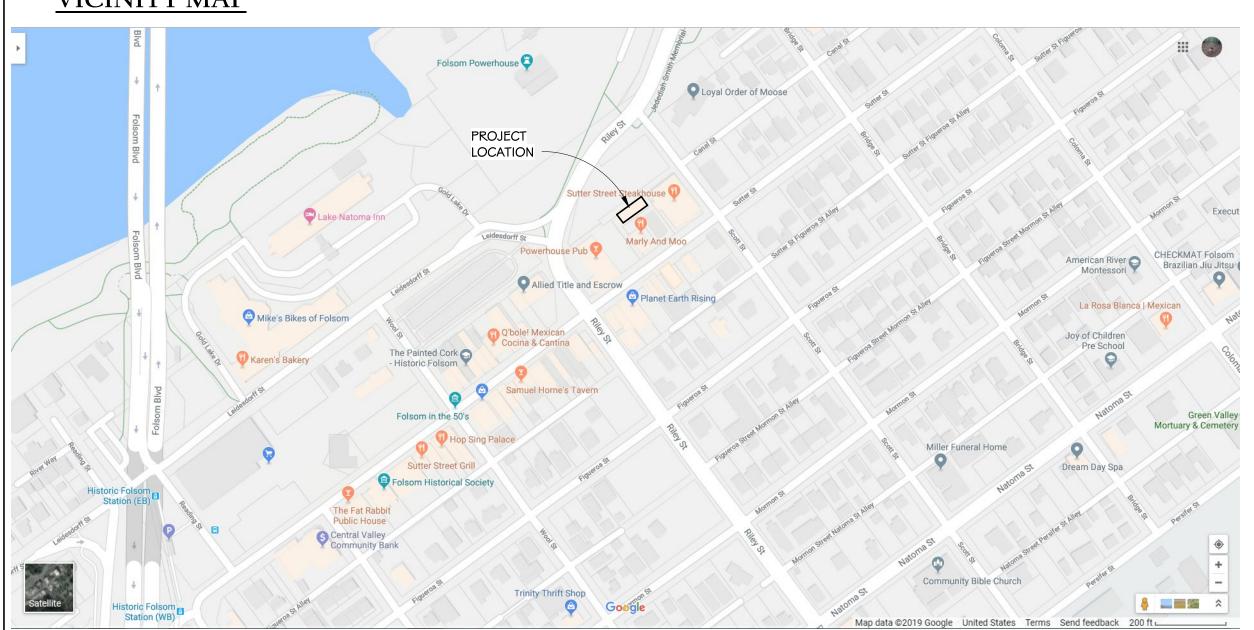
BÁRLEY BÁRN TÁP HOUSE

608-1/2 SUTTER STREET FOLSOM, CA 95630 APN: 070-0061-011-0000

ABBRI	EVIATIONS:	PROJECT INFORMATION:
@	AT	OWNER:
AFF	ABOVE FINISHED FLOOR	MURRAY WEAVER EMAIL: powerhousepub@
ASTM	AMERICAN SOCIETY FOR	c/o POWERHOUSE PUB PHONE: 916-662-1327
	TESTING AND MATERIALS	614 SUTTER STREET
BLDG	BUILDING	FOLSOM, CA 95630
B.O.	BOTTOM OF	
Btu	BRITISH THERMAL UNIT	
BTWN	BETWEEN	
		APN: 070-0061-010-0000
CA	CALIFORNIA	ZONING: HD HISTORIC DISTRIC
CAB	CABINET	COUNTY: SACRAMENTO
CONC.	CONCRETE	CITY OF FOLSOM
CONSTR.		
C.T.	CERAMIC TILE	CLIMATE ZONE: 12
DEG.	DEGREE	
DEG. DIM	DIMENSION	
DIM DN	DOWN	EXISTING BUILDING: 2 STORY, 4377 SF (2433 SF ON LEVE
		LOT SIZE: 5394 SF / .12 ACRES
D.S.	DOWN SPOUT	CIRCA 1958
(E)	EXISTING	TYPE V-A CONSTRUCTION, UNSPRINKLED
ELEV	ELEVATION	
EL	ELEVATION	
EXTG	EXISTING	
EXTR	EXTERIOR	<u>PROPOSED PROJECT SUMMARY:</u>
FDN	FOUNDATION	THE PROPOSED PROJECT WILL CONSIST OF A CHANGE I
FF	FINISHED FLOOR	F-2 : LOW HAZARD FACTORY, INDUSTRIAL TO A-2: ASSE
FIN	FINISH OR FINISHED	CONSUMPTION. THE (E) LEVEL TWO WILL BE REDUCED
FLR	FLOOR	AS OCCUPANCY USE GROUP S-2: LOW-HAZARD STORAGE
		AS OCCUPANCE USE GROUP 5-2: LOW-HAZARD STORAGE
FM	FIRE MARSHALL	
FP	FIRE PROTECTION	ALL NEW CONSTRUCTION SHALL COMPLY WITH THE GO
FTG	FOOTING	
Ga	GAGE OR GAUGE	EXISTING LEVEL ONE AREA : 2433 SF
GALV	GALVANIZED	EXISTING LEVEL TWO STORAGE AREA: 1944 SF
GYP BD	GYPSUM BOARD	TOTAL AREA OF EXISTING BUILDING: 4377 SF
HDWD	HARDWOOD	TOTAL ANEA OF EXISTING BOILDING. 43// SP
HB	HOSE BIBB	
INFO	INFORMATION	PROPOSED AREA OF REMODELING: 2433 SF
MTL	METAL	PROPOSED REDUCED STORAGE AREA: 1366 SF
0.C.	ON CENTER	
0.0.		TOTAL AREA OF PROPOSED BUILDING: 3799 SF
PSF	POUNDS PER SQUARE FEET	
PSI	POUNDS PER SQUARE INCH	
RM	ROOM	THE PERCENTAGE REMODELED CONSTRUCTION IS 55.6
SF	SQUARE FEET	BUILDING AREA AND 64.0% OF THE PROPOSED BUILDIN
STL	STEEL	
		PER 2019 CBC (SEE SHEET G3.0), THE ENTIRE BUILDING
Т.О.	TOP OF	A NEW AUTOMATIC SPRINKLER SYSTEM.
		A NEW AUTOWATIC SPRINKLER SISTEM.
UL	UNDERWRITERS LABORATORIES, INC	
V.I.F.	VERIFY IN FIELD	





@aol.com

VEL ONE)

E IN OCCUPANCY USE GROUP FROM SEMBLY USE INTENDED FOR DRINK CED IN AREA AND IS CLASSIFIED GE.

GOVERNING BUILDING CODES.

.6% OF THE TOTAL EXISTING ING.

NG WILL BE PROVIDED WITH

PROJECT TEAM:

ARCHITECT: REGGIE KONET, AIA NCARB CELL: 916-835-4222 KONET ARCHITECTURE konetarchitecture@gmail.com 255 AMERICAN RIVER CANYON DR FOLSOM, CA 95630

AFTER 9/30/2021 ADDRESS SHALL BE: 8931 RIVER PALM COURT FT. MYERS, FL 33919

CA ARCH LIC #33835

STRUCTURAL ENGINEER:

MECHANICAL, ELECTRICAL, PLUMBING ENGINEERS:

CONTRACTOR:

GOVERNING CODES AND ORDINANCES:

THE PROPOSED PROJECT SHALL BE CONSTRUCTED IN ACCORDANCE TO THE FOLLOWING CODES:

- (CBC) - 2019 CALIFORNIA BUILDING CODE
- (CPC) - 2019 CALIFORNIA PLUMBING CODE
- 2019 CALIFORNIA ELECTRICAL CODE (BASED ON THE 2011 NEC) (CEC) - 2019 CALIFORNIA MECHANICAL CODE (CMC)
- 2019 CALIFORNIA GREEN BUILDING STANDARDS CODE (CGBSC)
- 2019 CALIFORNIA ENERGY CODE (CeC)
- (CFC) - 2019 CALIFORNIA FIRE CODE

THE PROJECT IS CATEGORICALLY EXEMPT FROM REVIEW UNDER CEQA PURSUANT TO SECTION 15303, NEW CONSTRUCTION OR CONVERSION OF SMALL STRUCTURES (CLASS 3) OF CEQA GUIDELINES (ENVIRONMENTAL REVIEW ORDINANCE SECTION 18.36.050).

CITY OF FOLSOM ZONING CODE:

THE PROJECT IS LOCATED IN THE 17.52.160 SUTTER STREET SUBAREA.

