





ACCESSIBILITY NOTES:

PER 2019 CBC SECTION 11B-1006.2.6.1 ACCESSIBLE GROUND SURFACES. GROUND SURFACES ON ACCESSIBLE ROUTES, CLEAR FLOOR OR GROUND SPACES, AND TURNING SPACES SHALL COMPLY WITH ASTM F 1951. GROUND SURFACES SHALL BE INSPECTED AND MAINTAINED REGULARLY AND FREQUENTLY TO ENSURE CONTINUED COMPLIANCE TO ASTM F 1951.

PER 2019 CBC 11B-403.3 SLOPE. THE RUNNING SLOPE OF WALKING SURFACES THROUGHOUT THE FOLSOM PRISON BREWS PROPERTY NOT BE STEEPER THAN 1:20. THE CROSS SLOPE OF WALKING SURFACES SHALL NOT BE STEEPER THAN 1:48. EXCEPTION: THE RUNNING SLOPE OF SIDEWALKS SHALL NOT EXCEED THE GENERAL GRADE ESTABLISHED FOR THE ADJACENT STREET OR HIGHWAY.

FIRE AND LIFE SAFETY NOTES:

A. PER 2019 CFC SECTION 903.2.1.2 GROUP A-2. AN AUTOMATIC SPRINKLER SYSTEM SHALL BE PROVIDED THROUGHOUT STORIES CONTAINING A-2 OCCUPANCIES AND THROUGHOUT ALL STORIES FROM THE GROUP A-2 OCCUPANCY TO AND INCLUDING LEVELS OF EXIT DISCHARGE SERVING THAT OCCUPANCY WHERE ONE OF THE FOLLOWING EXISTS:

(2) THE FIRE AREA HAS AN OCCUPANT LOAD OF 100 OR MORE.

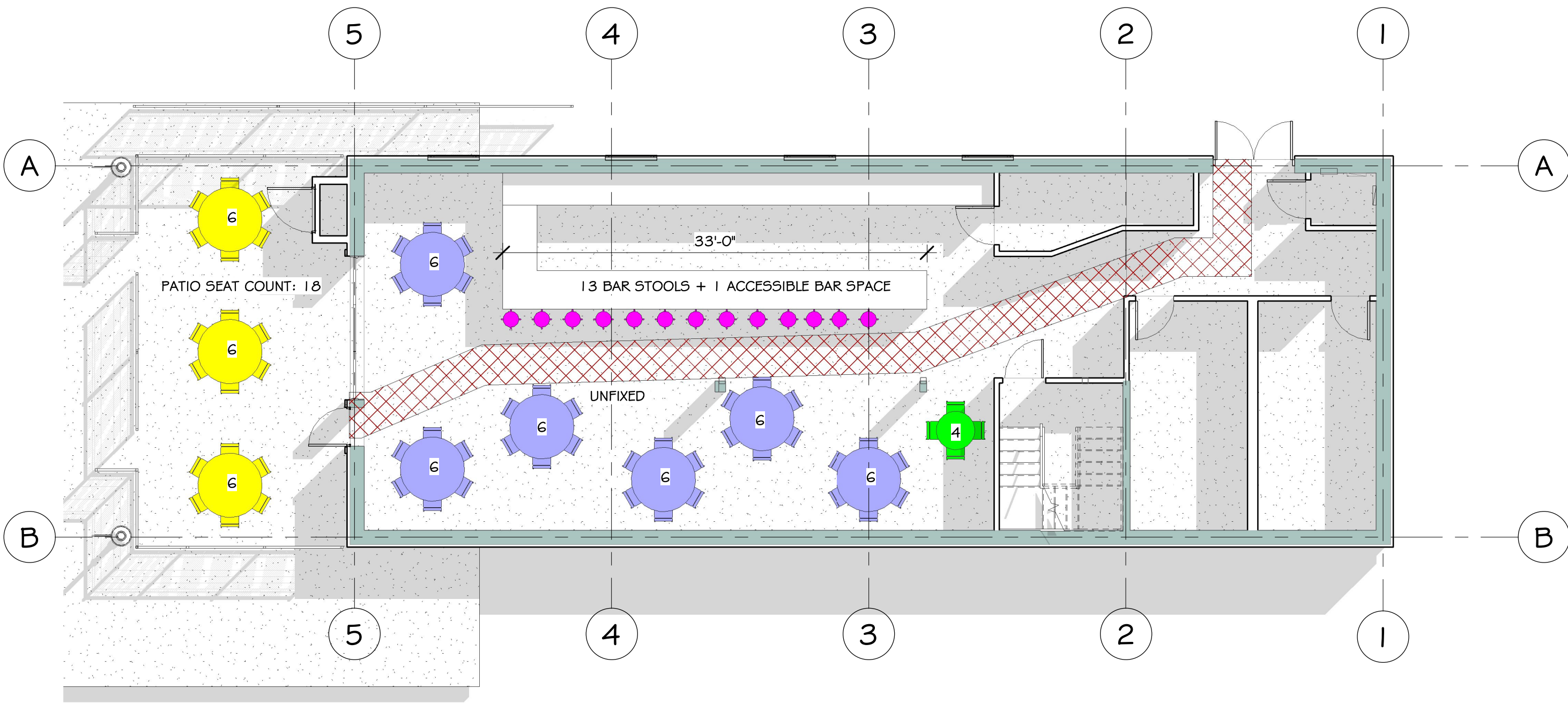
B. PER 2019 CBC SECTION (F)903.2.1.1 SPECIFIC BUILDING AREAS AND HAZARDS AND SECTION 903.2.1.1.1 STORIES WITHOUT OPENINGS, THE LEVEL TWO (OCCUPANCY 5-2) WILL BE REQUIRED TO HAVE AUTOMATIC SPRINKLER SYSTEM INSTALLED. THE OPENINGS ON LEVEL TWO DO NOT COMPLY WITH SECTION (F) 903.2.1.1.1 (2) AND SECTION (F) 903.2.1.1.1.1.

CURRENTLY, THERE ARE NO AUTOMATIC SPRINKLER SYSTEMS IN THE BUILDING.

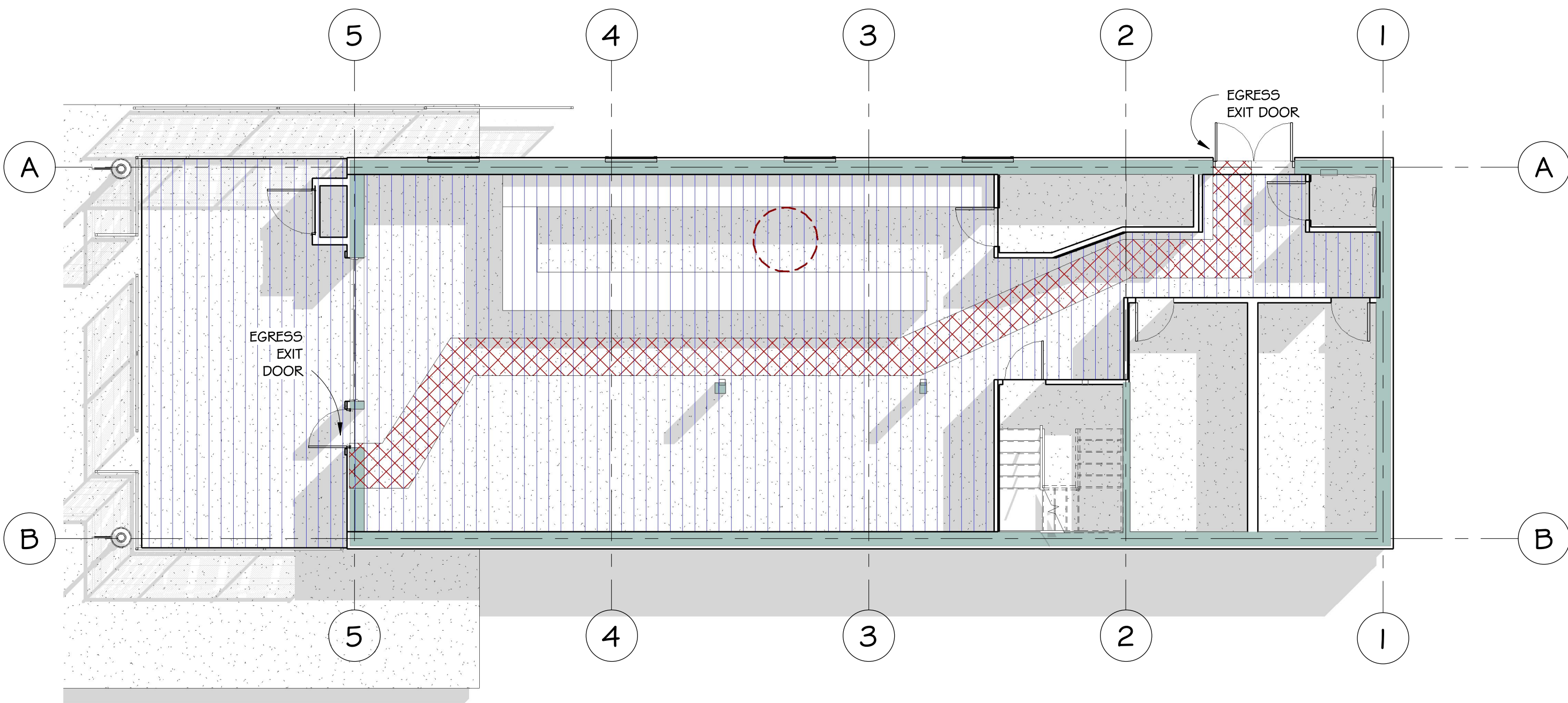
B. PER 2019 CFC SECTION 906 PORTABLE FIRE EXTINGUISHERS. PORTABLE FIRE EXTINGUISHERS SHALL BE INSTALLED IN NEW AND EXISTING GROUP A OCCUPANCIES.

NOTE! PROVIDE ONE PORTABLE FIRE EXTINGUISHER BEHIND THE BAR, ONE PORTABLE FIRE EXTINGUISHER IN THE ELECTRICAL / FIRE ALARM CLOSET AND ONE FIRE EXTINGUISHER ON THE LOWER TWO STORAGE ROOM NEAR THE STAIR. THE PORTABLE FIRE EXTINGUISHER SHALL CONFORM TO THE REQUIREMENTS OF CALIFORNIA CODE OF REGULATIONS, TITLE 19, DIVISION 1, CHAPTER 3, AND SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH GUIDES ESTABLISHED THEREIN. SEE THE FLOOR PLANS FOR LOCATION OF EXTINGUISHERS.

C. PER TABLE 1004.1.2 IN 2019 CBC, THE OCCUPANT LOAD FACTOR (OLF) FOR AN ASSEMBLY OCCUPANCY WITHOUT FIXED SEATS: UNCONCENTRATED (TABLES + CHAIRS) IS 15 NET. THE OCCUPANCY LOAD FACTOR IS BASED ON THE NET FLOOR AREA, THE CALCULATION IS BASED ON THE ACTUAL OCCUPIED AREA. NONOCCUPIABLE SPACES LIKE CORRIDORS, STAIRS, BATHROOMS, ELEGANCE ROOMS, CLOSETS AND FIXED EQUIPMENT ARE SUBTRACTED FROM THE TOTAL AREA TO DETERMINE THE NET FLOOR AREA. OUTDOOR SEATING AREA SHALL BE INCLUDED IN THE OCCUPANT LOAD. THEREFORE, THE TOTAL OCCUPANT LOAD FOR THE PROJECT IS 139. (2080 SF DIVIDED BY 15 OLF = 139 OCCUPANCY LOAD).



