



CITY OF  
**FOLSOM**  
DISTINCTIVE BY NATURE

## HISTORIC DISTRICT COMMISSION AGENDA

December 4, 2019

CITY COUNCIL CHAMBERS

5:00 p.m.

50 Natoma Street

Folsom, California 95630

**CALL TO ORDER HISTORIC DISTRICT COMMISSION:** Kevin Duewel, Mary Asay, Rosario Rodriguez, Vice Chair Candy Miller, Mickey Ankhelyi, Daniel West, Chair Daron Bracht

*Any documents produced by the City and distributed to the Historic District Commission regarding any item on this agenda will be made available at the Community Development Counter at City Hall located at 50 Natoma Street, Folsom, California and at the table to the left as you enter the Council Chambers.*

### PLEDGE OF ALLEGIANCE

**CITIZEN COMMUNICATION:** The Historic District Commission welcomes and encourages participation in City Historic District Commission meetings, and will allow up to five minutes for expression on a non-agenda item. Matters under the jurisdiction of the Commission, and not on the posted agenda, may be addressed by the general public; however, California law prohibits the Commission from taking action on any matter which is not on the posted agenda unless it is determined to be an emergency by the Commission.

### MINUTES

The minutes of the October 10, 2019 Special Meeting and November 6, 2019 meeting will be presented for approval.

### NEW BUSINESS

1. **PN 19-400, 705 Orange Grove Way Garage Demolition and Determination that the Project is Exempt from CEQA**

A Public Meeting to consider a request from Steve Brandenburg and John Trott for demolition approval of a 375-square-foot garage structure located at 705 Orange Grove Way within the Central Subarea of the Historic Residential Primary Area. The underlying zone for the project is R-1-M and the General Plan Designation is SFHD. The project is categorically exempt under Section 15301 (Existing Facilities) of the California Environmental Quality Act (CEQA) Guidelines. **(Project Planner: Assistant Planner, Brianna Gustafson / Applicant: Steve Brandenburg / John Trott)**

2. **PN 19-349, 917 Sutter Street Chan House Restoration and Addition and Determination that the Project is Exempt from CEQA**

A Public Meeting to consider a request from Larry Washington for design review approval for the restoration and 86-square-foot bathroom addition to the existing building at 917 Sutter Street in the Sutter Street Subarea of the Historic Commercial Primary Area. The project site is zoned HD and the General Plan Designation is HF. The project is categorically exempt under Section 15301 (Existing Facilities) of the California Environmental Quality Act (CEQA) Guidelines. **(Project Planner: Assistant Planner, Brianna Gustafson / Applicant: Larry Washington)**

## **HISTORIC DISTRICT COMMISSION / PRINCIPAL PLANNER REPORT**

The next Historic District Commission meeting is scheduled for **December 18, 2019**. Additional non-public hearing items may be added to the agenda; any such additions will be posted on the bulletin board in the foyer at City Hall at least 72 hours prior to the meeting. Persons having questions on any of these items can visit the Community Development Department during normal business hours (8:00 a.m. to 5:00 p.m.) at City Hall, 2<sup>nd</sup> Floor, 50 Natoma Street, Folsom, California, prior to the meeting. The phone number is (916) 461-6203 and fax number is (916) 355-7274.

In compliance with the Americans with Disabilities Act, if you are a disabled person and you need a disability-related modification or accommodation to participate in the meeting, please contact the Community Development Department at (916) 461-6231, (916) 355-7274 (fax) or [kmullett@folsom.ca.us](mailto:kmullett@folsom.ca.us). Requests must be made as early as possible and at least two-full business days before the start of the meeting.

### **NOTICE REGARDING CHALLENGES TO DECISIONS**

**The appeal period for Historic District Commission Action:** Pursuant to all applicable laws and regulations, including without limitation, California Government Code, Section 65009 and/or California Public Resources Code, Section 21177, if you wish to challenge in court any of the above decisions (regarding planning, zoning, and/or environmental decisions), you may be limited to raising only those issues you or someone else raised at the public hearing(s) described in this notice/agenda, or in written correspondence delivered to the City at, or prior to, this public hearing. Any appeal of a Historic District Commission action must be filed, in writing with the City Clerk's Office no later than ten (10) days from the date of the action pursuant to Resolution No. 8081.



CITY OF  
**FOLSOM**  
DISTINCTIVE BY NATURE

**SPECIAL MEETING**  
**HISTORIC DISTRICT COMMISSION MINUTES**  
**October 10, 2019**  
**CITY COUNCIL CHAMBERS**  
**6:00 p.m.**  
**50 Natoma Street**  
**Folsom, California 95630**

**CALL TO ORDER HISTORIC DISTRICT COMMISSION:** Rosario Rodriguez, Vice Chair Candy Miller, Mickey Ankhelyi, Daniel West, Mary Asay, Kevin Duewel, Chair Daron Bracht

**ABSENT:** Asay, Duewel arrived at 6:05 P.M.

**PLEDGE OF ALLEGIANCE**

**WORKSHOP**

1. **PN 19-051 Zoning Code Update and Direction to Staff**

A presentation will be given regarding current zoning issues in Chapter 17.52 of the Folsom Municipal Code, which regulates development within the Historic District, and possible alternative approaches to zoning within the district. **(Project Planner, Desmond Parrington)**

1. Pat Binley addressed the Historic District Commission with questions regarding industrial zoning designations relating to the corporation yard.
2. Lisbet Gullone addressed the Historic District Commission citing concerns on accessory dwelling units and garages, and expressed preference to creating one zoning designation.
3. Loretta Hettinger addressed the Historic District Commission expressing concern on the residential zoning overlays and citing the importance of design in the Historic District.
4. Ernie Sheldon Jr. addressed the Historic District Commission citing concerns about Airbnb regulations and accessory dwelling units.
5. Laura Fisher addressed the Historic District Commission citing concerns on how public comments are obtained and expressing the need for standards over guidelines.

The Commission generally expressed support for a new approach to zoning in the Historic District. Most Commissioners wanted to incorporate the current standards of the subareas in the new zoning, but did not want to have staff create too many new zoning districts for the Historic District. While several Commissioners supported the idea of including some of the standards from the Historic District Design and Development Guidelines into the standards for the new Historic District zoning districts; others wanted to ensure that there were design guidelines separate from the required standards in the new Historic District zones that would allow for design guidance but

also flexibility. Staff committed to return in the spring of 2020 with draft zoning districts for the Commission to review.

**PRINCIPAL PLANNER REPORT**

None

Respectfully Submitted,

---

Kelly Mullett, ADMINISTRATIVE ASSISTANT

**APPROVED:**

---

Daron Bracht, CHAIR



CITY OF  
**FOLSOM**  
DISTINCTIVE BY NATURE

**HISTORIC DISTRICT COMMISSION MINUTES**  
**November 6, 2019**  
**CITY COUNCIL CHAMBERS**  
**5:00 p.m.**  
**50 Natoma Street**  
**Folsom, California 95630**

**CALL TO ORDER HISTORIC DISTRICT COMMISSION:** Mary Asay, Rosario Rodriguez, Vice Chair  
Candy Miller, Mickey Ankhelyi, Daniel West, Kevin Duewel, Chair Daron Bracht

**ABSENT:** Miller

**PLEDGE OF ALLEGIANCE**

**CITIZEN COMMUNICATION:**

None

**MINUTES:** The minutes of October 2, 2019 were approved as submitted.

**NEW BUSINESS**

**1. PN 19-370, Abundant Living Senior Care Residence Design Review Modification**

A Public Meeting to consider a request from Larry Ivancich for a Design Review Modification application to remove the river rock veneer from the approved design of a 6,308-square-foot senior care residence located at 317 Natoma Street, and to remove the approved trash/recycling enclosure. The zoning classification for the site is C-1/NRB, and the General Plan land-use designation is CC. The project was previously determined to be categorically exempt under Section 15301 (Existing Facilities) of the California Environmental Quality Act (CEQA) Guidelines. **(Project Planner: Assistant Planner, Josh Kinkade / Applicant: Larry Ivancich)**

1. Bryan Warren addressed the Historic District Commission in support of the project, recommending financial options to keep the project going.

COMMISSIONER BRACHT MOVED TO DENY A DESIGN REVIEW MODIFICATION APPLICATION TO REMOVE THE RIVER ROCK VENEER FROM THE APPROVED 6,308-SQUARE-FOOT SENIOR CARE RESIDENCE LOCATED AT 317 NATOMA STREET, AND REPLACE IT WITH STUCCO PAINTED DARK GREY ON THE BUILDING AND LIGHT GREY ON THE PORTICO POSTS (PN 19-370) SUBJECT TO THE FOLLOWING FINDINGS: GENERAL FINDINGS A & B, CEQA FINDINGS C-G, DESIGN REVIEW FINDINGS H & I

AND

MOVE TO DENY A DESIGN REVIEW MODIFICATION APPLICATION TO REMOVE THE APPROVED TRASH/RECYCLING ENCLOSURE LOCATED AT 317 NATOMA STREET (PN 19-370) SUBJECT TO THE FOLLOWING FINDINGS: GENERAL FINDINGS A & B, CEQA FINDINGS C-G, DESIGN REVIEW FINDINGS H & I.

COMMISSIONER ASAY SECONDED THE MOTION WHICH CARRIED THE FOLLOWING VOTE:

AYES: ASAY, RODRIGUEZ, ANKHELYI, WEST, DUEWEL, BRACHT  
NOES: NONE  
ABSTAIN: NONE  
ABSENT: MILLER

**2. PN 19-382 702 Sutter Street Commercial Design Review and Determination that the Project is Exempt from CEQA**

A Public Meeting to consider a request from Moe Hirani for a commercial design review approval for the residing, reroofing and repainting of the existing building at 702 Sutter Street in the Sutter Street Subarea of the Historic Commercial Primary Area. The project site is zoned HD and the General Plan designation is HF. The project is categorically exempt under Section 15301 (Existing Facilities) of the California Environmental Quality Act (CEQA) Guidelines. **(Project Planner: Assistant Planner, Brianna Gustafson / Applicant: Moe Hirani)**

1. Mike Reynolds addressed the Historic District Commission, applauding the efforts to improve the Hacienda Building, however would like to have the backside renderings of the project and recommended choosing different paint colors.
2. Mike Brenkwiz addressed the Historic District Commission, recommending putting in a seven foot glass window surrounding the deck to block noise from coming into the residential areas.

COMMISSIONER BRACHT MOVED TO APPROVE THE COMMERCIAL DESIGN REVIEW APPLICATION (PN 19-382) FOR THE RESIDING, REROOF, AND REPAINT OF EXISTING COMMERCIAL BUILDING LOCATED AT 702 SUTTER STREET SUBJECT TO THE FOLLOWING FINDINGS: GENERAL FINDINGS A & B, CEQA FINDINGS C-F, DESIGN REVIEW FINDINGS G-I AND CONDITIONS OF APPROVAL NOS. 1-5 WITH ADDITION TO CONDITION NO. 1 TO STATE:

“1. The applicant shall submit final site and building plans to the Community Development Department that substantially conform to the building renderings received October 16, 2019 **and as discussed at the November 6, 2019 Historic District Commission meeting as follows:**

- **The northern/rear building elevation (facing Leidesdorff Street) of the Hacienda Building shall include the same design, materials, and colors as proposed for the southern/front (facing Sutter Street) and eastern (facing Riley Street) building elevations, including but not limited to the use of board and batten siding and a corrugated metal band.**
- **The upper portion of the elevator shaft located on the southern building elevation shall be finished with corrugated metal on three sides.**
- **The deck railing on the southern building elevations shall utilize spindles.**
- **The first floor (Pizzeria Classico) patio area on the southern building elevation shall be closed with board and batten siding instead of the spindles shown in the October 16, 2019 renderings.**
- **The primary building color for the Hacienda Building shall be painted Sherwin Williams Caribbean Coral or a similar color. The trim color for the Hacienda Building shall be painted Sherwin Williams Peace Yellow or a similar color. The deck spindle on the southern building elevation around the second floor (Hacienda) patio shall be painted Sherwin Williams Roycroft Copper Red or a similar color. The corbels on the southern building elevations shall be stained with**

**Sherwin Williams Dark Walnut or a similar color. The final color scheme shall be subject to review and approval by the Community Development Department.”**

COMMISSIONER ASAY SECONDED THE MOTION WHICH CARRIED THE FOLLOWING VOTE:

AYES: ASAY, RODRIGUEZ, WEST, BRACHT  
NOES: ANKHELYI, DUEWEL  
ABSTAIN: NONE  
ABSENT: MILLER

**PRINCIPAL PLANNER REPORT**

None

---

Kelly Mullett, ADMINISTRATIVE ASSISTANT

**APPROVED:**

---

Daron Bracht, CHAIR



CITY OF  
**FOLSOM**  
DISTINCTIVE BY NATURE

**AGENDA ITEM NO. 1**  
**Type: Public Meeting**  
**Date: December 4, 2019**

## **Historic District Commission Staff Report**

50 Natoma Street, Council Chambers  
Folsom, CA 95630

**Project:** 705 Orange Grove Way Garage Demolition  
**File #:** PN 19-400  
**Request:** Garage Demolition  
**Location:** 705 Orange Grove Way  
**Parcel(s):** 070-0192-010  
**Staff Contact:** Brianna Gustafson, Assistant Planner, 916-461-6210  
bgustafson@folsom.ca.us

### **Applicant**

Name: Steve Brandenburg  
Address: 1591 Misty Wood Drive  
Roseville, CA 95747

### **Property Owner**

Name: John Trott  
Address: 705 Orange Grove Way,  
Folsom, CA 95630

**Recommendation:** Approval of an application to demolish a 375-square-foot garage structure located at 705 Orange Grove Way (PN 19-400) based on the findings included in this report (Findings A-G) and subject to the attached conditions of approval (Conditions 1-4).

**Project Summary:** The proposed project includes the demolition of a 375-square-foot garage structure. The original house at 705 Orange Grove Way was built in 1948 and the garage was built in the 1970s, neither of which is listed on the City of Folsom's Cultural Resources Inventory. The garage is not historically significant and contains no historically significant building materials. Therefore, staff supports the demolition of the structure.

### **Table of Contents:**

- 1 - Description/Analysis
- 2 - Background
- 3 - Proposed Conditions of Approval
- 4 - Photos of Existing Garage
- 5 - Vicinity Map
- 6 - Site Plan





CITY OF  
**FOLSOM**  
DISTINCTIVE BY NATURE

**AGENDA ITEM NO. 1**  
**Type: Public Meeting**  
**Date: December 4, 2019**

Submitted,

---

PAM JOHNS  
Community Development Director

## ATTACHMENT 1 DESCRIPTION/ANALYSIS

### APPLICANT'S PROPOSAL

The applicant, Steve Brandenburg, is proposing to demolish an existing 375-square-foot detached garage at 705 Orange Grove Way.

### POLICY/RULE

Demolition of structures located in the Historic District is subject to review by the Historic District Commission, per Section 17.52.660 of the Folsom Municipal Code.

### ANALYSIS

In order to approve a request for demolition of a structure considered historically significant, per FMC Section 17.52.660, the Commission must consider the following:

1. Whether the public health, safety and/or welfare warrant the demolition;
2. What accommodations can be provided to the owner of the property to make it feasible for the owner to preserve the property;
3. Whether the owner of the property is willing to sell the property to a buyer who wishes to preserve the property; and
4. Whether a public entity wishes to acquire the property through exercise of the power of eminent domain in order to preserve the property.

Section 4.13 of the Historic District Design and Development Guidelines (DDGs) explains that demolition of structures with historic value should be approved only when all other options have been exhausted by the property owner and the City. On the other hand, Section 4.13 also makes clear that demolition may be more readily approved for structures which do not comply with the goals, policies, and regulations of FMC Chapter 17.52 and the DDGs themselves.

The detached garage that is the subject of this report is a simple rectangular, single-story structure with Hardie board siding. It is not historically significant and contains no historically significant building materials. In addition, the structure is not listed on the City of Folsom's Cultural Resources Inventory list. Therefore, staff supports the demolition of the garage.

### PUBLIC COMMENTS

No public comments were received for this project.

### **ENVIRONMENTAL REVIEW**

The project is categorically exempt from environmental review under Section 15301 (Existing Facilities) of the California Environmental Quality Act (CEQA) Guidelines.

### **RECOMMENDATION/HISTORIC DISTRICT COMMISSION ACTION**

Staff recommends that the Historic District Commission approve the garage demolition (PN 19-400) located at 705 Orange Grove Way, with the below findings (Findings A-G) and the attached conditions of approval (Conditions 1-4).

### **GENERAL FINDINGS**

- A. NOTICE OF HEARING HAS BEEN GIVEN AT THE TIME AND IN THE MANNER REQUIRED BY STATE LAW AND CITY CODE.
- B. THE PROJECT IS CONSISTENT WITH THE GENERAL PLAN AND THE ZONING CODE OF THE CITY.

### **CEQA FINDINGS**

- C. THE PROJECT IS CATEGORICALLY EXEMPT FROM ENVIRONMENTAL REVIEW UNDER SECTION 15301 (EXISTING FACILITIES) OF THE CALIFORNIA ENVIRONMENTAL QUALITY ACT (CEQA) GUIDELINES.
- D. THE CUMULATIVE IMPACT OF SUCCESSIVE PROJECTS OF THE SAME TYPE IN THE SAME PLACE, OVER TIME IS NOT SIGNIFICANT IN THIS CASE.
- E. NO UNUSUAL CIRCUMSTANCES EXIST TO DISTINGUISH THE PROPOSED PROJECT FROM OTHERS IN THE EXEMPT CLASS.
- F. THE PROPOSED PROJECT WILL NOT CAUSE A SUBSTANTIAL ADVERSE CHANGE IN THE SIGNIFICANCE OF A HISTORICAL RESOURCE.

### **DEMOLITION FINDING**

- G. THE STRUCTURE PROPOSED TO BE DEMOLISHED IS NOT CONSIDERED HISTORICALLY SIGNIFICANT.

**ATTACHMENT 2  
BACKGROUND**

**BACKGROUND**

The existing single-story, 908-square-foot residence at 705 Orange Grove Way Street was built in 1948. The detached, 325-square-foot garage on the property was built in the 1970's, and has a Hardie panel siding which does not match the primary residence. The applicant is requesting Historic District Commission's approval to remove the garage from its current location.

**GENERAL PLAN DESIGNATION**

SFHD (Single Family High Density) within the Historic District

**ZONING**

R-1-M/CEN (Single Family Residential Small Lot/Central Subarea of the Historic Residential Primary Area)

**ADJACENT LAND USES/ZONING**

North: Residential buildings and Natoma Street beyond (R-1-M/CEN)

South: Residential buildings and Bidwell Street beyond (R-1-M/CEN)

East: Residential buildings and Sibley Street beyond (R-4/CEN)

West: Residential buildings and Oakdale Mobile Home Park beyond (R-4/CEN)

**SITE CHARACTERISTICS**

The 6,949-square-foot project site contains one primary residential structure and a detached garage.