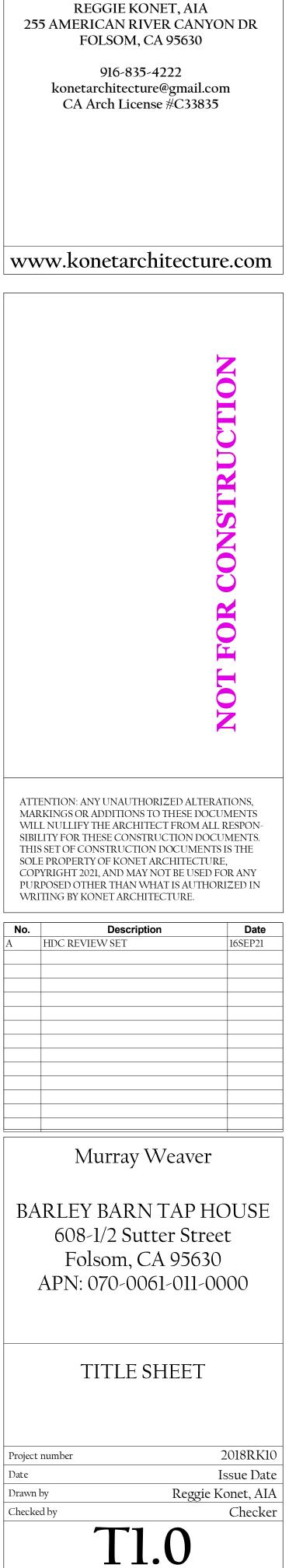


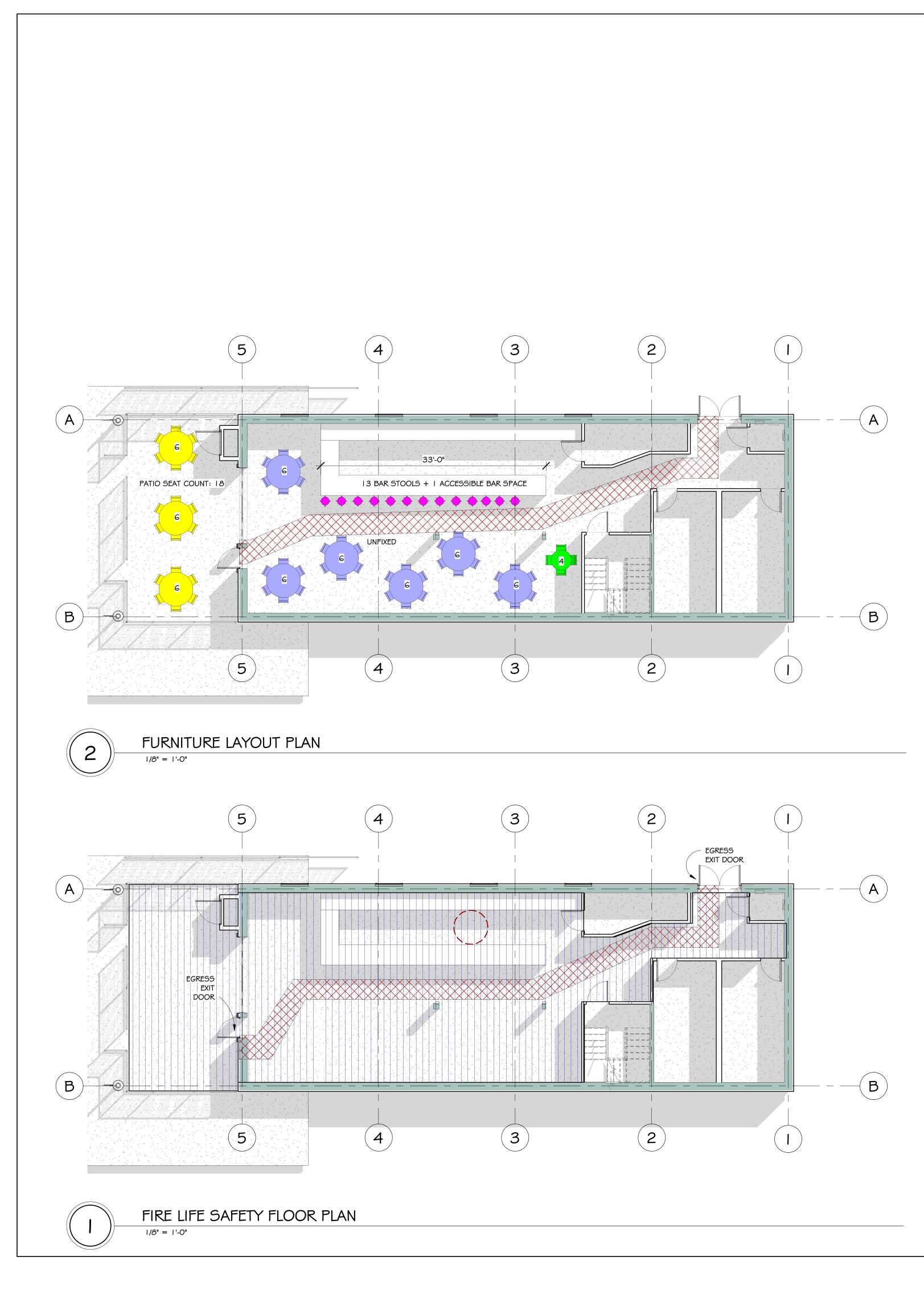
REGGIE KONET, AIA FOLSOM, CA 95630

SHEET INDEX:

OTILI	
T1.0	TITLE SHEET
G1.0	GENERAL NOTES & SPECIFICATIONS
G2.0	CA STATE AND REGIONAL REGULATIONS
G3.0	ACCESSIBILITY NOTES & DETAILS
A1.0	SITE PLAN - ARCHITECTURAL
A2.0	DEMOLITION PLANS
A3.0	DEMOLITION ELEVATIONS
A4.0	FOUNDATION PLAN - ARCHITECTURAL
A5.0	PROPOSED LEVEL ONE PLAN
A6.0	PROPOSED LEVEL TWO PLAN
A7.0	PROPOSED ROOF PLAN
A8.0	PROPOSED NORTH & WEST ELEVATIONS
A9.0	PROPOSED SOUTH & EAST ELEVATIONS
A10.0	BUILDING SECTIONS
A11.0	WALL SECTIONS & ARCH DETAILS
A12.0	ENLARGED FLOOR PLANS
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01.0	CENEDAL NOTES
S1.0	GENERAL NOTES
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S2.1	ROOF FRAMING PLAN
S2.2	EXTERIOR ELEVATIONS
S3.0	FOUNDATION DETAILS
S3.1	ROOF DETAILS
S3.2	SHEAR WALL & TYPICAL WOOD DETAILS
S3.3	SIMPSON STRONG WALL DETAILS
E1.0	ELECTRICAL PLAN & ELECTRICAL LEGEND

NOTE! THIS SET OF DOCUMENTS IS IN DESIGN PHASE. THEREFORE, NOT ALL DRAWINGS HAVE BEEN INCLUDED IN THIS SET AT THIS STAGE.





ACCESSIBILITY NOTES:

PER 2019 CBC SECTION 11B-1008.2.6.1 ACCESSIBLE GROUND SURFACES. GROUND SURFACES ON ACCESSIBLE ROUTES, CLEAR FLOOR OR GROUND SPACES, AND TURNING SPACES SHALL COMPLY WITH ASTM F 1951. GROUND SURFACES SHALL BE INSPECTED AND MAINTAINED REGULARLY AND FREQUENTLY TO ENSURE CONTINUED COMPLIANCE TO ASTM F 1951.

PER 2019 CBC 11B-403.3 SLOPE.

THE RUNNING SLOPE OF WALKING SURFACES THROUGHOUT THE FOLSOM PRISON BREWS PROPERTY NOT BE STEEPER THAN 1:20. THE CROSS SLOPE OF WALKING SURFACES SHALL NOT BE STEEPER THAN 1:48. EXCEPTION: THE RUNNING SLOPE OF SIDEWALKS SHALL NOT EXCEED THE GENERAL GRADE ESTABLISHED FOR THE ADJACENT STREET OR HIGHWAY.

A. PER 2019 CFC SECTION 903.2.1.2 GROUP A-2. AN AUTOMATIC SPRINKLER SYSTEM SHALL BE PROVIDED THROUGHOUT STORIES CONTAINING A-2 OCCUPANCIES AND THROUGHOUT ALL STORIES FROM THE GROUP A-2 OCCUPANCY TO AND INCLUDING LEVELS OF EXIT DISCHARGE SERVING THAT OCCUPANCY WHERE ONE OF THE FOLLOWING EXISTS:

C. PER TABLE 1004.1.2 IN 2019 CBC, THE OCCUPANT LOAD FACTOR (OLF) FOR AN ASSEMBLY OCCUPANCY WITHOUT FIXED SEATS: UNCONCENTRATED (TABLES + CHAIRS) IS 15 NET. THE OCCUPANCY LOAD FACTOR IS BASED ON THE NET FLOOR AREA, THE CALCULATION IS BASED ON THE ACTUAL OCCUPIED AREA. NONOCCUPIABLE SPACES LIKE CORRIDORS, STAIRS, BATHROOMS, ELEC/MECH ROOMS, CLOSETS ADN FIXED EQUIPMENT ARE SUBTTRACTED FROM THE TOTAL AREA TO DETERMINE THE NET FLOOR AREA. OUTDOOR SEATING AREA SHALL BE INCLUDED IN THE OCCUPANT LOAD. THEREFORE, THE TOTAL OCCUPANT LOAD FOR THE PROJECT IS 139. (2080 SF DIVIDED BY 15 OLF = 139 OCCUPANCY LOAD).

FIRE AND LIFE SAFETY NOTES:

(2) THE FIRE AREA HAS AN OCCUPANT LOAD OF 100 OR MORE.

B. PER 2019 CBC SECTION (F)903.2.11 SPECIFIC BUILDING AREAS AND HAZARDS AND SECTION 903.2.11.1 STORIES WITHOUT OPENINGS, THE LEVEL TWO (OCCUPANCY S-2) WILL BE REQUIRED TO HAVE AUTOMATIC SPRINKLER SYSTEM INSTALLED. THE OPENINGS ON LEVEL TWO DO NOT COMPLY WITH SECTION (F) 903.2.11.1 (2) AND SECTION (F) 903.2.11.1.1.

CURRENTLY, THERE ARE NO AUTOMATIC SPRINKLER SYSTEMS IN THE BUILDING.

B. PER 2019 CFC SECTION 906 PORTABLE FIRE EXTINGUISHERS. PORTABLE FIRE EXTINGUISHERS SHALL BE INSTALLED IN NEW AND EXISTING GROUP A OCCUPANICIES.