2 FURNITURE LAYOUT PLAN  
1/8" = 1'-0"



1 FIRE LIFE SAFETY FLOOR PLAN  
1/8" = 1'-0"

SHEET LEGEND:

- BAR STOOL (13 COUNT)
- 36" DIA TABLE + 4 CHAIRS (1 COUNT)
- 60" DIA. TABLE + 6 CHAIRS (6 INTERIOR COUNT, 3 EXTERIOR COUNT)
- NET OCCUPIABLE AREA: 2080 SF
- 36" MIN WIDE EGRESS ROUTE

Murray Weaver

BARLEY BARN TAP HOUSE  
608-1/2 Sutter Street  
Folsom, CA 95630  
APN: 070-0061-011-0000

FIRE LIFE SAFETY PLAN,  
ACCESSIBILITY PLAN AND  
FURNITURE PLAN

Project number 2018RK10

Date Issue Date

Drawn by Reggie Konet, AIA

Checked by Checker

G3.0

Scale 1/8" = 1'-0"

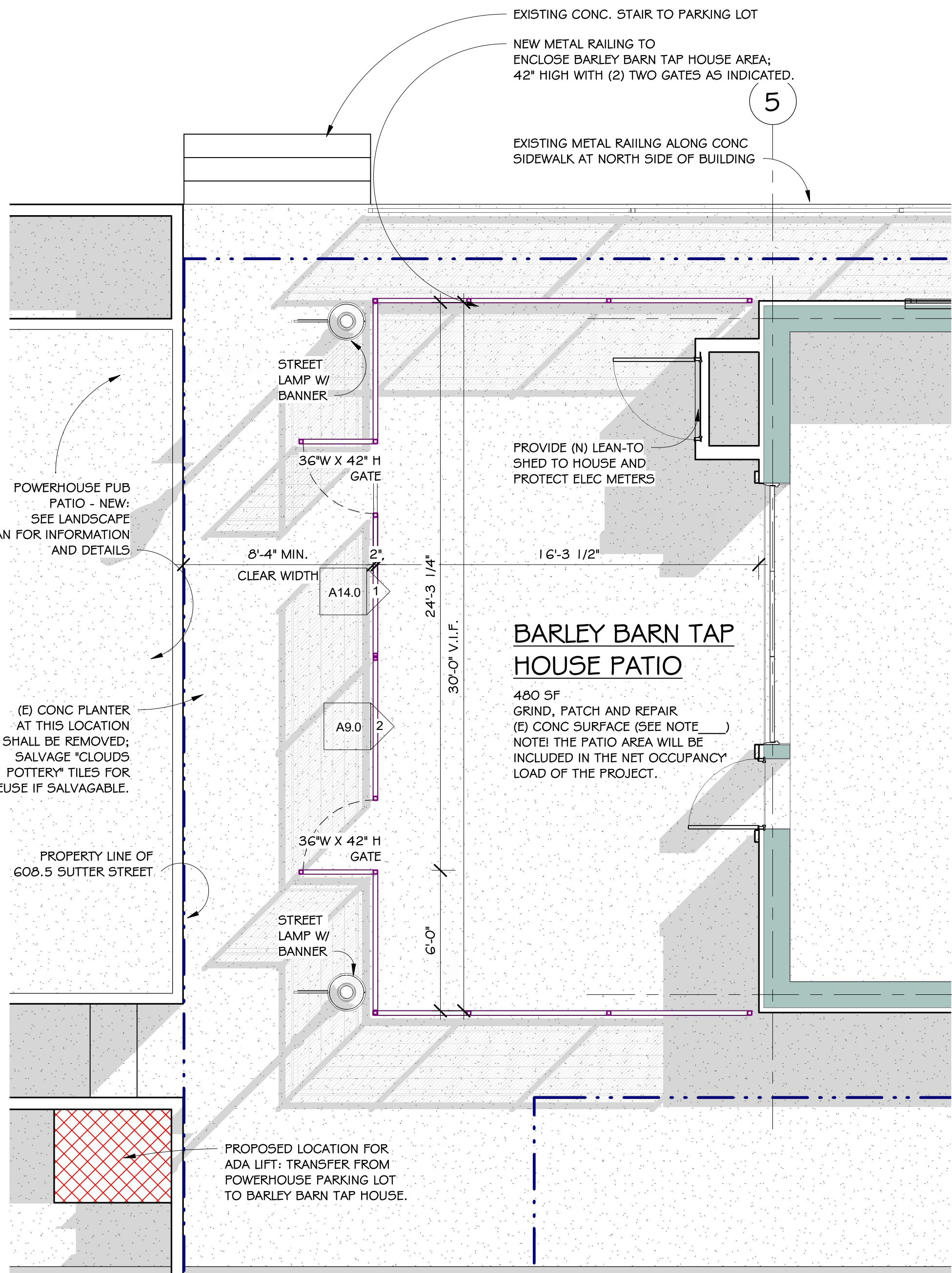




EXISTING OVERHEAD VIEW

NO SCALE

3



FOLSOM PRISON BREWS PATIO PLAN

1/4" = 1'-0"

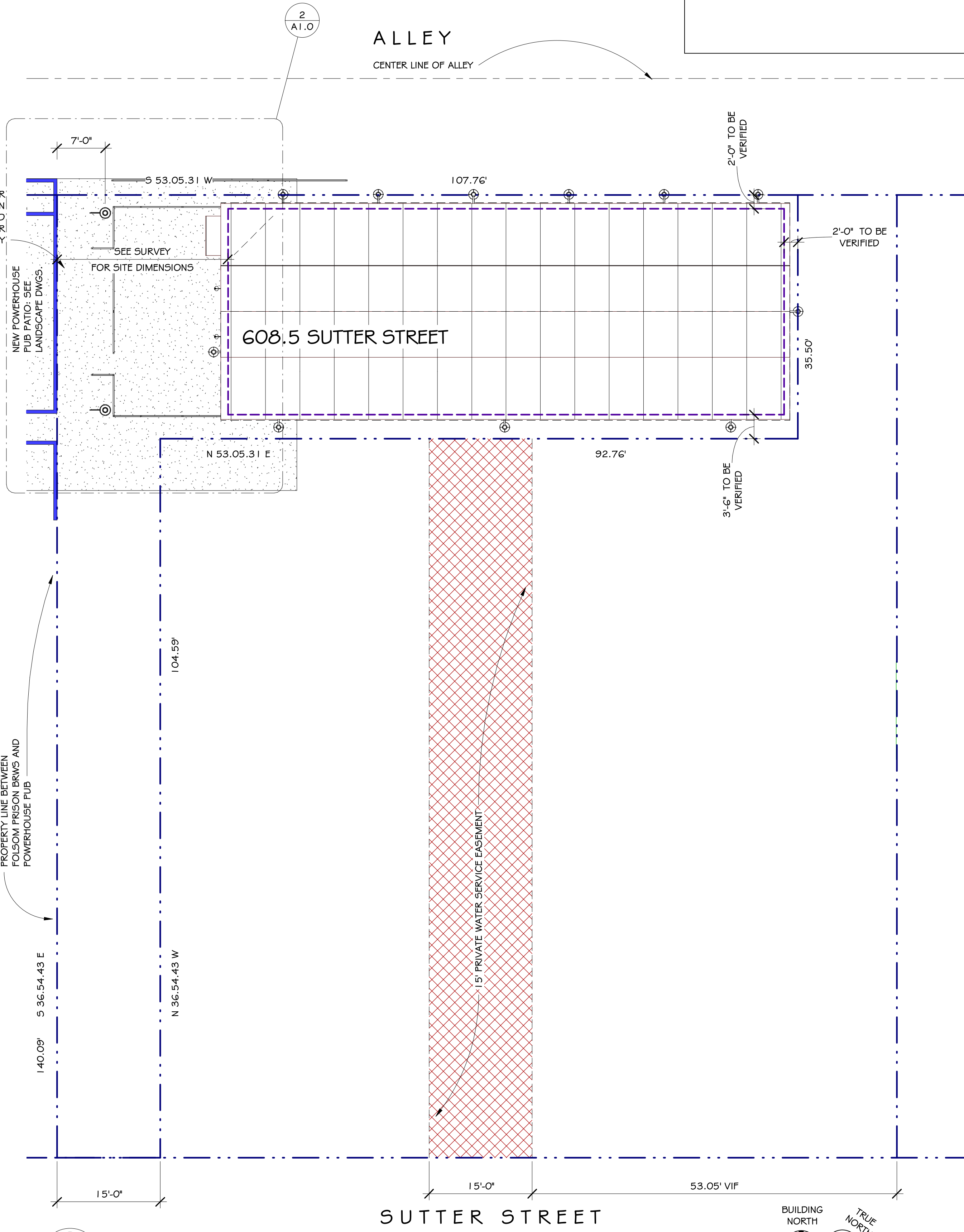
2

SITE PLAN NOTES:

1. ALL SITE AND BUILDING LOCATION INFORMATION TO BE VERIFIED BY LICENSED SURVEYOR OR CIVIL ENGINEER. THE INFORMATION SHOWN ON THIS DRAWING WAS DERIVED FROM THE SURVEY BY WILLIAM D. PACKARD, LICENSED LAND SURVEYOR, DATED 1/22/78.
2. LEGAL DESCRIPTION: PARCEL 111, 608.5 SUTTER STREET, FOLSOM, CA APN 70-061-111
3. LOT SIZE: 0.1238 ACRE
4. FOR LANDSCAPE INFORMATION AND DRAWING, SEE LANDSCAPE PLAN BY FIVE STAR LANDSCAPE, MICHAEL SHULAR LA, 916-989-3372 OR INFO@MSLADESIGN.COM

SHEET LEGEND

- EXISTING WALL CONSTRUCTION
- NEW RECLAIMED WOOD VENEER
- POWERHOUSE PUB WALL
- PROPERTY LINE



SITE PLAN - ARCHITECTURAL

1" = 10'-0"

1

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No.	Description	Date
A	HDC REVIEW SET	16SEP21

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BARLEY BARN TAP HOUSE  
608-1/2 Sutter Street  
Folsom, CA 95630  
APN: 070-0061-011-0000

SITE PLAN -  
ARCHITECTURAL

Project number	2018RK10
Date	Issue Date
Drawn by	Reggie Konet, AIA
Checked by	Checker

