



CITY OF
FOLSOM
DISTINCTIVE BY NATURE

HISTORIC DISTRICT COMMISSION AGENDA
November 3, 2021
CITY COUNCIL CHAMBERS
5:00 p.m.
50 Natoma Street
Folsom, California 95630

Pursuant to Assembly Bill 361 and the Governor's proclamation of a State of Emergency due to the coronavirus (COVID-19) public health emergency, the Folsom Historic District Commission, staff, and members of the public may participate in this meeting via teleconference.

Members of the public wishing to participate in this meeting via teleconference may email kmullett@folsom.ca.us no later than thirty minutes before the meeting to obtain call-in information. Each meeting may have different call-in information. Verbal comments via teleconference must adhere to the principles of the three-minute speaking time permitted for in-person public comment at Historic District Commission meetings.

CALL TO ORDER HISTORIC DISTRICT COMMISSION: Mickey Ankhelyi, Kevin Duewel, Mark Dascallos, John Felts, Daniel West, Kathleen Cole, Daron Bracht

Any documents produced by the City and distributed to the Historic District Commission regarding any item on this agenda will be made available at the Community Development Counter at City Hall located at 50 Natoma Street, Folsom, California and at the table to the left as you enter the Council Chambers.

PLEDGE OF ALLEGIANCE

CITIZEN COMMUNICATION: The Historic District Commission welcomes and encourages participation in City Historic District Commission meetings, and will allow up to five minutes for expression on a non-agenda item. Matters under the jurisdiction of the Commission, and not on the posted agenda, may be addressed by the general public; however, California law prohibits the Commission from taking action on any matter which is not on the posted agenda unless it is determined to be an emergency by the Commission.

MINUTES

The minutes of the October 20, 2021 meeting will be presented for approval.

Commendation to be Presented to Kevin Duewel

NEW BUSINESS

1. PN 21-089, 602 Figueroa Street Addition and Determination that the Project is Exempt from CEQA

A Public Meeting to consider a request from Charles Green for approval of a Residential Design Review application for a 397-square-foot addition, 270-square-foot patio cover, and roof restoration for an existing single-family residence located at 602 Figueroa Street. The zoning classification for the site is R-2/FIG, while the General Plan land-use designation is SFHD. The project is exempt from the California Environmental Quality Act in accordance with Section 15301 of the CEQA Guidelines. **(Project Planner: Josh Kinkade/Applicant: Charles Green)**

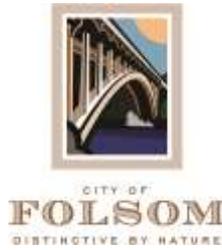
HISTORIC DISTRICT COMMISSION / PRINCIPAL PLANNER REPORT

The next Historic District Commission meeting is scheduled for **November 17, 2021**. Additional non-public hearing items may be added to the agenda; any such additions will be posted on the bulletin board in the foyer at City Hall at least 72 hours prior to the meeting. Persons having questions on any of these items can visit the Community Development Department during normal business hours (8:00 a.m. to 5:00 p.m.) at City Hall, 2nd Floor, 50 Natoma Street, Folsom, California, prior to the meeting. The phone number is (916) 461-6200 and fax number is (916) 355-7274.

In compliance with the Americans with Disabilities Act, if you are a disabled person and you need a disability-related modification or accommodation to participate in the meeting, please contact the Community Development Department at (916) 461-6231, (916) 355-7274 (fax) or kmullett@folsom.ca.us. Requests must be made as early as possible and at least two-full business days before the start of the meeting.

NOTICE REGARDING CHALLENGES TO DECISIONS

The appeal period for Historic District Commission Action: Pursuant to all applicable laws and regulations, including without limitation, California Government Code, Section 65009 and/or California Public Resources Code, Section 21177, if you wish to challenge in court any of the above decisions (regarding planning, zoning, and/or environmental decisions), you may be limited to raising only those issues you or someone else raised at the public hearing(s) described in this notice/agenda, or in written correspondence delivered to the City at, or prior to, this public hearing. Any appeal of a Historic District Commission action must be filed, in writing with the City Clerk's Office no later than ten (10) days from the date of the action pursuant to Resolution No. 8081.



**HISTORIC DISTRICT COMMISSION MINUTES
October 20, 2021
CITY COUNCIL CHAMBERS
5:00 p.m.
50 Natoma Street
Folsom, California 95630**

CALL TO ORDER HISTORIC DISTRICT COMMISSION: Kevin Duewel, Mark Dascallos, John Felts, Daniel West, Kathleen Cole, Mickey Ankhelyi, Daron Bracht

ABSENT: None

PLEDGE OF ALLEGIANCE

CITIZEN COMMUNICATION: None

MINUTES: The minutes of the September 1, 2021 meeting were approved as submitted.

NEW BUSINESS

1. PN 21-080, 710 Mormon Street Detached Accessory Structure Demolition and Determination that the Project is Exempt from CEQA

A Public Meeting to consider a request from Richard Rumsey for approval of an application for demolition of an existing detached accessory structure located at 710 Mormon Street. The zoning classification for the site is CEN (R-2 PD), while the General Plan land-use designation is MLD. The project is exempt from the California Environmental Quality Act in accordance with Section 15301 of the CEQA Guidelines. **(Project Planner: Josh Kinkade/Applicant: Richard Rumsey)**

COMMISSIONER COLE MOVED TO APPROVE AN APPLICATION TO DEMOLISH A 150-SQUARE-FOOT ACCESSORY STRUCTURE (IDENTIFIED AS CABIN ON SITE PLAN) LOCATED AT 710 MORMON STREET (PN 21-206) BASED ONE THE FINDINGS INCLUDED IN THE REPORT (FINDINGS A-G) AND SUBJECT TO THE ATTACHED CONDITIONS OF APPROVAL (CONDITIONS 1-6).

COMMISSIONER DUEWEL SECONDED THE MOTION WHICH LEAD TO THE FOLLOWING VOTE:

AYES: DUEWEL, DASCALLOS, FELTS, WEST, COLE, ANKHELYI, BRACHT
NOES: NONE
ABSTAIN: NONE
ABSENT: NONE

PRINCIPAL PLANNER REPORT

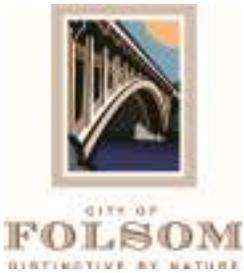
The next meeting of the Historic District Commission is tentatively scheduled for November 3, 2021.

RESPECTFULLY SUBMITTED,

Kelly Mullett, ADMINISTRATIVE ASSISTANT

APPROVED:

Daron Bracht, CHAIR



Historic District Commission Staff Report

50 Natoma Street, Council Chambers
Folsom, CA 95630

Project: 602 Figueroa Street Addition
File #: PN 21-089
Request: Design Review
Location: 602 Figueroa Street
Parcel(s): 070-0111-012
Staff Contact: Josh Kinkade, Associate Planner, 916-461-6209
jkinkade@folsom.ca.us

Property Owner/Applicant

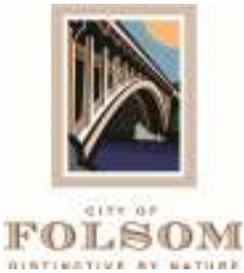
Name: Charles Green
Address: 602 Figueroa St.
Folsom, CA 95630

Recommendation Conduct a public meeting, and upon conclusion recommend approval of an application for Design Review of a 397-square-foot addition, 270-square-foot patio cover, and roof restoration for an existing single-family residence located at 602 Figueroa Street, as illustrated on Attachments 5 and 6 for the 602 Figueroa Street Addition project (PN 21-089) subject to the findings included in this report (Findings A-I) and attached conditions of approval (Conditions 1-11).

Project Summary: The proposed project consists of 397-square-foot addition, 270-square-foot patio cover, and roof restoration for an existing single-family residence located at 602 Figueroa Street. The property is located within the Figueroa Subarea of the Historic Residential Primary Area of the Historic District.

Table of Contents:

- 1 - Description/Analysis
- 2 - Background
- 3 - Proposed Conditions of Approval
- 4 - Vicinity Map
- 5 - Site Plan, Existing Floor Plans, Proposed Floor Plans, Existing Elevations, and Proposed Elevations dated 12-3-20
- 6 - Color Renderings
- 7 - Site Photos
- 8 - Historical Images and Drawings of the Burnham House



AGENDA ITEM NO. 1
Type: Public Meeting
Date: November 3, 2021

- 9 - City of Folsom Register of Historic Places Registration Form
- 10 - Letter from Folsom Heritage Preservation League, Dated 5/20/21

Submitted,

A handwritten signature in blue ink, appearing to read "Pam Johns", with a long horizontal flourish extending to the right.

PAM JOHNS
Community Development Director

**ATTACHMENT 1
DESCRIPTION/ANALYSIS**

APPLICANT'S PROPOSAL

The applicant is proposing a roofline expansion, a tower addition and an addition of 397 square feet of living area to an existing single-family residence located at 602 Figueroa Street. The main residence at 602 Figueroa Street is listed on the City of Folsom's Cultural Resources Inventory and was previously three stories with a tower before a fire burned the majority of the third story and the tower in 1975. The applicant intends to replicate the prior massing of the residence. The proposed project also includes providing a roof cover for an existing 270-square-foot rear patio attached to the residence.

POLICY/RULE

Section 17.52.300 of the Folsom Municipal Code (FMC) states that the Historic District Commission shall have final authority relating to the design and architecture of all exterior renovations, remodeling, modification, addition or demolition of existing structures within the Historic District. Section 17.52.330 states that, in reviewing projects, the Commission shall consider the following criteria:

- a) Project compliance with the General Plan and any applicable zoning ordinances;
- b) Conformance with any city-wide design guidelines and historic district design and development guidelines adopted by the city council;
- c) Conformance with any project-specific design standards approved through the planned development permit process or similar review process; and
- d) Compatibility of building materials, textures and colors with surrounding development and consistency with the general design theme of the neighborhood.

ANALYSIS

General Plan and Zoning Consistency

The General Plan land use designation for the project site is SFHD (Single-Family High Density), and the zoning designation for the project site is R-2 (Two-Family Residence), within the Figueroa Subarea of the Historic Residential Primary Area of the Historic District. Single-family residences are allowed by right in the Figueroa Subarea.

Section 17.52.540 of the Folsom Municipal Code institutes requirements for lot size, lot width, setbacks, pervious surface, and building height in the Historic Residential Primary Area. The design standards established within the Historic District Design and Development Guidelines (DDGs) also apply to this project. The following table shows how the proposed project relates to the FMC zoning requirements:

	REQUIRED	PROPOSED
Minimum Lot Size	7,000 SF	14,000 SF (existing)
Minimum Lot Width	50 Feet	100 Feet (existing)
Front Setback	20 Feet	39.5 Feet (existing)
Rear Setback	20 Feet	36.5 Feet (existing)
Side Setback	5 Feet (Interior), 10 Feet (Street Side-Yard)	35.5 Feet (Interior) and 23.5 Feet (Street Side-Yard) (existing)
Minimum Pervious Surface	45%	83% (existing/proposed)
Parking Requirement	2 Parking Spaces	2 Parking Spaces (existing)
Maximum Building Height	35 Feet	48.5 Feet
Structure Separation	10 Feet	>10 Feet

As shown in the above table (and on the site plan in Attachment 5), the existing residence meets all setback, lot coverage, building separation and parking requirements. However, the residence is proposed to be 48.5 feet in height at its peak. FMC Section 17.52.400(D), which states that exceptions to the design standards in the code may be granted by the Historic District Commission when necessary to allow for historical reconstruction of a previously existing structure or feature.