**APPLICABLE CODES**

FMC Chapter 15.52; HD, Historic District  
FMC Section 17.52.660, Demolition  
Historic District Design and Development Guidelines

## **Attachment 3**

# **Proposed Conditions of Approval**

**CONDITIONS OF APPROVAL FOR  
 705 ORANGE GROVE WAY GARAGE DEMOLITION  
 (PN 19-400)**

<b>Cond. No.</b>	<b>Mitigation Measure</b>	<b>GENERAL REQUIREMENTS</b>	<b>When Required</b>	<b>Responsible Department</b>
1.		Issuance of demolition permit is required.	B	CD (B)
2.		Compliance with all local, state and federal regulations pertaining to building and demolition is required.	OG	CD (B)
3.		The project approval granted under this staff report shall remain in effect for two years from final date of approval (December 4, 2021). Failure to obtain the relevant building, demolition, or other permits within this time period, without the subsequent extension of this approval, shall result in the termination of this approval.	B	CD (P)
4.		Compliance with Noise Control Ordinance and General Plan Noise Element shall be required. Hours of construction operation shall be limited from 7:00 a.m. to 6:00 p.m. on weekdays and 8:00 a.m. to 5:00 p.m. on Saturdays. No construction is permitted on Sundays or holidays. In addition, construction equipment shall be muffled and shrouded to minimize noise levels.	I, B	CD (P)(E)

<b>RESPONSIBLE DEPARTMENT</b>		<b>WHEN REQUIRED</b>	
CD (P) (E) (B) (F)	Community Development Department	I	Prior to approval of Improvement Plans
	Planning Division	M	Prior to approval of Final Map
	Engineering Division	B	Prior to issuance of first Building Permit
	Building Division	O	Prior to approval of Occupancy Permit
	Fire Division	G	Prior to issuance of Grading Permit
PW	Public Works Department	DC	During construction
PR	Park and Recreation Department	OG	On-going requirement
PD	Police Department		

Historic District Commission  
705 Orange Grove Way Garage Demolition (PN 19-400)  
December 4, 2019

## **Attachment 4**

### **Photos of Existing Garage**



NE SIDE ALLEY VIEW





NW SIDE



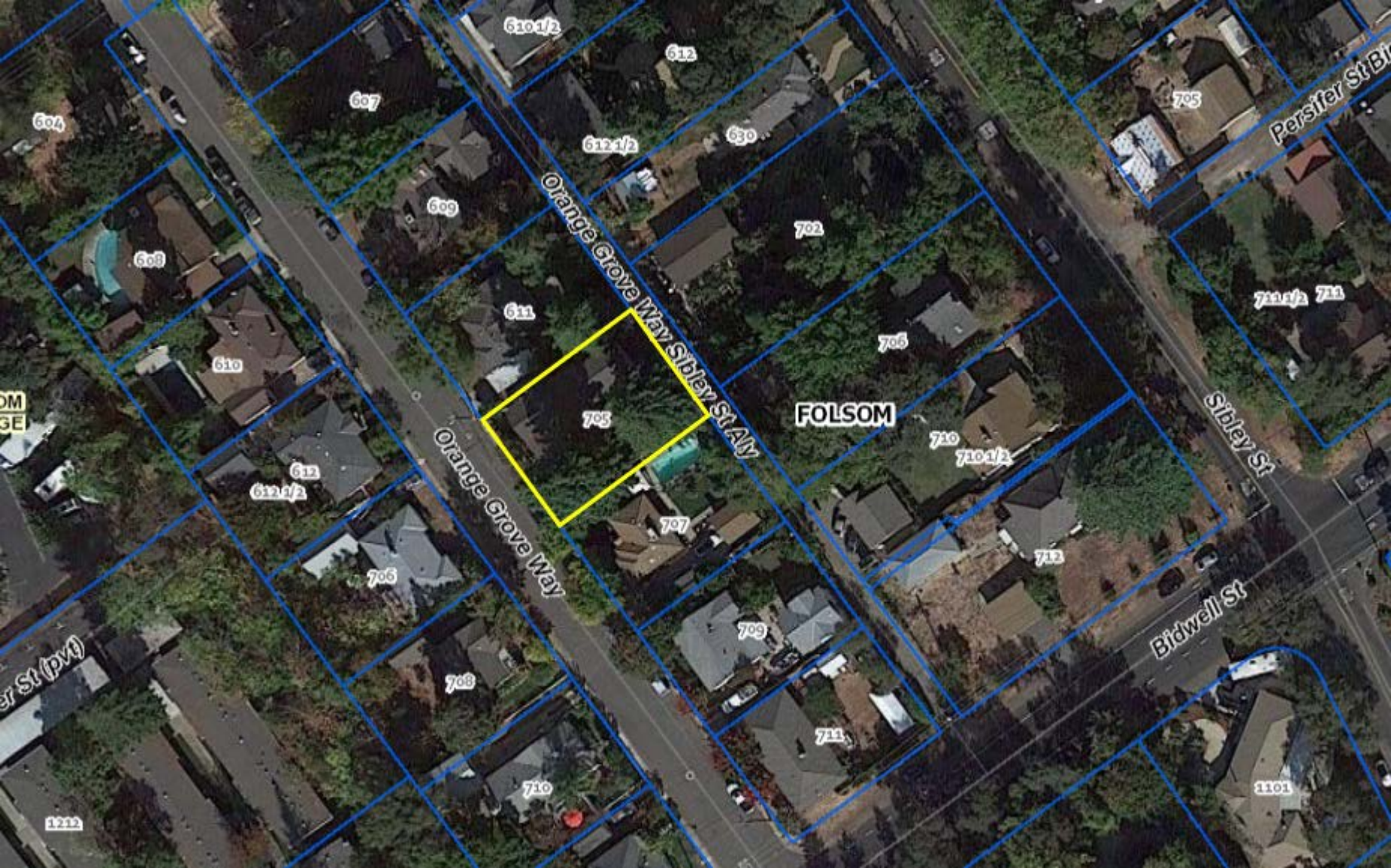
SE SIDE



SW SIDE

Historic District Commission  
705 Orange Grove Way Garage Demolition (PN 19-400)  
December 4, 2019

## **Attachment 5 Vicinity Map**



FOLSOM

Orange Grove Way Sibley St Aly

Orange Grove Way

Sibley St

Bidwell St

Persifer St Bl

610 1/2

612

604

607

612 1/2

630

705

608

609

702

720 1/2 721

610

611

705

DM  
GE

705

FOLSOM

710

710 1/2

612

612 1/2

707

712

706

709

St St (pvt)

708

711

1222

710

8101

Historic District Commission  
705 Orange Grove Way Garage Demolition (PN 19-400)  
December 4, 2019

## **Attachment 6**

### **Site Plan**

An aerial satellite view of a residential neighborhood. The image shows several houses with dark roofs, surrounded by dense green trees. A red rectangular outline highlights a specific property in the center. A red location pin is placed at the top-left corner of this red outline. The text "705 Orange Grove Way" is overlaid in white on the red outline.

705 Orange Grove Way



CITY OF  
**FOLSOM**  
DISTINCTIVE BY NATURE

**AGENDA ITEM NO. 2**  
**Type: Public Meeting**  
**Date: December 4, 2019**

## **Historic District Commission Staff Report**

50 Natoma Street, Council Chambers  
Folsom, CA 95630

**Project:** 917 Sutter Street Chan House Restoration and Addition  
**File #:** PN 19-349  
**Request:** Restoration and Addition  
**Location:** 917 Sutter Street  
**Parcel(s):** 070-0101-007  
**Staff Contact:** Brianna Gustafson, Assistant Planner, 916-461-6210  
bgustafson@folsom.ca.us

### **Property Owner**

Name: Folsom Historical Society  
Address: 823 Sutter Street  
Folsom, CA 95630

### **Applicant**

Name: Larry Washington  
Address: 13405 Folsom Boulevard,  
Suite 300, Folsom CA 95630

**Recommendation:** Conduct a public meeting and upon conclusion recommend approval of Design Review Application to restore the existing building at 917 Sutter Street and addition of 86-square-foot bathroom (PN 19-349) subject to the findings included in this report (Findings A-H) and attached conditions of approval (Conditions 1-9).

**Project Summary:** The proposed project includes restoration of the existing 981-square-foot building to match original historic design and the addition of an ADA accessible bathroom. The original house at 917 Sutter Street was built in 1910 and is listed on the City of Folsom's Historical Properties List and is being converted to a Chinese heritage museum.

### **Table of Contents:**

- 1 - Description/Analysis
- 2 - Background
- 3 - Proposed Conditions of Approval
- 4 - Site Plan, Floor Plan and Building Elevation
- 5 - Color Board
- 6 – Site Photographs
- 7 - Heritage Preservation League Comment Letter





CITY OF  
**FOLSOM**  
DISTINCTIVE BY NATURE

**AGENDA ITEM NO. 2**  
**Type: Public Meeting**  
**Date: December 4, 2019**

Submitted,

---

PAM JOHNS  
Community Development Director

## ATTACHMENT 1 DESCRIPTION/ANALYSIS

### APPLICANT'S PROPOSAL

The applicant, Larry Washington, is proposing restoration of the existing 981-square-foot building to match original historic design at 917 Sutter Street. The project also includes the addition of an ADA accessible bathroom, a new foundation and reinforced roof structure, and exterior renovation.

### POLICY/RULE

All exterior renovations, remodeling, or addition to existing structures located in the Historic District are subject to review by the Historic District Commission, per Section 17.52.300 of the Folsom Municipal Code.

### ANALYSIS

In order to approve a request for design review of a structure considered historically significant, per FMC 17.52.330, the Commission must consider the following:

1. Project compliance with the General Plan and any applicable zoning ordinances;
2. Conformance with any city-wide design guidelines and historic district design and development guidelines adopted by the city council;
3. Conformance with any project-specific design standards approved through the planned development permit process or similar review process; and
4. Compatibility of building materials, textures and colors with surrounding development and consistency with the general design theme of the neighborhood.

Appendix D, Section A.1 of the Historic District Design and Development Guidelines (DDGs) explains that restoration is the most appropriate when the building's design is appropriate for the area in which it is located. It further goes on to state in Section A.2, that deteriorated features of existing buildings should be replaced by new materials that match the material being replaced in composition, design, color, texture, and other visual qualities. The project conforms to the DDGs as the redwood lap siding, wood columns, trim, windows and doors are proposed to be repaired, restored, or replaced to the original design of the building. Furthermore, the repainting that would occur would be replaced to match the existing historic design.

The project also includes a reroof of the building with two different roofing materials proposed. First, grey asphalt shingle roofing is proposed on the lower east elevation of the building. The top portion is proposed to be corrugated metal roofing. The DDGs state in Appendix D, Section B.14, that roofs should be composed of traditional materials,

including fireproof wood shingles and shakes, corrugated metal, composition fiberglass shingles, clay tiles, or others as determined by historic evidence. The roof is encouraged to be dark or neutral tones. Corrugated metal is not considered a historic material in regard to siding but is for roofing material. Since the roof would be both grey asphalt shingle and corrugated metal, staff has concluded that the proposal conforms to the DDGs.

The proposal also includes the installation of a trash enclosure. The DDGs say that trash enclosures shall be screened from view from adjacent properties, public streets and building entries. They also have to be constructed of substantial, durable materials that are compatible with the primary building. The project is proposing a six-foot-tall concrete masonry enclosure that will match the primary building colors. It will be located behind the primary building in the rear yard area, away from public view.

As stated before, since the building is being converted to a public museum, a new 86-square-foot ADA-accessible restroom addition is required in order to comply with the building code requirements. The bathroom is proposed to match the rest of the building in terms of building materials, colors and roof. The bathroom door will be painted the same golden yellow with some architectural paneling that the rest of the building is proposed to be except that it will have the required ADA compliant signage.

Part of the restoration does include the installation of gutters and downspouts for the building. The proposed gutters will be copper, which is considered an appropriate building material for gutters and downspouts per the Building Materials Palette in the DDGs.

There are existing native oak trees on site that will need to be protected with exclusionary fencing to prevent construction encroachment into the Tree Protection Zone. A tree permit may be necessary depending on the extent of necessary grading for the addition. This has been conditioned in the staff report as Condition 7.

In 2012 the Chan House was added to the City of Folsom Cultural Resources Inventory based on the request submitted by the Heritage Preservation league of Folsom (PN12-035). It was determined that the residence met all four of the following criteria for listing as established by the City's Historic Preservation Master Plan.

1. Property is associated with events that have made a significant contribution to the broad patterns of our history.
2. Property is associated with the lives of persons significant in our past.
3. Property embodies distinctive characteristics of a type, period, region, construction method, or represents the work of a creative individual.
4. Property has yielded, or is likely to yield, information important in Folsom's prehistory or history.

Given the historical significance and integrity of the building, it is considered eligible to be listed at the State and Federal listing of Historic Resources. Whenever changes or modifications are proposed to an eligible historic resource (including those on the City of Folsom's Cultural Resources Inventory) for the Secretary of the Interior's List of Historic Places, the applicant is required to follow the Secretary of the Interior's Standards for Treatment of Historic Places (Standards). The intent of the Standards is to assist the long-term preservation of a property's significance through the preservation of historic materials and features. The Standards pertain to historic buildings of all materials, construction types, sizes, and occupancy and encompass the exterior and the interior of historic buildings. The following is a list of some of the Standards that were considered with the proposed project:

- The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.
- Most properties change over time; those changes that have acquired historic significance in their own right shall be retained and preserved.
- Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a historic property shall be preserved.
- Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence.

To ensure that the proposed project is in compliance with the abovementioned Standards, the applicant retained an architectural firm, Two Rivers Architects. It has been conditioned in this report to ensure compliance with these standards, as seen in Condition 9.

In summary, staff has determined that the proposed project successfully meets the architectural and design recommendations for preserving and rehabilitating the existing building at 917 Sutter Street as suggested by the Historic District Design and Development Guidelines.

## **PUBLIC COMMENTS**

The Heritage Preservation League (HPL) submitted a comment letter for the project that was received September 25, 2019 and has been attached to this report as Attachment 6. Revised plans and a color board have been submitted by the applicant in response to the comment letter that was received.

One of the concerns was in regard to the trash enclosure that was originally proposed.

HPL recommended that that design of the trash enclosure should be associated with historic building styles. The comment recommended installing iron rod fencing design on the trash enclosure wall. The applicant revised the trash enclosure to reflect the style of the primary building, which follows the DDGs.

The HPL had an additional comment pertaining to the proposed doors. The comment was that the new restroom door is not coordinated with the historic building design. HPL recommended that the hollow-core metal door to this structure should have the profile of a paneled door. The applicant revised the proposed door to include the paneling and architectural features to the door and the door will match the golden color of the primary building.

As mentioned above, the proposed roof is constructed using grey asphalt shingle roofing that would be on the lower east elevation of the building. The top portion would be corrugated metal roofing. A color and materials sheet have been provided by the applicant to further clarify the proposed materials for the building.

As stated before, revised plans have been submitted since HPL had reviewed and commented on the project. Since then, the applicant has provided the proposed materials for the gutters and downspouts for the building. The applicant is proposing copper gutters, which are in compliance with the DDGs.

The next comment was in regard to exterior light fixtures. An example of the light fixture was submitted alongside the color board/materials document, which shows a green goose neck light fixture that will be hung along the exterior of the building. Per Appendix D, Section B.16.b, under canopy and entry lighting shall be placed to illuminate the pedestrian walkway and building entrances should be accentuated by brighter lighting. Any lighting would be minimal, as there are no signs proposed as part of the building.

## **ENVIRONMENTAL REVIEW**

The project is categorically exempt from environmental review under Section 15301 (Existing Facilities) of the California Environmental Quality Act (CEQA) Guidelines.

## **RECOMMENDATION/HISTORIC DISTRICT COMMISSION ACTION**

Staff recommends that the Historic District Commission approve the restoration and remodel (PN19-349) located at 917 Sutter Street, with the below findings (Findings A-H) and the attached conditions of approval (Conditions 1-9).

## **GENERAL FINDINGS**

- A. NOTICE OF HEARING HAS BEEN GIVEN AT THE TIME AND IN THE MANNER REQUIRED BY STATE LAW AND CITY CODE.

- B. THE PROJECT IS CONSISTENT WITH THE GENERAL PLAN AND THE ZONING CODE OF THE CITY.

**CEQA FINDINGS**

- C. THE PROJECT IS CATEGORICALLY EXEMPT FROM ENVIRONMENTAL REVIEW UNDER SECTION 15301 (EXISTING FACILITIES) OF THE CALIFORNIA ENVIRONMENTAL QUALITY ACT (CEQA) GUIDELINES.
- D. THE CUMULATIVE IMPACT OF SUCCESSIVE PROJECTS OF THE SAME TYPE IN THE SAME PLACE, OVER TIME IS NOT SIGNIFICANT IN THIS CASE.
- E. NO UNUSUAL CIRCUMSTANCES EXIST TO DISTINGUISH THE PROPOSED PROJECT FROM OTHERS IN THE EXEMPT CLASS.
- F. THE PROPOSED PROJECT WILL NOT CAUSE A SUBSTANTIAL ADVERSE CHANGE IN THE SIGNIFICANCE OF A HISTORICAL RESOURCE.

**DESIGN REVIEW FINDINGS**

- G. THE BUILDING MATERIALS, TEXTURES AND COLORS USED IN THE PROPOSED PROJECT ARE COMPATIBLE WITH SURROUNDING DEVELOPMENT AND ARE CONSISTENT WITH THE GENERAL DESIGN THEME OF THE NEIGHBORHOOD.
- H. THE PROPOSED PROJECT ITSELF IS IN CONFORMANCE WITH THE HISTORIC DISTRICT DESIGN AND DEVELOPMENT GUIDELINES ADOPTED BY CITY COUNCIL.

## **ATTACHMENT 2 BACKGROUND**

### **BACKGROUND**

When the Historic Preservation Master Plan was approved in 1998, 'The Chan House' at 917 Sutter Street was included with the Preliminary Resources Inventory. In 2008, the property was added to the City's Cultural Resources Inventory of locally important historic buildings and sites. Based on the historic Sanford Maps, the original building at 917 Sutter Street was constructed in 1910. A 130-square foot shed that was attached along the rear elevation was approved for demolition by the Historic District Commission on June 19, 2019 (PN19-156).

### **GENERAL PLAN DESIGNATION**

HF, Historic Folsom Mixed Use

### **ZONING**

SUT, Sutter Street Subarea of the Historic Commercial Primary Area with underlying zone Historic District (HD)

### **ADJACENT LAND USES/ZONING**

North: Leidesdorff Street and Wool Street with existing commercial buildings beyond (SUT)

South: Sutter Street and Figueroa Street Alley with existing residences beyond (FIG)

East: Existing commercial uses (SUT)

West: Existing commercial (SUT)

### **SITE CHARACTERISTICS**

The 4,060-square-foot project site contains one residential structure, a detached garage, an attached shed.