NOTE! PROVIDE ONE PORTABLE FIRE EXTINGUISHER BEHIND THE BAR, ONE PORTABLE FIRE EXTINGUISHER IN THE ELECTRICAL / FIRE ALARM CLOSET AND ONE FIRE EXTINGUISHER ON THE

LOWER TWO STORAGE ROOM NEAR THE STAIR. THE PORTABLE FIRE EXTINGUISHER SHALL CONFORM TO THE REQUIREMENTS OF CALIFORNIA CODE OF REGULATIONS, TITLE 19, DIVISION 1, CHAPTER 3, AND SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH GUIDES ESTABLISHED THEREIN.

SEE THE FLOOR PLANS FOR LOCATION OF EXTINGUISHERS.



REGGIE KONET, AIA NCARB 255 AMERICAN RIVER CANYON DR FOLSOM, CA 95630

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No.	Description	Date
A	HDC REVIEW SET	16SEP21

Murray Weaver

BARLEY BARN TAP HOUSE 608-1/2 Sutter Street Folsom, CA 95630 APN: 070-0061-011-0000

FIRE LIFE SAFETY PLAN, ACCESSIBILITY PLAN AND FURNITURE PLAN

Project number Date Drawn by Checked by

Scale

2018RK10 Issue Date Reggie Konet, AIA Checker G3.0

1/8" = 1'-0"

SHEET LEGEND:

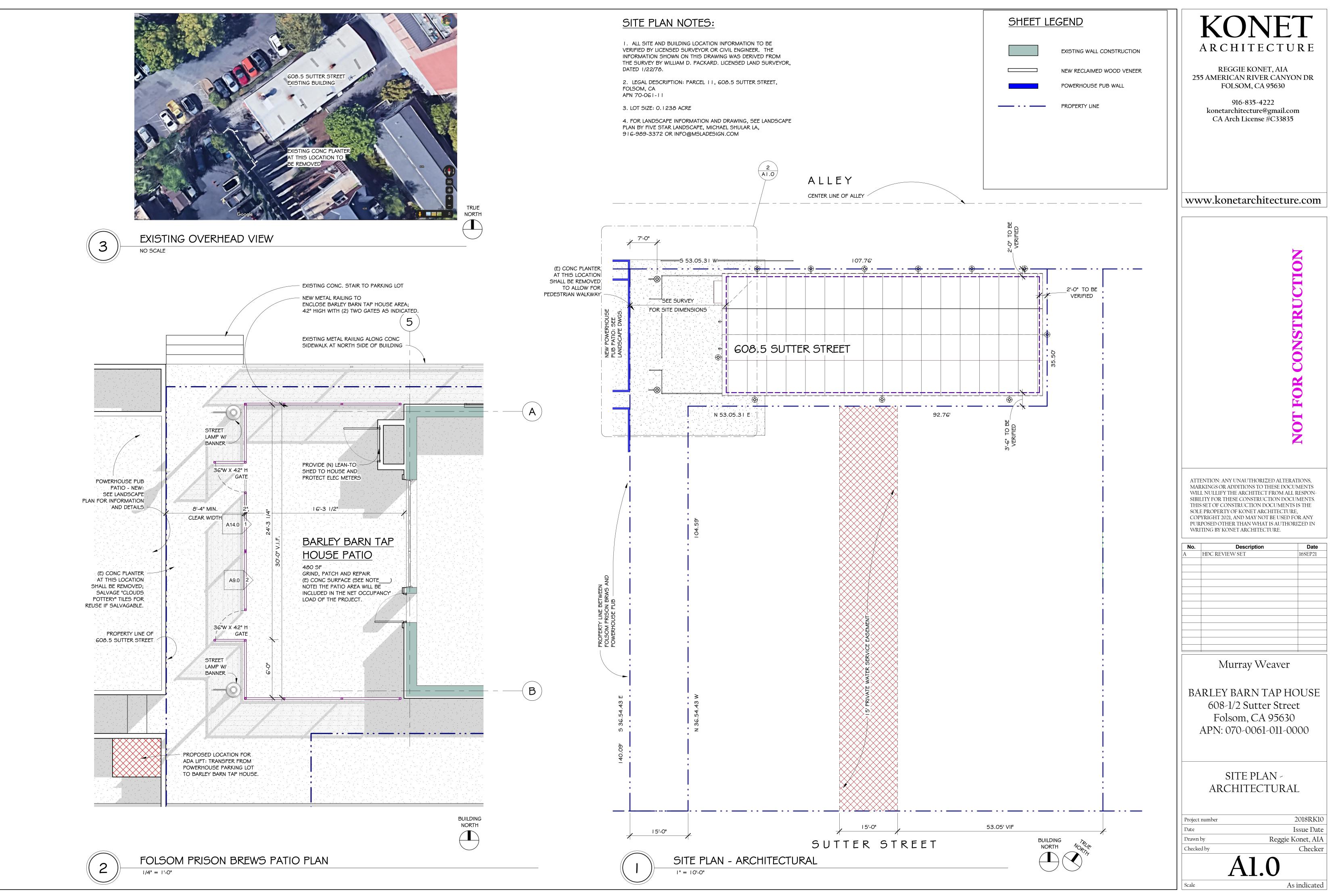
 \bigcirc BAR STOOL (13 COUNT)

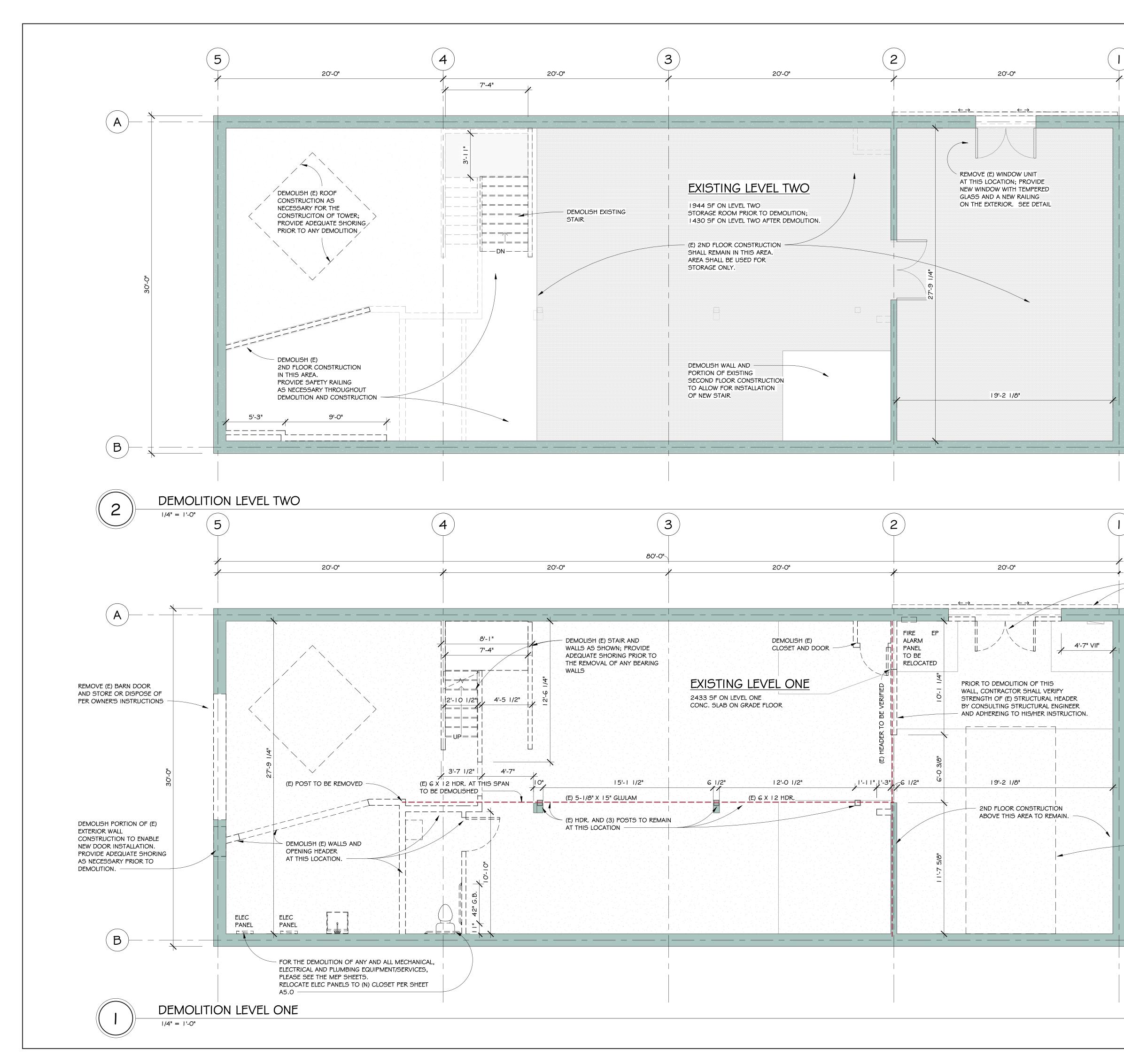
36" DIA TABLE + 4 CHAIRS (1 COUNT)

60" DIA. TABLE + 6 CHAIRS (6 INTERIOR COUNT, 3 EXTERIOR COUNT)