In 2007, the Historic District Commission determined that the subject property and structure (known as the Historic Burnham Residence) located at 602 Figueroa Street was eligible for listing on the City of Folsom Cultural Resource Inventory. While the exact original height of the residence is not known due to no records of the residence’s height existing prior to the 1975 fire, the applicant worked with their designer and engineer to replicate the original massing and height of the residence based on available images of its original form (provided in Attachment 8). Staff has reviewed the proposed elevations against the available images and concludes that an exception to the 35-foot height standard is necessary to allow for accurate historical reconstruction of the original Burnham House. In addition, the elevations proposed by the applicant closely reflect the massing and roof forms of the residence. Therefore, staff supports the height exception as proposed.

Building Design/Architecture

The project site is located within the Figueroa Subarea of the City of Folsom’s Historic District. The Figueroa Subarea is one of the four Subareas that comprise the Historic Residential Primary Area. Many of the oldest and most significant homes in Folsom, both architecturally and historically, are concentrated in the Subarea. Given that this Subarea is readily accessible by tourists, the intent of this Subarea is to maintain pre-1910 appearance standards and provide facilities which enhance visitor and resident appreciation of the City’s early residential lifestyle. Adherence to historic authenticity is of great importance in this Subarea.

As previously mentioned, in 2007 the Historic District Commission determined that the subject property and main residence at 602 Figueroa Street was eligible for listing on the City's Cultural Resources Inventory. The Commission determined that the residence met two (Criteria 2 and 3) of the following four criteria for listing as established by the City's Historic Preservation Master Plan.

- 1) Property is associated with events that have made a significant contribution to the broad patterns of our history.
- 2) Property is associated with the lives of persons significant in our past.
- 3) Property embodies distinctive characteristics of a type, period, region, construction method, or represents the work of a creative individual.
- 4) Property has yielded, or is likely to yield, information important in Folsom's prehistory or history.

According to the City's Cultural Resource Inventory Purpose and Procedures, listing on the City's Cultural Resource Inventory does not grant any special privileges or impose any restrictions on private property rights. However, listing may assist the property owner in obtaining awards or financial benefits from outside agencies.

The DDG's state that exterior materials and finishes for residential properties should be of residential grade, durable and of high quality and should include details appropriate for design period of the Subarea and building style. The proposed project utilizes horizontal and shingle siding, window trim, wooden patio posts and railings, asphalt shingle roofing, iron finials at the roof peaks, and Victorian gable pediments under the roof gables. Staff has provided Condition No. 3(a), which states that all exterior materials shall match the colors of the existing residence. Pursuant to the DDG's Appendix D Chapter C.7.c, appropriate roofing materials include fireproof wood shingles, corrugated metal, composition fiberglass shingles, clay tile, or other as determined by historic evidence. Inappropriate materials consist of colored standing seam metal roofs, glazed ceramic tile or imitation roofing materials including concrete shingles and imitation concrete mission tile. The proposed roof will be composition shingle roofing colored to match the existing gray roof, consistent with the DDGs.

In analyzing the architectural design of the proposed project, staff determined that the structure includes key elements commonly found in early residential design (pre-1910) Queen Anne style, including a steep-pitched roof and horizontal siding with textured shingles under the roof eaves. The iron finials and Victorian gable pediments were both included on the original design of the residence as well. Staff has also determined that the proposed structure includes the use of building materials that are natural in form, as encouraged by the Historic District Design and Development Guidelines (DDGs). In addition, the proposed project utilizes colors (light blue siding, white trim, white patio posts and decking and a gray roof) which are consistent with colors typically utilized on historic

residential structures.

The DDG's state that wood frame double-hung or casement windows are preferred, and that vinyl clad windows may be used for less significant structures. In general, window proportions should be vertical rather than horizontal; however, appropriate proportions and number of panes will vary depending upon the style of the individual building and the context. Regarding entries, the DDG's state that residentially-scaled and detailed solid wood or glazed doors of many styles may be appropriate. The building includes both vertically- and horizontally-oriented windows, but windows are primarily vertically-oriented, consistent with the DDGs. Proposed doors are residentially-scaled, consistent with the DDGs. The proposed project's architecture is consistent with residential appearance through the use of the proposed building materials and design.

Staff has determined that the overall design, colors, materials, and layout of the proposed project are consistent with the design and development guidelines for the Figueroa Subarea and the building materials, textures and colors are consistent with surrounding development and with the general design theme of the neighborhood. Staff has also determined that the proposed modifications accurately reflect the architecture of the Burnham House in its original form. Staff has therefore concluded that the applicant has met the design standards identified in the Folsom Municipal Code and the guidelines contained in the DDG's.

PUBLIC NOTICING COMMENTS

A notice was posted on the project site five days prior to the Historic District Commission meeting of November 3, 2021 that meets the requirements of FMC Section 17.52.320.

ENVIRONMENTAL REVIEW

The project is categorically exempt under Section 15301 (Existing Facilities) of the California Environmental Quality Act (CEQA) Guidelines. Based on staff's analysis of this project, none of the exceptions in Section 15300.2 of the CEQA Guidelines apply to the use of the categorical exemption in this case.

RECOMMENDATION

Staff recommends approval of the proposed project, subject to the findings included in this report (Findings A-I) and the attached conditions of approval (Conditions 1-11).

HISTORIC DISTRICT COMMISSION ACTION

Move to approve the Design Review application (PN 21-089) for 397-square-foot addition, 270-square-foot patio cover, and roof restoration for an existing single-family residence located at 602 Figueroa Street, as illustrated on Attachments 5 and 6 for the 602 Figueroa Street Addition project, subject to the findings included in this report (Findings A-I) and attached conditions of approval (Conditions 1-11).

GENERAL FINDINGS

- A. NOTICE OF PUBLIC MEETING HAS BEEN GIVEN AT THE TIME AND IN THE MANNER REQUIRED BY STATE LAW AND CITY CODE.
- B. THE PROJECT IS CONSISTENT WITH THE GENERAL PLAN AND ZONING CODE OF THE CITY.

CEQA FINDINGS

- C. THE PROJECT IS CATEGORICALLY EXEMPT FROM ENVIRONMENTAL REVIEW UNDER SECTION 15301 (EXISTING FACILITIES) OF THE CALIFORNIA ENVIRONMENTAL QUALITY ACT (CEQA) GUIDELINES.
- D. THE CUMULATIVE IMPACT OF SUCCESSIVE PROJECTS OF THE SAME TYPE IN THE SAME PLACE, OVER TIME IS NOT SIGNIFICANT IN THIS CASE.
- E. NO UNUSUAL CIRCUMSTANCES EXIST TO DISTINGUISH THE PROPOSED PROJECT FROM OTHERS IN THE EXEMPT CLASS.
- F. THE PROPOSED PROJECT WILL NOT CAUSE A SUBSTANTIAL ADVERSE CHANGE IN THE SIGNIFICANCE OF A HISTORICAL RESOURCE.

DESIGN REVIEW FINDINGS

- G. THE BUILDING MATERIALS, TEXTURES AND COLORS USED IN THE PROPOSED PROJECT ARE COMPATIBLE WITH SURROUNDING DEVELOPMENT AND ARE CONSISTENT WITH THE GENERAL DESIGN THEME OF THE NEIGHBORHOOD.
- H. THE PROPOSED PROJECT IS IN CONFORMANCE WITH THE HISTORIC DISTRICT DESIGN AND DEVELOPMENT GUIDELINES ADOPTED BY CITY COUNCIL.
- I. AN EXCEPTION TO THE HEIGHT STANDARDS OF THE FOLSOM MUNICIPAL CODE IS NECESSARY TO ALLOW FOR HISTORICAL RECONSTRUCTION OF A PREVIOUSLY EXISTING STRUCTURE OR FEATURE

**ATTACHMENT 2
BACKGROUND**

BACKGROUND

The Sacramento County Assessor’s records for the property located at 602 Figueroa Street indicate that the lot was originally developed (by Reuben Clark) with a single-family, three-story, Queen Ann style residential structure in 1889. The Burnham House was originally constructed with three floors and a free roof form including many gables, chimneys, and a round tower element. However, after the building was damaged by fire in 1975, the third floor of the building was not rebuilt and a low-pitch roof covered by composition shingles was installed over the second floor. Among the original features that have been preserved are the wrap-around porch with rounded supports, bay windows along the first floor, pairs of double-hung windows on the second floor, and decorative trim and carved wood details.

On November 5, 1998, the City Council approved a Historic Preservation Master Plan for the City of Folsom. The purpose of the Master Plan is to preserve and promote the City’s rich, colorful, and historic heritage by protecting its cultural and historical resources and educating the citizenry and the general public of its past. On February 7, 2007, the Historic District Commission determined that the subject property and structure (known as the Historic Burnham Residence) located at 602 Figueroa Street was eligible for listing on the City of Folsom Cultural Resource Inventory.

On November 5, 2014, the Historic District Commission approved a Design Review application for a 168-square-foot deck addition, and remodel of the main residence. On June 21, 2017, The Historic District Commission approved a Design Review application for a 672-square-foot detached garage with a 600-square-foot game room above it.

GENERAL PLAN DESIGNATION	SFHD, Single-Family High Density
ZONING	FIG, Figueroa Subarea of the Historic Residential Primary Area, with an underlying zoning of R-2 (Two-Family Residence)
ADJACENT LAND USES/ZONING	North: Peddlers Lane and single-family residential development; SUTR/H-D South: Figueroa Street and single-family residential development; FIG/R-2 East: Scott Street and single-family residential development; FIG/R-1-M West: The Bradley House Bed and Breakfast Inn; FIG/R-2

SITE CHARACTERISTICS

The subject property includes two Theodore Judah lots that have been merged (100'x 140'). The property is level and mature vegetation surrounds the existing residence. The site is fully developed with a 2,503-square-foot, two-story single-family residence, detached accessory unit/garage structure and detached game room/garage structure.