### **APPLICABLE CODES**

FMC Chapter 15.52; HD, Historic District  
FMC Section 17.52.300, Design Review  
Historic District Design and Development  
Guidelines

## **ATTACHMENT 3**

# **Proposed Conditions of Approval**



<b>CONDITIONS OF APPROVAL FOR 917 SUTTER STREET RESTORATION AND ADDITION DESIGN REVIEW (PN 19-349)</b>				
<b>Cond. No.</b>	<b>Mitigation Measure</b>	<b>GENERAL REQUIREMENTS</b>	<b>When Required</b>	<b>Responsible Department</b>
1.		<p>The applicant shall submit final site development plans to the Community Development Department that shall substantially conform to the exhibits referenced below:</p> <ul style="list-style-type: none"> <li>• Building Elevations and Floor Plans, dated August 21, 2019</li> </ul> <p>This project approval is for the 917 Sutter Street, which includes the restoration of the existing building and addition of an 86-square-foot restroom located at 917 Sutter Street. Implementation of the project shall be consistent with the above-referenced items as modified by these conditions of approval.</p>	B	CD (P)(E)
2.		<p>Building plans shall be submitted to the Community Development Department for review and approval to ensure conformance with this approval and with relevant codes, policies, standards and other requirements of the City of Folsom.</p>	B	CD (P)(E)(B)
3.		<p>The project approval granted under this staff report (Design Review) shall remain in effect for two years from final date of approval (December 4, 2021). Failure to obtain the relevant building (or other) permits within this time period, without the subsequent extension of this approval, shall result in the termination of this approval.</p>	B	CD (P)
4.		<p>The owner/applicant shall defend, indemnify, and hold harmless the City and its agents, officers and employees from any claim, action or proceeding against the City or its agents, officers or employees to attack, set aside, void, or annul any approval by the City or any of its agencies, departments, commissions, agents, officers, employees, or legislative body concerning the project. The City will promptly notify the owner/applicant of any such claim, action or proceeding, and will cooperate fully in the defense. The City may, within its unlimited discretion, participate in the defense of any such claim, action or proceeding if both of the following occur:</p> <ul style="list-style-type: none"> <li>• The City bears its own attorney’s fees and costs; and</li> <li>• The City defends the claim, action or proceeding in good faith</li> </ul> <p>The owner/applicant shall not be required to pay or perform any settlement of such claim, action or proceeding unless the settlement is approved by the owner/applicant.</p>	OG	CD (P)(E)(B) PW, PR, FD, PD

5.		<p>The project shall comply with the following architecture and design requirements:</p> <ol style="list-style-type: none"> <li>1. This approval is for the restoration, including foundation, reroofing, residing, gutter installation, painting, installation of the trash enclosure and the bathroom addition for the 917 Sutter Street Design Review project. The applicant shall submit building plans that comply with this approval, the attached building elevations and attached floor plan, dated August 21, 2019.</li> <li>2. The design, materials, and colors of the proposed 917 Sutter Street Restoration and Addition Design Review project shall be consistent with the submitted building elevations, material samples, and color scheme to the satisfaction of the Community Development Department.</li> <li>3. All Conditions of Approval as outlined herein shall be made as a note or separate sheet on the Construction Drawings.</li> </ol>	OG	CD (P)
6.		Compliance with Noise Control Ordinance and General Plan Noise Element shall be required. Hours of construction operation shall be limited from 7:00 a.m. to 6:00 p.m. on weekdays and 8:00 a.m. to 5:00 p.m. on Saturdays. No construction is permitted on Sundays or holidays. In addition, construction equipment shall be muffled and shrouded to minimize noise levels.	I, B	CD (P)(E)
7.		Issuance of a tree permit is required for any trees that need to be removed as part of the rehabilitation work. The protected Oak tree on site shall be preserved and the applicant shall obtain a tree work permit if necessary, as determined by the Community Development Department.	B	CD (B)
8.		The 86-square-foot bathroom addition shall be attached to the primary building to the satisfaction of the Community Development Department.	B	CD (B)(P)
9.		The project's applicant's qualified professional architect shall demonstrate compliance with all local, state and federal regulations, including the Secretary of the Interior's Standards for Treatment of Historic Places.	B	CD (B)(P)

RESPONSIBLE DEPARTMENT		WHEN REQUIRED	
CD (P) (E) (B)	Community Development Department	I	Prior to approval of Improvement Plans
	Planning Division	M	Prior to approval of Final Map
	Engineering Division	B	Prior to issuance of first Building Permit
	Building Division	O	Prior to approval of Occupancy Permit

(F)	Fire Division	G	Prior to issuance of Grading Permit
PW	Public Works Department	DC	During construction
PR	Park and Recreation Department	OG	On-going requirement
PD	Police Department		

Historic District Commission  
917 Sutter Street Restoration and Addition Design Review (PN 19-349)  
December 4, 2019

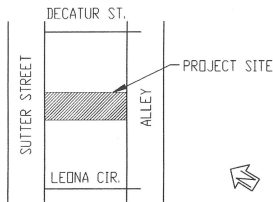
## **Attachment 4**

# **Site Plan, Floor Plan, and Building Elevations**

# HISTORIC RESTORATION OF THE CHAN HOUSE

917 SUTTER STREET APN: 070-0101-007-0000  
FOLSOM, CA 95630

## VICINITY MAP



**Two Rivers**  
ARCHITECTS INC.  
13405 FOLSOM BLVD., BLDG. 4300  
FOLSOM, CALIFORNIA 95630  
PHONE: (916) 358-7555  
FAX: (916) 358-7556  
www.tworiversia.com



These drawings and accompanying specifications are instruments of service for the exclusive property of Two Rivers Architects and their use shall be restricted to the original site for which they were prepared. Re-use or reproduction by any method in part or in whole is prohibited except by written permission of Two Rivers Architects.

© 2004 Two Rivers Architects

CONSULTANT

REVISIONS

KEY PLAN

PROJECT TITLE  
CHAN HOUSE  
917 SUTTER STREET  
FOLSOM, CA 95630  
APN: 070-0101-007-000

SHEET TITLE  
COVER SHEET

DRAWN BY KV	CHECKED BY LW
PROJECT NO. 3059	SHEET NO.
COMPUTER NO. 06	A0.1
DATE 08-21-19	

## GENERAL INFORMATION

- THIS IS A DESIGN DEVELOPMENT SET AND SHOWS DESIGN INTENT AND ITEMS REQUIRED TO CONSTRUCT THE WORK FOR GENERAL CONSTRUCTION PURPOSES ONLY. IT IS THE RESPONSIBILITY OF THE OWNER BUILDER OR CONTRACTOR TO SELECT, VERIFY SIZES, INSTALL AND RESOLVE ANY PROBLEMS WITH MATERIALS AND EQUIPMENT AND TO PROVIDE A COMPLETE, FUNCTIONING INSTALLATION WHICH MEETS APPLICABLE CODES AND INDUSTRY STANDARDS FOR WORKMANSHIP.
- THE OWNER BUILDER OR CONTRACTOR IS RESPONSIBLE FOR LOT DRAINAGE AND WATER PROOFING & UNDER FLOOR DRAINAGE OF THE BUILDING SHELL. SPECIAL CONSIDERATIONS MUST BE TAKEN FOR WATER PROOFING AND ELIMINATING HYDROSTATIC PRESSURE ON ALL SUBTERRANEAN WALL AND FLOOR SURFACES. THE UNDER FLOOR CRAWL SPACE NEEDS VENTING AND DRAINAGE PER CODE.
- THE OWNER BUILDER OR CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL DIMENSIONS, SIZES, DISTANCES AND ELEVATIONS AS THEY RELATE TO THE ADJACENT ROAD BEFORE CONSTRUCTION.
- THE OWNER BUILDER OR CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL UTILITY PERMITS AND HOOK-UP FEES AND A BUILDING PERMIT.
- THE OWNER BUILDER OR CONTRACTOR IS RESPONSIBLE FOR THE CONSTRUCTION AND QUALITY CONTROL OF THIS PROJECT.
- PROVIDE ALL NECESSARY ANCHORAGE, BLOCKING, BACKING, FRAMING, ACCESSORIES, FASTENERS, ETC. AS REQUIRED FOR A COMPLETE AND FUNCTIONAL INSTALLATION.
- DOOR SIZES INDICATED ON DRAWINGS ARE OPENING DIMENSIONS; ALLOWANCES FOR THRESHOLDS, ETC. SHALL BE TAKEN FOR NET DOOR SIZES.
- PLUMBING AND MECHANICAL DESIGN AND DETAILING IS BY THE DESIGN/BUILD CONTRACTOR PER 2016 CAL UPC.
- ELECTRICAL DESIGN INCLUDING POWER FEED, PANEL AND CIRCUITS IS BY THE DESIGN/BUILD CONTRACTOR PER 2016 CAL IEC.
- THE OWNER BUILDER OR CONTRACTOR IS RESPONSIBLE FOR THE RESIDENTIAL MANDATORY MEASURES, 2016 CGS 102.2 AND 102.3.

## SEPARATE PERMITS

SEPARATE PLAN CHECK SUBMITTAL AND PERMIT ARE REQUIRED FOR:

- FIRE ALARM SYSTEM AN APPLICATION AND PLANS, INCLUDING SEQUENCE OF OPERATIONS MATRIX, ZONES OR ADDRESS DESCRIPTIONS, POINT TO POINT RISER DIAGRAM, BATTERY AND VOLTAGE DROP CALCULATIONS AND C.S.F.M LISTING APPROVAL INFORMATION SHEETS, ETC. MUST BE SUBMITTED FOR FIRE INSTALLATION.

IT SHALL BE THE DUTY OF THE HOLDER OF THE BUILDING PERMIT OR THEIR DULY AUTHORIZED AGENT TO NOTIFY THE BUILDING OFFICIAL WHEN WORK IS READY FOR INSPECTION. IT SHALL BE THE DUTY OF THE PERMIT HOLDER TO PROVIDE ACCESS TO AND MEANS FOR INSPECTIONS OF SUCH WORK THAT ARE REQUIRED BY THIS CODE.

## APPLICABLE CODES

TITLE 24 CALIFORNIA CODE OF REGULATIONS  
2016 CALIFORNIA BUILDING CODE  
(BASED ON 2015 UNIFORM BUILDING CODE)

2016 CALIFORNIA MECHANICAL CODE  
(BASED ON 2015 UNIFORM MECHANICAL CODE)

2016 CALIFORNIA ELECTRICAL CODE  
(BASED ON 2015 UNIFORM ELECTRICAL CODE)

2016 CALIFORNIA PLUMBING CODE

## GENERAL INFORMATION

BUILDING INFORMATION  
PERMIT AREA ± 981 S.F.  
BUILDING TYPE MUSEUM  
PROJECT TYPE RESTORATION  
NUMBER OF STORIES 1 STORY  
TYPE OF CONSTRUCTION V-B N.S.  
OCCUPANCY GROUP A - >50 OCC = 'B' OCC. (303.1.1)  
JURISDICTION CITY OF FOLSOM  
ASSESSOR'S PARCEL NUMBER 070-0101-007-0000  
ZONING HD  
FIRE DISTRICT FOLSOM FIRE DEPARTMENT  
WATER FOLSOM WATER DISTRICT  
SEWAGE DISPOSAL COUNTY OF SACRAMENTO

## SCOPE OF WORK

RESTORATION OF A HOUSE BUILT IN 1920 CONVERTED TO A MUSEUM. ADDING AN ADA RESTROOM, 10' SEPARATE FROM THE ORIGINAL STRUCTURE. NEW FOUNDATION REINFORCED ROOF STRUCTURE.

## OCCUPANT LOAD

2016 CALIFORNIA TITLE 24 BUILDING CODE

OCCUPANCY A-3 w/ LESS THAN 50 OCC. = B OCCUPANCY (303.1.1)  
TABLE 1004.1.2 MUSEUMS = 30 sf / OCC. NET  
NET sf 831 sf / 30 sf OCC. = 28 OCCUPANTS

EXITS REQUIRED: 1 - PROVIDED = 1

EXIT ACCESS TRAVEL DISTANCE  
B WITHOUT SPRINKLERS = 200 F. T.  
DISTANCE BETWEEN EXITS = 24 F. T.

## 2016 CALIFORNIA PLUMBING CODE:

TABLE A - OCCUPANT LOAD FACTOR: GROUP B = 1/30 sf  
722.2 EXCEPTION 3

EXHIBIT / GALLERY / MUSEUM @ 951 sf / 30 sf / OCC. = 28 OCC.  
TOTAL OCCUPANTS = 28 OCC.  
14 WOMEN AND 14 MEN  
SINGLE OCCUPANCY TOILET PROVIDED w/ 1 SINK & 1 W.C.

## ENERGY NOTES

- INSULATION
  - PROVIDE R-19 @ EXISTING EXTERIOR WALLS.
  - PROVIDE R-38 BATT INSULATION AT ROOF & FLOOR
- ALL WINDOWS TO BE WOOD-SINGLE PANE GLASS - (HISTORIC)
- ELECTRIC MINI-SPLIT SHEER RATING OF 14.5 MINIMUM

## SHEET INDEX

A0.1 COVER SHEET

ARCHITECTURAL  
A1.1 SITE PLAN  
A1.2 SITE DETAILS  
A2.1 FLOOR PLAN  
A2.2 ELECTRICAL POWER PLAN & CEILING PLAN  
A2.3 ROOF PLAN - ARCHITECTURAL  
A2.4 FOUNDATION PLAN - ARCHITECTURAL  
A4.1 EXTERIOR ELEVATIONS  
A4.2 (N) ADA RESTROOM EXTERIOR ELEVATIONS  
A7.1 DETAILS

STRUCTURAL  
SD1 GENERAL NOTES & DETAILS  
SD2 TYPICAL DETAILS  
SD3 TYPICAL DETAILS  
S01 FOUNDATION PLAN  
S02 ROOF FRAMING PLAN  
S03 SHEAR WALL PLAN

## NOTES:

NO HAZARDOUS MATERIALS WILL BE STORED AND/OR USED WITHIN THE BUILDING WHICH WILL EXCEED THE QUANTITIES LISTED IN CBC TABLES 307.1(1) AND 307.2(2). HAZARDOUS MATERIALS REPORT HAS BEEN DONE BY \_\_\_\_\_ ON \_\_\_\_\_ MITIGATION IS REQUIRED FOR LEAD PAINT.

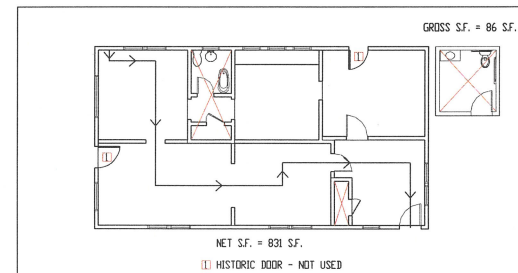
## PROJECT DIRECTORY

OWNER  
FOLSOM HISTORICAL SOCIETY  
APN: 070-0101-007-0000  
823 SUTTER STREET  
FOLSOM, CA 95630  
(916)985-2707

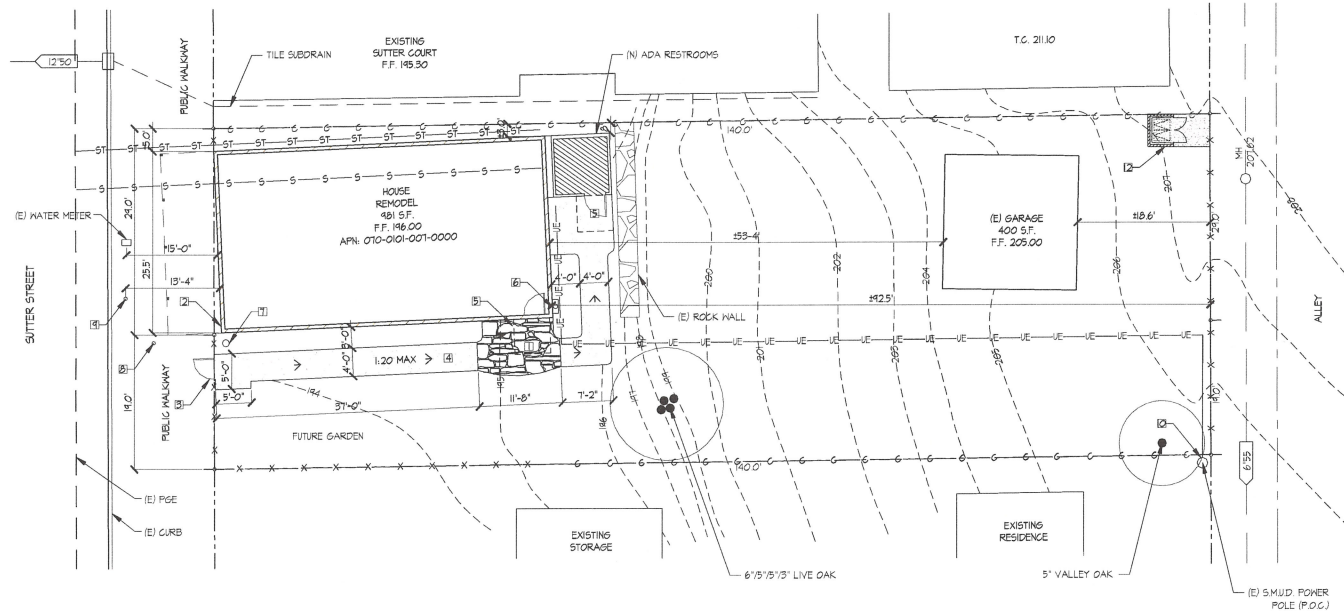
ARCHITECT  
TWO RIVERS ARCHITECTS  
13405 FOLSOM BLVD. BLDG 300  
FOLSOM, CA 95630  
PH: (916) 358-7555

STRUCTURAL ENGINEER  
CHRIS OLIVEIRA & ASSOCIATES  
3269 FOLSOM BLVD.  
SACRAMENTO, CA 95816  
PH: (916) 835-8073

CONTRACTOR  
OWNER/BUILDER  
FOLSOM HISTORICAL SOCIETY  
APN: 070-0101-007-0000  
823 SUTTER STREET  
FOLSOM, CA 95630  
(916)985-2707



NET S.F. = 831 S.F.  
□ HISTORIC DOOR - NOT USED



1 SITE PLAN

- GENERAL NOTES:  
 1. THERE ARE NO SETBACKS REQUIRED ON EXISTING OR ATTACHED STRUCTURES  
 2. (E) ADA PARKING IS ON SUTTER STREET

SHEET NOTES:

- 1) NATURAL STONE @ ENTRY
- 2) KNOX BOX
- 3) (N) 3'-0" ENTRY GATE
- 4) (N) CONCRETE WALK
- 5) 60" X 60" CLEAR
- 6) ELECTRICAL SERVICE - MAIN SUB PANEL
- 7) (E) WATER SERVICE
- 8) (E) FIRE - P.O.C.
- 9) (E) SEWER
- 10) SMUD CONNECTION (P.O.C.)
- 11) 200 AMP MAIN
- 12) 6'-0" HT. TRASH ENCLOSURE

LEGEND:

- 1) (N) 4" CONCRETE WALKWAY
- 2) (N) ADA TOILET
- 3) AREA TO BE REMODELED
- 4) (N) STONE WALK
- 5) ADA CLEARANCE
- 6) UNDERGROUND ELECTRICAL
- 7) -S- SANITARY BELOW GRADE
- 8) -ST- STORM BELOW GRADE
- 9) -C- (E) 6'-0" CHAIN LINK FENCE
- 10) -X- (E) 6'-0" WOODEN FENCE



These drawings and accompanying specifications or instruments of service are the exclusive property of Two Rivers Architects and their use shall be restricted to the original site for which they were prepared. Re-use or reproduction by any method in part or in whole is prohibited except by written permission of Two Rivers Architects.

© 2004 Two Rivers Architects  
 CONSULTANT

REVISIONS

KEY PLAN

PROJECT TITLE

CHAN HOUSE  
 917 SUTTER STREET  
 FOLSOM, CA 95630  
 APN: 070-0101-007-000

SHEET TITLE

SITE PLAN

DRAWN BY

KV

CHECKED BY

LW

PROJECT NO.

3062

SHEET NO.

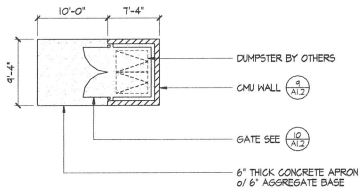
A1.1

COMPUTER NO.