NET OCCUPIABLE AREA: 2080 SF

36" MIN WIDE EGRESS ROUTE

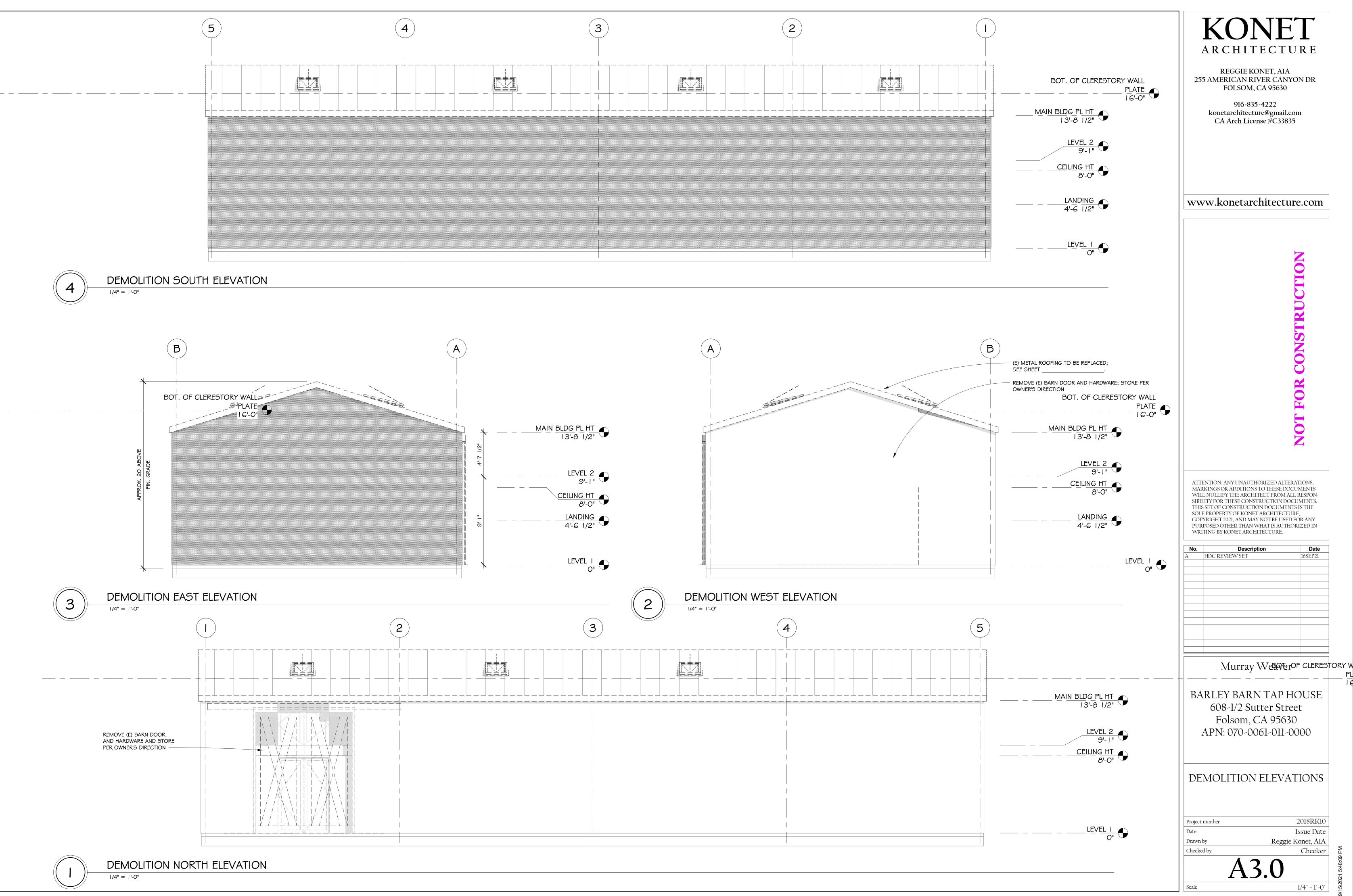


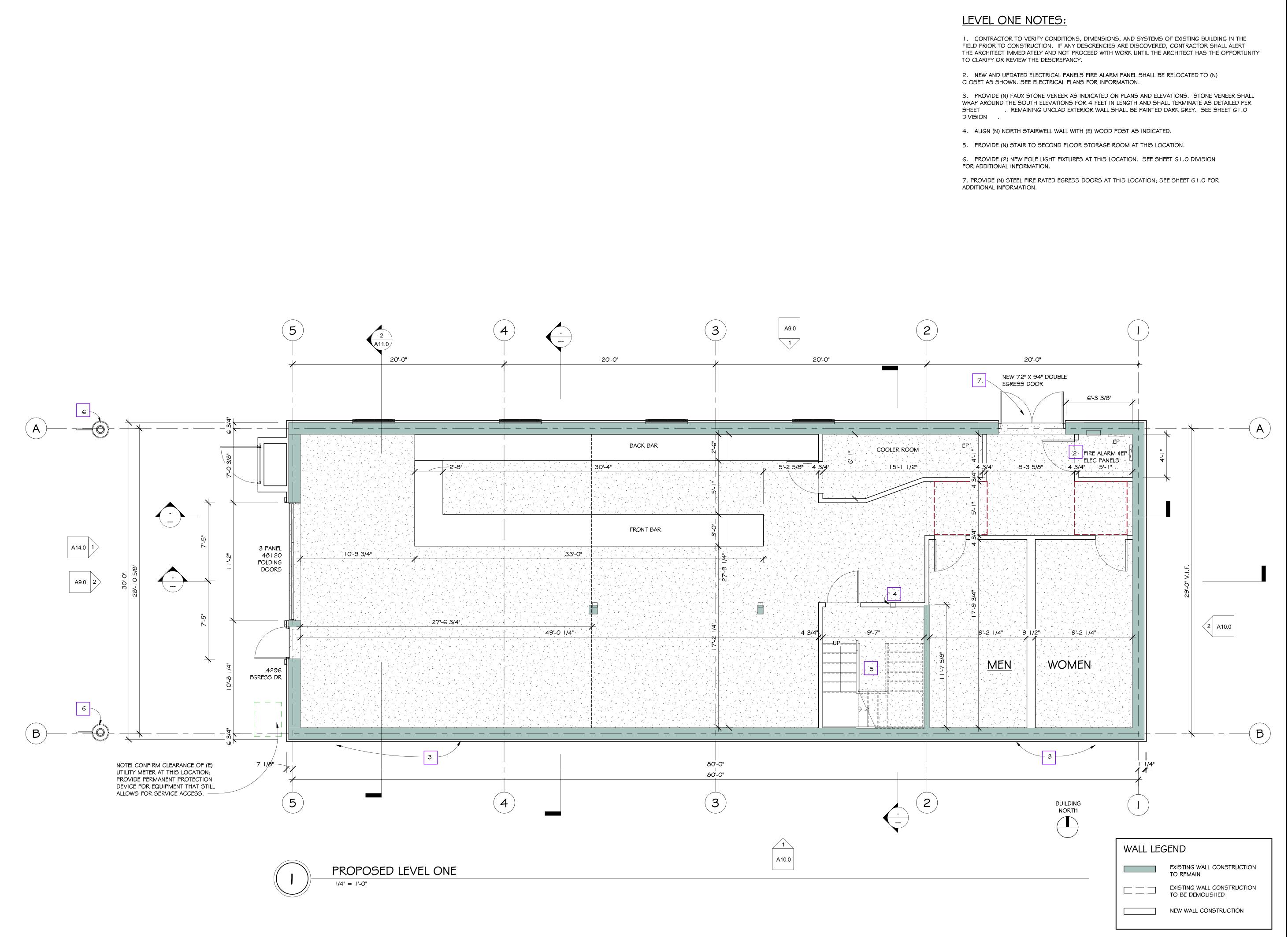


KONE ARCHITECTURE **DEMOLITION NOTES: REGGIE KONET, AIA 255 AMERICAN RIVER CANYON DR** I. ALL STRUCTURAL INFORMATION ON THESE CONSTRUCTION FOLSOM, CA 95630 DOCUMENTS WERE DERIVED FROM THE OWNER PROVIDED CONSTRUCTION DOCUMENTS DATED 1/11/1996 AND DRAWN BY DONALD A. BLESSEN. CONTRACTOR SHALL FIELD VERIFY ALL 916-835-4222 (E) STRUCTURE AND ALERT THE OWNER, ARCHITECT AND STRUCTURAL konetarchitecture@gmail.com ENGINEER OF ANY DISCREPANCIES BETWEEN THE DRAWINGS AND THE CA Arch License #C33835 AS-BUILT CONDITIONS. ALL WORK SHALL STOP UNTIL THE ARCHITECT AND STRUCTURAL ENGINEER HAVE PROVIDED NECESSARY REVISIONS OR ADJUSTMENTS TO THE DESIGN. 2. PRIOR TO ANY DEMOLITION OR CONSTRUCTION, OWNER AND/OR CONTRACTOR SHALL COMPLY WITH THE SACRAMENTO METROPOLITAN AIR QUALITY MANAGEMENT DISTRICT'S RULES AND REGULATIONS STATEMENT SEE SHEET G2.0 FOR INSTRUCTIONS ON CONTACTING THE SAC METRO AIR DISTRICT. 3. PRIOR TO ANY DEMOLITION, CONTRACTOR SHALL PROVIDE ADEQUATE SHORING OF ANY AND ALL AFFECTED STRUCTURAL ELEMENTS AND www.konetarchitecture.com SYSTEMS. 4. CURRENT ROOF CONSTRUCTION IS NON-COMPLIANT PER 2019 CBC AND 2019 CALIFORNIA ENERGY CODE. ROOF WILL NEED TO BE EITHER REPLACED WITH COMPLIANT CONSTRUCTION AND INSULATION TO MEET THE CURRENT 2019 CBC. PLEASE SEE SHEETS NOIL **ONSTRU** FOR BUILDING NORTH Z ATTENTION: ANY UNAUTHORIZED ALTERATIONS, REMOVE (E) BARN DOOR, DOUBLE DOOR AND PARTIAL MARKINGS OR ADDITIONS TO THESE DOCUMENTS WOOD FRAMING AT NORTH ENTRANCE OF BUILDING; WILL NULLIFY THE ARCHITECT FROM ALL RESPON STORE OR DISPOSE OF ITEMS PER OWNER'S DIRECTION SIBILITY FOR THESE CONSTRUCTION DOCUMENTS THIS SET OF CONSTRUCTION DOCUMENTS IS THE SOLE PROPERTY OF KONET ARCHITECTURE, COPYRIGHT 2021, AND MAY NOT BE USED FOR ANY PURPOSED OTHER THAN WHAT IS AUTHORIZED IN WRITING BY KONET ARCHITECTURE. CONTRACTOR TO INSPECT CONDITION AND INTEGRITY OF EXISTING EXTERIOR SIDING THROUGHOUT PRIOR TO CONSTRUCTION. IF ANY INDICATION OF MOISTURE OR STRUCTURAL DAMAGE Date No. Description IS PRESENT, CONTARCTOR SHALL STOP WORK AND ALERT HDC REVIEW SET 16SEP21 THE OWNER AND ARCHITECT OF THE FINDING(S). Murray Weaver BARLEY BARN TAP HOUSE 608-1/2 Sutter Street (E) CONCRETE SLAB TO BE REMOVED AS NECESSARY IN Folsom, CA 95630 AREAS OF NEW PLUMBING INSTALLATION. APN: 070-0061-011-0000 **DEMOLITION PLANS** WALL LEGEND BUILDING NORTH EXISTING WALL CONSTRUCTION 2018RK10 Project number \square TO REMAIN Issue Date Date $\Box \Box \Box$ EXISTING WALL CONSTRUCTION Reggie Konet, AIA Drawn by TO BE DEMOLISHED Checked by Checker NEW WALL CONSTRUCTION