APPLICABLE CODES

FMC Chapter 17.52 HD, Historic District
FMC Section 17.52.300, Design Review
FMC Section 17.52.330, Plan Evaluation
FMC Section 17.52.340, Approval Process
FMC Section 17.52.400, Design Standards
FMC Section 17.52.540, Historic Residential
Primary Area Special Use and Design
Standards
Historic District Design and Development
Guidelines

ATTACHMENT 3

Proposed Conditions of Approval

CONDITIONS OF APPROVAL FOR 602 FIGUEROA STREET ADDITION (PN 21-089)				
Cond. No.	Mitigation Measure	GENERAL REQUIREMENTS	When Required	Responsible Department
1.		Issuance of a Building Permit is required. The applicant shall submit final site and building plans to the Community Development Department that substantially conform to the site plan, proposed floor plans and proposed elevations dated 12/3/20, included in Attachment 5. Implementation of this project shall be consistent with the above referenced items as modified by these conditions of approval.	B	CD (B)
2.		Compliance with all local, state and federal regulations pertaining to building construction and demolition is required.	OG	CD (B)
3.		This approval is for a 397-square-foot addition, 270-square-foot patio cover, and roof restoration for an existing residence located at 602 Figueroa Street. The applicant shall submit building plans that comply with this approval and the site plan, floor plans, building elevations and color renderings dated 12/3/20 included in Attachments 5 and 6, with the following modifications: a) All exterior materials, including horizontal siding, Hardie shingle siding, wood deck posts and railings, asphalt shingle roofing and window trim shall match the colors of the existing residence. b) All Conditions of Approval as outlined herein shall be made as a note or separate sheet on the Construction Drawings.	B	CD (P)
4.		If any archaeological, cultural, or historical resources or artifacts, or other features are discovered during the course of construction anywhere on the project site, work shall be suspended in that location until a qualified professional archaeologist assesses the significance of the discovery and provides recommendations to the City. The City shall determine and require implementation of the appropriate mitigation as recommended by the consulting archaeologist. The City may also consult with individuals that meet the Secretary of the Interior’s Professional Qualifications Standards before implementation of any recommendation. If agreement cannot be reached between the project applicant and the City, the Historic District Commission shall determine the appropriate implementation method.	G, I, B	CD (P)(E)(B)

5.		In the event human remains are discovered, California Health and Safety Code Section 7050.5 states that no further disturbance shall occur until the county coroner has made the necessary findings as to the origin and disposition pursuant to Public Resources Code 5097.98. If the coroner determines that no investigation of the cause of death is required and if the remains are of Native American Origin, the coroner will notify the Native American Heritage Commission, which in turn will inform a most likely decedent. The decedent will then recommend to the landowner or landowner’s representative appropriate disposition of the remains and any grave goods.	G, I, B	CD (P)(E)(B)
6.		The owner/applicant shall pay all applicable taxes, fees and charges at the rate and amount in effect at the time such taxes, fees and charges become due and payable.	B	CD (P)(E)
7.		The City, at its sole discretion, may utilize the services of outside legal counsel to assist in the implementation of this project, including, but not limited to, drafting, reviewing and/or revising agreements and/or other documentation for the project. If the City utilizes the services of such outside legal counsel, the applicant shall reimburse the City for all outside legal fees and costs incurred by the City for such services. The applicant may be required, at the sole discretion of the City Attorney, to submit a deposit to the City for these services prior to initiation of the services. The applicant shall be responsible for reimbursement to the City for the services regardless of whether a deposit is required.	B	CD (P)(E)
8.		If the City utilizes the services of consultants to prepare special studies or provide specialized design review or inspection services for the project, the applicant shall reimburse the City for actual costs it incurs in utilizing these services, including administrative costs for City personnel. A deposit for these services shall be provided prior to initiating review of the improvement plans or beginning inspection, whichever is applicable.	B	CD (P)(E)
9.		This project shall be subject to all City-wide development impact fees, unless exempt by previous agreement. This project shall be subject to all City-wide development impact fees in effect at such time that a building permit is issued. These fees may include, but are not limited to, fees for fire protection, park facilities, park equipment, Quimby, Humbug-Willow Creek Parkway, Light Rail, TSM, capital facilities and traffic impacts. The 90-day protest period for all fees, dedications, reservations or other exactions imposed on this project has begun. The fees shall be calculated at the fee rate in effect at the time of building permit issuance.	B	CD (P)(E), PW, PK
10.		The owner/applicant agrees to pay to the Folsom-Cordova Unified School District the maximum fee authorized by law for the construction and/or reconstruction of school facilities. The applicable fee shall be the fee established by the School District that is in effect at the time of the issuance of a building permit. Specifically, the owner/applicant agrees to pay any and all fees and charges and comply with any and all dedications or other requirements authorized under Section 17620 of the Education Code; Chapter 4.7 (commencing with Section 65970) of the Government Code; and Sections 65995, 65995.5 and 65995.7 of the Government Code.	B	CD (P)

11.	The project approval granted under this staff report shall remain in effect for one year from final date of approval (November 3, 2022). Failure to obtain the relevant building, demolition, or other permits within this time period, without the timely extension of this approval, shall result in the termination of this approval.	B	CD (P)
-----	--	---	--------

RESPONSIBLE DEPARTMENT		WHEN REQUIRED	
CD (P) (E) (B) (F)	Community Development Department Planning Division Engineering Division Building Division Fire Division	I	Prior to approval of Improvement Plans
		M	Prior to approval of Final Map
		B	Prior to issuance of first Building Permit
		O	Prior to approval of Occupancy Permit
		G	Prior to issuance of Grading Permit
PW	Public Works Department	DC	During construction
PR	Park and Recreation Department	OG	On-going requirement
PD	Police Department		

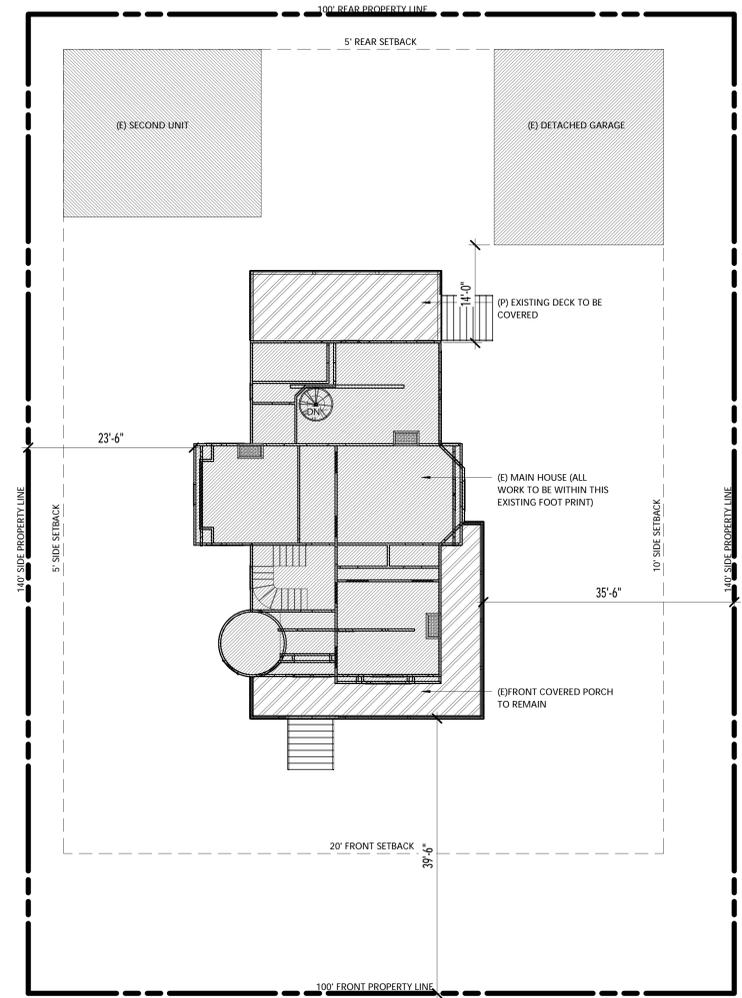
Attachment 4 Vicinity Map



Attachment 5
Site Plan Existing Floor Plans, Proposed Floor
Plans, Existing Elevations and Proposed
Elevations dated 12-3-20

SITE PLAN NOTES

1. STORMWATER PROTECTION MEASURES SHALL BE IMPLEMENTED AT THE INITIAL PHASE OF CONSTRUCTION ACTIVITY. PROJECTS SHALL PREVENT EROSION AND RETAIN SOIL RUNOFF ON THE SITE THROUGH THE USE OF A BARRIER SYSTEM, WATTLE, OR OTHER APPROVED METHOD.
2. SITES SHALL BE GRADED TO DRAIN SURFACE WATER AWAY FROM FOUNDATION WALLS. THE GRADE SHALL FALL A MINIMUM OF 6" WITHIN THE FIRST 10' (5%).
3. IMPERVIOUS SURFACES WITHIN 10 FEET OF THE BUILDING SHALL BE SLOPED A MINIMUM OF 1/4" PER FOOT AWAY FROM THE FOUNDATION.



1 Home Site Plan
A-2
1" = 10'-0"



PLANS PREPARED BY:
GOLD HILL DRAFTING AND DESIGN,
6400 Schindler Rd Newcastle, CA 95658 www.goldhilldrafting.com
916-626-1080
IN ACCORDANCE WITH SECTION 5537 OF CALIFORNIA BUSINESS AND PROFESSIONS CODE.
REPRESENTATIVE SIGNATURE

ALL WORK SHALL CONFORM TO 2019 CBS, CMS, CFS, CFS, CFS, AND 2019 F-21 ENERGY STANDARDS. PLANS MUST MEET 2019 GREEN CODE STANDARDS. SEE GREEN CODE SHEET.
NOTE TO BUILDER AND OWNER: CHANGES MAY OCCUR IN ALL CONSTRUCTION DRAWINGS. IT IS THE RESPONSIBILITY OF THE BUILDER AND OWNER TO REVIEW ALL DRAWINGS PRIOR TO THE START OF CONSTRUCTION AND NOTIFY STRUCTURAL DESIGNER AND ENGINEER OF ANY POTENTIAL PROBLEMS. FAILURE TO REVIEW PLANS CAN RESULT IN CHANGES TO THE DRAWINGS. THE BUILDER AND OWNER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS IN SUCH AN EVENT. ALL BUILDER CONTRACTS AND DOCUMENTS SHALL SUPERSEDE INFORMATION IN THESE DRAWINGS. BY USING THESE DRAWINGS ALL PARTIES AGREE TO USE MEDIATION IN THE EVENT OF CONFLICTS THAT MIGHT OTHERWISE RESULT IN LITIGATION.