06

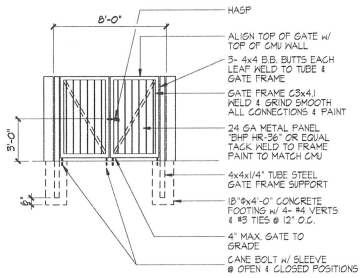
DATE

08-21-19



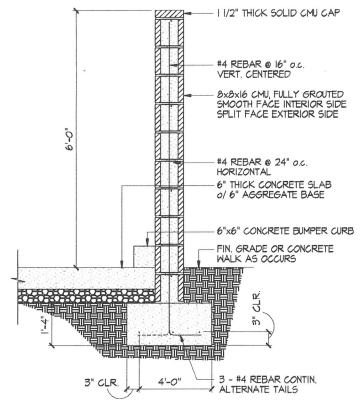
TRASH ENCLOSURE

SCALE: 1/4" = 1'-0"



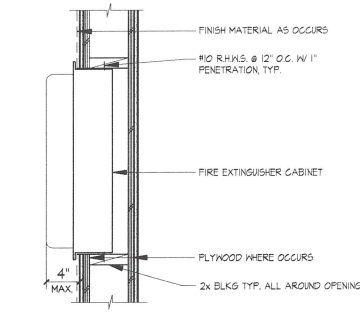
TRASH ENCLOSURE GATE

SCALE: 1/4" = 1'-0"

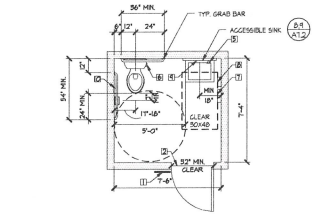


CMU WALL @ TRASH ENCLOSURE

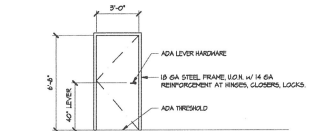
SCALE: 3/4" = 1'-0"



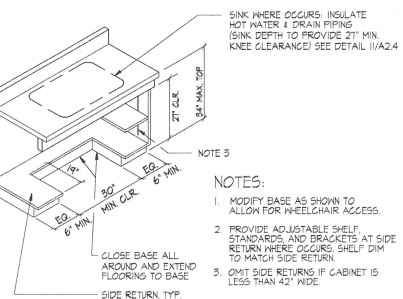
FIRE EXTINGUISHER CABINETS



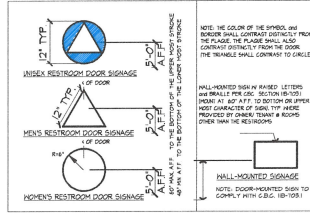
ENLARGED RESTROOM



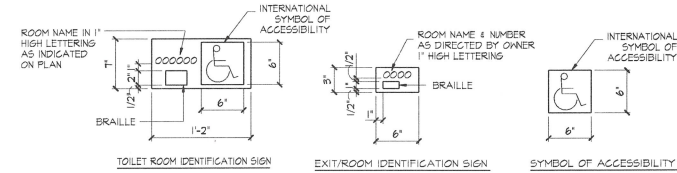
S.C. WOOD DOOR



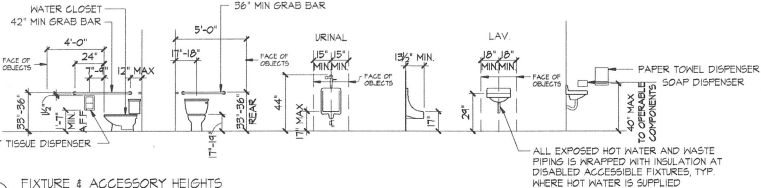
ACCESSIBLE STATION



ROOM SIGNAGE ELEVATION

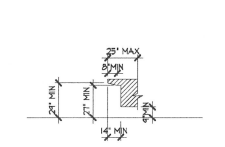


TYPICAL ROOM SIGNAGE



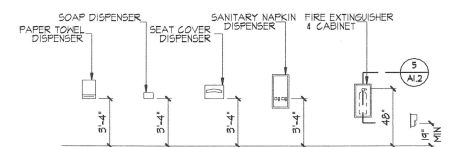
FIXTURE & ACCESSORY HEIGHTS

NOTES:  
1. SEATS SHALL NOT BE SPRUNG TO RETURN TO A LIFTED POSITION.  
2. SEATS SHALL BE 2" HIGH MAX.



KNEE CLEARANCE AT LAVATORY

SCALE: 1/4" = 1'-0"



FIXTURE & ACCESSORY HEIGHTS

GENERAL NOTES:

- 1. WHEELCHAIR ACCESSIBLE TOILET COMPARTMENT TOE CLEARANCE TO MEET 11B-604.6.1.4

SHEET NOTES:

- 1. ROOM & ACCESSIBILITY SIGNAGE (12/A1.2) TYP.
- 2. MARBLE THRESHOLD
- 3. FOR RESTROOM FIXTURES & ACCESSORY HT'S SEE (S/A1.2)
- 4. GRAB BAR (10.1/A1.1)
- 5. TOUCHLESS FAUCETS, TYP.
- 6. TOILET W/ FLUSHOMETER, TYP.
- 7. HAND TOWEL DISPENSER W/ TRASH CAN, TYP.
- 8. SOAP DISPENSER
- 9. MIRROR
- 10. SEAT COVER DISPENSERS
- 11. INSTA HOT

**Two Rivers**  
Architects Inc.  
13495 FOLSOM BLVD., BLDG. A300  
FOLSOM, CALIFORNIA 95630  
PHONE: (916) 358-7555  
FAX: (916) 358-7556  
www.tworiverspa.com



These drawings and accompanying specifications or instruments of service are the exclusive property of Two Rivers Architects and their use shall be restricted to the original site for which they were prepared. Re-use or reproduction by any method in part or in whole is prohibited except by written permission of Two Rivers Architects.

© 2004 Two Rivers Architects

CONSULTANT

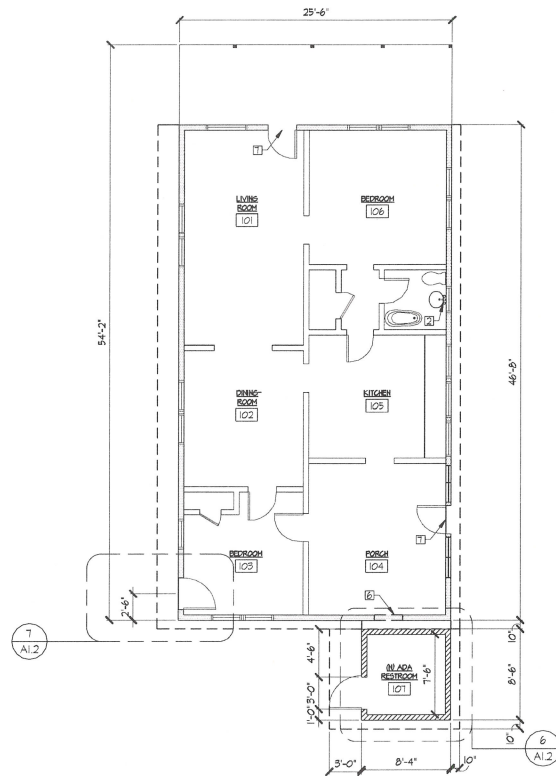
REVISIONS

KEY PLAN

PROJECT TITLE  
CHAN HOUSE  
917 SUTTER STREET  
FOLSOM, CA 95630  
APN: 070-0101-007-000

SHEET TITLE  
STANDARD DETAILS

DRAWN BY K.V.	CHECKED BY L.W.
PROJECT NO. 3062	SHEET NO. A1.2
COMPUTER NO. 06	
DATE: 08-21-19	



1 FLOOR PLAN  
 ALL WALLS, WINDOWS & DOORS ARE EXISTING UNLESS OTHERWISE NOTED SCALE: 3/16"=1'-0"

LEGEND

- (E) 2X6 EXTERIOR WALLS
- (E) 2X6 INTERIOR WALLS
- (N) 2X6 EXTERIOR WALLS
- ROOF OVERHANG
- HOSE BIB
- ROOM NUMBER, SEE FINISH SCHEDULE

ENERGY NOTES

1. PROVIDE R-19 INSULATION IN ALL EXTERIOR WALLS WITH TYVEG WRAP
2. PROVIDE 3 1/2" SOUND INSULATION IN ALL INTERIOR WALLS
3. PROVIDE R-38 BATT INSULATION IN THE ATTIC AND UNDER FLOOR
4. PROVIDE PLYWOOD ROOF SHEATHING WITH REFLECTIVE COATING INTERIOR SIDE
5. SINGLE PANE GLASS (HISTORIC)

GENERAL NOTES

- 1 PROVIDE MIN HIGH AND LOW ATTIC VENTILATION OF 1 SQ FT PER 300 SQ FT (800')
- 2 INSTA HOT
- 3 HOT WATER TANK SHALL HAVE TEMPERATURE & PRESSURE RELIEF VALVE TERMINATE AT THE EXT. BETWEEN 6' & 24" ABOVE GRADE & POINTING DOWNWARD
- 4 WATER CLOSETS EFFECTIVE FLUSH VOLUME SHALL NOT EXCEED 1.28 GALLONS WHEN TESTED IN ACCORDANCE W/ ASME A112.14.2 AS PER 2013 CPC 405.2.1.
- 5 PROVIDE EVE VENTILATION
- 6 EXISTING DOOR TO BE REMOVED - T-III EXTERIOR-PAINTED INTERIOR - PAINTED G.B.
- 7 NON- ACCESSIBLE DOOR (HISTORIC) APPEARANCE ONLY.



13405 FOLSOM BLVD., BLDG. #300  
 FOLSOM, CALIFORNIA 95630  
 PHONE: (916) 358-7555  
 FAX: (916) 358-7556  
 www.tworiversaia.com



These drawings and accompanying specifications as instruments of service are the exclusive property of Two Rivers Architects and their use shall be restricted to the original site for which they were prepared. Re-use or reproduction by any method in part or in whole is prohibited except by written permission of Two Rivers Architects.

© 2004 Two Rivers Architects

CONSULTANT

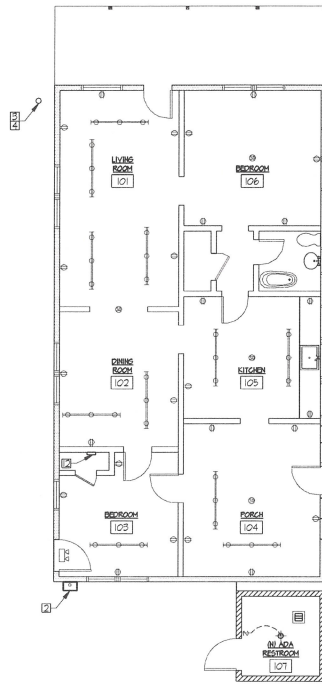
REVISIONS

KEY PLAN

PROJECT TITLE
CHAN HOUSE 917 SUTTER STREET FOLSOM, CA 95630 APN: 070-0101-007-000
SHEET TITLE
EXISTING FLOOR PLAN

DRAWN BY KVJ	CHECKED BY L.W.
PROJECT NO. 3062	SHEET NO. A2.1
COMPUTER NO. 06	DATE 08-21-19





1 ELECTRICAL POWER PLAN & CEILING PLAN SCALE: 3/16"=1'-0"

KEY NOTES

- 1 GAS METER LOCATION
- 2 200 AMP ELECTRICAL SERVICE PANEL
- 3 WATER SHUT-OFF
- 4 GROUNDING ELECTRODE

LEGEND

- 1 HOUR RATED WALL WITH 5/8" TYPE 'X' GYPSUM BOARD EACH SIDE
- SMOKE DETECTOR & CARBON MONOXIDE ALARM
- WALL HUNG LED LIGHT FIXTURE
- RECESSED LED
- JUNCTION BOX
- EXHAUST VENT
- SATELLITE/TV
- SCONCE W/LED FIXTURE
- SOLAR TUBE
- LED PENDANT
- COMPUTER OUTLET
- WALL HUNG OUTDOOR LED LIGHT FIXTURE
- UNDER COUNTER W/ LED FIXTURE
- LED TRACK LIGHT
- ELECTRICAL SWITCH
- TWO WAY SWITCH
- THREE WAY SWITCH
- FOUR WAY SWITCH
- LOW VOLTAGE
- ELECTRICAL SWITCH W/ TIMER
- ELECTRICAL SWITCH W/ VAGANCY SENSOR
- ELECTRICAL SWITCH W/ DIMMER
- DUPLEX OUTLET
- FOUR-FLEX OUTLET
- OVER COUNTER W/GROUND FAULT
- GROUND FAULT INTERRUPT
- STRC. OUTLET W/ WATER PROOF COVER
- 220 VOLT OUTLET
- CEILING MOUNT OUTLET
- LED SURFACE
- UNDER COUNTER RANGE VENT
- GARAGE DOOR OPENER W/ LIGHT
- OUTDOOR CEILING FAN W/LED FIXTURE
- CEILING FAN W/LED LIGHT
- EXIT LIGHT W/ STROBE, W/ 90 MIN OPERABLE BATTERY BACKUP

**Two Rivers**  
ARCHITECTS, INC.  
13405 FOLSOM BLVD., BLDG. #300  
FOLSOM, CALIFORNIA 95630  
PHONE: (916) 358-7555  
FAX: (916) 358-7556  
www.tworiversai.com



These drawings and accompanying specifications as instruments of service are the exclusive property of Two Rivers Architects and their use shall be restricted to the original site for which they were prepared. Re-use or reproduction by any method in part or in whole is prohibited except by written permission of Two Rivers Architects.

© 2004 Two Rivers Architects

CONSULTANT

REVISIONS

KEY PLAN

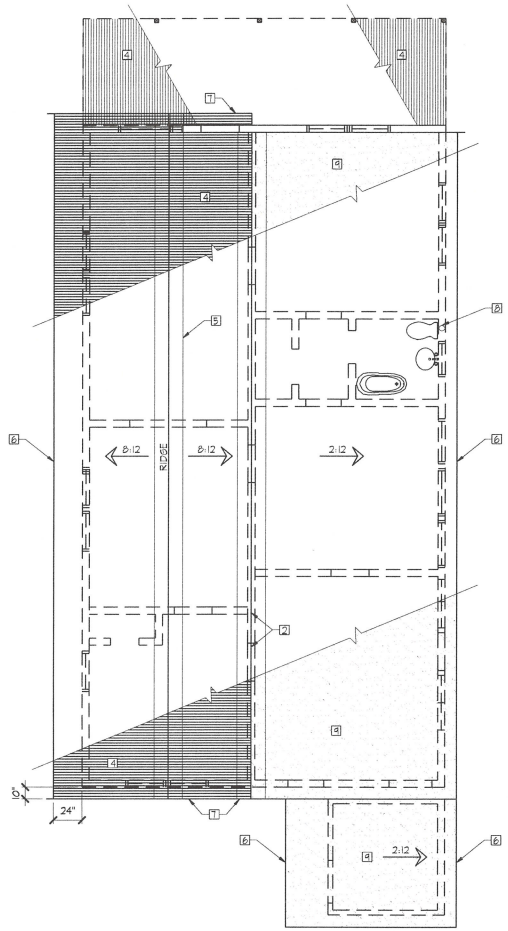
PROJECT TITLE  
CHAN HOUSE  
917 SUTTER STREET  
FOLSOM, CA 95630  
APN: 070-0101-007-000

SHEET TITLE  
ELECTRICAL POWER PLAN & CEILING PLAN

DRAWN BY KJV	CHECKED BY LW
PROJECT NO. 3062	SHEET NO. A2.2
COMPUTER NO. 06	
DATE 08-14-19	

ELECTRICAL MECHANICAL AND PLUMBING NOTES:

1. PROVIDE TWO OR MORE 20-AMP SMALL APPLIANCE BRANCH CIRCUITS EVENLY PROPORTIONED IN THE KITCHEN, PANTRY, NOOK, OR DINING ROOM SUCH CIRCUITS SHALL HAVE NO OTHER OUTLETS.
2. ALL RECEPTACLES SERVING THE KITCHEN COUNTER SHALL BE GFCI PROTECTED PER NEC 210-8(A)(6)
3. FIXTURES, LAMP HOLDERS AND RECEPT SHALL BE SECURELY SUPPORTED. A FIXTURE THAT WEIGHS MORE THAN 6 POUNDS OR EXCEEDS 16" SHALL NOT BE SUPPORTED BY THE SCREEN SHELL OF A LAMP HOLDER.
4. THE REQUIRED SMALL APPLIANCE CIRCUITS SHALL NOT SUPPLY DISPOSAL, OVENS, RANGE, REFRIGERATOR, DISHWASHER OR OTHER LARGE APPLIANCES
5. BATHROOM RECEPTACLES SHALL BE SUPPLIED BY A SEPARATE 20AMP CIRCUIT AND SHALL NOT HAVE LIGHTING, EXHAUST FANS OR OTHER OUTLETS ON IT AS PER NEC 210-52(D)
6. RANGES, OVENS AND DRYERS SHALL BE ON 4-WIRE RECEPTACLES PER NEC 250-60
7. SMOKE DETECTORS SHALL BE AUDIBLE IN ALL SLEEPING AREAS AND ARE ON THE PRIMARY POWER W/A BATTERY BACKUP.
8. MINIMUM 24" CLEARANCE IN THE FRONT OF THE TOILETS. MAXIMUM 14" DRYER VENT OF SMOOTH METAL TO TERMINATE OUTSIDE THE BUILDING.
9. GAS FURNACE LOCATED IN THE ATTIC WILL VENT OUT AND A LIGHT AND A 24" WIDE CATALKING WILL BE PROVIDED WITH A 30" WORKING PLATFORM. CONDENSATE LINE TO THE EXTERIOR IS REQUIRED.
10. A DRAIN & DRAIN PAN WILL BE PROVIDED AT THE HOT WATER TANK
11. HOSE BIBBS AND SPRINKLER SYSTEMS WILL HAVE APPROVED BACK FLOW DEVICES.
12. PLUMBING THROUGH FIRE WALLS ARE TO BE METALLIC AND EXTEND 12" MIN FROM WALL AND BE SEALED
13. THE SHOWER AND TUB ENCLOSURES ARE TO BE TEMPERED GLASS WITH FULLY SEALED AND APPROVED PAN
14. FIREPLACES ARE TO BE INSTALLED AS PER MANUFACTURE'S SPECIFICATIONS
15. ELECTRICAL FIXTURES LOCATED IN A SHOWER OR TUB AREAS SHALL BE APPROVED FOR NET LOCATIONS.
16. A THERMOSTATIC MIXING VALVE IS REQUIRED FOR THE SHOWERS AND TUB COMBOS
17. ALL OUTDOOR LIGHTING ATTACHED TO THE BUILDING SHALL BE HIGH EFFICIENCY OR CONTROLLED BY BOTH A MOTION SENSOR AND PHOTO CONTROL.
18. NOT USED
19. ALL INTERIOR WALLS TO HAVE SOUND INSULATION.
20. CARBON MONOXIDE DETECTORS SHALL BE NFPA 120 & UL 2075.
21. BATHROOM EXHAUST FANS SHALL HAVE HUMIDITY CONTROLS CAPABLE OF ADJUSTMENT BETWEEN A RELATIVE HUMIDITY RANGE OF 30% TO A MAX OF 80% HUMIDITY CONTROL MAY UTILIZE MANUAL OR AUTOMATIC MEANS OF ADJUSTMENT.
22. ALL 125-VOLT SINGLE PHASE 15 & 20-AMP RECEPTACLES SHALL BE TAMPER-RESISTANT RECEPTACLES
23. ALL 125-VOLT SINGLE PHASE 15 & 20-AMP BRANCH CIRCUITS SUPPLYING OUTLETS SHALL HAVE ARC-FAULT CIRCUIT-INTERRUPTER PROTECTION INSTALLED IN DWELLINGS.
24. AUTOMATIC GARAGE DOOR OPENERS SHALL BE LISTED IN ACCORDANCE W/ UL325
25. RECEPTACLES SHALL BE INSTALLED SO THAT NO POINT MEASURED HORIZONTALLY ALONG THE FLOOR LINE IN ANY WALL SPACE IS MORE THAN 6" FROM A RECEPTACLE. ANY WALL SPACE 2' OR MORE IN WIDTH AND UNBROKEN ALONG THE FLOOR LINE BY DOORWAYS AND SIMILAR OPENINGS SHALL HAVE A RECEPTACLE.
26. THIS DWELLING SHALL MEET REQUIREMENTS OF ASHRAE STANDARD 62.2 VENTILATION AND ACCEPTABLE INDOOR AIR QUALITY.