/2021 5:47:58 PM

1/4" = 1'-0"







REGGIE KONET, AIA 255 AMERICAN RIVER CANYON DR FOLSOM, CA 95630

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A	HDC KEVIEW SEI	105EP21

PURPOSED OTHER THAN WHAT IS AUTHORIZED IN

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Murray Weaver

BARLEY BARN TAP HOUSE 608-1/2 Sutter Street Folsom, CA 95630 APN: 070-0061-011-0000

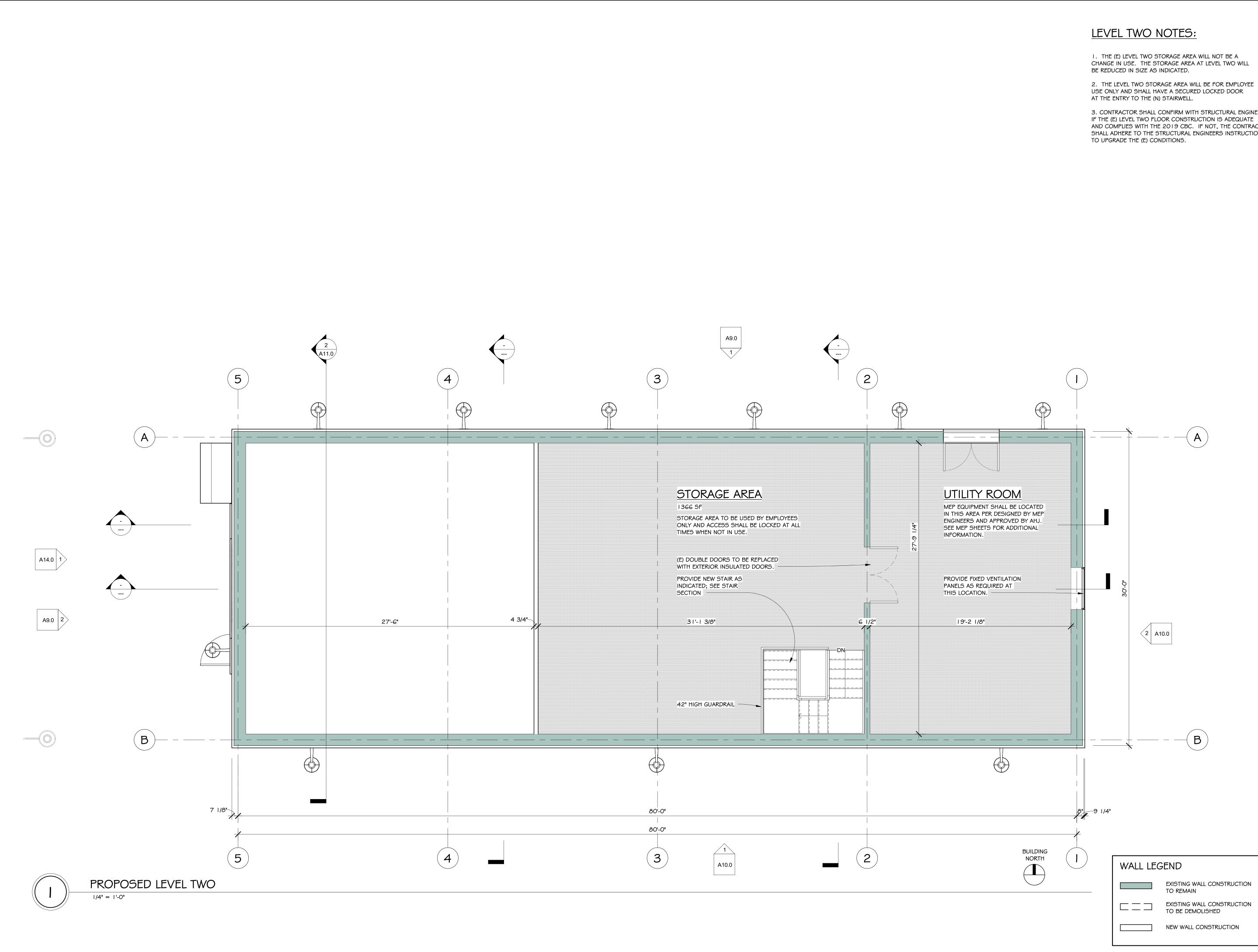
PROPOSED LEVEL ONE PLAN

Project number Date Drawn by Checked by

Scale

2018RK10 Issue Date Reggie Konet, AIA Checker A5.0

1/4" = 1'-0"

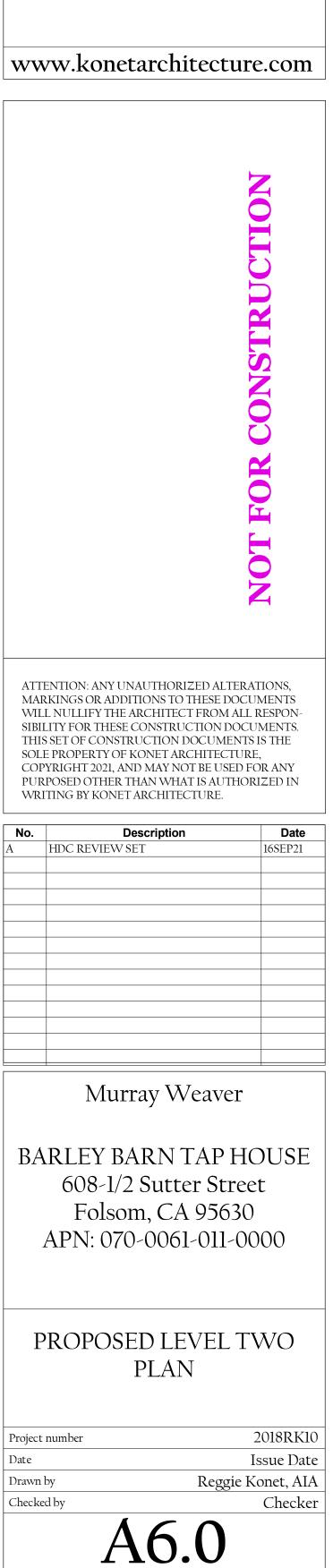


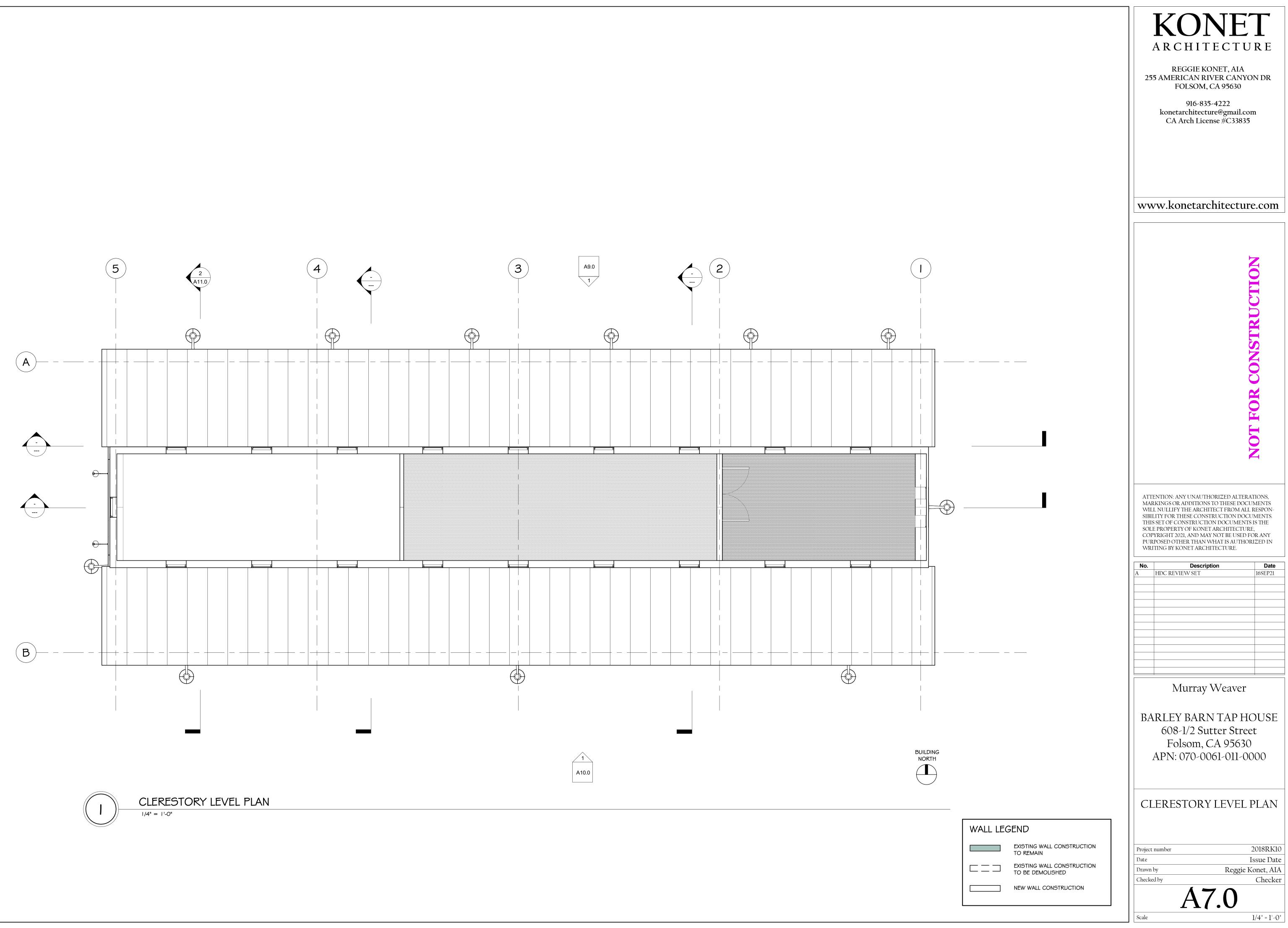
3. CONTRACTOR SHALL CONFIRM WITH STRUCTURAL ENGINEER IF THE (E) LEVEL TWO FLOOR CONSTRUCTION IS ADEQUATE AND COMPLIES WITH THE 2019 CBC. IF NOT, THE CONTRACTOR SHALL ADHERE TO THE STRUCTURAL ENGINEERS INSTRUCTIONS



