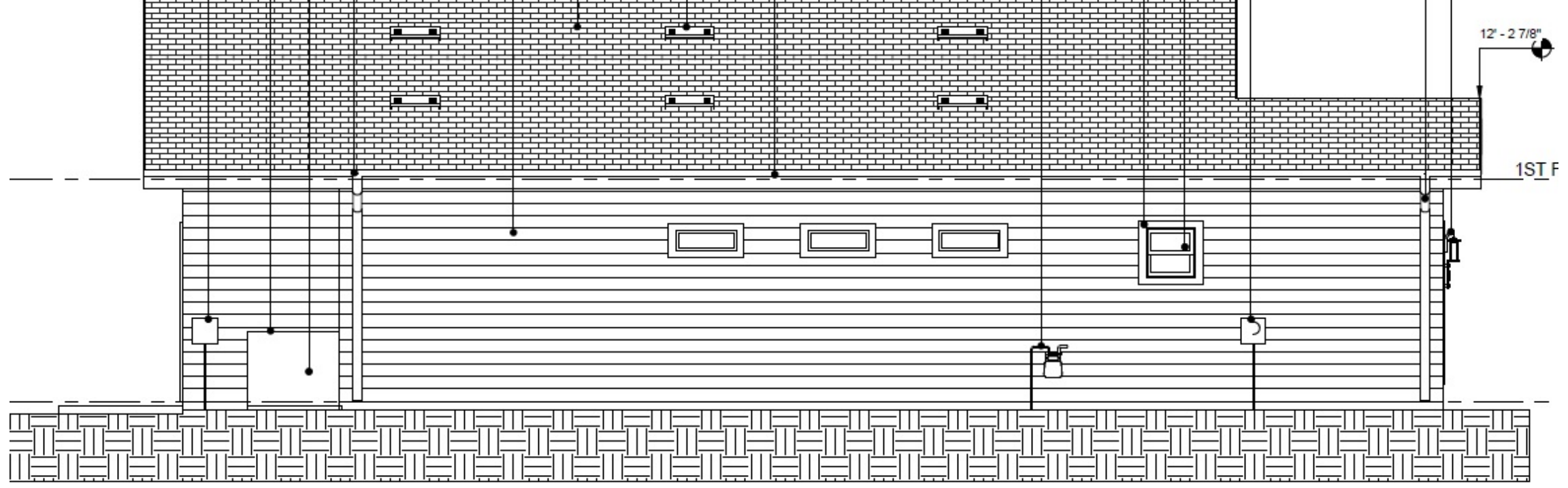
104



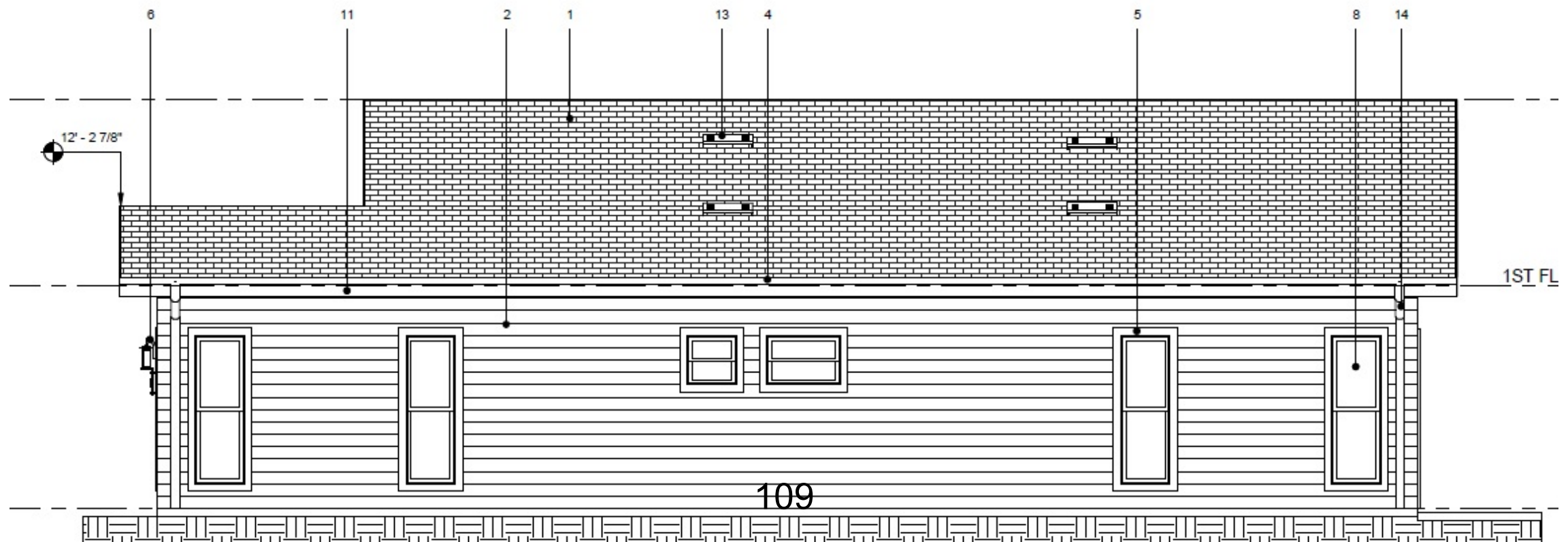








LEFT ELEVATION
 1/4" = 1'-0"



109



Grey Suit

4004-2A | Valspar
Available at Lowe's

SIDING/FASCIA COLOR



Ultra White

7006-24 | Valspar
Available at Lowe's

SCALLOP/TRIM COLOR



ASPALT SHINGLE ROOF



WALL LIGHT (J du J Sierra Craftsman 16 1/2")



SCALLOP SIDING



ALUMINUM HALF ROUND GUTTER



ALUMINUM ROUND
DOWNSPOUT

Staff Recommendation



CITY OF
FOLSOM

Staff recommends approval of PN 20-105 for Design Review of a 1,862-square-foot custom home located at 904 Persifer Street.