- SHEET NOTES
- 1 NOT USED
  - 2 12" FLASHING @ TRANSITION WALL TO ROOF FLASHING
  - 3 CORRUGATED METAL ROOF
  - 4 RIDGE FLASHING / VENTING
  - 5 2X8 FASCIA w/ ROOF FLASHING
  - 6 RAKE FLASHING
  - 7 PLUMBING VENT JACK
  - 8 4 PLY BUILT UP ROOF w/ A MINERAL FIBRE GAP SHEET

1 ROOF PLAN

SCALE: 1/4"=1'-0"

**Two Rivers**  
 ARCHITECTS INC  
 13405 FOLSOM BLVD, BLDG. #300  
 FOLSOM, CALIFORNIA 95630  
 PHONE: (916) 358-7555  
 FAX: (916) 358-7556  
 www.tworiversai.com



These drawings and accompanying specifications as instruments of service are the exclusive property of Two Rivers Architects and their use shall be restricted to the original site for which they were prepared. Re-use or reproduction by any method in part or in whole is prohibited except by written permission of Two Rivers Architects.

© 2004 Two Rivers Architects  
 CONSULTANT

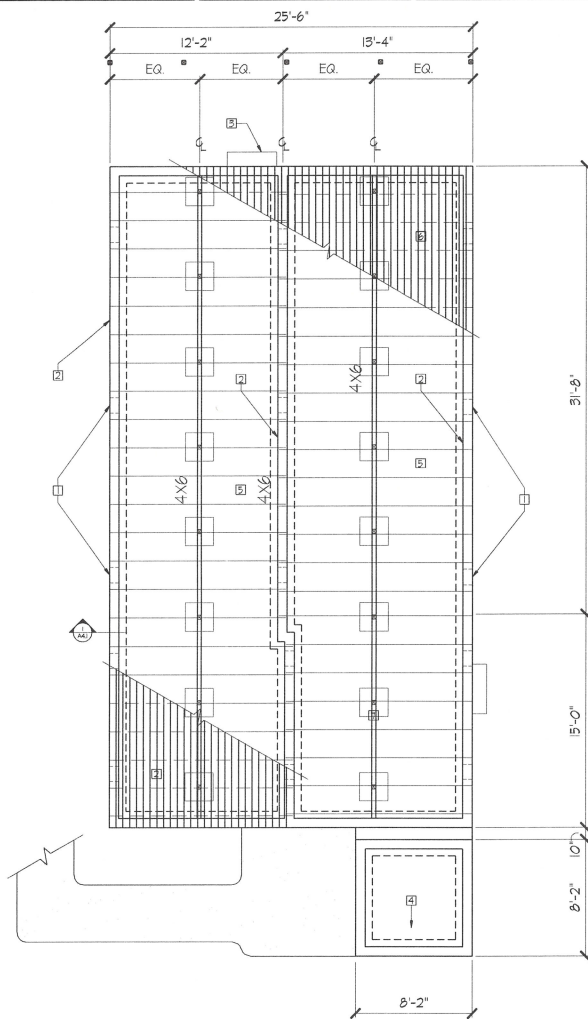
REVISIONS

KEY PLAN

PROJECT TITLE  
 CHAN HISTORICAL RESIDENCE  
 917 SUTTER STREET  
 FOLSOM, CA 95630  
 APN: 070-0101-007-000

SHEET TITLE  
 ROOF PLAN

DRAWN BY KV	CHECKED BY LW
PROJECT NO. 3062	SHEET NO.
COMPUTER NO. 06	A2.3
TITLE 08-14-19	



**SHEET NOTES**

- 1 FOUNDATION VENTS TO MEET CODE
- 2 (N) CONTINUOUS CONCRETE FOOTING TO REPLACE EXISTING
- 3 CONCRETE STEP
- 4 4" CONC SLAB ON 4" GRAVEL W/ THICKENED EDGE
- 5 (E) 2X6 FLOOR JOIST @ 24" O.C.
- 6 (E) 2"X6" T&G FLOORING
- 7 (N) 2"X6" T&G FLOORING

**LEGEND**

- (N) CONCRETE FOOTING
- (E) 2 X 10'S @ 24" O.C.
- (E) CONCRETE PAD/STEP
- (N) CONCRETE WALKWAY

VENTILATION CALCULATIONS TABLE		
	MIN VENT AREA	CALCULATED VENT REQUIREMENTS
SUBFLOOR	1 sq./150 sq.f.	960 sq./150 sq.f.=6.4 sq.f. REQUIRED
ATTIC	1 sq./150 sq.f.	961 sq./150 sq.f.=6.4 sq.f. REQUIRED

1 FOUNDATION PLAN - ARCHITECTURAL

SCALE: 1/4"=1'-0"

**Two Rivers**  
 ARCHITECTS INC.  
 13405 FOLSOM BLVD., BLDG. #300  
 FOLSOM, CALIFORNIA 95630  
 PHONE: (916) 358-7555  
 FAX: (916) 358-7556  
 www.tworiversaia.com



These drawings and accompanying specifications are instruments of service for the exclusive property of Two Rivers Architects and their use shall be restricted to the original site for which they were prepared. Re-use or reproduction by any method in part or in whole is prohibited except by written permission of Two Rivers Architects.

© 2004 Two Rivers Architects  
 CONSULTANT

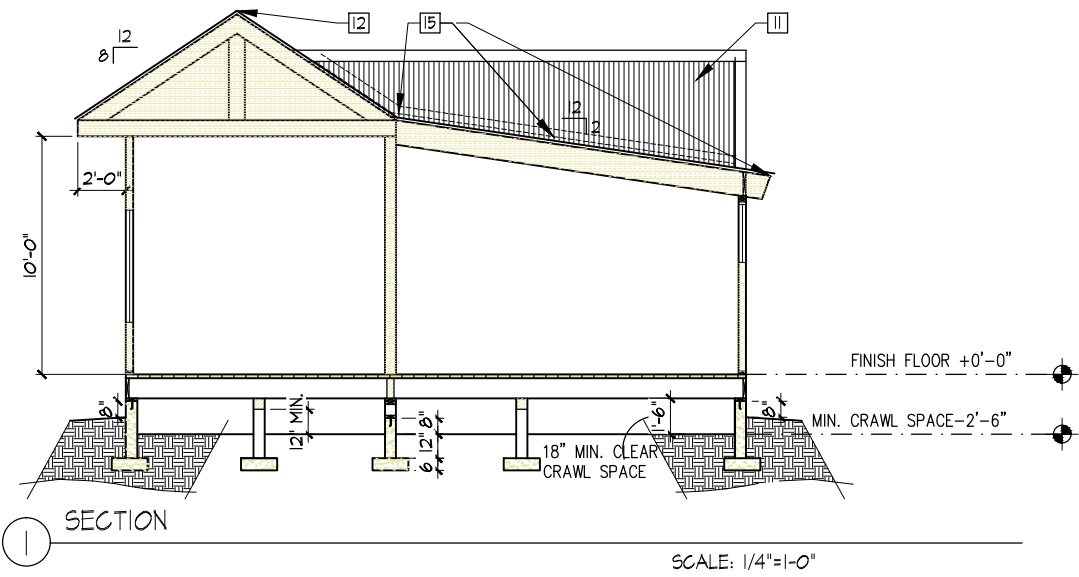
REVISIONS

KEY PLAN

PROJECT TITLE  
 CHAN HOUSE  
 917 SUTTER STREET  
 FOLSOM, CA 95630  
 APN: 070-0101-007-000

SHEET TITLE  
 FOUNDATION PLAN

DRAWN BY KV	CHECKED BY LW
PROJECT NO. 3062	SHEET NO. A2.4
COMPUTER NO. 06	DATE 08-14-19



- SHEET NOTES
- 1 (N)ASC PACIFIC ZINGALUM CORRUGATED METAL ROOF ON TYVEC. ON STRUCTURAL EXT. PLYWOOD-SEE STRUCTURE
  - 2 (E) CONCRETE STEP - NO ACCESS
  - 3 (E) 4X4 WOODEN COLUMN & TRIM REPAIR AND ATTACH-SEE STRUCTURAL
  - 4 (N) S.G. PAINTED WD. DR. REPLACE TO MATCH HISTORIC DESIGN
  - 5 (E) ALL DBLE. HUNG WINDOWS & DOORS ARE TO BE RESTORED OR REPLACED TO THE ORIGINAL DESIGN AND DETAILS
  - 6 (E) REDWOOD LAP SIDING - REPAIR & RESTORE TO THE ORIGINAL DESIGN
  - 7 (N) LED LIGHT
  - 8 (N) 4 PLY BUILT-UP ROOF W/ A MINERAL FIBER GAP SHEET
  - 9 (N) FOUNDATION VENTING PER CODE
  - 10 (N) 1/2" REDWOOD SOFFIT AND 2X2 RDWD. TRIM
  - 11 (N) CORR. ZINGALUM. ON TYVEC. ON MDO PLYWD. W/ 2X4 REDWOOD TRIM
  - 12 (N) RIDGE VENT & WALL CAP FLASHING- ASC PACIFIC STANDARD DETAILS
  - 13 (N) 2X4 REDWOOD TRIM REPAIR OR REPLACE TO MATCH EXISTING
  - 14 (N) S.G. WOOD DOOR AND FRAME W/ 2X4 REDWOOD TRIM (AL2)
  - 15 (N) 12" GALV. METAL FLASHING CONT. AT WALL AND ROOF TRANSITIONS
  - 16 (N) GUTTER & DOWNSPOUTS CONTINUOUS
  - 17 DOOR TO BE RESTORED WITH LATCH AND BOLT LOCK
  - 18 (N) ADA RESTROOM (AL2)
  - 19 (N) MTL. CAP FLASHING-ASC PACIFIC ZINGALUM. PAINTED
  - 20 (N) 2X8 REDWOOD FASCIA PAINT TO MATCH EXISTING
  - 21 (N) MECHANICAL UNIT
  - 22 (N) PAINTED M. DOOR IN A P.M. FRAME W/ CLOSURE AND ADA KEYED LATCH THRESHOLD & WEATHER SEAL W/ 2X4 RDWD. TRIM
  - 23 (N) CLOSURE-REDWD SIDING ON 1/2" MDO PLYWD. ON A2X4 FRAME- PRESSURE TREATED AT SLAB
  - 24 (N) SCREEN DOOR WITH REDWOOD FRAME
  - 25 (N) SCREENED IN PORCH WITH REDWOOD FRAME TO MATCH EXISTING

**Two Rivers**  
Architects inc

13405 FOLSOM BLVD., BLDG. #300  
FOLSOM, CALIFORNIA 95630  
PHONE: (916) 358-7555  
FAX: (916) 358-7556  
www.tworiversaia.com



These drawings and accompanying specifications as instruments of service are the exclusive property of Two Rivers Architects and their use shall be restricted to the original site for which they were prepared. Re-use or reproduction by any method in part or in whole is prohibited except by written permission of Two Rivers Architects.

© 2004 Two Rivers Architects

CONSULTANT

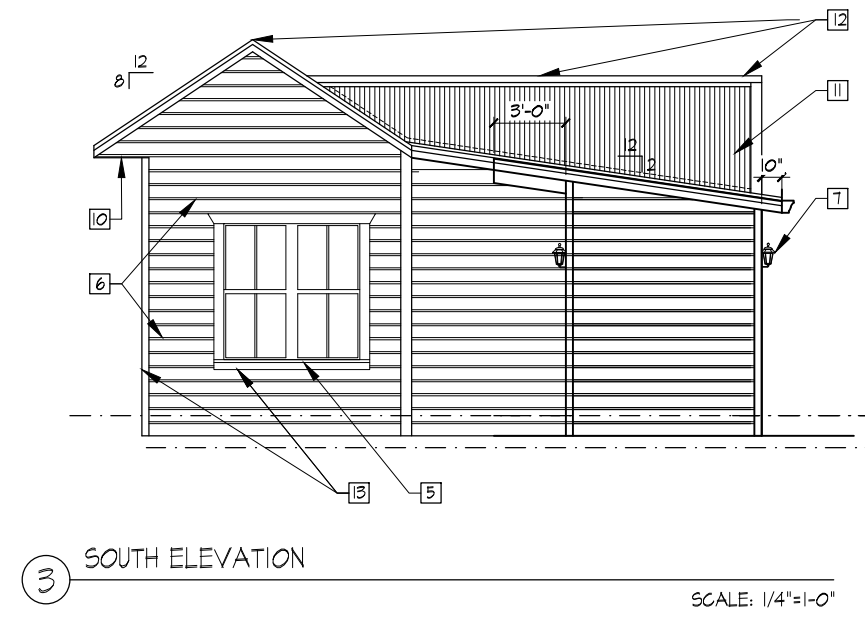
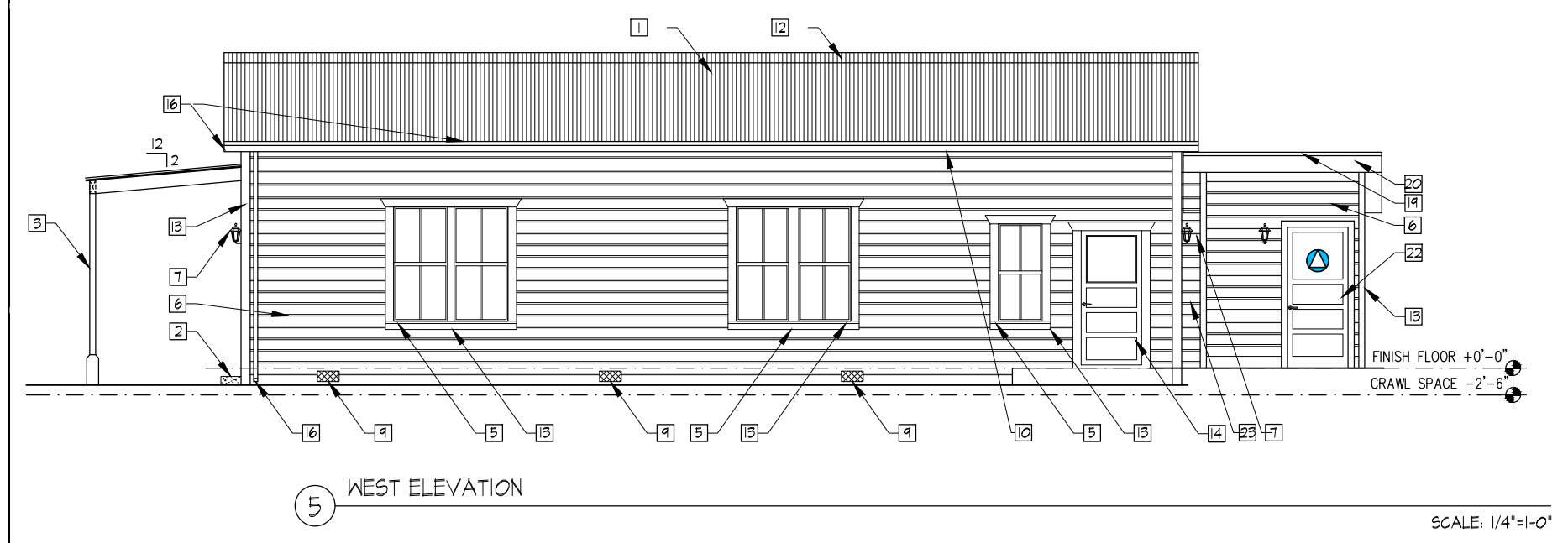
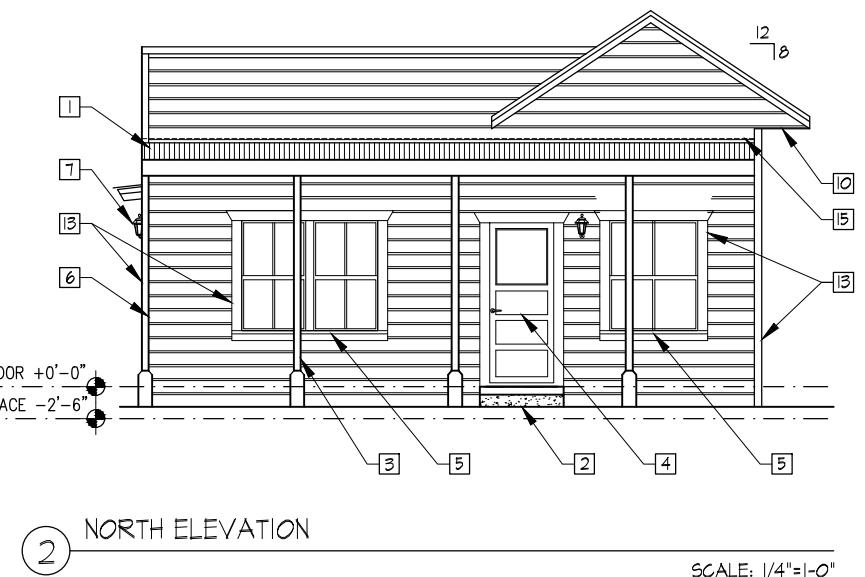
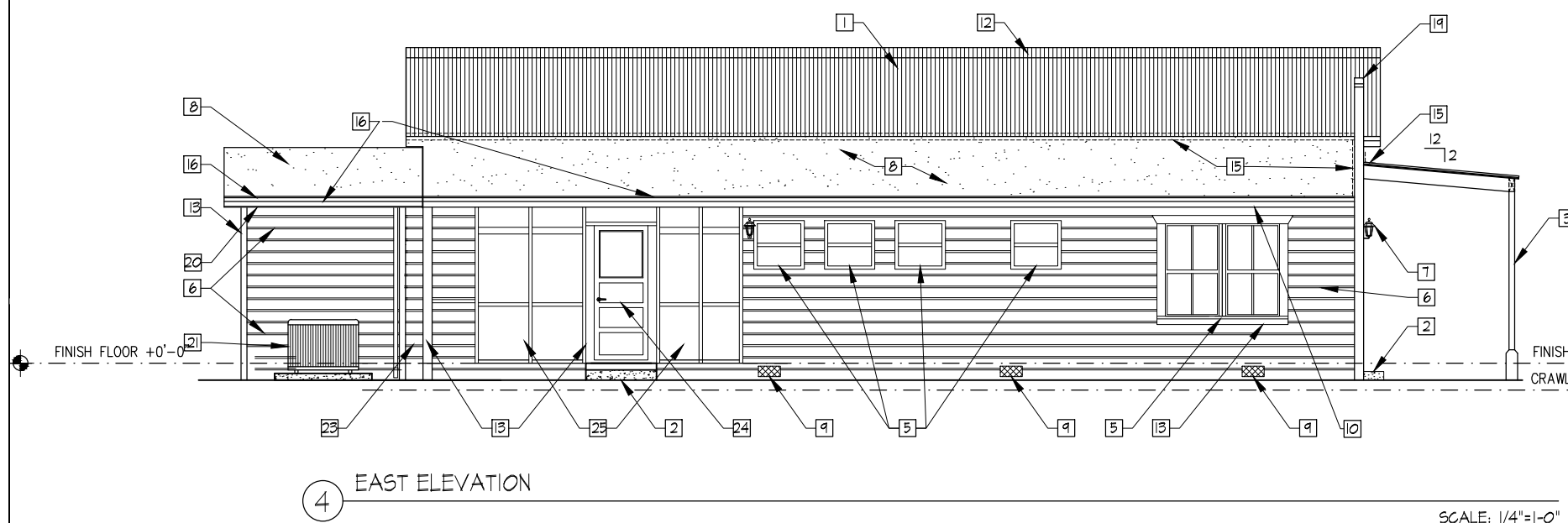
REVISIONS

KEY PLAN

PROJECT TITLE  
CHAN HOUSE  
917 SUTTER STREET  
FOLSOM, CA 95630  
APN: 070-0101-007-000

SHEET TITLE  
EXTERIOR ELEVATIONS

DRAWN BY KV	CHECKED BY LW
PROJECT NO. 3062	SHEET NO.
COMPUTER NO. 06	A4.1
DATE 08-21-19	





These drawings and accompanying specifications are instruments of service and the exclusive property of Two Rivers Architects and their use shall be restricted to the original site for which they were prepared. Re-use or reproduction by any method in part or in whole is prohibited except by written permission of Two Rivers Architects.