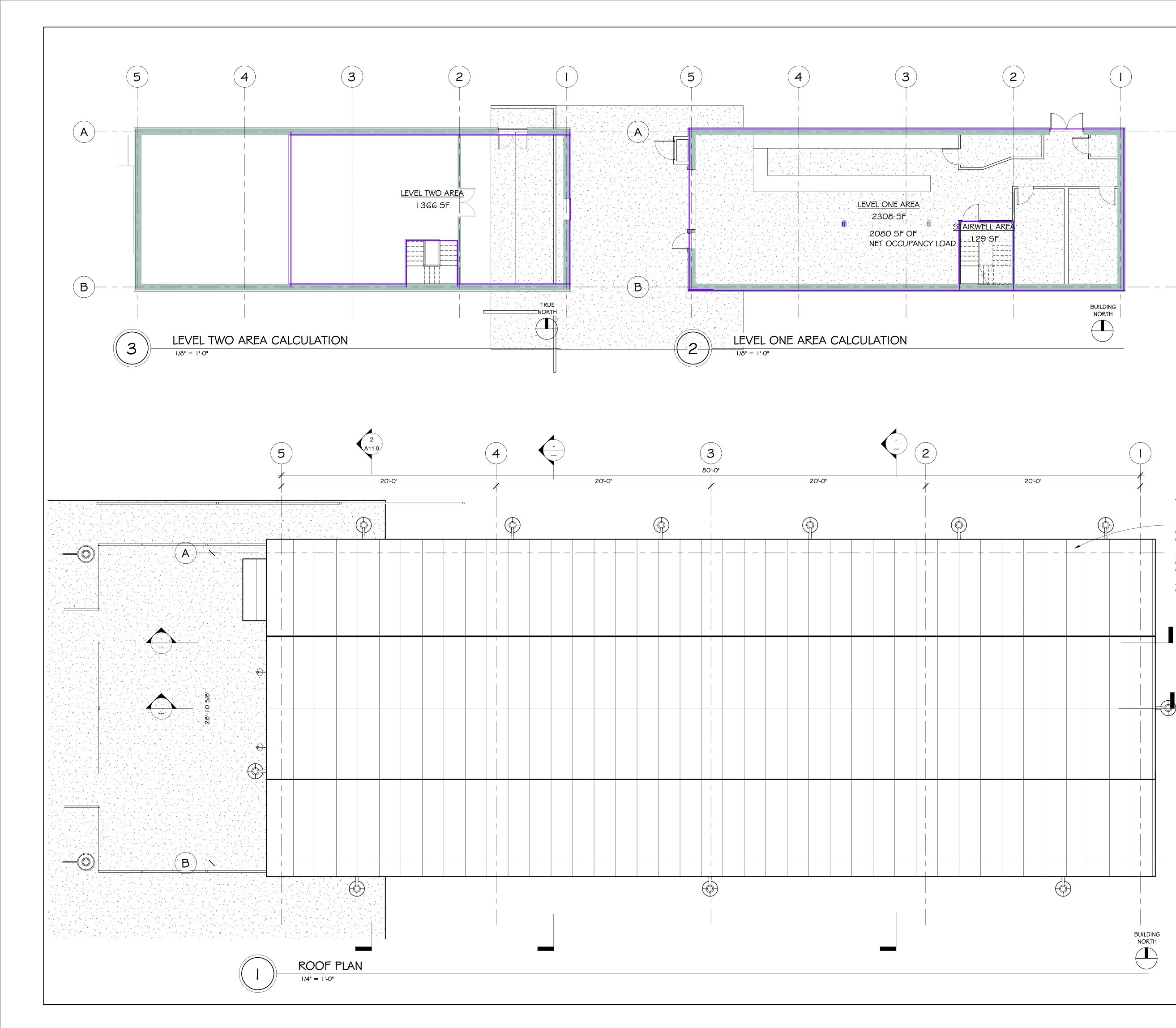
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ROOM AREA NOTES:

 LEVEL ONE TOTAL FLOOR AREA: 2433 SF
LEVEL TWO TOTAL FLOOR AREA: 1366 SF
TOTAL AREA OF BUILDING: 3799 SF
THE NET OCCUPANCY LOAD FOR THE FOLSOM PRISON BREWS IS 2080 SF.



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NOT FOR CONSTRUCTION



- I. (E) METAL ROOF TO BE REPLACED WITH CORRUGATED METAL ROOFING; SEE SHEET GI.O, DIVISION 08.

2. REMOVE SKLYLIGHTS (7 LOCATIONS) AND INFILL OPENINGS WITH NEW ROOF CONSTRUCTION AS DETAILED ON SHEET_____

3. FIELD VERIFY (E) ROOF PITCH AND NOTIFY ARCHITECT OF ANY DISCREPENCIES.

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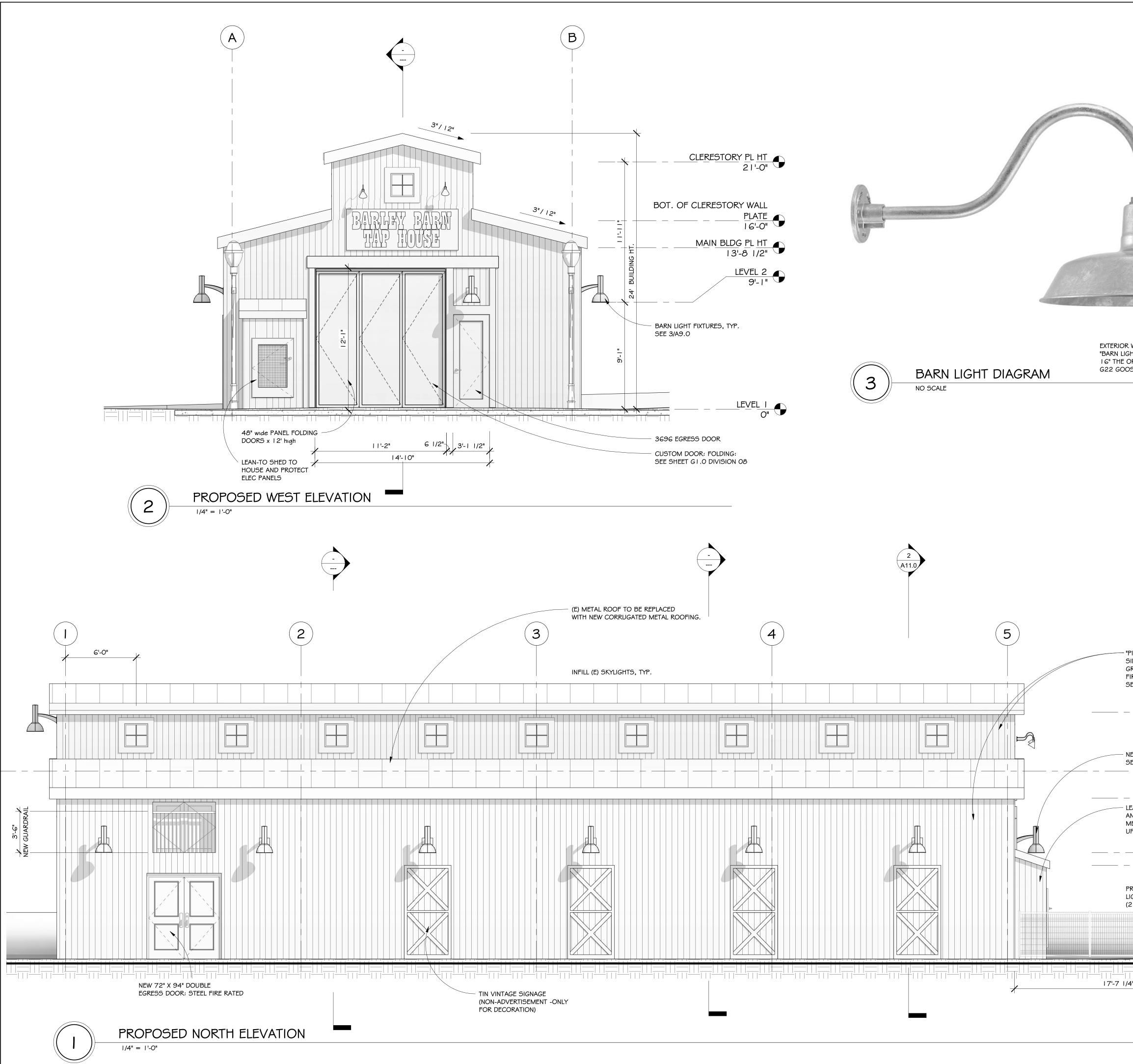
PROPOSED ROOF PLAN