A1.0

Scale As indicated

9/15/2021 5:47:57 PM



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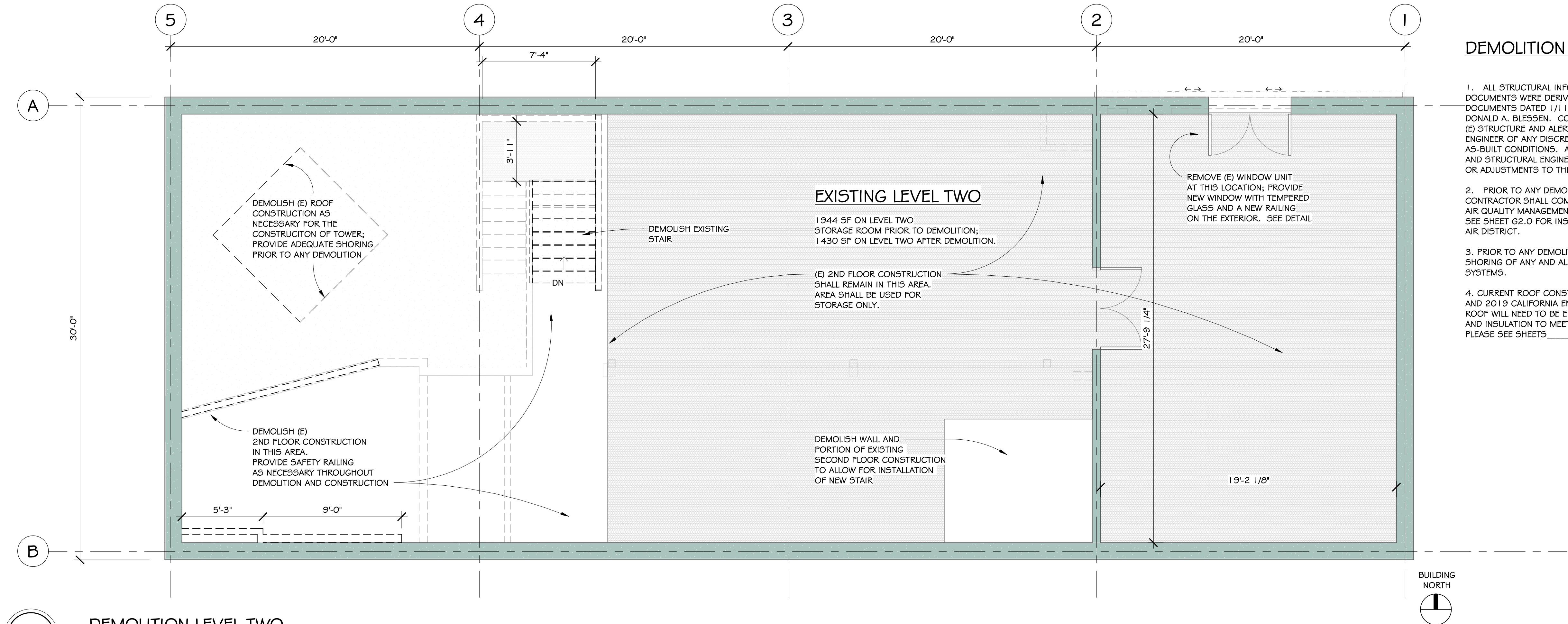
DEMOLITION PLANS

Project number	2018RK10
Date	Issue Date
Drawn by	Reggie Konet, AIA
Checked by	Checker
Scale	1/4" = 1'-0"

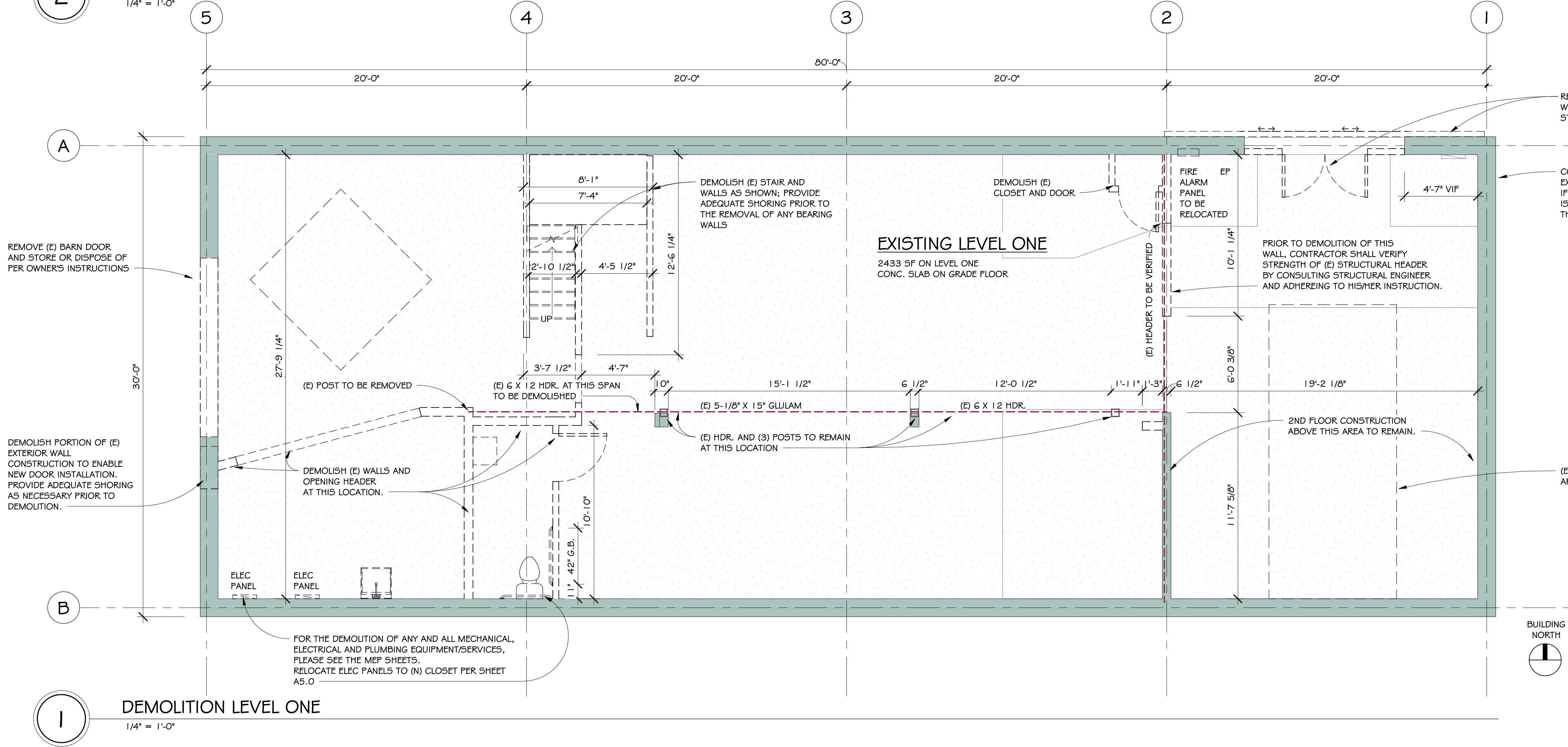
A2.0

DEMOLITION NOTES:

1. ALL STRUCTURAL INFORMATION ON THESE CONSTRUCTION DOCUMENTS WERE DERIVED FROM THE OWNER PROVIDED CONSTRUCTION DOCUMENTS DATED 1/1/1996 AND DRAWN BY DONALD A. BLESSEN. CONTRACTOR SHALL FIELD VERIFY ALL (E) STRUCTURE AND ALERT THE OWNER, ARCHITECT AND STRUCTURAL ENGINEER OF ANY DISCREPANCIES BETWEEN THE DRAWINGS AND THE AS-BUILT CONDITIONS. ALL WORK SHALL STOP UNTIL THE ARCHITECT AND STRUCTURAL ENGINEER HAVE PROVIDED NECESSARY REVISIONS OR ADJUSTMENTS TO THE DESIGN.
2. PRIOR TO ANY DEMOLITION OR CONSTRUCTION, OWNER AND/OR CONTRACTOR SHALL COMPLY WITH THE SACRAMENTO METROPOLITAN AIR QUALITY MANAGEMENT DISTRICT'S RULES AND REGULATIONS STATEMENT. SEE SHEET G2.0 FOR INSTRUCTIONS ON CONTACTING THE SAC METRO AIR DISTRICT.
3. PRIOR TO ANY DEMOLITION, CONTRACTOR SHALL PROVIDE ADEQUATE SHORING OF ANY AND ALL AFFECTED STRUCTURAL ELEMENTS AND SYSTEMS.
4. CURRENT ROOF CONSTRUCTION IS NON-COMPLIANT PER 2019 CBC AND 2019 CALIFORNIA ENERGY CODE. ROOF WILL NEED TO BE EITHER REPLACED WITH COMPLIANT CONSTRUCTION AND INSULATION TO MEET THE CURRENT 2019 CBC. PLEASE SEE SHEETS \_\_\_\_\_.



2 DEMOLITION LEVEL TWO  
1/4" = 1'-0"



1 DEMOLITION LEVEL ONE  
1/4" = 1'-0"

WALL LEGEND

	EXISTING WALL CONSTRUCTION TO REMAIN
	EXISTING WALL CONSTRUCTION TO BE DEMOLISHED
	NEW WALL CONSTRUCTION



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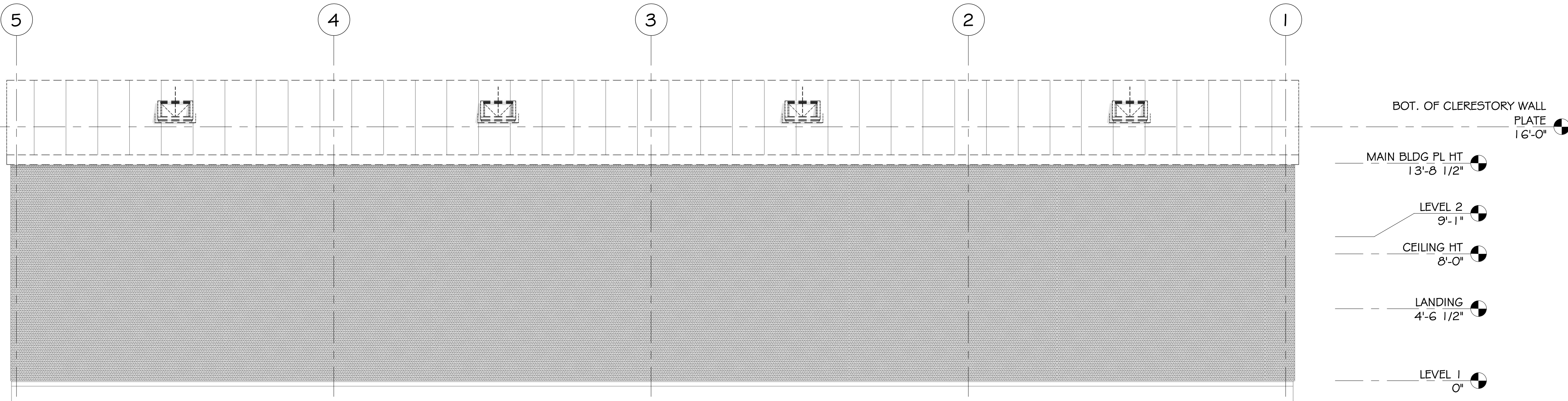
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Folsom, CA 95630  
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DEMOLITION ELEVATIONS

Project number	2018RK10
Date	Issue Date
Drawn by	Reggie Konet, AIA
Checked by	Checker
Scale	1/4" = 1'-0"