CHARLIE GREEN
602 FIGUEROA STREET
FOLSOM, CA

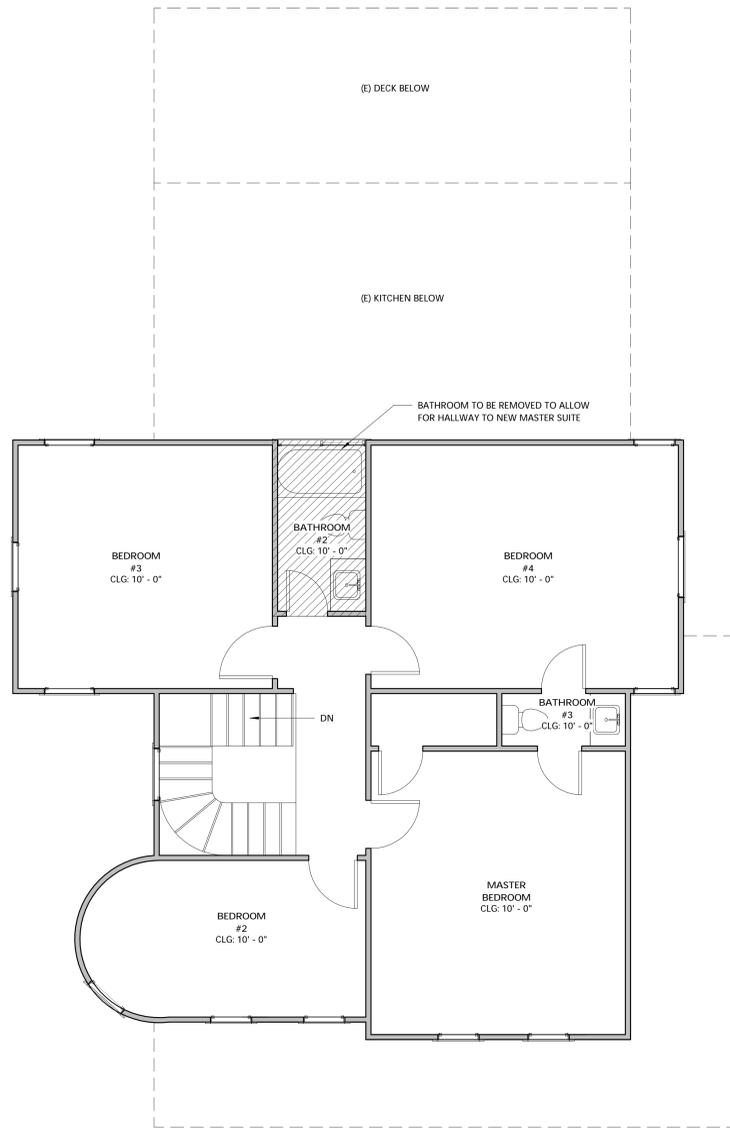
FIRST SUBMITTAL DATE
12/3/2020

REVISIONS
△

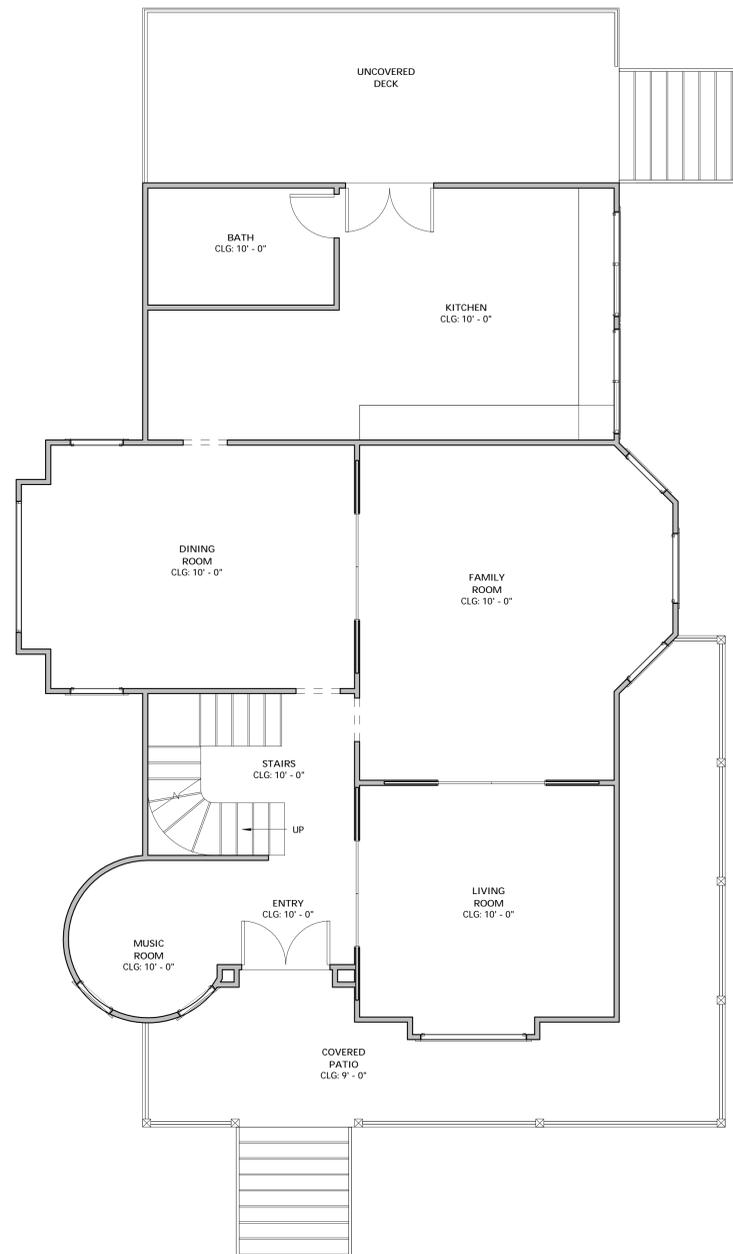
SHEET TITLE

Home Site Plan

SHEET NUMBER
A-2



2 2ND FLOOR PLAN EXISTING
1/4" = 1'-0"



1 1ST FLOOR PLAN EXISTING
1/4" = 1'-0"

1. ALL DIMENSIONS ARE TO ROUGH FRAMING.
2. DISCREPANCIES IN DIMENSIONS OR LAYOUT SHALL BE BROUGHT TO THE ATTENTION OF GOLD HILL DRAFTING AND DESIGN AND/OR STRUCTURAL ENGINEER BEFORE PROCEEDING WITH CONSTRUCTION.
3. ALL MFD. ARTICLES, MATERIALS, AND EQUIPMENT SHALL BE APPLIED, INSTALLED, CONNECT, ERECTED, USED, CLEANED, ADJUSTED, AND CONDITIONED AS DIRECTED BY THE MFR. UNLESS OTHERWISE NOTED.
4. ALL MATERIALS SHALL BE NEW AND UNUSED, UNLESS OTHERWISE NOTED. ALL WORK SHALL BE PERFORMED IN A WORKMANSHIP LIKE MANNER
5. ALL DIMENSIONS NOTED "TO BE VERIFIED" SHALL BE DONE SO BY THE CONTRACTOR PRIOR TO CONSTRUCTION & REPORTED TO GOLD HILL DRAFTING AND DESIGN
6. ASPECTS OF CONSTRUCTION NOT FULLY SHOWN SHALL BE OF THE SAME CHARACTER AND QUALITY AS THOSE SHOWN FOR SIMILAR CONDITIONS.
7. THE CONTRACTOR SHALL REVIEW ALL DOCUMENTS TO COORDINATE WITH EXISTING BUILDING CONDITIONS. ANY VARIANCES AND/OR DISCREPANCIES THAT ARISE IN THE COORDINATION DESCRIBED SHALL BE REPORTED TO GOLD HILL DRAFTING AND DESIGN IMMEDIATELY.

FLOOR PLAN NOTES

- A. VERIFY WITH OWNER FOR INTERIOR FINISHES, COLORS, TEXTURES, ETC. ALL CABINETS AND BUILT-IN SPECIFICATIONS SHALL BE PROVIDED BY CONTRACTOR.
- B. USE DOUBLE JOISTS UNDER ALL PARALLEL PARTITIONS - U.N.O. PER STRUCTURAL PLANS.
- C. FIRE BLOCK AT ALL DROPPED CEILING AND SOFFITS.
- D. PROVIDE BACKING AT ALL WALL HUNG FIXTURES, CABINETS, LOWER CABINETS, ETC. AS REQUIRED.
- E. THE BUILDER SHALL PROVIDE THE ORIGINAL OCCUPANT A LIST OF THE HEATING, COOLING, WATER HEATING, LIGHTING SYSTEMS, AND CONSERVATION OR SOLAR DEVICES INSTALLED IN THE BUILDING AND INSTRUCTIONS ON HOW TO USE THEM PROPERLY AND EFFICIENTLY
- F. AFTER INSTALLING INSULATION, THE INSTALLY SHALL POST IN A CONSPICUOUS LOCATION IN THE BUILDING A CERTIFICATE SIGNED BY THE INSTALLER AND THE BUILDER STATING THAT THE INSTALLATION CONFORMS WITH THE REQUIREMENTS OF TITLE 24, PART 6, AND THAT THE MATERIALS INSTALLED CONFORM WITH THE REQUIREMENTS OF TITLE 20, CHAPTER 2. THE CERTIFICATE SHALL STATE THE MANUFACTURER'S NAME AND MATERIAL IDENTIFICATION, THE INSTALLED R-VALUE, AND WEIGHT PER SQUARE FOOT.
- G. USE MINIMUM 2 X 6 STUDS AT ALL PLUMBING WALLS.
- H. GUARDRAIL AND HANDRAIL ASSEMBLIES SHALL BE CAPABLE OF WITHSTANDING A LOAD OF AT LEAST 200 LB APPLIED IN ANY DIRECTION AT ANY POINT OF THE RAIL.
- I. SHOWER ENCLOSURES TO HAVE MINIMUM 72" HIGH NON-ABSORBENT WALL (TILE, MARBLE, ETC.) ABOVE THE DRAIN INLET. BACKING TO BE WATER-RESISTANT GYPSUM BACKING BOARD.
- J. PROVIDE APPROVED SHATTER RESISTANT ENCLOSURE (PLASTIC OR TEMPERED GLASS) AT SHOWERS AND WINDOWS IF SILL IS LESS THAN 5'-0" ABOVE TUB OR SHOWER FLOOR.
- K. NET AREA OF SHOWER RECEPTOR SHALL BE NOT LESS THAN 1,024 S.Q. IN. OF AREA AND ENCOMPASS A 30" MIN. DIAMETER CIRCLE DIMENSION PLANS (CPC 412.7)
- L. THE MANUFACTURER'S INSTALLATION INSTRUCTIONS FOR LISTED APPLIANCES SHALL BE AVAILABLE TO THE FIELD INSPECTOR AT THE TIME OF INSPECTIONS PER 2019 CRC SEC. R106.1.2
- M. FURNITURE SHOWN IS FOR DESIGN PURPOSE ONLY, FURNITURE NOT IN CONTRACT
- N. FIXTURES AND APPLIANCES SHOWN FOR DESIGN PURPOSE ONLY AND MAY NOT REFLECT ACTUAL FIXTURES AND APPLIANCES CHOSEN

FLOOR PLAN LEGEND

FLOOR PLAN KEYNOTES



PLANS PREPARED BY:
GOLD HILL DRAFTING AND DESIGN
6400 Schindler Rd Newcastle, CA 95658 www.goldhilldrafting.com
916-626-1080
IN ACCORDANCE WITH SECTION 6537 OF CALIFORNIA BUSINESS AND PROFESSIONS CODE.
REPRESENTATIVE SIGNATURE

ALL WORK SHALL CONFORM TO 2019 CBC, CBC, CMC, CFC, AND 2019 F-21 ENERGY STANDARDS. PLANS MUST MEET 2019 GREEN CODE STANDARDS. SEE GREEN CODE SHEET.
NOTE TO BUILDER AND OWNER: CHANGES MAY OCCUR IN ALL CONSTRUCTION DRAWINGS. IT IS THE RESPONSIBILITY OF THE BUILDER AND OWNER TO REVIEW ALL DRAWINGS PRIOR TO THE START OF CONSTRUCTION AND NOTIFY STRUCTURAL DESIGNER AND ENGINEER OF ANY POTENTIAL PROBLEMS. FAILURE TO REVIEW PLANS CAN RESULT IN CHANGES TO THE DRAWINGS. THE BUILDER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND HELD RESPONSIBLE FOR SUCH AN EVENT. ALL BUILDER CONTRACTS AND DOCUMENTS SHALL SUPERSEDE INFORMATION IN THESE DRAWINGS. BY USING THESE DRAWINGS ALL PARTIES AGREE TO USE MEDIATION IN THE EVENT OF CONFLICTS THAT MIGHT OTHERWISE RESULT IN LITIGATION.