A8.0

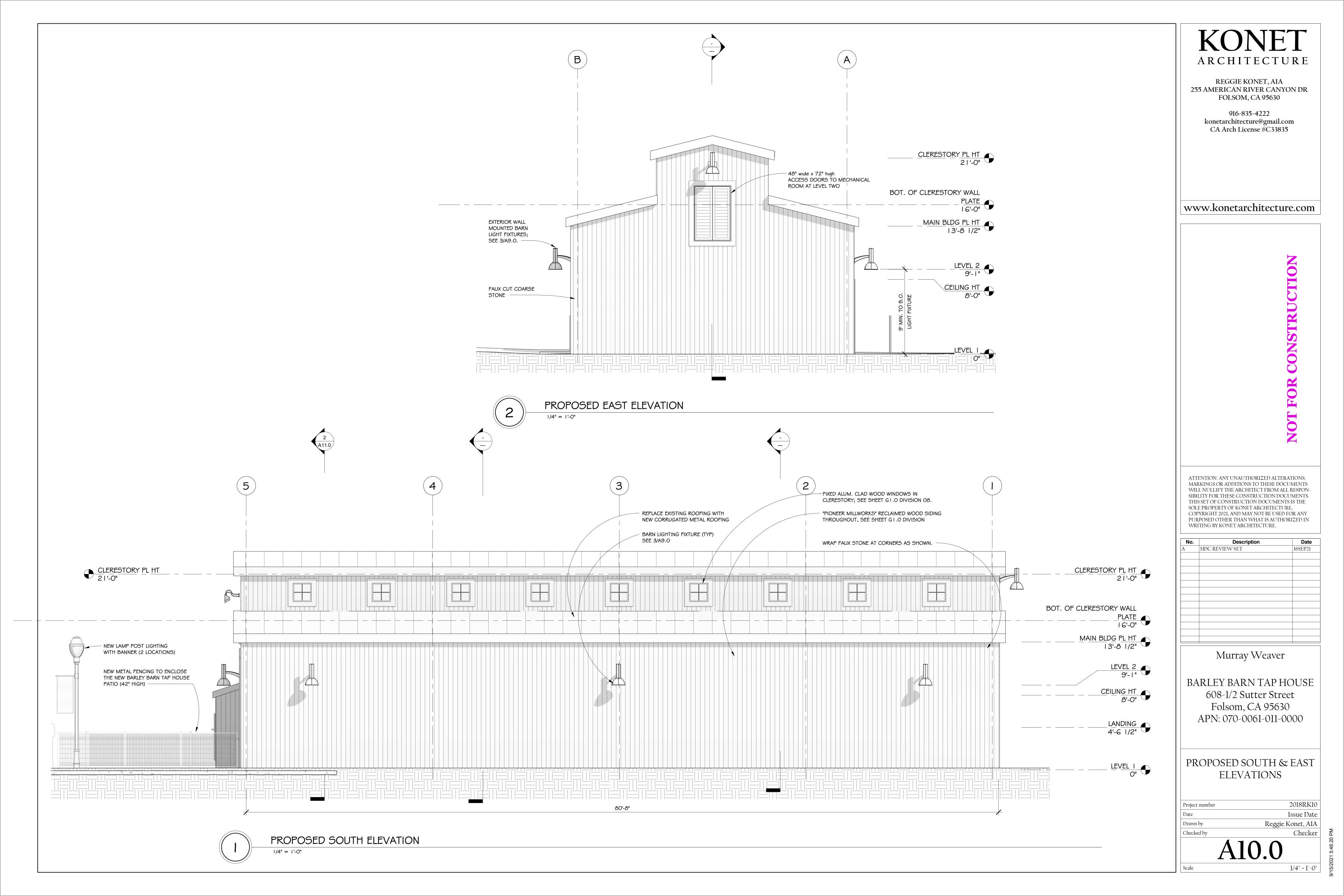
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		www.ł	conetarchitec	ture.com	
RVALL MOUNTED LIGHTING FIXTURES: CHEICETRIC COMPANY ORIGINAL; 975 - GALVANIZED COMPANY ORIGINAL MANY ORIGINAL MANY				NOT FOR CONSTRUCTION	
		MARKINGS WILL NULL SIBILITY FO THIS SET OI SOLE PROP COPYRIGH PURPOSED	N: ANY UNAUTHORIZED A OR ADDITIONS TO THESE IFY THE ARCHITECT FRO IR THESE CONSTRUCTION F CONSTRUCTION DOCUM ERTY OF KONET ARCHITE T 2021, AND MAY NOT BE U OTHER THAN WHAT IS AU Y KONET ARCHITECTURE	DOCUMENTS M ALL RESPON- I DOCUMENTS. MENTS IS THE CTURE, JSED FOR ANY JTHORIZED IN	
"PIONEER MILLWORKS" RECLAIMED WOOD SIDING - SPECIES: AMERICAN PRAIRIE, GRADE:TAPHOUSE, FINISH: UNFINISHED; FIRE TREATED COATING: FIRE-KOTE 100 SEE SHEET G1.0		No.	Description EVIEW SET	Date 16SEP21	
NEW BARN LIGHTS SEE SHEET G I .0, DIVISION 26.	CLERESTORY PL HT 2 I'-0" BOT. OF CLERESTORY WALL PLATE I G'-0"				
LEAN-TO SHED TO HOUSE AND PROTECT (E) ELEC METERS; ELEC TO BE UPDATED PER E SHEETS. PROVIDE LAMP POST LIGHT FIXTURES (2 LOCATIONS)	MAIN BLDG PL HT 13'-8 1/2" LEVEL 2 9'-1" CEILING HT 8'-0"	BARLI 60 F	Murray Weav EY BARN TAF 98-1/2 Sutter S Folsom, CA 95 N: 070-0061-01	P HOUSE treet 630	
	<u>LEVEL 1</u> O"	PROPC	SED NORTH ELEVATION		
/4"		Project number Date Drawn by Checked by		2018RK10 Issue Date ggie Konet, AIA Checker	













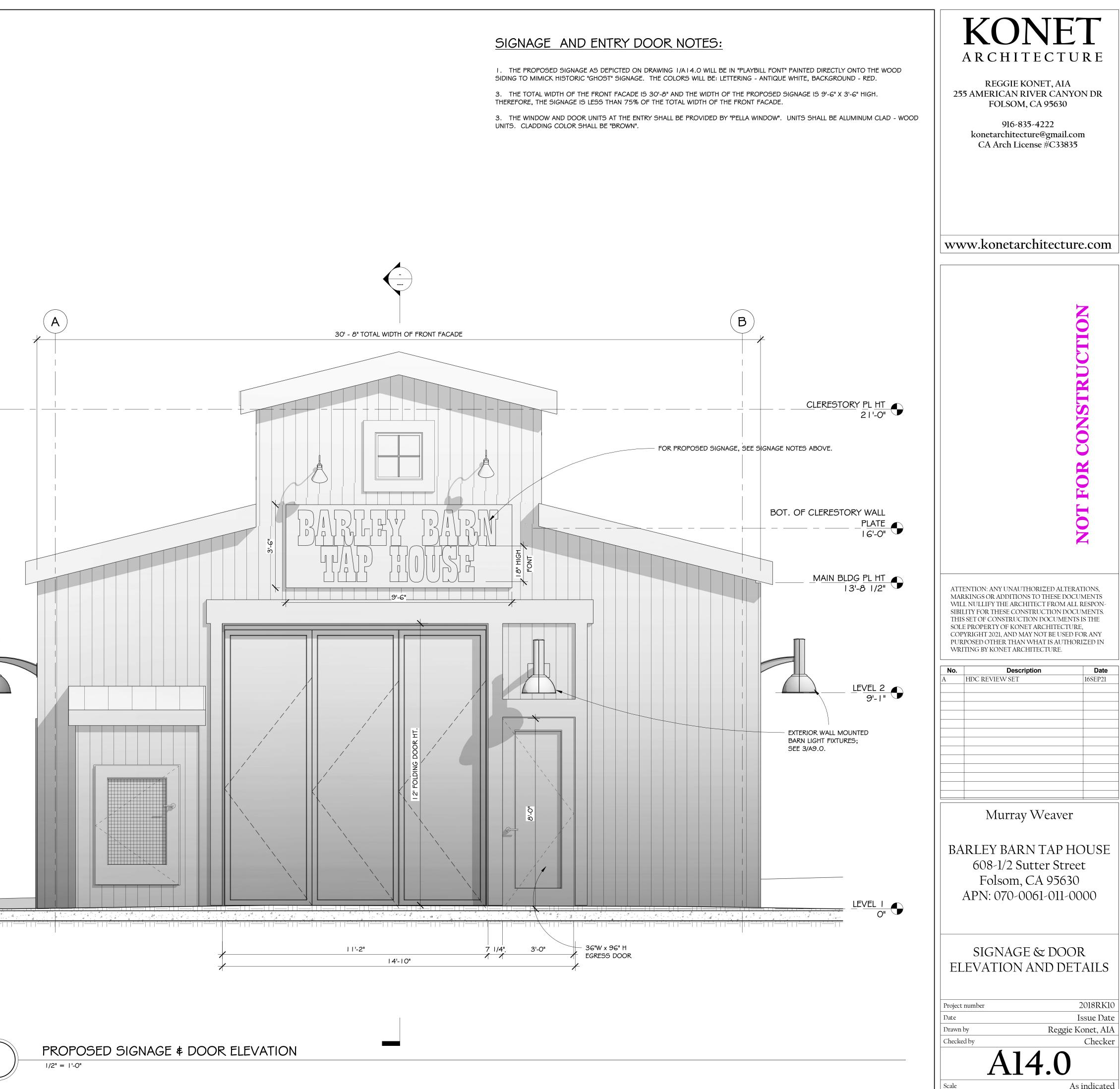
| |/2" = |'-0"