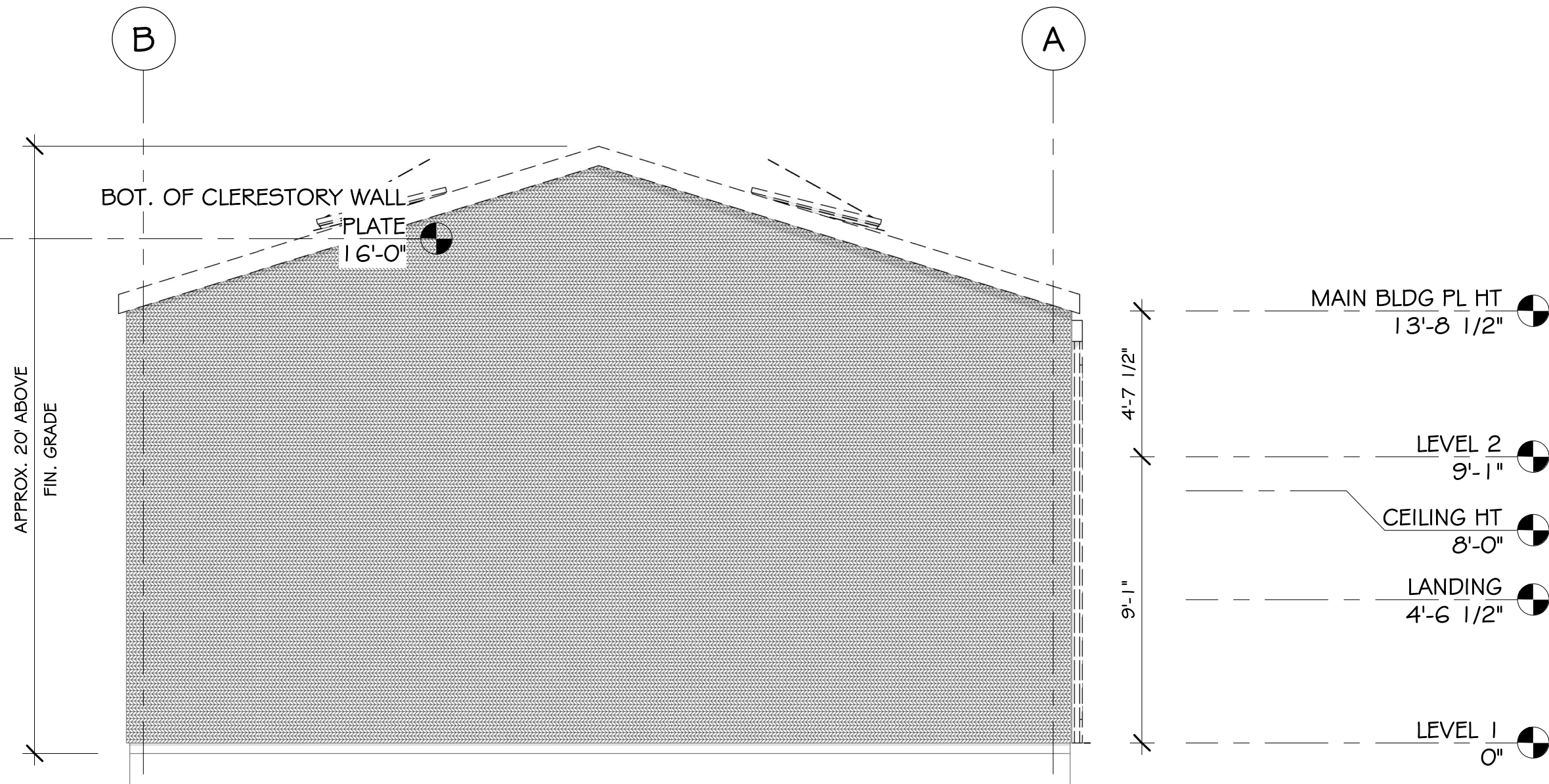
A3.0



4

DEMOLITION SOUTH ELEVATION

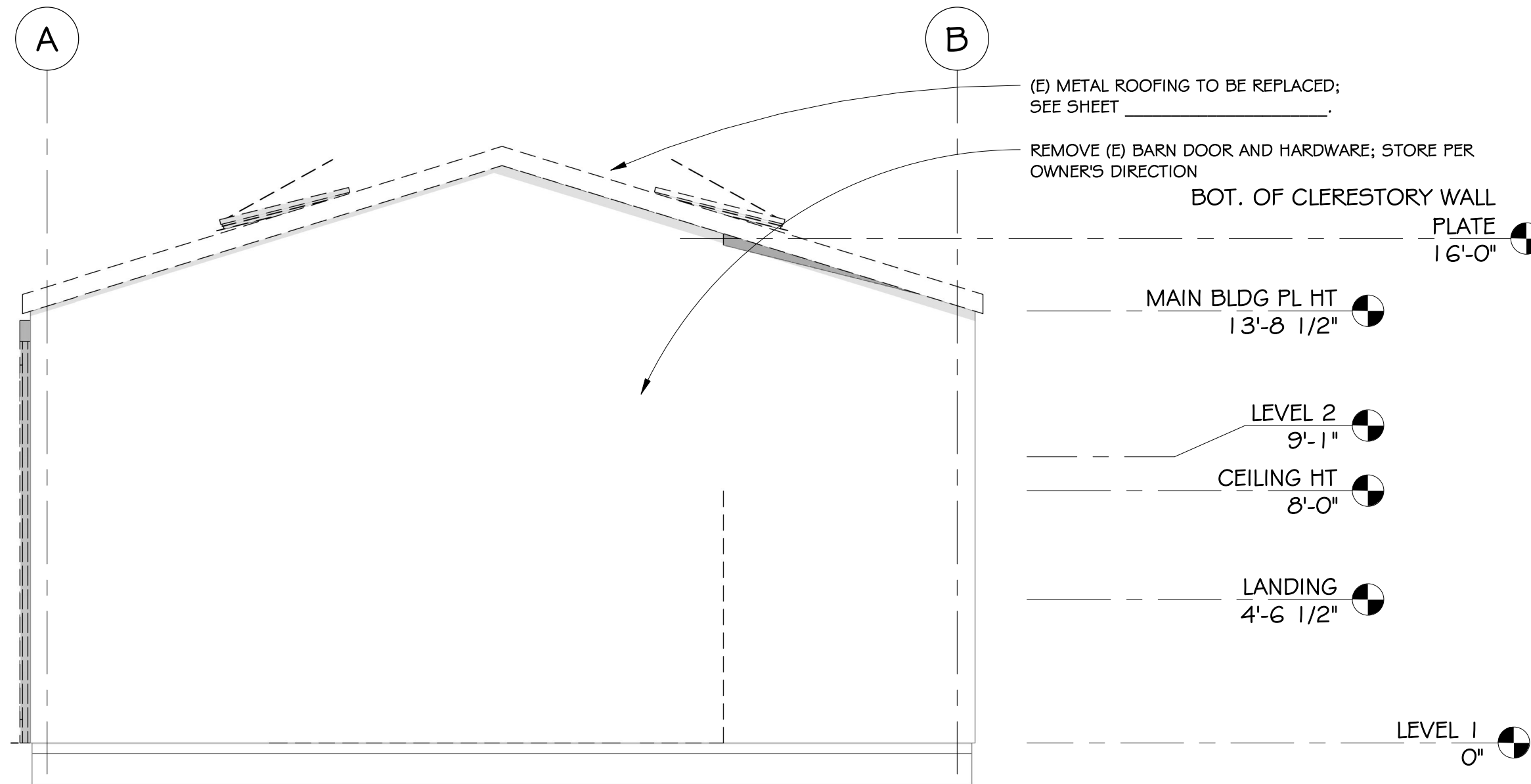
1/4" = 1'-0"



3

DEMOLITION EAST ELEVATION

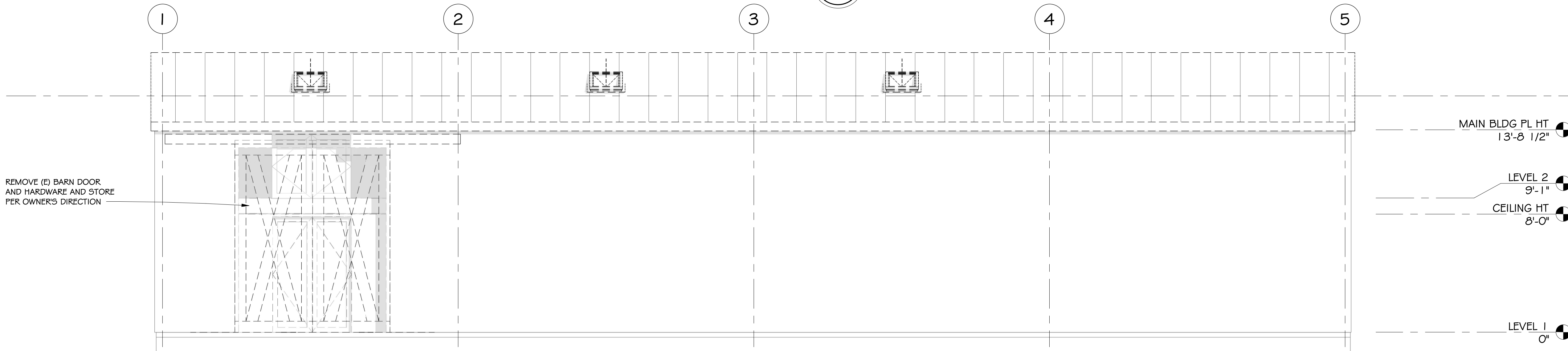
1/4" = 1'-0"



2

DEMOLITION WEST ELEVATION

1/4" = 1'-0"



1

DEMOLITION NORTH ELEVATION

1/4" = 1'-0"



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PROPOSED LEVEL ONE  
PLAN

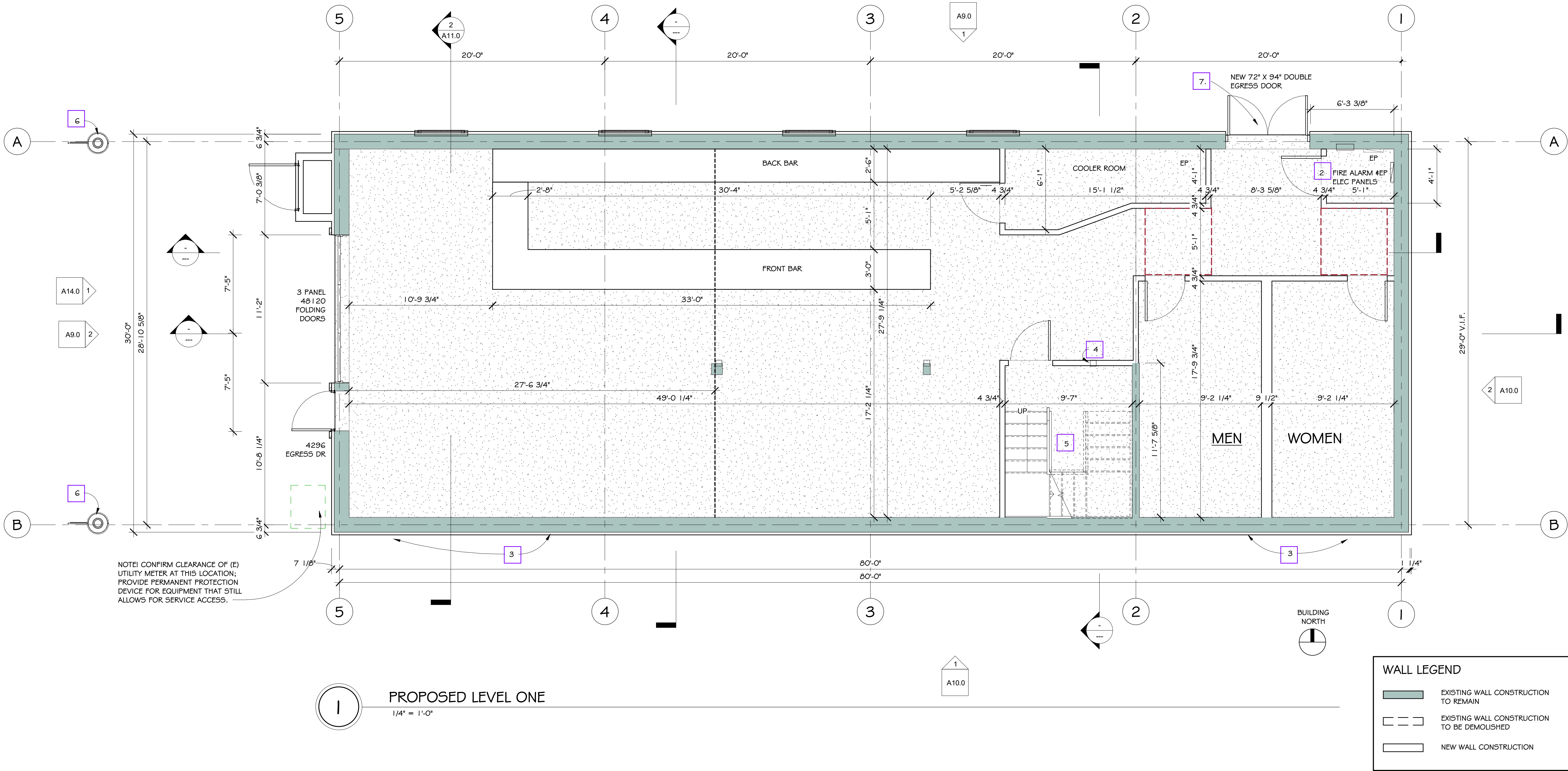
Project number	2018RK10
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A5.0