CHARLIE GREEN
602 FIGUEROA STREET
FOLSOM, CA

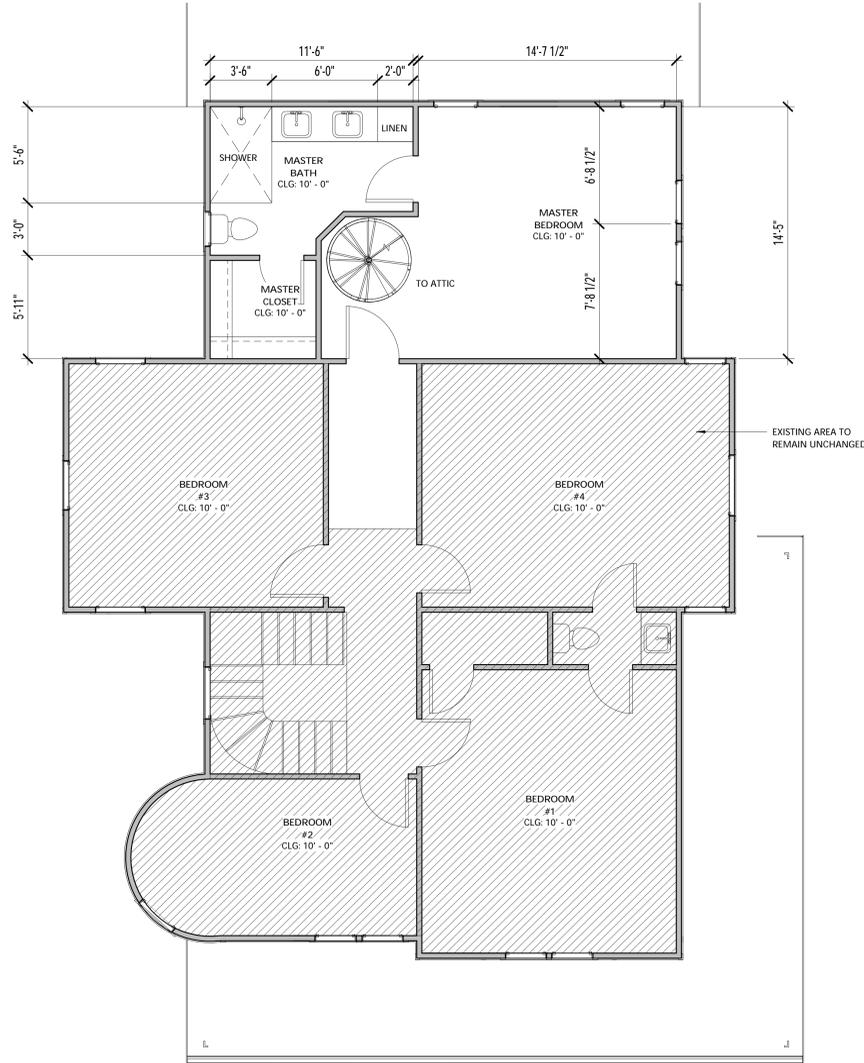
FIRST SUBMITTAL DATE
12/3/2020

REVISIONS
A
B

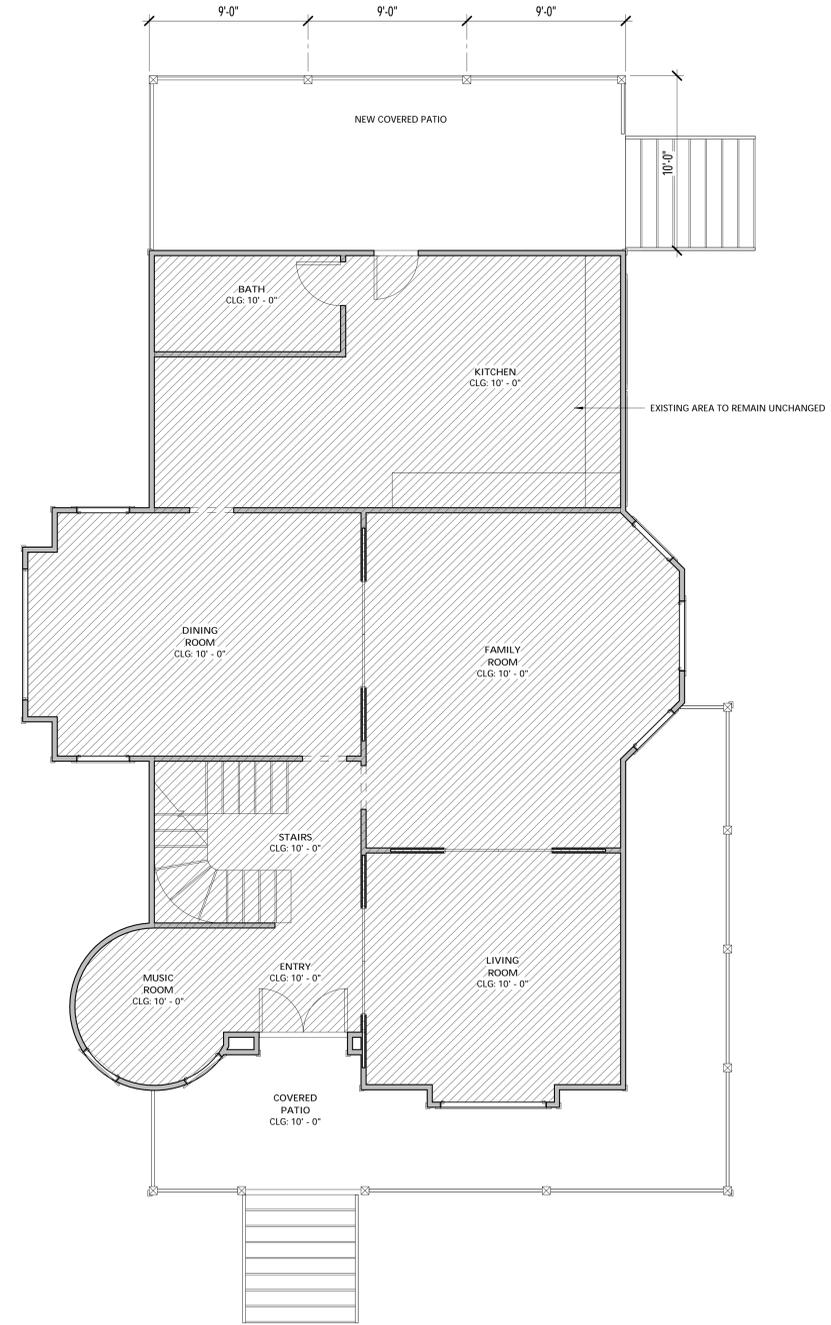
SHEET TITLE
EXISTING FLOOR PLANS

SHEET NUMBER
A-3

397 SF LIVING AREA ADDED AT 2ND FLOOR



2 2ND FLOOR PLAN PROPOSED
A-4 1/4" = 1'-0"



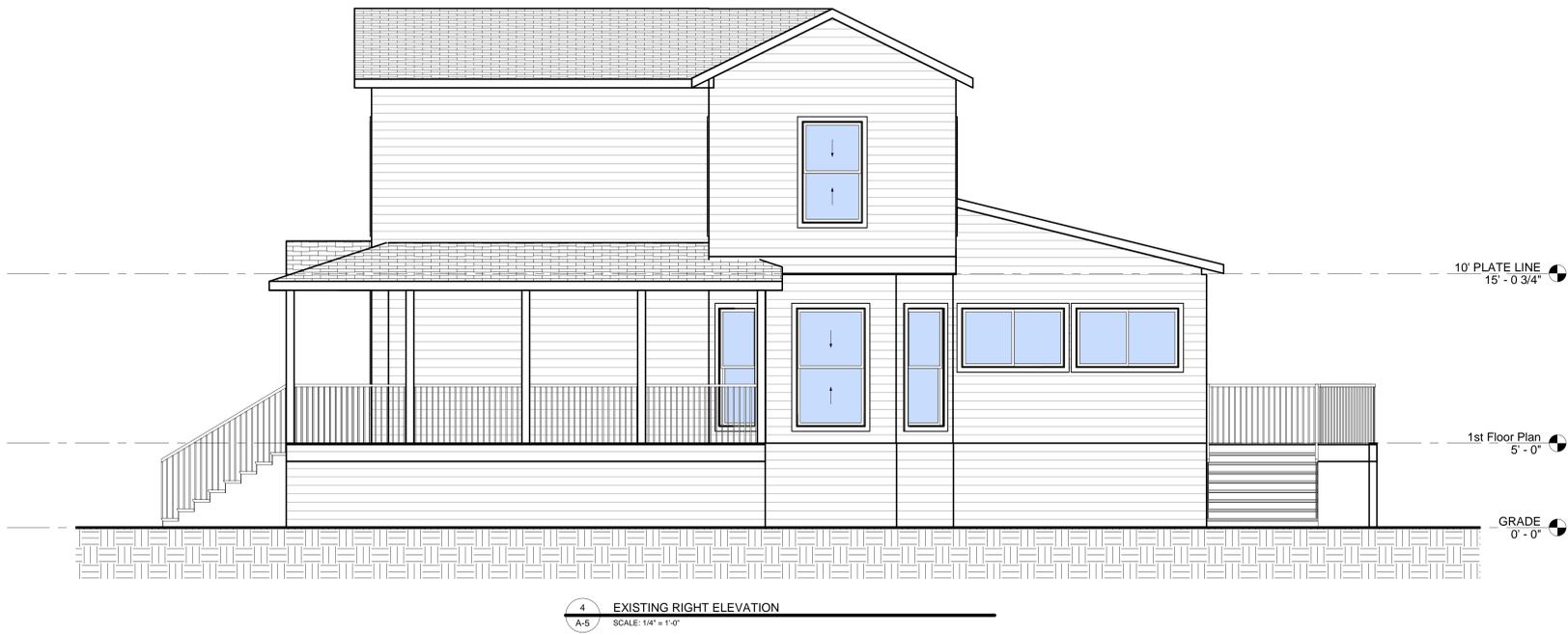
1 1ST FLOOR PROPOSED
A-4 1/4" = 1'-0"



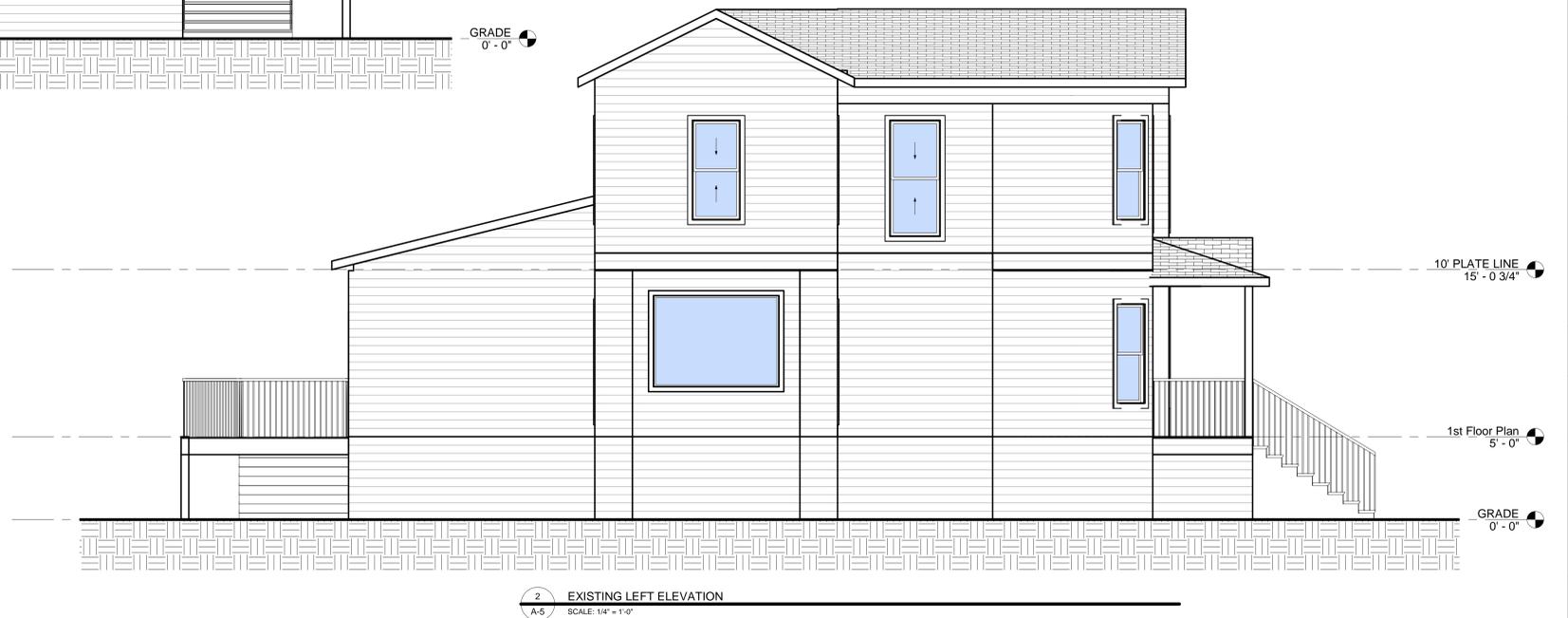
1 EXISTING REAR ELEVATION
SCALE: 1/4" = 1'-0"