© 2004 Two Rivers Architects

CONSULTANT

NO REDLINES

KEY PLAN

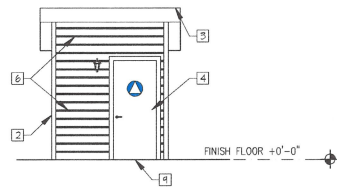
PROJECT TITLE  
CHAN HOUSE  
817 SUTTER STREET  
FOLSOM, CA 95630  
APN: 079-0101-007-000

SHEET TITLE  
(N) ADA RESTROOM ELEVATIONS

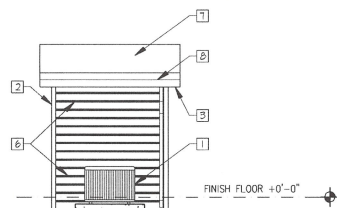
DRAWN BY KV	CHECKED BY LW
PROJECT NO. 3062	SHEET NO. A4.2
COMPUTER NO. 06	
DATE 08-21-19	

SHEET NOTES

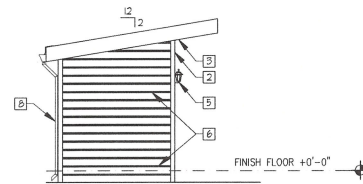
- 1 (N) A/G UNIT
- 2 2X4 REDWOOD TRIM
- 3 2X8 FASCIA
- 4 H.M. DOOR IN A P.M. FR. W/ WEATHER STRIPPING
- 5 (N) LED LIGHT
- 6 REDWOOD LAP SIDING ON TYVEK TO MATCH EXISTING
- 7 (N) 4 PLY BUILT UP ROOF W/ A MINERAL FIBRE GAP SHEET
- 8 SUTTER 4 DOWNSPOUT
- 9 ALUM. ADA THRESHOLD



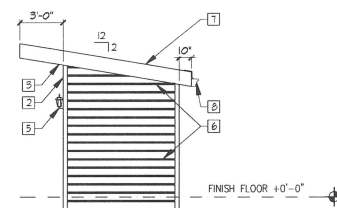
1 WEST ELEVATION  
SCALE: 1/4"=1'-0"



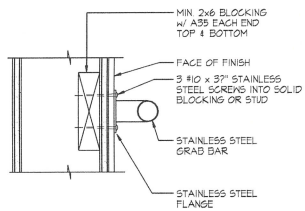
2 EAST ELEVATION  
SCALE: 1/4"=1'-0"



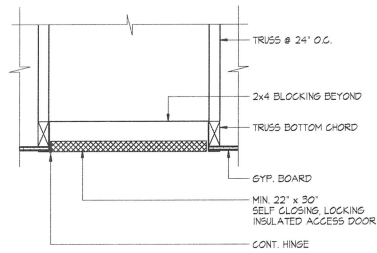
3 NORTH ELEVATION  
SCALE: 1/4"=1'-0"



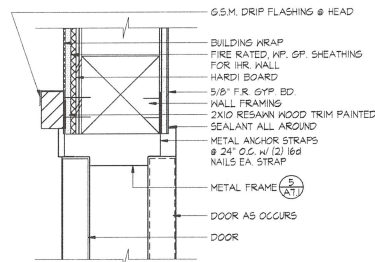
4 SOUTH ELEVATION  
SCALE: 1/4"=1'-0"



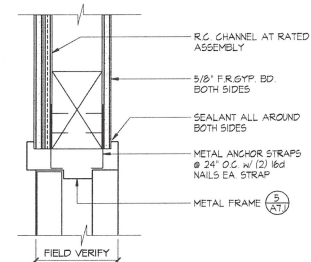
10 TYPICAL GRAB BAR



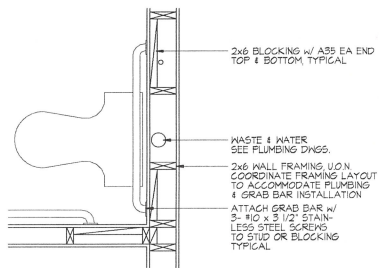
7 ATTIC ACCESS DOOR



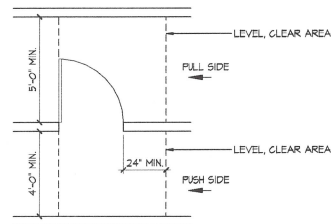
4 EXTERIOR DOOR HEAD (JAMB SIM.)



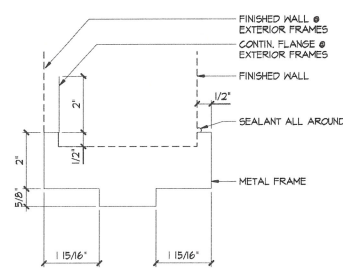
1 INTERIOR DOOR HEAD (JAMB SIM.)  
WALL ASSEMBLY, SEE PLAN



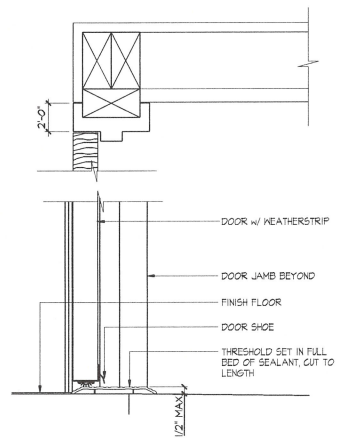
11 GRAB BAR BLOCKING



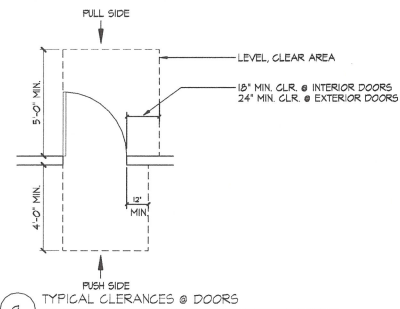
8 TYPICAL CLEARANCES @ DOORS



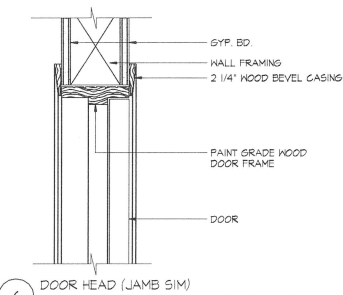
5 TYPICAL METAL FRAME



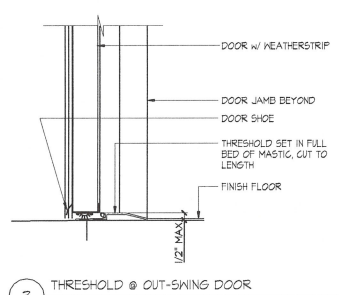
2 THRESHOLD @ IN-SWING DOOR



9 TYPICAL CLEARANCES @ DOORS



6 DOOR HEAD (JAMB SIM.)



3 THRESHOLD @ OUT-SWING DOOR

**Two Rivers**  
ARCHITECTS, INC.  
13405 FOLSOM BLVD., BLDG. #300  
FOLSOM, CALIFORNIA 95630  
PHONE: (916) 358-7555  
FAX: (916) 358-7556  
www.tworiversaia.com



These drawings and accompanying specifications as instruments of service are the exclusive property of Two Rivers Architects and their use shall be restricted to the original site for which they were prepared. Reproduction or reproduction by any method in part or in whole is prohibited except by written permission of Two Rivers Architects.

© 2004 Two Rivers Architects

CONSULTANT

REVISIONS

KEY PLAN

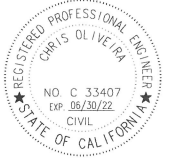
PROJECT TITLE  
CHAN HOUSE  
1917 SUTTER STREET  
FOLSOM, CA 95630  
APN: 070-0101-007-000

SHEET TITLE  
DETAILS

DRAWN BY KV	CHECKED BY LW
PROJECT NO. 3062	SHEET NO.
COMPUTER NO. 06	A7.1
DATE 08-21-19	



**CHRIS OLIVEIRA AND ASSOCIATES**



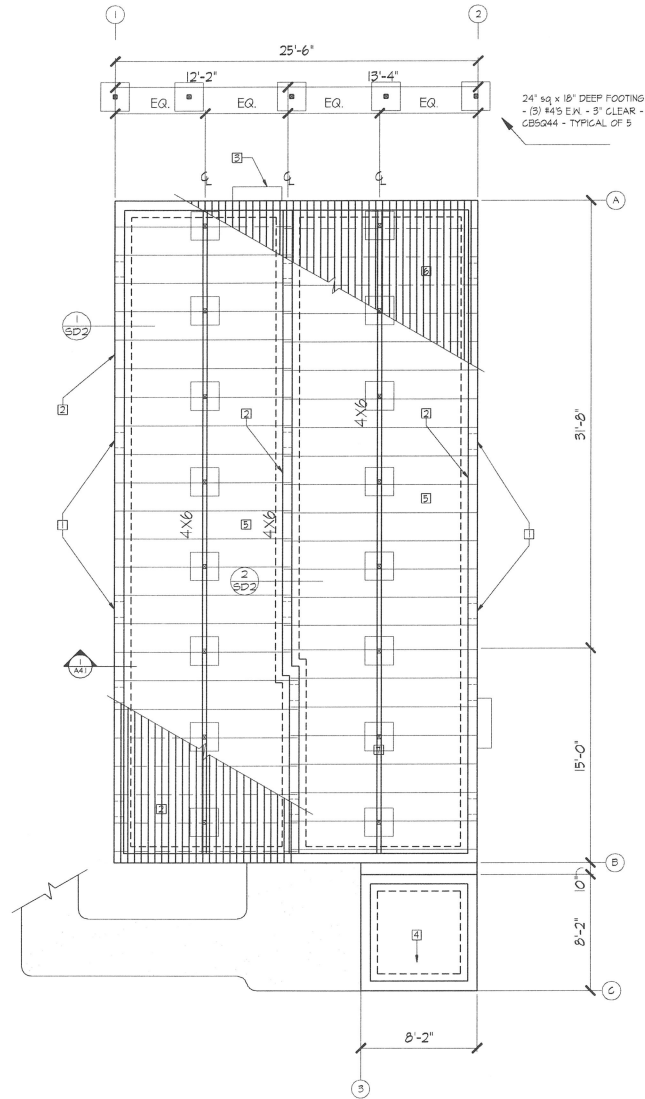
REVISIONS

KEY PLAN

PROJECT TITLE  
CHAN HOUSE  
917 SUTTER STREET  
FOLSOM, CA 95630  
APN: 070-0101-007-000

SHEET TITLE  
FOUNDATION PLAN

DESIGNED BY CO	CHECKED BY LW
PROJECT NO. 3062	SHEET NO.
COMPUTER NO.	
DATE 08-07-19	S01



**SHEET NOTES**

- 1 FOUNDATION VENTS TO MEET CODE
- 2 (N) CONTINUOUS CONCRETE FOOTING TO REPLACE EXISTING
- 3 CONCRETE STEP
- 4 4" CONC SLAB ON 4" GRAVEL W/ THICKENED EDGE
- 5 2 X 8 AT 16" O.C.
- 6 (E) 2"x6" T&G FLOORING W/ 3/4" PINE ABOVE

**LEGEND**

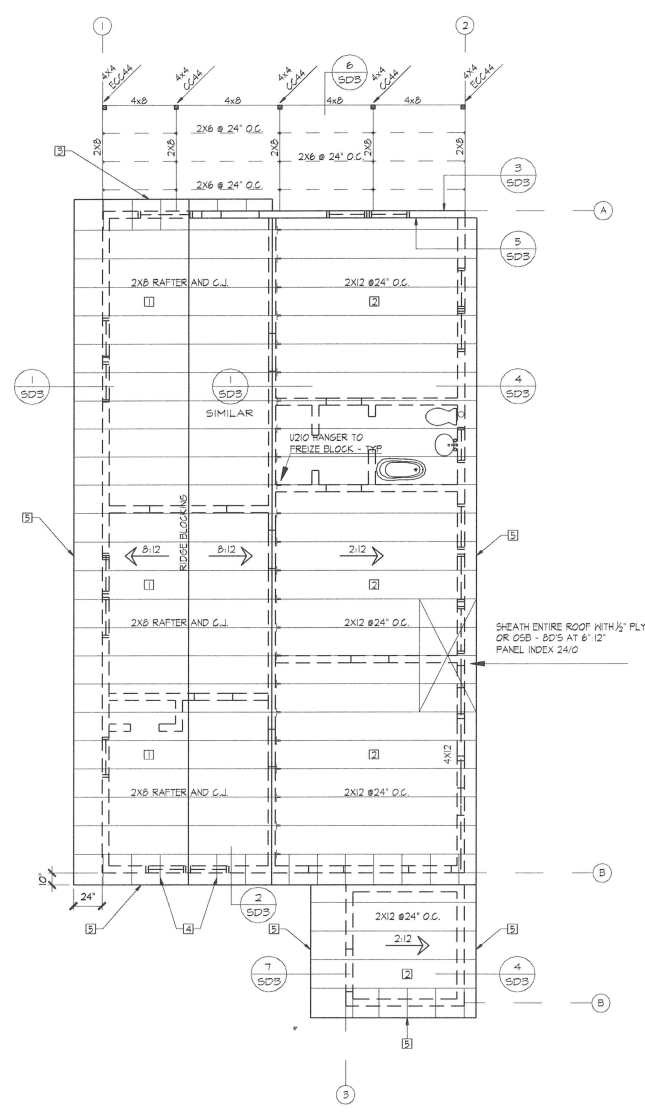
- (N) CONCRETE FOOTING
- (E) 2 X 10'S @ 24" O.C.
- (E) CONCRETE PAD/STEP
- (N) CONCRETE WALKWAY

1 FOUNDATION PLAN

SCALE: 1/4"=1'-0"



**CHRIS OLIVEIRA AND ASSOCIATES**



**SHEET NOTES**

1 CORRUGATED METAL ROOF ON #30 FELT ON 5/8" STR. PLYWOOD  
22 GAUGE ABC PACIFIC B DECK OR EQUAL  
BUILT UP ROOF ON 1/2" STR. PLYWOOD W/ MINERAL CAP SHEET

2x8  
2x4 FLAT OUTLOOKERS @ 24" O.C.  
2x12 REDWOOD FASCIA - PAINTED

**LEGEND**

----- (E) WALLS

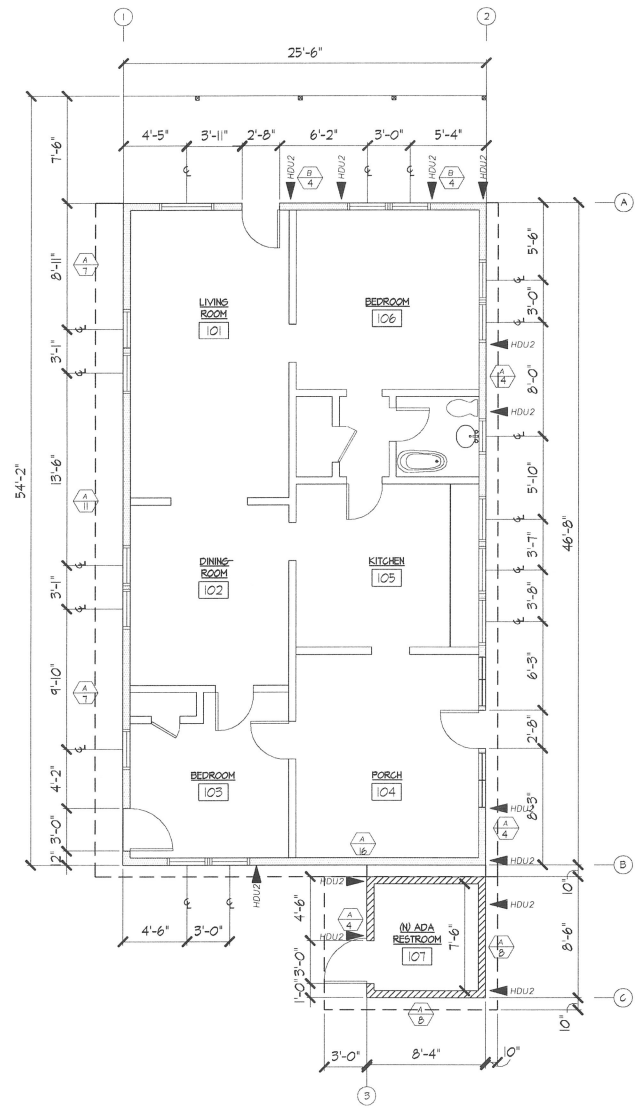
1 ROOF FRAMING PLAN  
SCALE: 1/4"=1'-0"

REVISIONS	
KEY PLAN	
PROJECT TITLE CHAN HOUSE 917 SUTTER STREET FOLSOM, CA 95630 APN: 070-0101-007-000	
SHEET TITLE ROOF FRAMING PLAN	
DRAWN BY GD	CHECKED BY LW
PROJECT NO. 3062	SHEET NO. S02
COMPUTER NO. -	
TITLE 08-07-19	





**CHRIS OLIVEIRA AND ASSOCIATES**



① SHEAR WALL PLAN

SCALE: 1/4"=1'-0"