Scale 1/4" = 1'-0"

LEVEL ONE NOTES:

- CONTRACTOR TO VERIFY CONDITIONS, DIMENSIONS, AND SYSTEMS OF EXISTING BUILDING IN THE FIELD PRIOR TO CONSTRUCTION. IF ANY DESCRENCIES ARE DISCOVERED, CONTRACTOR SHALL ALERT THE ARCHITECT IMMEDIATELY AND NOT PROCEED WITH WORK UNTIL THE ARCHITECT HAS THE OPPORTUNITY TO CLARIFY OR REVIEW THE DESCREPNACY.
- NEW AND UPDATED ELECTRICAL PANELS FIRE ALARM PANEL SHALL BE RELOCATED TO (N) CLOSET AS SHOWN. SEE ELECTRICAL PLANS FOR INFORMATION.
- PROVIDE (N) FAUX STONE VENEER AS INDICATED ON PLANS AND ELEVATIONS. STONE VENEER SHALL WRAP AROUND THE SOUTH ELEVATIONS FOR 4 FEET IN LENGTH AND SHALL TERMINATE AS DETAILED PER SHEET . . . REMAINING UNCLAD EXTERIOR WALL SHALL BE PAINTED DARK GREY. SEE SHEET G1.0 DIVISION .
- ALIGN (N) NORTH STAIRWELL WALL WITH (E) WOOD POST AS INDICATED.
- PROVIDE (N) STAIR TO SECOND FLOOR STORAGE ROOM AT THIS LOCATION.
- PROVIDE (2) NEW POLE LIGHT FIXTURES AT THIS LOCATION. SEE SHEET G1.0 DIVISION FOR ADDITIONAL INFORMATION.
- PROVIDE (N) STEEL FIRE RATED EGRESS DOORS AT THIS LOCATION; SEE SHEET G1.0 FOR ADDITIONAL INFORMATION.





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PROPOSED LEVEL TWO  
PLAN

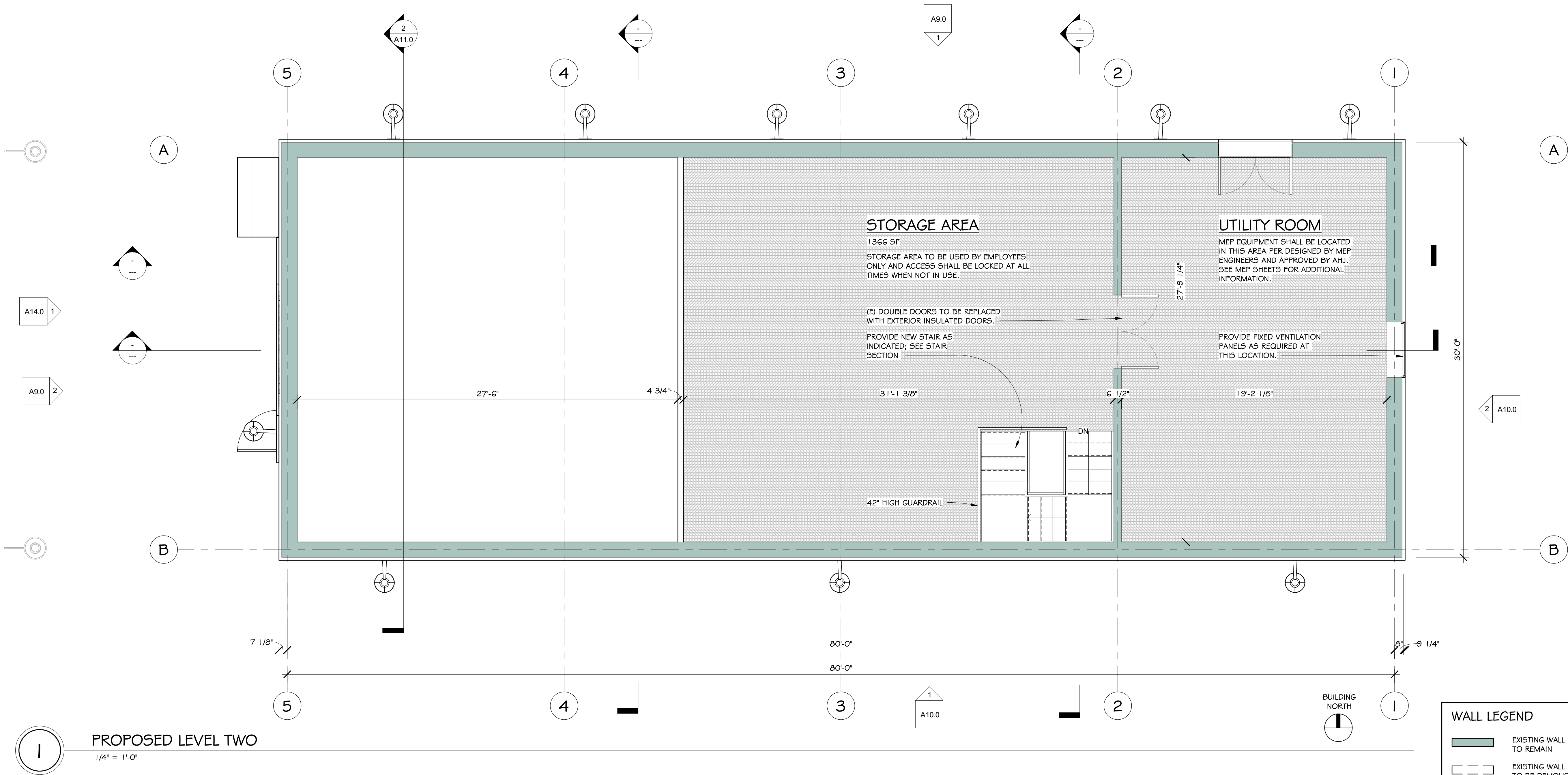
Project number	2018RK10
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Checked by	Checker

A6.0

Scale 1/4" = 1'-0"

LEVEL TWO NOTES:

1. THE (E) LEVEL TWO STORAGE AREA WILL NOT BE A CHANGE IN USE. THE STORAGE AREA AT LEVEL TWO WILL BE REDUCED IN SIZE AS INDICATED.
2. THE LEVEL TWO STORAGE AREA WILL BE FOR EMPLOYEE USE ONLY AND SHALL HAVE A SECURED LOCKED DOOR AT THE ENTRY TO THE (N) STAIRWELL.
3. CONTRACTOR SHALL CONFIRM WITH STRUCTURAL ENGINEER IF THE (E) LEVEL TWO FLOOR CONSTRUCTION IS ADEQUATE AND COMPLIES WITH THE 2019 CBC. IF NOT, THE CONTRACTOR SHALL ADHERE TO THE STRUCTURAL ENGINEERS INSTRUCTIONS TO UPGRADE THE (E) CONDITIONS.



PROPOSED LEVEL TWO

1/4" = 1'-0"



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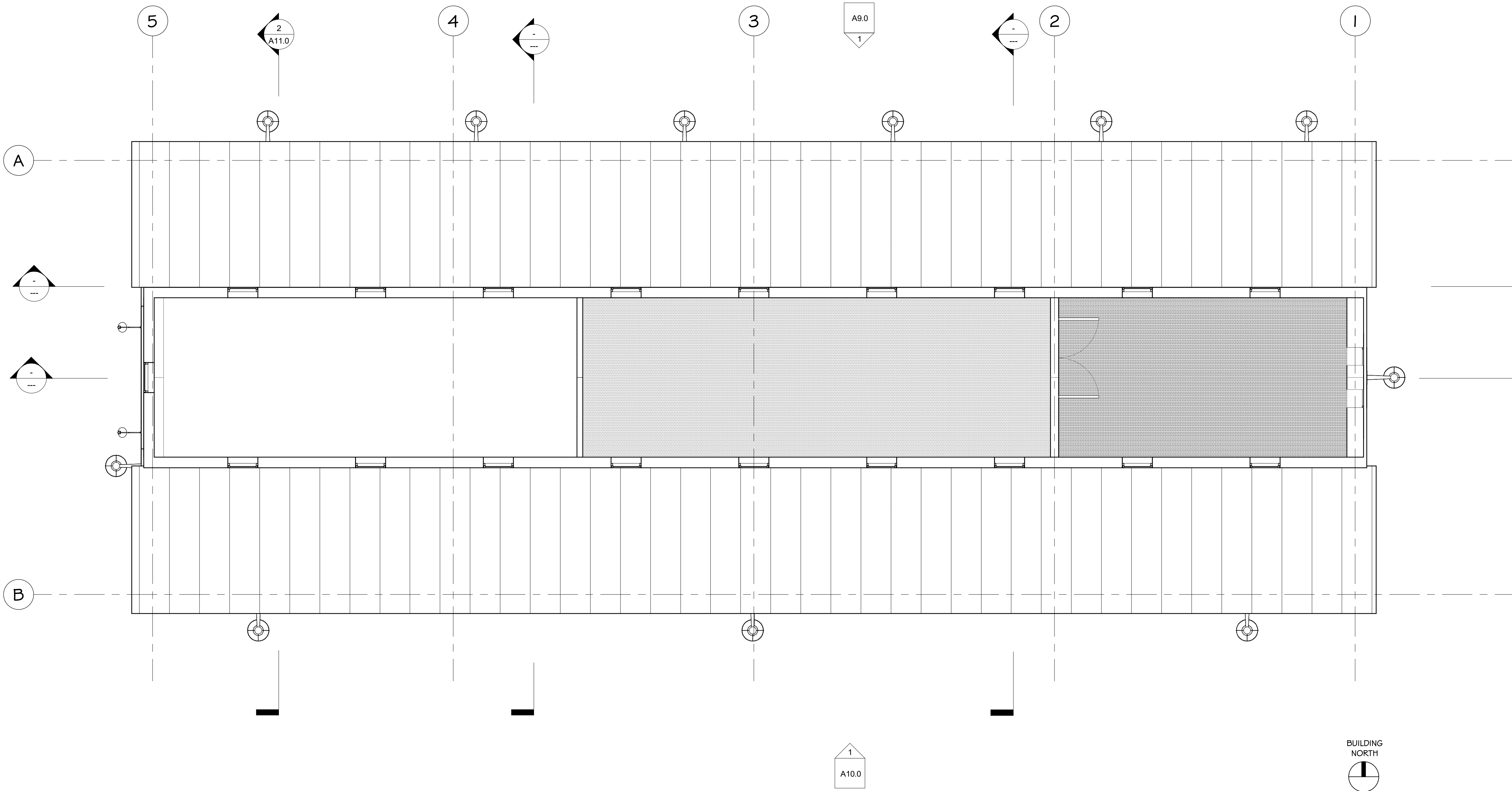
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CLERESTORY LEVEL PLAN