3 EXISTING FRONT ELEVATION
SCALE: 1/4" = 1'-0"



4 EXISTING RIGHT ELEVATION
SCALE: 1/4" = 1'-0"



2 EXISTING LEFT ELEVATION
SCALE: 1/4" = 1'-0"

ALL WORK SHALL CONFORM TO 2019 CBS, CMS, CDS, CCS, AND 2019 F-21 ENERGY STANDARDS. PLANS MUST MEET 2019 GREEN CODE STANDARDS, SEE GREEN CODE SHEET.
NOTE TO BUILDER AND OWNER: CHANGES MAY OCCUR IN ALL CONSTRUCTION DRAWINGS. IT IS THE RESPONSIBILITY OF THE BUILDER AND OWNER TO REVIEW ALL DRAWINGS PRIOR TO THE START OF CONSTRUCTION AND NOTIFY STRUCTURAL DESIGNER AND ENGINEER OF ANY POTENTIAL PROBLEMS. FAILURE TO REVIEW PLANS CAN RESULT IN CHANGES TO THE DRAWINGS. THE BUILDER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS. THE BUILDER SHALL SUPPLEMENT INFORMATION IN THESE DRAWINGS. BY USING THESE DRAWINGS ALL PARTIES AGREE TO USE MEDIATION IN THE EVENT OF CONFLICTS THAT MIGHT OTHERWISE RESULT IN LITIGATION.

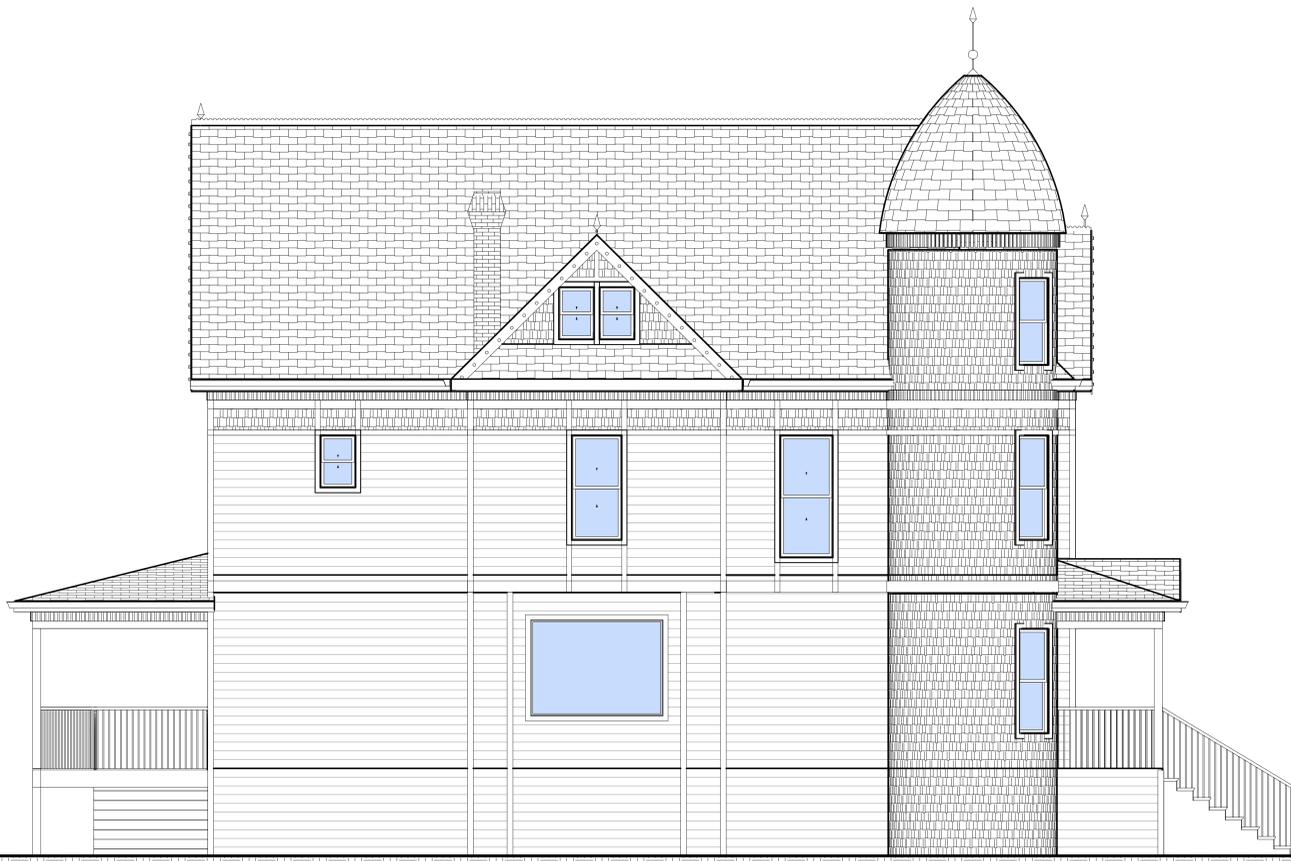
CHARLIE GREEN
602 FIGUEROA STREET
FOLSOM, CA

FIRST SUBMITTAL DATE
12/3/2020

REVISIONS
SHEET TITLE

EXISTING ELEVATIONS

SHEET NUMBER
A-5



2 PROPOSED LEFT ELEVATION
A-6 1/4" = 1'-0"



1 PROPOSED FRONT ELEVATION
A-6 1/4" = 1'-0"

- IRON FINIALS TYP.
- PROVIDE VICTORIAN GABLE PEDIMENT TYPICAL AT GABLES
- GABLE WINDOWS TO ATTIC
- PROVIDE DECORATIVE RIDGE CAP TYP.
- CLASS "A" COMP SHINGLE ROOF
- HARDIE SHINGLES AT GABLE TO MATCH EXISTING UPPER BAND
- PROVIDE 1" COINS AT 1' ON CENTER AT GABLE BARGE BD. TYP.
- MATCH/CONTINUE EXISTING SHINGLE PATTERN



4 PROPOSED RIGHT ELEVATION
A-6 1/4" = 1'-0"



3 PROPOSED REAR ELEVATION
A-6 1/4" = 1'-0"

MATCH EXISTING FRONT PATIO DETAILING
MATCH EXISTING FRONT POSTS AND DETAILING

Attachment 6 Color Renderings



PLANS PREPARED BY:
 GOLD HILL DRAFTING AND DESIGN,
 6400 Schindler Rd Newcastle, CA 95658 www.goldhilldrafting.com
 916-626-1080
 IN ACCORDANCE WITH SECTION 6537 OF CALIFORNIA BUSINESS AND PROFESSIONS CODE.
 REPRESENTATIVE SIGNATURE

ALL WORK SHALL CONFORM TO 2019 CBS, CMS, CDS, CFS, AND 2019 F-31 ENERGY STANDARDS. PLANS MUST MEET 2019 GREEN CODE STANDARDS, SEE GREEN CODE SHEET.
 NOTE TO BUILDER AND OWNER:
 DISCREPANCIES MAY OCCUR IN ALL CONSTRUCTION DRAWINGS. IT IS THE RESPONSIBILITY OF THE BUILDER AND OWNER TO REVIEW ALL DRAWINGS PRIOR TO THE START OF CONSTRUCTION AND NOTIFY STRUCTURAL DESIGNER AND ENGINEER OF ANY POTENTIAL PROBLEMS. FAILURE TO REVIEW PLANS CAN RESULT IN CHANGES TO THE DRAWINGS. THE BUILDER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND HELD HARMLESS FOR SUCH AN EVENT. ALL BUILDER CONTRACTS AND DOCUMENTS SHALL SUPERSEDE INFORMATION IN THESE DRAWINGS. BY USING THESE DRAWINGS ALL PARTIES AGREE TO USE MEDIATION IN THE EVENT OF CONFLICTS THAT MIGHT OTHERWISE RESULT IN LITIGATION.