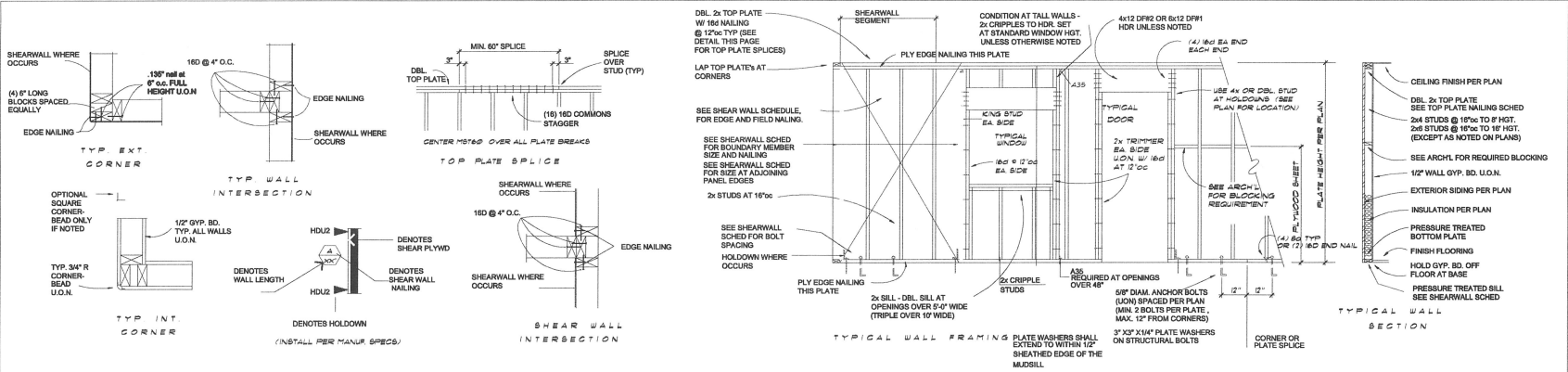
REVISIONS

KEY PLAN

PROJECT TITLE  
 CHAN HOUSE  
 917 SLUTTER STREET  
 FOLSOM, CA 95630  
 APN: 070-0101-007-000

SHEET TITLE  
 SHEAR WALL PLAN

DRAWN BY CD	CHECKED BY LW
PROJECT NO. 3062	SHEET NO.
COMPUTER NO.	
DATE 08-07-19	S03



**STRUCTURAL NOTES:**

**GENERAL NOTES:**

1. ALL CONSTRUCTION SHALL COMPLY WITH THE LATEST EDITION OF THE INTERNATIONAL BUILDING CODE, APPLICABLE STANDARDS AND THE 2016 CBC.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SAFETY OF THE BUILDING DURING CONSTRUCTION AND SHALL PROVIDE ADEQUATE SHORING AND BRACING DURING CONSTRUCTION. THE CONTRACTOR SHALL COMPLY WITH APPLICABLE SAFETY REGULATIONS.
3. DETAILS NOT SPECIFICALLY SHOWN SHALL BE SIMILAR TO DETAILS FOR SIMILAR CONSTRUCTION UNLESS NOTED OTHERWISE ON THESE DRAWINGS.
4. THE CONTRACTOR SHALL COORDINATE THE WORK OF ALL TRADES AND SHALL CHECK ALL DIMENSIONS. ANY DISCREPANCIES SHALL BE CALLED TO THE ATTENTION OF THE ENGINEER AND BE RESOLVED BEFORE PROCEEDING WITH THE WORK.
5. NO STRUCTURAL MEMBERS SHALL BE CUT, NOTCHED OR OTHERWISE PENETRATED UNLESS SPECIFICALLY APPROVED BY THE ENGINEER IN ADVANCE OR SHOWN ON THESE DRAWINGS.
6. TYPICAL DETAILS SHALL APPLY UNLESS SHOWN OTHERWISE ON THE DRAWINGS.
7. WHERE THESE GENERAL NOTES AND TYPICAL DETAILS ARE IN CONFLICT WITH ANY SPECIFICATIONS, THESE NOTES SHALL GOVERN.
8. PROVIDE OPENINGS, CURBS, HEADINGS AND/OR SUPPORTS FOR ITEMS INDICATED ON ANY OF THESE DRAWINGS INCLUDED IN THE CONSTRUCTION DOCUMENTS.
9. ALL ELEVATIONS ARE REFERENCED FROM TOP OF FINISH GROUND FLOOR ELEVATION 10'-0" UNLESS OTHERWISE NOTED.
10. PROVIDE INSPECTIONS IN AS REQUIRED BY THE BUILDING DEPT OR THESE DRAWINGS.
11. CONTRACTOR OR OWNER IS RESPONSIBLE FOR THE INSTALLATION AND SHALL PROVIDE PROPER FUNCTION OF ALL COSMETIC TREATMENTS AND FINISHES - INCLUDING BUT NOT LIMITED TO, TILE, STUCCO, GYPSUM BOARD, PAINT, ETC. WHERE STANDARD SPECIFICATIONS CALL FOR CONSTRUCTION MORE STRINGENT THAN SHOWN ON THESE PLANS, THE CONTRACTOR OR OWNER SHALL ADJUST THE CONSTRUCTION ACCORDINGLY.
12. CONTRACTOR SHALL READ AND BE FAMILIAR WITH ALL FACETS OF THE PLANS AND SPECIFICATIONS AND SHALL REQUEST CLARIFICATION AS REQUIRED BEFORE COMMENCING CONSTRUCTION IF THESE PLANS ARE NOT ENDORSED BY A CONTRACTOR LICENSED IN CALIFORNIA AND WHO IS VITALLY FAMILIAR WITH THIS TYPE OF CONSTRUCTION. THE PLANS SHALL BE CONSIDERED NULL AND VOID.
13. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY CONSTRUCTION WHICH IS IN DEVIATION FROM THESE PLANS.
14. CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES BETWEEN PLANS AND ACTUAL FIELD CONDITIONS AND SHALL OBTAIN APPROVAL BEFORE CONTINUING CONSTRUCTION.
15. CONTRACTOR IS RESPONSIBLE FOR THE CORRECT INSTALLATION OF ALL MANUFACTURED PRODUCTS, INCLUDING BUT NOT LIMITED TO OSB, T-11 PARALLALS AND MICRO-LAMS. ALL INSTALLATIONS SHALL BE DONE IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.

**FOUNDATION:**

1. FOUNDATION SOIL STRATA IS NATIVE SOIL OR ENGINEERED FILL AS PER THE PROJECT SOILS REPORT WHEN APPLICABLE. IF ANY DISCREPANCIES EXIST BETWEEN THE SOILS REPORT AND THESE PLANS, THE SOILS REPORT SHALL GOVERN. SOILS REPORT: NA.
2. WHEN NO SOILS REPORT IS AVAILABLE IT IS THE RESPONSIBILITY OF THE CONTRACTOR AND/OR OWNER TO INSURE THAT ALL SOIL CONDITIONS ARE APPROPRIATE FOR THE CONSTRUCTION OF THE PROJECT AS SHOWN. FOUNDATIONS SHALL BEAR ON FIRM UNDISTURBED FOUNDATION SOIL STRATA.
3. THE ELEVATIONS OF BOTTOMS OF FOOTINGS AS SHOWN ON THESE DRAWINGS INDICATE THE ESTIMATED MINIMUM FOUNDATION DEPTHS.
3. FOUNDATIONS ARE DESIGNED FOR A MAXIMUM DEAD PLUS LIVE LOAD ALLOWABLE SOIL BEARING CAPACITY OF 1500 PSF.
4. BOTTOMS OF FOOTINGS SHALL EXTEND A MINIMUM OF 1'-0" BELOW LOWEST ADJACENT GRADE FOR ONE STORY STRUCTURE, 10" FOR TWO STORIES (10.0').
5. THE BOTTOM OF ALL FOOTINGS SHALL BE LEVEL. CHANGES IN FOOTING ELEVATIONS SHALL BE MADE UTILIZING THE TYPICAL FOOTING STEP DETAIL ON THESE DRAWINGS.
6. CENTER FOOTINGS UNDER WALLS OR COLUMNS UNLESS OTHERWISE INDICATED ON THESE DRAWINGS.
7. BOLTS AND NAILS IN CONTACT WITH PRESSURE TREATED WOOD SHALL BE HOT DIPPER ZINC COATED GALVANIZED OR SS.
8. CONCRETE SHALL BE PLACED IN ACCORDANCE WITH ASTM C94 AND ACI STANDARD 304.
9. ALL EMBEDDED ITEMS SHALL BE PLACED ACCURATELY AND SECURELY PRIOR TO BEARING CONCRETE PLACEMENT.
10. CONSTRUCTION JOISTS SHALL BE LOCATED SO AS NOT TO IMPAIR THE STRENGTH OF THE STRUCTURE.
11. MEETINGS COMPRESSIVE STRENGTH REQUIREMENTS ARE THE RESPONSIBILITY OF THE CONCRETE SUPPLIER.
12. SUBMIT CONCRETE MIX DESIGNS TO THE ENGINEER FOR APPROVAL PRIOR TO PLACEMENT OF ANY CONCRETE.
13. ALL GROUT SHALL BE NON-METALLIC NON-SHRINKING GROUT.
14. REINFORCING AND EMBEDMENT ITEMS SHALL BE FREE OF EXCESSIVE SCALE OR RUST. DO NOT USE OR APPLY ANY OTHER SUBSTANCE THAT WILL IMPAIR BOND WITH CONCRETE.
15. NO SPECIAL INSPECTION IS REQUIRED.
16. BOLTS AND NAILS IN CONTACT WITH PRESSURE TREATED WOOD SHALL BE HOT DIPPER ZINC COATED GALVANIZED OR SS.

**DESIGN CRITERIA:**

- RISK CATEGORY: II  
 IMPORTANCE FACTOR: 1  
 WIND SPEED: 100 MPH  
 EXPOSURE CATEGORY: B  
 INTERNAL PRESSURE COEFFICIENT: 0.5  
 DESIGN WIND PRESSURE: SEE CALLS  
 HARNED SPECTRAL RESPONSE COEFFICIENT: 0.5  
 SITE CLASS: D  
 SPECTRAL RESPONSE COEFFICIENTS:  
 SEISMIC DESIGN CATEGORY: D  
 BASIC SEISMIC FORCE-RESISTING SYSTEM: WOOD SHEARWALLS  
 DESIGN BASE SHEAR: SEE CALLS  
 SEISMIC RESPONSE COEFFICIENT: C<sub>1</sub>=0.15  
 SEISMIC R<sub>1</sub>=8  
 ANALYSIS PROCEDURE: SLPF

**CONCRETE:**

1. CONCRETE SHALL DEVELOP A MINIMUM ULTIMATE COMPRESSIVE STRENGTH OF 3000 PSI AT 28 DAYS IN ACCORDANCE WITH ASTM C19. ALL CONCRETE SHALL BE CONSOLIDATED BY MECHANICAL VIBRATORS.
2. ALL CONCRETE WORK SHALL CONFORM TO THE REQUIREMENTS OF THE C.B.C. AND A.C.I. STANDARD 308, LATEST EDITION OF THE AMERICAN CONCRETE INSTITUTE UNLESS SHOWN OR NOTED OTHERWISE ON THESE DRAWINGS.
3. AGGREGATE SHALL CONFORM TO ASTM C-33.
4. CEMENT SHALL BE ASTM C-150 TYPE II OR TYPE III.
5. REINFORCING STEEL SHALL BE DEFORMED CONFORMING TO ASTM A63 GRADE 40 FOR 1/2" AND SMALLER AND GR 60 FOR LARGER UNLESS OTHERWISE NOTED.
6. WELDED WIRE FABRIC REINFORCEMENT SHALL CONFORM TO ASTM A-185.
7. WELDING OF REINFORCING STEEL SHALL BE PERFORMED ONLY WHERE INDICATED ON THE DRAWINGS AND SHALL BE IN COMPLIANCE WITH ALL REQUIREMENTS OF THE REINFORCING STEEL WELDING SOCIETY. PROVIDE WELDING PROCEDURE AND MILL TEST REPORTS FOR ALL REINFORCEMENT TO BE WELDED. ENGINEER SHALL APPROVE WELDING PROCEDURE AND MILL TEST REPORTS PRIOR TO EXECUTION OF WELDING.
8. COVERAGES FOR REINFORCING BARS SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE C.B.C. AND A.C.I. STANDARD 308 UNLESS SHOWN OTHERWISE ON THE DRAWINGS.
9. LAP SPLICES FOR REINFORCING SHALL BE 50% BAR DIAMETERS OR 2' MINIMUM OR BOTH, WHICHEVER IS GREATER. WIRE BARS TOGETHER AT LAPS OR SPLICES HOOKS SHALL BE U.B.C. STANDARD HOOPS UNLESS SHOWN OTHERWISE.

**PREMANUF. WOOD TRUSSES:**

1. TRUSS LOADINGS SHALL BE AS FOLLOWS UNLESS OTHERWISE NOTED:  
 AT FLOOR: DEAD LOAD: 10' PSF  
 LIVE LOAD: 100' PSF  
 AT ROOFS: ROOF DEAD LOAD: 10' PSF  
 ROOF DEAD LOAD: 10' PSF  
 ROOF LIVE LOAD: 20'  
 DESIGN AND FABRICATION SHALL BE IN ACCORDANCE WITH THE LATEST CBC AND CEC STANDARDS AND APPLICABLE RESEARCH REPORTS.
2. DESIGN AND FABRICATION SHALL BE IN ACCORDANCE WITH THE LATEST CBC AND CEC STANDARDS AND APPLICABLE RESEARCH REPORTS.
3. TRUSS MANUFACTURER TO SUPPLY ALL HANGERS FOR TRUSSES AS REQD.
4. MECHANICAL UNIT LOADS AND PARTITION LOADS SHALL BE CONSIDERED WHERE APPLICABLE.
5. WHERE PREFABRICATED TRUSSES ARE INSTALLED AS BLOCKING OR RIB JOISTS IN BEARING WALLS TRUSS SHALL BE DESIGNED TO TRANSMIT DIRECT AXIAL WALL LOADS.
6. PROVIDE COMPLETE BRACING PLANS WITH TRUSS IDENTIFICATION NUMBERS CLEARLY IDENTIFIED ON PLANS AND CALCULATIONS. DESIGN AND CLEARLY INDICATE ALL BRACINGS AND BRIDGES. SPECIFY TRUSS MANUFACTURER ON TRUSS DRAWINGS AND PLANS. PROVIDE SIGNATURE OF ENGINEER ON ALL TRUSS DRAWINGS.
7. RESEARCH REPORTS TO ENGINEER FOR REVIEW AND APPROVAL PRIOR TO FABRICATION. CALCULATIONS SHALL CONSIDER COMPRESSIVE AXIAL AND BENDING STRESSES AND BE SIGNED BY A C.E. ENGINEER LICENSED IN THE STATE OF CALIFORNIA.
8. INSTALL TRUSSES IN ACCORDANCE WITH THE REQUIREMENTS OF THE REFERENCED STANDARDS, THESE DRAWINGS AND THE MANUFACTURER'S RECOMMENDATIONS AND DETAILS.
9. TRUSS USE MEMBERS SHALL BE CAPABLE OF CARRYING ALL DEAD PLUS LIVE PLUS MISCELLANEOUS LOADS IMPOSED BY ROOF AND FLOOR.
10. TOP CHORDS SHALL BE 2X DOUGLAS FIR - LARCH NO.2 MINIMUM.
11. USE MEMBERS SHALL BE 2X DOUGLAS FIR - LARCH STANDARD MINIMUM.
12. MAXIMUM TRUSS PANEL LENGTHS SHALL BE SET BY THE TRUSS ENGINEER.
13. MINIMUM METAL PLATE CONNECTION PER PANEL: 10" SQUARE.
14. MINIMUM PLATE BITE FOR EACH MEMBER: 1".
15. EACH TRUSS SHALL BE LEGIBLY BRANDED, MARKED OR OTHERWISE HAVE PERMANENTLY AFFIXED THEREON THE FOLLOWING INFORMATION LOCATED WITHIN 2' FEET OF THE CENTER OF THE BRAN ON THE FACE OF THE BOTTOM CHORD:  
 A) IDENTITY OF THE COMPANY MANUFACTURING THE TRUSS  
 B) THE LOAD DESIGN  
 C) THE BRANDS OF THE TRUSSES
16. TRUSS MANUFACTURER MAY SUBSTITUTE MATERIALS WITH PROPER DOCUMENTATION.
17. TRUSSES SHALL NOT BE MODIFIED IN ANY WAY EXCEPT BY THE TRUSS DESIGN ENGINEER.

**B E A R I N G W A L L S C H E D U L E**

1. 3/8" CDK PLYWOOD OR OSB NAILING: 80% BRACED @ 16" ON EDGES, 12" OC AT FIELD.
2. 3/4" CDK PLYWOOD OR OSB NAILING: 80% BRACED @ 16" ON EDGES, 12" OC AT FIELD.
3. 3/8" CDK PLYWOOD OR OSB NAILING: 80% BRACED @ 16" ON EDGES, 12" OC AT FIELD.
4. 3/4" CDK PLYWOOD OR OSB NAILING: 80% BRACED @ 16" ON EDGES, 12" OC AT FIELD.
5. 3" X 1/4" PLATE WASHERS @ 16" ON EDGES, 12" OC AT FIELD.
6. 3" X 1/4" PLATE WASHERS @ 16" ON EDGES, 12" OC AT FIELD.
7. 3" X 1/4" PLATE WASHERS @ 16" ON EDGES, 12" OC AT FIELD.
8. 3" X 1/4" PLATE WASHERS @ 16" ON EDGES, 12" OC AT FIELD.

**WOOD:**

1. STRUCTURAL FRAMING SHALL BE DOUGLAS FIR - LARCH GRADED IN ACCORDANCE WITH THE STANDARD GRADING RULES OF THE WESTERN WOOD PRODUCTS ASSOCIATION. GRADING SHALL BE AS FOLLOWS UNLESS OTHERWISE NOTED ON THE DRAWINGS:  
 2X LARGER MEMBERS: NO. 2  
 2X 1/4" MEMBERS: NO. 2 (MINIMUM)
2. ALL PLYWOOD SHOWN ON THESE DRAWINGS SHALL BE C-D WITH EXTERIOR GLUE IN ACCORDANCE WITH U.S. PRODUCT BRANDED IN ACCORDANCE WITH THE REQUIREMENTS OF THE LATEST EDITION OF THE NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION BY THE NATIONAL WOOD PRODUCT ASSOCIATION. BOLT HOLES SHALL BE 1/8" LARGER THAN BOLT DIAMETERS.
3. SILL PLATES SHALL BE PRESSURE PRESERVATIVE TREATED DOUGLAS FIR OR SUPPORT.
4. PROVIDE BLOCKING FOR ALL FRAMING MEMBERS AT ALL SUPPORTS.
5. BOLTS FOR MEMBER CONNECTIONS SHALL BE ASTM A307 MACHINE BOLTS UNLESS OTHERWISE NOTED. BOLTS SHALL BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF THE LATEST EDITION OF THE NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION BY THE NATIONAL WOOD PRODUCT ASSOCIATION.
6. HOLES FOR LAG SCREW SHANKS SHALL BE BORED THE SAME DEPTH AND DIAMETER AS THE SHANK. THE REMAINING DEPTH OF PENETRATION OF THE SCREW SHALL BE BORED TO 1/8" OF THE SHANK DIAMETER.
7. PROVIDE MALLEABLE IRON WASHERS OR EQUIVALENT OUT PLATE WASHERS UNDER NUTS AND BOLT OR LAG SCREW HEADS WHICH BEAR ON WOOD.
8. WOOD MEMBERS SHALL BE CUT OR NOTCHED ONLY AS SHOWN ON THESE DRAWINGS.
9. WHEN REQUIRED NAILS TENDS TO SPLIT WOOD MEMBERS NAIL HOLES SHALL BE PRE-BORED TO 3/4 OF THE NAIL DIAMETER.
10. NAILS NOT SPECIFICALLY INDICATED SHALL COMPLY WITH TABLE 2304.1 IN THE 2016 IBC AND THE COMPLEMENTARY TABLE IN THE 2016 CBC.
11. STRUCTURAL NAILING SHALL BE WITH COMMON NAILS LONG ON TABLE BELOW.
12. PROVIDE LATERAL SUPPORT FOR ALL FRAMING MEMBERS AT POINTS OF SUPPORT.
13. PROVIDE SHOP DRAWINGS FOR ALL PREFABRICATED JOIST MEMBERS TO ENGINEER FOR APPROVAL PRIOR TO FABRICATION.
14. EXCEPT WHERE MORE STRINGENT CONSTRUCTION IS SHOWN ON THE DRAWINGS, WOOD CONSTRUCTION SHALL COMPLY WITH IBC SECTION 2308, CONVENTIONAL LIGHT FRAMED CONSTRUCTION PROVISIONS, AND THE COMPLEMENTARY SECTION OF THE 2016 CBC AS A MINIMUM.
15. ALL PREFABRICATED CONNECTING HARDWARE SPECIFIED IS MANUFACTURED BY SYPHON COMPANY SAN LEANDRO CALIFORNIA UNLESS OTHERWISE NOTED. NAIL IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS FOR MAXIMUM RATED VALUES. HARDWARE EQUAL IN STRENGTH MAY BE SUBSTITUTED.
16. ALL 2X4-12" BEAMS SHALL BE 24" X 14" D.P.F. 10N.  
 ALL 2X6-12" BEAMS SHALL BE 24" X 16" D.P.F. 10N.  
 ALL 2X8-12" BEAMS SHALL BE 24" X 18" D.P.F. 10N.  
 ALL 2X10-12" BEAMS SHALL BE 24" X 20" D.P.F. 10N.  
 ALL 2X12-12" BEAMS SHALL BE 24" X 24" D.P.F. 10N.  
 ALL PARALLALS AND MICRO-LAMS SHALL HAVE E = 1,000,000 PSI.
17. BLOCK UNINSURFACED EDGES OF PLYWOOD OR OSB OR SHEARWALLS.  
 MAXIMUM MOISTURE CONTENT SHALL BE 18% U.O.N.  
 ALL BEAMS INTENDED FOR EXTERIOR USE SHALL BE TREATED FOR EXPOSURE TO WEATHER.
18. ALL EXPOSED WOOD SHALL BE PROTECTED FROM DECAY PER 2016 CBC SECTION 2403.3.
19. ALL FASTENERS CONNECTING SHEAR PANELS OR RELIANT MEMBERS TO PRESSURE TREATED WOOD SHALL BE HOT DIPPER ZINC COATED GALVANIZED STEEL, STAINLESS STEEL, SILICONE BRUSH OR COPPER RESTRICTION NOTES.