Project number	2018RK10
Date	Issue Date
Drawn by	Reggie Konet, AIA
Checked by	Checker

A7.0

Scale 1/4" = 1'-0"

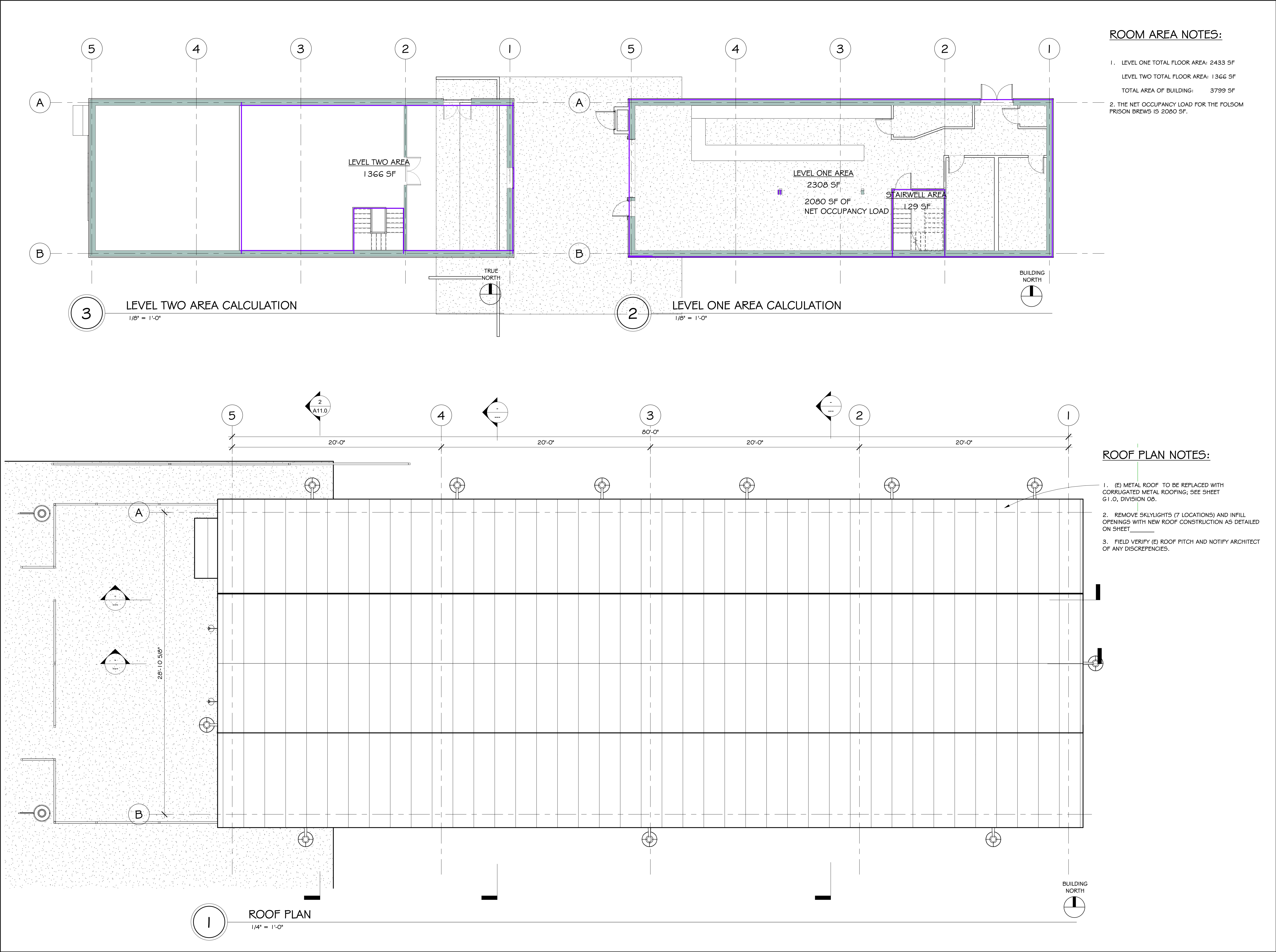


CLERESTORY LEVEL PLAN  
1/4" = 1'-0"

WALL LEGEND

- EXISTING WALL CONSTRUCTION TO REMAIN
- EXISTING WALL CONSTRUCTION TO BE DEMOLISHED
- NEW WALL CONSTRUCTION





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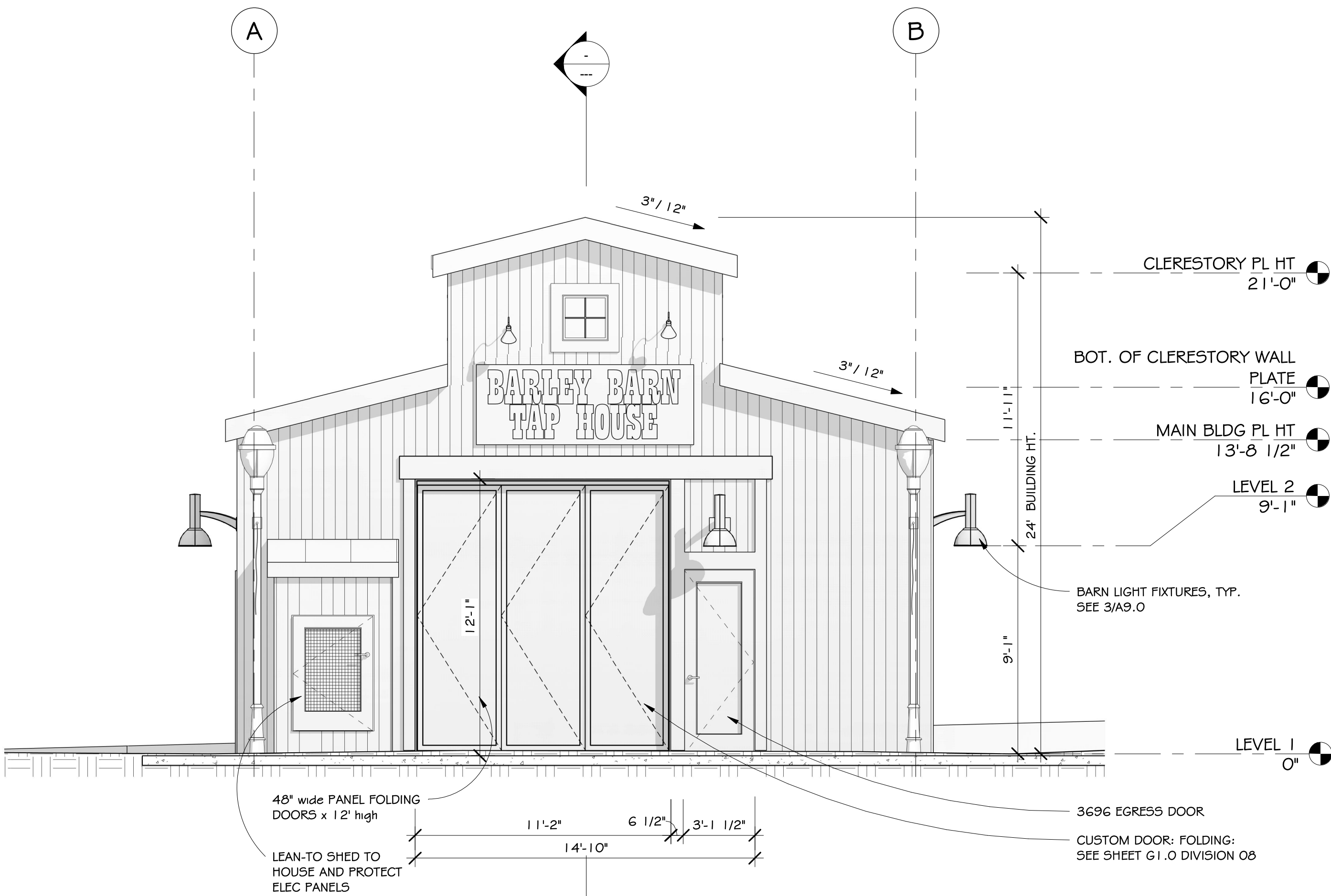
PROPOSED ROOF PLAN

Project number	2018RK10
Date	Issue Date
Drawn by	Reggie Konet, AIA
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# A8.0

Scale As indicated



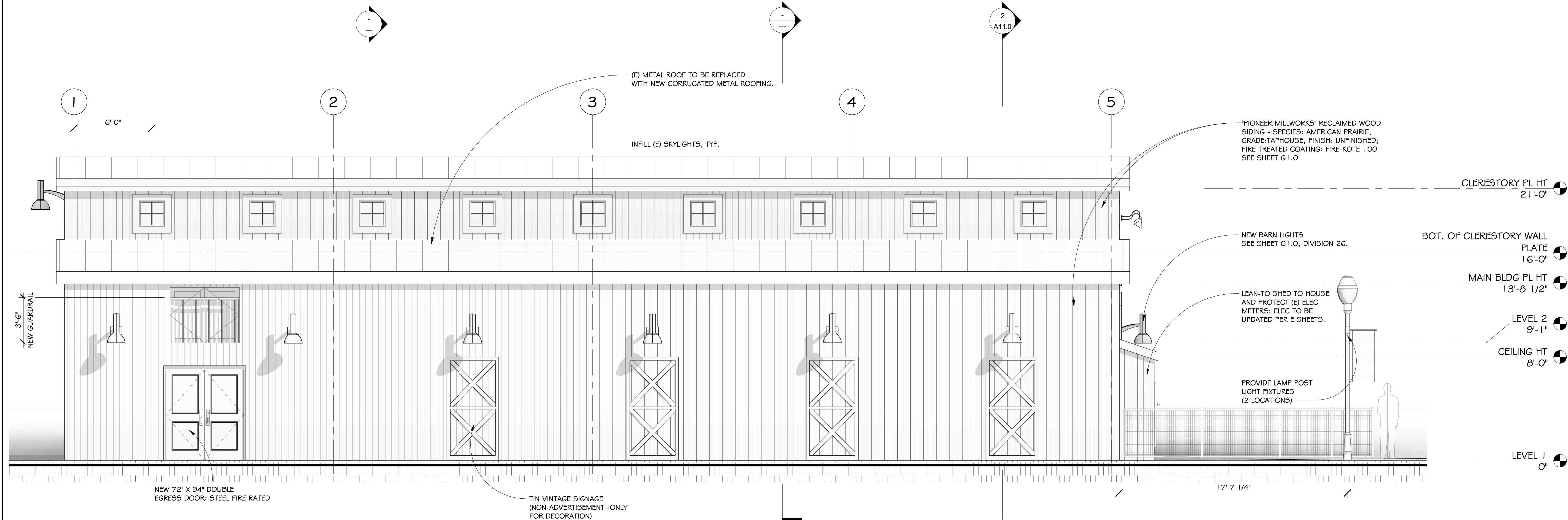


2 PROPOSED WEST ELEVATION  
1/4" = 1'-0"



3 BARN LIGHT DIAGRAM  
NO SCALE

EXTERIOR WALL MOUNTED LIGHTING FIXTURES:  
"BARN LIGHT" ELECTRIC COMPANY"  
1 6" THE ORIGINAL; 975 - GALVANIZED  
622 GOOSENECK ARM