SAMPLE SIGNAGE APPLICATIONS

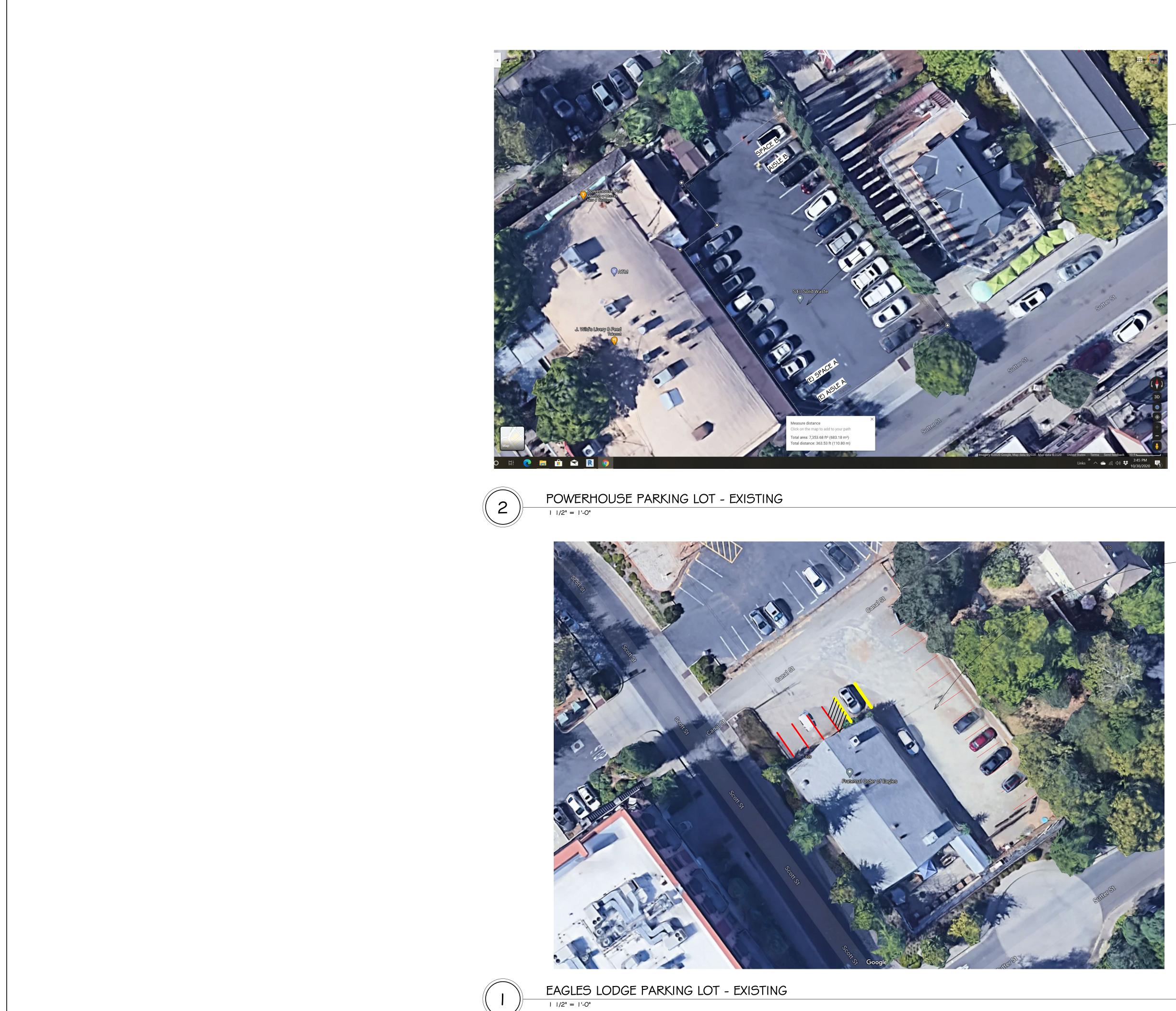
TYPICAL COLORATIONS OF THE HISTORIC "GHOST" SIGNAGE WERE WHITE LETTERING ON A RED BACKGROUND.



 \square



As indicated



REQUIRED PARKING:

THERE WILL BE 6 PARKING SPACES PROVIDED FOR THE PROPOSED BARLEY BARN TAP HOUSE. 2080 SF NET OCCUPANT LOAD DIVIDED BY 350 = 6 SPACES. ONE SPACE WILL BE AN ACCESSIBLE VAN PARKING SPACE.

- POWERHOUSE PARKING LOT EXISTING

NOTES:

I. CURRENTLY, THERE ARE 20 STANDARD PARKING SPACES AND (1) ONE ACCESSIBLE PARKING SPACE.

THE OWNER SHALL CONVERT (1) ONE EXISTING STANDARD PARKING SPACE IN THE POWERHOUSE PARKING LOT INTO AN ACCESSIBLE VAN PARKING SPACE IN ORDER TO PROVIDE THE REQUIRED ACCESSIBLE PARKING SPACE FOR THE BARLEY BARN TAP HOUSE.

IN ORDER TO ACCOMPLISH THIS, THE (E) STANDARD PARKING SPACE NEAREST TO THE PROPOSED BARLEY BARN TAP HOUSE WILL BE CONVERTED INTO AN ACCESSIBLE VAN PARKING SPACE. ADJACENT OR NEAR TO THIS NEW PARKING SPACE WILL BE THE ADA LIFT WHICH WILL ALLOW AN ACCESSIBLE ROUTE TO THE BARLEY BARN TAP HOUSE ENTRANCE.

ALL WORK TO BE FIELD VERIFIED BY CONTRACTOR PRIOR TO CONSTRUCTION AND DURING THE PROJECT CLOSURE TO CONFIRM COMPLIANCE WITH 2019 CALIFORNIA BUILDING CODE CHAPTER 11B. IF ANY DISCREPENCIES ARISE BETWEEN THE DRAWINGS AND SITE CONDITIONS, THE CONTRACTOR SHALL ALERT THE ARCHITECT IMMEDIATELY FOR CLARIFICATION. IF ARCHITECT HAS NOT BEEN NOTIFIED AND WORK CONTINUES, THE ARCHITECT WILL NOT BE HELD LIABLE FOR ANY OUTCOME OF THIS WORK.

EAGLES LODGE PARKING LOT - EXISTING

NOTES:

I. THE NORTHEAST PARKING ROW OF THE (E) EAGLES PARKING LOT IS APPROXIMATELY 95 FEET IN LENGTH. THIS DISTANCE COULD POSSIBLY ALLOW FOR 10 STANDARD PARKING SPACES WHICH WOULD BE 9 FEET (108 INCHES) WIDE. THIS STATEMENT TO BE FIELD VERIFIED.

THE PARKING ROW ALONG THE NORTH END OF THE EAGLES LODGE IS APPROXIMATELY 45 FEET IN LENGTH. THIS DISTANCE COULD POSSIBLY ALLOW FOR 3 STANDARD PARKING SPACES WHICH WOULD BE 9 FEET (108 INCHES) WIDE AND

(1) ONE ACCESSIBLE VAN PARKING SPACE WHICH WOULD BE 12 FEET (144 INCHES) WIDE WITH AN ACCESS AISLE OF 5 FEET (GO INCHES) WIDE. THIS STATEMENT TO BE FIELD VERIFIED.

THEREFORE, THE TOTAL NUMBER OF POSSIBLE PARKING

SPACES WITHIN THE (E) EAGLES LODGE LOT WOULD BE 13 STANDARD SPACES + 1 ACCESSIBLE SPACE = 14 TOTAL SPACES.

THIS STATEMENT TO BE FIELD VERIFIED.

2. THERE IS NO WORK INCLUDED TO UPGRADE OR IMPROVE THE (E) EAGLES LODGE PARKING LOT IN THIS CONTRACT. THE ABOVE INFORMATION AND THE SUGGESTED POTENTIAL PARKING SPACES SHOWN ARE FOR HYPOTHETICAL PURPOSES ONLY. THE ARCHITECT IS NOT ENGAGED NOR RESPONSIBLE FOR ANY IMPROVEMENTS TO THE EAGLES LODGE PARKING LOT. THE ARCHITECT DOES NOT GUARANTEE NOR CLAIM THAT THE INFORMATION PROVIDED ON THIS SHEET IS ACCURATE OR CORRECT. ALL ITEMS MUST BE FIELD VERIFIED BY A LICENSED SURVEYOR OR CIVIL ENGINEER AND A CALIFORNIA CASP (CERTIFIED ACCESS SPECIALIST) CONSULTANT.



REGGIE KONET, AIA 255 AMERICAN RIVER CANYON DR FOLSOM, CA 95630

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PARKING LOTS AND DATA

X1.0

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2018RK10 Issue Date Reggie Konet, AIA Checker