Section	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19	20	
160 box	3	08	32	102																	
160 conn	3	12	36	344	15' 0"																
80 conn	2	12	31	281	11' 0"																
100 conn	3	48	32	334	13' 4"																
160 conn	3	12	82	344	2'																

**REVISIONS**

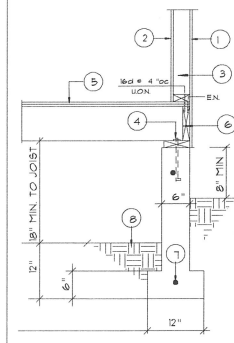
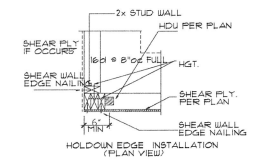

**COA**  
**CHRIS OLIVEIRA AND ASSOCIATES**

GOVERNING CODES:  
 2016 CBC  
 ASBT 16  
 2013 CBC  
 2017 IBC

**General Notes and Details**

DATE: \_\_\_\_\_  
 SCALE: \_\_\_\_\_  
 DRAWN: \_\_\_\_\_  
 JOB: \_\_\_\_\_  
 SHEET: \_\_\_\_\_

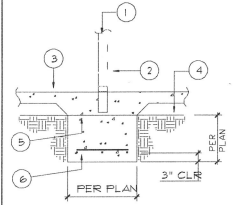
**SD1**



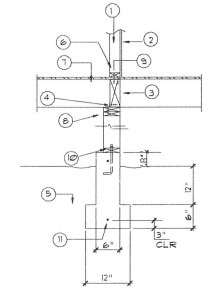
1. EXTERIOR SHEARWALL
  2. INTERIOR TREATMENT
  3. 2X STUDS @ 16" O.C. (UNID.)
  4. P.T. PLATE W/ 5/8" DIAM. ANCHOR BOLTS (MIN. 1" INTO CONC. MIN. 2 BOLTS PER PLATE) SPACED PER LEGEND ON SHEARWALL PLAN.
  5. 2X JOISTS AT 16" O.C. W/ 3/4" T&G UNDERLAYMENT FLY. SUBFLR. 4 R-19 INSUL.
  6. FULL DEPTH RIM JOIST
7. #4 CONT. TOP & BOTTOM OF FOOTING  
8. COMPACTED OR UNDISTURBED GRADE.  
9. 3" X3" X1/4" PLATE WASHERS ON STRUCTURAL BOLTS

7 HDU CORNER INSTALLATION

4 PERIMETER FOOTING



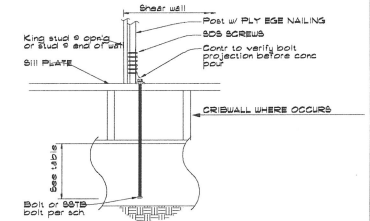
1. SEE PLAN FOR POST SIZE AND LOCATION.
2. CBSG POST POST BASE TO MATCH COLUMN
3. SLAB PER PLAN
4. COMPACTED OR UNDISTURBED GRADE ASTM D-951 MIN COMPACTION
5. COLD JOINT
6. (3) #4 BARS EACH WAY UNLESS OTHERWISE NOTED ON FOUNDATION PLAN



1. WALL WHERE OCCURS
2. INTERIOR TREATMENT
3. FULL DEPTH 4X BLOCK OVER CRIBWALL
4. A35 OR LPT4 AT EACH BLOCK
5. COMPACTED OR UNDISTURBED GRADE
6. SILL PLATE WHERE OCCURS
7. 3/4" FLY BD'S @ 6" O.C.
8. 2x 6 CRIPPLE STUDS @ 16" O.C.
9. 16D COMMON AT 4" O.C.
10. P.T. PLATE W/ 5/8" DIAM ANCHOR BOLTS AT 60" O.C.
11. #4 CONT. TOP & BOTTOM OF FOOTING

8 POST FOOTING DETAIL

5 INTERIOR FOOTING



Shearwall HD No.	Post Bolts	Hold-down Bolt	Min post red @ MIN (match stud w/ EMBEDMENT)
HDU2 - SDS25	(6) SDS 1/4" X 2 1/2"	5/8" DIA	DBL STUD 16 5/8"

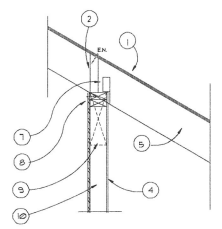
9

6 HOLD-DOWN DETAIL

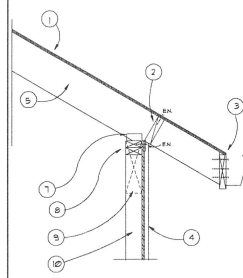
10

11

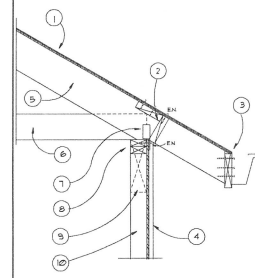
12



1. ROOF SHEATHING PER PLAN
2. 2x CONT SHAPED BLOCKING (PROVIDE DRILLED HOLES FOR VENTILATION)
3. OMIT NOTE
4. SEE ARCH FOR FINISH
5. SEE ROOF FRAMING PLAN
6. OMIT NOTE
7. H1 AT EACH RAFTER
8. (2) 2x CONT. B - SEE PLAN FOR TOP PLATE SPLICE INFO
9. HEADER (WHERE OCCURS)
10. 2x STUDS PER PLAN



1. ROOF SHEATHING PER PLAN
2. 2x CONT BLOCKING (PROVIDE DRILLED HOLES FOR VENTILATION)
3. SEE ARCH FOR FASCIA
4. SEE ARCH FOR FINISH
5. SEE ROOF FRAMING PLAN
6. OMIT NOTE
7. A 35' AT EACH RAFTER
8. (2) 2x CONT. B - SEE PLAN FOR TOP PLATE SPLICE INFO
9. HEADER (WHERE OCCURS)
10. 2x STUDS PER PLAN



1. ROOF SHEATHING PER PLAN
2. 2x CONT. BLOCKING 2X6 FLAT BLOCK W/ (2) ROWS E.N ONLY AT VENT SCREEN
3. SEE ARCH FOR FASCIA
4. SEE ARCH FOR FINISH
5. SEE ROOF FRAMING PLAN
6. SEE ROOF FRAMING OR CEILING JOIST PLAN
7. H1 EACH TRUSS
8. (2) 2x CONT. PLATE - SEE PLAN FOR TOP PLATE SPLICE INFO
9. HEADER (WHERE OCCURS)
10. 2x STUDS PER PLAN

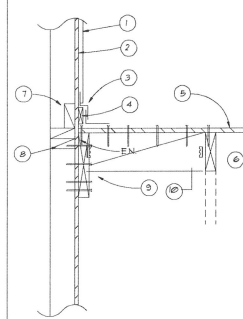
04878

10 TYPICAL EAVE

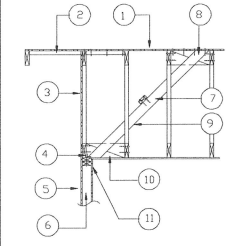
7 TYPICAL EAVE

4 TYPICAL EAVE

1



1. EXTERIOR SIDING PER PLAN
2. SEE PLAN FOR SHEATHING
3. FLASH & COUNTERFLASH
4. 1x SPACER FOR FLASHING
5. ROOF SHEATHING PER PLAN
6. RAFTER OR TRUSS PER PLAN
7. 2x BLOCKING FOR FLASHING
8. CONTINUOUS BLOCKING
9. SLOPING 2x6 LEDGER W/ (3) 16'S TO EACH STUD 6" O.C. TO BLOCKING
10. 2x BLOCKING AT 32" O.C. - MATCH THE DEPTH OF THE TOP CHORD



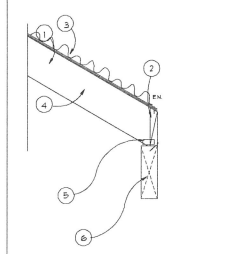
1. ROOF SHEATHING PER PLAN
2. 2x OUTRIGGER FLAT - LET IN TO END TRUSS, NAIL W/ 6'S AT 6"oc
3. GABLE END FRAMING WITH IN-FILL STUDS AT 16"oc
4. A35 AT 24"oc
5. RUN TYPICAL SHEARWALL CONSTRUCTION TO BOTTOM OF ROOF FLYWD.
6. 2x STUDS PER PLAN (SEE PLAN FOR SHEATHING)
7. 2x4 FURLIN @ MID-SPAN OF BRACE IF OVER 66" WITH (2) 16'S AT EACH BRACE
8. 2x BLKG WITH 8'S AT 4"oc AND (3) 16'S EACH END
9. 2x4 DIAG. BRACE @ 6"oc MAX. W/ (3) 16'S EACH END - MAX UNSUPPORTED LENGTH = 86"
10. 2x BLKG EACH BRACE WITH (3) 16'S EACH END. A35 FROM BLOCKING TO WALL
11. (2) 2x CONT. TOP PLATE - SEE PLAN FOR TOP PLATE SPLICE INFO

11

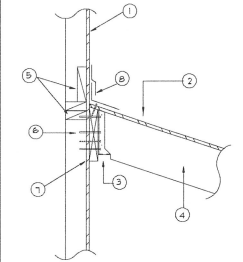
8 FRAMING DETAIL

5 SHEAR TRANSFER @ GABLE

2



1. 1/2" PLY - 8D'S @ 6"12"
2. 2x6
3. CORRUGATED METAL ROOFING
4. 2x6
5. A35 AT EACH RAFTER
6. 4x12



1. SEE PLAN FOR SHEATHING AND EXTERIOR SIDING
2. ROOF SHEATHING PER PLAN
3. U28 WITH SEAT CUT
4. 2x6
5. CONTINUOUS BLOCKING
6. EXISTING WALL
7. 2x10 LEDGER WITH (3) 16'S TO EACH STUD 6" O.C. TO BLOCKING
8. FLASHING PER CODE

12

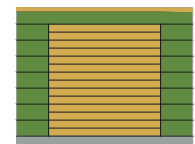
9 TYPICAL EAVE

6 FRAMING DETAIL

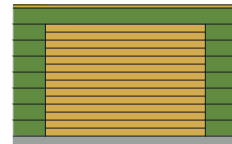
3

Historic District Commission  
917 Sutter Street Restoration and Addition Design Review (PN 19-349)  
December 4, 2019

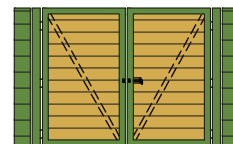
## **Attachment 5 Color Board**



EAST & WEST ELEVATION



SOUTH ELEVATION



NORTH ELEVATION

1 TRASH ENCLOSURE ELEVATIONS

SCALE: 1/4" = 1'-0"



4 EAST ELEVATION

SCALE: 1/4" = 1'-0"



5 WEST ELEVATION

SCALE: 1/4" = 1'-0"



3 SOUTH ELEVATION

SCALE: 1/4" = 1'-0"



2 NORTH ELEVATION

SCALE: 1/4" = 1'-0"



ASPHALT ROOFING



CORRUGATED METAL ROOF



COPPER GUTTERS



EXTERIOR LIGHTING



These drawings and accompanying specifications as instruments of service are the exclusive property of Two Rivers Architects and their use shall be restricted to the original site for which they were prepared. Re-use or reproduction by any method in part or in whole is prohibited except by written permission of Two Rivers Architects.

© 2004 Two Rivers Architects

CONSULTANT

REVISIONS

KEY PLAN

PROJECT TITLE  
CHAN HOUSE  
917 SUTTER STREET  
FOLSOM, CA 95630  
APN: 070-0101-007-000

SHEET TITLE  
EXTERIOR ELEVATIONS

DRAWN BY KV	CHECKED BY LW
PROJECT NO. 3062	SHEET NO.
COMPUTER NO. 06	A4.1
DATE 11-04-19	

Historic District Commission  
917 Sutter Street Restoration and Addition Design Review (PN 19-349)  
December 4, 2019

## **Attachment 6 Site Photographs**

SKATEBOARDING,  
ROLLER SKATING  
PROHIBITED  
CITY OF FOLSOM MUNICIPAL CODE  
SECTIONS 10.25.030-10.25.040

FOLSOM  
HISTORIC DISTRICT









SKATEBOARDING,  
ROLLER SKATING  
PROHIBITED

Historic District Commission  
917 Sutter Street Restoration and Addition Design Review (PN 19-349)  
December 4, 2019

## **Attachment 7**

# **Heritage Preservation League Comment Letter**

## **HERITAGE PRESERVATION LEAGUE OF FOLSOM PROJECT APPLICATION REVIEW**

September 25, 2019

**PROJECT:** Restoration of the former Chan House for the purpose of installing a museum and the addition of a new restroom structure at 917 Sutter Street in the Sutter Street Commercial Subarea (PN19-349).

**REQUEST:** Land Use Change and Design Review

### **PROJECT**

**HISTORY:** Application Circulated by City on September 16, 2019 and feedback requested by September 27.

### **BACKGROUND:**

When the Historic Preservation Master Plan was approved in 1998, 'The Chan House' at 917 Sutter Street was included with the Preliminary Cultural Resources Inventory. In 2008 the property was added to the City's Cultural Resources Inventory of locally important historic buildings and sites.

The Chan House is now owned by Folsom Historical Society and fundraising is underway to finance the restoration of the building together with the adjacent garden. It is the goal of the Historical Society to convert the building to a museum that will document how Chinese immigrants have impacted the history of Folsom and California.

Previous City permits include a Tree Permit, and a Demolition Permit. The Tree Permit was issued in February, 2019 for the removal of two trees and the pruning of two trees designated to remain. In August a Demolition Permit was issued for the removal of an attached shed, located along the south side of the former residence. Before the removal, this shed extended across the east project boundary.

### **LAND USE:**

The Heritage Preservation League supports the efforts by the Historical Society and the Chan Family to restore the residence at 917 Sutter Street and convert the use of the property to a Chinese Heritage Museum.

### **SITE REVIEW:**

As shown on the Site Plan, Building Elevations and the Site Details, the finished grade below the building will be lowered to make room for a crawl space. In addition, the finished grade along the building perimeter will be lowered to create separation between the wood frame and any soil materials. These changes will make it harder to direct drainage away from the building area. In order to prevent future drainage problems, HPL recommends that a grading and drainage study should be added to the current application.

The proposed trash enclosure appears to be a standard detail. HPL recommends that the design of the trash enclosure should be associated with historic building styles. As an example, the upper part of the walls could be replaced by decorative iron work and the remaining walls could be covered by a stone or brick veneer.

The valley oak shown on the site plan close to the rear alley has been removed due to poor condition. A protected oak located north of this tree has not been included with the site plan.

## **BUILDING REVIEW:**

### Windows

The windows shown along the elevations do not match the existing window design. However, these windows are labeled 'existing windows to be restored'. To avoid future confusion regarding the original building design, HPL recommends that all windows should be redrawn to reflect the historic single and double windows that currently exist at the Chan House.

### Doors

The new restroom structure will be covered with a similar siding as the existing residence but the restroom door is not coordinated with the historic building design. HPL recommends that the hollow-core metal door to this structure should have the profile of a paneled door.

A new access door has been added along the west elevation. The two existing doors along the north and east elevation are labeled 'non-accessible' (see Sht. A2.1). While the historic doors will not be used for public access, HPL believes that the option to open these doors should be preserved.

### Roof

Of the proposed façade materials, the 'mineral fiber cap sheet' on the low pitch roof area stands out as a non-historic material. Because this roof area is visible from the front sidewalk and the south half of the property, HPL recommends that samples of this roof material (in addition to the adjacent corrugated metal) should be provided to the Historic District Commission for review. The building elevations (or a construction detail) should also specify how the soffit area below the new roof overhang will be finished (both along the Chan House and the new restroom).

New gutters and downspouts have been proposed for the west and east elevation but a specific design has not been requested. A gutter also appears to be needed along the roof of the front porch. HPL recommends that samples (or photos) of gutters and downspouts with a historic design should be provided to the Historic District Commission for review.

### Exterior Light Fixtures

New light fixtures with LED lamps are proposed along each building elevation but a specific model has not been selected. In addition, HPL suggests that simple hanging light fixtures would be appropriate below the front porch. Samples or photos of all proposed light fixtures should be presented to the Historic District Commission. The building plans also need to specify that all lamps should have a warm tone of light.

### Color and Materials

Materials Samples was not included with the Request for Comments that was circulated by the City. HPL recommends that samples or photos of all proposed materials and building colors should be provided to the Historic District Commission, before the public hearing.

### Interior Work

While the current review does not address interior work, HPL has noted that the floor plan includes a new bathroom sink and a note specifies that the water closet will have a low flush volume. The electrical plan also refers to a 'shower and tub enclosure'.

For historic accuracy, HPL suggests that the option to restore the existing bathroom fixtures should be explored. If a sink is required before the bathroom can be used by employees, it would be appropriate to select a 'salvaged' fixture or a new fixture with a 'retro' design.

### **SUMMARY OF PROJECT RECOMMENDATIONS:**

1. Provide a grading study (of the front half of the property) to demonstrate that drainage will not collect below or around the building.
2. Redesign the trash enclosure to reflect historic building design.
3. Revise the building elevations to show the design of the existing windows that will remain.
4. Select a hollow-metal door with a profile of wood panels for the new restroom.
5. Consider adding gutters, downspouts and hanging lights to the front shed roof.
6. Prepare a color and materials board that includes all proposed exterior materials (two roof materials, gutters, downspouts, exterior light fixtures and building colors). The information regarding a mineral fiber roof, needs to specify how the soffit area below the roof overhang will be finished.