CHARLIE GREEN
 602 FIGUEROA STREET
 FOLSOM, CA

FIRST SUBMITTAL DATE
 12/3/2020

REVISIONS
 △
 △
 SHEET TITLE

Perspectives

SHEET NUMBER
 3.0

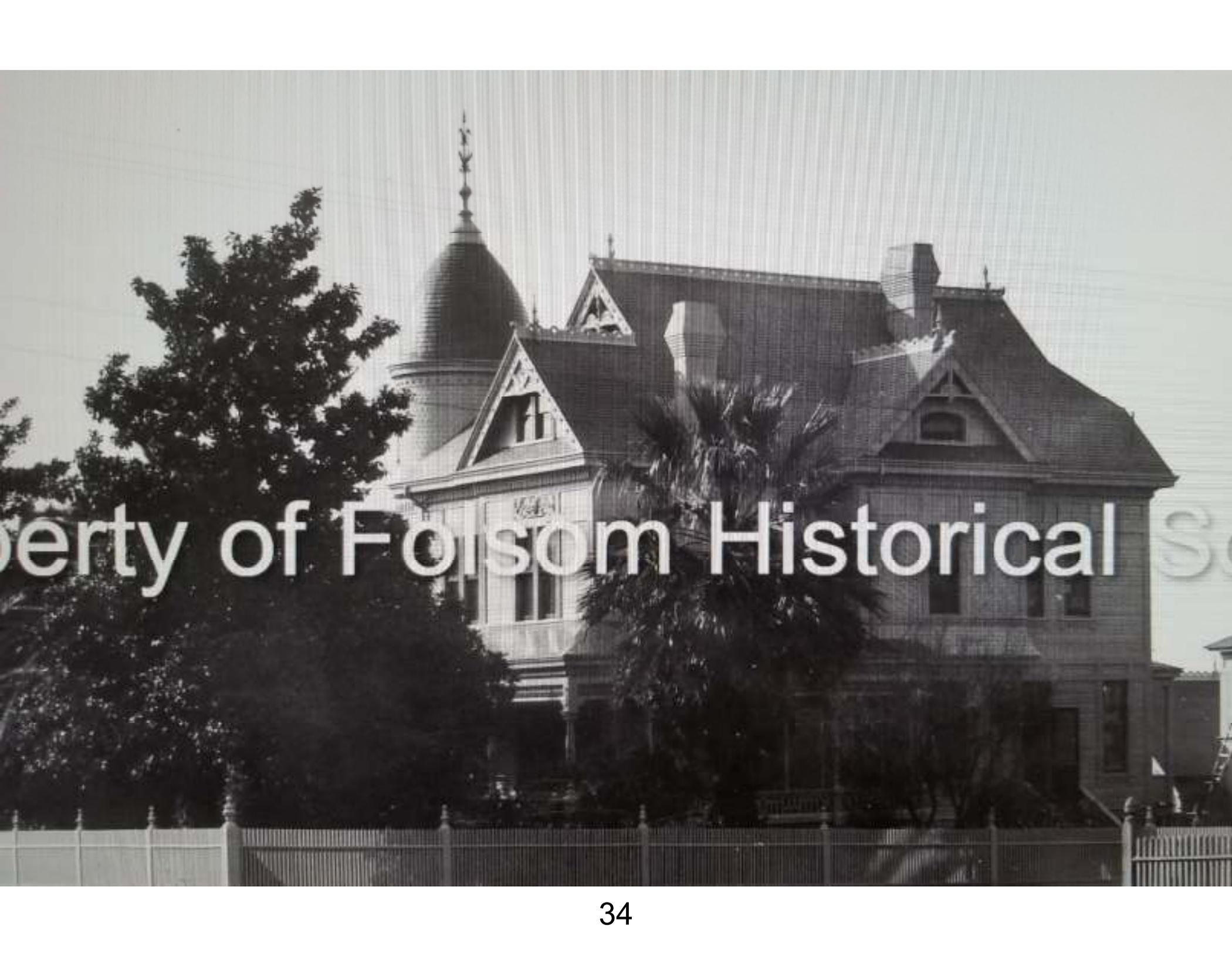
Attachment 7 Site Photos





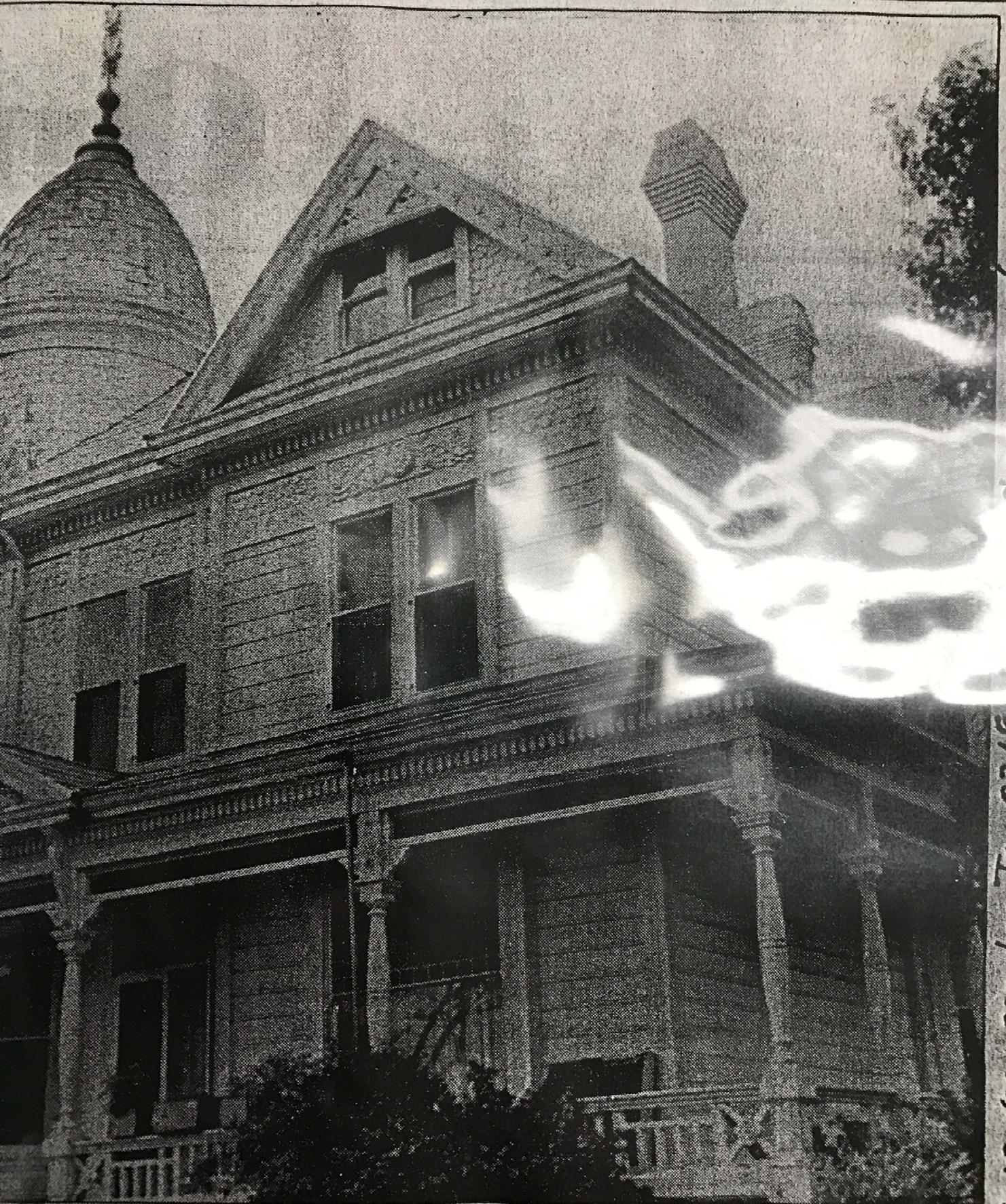
Attachment 8
Historical Images and Drawings of the Burnham
House





Property of Folsom Historical Society

This goes with #754-2



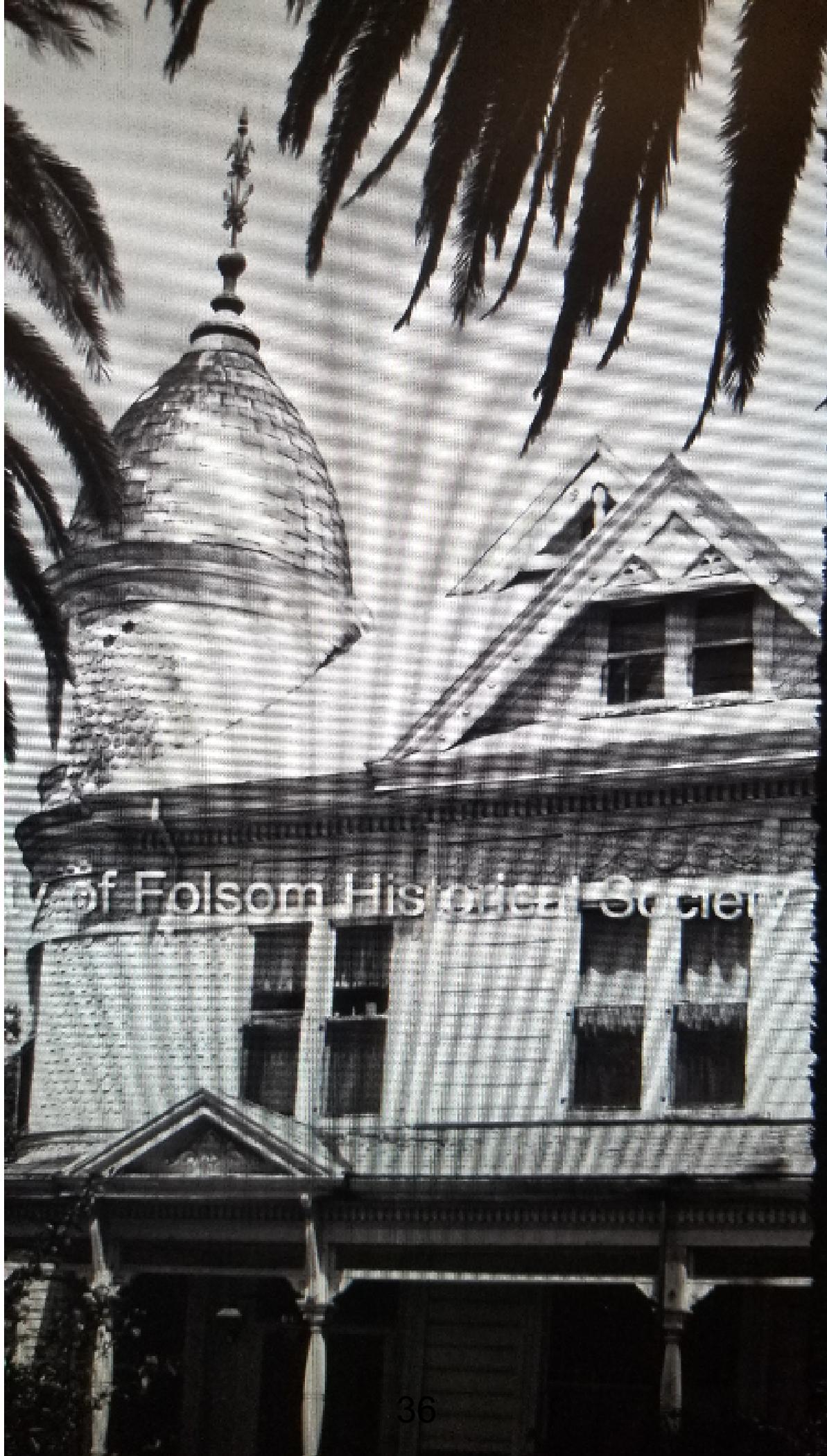
Show more of dot work.

This is very similar to 0218 (Burned in 1975)

Remember this?

Burnham

Photo-Telegraph File



City of Folsom Historical Society



K Swick
© 1976

Burnham House
Folsom, California



Attachment 9
City of Folsom Register of Historic Places
Registration Form

**CITY REGISTER OF HISTORIC PLACES
REGISTRATION FORM**

Narrative Description:

Historic Name: Burnham House
Name of Property: 602 Figueroa
Architectural Classification: Queen Anne
Year Constructed: 1891
*** Contributor ***

This original Queen Anne building was constructed in 1891 by prominent merchant James H. Burnham. The present building has a timber-framed structure and is clad in wooden horizontal clapboards and wood shingles in an imbricate pattern. The foundation is presumed to be concrete sill and brick.³⁵ It is covered by a low pitched, cross-gabled roof with composition shingles, a severe modification from the original roofline. Originally, the roof had a free classic roof form with a round tower. Because of a fire in 1975, the residence was remodeled and the roofline changed significantly, as well as the rear of the residence. The residence retains slight overhanging, boxed eaves on the east and west elevation. Decorative elements include many textural elements devised to avoid flat surfaces, such as, a bay window, a varied texture of siding, a thin band of dentils, gable detailing and decorative scrollwork. Once having four chimneys, there are now at least two visible chimney stacks.

There are at least twelve windows on the façade. They are asymmetrically spaced and consist of 6 wood sash, 1/1, double-hung windows located on the first and second story of the front façade, and one wood sash, 1/1 lite, two-part fixed window with the top pane being stained glass. The door is framed by a transom and a window rests in the center of each wood paneled door.

The residence has a wrap-around porch with rounded pillars and wooden railing. Glass transom windows frame the top of the wrap-around porch. There is another entry at the rear of the house, which is accessed by stairs. There is a simple porch at the rear of the residence.



602 Figueroa Street – South Elevation

³⁵ To determine foundations, the author consulted numerous resources: Sacramento County Assessor appraisal records, Virginia and Lee McAlester's *A Field Guide to American Houses*, numerous site visits, correspondence with architectural historians, Janice Calpo and Andrea Galvin, to acquire knowledge on the history of foundation materials, and a site visit with an individual having construction and building experience.

CITY REGISTER OF HISTORIC PLACES REGISTRATION FORM

602 Figueroa Street Continued:

There is one ancillary building at the rear of the Burnham house built in approximately 1935 according to the appraiser's record. It is a two-story apartment building clad in asbestos and vertical board siding. It is covered by a low pitched, side-gabled roof with composition shingles. The east elevation, facing Scott Street, contains a stairwell leading into a recessed entryway.

The house sits on a corner lot behind a lawn, palm trees and a variety of trees and plants. A concrete walkway leads from the street to the front stairs.