1 PROPOSED NORTH ELEVATION  
1/4" = 1'-0"

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PROPOSED NORTH & WEST  
ELEVATIONS

Project number	2018RK10
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A9.0

Scale As indicated



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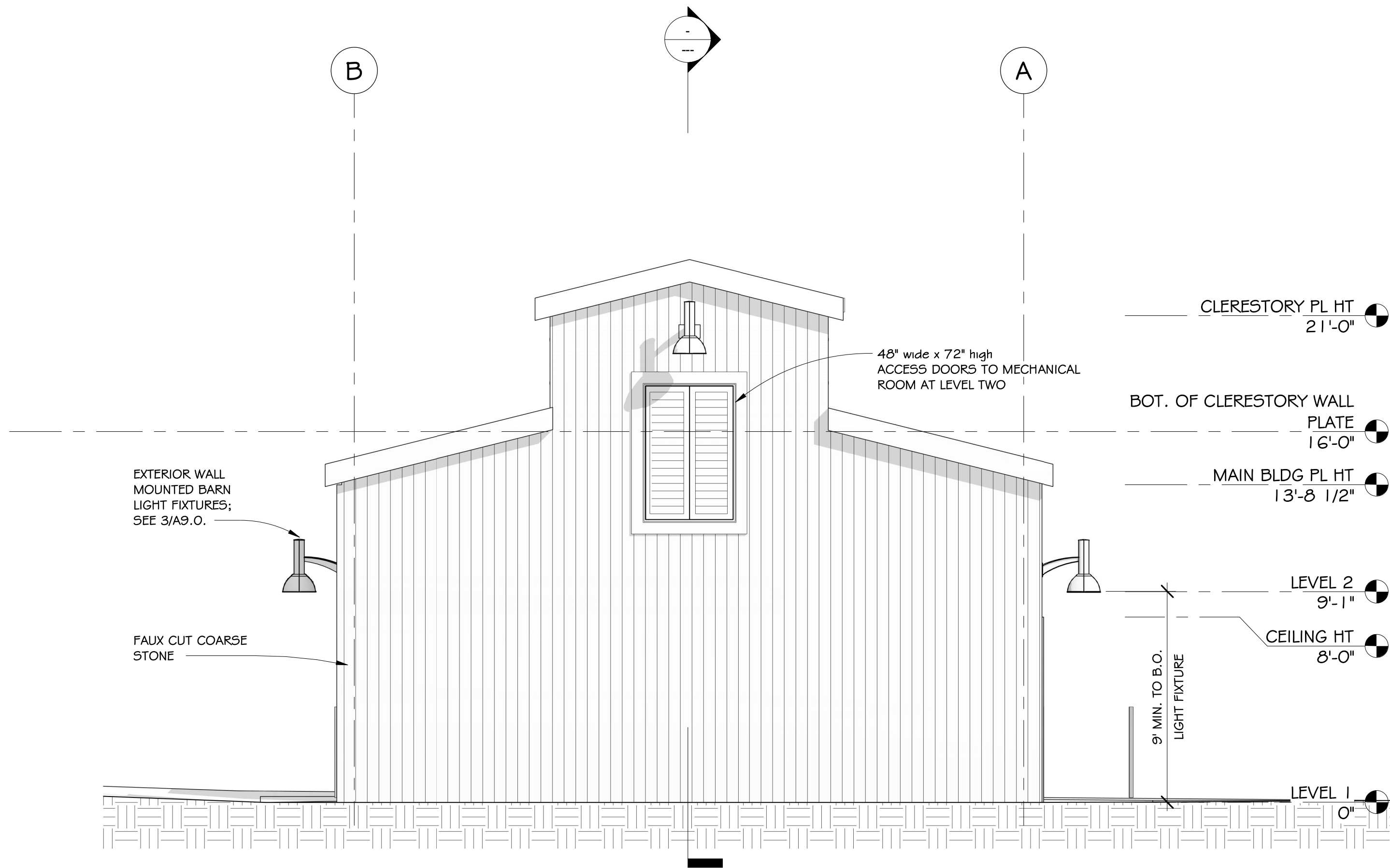
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PROPOSED SOUTH & EAST ELEVATIONS

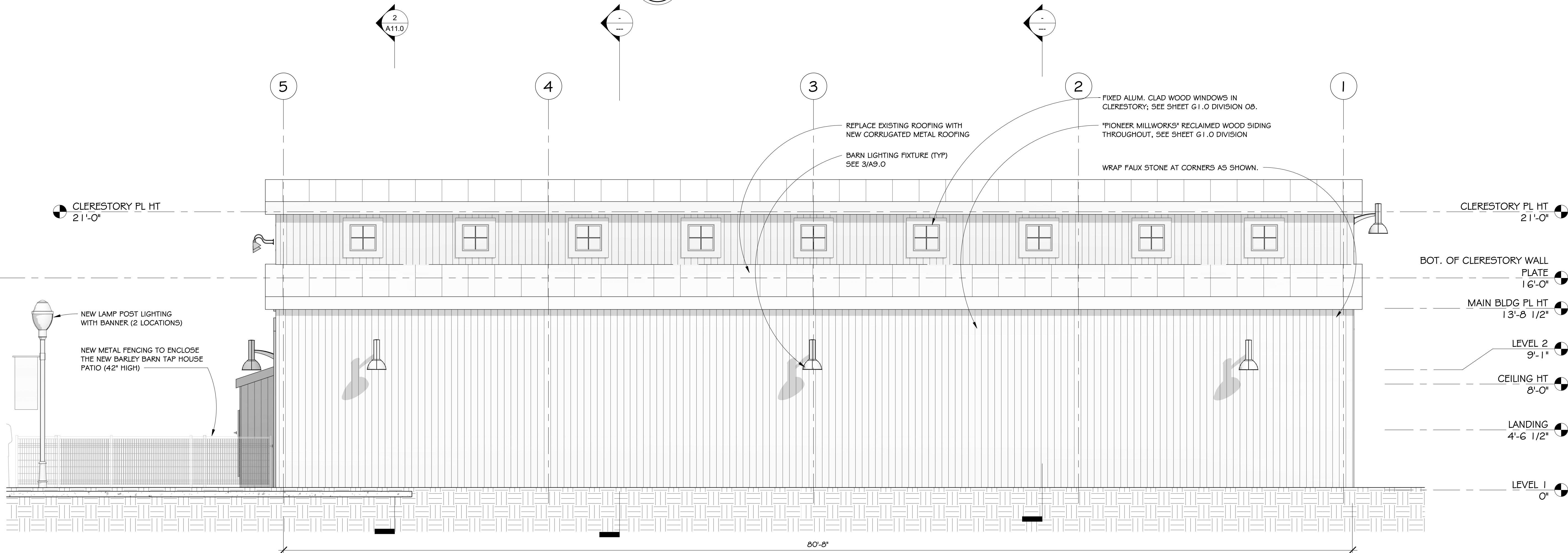
Project number	2018RK10
Date	Issue Date
Drawn by	Reggie Konet, AIA
Checked by	Checker

A10.0

Scale 1/4" = 1'-0"



2 PROPOSED EAST ELEVATION  
1/4" = 1'-0"



1 PROPOSED SOUTH ELEVATION  
1/4" = 1'-0"





2

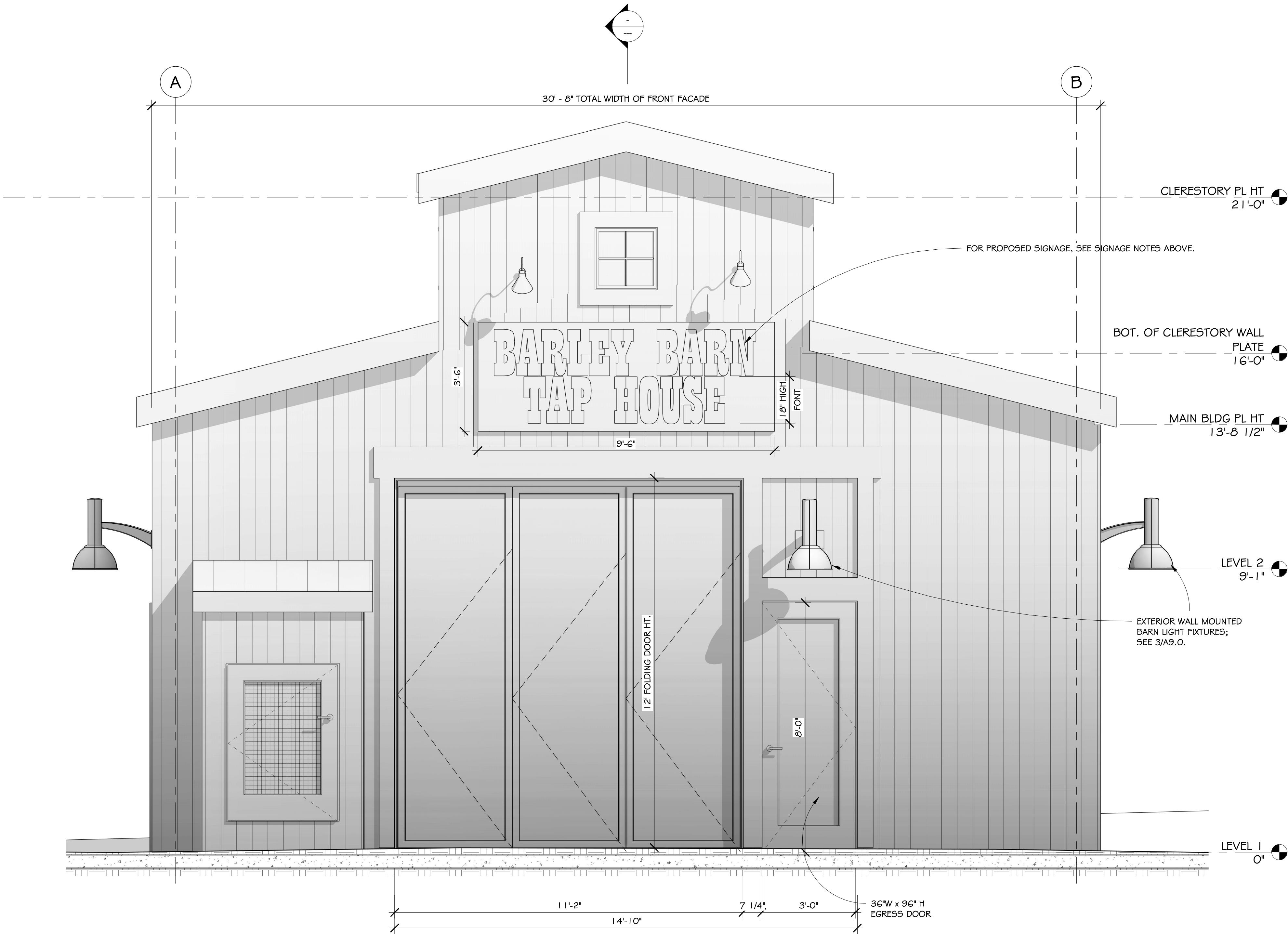
SAMPLE SIGNAGE APPLICATIONS

1 1/2" = 1'-0"

TYPICAL COLORATIONS OF THE HISTORIC "GHOST" SIGNAGE WERE WHITE LETTERING ON A RED BACKGROUND.