Construction History

This building was constructed in 1891. James Burnham's father-in-law Reuben Clark helped design the Queen Anne residence. Reuben Clark, along with M.F. Butler, designed the California State Capitol building in Sacramento.³⁶ Importing tile from England, ordering stained glass windows and installing four hand carved fireplaces, the Burnhams furnished a lavish residence. While under the Hill's ownership, the Burnham house underwent a magnificent restoration process, as well as, some changes: the kitchen was modernized, two upstairs bedrooms were turned into an apartment and a bath was added downstairs.³⁷ In 1959, Mr. and Mrs. Vossen purchased the Burnham house and Mrs. Vossen continues to own the building at present.

Since their purchase in 1959, the Vossens have not made any alterations within the house except for remodeling the damage from the fire which primarily destroyed the back of the residence.³⁸

Prior to a 1975 fire, the Burnham residence had ten rooms and was three stories.³⁹ Previous to the fire, the house consisted of a basement which served as a laundry room; a first floor consisting of living rooms, a kitchen, a bath, and a dining room; a second floor consisting of bedrooms, baths and a kitchenette; and an attic which was full length, not partitioned, with a wood floor. The attic was used as a recreational room.

In 1975, an electrical fire began in the basement and traveled up the back of the house. Extensive damage was also done in the act of putting out the fire (pouring thousands of gallons of water onto the house). After the fire, the attic was quite lost (though a few feet of space remain), the bath and the kitchenette on the second floor were lost, and the kitchen and one bath on the first floor were lost. The staircase that leads to the attic was also lost in the fire.⁴⁰

Apart from the fire and its subsequent remodeling, little change has occurred to the exterior of the home while the Vossens have occupied the house. The posts are original on the porch, but not the railing. The brown railing on the porch was added by the Vossens. Previously they had white crisscross railing. Window panes have been replaced only as needed. Regarding the front door, there was a cut glass window in the door and atop the door, but they were taken down. One of the three windows was stolen, and the other two remain in storage.⁴¹

³⁶ Nancy Bodenhausen, "Historic Folsom Houses: The James H. Burnham Residence," *The Gaslight*, February 1990, n.p. Available at the Folsom History Museum in the Burnham House research binder.

³⁷ "Past Relived: Folsom Mansion Restored to Its Olden Splendor," unknown newspaper source found in the Burnham House research binder at the Folsom History Museum.

³⁸ Trish Vossen Owen and Lauraine Vossen, interview by Tory Swim, March 22, 2006.

³⁹ Coverage of the Burnham house fire, *The Sacramento Bee*, September 6, 1975. Available at the Folsom History museum in the Burnham House research binders.

⁴⁰ Trish Vossen Owen, interview by Tory Swim, March 22, 2006.

⁴¹ Trish Vossen Owen, interview by Tory Swim, March 22, 2006.

**CITY REGISTER OF HISTORIC PLACES
REGISTRATION FORM**

602 Figueroa Street Continued:

When the Vossens bought the property there was a garage with apartments above it. The Vossens converted the ancillary building into two apartments. There used to also be a carport, but it is now gone as a result of a tree falling on it after the Vossens purchased the property.⁴²

Ownership History

James H. Burnham, the first owner of 602 Figueroa, ran a drugstore exclusively from 1864 to 1878 at which time he bought a bank. Recognized as one of the wealthiest residents in Folsom in 1894, James Burnham was noted for his identification “with all the movements that have been made for the good of the commonwealth since he entered into business for himself in that place in 1864.”⁴³

Burnham lived on the lot on which 602 Figueroa rests, prior to the construction of the current Queen Anne. Burnham and his wife originally lived in a more modest home at the same location. Burnham moved the home across the alley to the rear, and by 1891 he had constructed a three-story Queen Anne. James Burnham’s father-in-law, Reuben Clark, helped design this Queen Anne residence. Reuben Clark, along with M.F. Butler, designed the California State Capitol building in Sacramento. Importing tile from England, ordering stained glass windows and installing four hand carved fireplaces, the Burnhams furnished a lavish residence. The Burnhams continued to live in the residence until 1918.⁴⁴ From 1918 to 1932 a local butcher and county supervisor John Russi took up residence. During the 1930s the Bank of Folsom acquired ownership of the residence, as well as, Merle M. Black and a Mr. Williams. In 1942 the residence was purchased by Mr. and Mrs. E.W. Hill and they continued to own the home until selling it in 1959 to the present owner, Lauraine Vossen.

This property contributes to the character and eligibility of the district for listing on the City of Folsom Cultural Resources Inventory under Criterion C.

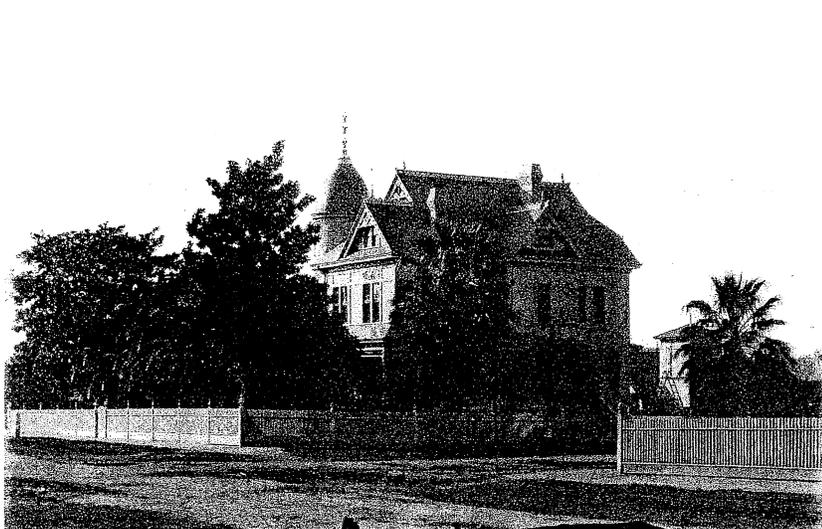
⁴² Trish Vossen Owen, interview by Tory Swim, March 22, 2006.

⁴³ *Sacramento County and Its Resources: Our Capital City, Past and Present; A Souvenir of the Bee* (Sacramento, CA: J. McClatchy & Co., 1894), 176.

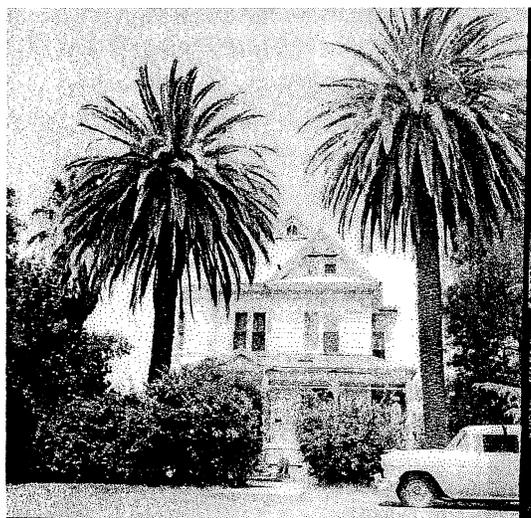
⁴⁴ Nancy Bodenhausen, “Historic Folsom Houses: The James H. Burnham Residence,” *The Gaslight*, February 1990, n.p. Available at the Folsom History Museum in the Burnham House research binder.

**CITY REGISTER OF HISTORIC PLACES
REGISTRATION FORM**

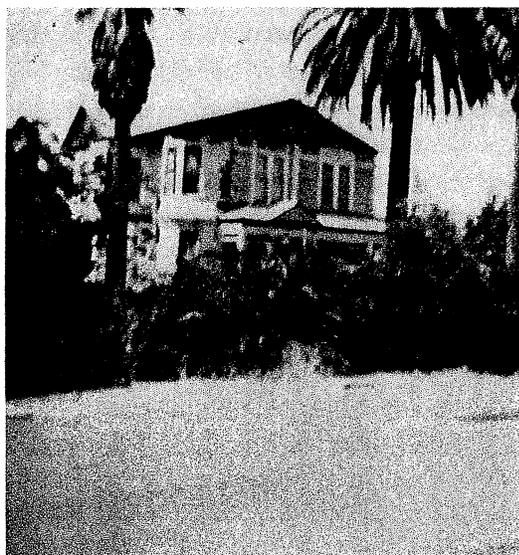
602 Figueroa Continued:



**(Courtesy of the Folsom History Museum, Photograph taken on
January 12, 1910)**



**(Courtesy of the Folsom Historical
Society, date unknown)**



**(Courtesy of the Folsom Historical Society,
taken after September 1975 fire)**

Historic District Commission
602 Figueroa Street Addition (PN 21-089)
November 3, 2021

Attachment 10
Letter from Folsom Heritage Preservation
League, Dated 5/20/21

**HERITAGE PRESERVATION LEAGUE OF FOLSOM
PROJECT APPLICATION REVIEW**

May 20, 2021

PROJECT: Historical Reconstruction and Building Addition at 602 Figueroa Street (File: 21-089)

REQUEST: Residential Design Review

PROJECT

HISTORY: Application Circulated by City on May 7, 2021 (feedback requested by May 21).

RECONSTRUCTION:

The Burnham House is a prominent residence in the ‘Nob Hill’ area of the Historic District. However, after a fire in 1975 the original raised tower, steep roof and attic space had to be demolished. The Heritage Preservation League welcomes the reconstruction of these features.

As a part of the project, the ridge line of the main roof will be raised from 30’-9” to approximately 37’-6” and the round tower element will peak at approximately 44’-9”. It is HPL’s impression that the exterior facades of the added attic space should closely resemble the original home (as documented on photos at Folsom History Museum).

BUILDING ADDITION:

The residence at 602 Figueroa Street is located at the center of a 100’x 140’ property, and the existing structure meets all setback requirements. The building addition will not increase the current building footprint, but the applicant is requesting to expand the second floor and the attic space over the existing first floor. A porch cover is also proposed to be added over the existing rear porch.

Because the windows and architectural detailing along the new facades are proposed to match the existing residence, it is HPL’s opinion that the addition will appear to be a part of the original structure.

ARCHITECTURE:

After reviewing the submittal package, the Board Members have several remaining questions. All existing design details have not been incorporated with the Existing Facades (see Sheet A-5) and HPL has also identified some discrepancies between these drawings and the existing building (including windows, architectural details and façade materials). Before the project is presented to the Historic District Commission, HPL recommends that the applicant should submit a photo of each building facade and also provide a detailed list of all requested building modifications and deviations from the original building design. It would also be helpful if the applicant prepares a proposed roof plan.

Based on the current project information, HPL has prepared the following list of questions and recommendations:

1. Describe the extent of the initial demolition (including the existing roof and the gable along the east elevation).

(It is not clear why the gable along the east elevation will need to be removed and replaced by a smaller gable style dormer.)

2. Maintain variety along the east façade by using wall shingles (not siding) for the protruding portion of the second story (below the gable).
(As currently existing.)
3. Specify how the existing mix of standard and scalloped wall shingles will be continued along the second floor building addition.
(Only standard wall shingles have been shown along the Proposed Building Elevations.)
4. Clarify if the narrow roof area that visually divides the first and second floor will remain (located on the tower feature and above the east facing bay windows).
(The existing roof detail has not been included with the Existing or Proposed Building Elevations.)
5. Preserve the decorative plaster detail along the second floor of the east elevation.
(The existing architectural detail has not been included with the Existing or Proposed Building Elevations.)
6. Specify that the foundation cover below the porch facing Figueroa Street and Scott Street should be lattice work.
(Appears to be changes to lap siding on the Existing and Proposed Building Elevations).

HPL is hoping to gain greater understanding of the proposed reconstruction project and building expansion at 602 Figueroa Street before the project is presented to the Historic District Commission.