SIGNAGE AND ENTRY DOOR NOTES:

1. THE PROPOSED SIGNAGE AS DEPICTED ON DRAWING 1/A14.0 WILL BE IN "PLAYBILL FONT" PAINTED DIRECTLY ONTO THE WOOD SIDING TO MIMICK HISTORIC "GHOST" SIGNAGE. THE COLORS WILL BE: LETTERING - ANTIQUE WHITE, BACKGROUND - RED.
2. THE TOTAL WIDTH OF THE FRONT FACADE IS 30'-8" AND THE WIDTH OF THE PROPOSED SIGNAGE IS 9'-6" X 3'-6" HIGH. THEREFORE, THE SIGNAGE IS LESS THAN 75% OF THE TOTAL WIDTH OF THE FRONT FACADE.
3. THE WINDOW AND DOOR UNITS AT THE ENTRY SHALL BE PROVIDED BY "PELLA WINDOW". UNITS SHALL BE ALUMINUM CLAD - WOOD UNITS. CLADDING COLOR SHALL BE "BROWN".



1

PROPOSED SIGNAGE & DOOR ELEVATION

1/2" = 1'-0"

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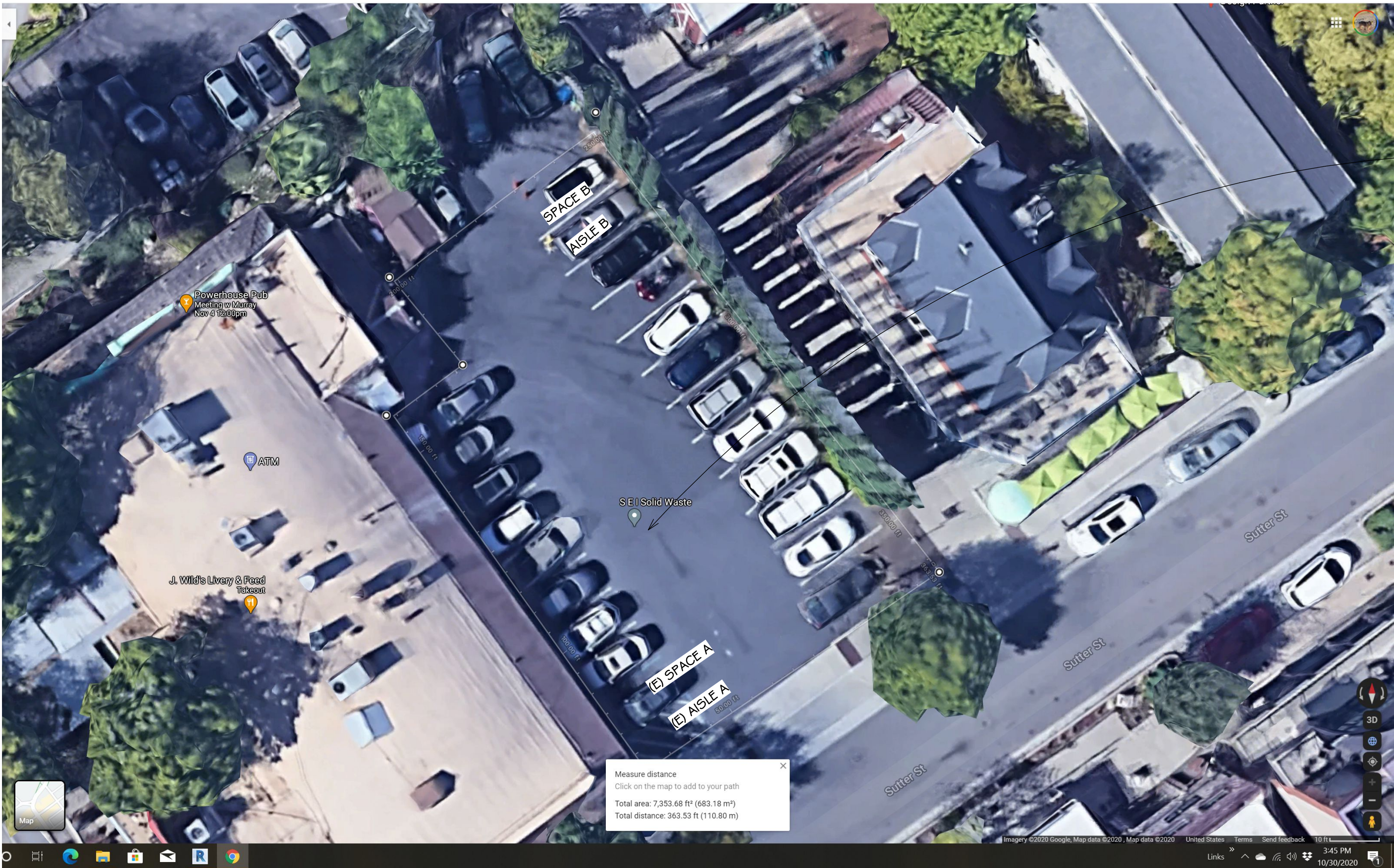
SIGNAGE & DOOR  
ELEVATION AND DETAILS

Project number	2018RK10
Date	Issue Date
Drawn by	Reggie Konet, AIA
Checked by	Checker

A14.0

Scale As indicated





POWERHOUSE PARKING LOT - EXISTING

1 1/2" = 1'-0"



EAGLES LODGE PARKING LOT - EXISTING

1 1/2" = 1'-0"

REQUIRED PARKING:

THERE WILL BE 6 PARKING SPACES PROVIDED FOR THE PROPOSED BARLEY BARN TAP HOUSE. 2080 SF NET OCCUPANT LOAD DIVIDED BY 350 = 6 SPACES. ONE SPACE WILL BE AN ACCESSIBLE VAN PARKING SPACE.

POWERHOUSE PARKING LOT EXISTING

NOTES:

1. CURRENTLY, THERE ARE 20 STANDARD PARKING SPACES AND (1) ONE ACCESSIBLE PARKING SPACE.

THE OWNER SHALL CONVERT (1) ONE EXISTING STANDARD PARKING SPACE IN THE POWERHOUSE PARKING LOT INTO AN ACCESSIBLE VAN PARKING SPACE IN ORDER TO PROVIDE THE REQUIRED ACCESSIBLE PARKING SPACE FOR THE BARLEY BARN TAP HOUSE.

IN ORDER TO ACCOMPLISH THIS, THE (E) STANDARD PARKING SPACE NEAREST TO THE PROPOSED BARLEY BARN TAP HOUSE WILL BE CONVERTED INTO AN ACCESSIBLE VAN PARKING SPACE. ADJACENT OR NEAR TO THIS NEW PARKING SPACE WILL BE THE ADA LIFT WHICH WILL ALLOW AN ACCESSIBLE ROUTE TO THE BARLEY BARN TAP HOUSE ENTRANCE.

ALL WORK TO BE FIELD VERIFIED BY CONTRACTOR PRIOR TO CONSTRUCTION AND DURING THE PROJECT CLOSURE TO CONFIRM COMPLIANCE WITH 2019 CALIFORNIA BUILDING CODE CHAPTER 11B. IF ANY DISCREPANCIES ARISE BETWEEN THE DRAWINGS AND SITE CONDITIONS, THE CONTRACTOR SHALL ALERT THE ARCHITECT IMMEDIATELY FOR CLARIFICATION. IF ARCHITECT HAS NOT BEEN NOTIFIED AND WORK CONTINUES, THE ARCHITECT WILL NOT BE HELD LIABLE FOR ANY OUTCOME OF THIS WORK.

EAGLES LODGE PARKING LOT - EXISTING

NOTES:

1. THE NORTHEAST PARKING ROW OF THE (E) EAGLES PARKING LOT IS APPROXIMATELY 95 FEET IN LENGTH. THIS DISTANCE COULD POSSIBLY ALLOW FOR 10 STANDARD PARKING SPACES WHICH WOULD BE 9 FEET (108 INCHES) WIDE. THIS STATEMENT TO BE FIELD VERIFIED.

THE PARKING ROW ALONG THE NORTH END OF THE EAGLES LODGE IS APPROXIMATELY 45 FEET IN LENGTH. THIS DISTANCE COULD POSSIBLY ALLOW FOR 3 STANDARD PARKING SPACES WHICH WOULD BE 9 FEET (108 INCHES) WIDE AND (1) ONE ACCESSIBLE VAN PARKING SPACE WHICH WOULD BE 12 FEET (144 INCHES) WIDE WITH AN ACCESS AISLE OF 5 FEET (60 INCHES) WIDE. THIS STATEMENT TO BE FIELD VERIFIED.

THEREFORE, THE TOTAL NUMBER OF POSSIBLE PARKING SPACES WITHIN THE (E) EAGLES LODGE LOT WOULD BE 13 STANDARD SPACES + 1 ACCESSIBLE SPACE = 14 TOTAL SPACES. THIS STATEMENT TO BE FIELD VERIFIED.

2. THERE IS NO WORK INCLUDED TO UPGRADE OR IMPROVE THE (E) EAGLES LODGE PARKING LOT IN THIS CONTRACT. THE ABOVE INFORMATION AND THE SUGGESTED POTENTIAL PARKING SPACES SHOWN ARE FOR HYPOTHETICAL PURPOSES ONLY. THE ARCHITECT IS NOT ENGAGED NOR RESPONSIBLE FOR ANY IMPROVEMENTS TO THE EAGLES LODGE PARKING LOT. THE ARCHITECT DOES NOT GUARANTEE NOR CLAIM THAT THE INFORMATION PROVIDED ON THIS SHEET IS ACCURATE OR CORRECT. ALL ITEMS MUST BE FIELD VERIFIED BY A LICENSED SURVEYOR OR CIVIL ENGINEER AND A CALIFORNIA CASp (CERTIFIED ACCESS SPECIALIST) CONSULTANT.

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No.	Description	Date
A	HDC REVIEW SET	16SEP21

Murray Weaver

BARLEY BARN TAP HOUSE  
608-1/2 Sutter Street  
Folsom, CA 95630  
APN: 070-0061-011-0000

PARKING LOTS AND DATA

Project number	2018RK10
Date	Issue Date
Drawn by	Reggie Konet, AIA
Checked by	Checker
X1.0	
Scale	11/2" = 1'-0"